



THE BOARD OF TRUSTEES (BOT) OF THE TOWN OF
MESILLA WILL HOLD A **WORKSESSION MEETING** AT THE
MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA

MONDAY, MARCH 23, 2026

~ 6:00 P.M.~

AGENDA

1. DISCUSSION OF NON-CONFORMING CASES & VARIANCES
2. DISCUSSION OF MESILLA HISTORIC PRESERVATION AND HISTORIC PROPERTY DESIGNATIONS

THE BOARD OF TRUSTEES (BOT) OF THE TOWN OF
MESILLA WILL HOLD A REGULAR MEETING AT THE
MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA

MONDAY, MARCH 23, 2026

~ Immediately Following Worksession ~

AGENDA

3. PLEDGE OF ALLEGIANCE
4. ROLL CALL & DETERMINATION OF A QUORUM
5. APPROVAL OF THE AGENDA
6. APPROVAL OF CONSENT AGENDA: (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk *)
 - a) *BOT MINUTES – Minutes of BOT, March 9, 2026
7. PRESENTATION:
 - a) Proclamation: National Public Safety Telecommunications Week
 - b) Proclamation: Celebrating 50 Years of Mesilla Elementary School at Its Current Location
8. STAFF UPDATES & COMMENTS

9. **PUBLIC INPUT ON CASES – The public is invited to address the Board as allowed the chair.**

10. **NEW BUSINESS**

- a) **APPROVAL: Consideration of a Motion to reconsider action taken on Agenda item #7a from the March 9, 2026 Regular Meeting Regarding: PZHAC SIGN #062098 – 1200 W. University, submitted by Jornada Masonic Lodge. Requesting approval to install a sign. ZONE: Single-Family Residential (R1)**
- b) **APPROVAL: Consideration of a Motion to reconsider action taken on Agenda item #7f from the March 9, 2026 Regular Meeting Regarding: Resolution 2026-12 – Historic Property Registry Designation: 2090 Snow Rd**
- c) **APPROVAL: [IF MOTION TO RECONSIDER PASSES]: Reconsideration of Agenda item #7a from the March 9, 2026 Regular Meeting Regarding: PZHAC SIGN #062098 – 1200 W. University, submitted by Jornada Masonic Lodge. Requesting approval to install a sign. ZONE: Single-Family Residential (R1)**
- d) **APPROVAL: [IF MOTION TO RECONSIDER PASSES]: Reconsideration of Agenda item #7f from the March 9, 2026, Regular Meeting Regarding: Resolution 2026-13 – Historic Property Registry Designation: 2090 Snow Rd**
- e) **APPROVAL: PZHAC ZONING CASE #062102 – 1705B Tierra de Mesilla, submitted by Blanca G Huizar/El Parian de Mesilla. Requesting approval for restaurant floor plan. ZONE: Commercial (C).**
- f) **APPROVAL: ZONING CASE #062105 -2670 Calle de Parian, requested by the Town of Mesilla. Carport on the south end of the Public Safety Building. ZONE: Historical Residential (HR).**

11. **PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.**

12. **BOARD OF TRUSTEE COMMITTEE REPORTS**

13. **BOARD OF TRUSTEE COMMENTS**

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least one week prior to the meeting. The Mayor and Trustees request that all cell phones be turned off or set to vibrate. Members of the audience are requested to step outside the Board Room to respond to or to conduct a phone conversation. A copy of the agenda can be found online at www.mesillanm.gov.

Posted **03.19.2026** online and at the following locations: Town Hall and Visitor’s Center Avenida de Mesilla, Public Safety Building 2670 Calle de Parian, Mesilla Community Center 2251 Calle de Santiago, Lucky’s Food Mart 2290 Avenida de Mesilla, Ristramn 2531 Ave de Mesilla, the U.S. Post Office 2253 Calle de Parian, and Mesilla Park Recreation Center 304 Bell Ave.

****BOT MEETINGS ARE AVAILABLE LIVE ON TOWN OF MESILLA’S YOUTUBE PAGE****

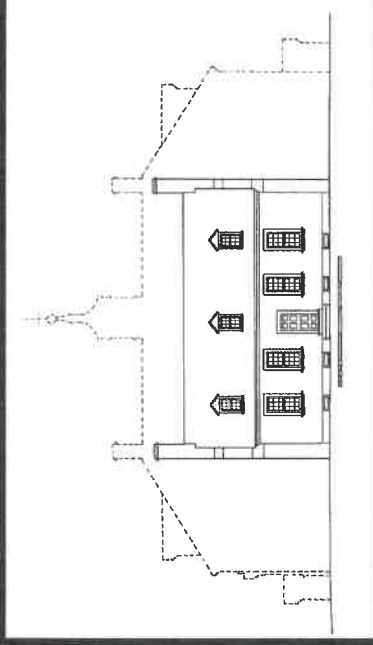
INTRO TO HISTORIC PRESERVATION

WHAT IT IS, WHY IT MATTERS AND WHAT WE ARE DOING

La Mesilla, Ignacio Aguirre, "450 Years of Struggle: Homage to the Mexican People"



GEORGE WASHINGTON'S HOME @ MT. VERNON



Source: mountvernon.org/digital/history

PENNSYLVANIA STATION - NYC



Source: Library of Congress, digital collection. loc.gov



Trainweb.org

GILA CLIFF DWELLINGS- 1907



Upper Left and middle: NPS.gov
Bottom: Liana Aguirre

PALACE OF THE GOVERNORS-1911



Upper right: Palace of the Governors
Archives, negative no. 061537
Middle: Department of Cultural
Affairs, Blair Clark
Bottom: NMHistory Museum.org

THE NATIONAL HISTORIC PRESERVATION ACT 1966- AS AMENDED THROUGH DECEMBER 16, 2016 – SECTION 1:

In Summary:

-The historic heritage of the Nation is what this Nation has been founded upon and should be considered a living part of our community life

-Significant properties are being lost with increasing frequency in this phase of continuous urban renewal and preservation of this irreplaceable heritage is in the public interest so that its historical legacy, in all aspects, shall be maintained for future generations

-In identifying and preserving these historic resources it can improve town, Federal and federally funded planning and assist economic growth and development, whereas the Federal Government encourages historic preservation and activities to give maximum encouragement to undertake preservation by private means and to state and local governments to expand and accelerate historic preservation.

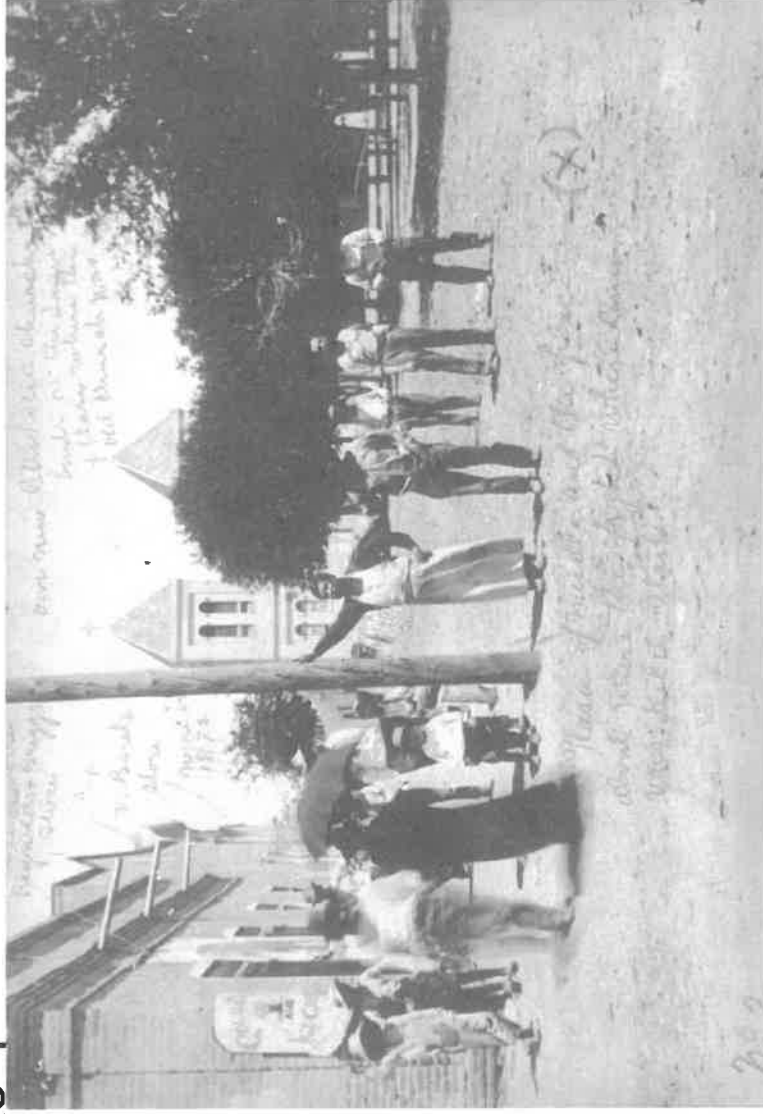
... (b) The Congress finds and declares that—

- (1) the spirit and direction of the Nation are founded upon and reflected in its historic heritage;
- (2) the historical and cultural foundations of the Nation should be preserved as a living part of our community life and development in order to give a sense of orientation to the American people;
- (3) historic properties significant to the Nation's heritage are being lost or substantially altered, often inadvertently, with increasing frequency;
- (4) the preservation of this irreplaceable heritage is in the public interest so that its vital legacy of cultural, educational, aesthetic, inspirational, economic, and energy benefits will be maintained and enriched for future generations of Americans;
- (5) in the face of ever-increasing extensions of urban centers, highways, and residential, commercial, and industrial developments, the present governmental and nongovernmental historic preservation programs and activities are inadequate to insure future generations a genuine opportunity to appreciate and enjoy the rich heritage of our Nation;
- (6) the increased knowledge of our historic resources, the establishment of better means of identifying and administering them, and the encouragement of their preservation will improve the planning and execution of Federal and federally assisted projects and will assist economic growth and development; and
- (7) although the major burdens of historic preservation have been borne and major efforts initiated by private agencies and individuals, and both should continue to play a vital role, it is nevertheless necessary and appropriate for the Federal Government to accelerate its historic preservation programs and activities, to give maximum encouragement to agencies and individuals undertaking preservation by private means, and to assist State and local governments and the National Trust for Historic Preservation in the United States to expand and accelerate their historic preservation programs and activities.

HISTORIC DISTRICT AND LANDMARKS ACT- NMSA 3-22-2

Purpose.

The legislature of the state of New Mexico hereby declares that the historical heritage of this state is among its most valued and important assets and that it is the intention of the Historic District and Landmark Act to empower the counties and municipalities of this state with as full and complete powers to preserve, protect and enhance the historic areas and landmarks lying within their respective jurisdictions as it is possible for this legislature to permit under the constitution of the United States and the constitution of New Mexico and subject to the specific duties and responsibilities respecting historical matters already granted or to be granted under other statutes of this state.



Group on Plaza, Negative # 014578, (c.1910) Source: Palace of the Governors
Photo Archives, NM History Museum, Santa Fe.

MESILLA TOWN CODE (MTC) 18.33.040

- A. The board of trustees declares that the historical heritage of Mesilla and its historic buildings and its historic districts are among its most valued and important assets. The board finds that some buildings having historical, architectural, aesthetic and cultural value have been neglected, altered or destroyed notwithstanding the feasibility of preserving and continuing the use of such buildings and with out adequate consideration of the irreplaceable loss to the public and the town. The board finds that the historic character of Mesilla is of vital importance in maintaining the economy of the town and that its historic landmarks and the buildings in its historic district can be preserved, rehabilitated and used. The board finds that this chapter benefits all the residents of Mesilla and all the owners of property.
- B. The board of trustees declares as a matter of public policy that the preservation, protection and use of historic landmarks and buildings in the historic districts are a public necessity because they have a special character or a special historic, architectural, aesthetic or cultural value and thus serve as visible reminders of the history and heritage of this town, state and nation. The board declares as a matter of public policy that this chapter is required in the interest of the health, safety, welfare and economic well-being of the public. The board declares as a matter of public policy that the identification and designation of historic landmarks and historic districts and the approval or disapproval of exterior changes to designated property or their demolition or relocation or new construction on the site are stated to be a public purpose.



CERTIFIED LOCAL GOVERNMENT-CLG

- Encourages the preservation of cultural resources
- Manual
- Consent
- Benefits
- Local Listings vs. NHL/NRHP/SRCP



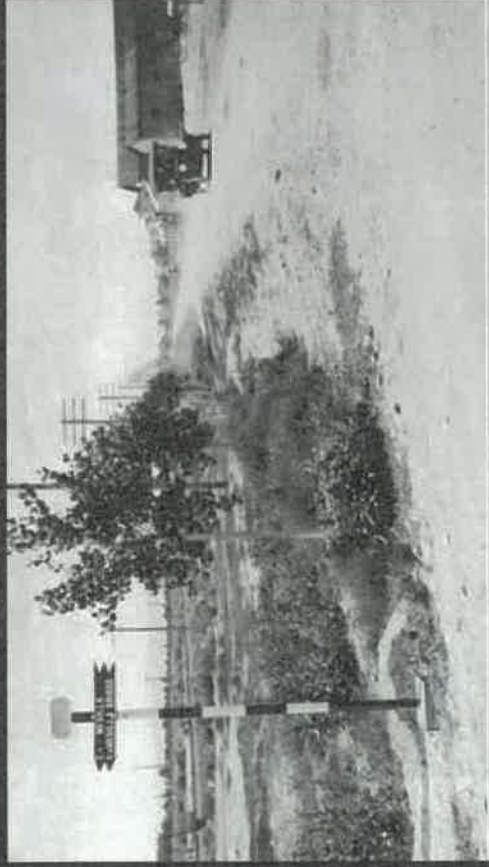
LOCAL LISTINGS

- Protect our Cultural and Historical Resources
- Benefits
- Receive Funding
- Adapt with change
- Nomination Process
- Future Prospects
- Design Review
- Stewardship



Palace of the Governors Photo Archives, New Mexico History Museum, Santa Fe, New Mexico,
Negative Number, 009574

EVALUATION OF CULTURAL and HISTORIC PROPERTIES



Automobile approaching intersection on Camino Real in Doña Ana County near Mesilla, c. 1915 (?). New Mexico, Source: Palace of the Governors Photo Archives, New Mexico History Museum, Santa Fe, New Mexico, Negative Number 009594

- AGE AND INTEGRITY
- LOCATION
- DESIGN
- SETTING
- MATERIALS
- WORKMANSHIP
- FEELING/ASSOCIATION

- SIGNIFICANCE
- EVENTS
- ARCHITECTURE
- PEOPLE

NATIONAL REGISTER CRITERIA

Criterion A. The property is associated with events that have made a significant contribution to the broad patterns of our history.

Criterion B. The property is associated with the lives of persons significant in our past.

Criterion C. The property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.

Criterion D. The property has yielded, or is likely to yield, information important in prehistory or history.

TOWN OF MESILLA LOCAL HISTORIC AND CULTURAL REGISTER
NOMINATIONS



LEONART-MAURIN STORE AND REAR STRUCTURE

DBA THUNDERBIRD DE LA MESILLA
2380 CALLE PRINCIPAL

-NOTED AS FIRST/EARLIEST BRICK
BUILDING IN NEW MEXICO C. 1863

-ALREADY PART OF NATIONAL
HISTORIC LANDMARK

-ASSOCIATED WITH EARLY
SETTLEMENT

-REAR PROPERTY RESIDENTIAL, EARLY
STYLE ARCHITECTURE ADOBE C.1850

- #119 AND #200 ON NHR



Source: Historic American Buildings Survey (Library of Congress) - HABS NM-214

NATIONAL HISTORIC REGISTER:

119 The Leonard-Maurin store was built in 1863 of burnt brick from a local kiln. This structure was to have a second story as evidenced by blocked up, partially completed windows above the canal level. Only about three feet of this story was completed when the project was halted. Maurin was murdered in his residence at the rear of the store in 1866. A few years later another Frenchman, Pedro Dubalde, who was a saloon keeper and merchant in Mesilla, was murdered here also. The building has since been used as a saloon, residence, town hall, and is currently housing two gift shops. The building faces the plaza and is adjacent to the Reynolds/Griggs Store to the north. The high parapet has a brick coping. The windows are fixed wood frame and have brick segmental arches. All doors and windows are protected with iron grill work. (S)

200 This is a long, low line of adjacent adobe rooms fronting the street. At one time this structure made up portions of residences behind the stores that front the plaza. Now this building is being used as gift shops. This is a stuccoed adobe building with a flat roof, parapet, wood frame windows with varying numbers of lites and numerous wood doors, all fairly recent. Viga ends are visible, showing the level of low ceiling; rough timbered lintels are evident. A porch spans the facade of the building and is made from vigas and latillas. est. 1850's. (S)

PALACIO BAR



Source: PALACIO Facebook (top) Las Cruces Sun News (Bottom)

2600 AVENIDA DE MESILLA

-FIRST CONSTRUCTED AS A
BLACKSMITH SHOP C.1900'S

-ON THE NATIONAL REGISTER OF
HISTORIC PLACES

-ASSOCIATED WITH EARLY SOCIAL
AND CULTURAL LIFE

-REAR PROPERTY RESIDENTIAL, EARLY
STYLE ARCHITECTURE ADOBE

- #8 AND #9 ON NHR

¶ The El Palacio Bar, owned by Pablo Salcido, is an exposed adobe structure with a flat roof, tin canales, wood sashes, and glass block windows. The dance hall is adjacent and to the north of this structure. This bar has been a social center of Mesilla for years. It dates from about 1905. (S)

¶ This dance hall also belongs to Pablo Salcido. It was built at a later date than the adjacent bar to the south. This hall has exposed adobe walls, stuccoed in some places, a corrugated metal hip roof with gables and unusual wood louvered air vents. Architecturally, it is unique in Mesilla. est. 1930. (S)

GINTHER FARMS

2090 SNOW ROAD

-DATES C. 1890, ADOBE HOME, FARMHANDS QUARTERS, BARN AND WATERMILL

-SITS ALONG EARLY AGRICULTURAL CORRIDOR

-RARE AND UNIQUE IN AREA

-TELLS THE STORY OF AGRICULTURAL MESILLA

-ADOBE CONSTRUCTION



Paul Ginther claims factory for Santa Rosalia, Mexico, called at The Times office last night and stated positively that

Paul Ginther, who left El Paso on the thirteenth of December to go to the property of the Olympia Mining company in Sonora, Mexico, is missing.

GINTHER FARMS

- GINTHER FAMILY
- FULL POTENTIAL TO BE ON THE STATE OR NATIONAL REGISTER
- INDIVIDUAL LANDMARK

Paul Ginther claims factory for Santa Rosalia, Mexico, called at The Times office last night and stated positively that

Paul Ginther, who left El Paso on the thirteenth of December to go to the property of the Olympia Mining company in Sonora, Mexico, is missing.



Google Maps, C. Pablo Ginther

Ginther Funeral Services Will Be Saturday Morning

Funeral services for Paul Ginther, 35, long time Mesilla resident, who died Wednesday in Memorial General Hospital, will be held at 10 a.m. Saturday at San Albino's Catholic Church in Mesilla with Fr. C. Fernandez officiating. Burial will be in Hillcrest Cemetery. Rosary services will take place at 8 p.m. today, in Graham's Mortuary here.

Surviving are his wife; two daughters; one nephew; three grandchildren and six grand-children.

Front page, Las Cruces Sun News, 3/4/1960

MINE OPERATOR OF EL PASO IS PRISONER OF HIPOLITO VILLA

Ginther Held for Ransom by Mexican Revolutionists; Third to be Kidnaped.

El Paso, Tex., Feb. 3.—Paul Ginther, prominent mining man of El Paso and Chihuahua, has been taken prisoner by revolutionists under the command of Hipolito Villa and Manuel Chao and is being held for ransom.

Santa Fe New Mexican, 2/9/1924

WHAT IS DOING IN MEXICO.

GOOD IRON ORE.

It is reported that Mr. Paul Ginther, of El Paso, has discovered a magnificent bed of iron near Santa Rosalia, Chihuahua. The bed was worked for some years without being exhausted, and the vein is still a very rich one.

El Paso Daily Times

—A cincuenta millas río abajo de El Paso, Texas, en el lado noroccidental, se halla descubierta una riquísima veta de cobre, el Capitán Otilio Davis, el Administrador de la Admisión Sr. Buschke, el Ingeniero Francisco Paul Ginther y el coronel de España en Chihuahua, son sus principales propietarios.

El Regidor, San Antonio Tx, Bol. 11, No. 487, 10/27/1898

THE TRUE STORY OF THAT FIND.

WERE WORKING PLASTER CHINA AND FOUND RICH SILVER.

Mr. Ginther says the Best Weather the Pure Silver Down in the Chamber-of-Hans Payling Gold Chain which is not for sale—Parties going to Prospector.

The rich strike of silver on the Rio Grande, Sierra Madre & Pacific road was the talk of the town yesterday, and Paul Ginther, who was met by a TIMES reporter during the day, said

El Paso Daily Times, 2/4/1898

MISSING MAN MISSING.

Paul Ginther, who left El Paso on the thirteenth of December to go to the property of the Olympia Mining company in Sonora, Mexico, is missing, and those who are interested in his welfare can not make up their minds whether or not he has met with foul play. When Ginther left El Paso he had with him three hundred dollars belonging to German, Chinese and well-to-do money. Mr. Eberhart, a mining expert, it was going to look over the property for the Olympia Mining company. Eberhart returned to the city a few days ago and brought the news that Ginther had disappeared. He says that Ginther left him when about fifteen miles south of Mesquite, according to most of the reports. When he got there Ginther was not to be found and after searching for several days he decided to return to El Paso. He left El Paso by train and on the train which had been taken out of the mine. It was reasonably taken care of this ore that Ginther went to Mexico. The country in which the mining men were traveling is infested to some extent by dangerous bandits and it may be that while Ginther was alone some of them attacked him for the money carried. El Paso first aid

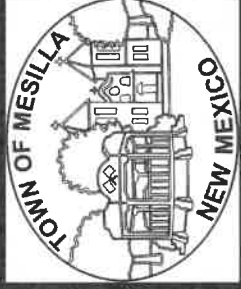
The Tucson Citizen, 1/6/1902

El Paso Daily Times, 10/22/1904

Bisbee Daily Review, 1/10/1902

THANK YOU

Liana Aguirre
Historic Preservation Specialist
Comdev@mesillanm.gov





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**THE BOARD OF TRUSTEES (BOT) OF THE TOWN OF
MESILLA WILL HOLD A REGULAR MEETING AT THE
MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA**

MONDAY, MARCH 9, 2026

~ 5:00 P.M. ~

MINUTES

- TRUSTEES:** Russell Hernandez, Mayor
Stephanie Johnson-Burick, Mayor Pro Tem
Biviana Cadena, Trustee
Veronica Garcia, Trustee
Gerard Nevarez, Trustee
- STAFF:** Ben Azcarate, Marshal
Lorenzo Astorga, Public Works Director
Greg Whited, Fire Chief
Eddie Salazar, Econ & Com Development Director
Gloria S Maya, Town Clerk/Recorder
- PUBLIC:** Eric Walkishaw Catharine Walkinshaw
Andrea Byran Greg Lester
Richard Knopp Lori Miller
John Knopp Van Bullock
Rafael Ruiz Dasa
Crystal Whited Edith Wyndham
Rob Cabellos CR Beesley
Mary H Ratje

1. PLEDGE OF ALLEGIANCE

Mayor Hernandez led the Pledge of Allegiance.

2. ROLL CALL & DETERMINATION OF A QUORUM

Roll Call.

Present: Mayor Hernandez, Mayor Pro Tem Johnson-Burick, Trustee Cadena, Trustee Garcia, Trustee Nevarez

3. APPROVAL OF THE AGENDA

Motion: To approve agenda with correction, Moved by Trustee Nevarez, Seconded by Trustee Garcia.

Motion passed unanimously

1 **4. APPROVAL OF CONSENT AGENDA:** (The Board will be asked to approve by one
2 motion the following items of recurring or routine business. The Consent Agenda is marked with an
3 asterisk *)

4 a) ***BOT MINUTES** – Minutes of BOT, February 23, 2026

5 b) ***PURCHASE ORDER: APIC Solutions – Community Center Security Upgrades -**
6 **\$31,77.48**

7 c) ***PURCHASE ORDER: A Mountain Construction – Calle del Norte Bridge -**
8 **\$110,866.52**

9 **Motion: To approve consent agenda, Moved by Trustee Cadena, Seconded by Trustee Nevarez.**

10
11 Trustee Garcia commented

12
13 Mayor Hernandez commented

14
15 **Roll Call Vote: Motion passed (summary: Yes-4)**

16 Mayor Pro Tem Johnson-Burick Yes

17 Trustee Cadena Yes

18 Trustee Garcia Yes

19 Trustee Nevarez Yes

20
21 **5. PRESENTATION:**

22 a) **Historic Preservation & Historic Properties – Liana Aguirre**

23 Ms. Aguirre made a presentation regarding Historic Preservation & Historic Properties.

24
25 **6. PUBLIC INPUT ON CASES – The public is invited to address the Board as allowed the**
26 **chair.**

27 Mr. Knopp commented

28
29 Mr. Bullock commented

30
31 **7. NEW BUSINESS**

32 a) **APPROVAL: PZHAC SIGN #062098** – 1200 W. University, submitted by Jornada
33 Masonic Lodge. Requesting approval to install a sign. ZONE: Single-Family Residential
34 (R1)

35 **Original Motion: To approve PZHAC SIGN #062098 – 1200 W. University, submitted by**
36 **Jornada Masonic Lodge. Requesting approval to install a sign with condition. ZONE: Single-**
37 **Family Residential (R1), Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee**
38 **Nevarez.**

39
40 Mayor Pro Tem Johnson-Burick commented

41
42 Mayor Hernandez commented

43
44 Mr. Salazar reviewed PZHAC Sign #062098.

45
46 Trustee Nevarez commented

47
48 **Amended Motion: To approve PZHAC SIGN #062098 – 1200 W. University, submitted by**
49 **Jornada Masonic Lodge. Requesting approval to install a sign with condition that the request**
50 **goes through the process required by Department of Transportation (DOT). ZONE: Single-**
51 **Family Residential (R1), Moved by Trustee Nevarez, Seconded by Trustee Garcia.**

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Amended Roll Call Vote: Motion passed (summary: Yes-4)

Mayor Pro Tem Johnson-Burick Yes
Trustee Cadena Yes
Trustee Garcia Yes
Trustee Nevarez Yes

Trustee Garcia commented

Mr. Salazar commented

Mayor Hernandez commented

Mayor Pro Tem Johnson-Burick commented

Trustee Cadena commented

Original Roll Call Vote: Motion failed (summary: Yes-1; No-3)

Mayor Pro Tem Johnson-Burick No
Trustee Cadena No
Trustee Garcia No
Trustee Nevarez Yes

b) APPROVAL: Terralogic Document Systems – Court DWI Case File Conversion - \$8,591.82

Mayor Hernandez reviewed the Court DWI Case File Conversion.

Motion: To approve Terralogic Document Systems – Court DWI Case File Conversions - \$8,591.82, Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee Garcia.

Roll Call Vote: Motion passed (summary: Yes-4)

Mayor Pro Tem Johnson-Burick Yes
Trustee Cadena Yes
Trustee Garcia Yes
Trustee Nevarez Yes

c) APPROVAL: Changes to Rules of Order

Mayor Hernandez reviewed the changes to Rules of Order.

Motion: To approve Changes to Rules of Order, Moved by Trustee Nevarez, Seconded by Mayor Pro Tem Johnson-Burick.

Trustee Garcia commented

Trustee Cadena commented

Mr. Cabellos commented

Roll Call Vote: Motion passed (summary: Yes-4)

Mayor Pro Tem Johnson-Burick Yes
Trustee Cadena Yes
Trustee Garcia Yes

1 Trustee Nevarez Yes

2
3 **d) APPROVAL: RESOLUTION 2026-07 – Colonias Emergency Funding**
4 Mayor Hernandez reviewed Resolution 2026-07 - Colonias Emergency Funding.

5
6 **Motion: To approve Resolution 2026- Colonias Emergency Funding, Moved by Mayor Pro Tem**
7 **Johnson-Burick, Seconded by Trustee Garcia.**

8
9 **Roll Call Vote: Motion passed (summary: Yes-4)**

10 Mayor Pro Tem Johnson-Burick Yes

11 Trustee Cadena Yes

12 Trustee Garcia Yes

13 Trustee Nevarez Yes

14
15 **e) APPROVAL: RESOLUTION 2026-11 – Historic Property Registry Designation:**
16 **2380 Calle de Principal.**

17 Mayor Hernandez reviewed Resolution 2026-11 – Historic Property Registry Designation: 2380 Calle
18 de Principal.

19
20 **Motion: To approve Resolution 2026-11 – Historic Property Registry Designation: 2380 Calle de**
21 **Principal, Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee Cadena.**

22
23 Mayor Pro Tem Johnson-Burick commented

24
25 Mayor Hernandez commented

26
27 Ms. Aguirre commented

28
29 Trustee Garcia commented

30
31 **Roll Call Vote: Motion passed (summary: Yes-4)**

32 Mayor Pro Tem Johnson-Burick Yes

33 Trustee Cadena Yes

34 Trustee Garcia Yes

35 Trustee Nevarez Yes

36
37 **f) APPROVAL: RESOLUTION 2026-12– Historic Property Registry Designation:**
38 **2600 Avenida de Mesilla**

39 **Motion: To approve Resolution 2026-12 – Historic Property Registry Designation: 2600 Avenida**
40 **de Mesilla, Moved by Trustee Nevarez, Seconded by Trustee Garcia.**

41
42 Trustee Nevarez commented

43
44 Ms. Aguirre commented

45
46 Trustee Garcia commented

47
48 **Roll Call Vote: Motion passed (summary: Yes-4)**

49 Mayor Pro Tem Johnson-Burick Yes

50 Trustee Cadena Yes

51 Trustee Garcia Yes

52 Trustee Nevarez Yes

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g) APPROVAL: RESOLUTION 2026-13 – Historic Property Registry Designation: 2090 Snow Rd

Motion: To approve Resolution 2026-13 – Historic Property Registry Designation: 2090 Snow Rd, Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee Garcia.

Trustee Nevarez commented

Ms. Aguirre commented

Trustee Cadena commented

Mayor Pro Tem Johnson-Burick commented

Trustee Garcia commented

Roll Call Vote: Motion denied (summary: Yes-1; No-3)

Mayor Pro Tem Johnson-Burick No

Trustee Cadena Yes

Trustee Garcia No

Trustee Nevarez No

h) APPROVAL: RESOLUTION 2026-14 – Mesilla Rules of Order

Mayor Hernandez reviewed Resolution 2026-14 – Mesilla Rules of Order.

Motion: To approve Resolution 2026-14 – Mesilla Rules of Order, Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee Garcia.

Trustee Garcia commented

Roll Call Vote: Motion passed (summary: Yes-4)

Mayor Pro Tem Johnson-Burick Yes

Trustee Cadena Yes

Trustee Garcia Yes

Trustee Nevarez Yes

i) APPROVAL: RESOLUTION 2026-15 – 2026 Colonias Application – Water Tank

Mayor Hernandez reviewed Resolution 2026-15 - 2026 Colonias Application – Water Tank.

Motion: To approve Resolution 2026-15 – 2026 Colonias Application – Water Tank, Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee Cadena.

Trustee Garcia commented

Roll Call Vote: Motion passed (summary: Yes-4)

Mayor Pro Tem Johnson-Burick Yes

Trustee Cadena Yes

Trustee Garcia Yes

Trustee Nevarez Yes

j) APPROVAL: RESOLUTION 2026-16 – 2026 Colonias Application – Fire Hydrant Replacement

Mayor Hernandez reviewed Resolution 2026-16 – 2026 Colonias Application – Fire Hydrant

1 Replacement.

2
3 **Motion: To approve Resolution 2026-16 – 2026 Colonias Application – Fire Hydrant**
4 **Replacement, Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee Cadena.**

5
6 **Roll Call Vote: Motion passed (summary: Yes-4)**

7 Mayor Pro Tem Johnson-Burick Yes
8 Trustee Cadena Yes
9 Trustee Garcia Yes
10 Trustee Nevarez Yes

11
12 **k) APPROVAL: RESOLUTION 2026-17 – LGRF Cooperative Agreement**
13 Mayor Hernandez reviewed Resolution 2026-17 – LGRF Cooperative Agreement.

14
15 **Motion: To approve Resolution 2026-17 – LGRF Cooperative Agreement, Moved by Mayor Pro**
16 **Tem Johnson-Burick, Seconded by Trustee Garcia.**

17
18 **Roll Call Vote: Motion passed (summary: Yes-4)**

19 Mayor Pro Tem Johnson-Burick Yes
20 Trustee Cadena Yes
21 Trustee Garcia Yes
22 Trustee Nevarez Yes

23
24 **l) APPROVAL: RESOLUTION 2026-18 - LOCAL SOLAR FUND/DESIGNATION**
25 **SOUDER, MILLER & ASSOCIATES**

26 Mayor Hernandez reviewed Resolution 2026-18 – Local Solar Fund/Designation Souder, Miller &
27 Associates.

28
29 **Motion: To approve Resolution 2026-18 – LOCAL SOLAR FUND/DESIGNATION SOUDER,**
30 **MILLER & ASSOCIATES, Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee**
31 **Cadena.**

32
33 **Roll Call Vote: Motion passed (summary: Yes-4)**

34 Mayor Pro Tem Johnson-Burick Yes
35 Trustee Cadena Yes
36 Trustee Garcia Yes
37 Trustee Nevarez Yes

38
39 **m) APPROVAL: ORDINANCE 2026-01 – Wireless Telecommunications**

40 Mr. Cabellos commented

41
42 **Motion: To approve ORDINANCE 2026-01 – Wireless Telecommunications, Moved by Trustee**
43 **Nevarez, Seconded by Trustee Garcia.**

44
45 Trustee Nevarez commented

46
47 Trustee Cadena commented

48
49 Trustee Garcia commented

50
51 **Roll Call Vote: Motion passed (summary: Yes-4)**

52 Mayor Pro Tem Johnson-Burick Yes
53 Trustee Cadena Yes

1 Trustee Garcia Yes
2 Trustee Nevarez Yes

3
4 **n) APPROVAL: ORDINANCE 2026-02 – Amend MTC 18.60.340 General Provisions,**
5 **wall height between McDowell & Bowman Along University Ave**

6 Mr. Salazar reviewed Ordinance 2026-02 Amend MTC 18.60.340 General Provisions.
7

8 **Motion: To approve ORDINANCE 2026-02 – Amend MTC 18.60.340 General Provisions, wall**
9 **height between McDowell & Bowman Along University Ave., Moved by Mayor Pro Tem**
10 **Johnson-Burick, Seconded by Trustee Cadena.**

11
12 **Roll Call Vote: Motion passed (summary: Yes-4)**

13 Mayor Pro Tem Johnson-Burick Yes
14 Trustee Cadena Yes
15 Trustee Garcia Yes
16 Trustee Nevarez Yes
17

18 **o) APPROVAL: ORDINANCE 2026-03 – Amendments to MTC 18.65 Signs; A-frame**
19 **signs, maximum size in Commercial zone, & temporary signs**

20 Mr. Salazar reviewed Ordinance 2026-03 – Amendments to MTC 18.65 Signs; A-frame signs, .
21 maximum size in Commercial Zone & temporary signs.
22

23 **Original Motion: To approve ORDINANCE 2026-03 – Amendments to MTC 18.65 Signs; A-**
24 **frame signs, maximum size in Commercial Zone & temporary signs, Moved by Mayor Pro Tem**
25 **Johnson-Burick, Seconded by Trustee Garcia.**

26
27 Mayor Hernandez commented

28
29 Trustee Nevarez commented

30
31 Trustee Cadena commented

32
33 Mayor Pro Tem Johnson-Burick commented
34

35 **Original Roll Call Vote: Motion passed (summary: Yes-4)**

36 Mayor Pro Tem Johnson-Burick Yes
37 Trustee Cadena Yes
38 Trustee Garcia Yes
39 Trustee Nevarez Yes
40

41 **Amended Motion: To approve ORDINANCE 2026-03 – Amendments to MTC 18.65 Signs; A-**
42 **frame signs, maximum size in Commercial Zone & temporary signs with condition allowing two**
43 **(2) temporary signs per year, Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee**
44 **Garcia.**

45
46 **Trustee Garcia commented**

47
48 **Mayor Pro Tem Johnson-Burick commented**

49
50 **Mayor Hernandez commented**

51
52 **Mr. Salazar commented**
53

1 **Trustee Cadena commented**

2
3 **Amended Motion Rescinded: To approve ORDINANCE 2026-03 – Amendments to MTC 18.65**
4 **Signs; A-frame signs, maximum size in Commercial Zone & temporary signs with condition**
5 **allowing two (2) temporary signs per year, Moved by Mayor Pro Tem Johnson-Burick, Seconded**
6 **by Trustee Garcia.**

7
8 **Amended Roll Call Vote for Recension: Motion passed (summary: Yes-4)**

9 Mayor Pro Tem Johnson-Burick Yes

10 Trustee Cadena Yes

11 Trustee Garcia Yes

12 Trustee Nevarez Yes

13
14 Trustee Cadena commented

15
16 Mr. Salazar commented

17
18 Mayor Hernandez commented

19
20 **8. CLOSED EXECUTIVE SESSION:**

21 a) **The Governing body will convene in executive closed session pursuant to Section 10-**
22 **15-1(H)(2) NMSA 1978 for discussion of limited personnel matters, including the**
23 **appointment, employment, evaluation, discipline, or dismissal of a public**
24 **employee(s).**

25 **– Marshal Department**

26 b) **The Governing body will convene in executive closed session pursuant to Section 10-**
27 **15-1(H)(7) NMSA 1978 for discussion of matters pertaining to the attorney-client**
28 **privilege pertaining to threatened or pending litigation.**

29 **Motion: To enter into Closed Executive Session, Moved by Trustee Nevarez, Seconded by**
30 **Trustee Garcia.**

31
32 **Motion passed unanimously**

33
34 **Entered Closed Executive Session at 8:17 p.m.**

35
36 **Motion: To enter Regular Meeting, Moved by Mayor Pro Tem Johnson-Burick, Seconded by**
37 **Trustee Garcia.**

38
39 **Motion passed unanimously**

40
41 **Entered Regular Meeting at 8:33 p.m.**

42
43 c) **Any possible action in open session that may arise as a result of executive session**
44 **Motion: To approve the hiring of Mr. Edgar Ramirez as Codes Officer/AC, Moved by Mayor**
45 **Pro Tem Johnson-Burick, Seconded by Trustee Garcia.**

46
47 **Roll Call Vote: Motion passed (summary: Yes-4)**

48 Mayor Pro Tem Johnson-Burick Yes

49 Trustee Cadena Yes

50 Trustee Garcia Yes

51 Trustee Nevarez Yes

1 **Motion: To dismiss pending Court Cases and Bench Warrants, Moved by Trustee Garcia,**
2 **Seconded by Mayor Pro Tem Johnson-Burick.**
3

4 **Roll Call Vote: Motion passed (summary: Yes-4)**

5 Mayor Pro Tem Johnson-Burick Yes

6 Trustee Cadena Yes

7 Trustee Garcia Yes

8 Trustee Nevarez Yes
9

10 **9. PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.**

11 Ms. Ratje commented
12

13 **10. BOARD OF TRUSTEE COMMITTEE REPORTS**

14 Trustee Nevarez: Economic Development Department meeting; Taylor Historic Site meeting
15 Wednesday
16

17 Trustee Garcia: MPO meeting Wednesday at 1:00 p.m.; Marshal Department meeting; participated in
18 the walk on Friday
19

20 Trustee Cadena: SCRTD meeting; Taylor Historic Site meeting
21

22 Mayor Pro Tem Johnson-Burick: MPO meeting Wednesday at 1:00 p.m.
23

24 Mayor Hernandez: MPO Executive meeting; MPO meeting Wednesday; several other meetings;
participated in the walk on Friday
25

26 **11. BOARD OF TRUSTEE/STAFF COMMENTS**

27 Marshal Azcarate gave a department (Marshal) update.

28 Trustee Garcia commented
29

30 Fire Chief Whited gave a department (Fire) update.

31 Trustee Nevarez commented

32 Trustee Garcia commented

33 Mayor Hernandez commented
34

35 Mr. Astorga gave a department (Public Works) update.

36 Trustee Nevarez commented

37 Mayor Pro Tem Johnson-Burick commented
38

39 Mr. Salazar gave a department (Economic Development) update.
40

41 Mayor Hernandez commented
42

43 Trustee Cadena commented
44

45 Mayor Hernandez commented
46

47 **12. ADJOURNMENT**

The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-4)

48 **MEETING ADJOURNED AT 9: P.M.**
49

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APPROVED THIS 23th DAY OF MARCH, 2026.

Russell Hernandez
Mayor

ATTEST:

Gloria S. Maya
Town Clerk/Treasurer

****BOT MEETINGS ARE AVAILABLE LIVE ON TOWN OF MESILLA'S YOUTUBE PAGE****

DRAFT



A PROCLAMATION DECLARING APRIL 12-18, 2026, AS NATIONAL PUBLIC SAFETY TELECOMMUNICATIONS WEEK

WHEREAS, when an emergency occurs the prompt response of police officers, firefighters, and paramedics is critical to the protection of life and preservation of property; and

WHEREAS, the safety of our police officers, firefighters and emergency medical personnel is dependent upon the quality and accuracy of information obtained from citizens who telephone the Mesilla Valley Regional Dispatch Authority Communications Center; and

WHEREAS, professional Public Safety Telecommunicators are a vital link between citizens and victims and are the first and most critical contact our citizens have with emergency services; and

WHEREAS, Public Safety Telecommunicators are the single vital link for our police officers, firefighters, and emergency medical personnel by monitoring their activities by radio, providing them information, and ensuring their safety; and

WHEREAS, Public Safety Telecommunicators of the Mesilla Valley Regional Dispatch Authority are the First, First Responders who contributed substantially as part of the public safety community; and

WHEREAS, each dispatcher and call taker has exhibited compassion, understanding, and professionalism during the performance of their job in the past year.

NOW, THEREFORE, IT IS PROCLAIMED by the Town of Mesilla Mayor and Board of Trustee the week of April 12-18, 2026, to be National Public Safety Telecommunications Week, in honor of the men and women whose diligence and professionalism keep our communities and citizens safe.

IN WITNESS WHEREOF, on this 8th day of April 2026.

Russell Hernandez
Mayor

**BOARD ACTION FORM
RECONSIDERATION**

PZHAC: 3/2/26

BOT: 3/23/2026

**DAC ACCOUNT # R0400742
BLDG CODE – SIGN
EVALUATION COST- \$N/A
FEE - \$16**

ITEM: PZHAC SIGN #062098 – 1200 W University, submitted by Jornada Masonic Lodge. Requesting approval to install a sign. ZONE: Single-Family Residential (R1).

BACKGROUND AND ANALYSIS:

Mr. Joe Chrisman, applicant for Jornada Masonic Lodge, is requesting approval to install a free-standing sign on their property 4 ft from the edge of the sidewalk and approximately 50 ft from the west boundary line. As detailed in the sign specs, the sign size will be 4 ft x 2 ft and constructed in 3 pieces of 1/8" steel sandwiched together. The two outside sheets have cut-out letters/designs. Will be finished with light brown powder coat material. The inner sheet is solid and finished in turquoise powder coat material.

The legs will be made out of perforated galvanized steel square tubing. The total height would be approximately 10 ft, and the bottom of the sign will be 7.5 ft. The base will be buried 3 ft into the ground with 2'x2' square tubing as anchors.

The purpose of the sign is to identify where the lodge is located. Mr. Chrisman stated, they do a lot of charity work and help the community by giving away items such as; wheelchairs, crutches, and other needs people might need. Many struggle in locating the place as it sits back away from the main road.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- The applicant has the authority to appeal the decision from PZHAC to BOT.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Have final approval on certain cases determined by the BOT.
4. Deny the application.

DEPARTMENT COMMENTS:

- Property is zoned, single-family residential (R1)- it is not being used for residential purposes but as assembly type occupancy according to International Building Code (IBC).
- MTC 15.15.010(B) - *The town of Mesilla hereby adopts the 2003 International Building Code and the 2003 International Residential Code, including all amendments thereto and all future editions thereof. A copy of said codes are on file in the office of the building official.*
- MTC 18.30.020(F) - *One unlighted sign not to exceed one square foot in area and containing only the name and address of the occupants.*
- The building currently has a sign/letters on it (see attached).
- No lighting for the sign is being proposed.

- MTC 18.65.090 - *When the proposed sign is in compliance with all the requirements of these guidelines and all other laws and ordinances of the town, the permit may be issued administratively by the duly authorized representative for repair and maintenance of existing signs, temporary signs or sandwich board signs and may be issued following the recommendation of the planning, zoning and historical appropriateness commission, and approval of the board of trustees for all other signs that are in compliance with the requirements of these guidelines and all other laws and ordinances of the town. If the work authorized under a sign permit has not been completed within six months after date of issuance, the permit shall become null and void. The application must be acted upon by the board of trustees within 75 days from the date of application.*
- Lodge has been in existence a very long time. Was not able to find a set date but according to Masonic Lodge number 70, it was established earlier than Grand Lodge's history and that is known to be established approximately 1877.
- No Mesilla records found to have a special/conditional use permit.
- Approval for residential sign requests are considered administratively, but due to the complexity of this request, it is being forwarded to PZHAC for interpretation.
- Applicant must contact NM DOT office to obtain a permit through their office or if no permit is necessary, obtain a document stating so.
- Request was approved by PZHAC with the condition it must meet if necessary all of NM DOT regulations regarding signage along a state highway to include setbacks (5-ft).
- NM DOT District one main office is in Deming, contact phone number is 575-494-3227 or 1-800-444-0745; 2912 E, Pine St. Deming NM 88030
- NM DOT Las Cruces satellite office, 575-526-2512; 750 N Solano Dr. Las Cruces NM 88001, for general inquiries.
- **EXCEPTIONS:** MTC 18.65.170(C) - *One bulletin board not over eight square feet in area for public, charitable, or religious institutions when the same are located on the premises of said institutions.*

SUPPORTING INFORMATION:

- Proof of ownership
- Street View
- Sign Specs
- Site Plan

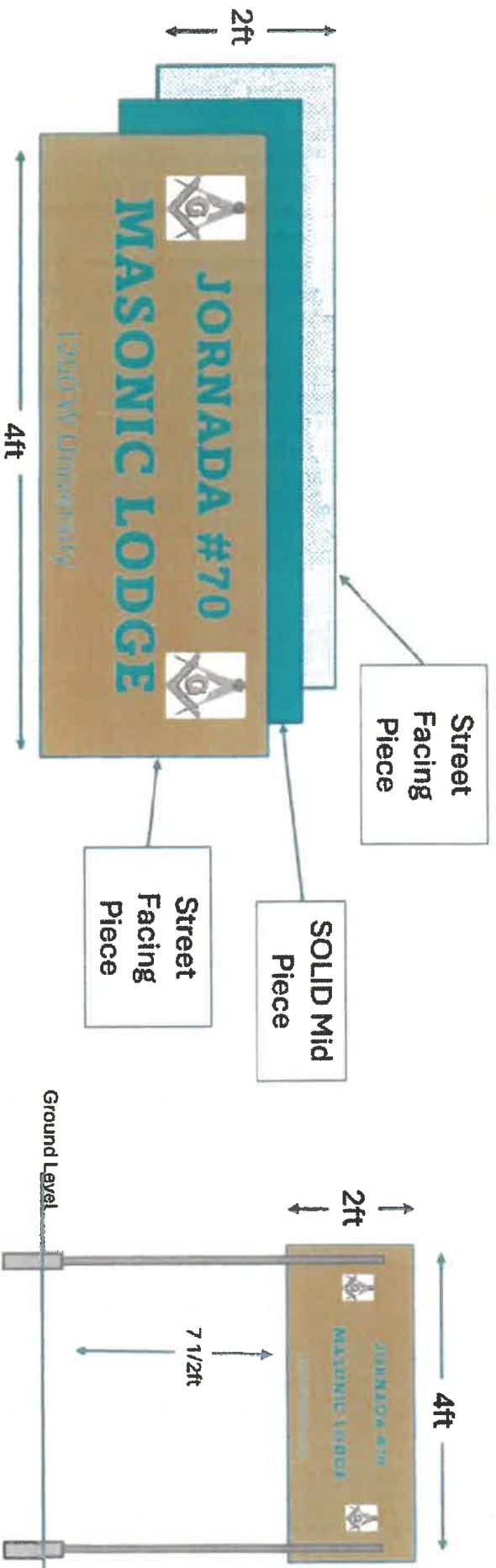
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SUPPORTING INFORMATION:

- Proof of ownership
- Street View
- Sign Specs
- Site Plan
- Grand Lodge of NM Information

Jornada Masonic Lodge Sign 1200 W University

Sign dimensions are 4ft x 2 ft. The sign is constructed of three pieces of 1/8in steel sandwiched together. The two outside sheets have cut-out letters and designs and will be finished with sand (light brown) powder coat material. The inner steel sheet is solid and finished in turquoise powder coat material.



The sign will be supported by 2 legs. Each leg will be composed of 2 pieces of perforated galvanized steel square tubing. The base portion is 4 ft long, 2in x 2in tubing buried 3ft into the ground. The upper section is 10ft long, 1.75in x 1.75in piece attached to the base and sign with weather resistant, tamper proof bolts with nuts.

Lodge Parcel



Jornada Masonic Lodge (1200 W University) Sign Placement

The Jornada Masonic Lodge Sign will be installed perpendicular to University Ave approximately 50 ft from the west property line. The southern leg will be at least 4 ft from the edge of the sidewalk.

Roads DAC Parcels DAC Boundary



2090 Snow Road – Timeline

November 2025-Began looking at the property to nominate and looked at photos on Zillow.

First week of December- Aida Lopez contacted Mr. Salazar via phone and explained she is looking to purchase the property. He then mentioned that we are currently looking to nominate the property for our Historical Register. He then referred to Ms. Aguirre to call her.

12/8- Ms. Aguirre made contact with Aida Lopez, potential buyer for property. She was told that the property was being looked at to be included into our historic register. She made plans to meet with the contractor and Ms. Aguirre at the site Saturday, 12/20/2025.

12/16-Ms. Aguirre contacted Richard Knopp to ask about history of the property and family. Mr. Knopp was looking forward to sharing stating he has all his documents at his home in El Paso and will meet with her in the New Year.

12/20-Ms. Aguirre visited and walked through property with Mrs. Lopez. Explained what would be possible if the property was nominated and stated that ultimately things would go through the planning process. She met both Mrs. Lopez and the contractor there, he was in contact with the realtor who gave him the key code to get into the property.

12/22- Ms. Aguirre and Mr. Salazar visited the property to take street photos and were greeted by John Knopp. He welcomed us in and told us the history of the property and his family. Ms. Aguirre began receiving multiple calls from Richard Knopp on how she was interrupting the sale of the property.

12/23- Mr. Salazar contacted Richard Knopp and stated what was happening and that the property is up for nomination and that at the moment, any work could be permitted on the property. All that is required is to submit a permit. Liana contacted a Historic Preservation lawyer and the Historic Preservation Division in Santa Fe to ensure that nomination when a property is being sold is legal and within Preservation law.

1/16/2026- Meeting with Realtors Van Bullock and Kate Feltzer, Aida Lopez and Mr. Salazar and Ms. Aguirre. We met and advised that property was still not formally on register and work can be still be done and recommended submitting a permit.

1/28/2026- All property owners were notified via certified mail that their properties would be nominated in an upcoming meeting three weeks out.

1/29/2026- The hearing was posted for the nominations that would occur at the PZHAC meeting two weeks out.

2/02/26- PZHAC meeting day- Although we were planning on nominating we did not at this meeting. We still did not receive a permit and decided to push forward the meeting for nomination to offer some more time and not seem as if we were being intentional in interrupting the sale.

2/10/2026- A permit was submitted with the name of Richard Knopp and signed by Aida Lopez, to make adjustments to the home.

2/17- PZHAC workshop and Hearing for nominations

2/24- Mrs. Aida Lopez, via realtor Kate Feltzer, pulled her permit.

3/2- Resolutions for BOT regarding nominations were approved

3/5-Posting was made for BOT meeting with nominations on the agenda

3/6- John Knopp came in to speak with the Mayor to propose the subdivision of land and demolition of the farmhands' quarters

3/9- Liana Aguirre made presentation on Historic Presentation as well as nominations and 2090 Snow Road was denied.

3/10- A man came in asking if he purchased the property on 2090 Snow Road, if he could subdivide the land and demolish the farmhands' quarters



RESOLUTION NO. 2026 - 13

**A RESOLUTION BY BOARD OF TRUSTEES APPROVING THE NOMINATION OF
PROPERTY AT 2090 SNOW ROAD, TO BE INCLUDED IN MESILLA'S LOCAL
HISTORIC REGISTER.**

**DECLARATION OF PURPOSE AND STATEMENT OF PUBLIC POLICY
MESILLA TOWN CODE (MTC) 18.33.040**

A. The board of trustees declares that the historical heritage of Mesilla and its historic buildings and its historic districts are among its most valued and important assets. The board finds that some buildings having historical, architectural, aesthetic and cultural value have been neglected, altered or destroyed notwithstanding the feasibility of preserving and continuing the use of such buildings and without adequate consideration of the irreplaceable loss to the public and the town. The board finds that the historic character of Mesilla is of vital importance in maintaining the economy of the town and that its historic landmarks and the buildings in its historic district can be preserved, rehabilitated and used. The board finds that this chapter benefits all the residents of Mesilla and all the owners of property.

B. The board of trustees declares as a matter of public policy that the preservation, protection and use of historic landmarks and buildings in the historic districts are a public necessity because they have a special character or a special historic, architectural, aesthetic or cultural value and thus serve as visible reminders of the history and heritage of this town, state and nation. The board declares as a matter of public policy that this chapter is required in the interest of the health, safety, welfare and economic well-being of the public. The board declares as a matter of public policy that the identification and designation of historic landmarks and historic districts and the approval or disapproval of exterior changes to designated property or their demolition or relocation or new construction on the site are stated to be a public purpose.

WHEREAS, consideration was given to 2090 Snow Road in Mesilla, this location was considered by its own individual hearing and its own vote by the Planning & Zoning Historical Appropriateness Commission; and

Nomination – Ginther Farm, Rural Farmland – 2090 Snow Road

WHEREAS, located at Snow Rd and Calle del Norte, showing rare agricultural examples on

a 10-acre parcel,

WHEREAS, Reflects early irrigation, farming patterns, and rural settlement,

WHEREAS, outside of Mesilla historic zone and not on the National Register,

WHEREAS, preservation of all of Mesilla’s historic structures is necessary, especially those significant structures outside the preservation umbrella,

WHEREAS, granted by New Mexico Historic District & Landmark Act; (NMSA3-22-1 et seq) empowers counties and municipalities to protect historic areas and landmarks,

WHEREAS, authority to Create Historic Districts and Landmarks: Section 3-22-3; states that any county or municipality with zoning authority, “may create, as part of its building and zoning regulations ... a zoning district designating certain areas as historical areas and landmarks.” It further authorizes local governments to adopt and enforce regulations concerning the erection, alteration, and destruction of exterior features of buildings and structures visible from public streets or places.

WHEREAS, also recently adopted by Mesilla Town Code, Title 18.33 Historic Preservation,

NOW THEREFORE, BE IT RESOLVED by the Board of Trustees of the Town of Mesilla that the above referenced historic registry nomination is here by approved.

PASSED, APPROVED AND ADOPTED this 23rd day of March 2026.

Russell Hernandez
Mayor

ATTESTED BY:

Gloria S Maya
Town Clerk-Treasurer

**BOARD ACTION FORM
AGENDA DATE**

PZHAC: 3/16/26

BOT: 3/23/2026

**DAC ACCOUNT # R1910578
BLDG CODE – NC
EVALUATION COST- \$375,000
FEE - \$6,127**

ITEM: PZHAC ZONING CASE#062102 – 1705B Tierra de Mesilla, submitted by Blanca G Huizar/El Parian de Mesilla. Requesting approval for restaurant floorplan. ZONE: Commercial (C).

BACKGROUND AND ANALYSIS:

Mrs. Huizar will be operating a restaurant business in a recent approved commercial building on the property. An alcohol license hearing was considered and approved with the condition a floor plan be submitted to show the restaurants layout to include serving of alcohol and consumption areas. Applicant did include an outside area for alcohol consumption.

IMPACT: The PZHAC has jurisdiction to recommend approval of this request to the BOT.

- The applicant has the authority to make an application request to the PZHAC and BOT.
- The applicant has the authority to appeal the decision from PZHAC to BOT.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Have final approval on certain cases determined by the BOT.
4. Deny the application.

DEPARTMENT COMMENTS:

- Commercial structure has been approved, this request is for the operating of the restaurant under these floorplans.
- A business plan had already been submitted with business application approval.

SUPPORTING INFORMATION:

- Application
- Plans (see attached)
- Flood Plan

DETERMINATION NOTES

-Approved 4-0, no conditions

ZP – 26 FORM



TOWN OF MESILLA

2231 AVENIDA DE MESILLA
 MESILLA, NM, 88046
 PO BOX 10
 575-524-3262

mesillaced@mesillanm.gov

2026 ZONING PERMIT APPLICATION

CASE # 062102

Review Fee \$	_____
Permit Fee \$	_____
Penalty Fee \$	_____
Extension Fee \$	_____
TOTAL FEE \$	_____

Name of property owner <i>Blanca G. Huizar</i>		Worksite Address <i>1705 B Tierrade Mesilla</i>	
ID/DI # [REDACTED]		Mailing Address [REDACTED]	
Phone <i>915-226-7417</i>		Email <i>huices@hotmail.com</i>	
Contractor <i>Merlyn Enterprises</i>		Mailing Address [REDACTED]	
Description of Proposed work <i>Restaurant</i>			
Evaluation Cost \$ [REDACTED]		Signature of Applicant <i>[Signature]</i>	
		Date <i>03-04-2025</i>	

ALONG WITH this application, proof of property ownership and signed contractor/client contract agreement is required to include evaluation cost of project. Plans are to be no larger than 11"x 17" or submitted electronically.

1. Site Plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to March 14, 1972.
2. Foundation Plan, new construction in full size drawings
3. Floor Plan, showing rooms, their uses and with dimensions
4. Cross section walls
5. Roof Plan and floor framing plan
6. Electrical Plans
7. Plumbing Plans
8. Elevations, details of architectural style and color scheme (checklist for Historic Zones)
9. Drainage plans (commercial)

Application is not considered to be submitted until ALL required documentation is submitted and application fee(s) are paid. Aside from administrative approvals, application process must undergo review by staff, PZHAC and/or BOT before permit is issued. All required NM CID permits must first obtain a zoning permit if work is to be performed in Mesilla. ***ALL permits must be displayed in clear view until final inspection***

OFFICE USE ONLY

Reviewed by: Public Works	<i>[Signature]</i> Lorenza Astorga (Mar 9, 2026 16:18:54 MDT)	Date	Mar 9, 2026
Fire Department	<i>[Signature]</i> Jag Whitard	Date	Mar 10, 2026
NM CID	<i>[Signature]</i> Thomas Maeso (Mar 10, 2026 08:04:36 MDT)	Date	Mar 10, 2026
Community Development	<i>[Signature]</i>	Date	Mar 9, 2026

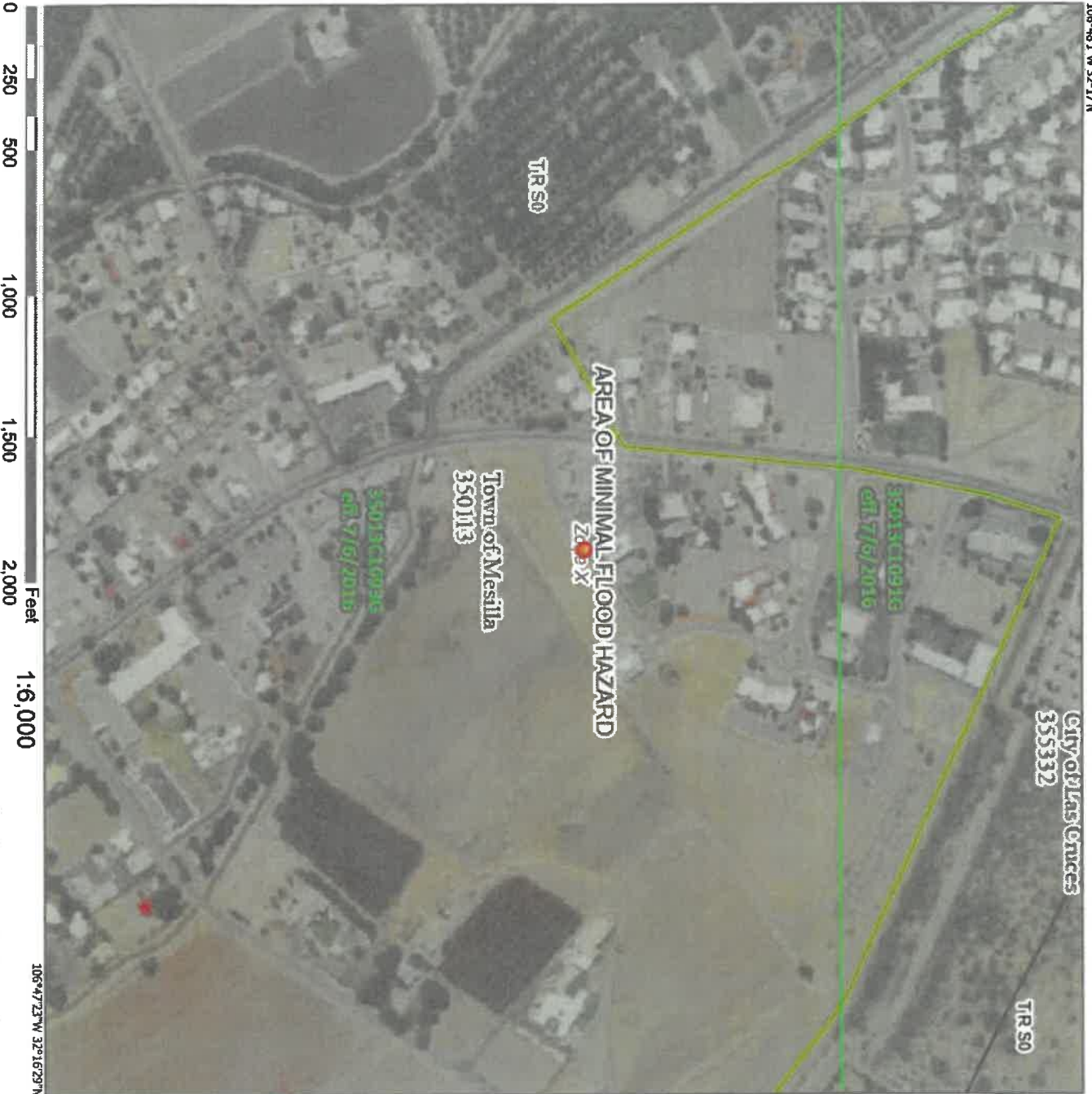
Date(s) Approved: _____ Administrative _____ PZHAC _____ BOT _____ CID

COMMENT(S) _____

National Flood Hazard Layer FIRMette



106°43'1"W 32°17'N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR PANEL LAYOUT

	Without Base Flood Elevation (BFE) Zone A, V, A99 With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway

	0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with diking areas of less than one square mile zone J
	Future Conditions 1% Annual Chance Flood Hazard zone X
	Area with Reduced Flood Risk due to Levee, See Notes, zone X
	Area with Flood Risk due to Levee zone D

	Area of Minimal Flood Hazard Zone X
	Effective LOMFRS

	Area of Undetermined Flood Hazard Zone
--	--

	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall

	20.2 Cross Sections with 1% Annual Chance
	Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)

	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature

	Digital Data Available
	No Digital Data Available
	Unmapped

Town of Mesilla
PLAN APPROXIMATE
COMPLYING COUL

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA standards for the use of digital flood maps. If it is for use in FEMA's basemap accuracy standards.

The hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map reflects changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRMI panel number, and FIRMI effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

EL PARIAN DE MESILLA TENANT IMPROVEMENT



1705 TIERRA DE MESILLA LAS CRUCES NM 88005

PROJECT TYPE RESTAURANT
CLIENT MR. CESAR & BLANCA HUIZAR
 1705 TIERRA DE MESILLA AVE
 LAS CRUCES NM 88005

DESIGN TEAM ALEPH MEDINA
 P O BOX 446 MESQUITE NM 88046

CHALET ARCHITECTS HECTOR REYNA
 311 MONTANA AVE A2 109 EL PASO TX 79902

CONTRACTOR MERLIN ENTERPRISES
 601 EAST HOPKINS 223 MESQUITE NM 88048

CONSULTANTS

STRUCTURE ENGINEER JACOB LILLEY LULLEY ENGINEERING INC

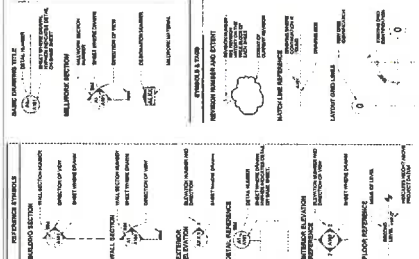
AVAIL ENGINEER JAIRO RODRIGUEZ JOR ENGINEERING

MECHANICAL ENGINEER JOSE MORALES RAVIS ENGINEERING

ELECTRICAL ENGINEER JOSE MORALES RAVIS ENGINEERING

ESSENTIAL FIRE PROTECTION SYSTEMS-4 ERIC E RODRIGUEZ

SYMBOL LEGEND



APPLICABLE CODES

- 2021 INTERNATIONAL BUILDING CODE (IBC)
- 2021 UNIFORM MECHANICAL CODE (UMC)
- 2021 NEVHONGO MECHANICAL CODE (NHMC)
- 2021 UNIFORM MECHANICAL CODE (UMC)
- 2021 UNIFORM PLUMBING CODE (UPC)
- 2021 INTERNATIONAL FIRE CODE (IFC)
- 2021 NATIONAL ELECTRICAL CODE (NEC)
- 2021 NEVHONGO COMMERCIAL BUILDING CODE (NHCC)
- 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2021 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (AUG)

MATERIAL LEGEND



ARIEL VIEW



AREA OF NEW ADDITION

DRAWING INDEX

- 7001 COVER SHEET
- CIVIL**
- C1-00 GENERAL NOTES
 - C2-00 EXISTING PHOTOGRAPHY
 - C3-00 EXISTING SITE PLAN
 - C4-00 EXISTING DRAINAGE AREA PLAN
 - C5-00 NEW DRAINAGE AREA
 - C6-00 NEW DRAINAGE AREA
 - C7-00 GRADING PLAN
- STRUCTURAL**
- S1-00 GENERAL NOTES
 - S2-00 FOUNDATION PLAN
 - S3-00 FLOOR PLAN
 - S4-00 STAIRWELL PLAN AND DETAILS
- MECHANICAL**
- M1-00 GENERAL NOTES
 - M2-00 MECHANICAL PLAN
 - M3-00 MECHANICAL SCHEDULE
 - M4-01 KITCHEN EQUIPMENT PLAN
 - M4-02 KITCHEN EQUIPMENT PLAN
 - M4-03 KITCHEN EQUIPMENT PLAN
 - M4-04 KITCHEN EQUIPMENT PLAN
 - M4-05 KITCHEN EQUIPMENT PLAN
 - M4-06 KITCHEN EQUIPMENT PLAN
 - M4-07 KITCHEN EQUIPMENT PLAN
 - M4-08 KITCHEN EQUIPMENT PLAN
 - M4-09 KITCHEN EQUIPMENT PLAN
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 - M4-14 KITCHEN EQUIPMENT PLAN
 - M4-15 KITCHEN EQUIPMENT PLAN
 - M4-16 KITCHEN EQUIPMENT PLAN
 - M4-17 KITCHEN EQUIPMENT PLAN
- ELECTRICAL**
- E1-00 ELECTRICAL GENERAL NOTES
 - E2-00 LIGHTING PLAN
 - E3-00 POWER PLAN
 - E4-00 ROUGH POWER PLAN
 - E5-00 ELECTRICAL DETAILS
 - E6-00 ELECTRICAL SCHEDULE
 - E7-00 ELECTRICAL PANEL SCHEDULE
- FIRE PROTECTION**
- F1-00 FIRE LINE HYDRAULIC ANALYSIS
 - F2-00 HYDRAULIC DOCUMENTS
 - F3-00 HYDRAULIC DOCUMENTS
 - F4-00 HYDRAULIC DOCUMENTS

VICINITY MAP



PROJECT INFORMATION

PROJECT NAME EL PARIAN DE MESILLA RESTAURANT

PROJECT NO. 2023-001

OWNER MR. CESAR & BLANCA HUIZAR

LOCAL JURISDICTION LAS CRUCES, NM

DATE 08/15/2023

SCALE AS SHOWN

NO.	DESCRIPTION	DATE	BY	CHKD BY
1	ISSUE FOR PERMIT	08/15/2023	JM	AS
2	ISSUE FOR PERMIT	08/15/2023	JM	AS
3	ISSUE FOR PERMIT	08/15/2023	JM	AS
4	ISSUE FOR PERMIT	08/15/2023	JM	AS
5	ISSUE FOR PERMIT	08/15/2023	JM	AS
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100	ISSUE FOR PERMIT	08/15/2023	JM	AS

REVISION TABLE

NO.	DATE	DESCRIPTION

PROJECT # GENVELE-03
SCALE: NTS
COVER PAGE

SHEET: T.00
DATE: 3/3/26

CONSULTANTS

MERLIN ENTERPRISES
 COMMERCIAL & INDUSTRIAL
 CONSTRUCTION MANAGEMENT
 AND DESIGN

CHALET Architecture Studio
 3440 PROUD EAGLE DRIVE
 EL PASO, TX 79906
 Tel: (915) 400-0111
 www.chaletarchitecture.com

REVISION TABLE	CHECKED BY	DATE

PROJECT # **GEN/ELE-03**

SCALE: **NTS**

STANDARD DETAILS

SHEET: **C.02**

DATE: **3/3/26**

REVISION	DESCRIPTION	DATE

JG RODRIGUEZ
ENGINEERING

209 S. GARDNER ST., #101-111
HOUSTON, TEXAS 77058 (6302)
TXAS REG. #1049

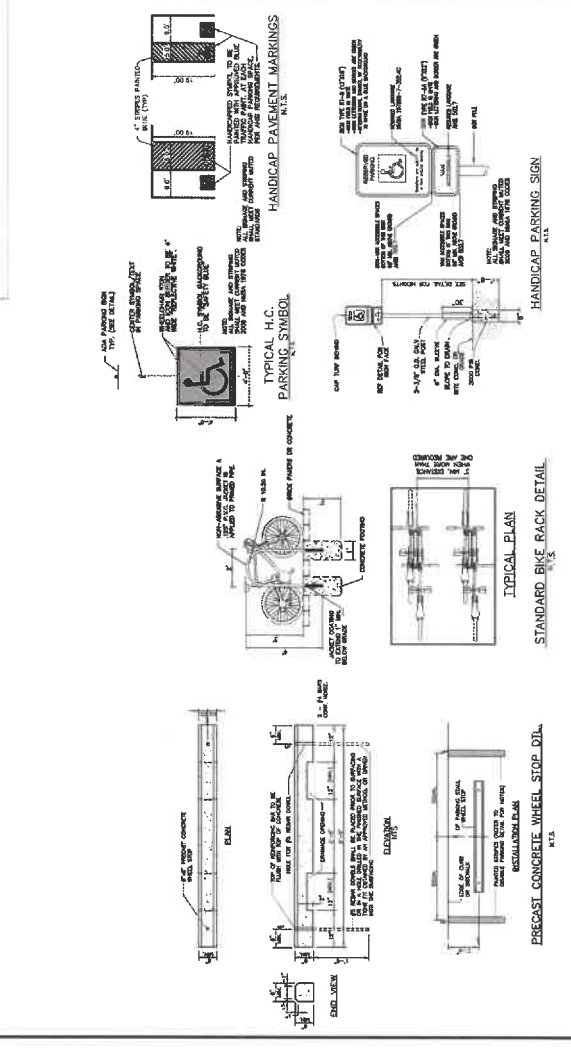
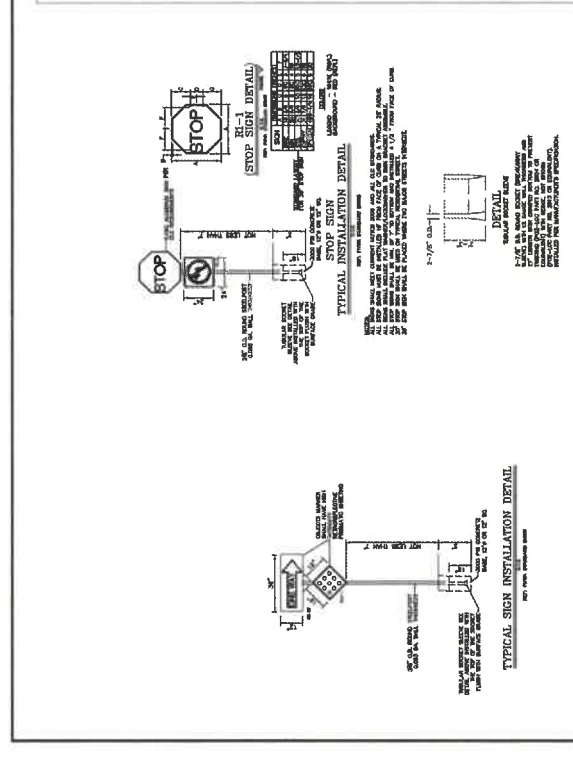
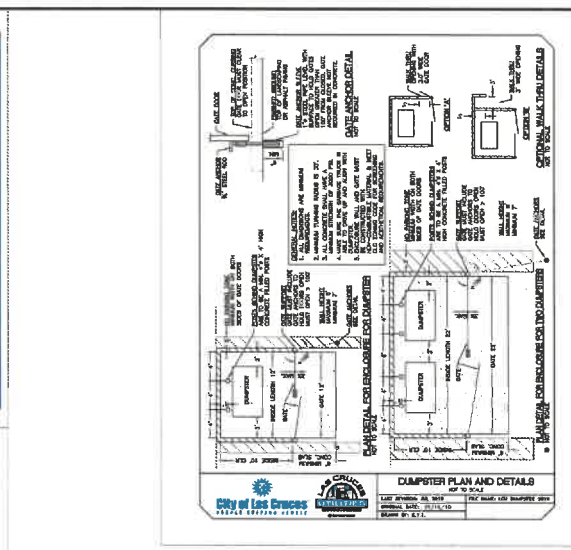
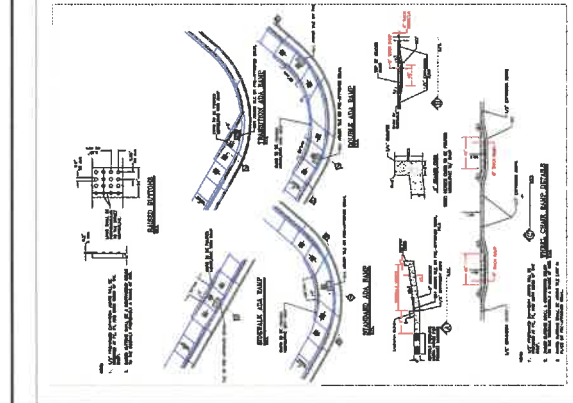
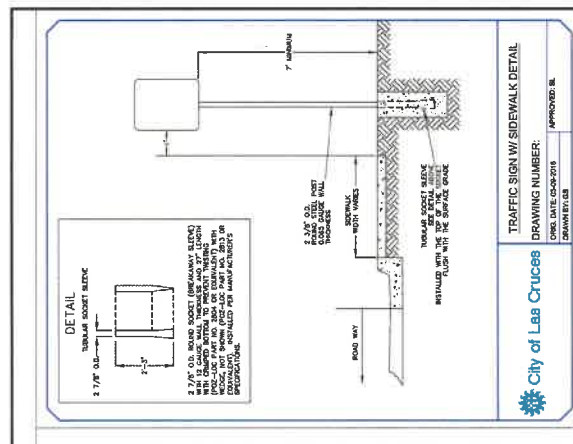
FOR REVIEW ONLY

STANDARD DETAILS 1 OF 2

MR. & MRS. HUIZARS
EL PARIAN DE MESILLA
1705 TIERRA DE MESILLA
LAS CRUCES, NEW MEXICO, 88007

PROJECT # **C9.00**

DATE: **3/3/26**





CHALET Architecture Studio
 3440 PROUD EAGLE DRIVE
 EL PASO, TX 79959
 Tel: (915) 433-0011
 www.chaletarchitecture.com



NUMBER	DATE	REVISION	BY

PROJECT #
GENEVE-03

SCALE:
NTS

CIVIL SITE PLAN

SHEET: **C3.00 R2**
 DATE: **3/3/26**

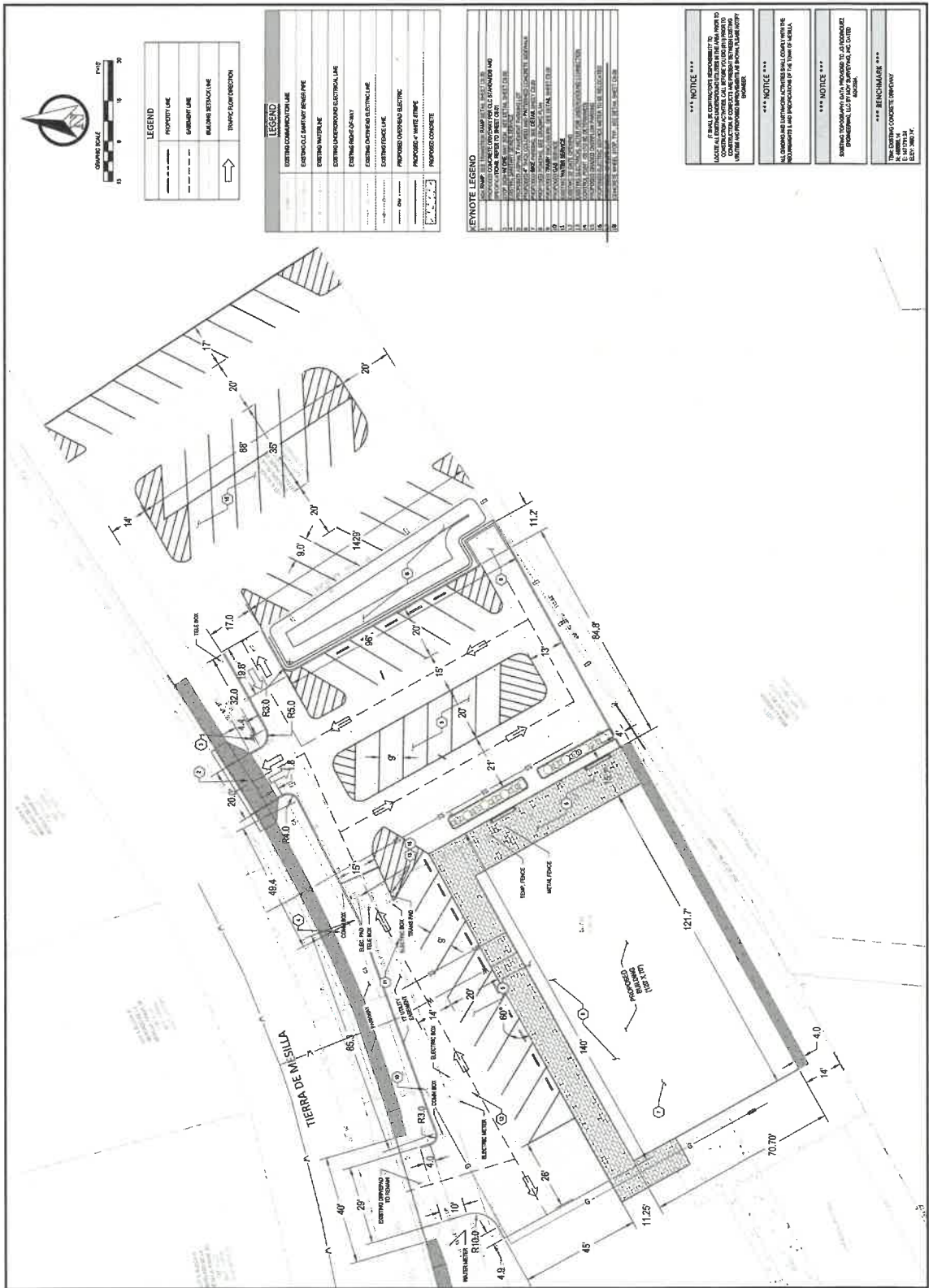
REV. NO.	DESCRIPTION	DATE

JGR ENGINEERING
 200 S. GARDNER DR. #101-111
 HOUSTON, TEXAS 77057
 TEL: 281.441.1323
 FAX: 281.441.1324
 JGR.ENG.COM



SITE PLAN
 MR. & MRS. HUIZARS
 EL PARIAN DE MESILLA
 1705 TIERRA DE MESILLA
 LAS CRUCES, NEW MEXICO, 88007

DESIGN: JGR
 DRAWING: JGR
 CHECKED: JGR
 SHEET: C3.00 R2
 SHEET #





CHALET Architecture Studio
 3440 BRUNO ESCOBAR DRIVE
 EL PASO, TX 79968
 Tel: (915) 433-0011
 www.chaletarchitecture.com



REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

SCALE: **NTS**
 PROJECT #: **GEN/FE-03**
EXISTING DRAINAGE AREA MAP

SHEET: **C6.R2**
 DATE: **3/3/26**

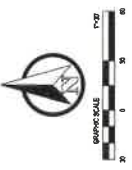
REVISION	DATE	DESCRIPTION

JGR ENGINEERING
 CIVIL ENGINEERING
 300 S. GARIBOLDI DR. #101-111
 HOUSTON, TEXAS 77057 (972) 642-1232
 TEXAS REG. # 18040



EXISTING DRAINAGE AREA MAP
 MR. & MRS. HUIZAR'S
 EL PARIAN DE MESILLA
 1705 TERRA DE MESILLA
 LAS CRUCES, NEW MEXICO, 88007

SHEET: **C6.00 R2**
 DATE: **08/1/20**



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DRAINAGE CALCULATIONS

PROJECT AREA = 65,776 SF
 SOIL TYPE: SILT LOAM (HYDROLOGIC SOIL GROUP A)
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 B99 - SILT LOAM (HYDROLOGIC SOIL GROUP A)
 B100 - SILT LOAM (HYDROLOGIC SOIL GROUP A)

EXISTING CONDITIONS

DA-01: PEAK DISCHARGE = 5.9 CFS
 DISCHARGE VOLUME = 4,603 CF
 DA-02: PEAK DISCHARGE = 12.7 CFS
 DISCHARGE VOLUME = 27,264 CF
 TOTAL DISCHARGE = 46,867 CF
 REQUIRED STORAGE VOLUME = 2,202 CF X 1.25 FS = 2,752 CF
 PROPOSED STORAGE VOLUME = 2,752 CF
 DEVELOPED RUNOFF ON-SITE TO MATCH EXISTING CONDITIONS.
 TOTAL STORAGE VOLUME PROVIDED = 4,208 CF (SEE THIS SHEET POND INFORMATION)

ENCLOSED CONDITIONS

DA-01: PEAK DISCHARGE = 5.9 CFS
 DISCHARGE VOLUME = 4,603 CF
 DA-02: PEAK DISCHARGE = 12.7 CFS
 DISCHARGE VOLUME = 27,264 CF
 TOTAL DISCHARGE = 46,867 CF
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 DEVELOPED RUNOFF ON-SITE TO MATCH EXISTING CONDITIONS.
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***** NOTICE *****

THIS PLAN AND SPECIFICATIONS SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OF THIS PLAN FOR OTHER PROJECTS OR SITES WITHOUT THE WRITTEN CONSENT OF THE ENGINEER IS STRICTLY PROHIBITED. THE ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS PLAN OR SPECIFICATIONS.

***** NOTICE *****

ALL DRAWINGS AND PARTWORK ACTIVITIES SHALL COMPLY WITH THE REGULATIONS AND OPERATIONS OF THE CITY OF LAS CRUCES.

***** NOTICE *****

FOR MORE INFORMATION CONTACT THE ENGINEER AT THE ADDRESS LISTED BELOW. THE ENGINEER'S OFFICE IS LOCATED AT 300 S. GARIBOLDI DR. #101-111, HOUSTON, TEXAS 77057. TEL: (972) 642-1232. FAX: (972) 642-1233.





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 3440 PROUD EAGLE DRIVE
 EL PASO, TX 79888
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 www.chaletarchitecture.com

REVISION #	DATE	DESCRIPTION

PROJECT # **GEN/EE-03**
 SCALE: **NTS**
PROPOSED DRAINAGE AREA PLAN
 SHEET: **C6.01 R2** DATE: **3/3/26**

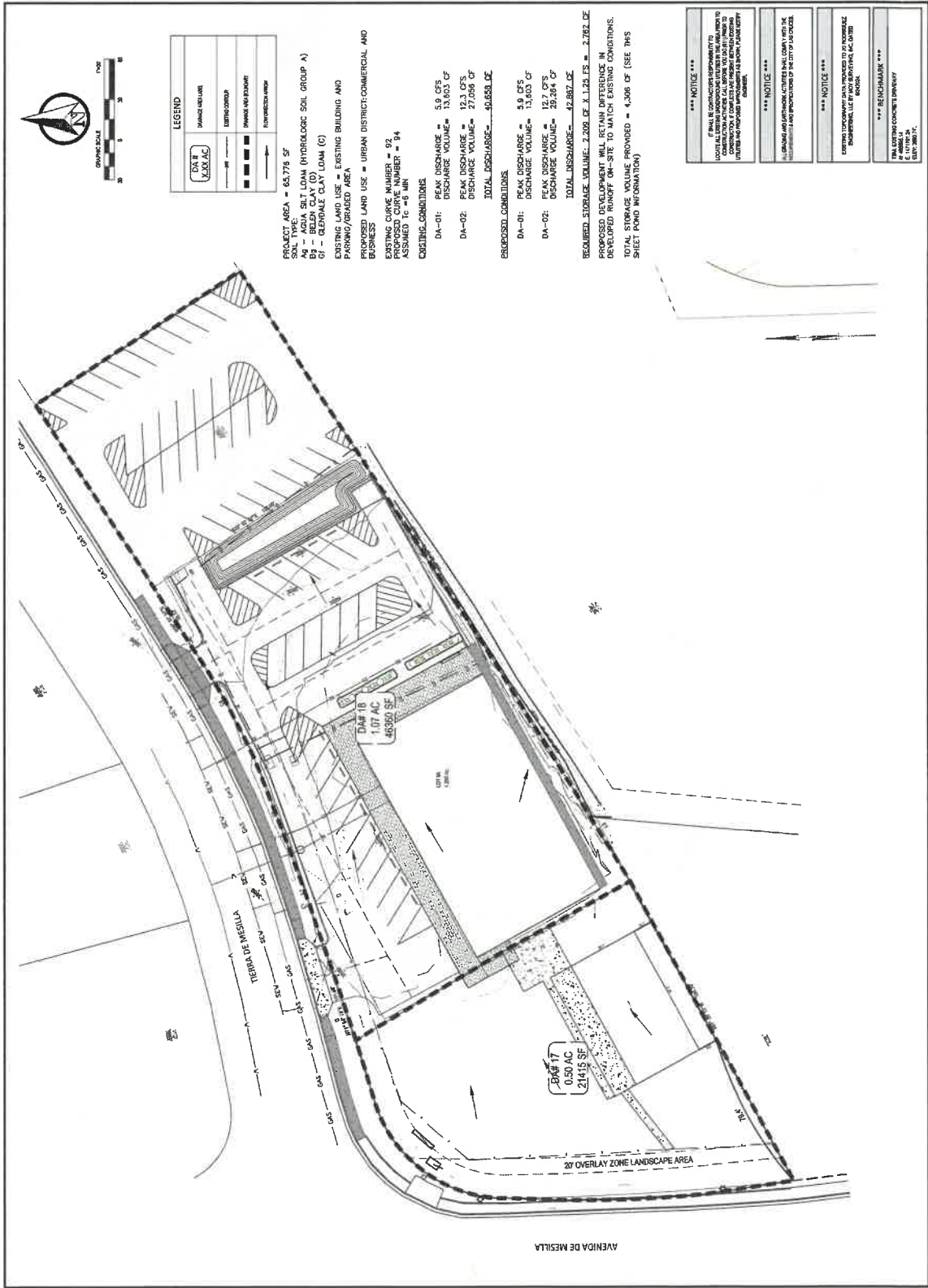
NO.	DATE	DESCRIPTION

J.R. RODRIGUEZ
 CIVIL ENGINEERING
 200 E. GARLAND ST., #101-111
 EL PASO, TEXAS 79901
 TEL: 915.764.1314
 TEXAS REG. NO. 12114



PROPOSED DRAINAGE AREA MAP
 MR. & MRS. HUIZARS
 EL PARRAN DE MESILLA
 1705 TIERRA DE MESILLA
 LAS CRUCES, NEW MEXICO, 88007

DATE: **JULY 2015**
 CHECKED: **JRS**
 SHEET: **C6.01 R2**
 DRAWN BY: **JRS**





JGR ENGINEERING
CIVIL ENGINEERING • PROFESSIONAL CORPORATION

200 S. QUINCE RD. #101-111
AUSTON GARDENS, TEXAS 78007
TEL: 817-423-1313



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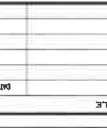
REVISION SCHEDULE

NO.	DESCRIPTION	DATE



JGR ENGINEERING
CIVIL ENGINEERING • PROFESSIONAL CORPORATION

200 S. QUINCE RD. #101-111
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AUSTON GARDENS, TEXAS 78007
TEL: 817-423-1313

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

GRADING PLAN

MRS. & MRS. HUIZAR'S
EL PARRAN DE MESILLA
1705 TIERRA DE MESILLA
LAS CRUCES, NEW MEXICO, 88007

DATE: _____

DESCRIPTION TABLE

NUMBER	DATE	REVISION	BY	DATE

PROJECT # GEN/EE-03 **SCALE:** NTS

DRAINAGE PLAN

SHEET: CT.0R2 **DATE:** 3/2/26

C7.00 R2

Sheet # _____

Drawn by _____

Checked by _____

Scale _____

Plot Date _____

Plot Size _____

Plot Title _____

GRADING PLAN

MRS. & MRS. HUIZAR'S
EL PARRAN DE MESILLA
1705 TIERRA DE MESILLA
LAS CRUCES, NEW MEXICO, 88007

DATE: _____

DESCRIPTION TABLE

NUMBER	DATE	REVISION	BY	DATE

PROJECT # GEN/EE-03 **SCALE:** NTS

DRAINAGE PLAN

SHEET: CT.0R2 **DATE:** 3/2/26

C7.00 R2

Sheet # _____

Drawn by _____

Checked by _____

Scale _____

Plot Date _____

Plot Size _____

Plot Title _____

GRADING PLAN

MRS. & MRS. HUIZAR'S
EL PARRAN DE MESILLA
1705 TIERRA DE MESILLA
LAS CRUCES, NEW MEXICO, 88007

DATE: _____

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PROJECT # GEN/EE-03 **SCALE:** NTS

DRAINAGE PLAN

SHEET: CT.0R2 **DATE:** 3/2/26

C7.00 R2

Sheet # _____

Drawn by _____

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GRADING PLAN

MRS. & MRS. HUIZAR'S
EL PARRAN DE MESILLA
1705 TIERRA DE MESILLA
LAS CRUCES, NEW MEXICO, 88007

DATE: _____

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PROJECT # GEN/EE-03 **SCALE:** NTS

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SHEET: CT.0R2 **DATE:** 3/2/26

C7.00 R2

Sheet # _____

Drawn by _____

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Scale _____

Plot Date _____

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Plot Title _____



REVISION TABLE	REVISION	DATE

PROJECT #
GENEVE-03

SCALE:
NTS

SPECIFICATIONS

SHEET: **S.100**

DATE: 3/7/26

1705 TIERRA DE MESSILA, LAS CRUCES, NM

CLIENT: MERINA

PROJECT: PARDON DE MESSILA

CLIENT: MERINA

PROJECT: PARDON DE MESSILA

CLIENT: MERINA

PROJECT: PARDON DE MESSILA

CLIENT: MERINA

PROJECT: PARDON DE MESSILA

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CLIENT: MERINA

PROJECT: PARDON DE MESSILA

CLIENT: MERINA

PROJECT: PARDON DE MESSILA

CLIENT: MERINA

PROJECT: PARDON DE MESSILA

STRUCTURAL STEEL

1. ALL FABRICATION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
2. ALL STRUCTURAL STEEL PLATES AND SHAPES SHALL CONFORM TO AISC PERMANENT DIMENSION AND WEIGHT TABLES.
3. ALL STRUCTURAL STEEL SHALL BE WELDED TO THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
4. ALL STRUCTURAL STEEL SHALL BE WELDED TO THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.

STRUCTURAL STEEL (JOB FABRICATED)

1. STRUCTURAL STEEL SHALL BE WELDED TO THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
2. ALL STRUCTURAL STEEL SHALL BE WELDED TO THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
3. ALL STRUCTURAL STEEL SHALL BE WELDED TO THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
4. ALL STRUCTURAL STEEL SHALL BE WELDED TO THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.

CONCRETE FORM MATERIALS

1. ALL FORMS SHALL BE DESIGNED TO PROVIDE CONTINUOUS STRUTTING, SMOOTH FINISH, USE LAMBERT PRACTICE, AND TO BE REUSED FOR AT LEAST 100 CYCLES.
2. ALL FORMS SHALL BE DESIGNED TO PROVIDE CONTINUOUS STRUTTING, SMOOTH FINISH, USE LAMBERT PRACTICE, AND TO BE REUSED FOR AT LEAST 100 CYCLES.
3. ALL FORMS SHALL BE DESIGNED TO PROVIDE CONTINUOUS STRUTTING, SMOOTH FINISH, USE LAMBERT PRACTICE, AND TO BE REUSED FOR AT LEAST 100 CYCLES.
4. ALL FORMS SHALL BE DESIGNED TO PROVIDE CONTINUOUS STRUTTING, SMOOTH FINISH, USE LAMBERT PRACTICE, AND TO BE REUSED FOR AT LEAST 100 CYCLES.

CONCRETE REINFORCEMENT

1. ALL REINFORCEMENT SHALL BE WELDED TO THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
2. ALL REINFORCEMENT SHALL BE WELDED TO THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
3. ALL REINFORCEMENT SHALL BE WELDED TO THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE WELDED TO THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.

WOOD FRAMING AND LUMBER

1. ALL LUMBER ON THIS PROJECT SHALL MEET THE REQUIREMENTS SHOWN IN THE "TIMBER CONSTRUCTION" SECTION OF THE SPECIFICATIONS.
2. ALL LUMBER ON THIS PROJECT SHALL MEET THE REQUIREMENTS SHOWN IN THE "TIMBER CONSTRUCTION" SECTION OF THE SPECIFICATIONS.
3. ALL LUMBER ON THIS PROJECT SHALL MEET THE REQUIREMENTS SHOWN IN THE "TIMBER CONSTRUCTION" SECTION OF THE SPECIFICATIONS.
4. ALL LUMBER ON THIS PROJECT SHALL MEET THE REQUIREMENTS SHOWN IN THE "TIMBER CONSTRUCTION" SECTION OF THE SPECIFICATIONS.

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.

DESIGN CRITERIA

- MINIMUM DESIGN LOADS
- ROOF DEAD LOAD 15 PSF
- ROOF LIVE LOAD 20 PSF
- CEILING DEAD LOAD 5 PSF
- WIND SPEED CATEGORY B
- WIND EXPOSURE CATEGORY B
- WIND IMPORTANCE FACTOR 1.15
- SEISMIC CATEGORY B
- SEISMIC IMPORTANCE FACTOR 1.0
- SEISMIC DESIGN CATEGORY B
- SEISMIC IMPORTANCE FACTOR 1.0

EXCAVATION-BACKFILLING

1. EXCAVATION SHALL BE IN ACCORDANCE WITH THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
2. EXCAVATION SHALL BE IN ACCORDANCE WITH THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
4. EXCAVATION SHALL BE IN ACCORDANCE WITH THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.

CAST-IN-PLACE CONCRETE

1. ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
2. ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
3. ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.
4. ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE LATEST AISC, AISC, AISC, AISC AND AISC SPECIFICATIONS.



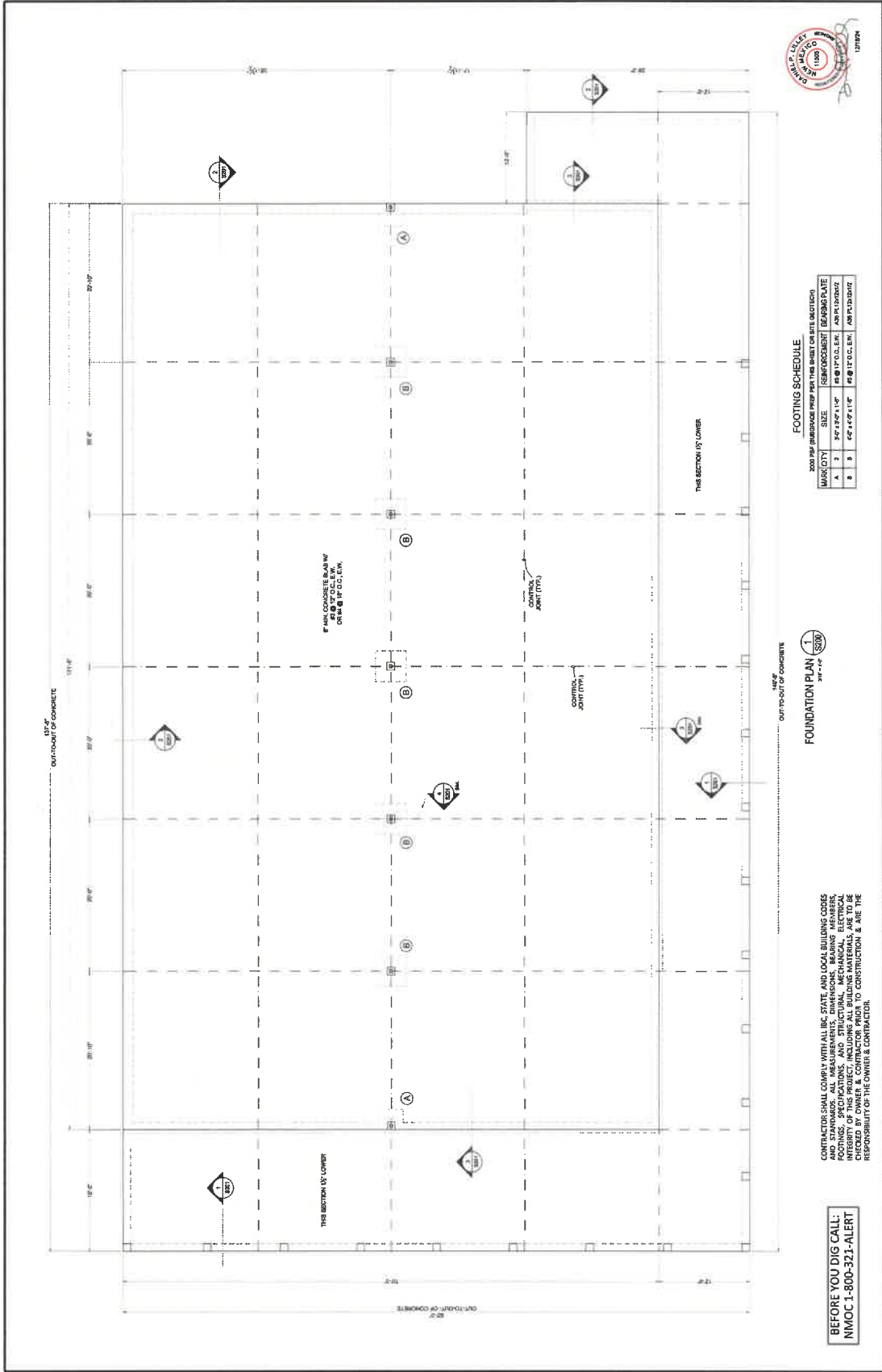
CHALET Architecture Studio
 3440 PROULX EAGLE DRIVE
 EL PASO, TX 79926
 Tel: (915) 433-0011
 www.chaletarchitecture.com



REVISION TABLE	DESIGN	BY	DATE

PROJECT #
 GEV/ELE-03
 SCALE:
 3/16"=1'-0"
FOUNDATION PLAN

SHEET: **\$200**
 DATE: 3/3/26



FOOTING SCHEDULE
 2000 PSI FIBERGLASS PREP FOR THE SHEET ON RITE GROUTERY

MARK	QTY	SIZE	REINFORCEMENT	BEARING PLATE
A	2	36" x 36" x 1'-0"	#4 @ 12" O.C. E.W.	AN/P/12/30/22
B	9	48" x 48" x 1'-0"	#4 @ 12" O.C. E.W.	AN/P/12/30/22



FOUNDATION PLAN
 SHEET 1 OF 2

CONTRACTOR SHALL COMPLY WITH ALL IBC, STATE, AND LOCAL BUILDING CODES AND STANDARDS. ALL MEASUREMENTS, DIMENSIONS, BEARING MEMBER, AND MATERIALS SHALL BE AS SHOWN ON THIS PLAN. THE INTEGRITY OF THIS PROJECT, INCLUDING ALL BUILDING MATERIALS ARE TO BE CHECKED BY OWNER & CONTRACTOR PRIOR TO CONSTRUCTION & ARE THE RESPONSIBILITY OF THE OWNER & CONTRACTOR.

**BEFORE YOU DIG CALL:
 NIMOC 1-800-321-ALERT**

NO.	DATE	INITIAL RELEASE	DL	JD	AN	CAH	BY	DATE	REVISIONS/RECORDS OF ISSUES

CLIENT: MEDINA
 PROJECT: PARIAN DE MESSILA
LILLEY ENGINEERING INC.
 1705 TIERRA DE MESSILA, LAS CRUCES, NM
 87801-0008
 240415
FOUNDATION PLAN
 SHEET S200
 PARIAN 0



**COMERCIAL & RESIDENTIAL
CONSTRUCTION MANAGEMENT
AND DESIGN**

MERLIN ENTERPRISES
GENERAL BUILDING / ELECTRICAL CONTRACTORS

CONSULTANTS



**CHALET
Architecture
Studio**

3440 PROUD EAGLE DRIVE
El Paso, TX 79960
Tel: (915) 433-0011
www.chaletarchstudio.com



NUMBER	DATE	REVISION BY	REVISION

PROJECT #
GEN/ELE-03

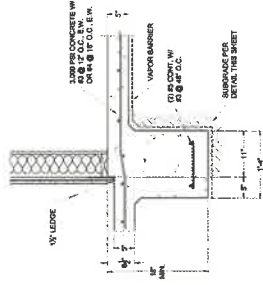
SCALE:
NTS

FOUNDATION PLAN

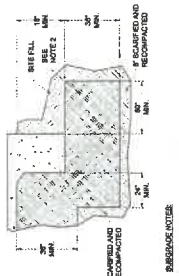
SHEET #
S201

DATE:
3/3/26

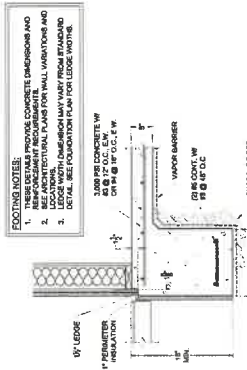
12/19/24
PARIAN 0



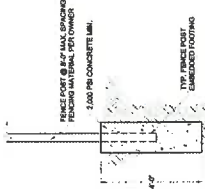
FOOTING DETAIL 3
NOT TO SCALE (S201)



SUBGRADE PREPARATION 7
NOT TO SCALE (S201)



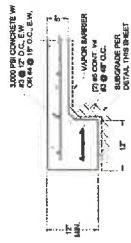
FOOTING DETAIL 2
NOT TO SCALE (S201)



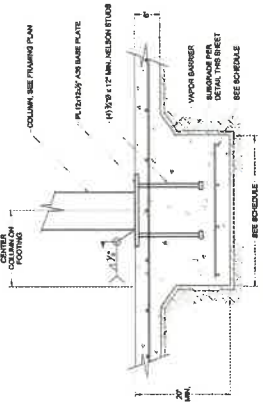
FENCE FOOTING DETAIL 6
NOT TO SCALE (S201)



CONTROL JOINT 5
NOT TO SCALE (S201)



PORCH FOOTING 1
NOT TO SCALE (S201)



INTERIOR FOOTING DETAIL 4
NOT TO SCALE (S201)

NO.	DATE	INITIAL RELEASE	REVISION AND RECORD OF ISSUE	BY	CHK	DATE	BY	CHK
0	12/19/24							

CLIENT: MERINA
PROJECT: PABIAN DE MESSILA

FOUNDATION PLAN
240415
1705 TIERRA DE MESSILA, LAS CRUCES, NM
SHEET S201

LILLEY ENGINEERING INC.
1418 COLLEGE BLVD. SUITE 100, LAS CRUCES, NM 87801



MERLIN ENTERPRISES
 CONSULTANTS
 COMMERCIAL & RESIDENTIAL
 PROJECT MANAGEMENT
 AND DESIGN



CHALET
 Architecture
 Studio

3440 PROUD EAGLE DRIVE
 EL PASO, TX 79638
 TEL: (915) 433-0011
 WWW.CHALETARCHITECTURE.COM



REVISION TABLE			
NUMBER	DATE	REVISION	BY

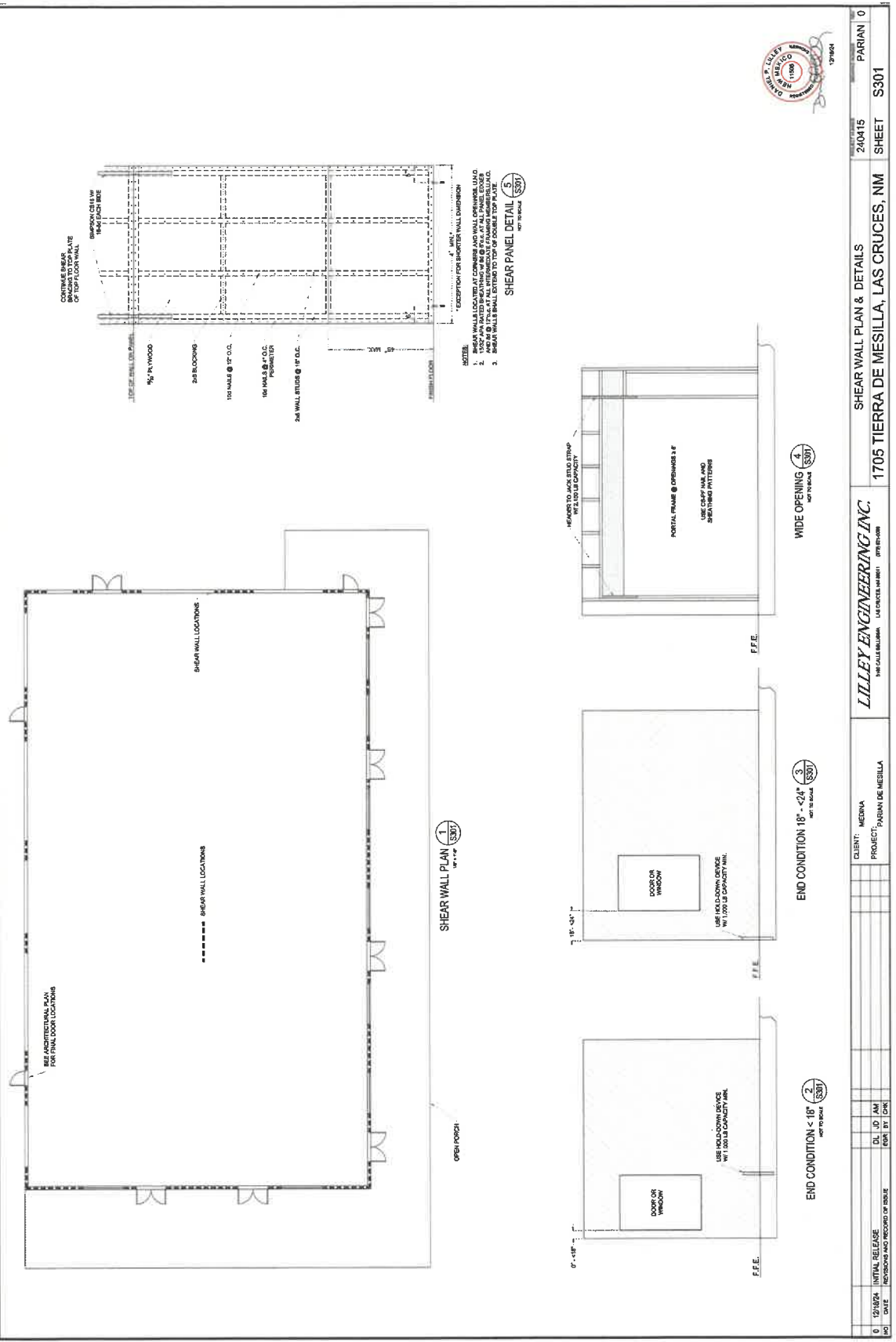
PROJECT #
 GEV/VE-03

SCALE:
 NTS

SHEAR WALL PLAN
 DETAILS

SHEET: **S:301** DATE: 3/3/26

240415
 1705 TIERRA DE MESSILA, LAS CRUCES, NM
 SHEET S301



NO.	DATE	INITIALS	RELEASE	BY	DATE	REVISIONS AND RECORD OF ISSUE
0	12/18/24	JL	AM			
1						
2						
3						
4						

CLIENT: MEDINA
 PROJECT: PARRAN DE MESSILA

LILLEY ENGINEERING INC.
 1815 CALLE ALBUQUERQUE, LAS CRUCES, NM 87801
 (505) 325-1100

240415
 1705 TIERRA DE MESSILA, LAS CRUCES, NM
 SHEET S301

1	2	3	4	5		
REFERENCE SYMBOLS REVISION NUMBER AND EXTENT 	SYMBOLS & TAGS 	FILLED REGIONS 	ABBREVIATIONS <p>AKF ABOVE FINISHED FLOOR AL ALUMINUM AN ANGLE AP APERTURE AR ARCH AS ASBESTOS AT ATTACHED AU AUSTRIAN AV AVALANCH AW ACRYLIC AX AXIAL AY ACRYLIC AZ AZURE BA BALCONY BB BALCONY BC BALCONY BD BALCONY BE BALCONY BF BALCONY BG BALCONY BH BALCONY BI BALCONY BJ BALCONY BK BALCONY BL BALCONY BM BALCONY BN BALCONY BO BALCONY BP BALCONY BQ BALCONY BR BRICK BS BRICK BT BRICK BU BRICK BV BRICK BW BRICK BX BRICK BY BRICK BZ BRICK CA CEMENT CB CEMENT CC CEMENT CD CEMENT CE CEMENT CF CEMENT CG CEMENT CH CEMENT CI CEMENT CJ CEMENT CK CEMENT CL CEMENT CM CEMENT CN CEMENT CO CEMENT CP CEMENT CQ CEMENT CR CEMENT CS CEMENT CT CEMENT CU CEMENT CV CEMENT CW CEMENT CX CEMENT CY CEMENT CZ CEMENT DA DAMP DB DAMP DC DAMP DD DAMP DE DAMP DF DAMP DG DAMP DH DAMP DI DAMP DJ DAMP DK DAMP DL DAMP DM DAMP DN DAMP DO DAMP DP DAMP DQ DAMP DR DAMP DS DAMP DT DAMP DU DAMP DV DAMP DW DAMP DX DAMP DY DAMP DZ DAMP EA EARTH EB EARTH EC EARTH ED EARTH EE EARTH EF EARTH EG EARTH EH EARTH EI EARTH EJ EARTH EK EARTH EL EARTH EM EARTH EN EARTH EO EARTH EP EARTH EQ EARTH ER EARTH ES EARTH ET EARTH EU EARTH EV EARTH EW EARTH EX EARTH EY EARTH EZ EARTH FA FLOOR FB FLOOR FC FLOOR FD FLOOR FE FLOOR FF FLOOR FG FLOOR FH FLOOR FI FLOOR FJ FLOOR FK FLOOR FL FLOOR FM FLOOR FN FLOOR FO FLOOR FP FLOOR FQ FLOOR FR FLOOR FS FLOOR FT FLOOR FU FLOOR FV FLOOR FW FLOOR FX FLOOR FY FLOOR FZ FLOOR GA GLASS GB GLASS GC GLASS GD GLASS GE GLASS GF GLASS GG GLASS GH GLASS GI GLASS GJ GLASS GK GLASS GL GLASS GM GLASS GN GLASS GO GLASS GP GLASS GQ GLASS GR GLASS GS GLASS GT GLASS GU GLASS GV GLASS GW GLASS GX GLASS GY GLASS GZ GLASS HA HAND HB HAND HC HAND HD HAND HE HAND HF HAND HG HAND HH HAND HI HAND HJ HAND HK HAND HL HAND HM HAND HN HAND HO HAND HP HAND HQ HAND HR HAND HS HAND HT HAND HU HAND HV HAND HW HAND HX HAND HY HAND HZ HAND IA INSULATION IB INSULATION IC INSULATION ID INSULATION IE INSULATION IF INSULATION IG INSULATION IH INSULATION II INSULATION IJ INSULATION IK INSULATION IL INSULATION IM INSULATION IN INSULATION IO INSULATION IP INSULATION IQ INSULATION IR INSULATION IS INSULATION IT INSULATION IU INSULATION IY INSULATION IV INSULATION IW INSULATION IX INSULATION IY INSULATION IV INSULATION IW INSULATION IX INSULATION JY JOINT JZ JOINT KA KITCHEN KB KITCHEN KC KITCHEN KD KITCHEN KE KITCHEN KF KITCHEN KG KITCHEN KH KITCHEN KH KITCHEN KI KITCHEN KL KITCHEN KM KITCHEN KN KITCHEN KO KITCHEN KP KITCHEN KQ KITCHEN KR KITCHEN KS KITCHEN KT KITCHEN KU KITCHEN KV KITCHEN KW KITCHEN KX KITCHEN KY KITCHEN KZ KITCHEN LA LAMINATE LB LAMINATE LC LAMINATE LD LAMINATE LE LAMINATE LF LAMINATE LG LAMINATE LH LAMINATE LI LAMINATE LJ LAMINATE LK LAMINATE LL LAMINATE LM LAMINATE LN LAMINATE LO LAMINATE LP LAMINATE LQ LAMINATE LR LAMINATE LS LAMINATE LT LAMINATE LU LAMINATE LV LAMINATE LW LAMINATE LX LAMINATE LY LAMINATE LZ LAMINATE MA MASONRY MB MASONRY MC MASONRY MD MASONRY ME MASONRY MF MASONRY MG MASONRY MH MASONRY MI MASONRY MJ MASONRY MK MASONRY ML MASONRY MN MASONRY MO MASONRY MP MASONRY MQ MASONRY MR MASONRY MS MASONRY MT MASONRY MU MASONRY MV MASONRY MW MASONRY MX MASONRY MY MASONRY MZ MASONRY NA NAIL NB NAIL NC NAIL ND NAIL NE NAIL NF NAIL NG NAIL NH NAIL NI NAIL NJ NAIL NK NAIL NL NAIL NM NAIL NO NAIL NP NAIL NQ NAIL NR NAIL NS NAIL NT NAIL NU NAIL NV NAIL NW NAIL NX NAIL NY NAIL NZ NAIL OA OAK OB OAK OC OAK OD OAK OE OAK OF OAK OG OAK OH OAK OI OAK OJ OAK OK OAK OL OAK OM OAK ON OAK OO OAK OP OAK OQ OAK OR OAK OS OAK OT OAK OU OAK OV OAK OW OAK OX OAK OY OAK OZ OAK PA PANEL PB PANEL PC PANEL PD PANEL PE PANEL PF PANEL PG PANEL PH PANEL PI PANEL PJ PANEL PK PANEL PL PANEL PM PANEL PN PANEL PO PANEL PP PANEL PQ PANEL PR PANEL PS PANEL PT PANEL PU PANEL PV PANEL PW PANEL PX PANEL PY PANEL PZ PANEL QA QUARTZ QB QUARTZ QC QUARTZ QD QUARTZ QE QUARTZ QF QUARTZ QG QUARTZ QH QUARTZ QI QUARTZ QJ QUARTZ QK QUARTZ QL QUARTZ QM QUARTZ QN QUARTZ QO QUARTZ QP QUARTZ QQ QUARTZ QR QUARTZ QS QUARTZ QT QUARTZ QU QUARTZ QV QUARTZ QW QUARTZ QX QUARTZ QY QUARTZ QZ QUARTZ RA RAMP RB RAMP RC RAMP RD RAMP RE RAMP RF RAMP RG RAMP RH RAMP RI RAMP RJ RAMP RK RAMP RL RAMP RM RAMP RN RAMP RO RAMP RP RAMP RQ RAMP RR RAMP RS RAMP RT RAMP RU RAMP RV RAMP RW RAMP RX RAMP RY RAMP RZ RAMP SA STAINLESS STEEL SB STAINLESS STEEL SC STAINLESS STEEL SD STAINLESS STEEL SE STAINLESS STEEL SF STAINLESS STEEL SG STAINLESS STEEL SH STAINLESS STEEL SI STAINLESS STEEL SJ STAINLESS STEEL SK STAINLESS STEEL SL STAINLESS STEEL SM STAINLESS STEEL SN STAINLESS STEEL SO STAINLESS STEEL SP STAINLESS STEEL SQ STAINLESS STEEL SR STAINLESS STEEL SS STAINLESS STEEL ST STAINLESS STEEL SU STAINLESS STEEL SV STAINLESS STEEL SW STAINLESS STEEL SX STAINLESS STEEL SY STAINLESS STEEL SZ STAINLESS STEEL TA TILE TB TILE TC TILE TD TILE TE TILE TF TILE TG TILE TH TILE TI TILE TJ TILE TK TILE TL TILE TM TILE TN TILE TO TILE TP TILE TQ TILE TR TILE TS TILE TT TILE TU TILE TV TILE TW TILE TX TILE TY TILE TZ TILE UA URBAN UB URBAN UC URBAN UD URBAN UE URBAN UF URBAN UG URBAN UH URBAN UI URBAN UJ URBAN UK URBAN UL URBAN UM URBAN UN URBAN UO URBAN UP URBAN UQ URBAN UR URBAN US URBAN UT URBAN UY URBAN UV URBAN UW URBAN UX URBAN UY URBAN UV URBAN UW URBAN UX URBAN VA VAN VB VAN VC VAN VD VAN VE VAN VF VAN VG VAN VH VAN VI VAN VJ VAN VK VAN VL VAN VM VAN VN VAN VO VAN VP VAN VQ VAN VR VAN VS VAN VT VAN VU VAN VV VAN VW VAN VX VAN VY VAN VZ VAN WA WALL WB WALL WC WALL WD WALL WE WALL WF WALL WG WALL WH WALL WI WALL WJ WALL WK WALL WL WALL WM WALL WN WALL WO WALL WP WALL WQ WALL WR WALL WS WALL WT WALL WY WALL WZ WALL XA X-RAY XB X-RAY XC X-RAY XD X-RAY XE X-RAY XF X-RAY XG X-RAY XH X-RAY XI X-RAY XJ X-RAY XK X-RAY XL X-RAY XM X-RAY XN X-RAY XO X-RAY XP X-RAY XQ X-RAY XR X-RAY XS X-RAY XT X-RAY XU X-RAY XV X-RAY XW X-RAY XX X-RAY XY X-RAY XZ X-RAY YA YARD YB YARD YC YARD YD YARD YE YARD YF YARD YG YARD YH YARD YI YARD YJ YARD YK YARD YL YARD YM YARD YN YARD YO YARD YP YARD YQ YARD YR YARD YS YARD YT YARD YU YARD YV YARD YW YARD YX YARD YY YARD YZ YARD ZA ZONE ZB ZONE ZC ZONE ZD ZONE ZE ZONE ZF ZONE ZG ZONE ZH ZONE ZI ZONE ZJ ZONE ZK ZONE ZL ZONE ZM ZONE ZN ZONE ZO ZONE ZP ZONE ZQ ZONE ZR ZONE ZS ZONE ZT ZONE ZU ZONE ZV ZONE ZW ZONE ZX ZONE ZY ZONE ZZ ZONE</p>	CEILING SYMBOLS LEGEND 	WALL LEGEND 	DEMOLITION LEGEND



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MANAGEMENT
AND DESIGN**

MERLIN ENTERPRISES
COMMERCIAL & RESIDENTIAL
MANAGEMENT AND DESIGN

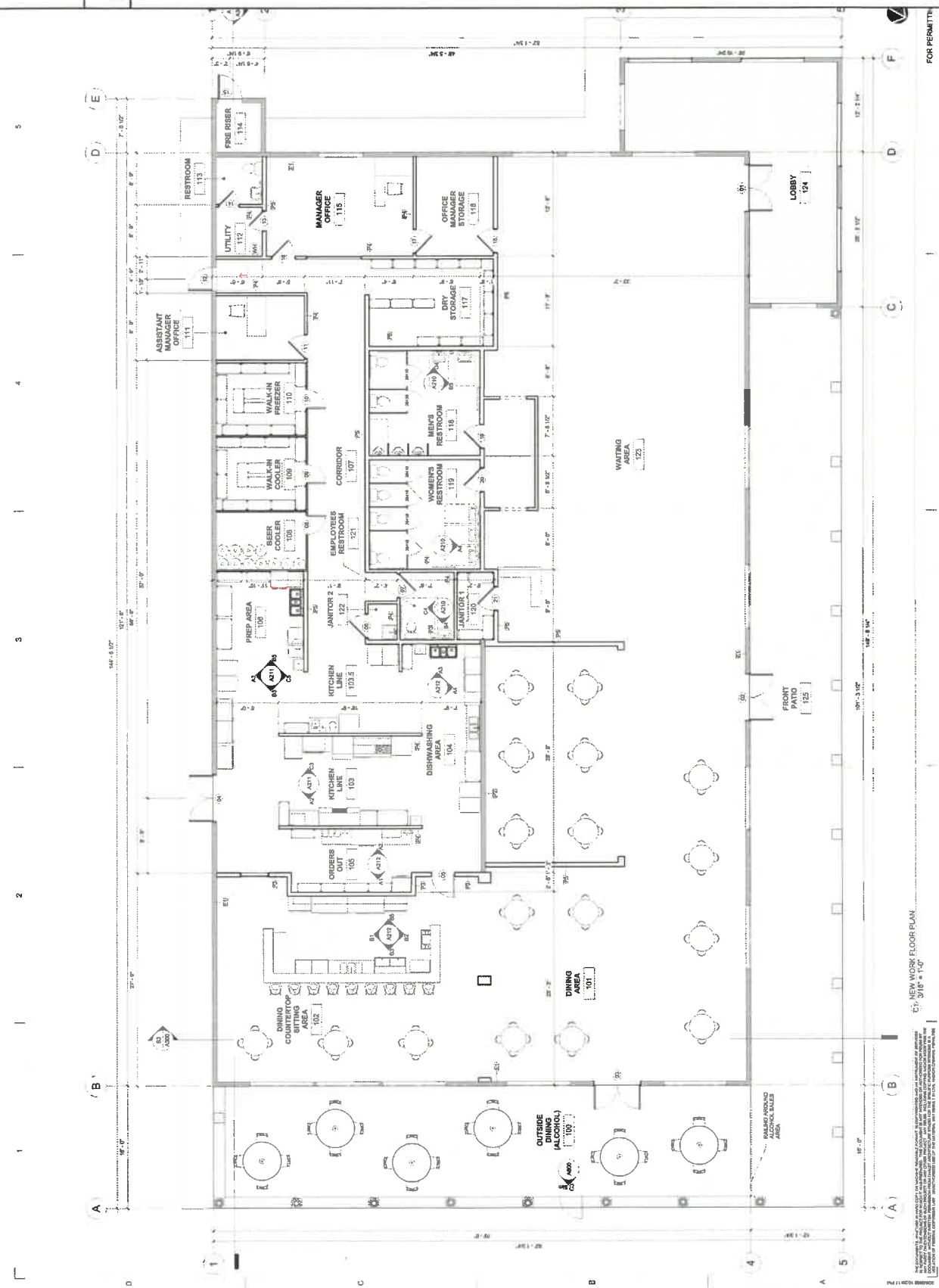
CONSULTANTS

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NO.	DATE	DESCRIPTION	BY	CHKD
1	01/15/11	ISSUED FOR PERMIT	JL	JL
2	01/15/11	ISSUED FOR PERMIT	JL	JL
3	01/15/11	ISSUED FOR PERMIT	JL	JL
4	01/15/11	ISSUED FOR PERMIT	JL	JL
5	01/15/11	ISSUED FOR PERMIT	JL	JL
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7	01/15/11	ISSUED FOR PERMIT	JL	JL
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9	01/15/11	ISSUED FOR PERMIT	JL	JL
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12	01/15/11	ISSUED FOR PERMIT	JL	JL
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15	01/15/11	ISSUED FOR PERMIT	JL	JL
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FLOOR PLAN
A101



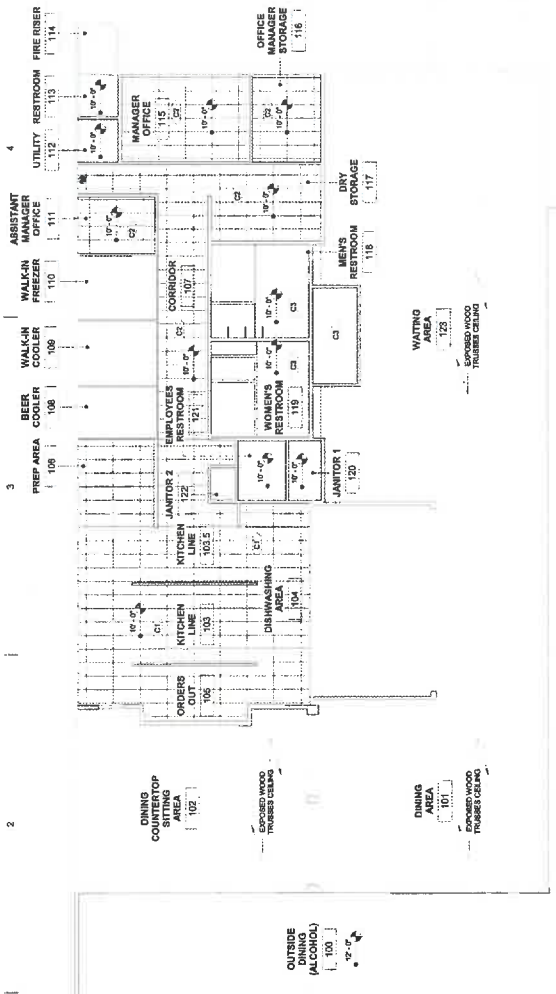
NEW WORK FLOOR PLAN
C1: 3/16" = 1'-0"

FOR PERMIT

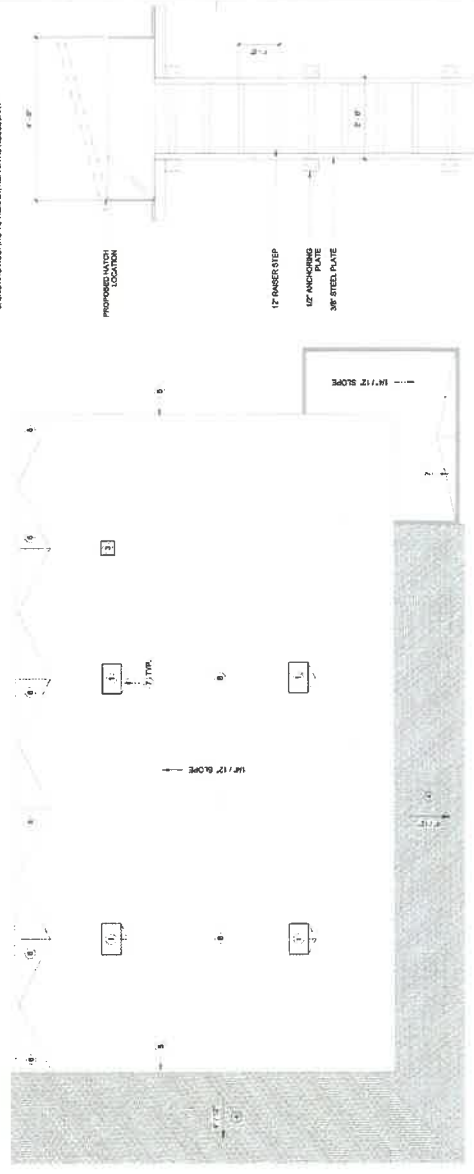
CEILING LEGEND

XX	CEILING HEIGHT / A.F.
[Symbol]	OPYRUM BOARD CEILING
[Symbol]	24" ACOUSTIC CEILING TILES
[Symbol]	EXIST. SIGN AND UNDERCAY LIGHT.

[Symbol] 24" UTICULORISE DROP CEILING TILES (FPA AND USCA APPROVED)
 [Symbol] 24" DROP CEILING TILES
 [Symbol] HUNTED OYPRUM BOARD CEILING
CEILING TYPES
 1-4-14



C2 REFLECTED CEILING PLAN
 A2 1/8" = 1'-0"



A2 ROOF PLAN
 A2 1/8" = 1'-0"

ROOF PLAN NOTES
 1. REFER TO MECHANICAL PLAN FOR RILL LOCATION.
 2. PROVIDE ROOF ACCESS DETAIL A2 3/4" = 1'-0" FOR MECHANICAL CONTRACTOR.
 3. PROVIDE ROOF ACCESS DETAIL A2 3/4" = 1'-0" FOR MECHANICAL CONTRACTOR.
 4. PROVIDE ROOF ACCESS DETAIL A2 3/4" = 1'-0" FOR MECHANICAL CONTRACTOR.
 5. PROVIDE ROOF ACCESS DETAIL A2 3/4" = 1'-0" FOR MECHANICAL CONTRACTOR.
 6. PROVIDE ROOF ACCESS DETAIL A2 3/4" = 1'-0" FOR MECHANICAL CONTRACTOR.
 7. PROVIDE ROOF ACCESS DETAIL A2 3/4" = 1'-0" FOR MECHANICAL CONTRACTOR.
 8. PROVIDE ROOF ACCESS DETAIL A2 3/4" = 1'-0" FOR MECHANICAL CONTRACTOR.

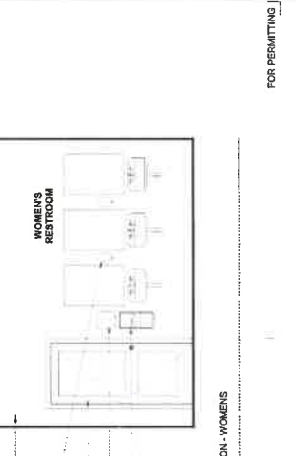
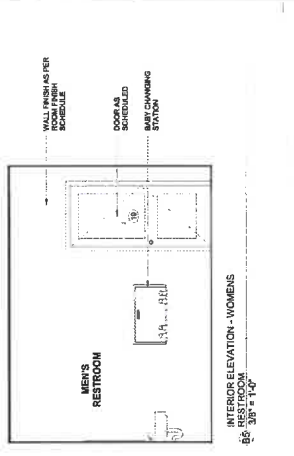
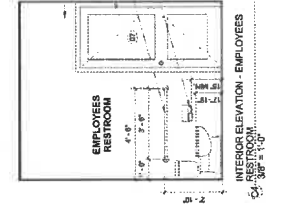
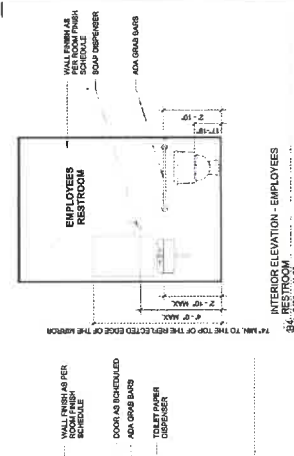
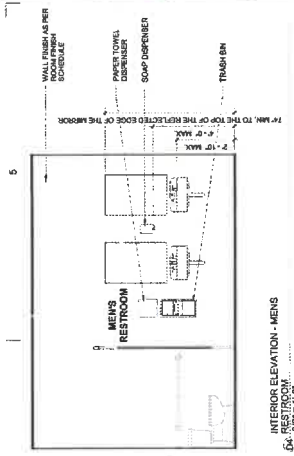
FOR PERMITTING

ROOF ACCESS DETAIL
 A2 3/4" = 1'-0"

PROVIDED WATCH LOCATION
 17" FRAMER STEP
 1/2" ANGLE IRONING
 3/8" STEEL PLATE

A2 ROOF PLAN
 A2 1/8" = 1'-0"

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INTERIOR ELEVATION - MENS RESTROOM 38' x 11'0"

INTERIOR ELEVATION - EMPLOYEES RESTROOM 38' x 11'0"

INTERIOR ELEVATION - MENS RESTROOM 38' x 11'0"

INTERIOR ELEVATION - WOMENS RESTROOM 38' x 11'0"

FOR PERMITTING

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PROJECT NO.	100000
DATE	01/2019
DRAWN BY	CHAD SMITH
CHECKED BY	CHAD SMITH
SCALE	AS SHOWN
SHEET TITLE	BUILDING SECTIONS
A300	

5

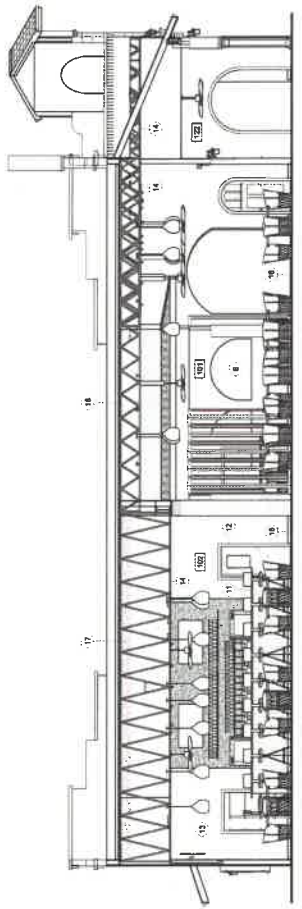
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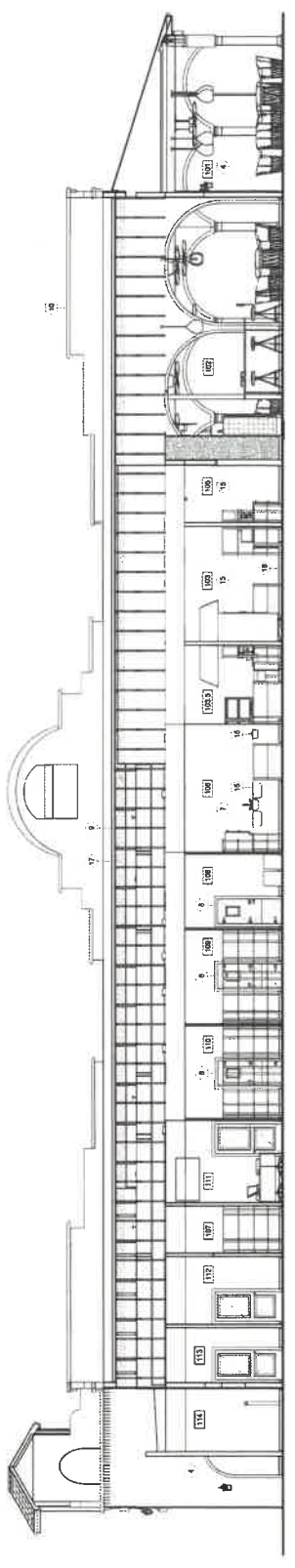
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1

- BUILDING SECTION NOTES**
1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE TO BE REPAIRED.
 2. ALL EXISTING CONDITIONS SUCH AS EXTERIOR WALLS, ROOF, AND CEILING TO BE REPAIRED.
 3. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
 4. EXISTING EXTERIOR WALLS TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
 5. EXISTING EXTERIOR ROOF TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
 6. EXISTING EXTERIOR ROOF TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
 7. EXISTING EXTERIOR ROOF TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
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 11. EXISTING EXTERIOR ROOF TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
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 13. EXISTING EXTERIOR ROOF TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
 14. EXISTING EXTERIOR ROOF TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
 15. EXISTING EXTERIOR ROOF TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
 16. EXISTING EXTERIOR ROOF TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
 17. EXISTING EXTERIOR ROOF TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
 18. EXISTING EXTERIOR ROOF TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
 19. EXISTING EXTERIOR ROOF TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.
 20. EXISTING EXTERIOR ROOF TO BE DEMOLISHED AND RECONSTRUCTED TO BE FINISHED TO ISMANN TYPE SEE SCHEDULE.



B. BUILDING SECTION B
B. 3/16" x 1/4"



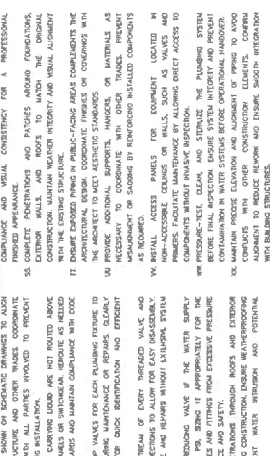
A. BUILDING SECTION A
A. 3/16" x 1/4"

FOR PERMITTING

PLUMBING SPECIFICATIONS

SYMBOL	DESCRIPTION	GENERAL PIPING SYMBOLS
1	PIPE HANGER	1
2	PIPE SUPPORT	2
3	PIPE BRACKET	3
4	PIPE CLAMP	4
5	PIPE WELD	5
6	PIPE FLANGE	6
7	PIPE FITTING	7
8	PIPE VALVE	8
9	PIPE STOP	9
10	PIPE END	10
11	PIPE HANGAR	11
12	PIPE SUPPORT	12
13	PIPE BRACKET	13
14	PIPE CLAMP	14
15	PIPE WELD	15
16	PIPE FLANGE	16
17	PIPE FITTING	17
18	PIPE VALVE	18
19	PIPE STOP	19
20	PIPE END	20
21	PIPE HANGAR	21
22	PIPE SUPPORT	22
23	PIPE BRACKET	23
24	PIPE CLAMP	24
25	PIPE WELD	25
26	PIPE FLANGE	26
27	PIPE FITTING	27
28	PIPE VALVE	28
29	PIPE STOP	29
30	PIPE END	30
31	PIPE HANGAR	31
32	PIPE SUPPORT	32
33	PIPE BRACKET	33
34	PIPE CLAMP	34
35	PIPE WELD	35
36	PIPE FLANGE	36
37	PIPE FITTING	37
38	PIPE VALVE	38
39	PIPE STOP	39
40	PIPE END	40
41	PIPE HANGAR	41
42	PIPE SUPPORT	42
43	PIPE BRACKET	43
44	PIPE CLAMP	44
45	PIPE WELD	45
46	PIPE FLANGE	46
47	PIPE FITTING	47
48	PIPE VALVE	48
49	PIPE STOP	49
50	PIPE END	50

TYPICAL PLUMBING FIXTURE HEIGHTS



PLUMBING GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PLUMBING CODES AND STANDARDS, INCLUDING THE INTERNATIONAL PLUMBING CODE (IPC), AS ADOPTED BY THE LOCAL JURISDICTION.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PLUMBING CODES AND STANDARDS, INCLUDING THE INTERNATIONAL PLUMBING CODE (IPC), AS ADOPTED BY THE LOCAL JURISDICTION.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
- 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PLUMBING CODES AND STANDARDS, INCLUDING THE INTERNATIONAL PLUMBING CODE (IPC), AS ADOPTED BY THE LOCAL JURISDICTION.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
- 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PLUMBING CODES AND STANDARDS, INCLUDING THE INTERNATIONAL PLUMBING CODE (IPC), AS ADOPTED BY THE LOCAL JURISDICTION.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
- 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PLUMBING CODES AND STANDARDS, INCLUDING THE INTERNATIONAL PLUMBING CODE (IPC), AS ADOPTED BY THE LOCAL JURISDICTION.

REVISION TABLE

NUMBER	DATE	REVISION

SCALE: **1/8" = 1'-0"**

GEN/ELE-03

DATE: **3/3/26**

PROJECT #

DATE:

PLUMBING SPECIFICATIONS

RAXIS

REGISTERED PROFESSIONAL ENGINEER

STATE OF CALIFORNIA

NO. 10000

10000

MERLIN ENTERPRISES
COMMERCIAL & RESIDENTIAL
CONSTRUCTION MANAGEMENT
AND DESIGN

CONSULTANTS

PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
NO. 10000

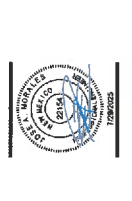
PROFESSIONAL ENGINEER
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PROFESSIONAL ENGINEER
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NO. 10000

PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
NO. 10000



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REGISTERED ARCHITECT
STATE OF TEXAS
NO. 10077

REVISION TABLE	REVISION	DATE

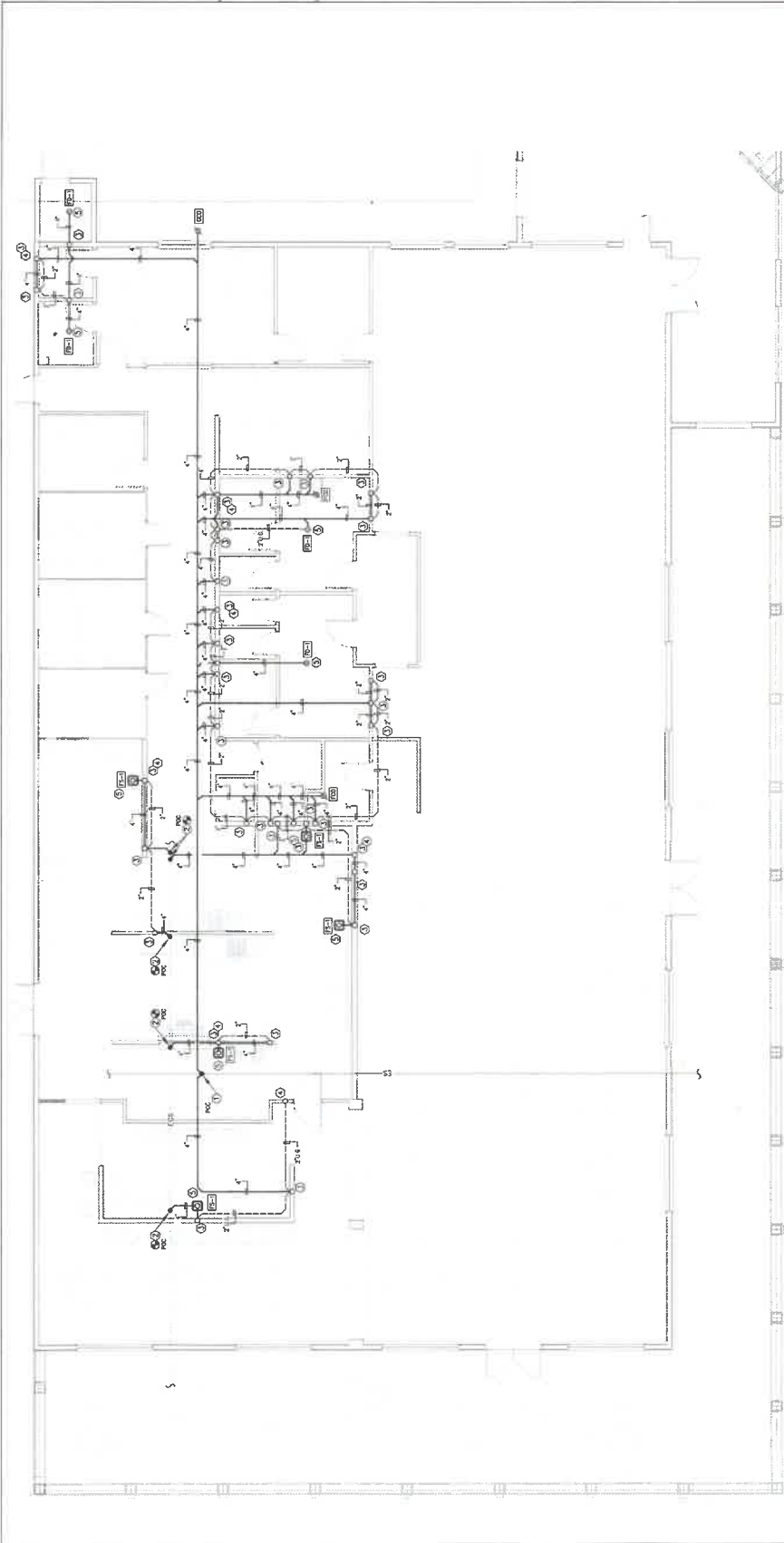
PROJECT #
GEN/ELE-03

SCALE:
3/16" = 1'-0"

SEWER AND VENT PLUMBING PLAN

DATE: 3/13/26

P3.00



1. SEWER AND VENT PLUMBING PLAN
3/16" = 1'-0"

- KEYED NOTES**
- POINT OF CONSTRUCTION - PLUMBING CONTRACTOR TO VERIFY EXISTING MAIN LINE, FLOOR DRAIN, VENT, EXIST INVERT AND LOCATIONS. PROVIDE MAIN LINE PRIOR TO COMMENCING ROUGH IN WORK.
 - POINT OF CONSTRUCTION - PLUMBING CONTRACTOR TO VERIFY EXISTING WASTE LINE TO EXISTING MAIN LINE PRIOR TO COMMENCING ROUGH IN WORK. PROVIDE FULL SIZE ELFAOUT.
 - PROVIDE 2"X VENT THROUGH ROOF.
 - PROVIDE FLOOR DRAIN/SEW TRAP SEALS.





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REVISION TABLE	NUMBER	DATE	REVISION BY	DATE

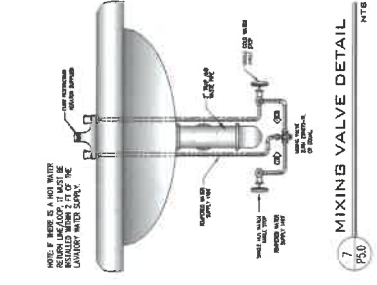
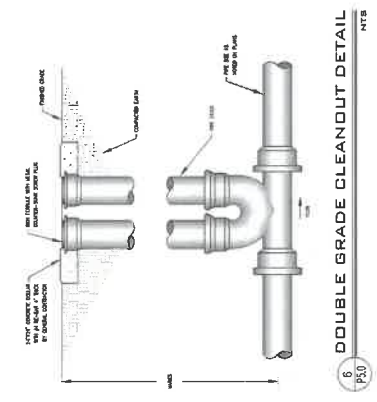
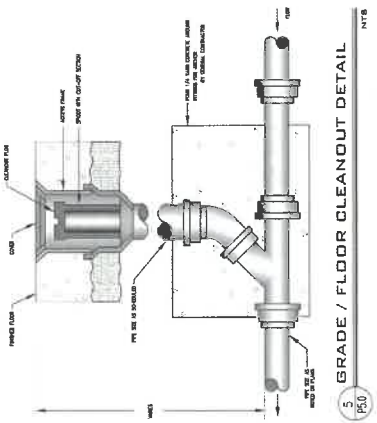
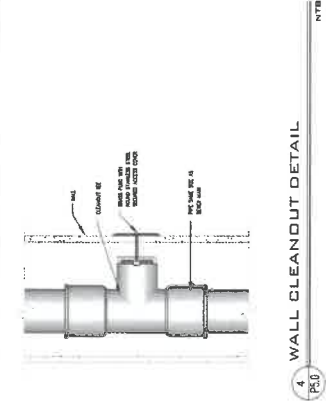
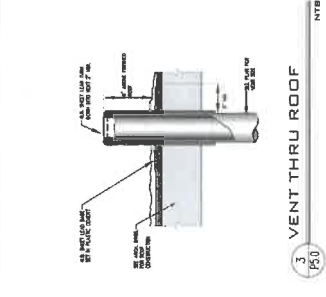
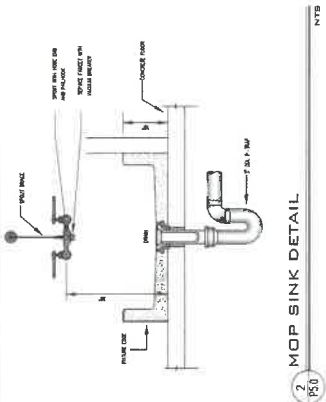
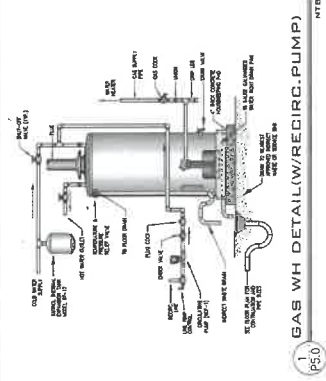
PROJECT #
 GEN/ELE-03

SCALE:
 3/16"=1'-0"

PLUMBING DETAILS

P5.00

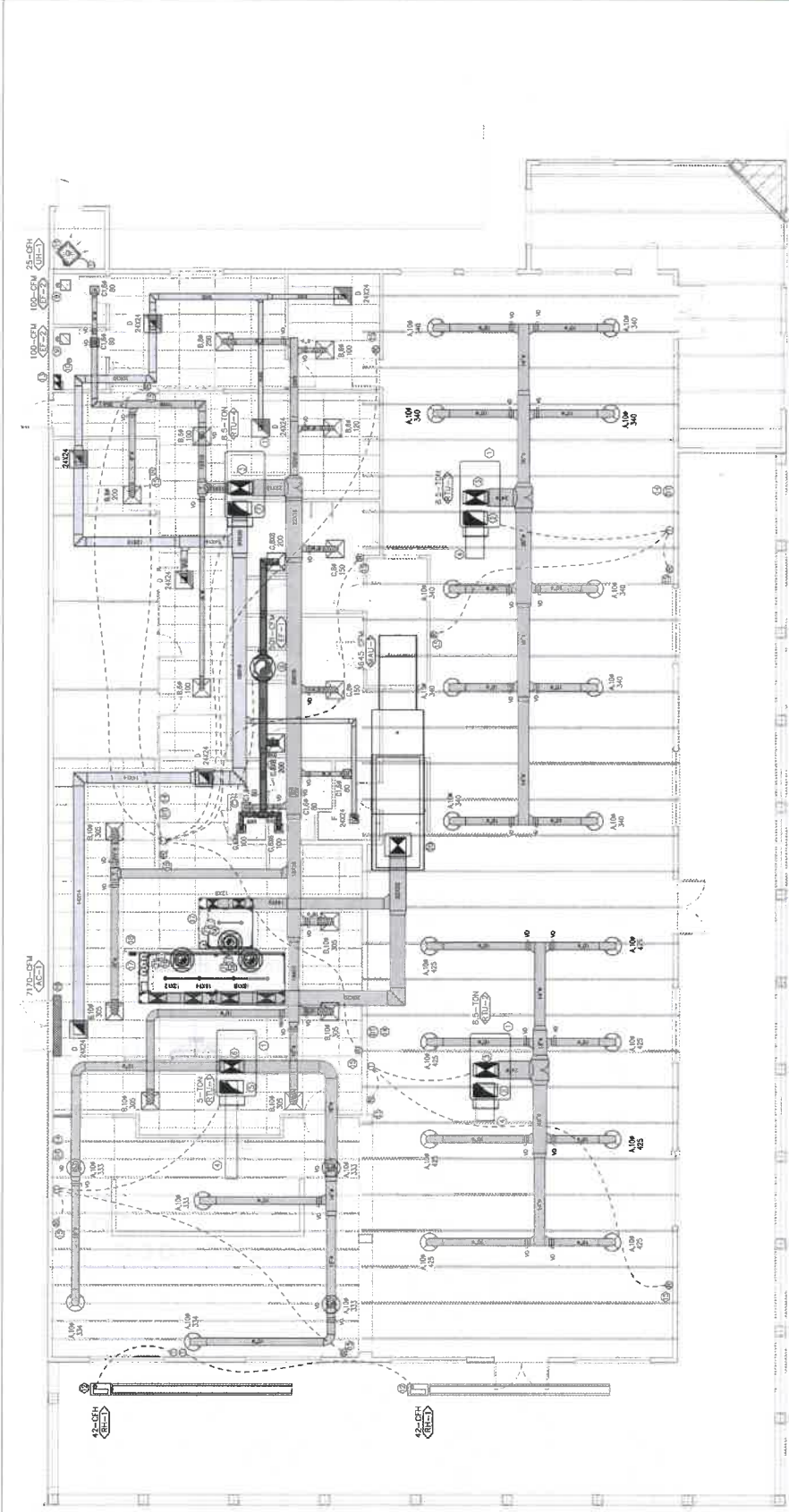
DATE:
 3/3/26



REVISION TABLE	REVISION BY	REVISION DATE

PROJECT #
 GEN/ELE-03
 SCALE:
 3/16"=1'-0"
MECHANICAL PLAN

DATE:
 3/9/26
M2.00



MECHANICAL PLAN
3/16" = 1'-0"

- KEYED NOTES**
- DUCT OPENING SHALL NOT BE MORE THAN 1/4" OVER SIZE WITH APPROXIMATELY 1/4" CLEARANCE TO THE SURROUNDING STRUCTURE.
 - 24"Ø" ROUND AIR DUCT UP THROUGH ROOF TO ROOF TOP UNIT.
 - 24"Ø" SUPPLY AIR DUCT DOWN THROUGH ROOF FROM ROOF TOP UNIT.
 - ROOF TOP UNIT SHALL BE INSTALLED WITH 1/4" CLEARANCE TO CEILING AND THE OTHER 1/4" CLEARANCE TO FLOOR.
 - 15"Ø" RETURN AIR DUCT UP THROUGH ROOF TO ROOF TOP UNIT.
 - 24"Ø" SUPPLY AIR DUCT DOWN THROUGH ROOF FROM ROOF TOP UNIT.
 - 24"Ø" RETURN AIR DUCT UP THROUGH ROOF TO ROOF TOP UNIT.
 - 18-1/2" X 18-1/2" DUCT THRU ROOF TO EXHAUST FAN TO EXHAUST FAN.
 - 4"Ø" ROUND DUCT THRU ROOF TO GOODRICH FROM EXHAUST FAN.
 - 4"Ø" ROUND FLEX VENT THRU ROOF TO HEAVYER CAP FROM WATER HEATER.
 - 4"Ø" ROUND FLEX VENT THRU ROOF TO HEAVYER CAP FROM WATER HEATER.
 - 4"Ø" ROUND FLEX VENT THRU ROOF TO HEAVYER CAP FROM ROADIANT HEATER.
 - PROVIDE (3) TWO COMBUSTION INTAKE AIR DUCTS ONE INSTALLED TO FLOOR CEILING AND THE OTHER 1/4" A.F.F. TO CEILING.
 - PROVIDE ROADIANT TEMPERATURE SENSORS CONNECT TO UNIT THERMOSTAT.
 - 22-1/2" X 22-1/2" DUCT THRU ROOF TO KITCHEN EXHAUST FAN.
 - APPROXIMATE LOCATION FOR MANUAL SYSTEM AND KITCHEN HOOD CONTROL PANEL. CONTRACTOR TO FIELD VERIFY FINAL LOCATION AND SIGHTING HEIGHT.
 - AIR CURTAIN TO BE PROVIDED WITH INTERLOCK DOOR.

TEST AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY HEBB OR TABB CERTIFIED CONTRACTOR.



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NUMBER	DATE	REVISION	BY	DATE	REVISION

PROJECT #
GEN/ELE-03

SCALE:
NT'S

**MECHANICAL
SCHEDULE**

DATE: 3/3/26
M2.1

**COMcheck Software Version COMcheckWeb
Mechanical Compliance Certificate**

Project Information
 Project Name: 2021 ECC
 Project Location: 145 CHURCH, NEW MEXICO
 Project Type: New Construction
 Designer/Contractor: [Redacted]
 Commissioning Agent: [Redacted]

Additional Efficiency Package(s)
 Mechanical System Type & Description
 1. RTU's (Single Zone)
 Proposed Part Load Efficiency = 14.69 EER, Network Part Load Efficiency = 14.69 EER
 Proposed Part Load Efficiency = 14.69 EER, Network Part Load Efficiency = 14.69 EER
 Proposed Part Load Efficiency = 14.69 EER, Network Part Load Efficiency = 14.69 EER

Quantity System Type & Description
 1. RTU's (Single Zone)
 Proposed Part Load Efficiency = 14.69 EER, Network Part Load Efficiency = 14.69 EER
 Proposed Part Load Efficiency = 14.69 EER, Network Part Load Efficiency = 14.69 EER
 Proposed Part Load Efficiency = 14.69 EER, Network Part Load Efficiency = 14.69 EER

Mechanical Compliance Statement
 I, Luis Carlos, as the Commissioning Agent, hereby certify that the above information was prepared in accordance with the applicable mechanical code requirements and standards, and that the Commissioning Agent has been duly qualified and has performed a thorough inspection of the mechanical systems to verify compliance with the applicable requirements. I hereby certify that the above information is true and correct to the best of my knowledge and belief.

Signature: [Redacted]
 Date: 02-26-2025

DIFFUSER AND GRILLE SCHEDULE

MARK	DESCRIPTION	MANUFACTURER AND MODEL	QUANTITY	REMARKS
B1	24" SQUARE DIFFUSER	TRANE	10	TRANE 24" SQUARE DIFFUSER
B2	24" SQUARE GRILLE	TRANE	10	TRANE 24" SQUARE GRILLE
B3	24" SQUARE DIFFUSER	TRANE	10	TRANE 24" SQUARE DIFFUSER
B4	24" SQUARE GRILLE	TRANE	10	TRANE 24" SQUARE GRILLE
B5	24" SQUARE DIFFUSER	TRANE	10	TRANE 24" SQUARE DIFFUSER
B6	24" SQUARE GRILLE	TRANE	10	TRANE 24" SQUARE GRILLE

EXHAUST FAN SCHEDULE

MARK	DESCRIPTION	MANUFACTURER AND MODEL	QUANTITY	REMARKS
E1	EXHAUST FAN	TRANE	10	TRANE EXHAUST FAN
E2	EXHAUST FAN	TRANE	10	TRANE EXHAUST FAN
E3	EXHAUST FAN	TRANE	10	TRANE EXHAUST FAN
E4	EXHAUST FAN	TRANE	10	TRANE EXHAUST FAN
E5	EXHAUST FAN	TRANE	10	TRANE EXHAUST FAN
E6	EXHAUST FAN	TRANE	10	TRANE EXHAUST FAN

RADIANT HEATER SCHEDULE

MARK	DESCRIPTION	MANUFACTURER AND MODEL	QUANTITY	REMARKS
R1	RADIANT HEATER	TRANE	10	TRANE RADIANT HEATER
R2	RADIANT HEATER	TRANE	10	TRANE RADIANT HEATER
R3	RADIANT HEATER	TRANE	10	TRANE RADIANT HEATER
R4	RADIANT HEATER	TRANE	10	TRANE RADIANT HEATER
R5	RADIANT HEATER	TRANE	10	TRANE RADIANT HEATER
R6	RADIANT HEATER	TRANE	10	TRANE RADIANT HEATER

GAS FIRED UNIT HEATER SCHEDULE

MARK	DESCRIPTION	MANUFACTURER AND MODEL	QUANTITY	REMARKS
G1	GAS FIRED UNIT HEATER	TRANE	10	TRANE GAS FIRED UNIT HEATER
G2	GAS FIRED UNIT HEATER	TRANE	10	TRANE GAS FIRED UNIT HEATER
G3	GAS FIRED UNIT HEATER	TRANE	10	TRANE GAS FIRED UNIT HEATER
G4	GAS FIRED UNIT HEATER	TRANE	10	TRANE GAS FIRED UNIT HEATER
G5	GAS FIRED UNIT HEATER	TRANE	10	TRANE GAS FIRED UNIT HEATER
G6	GAS FIRED UNIT HEATER	TRANE	10	TRANE GAS FIRED UNIT HEATER

AIR CURTAIN SCHEDULE

MARK	DESCRIPTION	MANUFACTURER AND MODEL	QUANTITY	REMARKS
A1	AIR CURTAIN	TRANE	10	TRANE AIR CURTAIN
A2	AIR CURTAIN	TRANE	10	TRANE AIR CURTAIN
A3	AIR CURTAIN	TRANE	10	TRANE AIR CURTAIN
A4	AIR CURTAIN	TRANE	10	TRANE AIR CURTAIN
A5	AIR CURTAIN	TRANE	10	TRANE AIR CURTAIN
A6	AIR CURTAIN	TRANE	10	TRANE AIR CURTAIN

PACKAGED ROOFTOP UNIT SCHEDULE

MARK	DESCRIPTION	MANUFACTURER AND MODEL	QUANTITY	REMARKS	ELECTRICAL		MECHANICAL	
					WATTAGE	AMPS	CFM	TONS
R1	PACKAGED ROOFTOP UNIT	TRANE	10	TRANE PACKAGED ROOFTOP UNIT	1000	5	1000	3
R2	PACKAGED ROOFTOP UNIT	TRANE	10	TRANE PACKAGED ROOFTOP UNIT	1000	5	1000	3
R3	PACKAGED ROOFTOP UNIT	TRANE	10	TRANE PACKAGED ROOFTOP UNIT	1000	5	1000	3
R4	PACKAGED ROOFTOP UNIT	TRANE	10	TRANE PACKAGED ROOFTOP UNIT	1000	5	1000	3
R5	PACKAGED ROOFTOP UNIT	TRANE	10	TRANE PACKAGED ROOFTOP UNIT	1000	5	1000	3
R6	PACKAGED ROOFTOP UNIT	TRANE	10	TRANE PACKAGED ROOFTOP UNIT	1000	5	1000	3

*TEST AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY FIRM OR TRADE CERTIFIED CONTRACTOR.

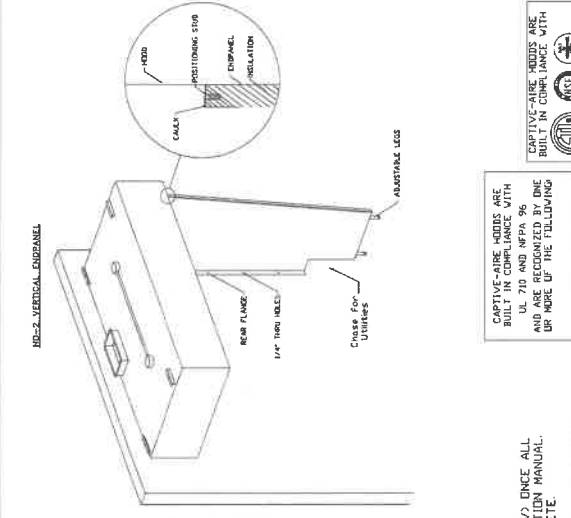


NUMBER	DATE	REVISION	BY

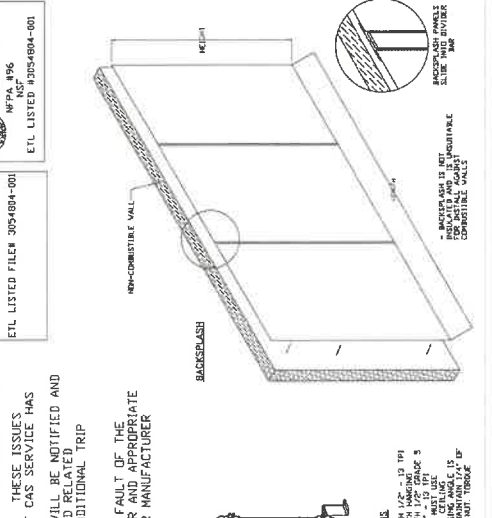
PROJECT #
 GEN/ELE-03
 SCALE:
 NTS
KITCHEN
EQUIPMENT PLAN

DATE:
 3/3/26
M4.0

CAPTIVE-AIR™
 ETL LISTED #3054804-001
 ETL LISTED #3054804-001
 ETL LISTED #3054804-001



PARTIAL DE MESSILA RESTAURANT
 MESILLA, NM, 88046
 DATE: 7/10/2023
 DRAWN BY: TSC/TK/MS
 SCALE: 3/4\"/>



NO.	DESCRIPTION	QTY	UNIT	MARKING
1	HOOD	1	EA	
2	VERTICAL END PANEL	1	EA	

NO.	DESCRIPTION	QTY	UNIT	MARKING
1	HOOD	1	EA	
2	VERTICAL END PANEL	1	EA	

NO.	DESCRIPTION	QTY	UNIT	MARKING
1	HOOD	1	EA	
2	VERTICAL END PANEL	1	EA	

NO.	DESCRIPTION	QTY	UNIT	MARKING
1	HOOD	1	EA	
2	VERTICAL END PANEL	1	EA	

NO.	DESCRIPTION	QTY	UNIT	MARKING
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2	VERTICAL END PANEL	1	EA	

NO.	DESCRIPTION	QTY	UNIT	MARKING
1	HOOD	1	EA	
2	VERTICAL END PANEL	1	EA	

NO.	DESCRIPTION	QTY	UNIT	MARKING
1	HOOD	1	EA	
2	VERTICAL END PANEL	1	EA	

NO.	DESCRIPTION	QTY	UNIT	MARKING
1	HOOD	1	EA	
2	VERTICAL END PANEL	1	EA	

NO.	DESCRIPTION	QTY	UNIT	MARKING
1	HOOD	1	EA	
2	VERTICAL END PANEL	1	EA	

NO.	DESCRIPTION	QTY	UNIT	MARKING
1	HOOD	1	EA	
2	VERTICAL END PANEL	1	EA	

NO.	DESCRIPTION	QTY	UNIT	MARKING
1	HOOD	1	EA	
2	VERTICAL END PANEL	1	EA	

NO.	DESCRIPTION	QTY	UNIT	MARKING
1	HOOD	1	EA	
2	VERTICAL END PANEL	1	EA	

CAPTIVE-AIR HOODS ARE BUILT IN COMPLIANCE WITH UL 710 AND NFPA 96 AND ARE RECOGNIZED BY DNE OR MORE OF THE FOLLOWING:

ETL LISTED #3054804-001
 ETL LISTED #3054804-001
 ETL LISTED #3054804-001

CAPTIVE-AIR HOODS ARE BUILT IN COMPLIANCE WITH UL 710 AND NFPA 96 AND ARE RECOGNIZED BY DNE OR MORE OF THE FOLLOWING:

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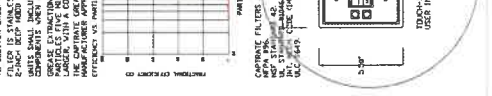
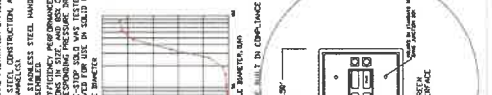
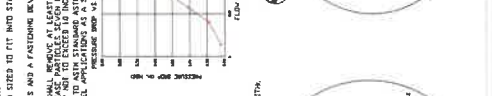
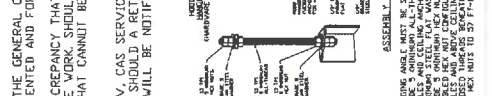
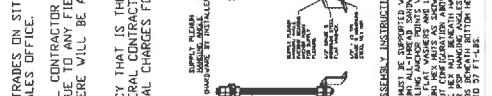
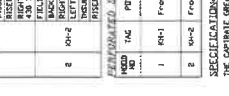
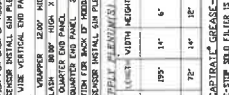
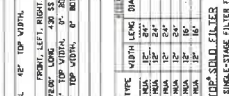
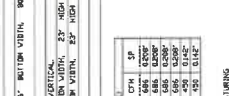
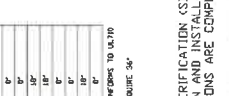
ETL LISTED #3054804-001
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ETL LISTED #3054804-001
 ETL LISTED #3054804-001
 ETL LISTED #3054804-001

FOR QUESTIONS, CALL THE
 GENERAL NUMBERS
 800-368-3683
 817-281-1111
 817-281-1112
 817-281-1113
 817-281-1114
 817-281-1115
 817-281-1116
 817-281-1117
 817-281-1118
 817-281-1119
 817-281-1120
 817-281-1121
 817-281-1122
 817-281-1123
 817-281-1124
 817-281-1125
 817-281-1126
 817-281-1127
 817-281-1128
 817-281-1129
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 817-281-1197
 817-281-1198
 817-281-1199
 817-281-1200

SYSTEM DESIGN VERIFICATION (SDV) ONCE ALL EQUIPMENT HAS HAD A COMPLETE START UP PER THE OPERATION AND INSTALLATION MANUAL. TYPICALLY, THE SDV WILL BE PERFORMED AFTER ALL INSPECTIONS ARE COMPLETE. ANY FIELD RELATED DISCREPANCIES THAT ARE DISCOVERED DURING THE SDV WILL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND CORRESPONDING TRADES ON SITE. THESE ISSUES WILL BE DOCUMENTED AND FORWARDED TO THE APPROPRIATE SALES OFFICE. IF GAS SERVICE HAS RESOLVE A DISCREPANCY THAT IS A FIELD ISSUE, THE GENERAL CONTRACTOR WILL BE NOTIFIED AND BILLED FOR THE WORK. SHOULD A RETURN TRIP BE REQUIRED DUE TO ANY FIELD RELATED DISCREPANCY THAT CANNOT BE RESOLVED DURING THE SDV, THERE WILL BE ADDITIONAL TRIP CHARGES. DURING THE SDV, GAS SERVICE WILL ADDRESS ANY DISCREPANCY THAT IS THE FAULT OF THE MANUFACTURER. SHOULD A RETURN TRIP BE REQUIRED, THE GENERAL CONTRACTOR AND APPROPRIATE SALES OFFICE WILL BE NOTIFIED THERE WILL BE NO ADDITIONAL CHARGES FOR MANUFACTURER DISCREPANCIES.





CHALET Architecture Studio
 3440 PROUD EAGLE DRIVE
 EL PASO, TX 79958
 Tel. (915) 433-0011
 www.chaletarchitecture.com

NUMBER	DATE	REVISION

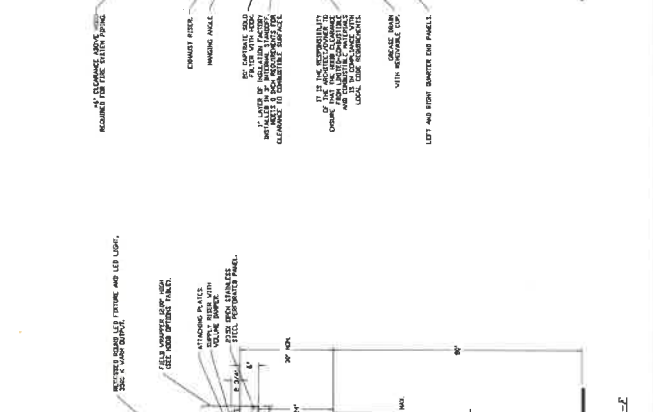
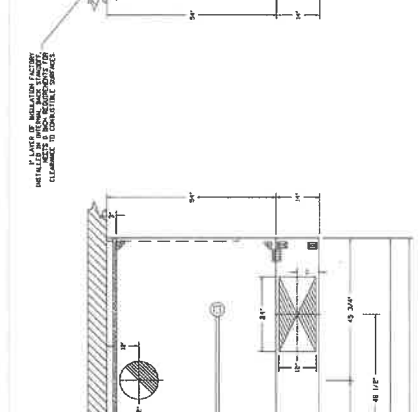
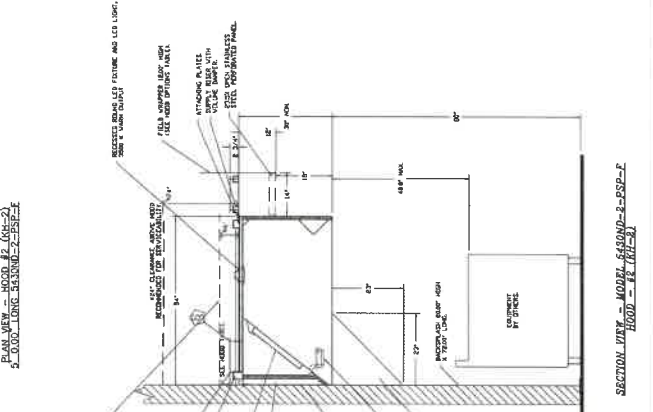
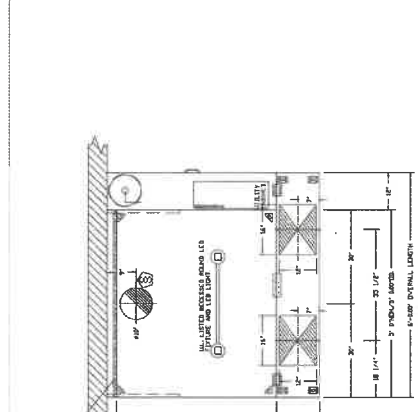
PROJECT # GEN/ELE-03
 SCALE: NTS
 KITCHEN EQUIPMENT PLAN

SHEET NO. 2
 DATE: 3/3/26
 M4.1

NO.	DATE	REVISION



Parlan de Mesilla Restaurant
 MESILLA, NM, 88046
 DATE: 7/10/2025
 DRAWN BY: 7627668
 SCALE: 3/4" = 1'-0"
 MASTER DRAWING



TEST AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY FIRM OR TABS CERTIFIED CONTRACTOR.



CHALET Architecture Studio
 3440 PROUD EAGLE DRIVE
 El Paso, TX 79958
 Tel: (915) 433-0011
 www.chaletarchitecture.com

REVISION	DATE	BY	DESCRIPTION

PROJECT #
 GEN/ELE-03
 SCALE:
 NTS
KITCHEN EQUIPMENT PLAN

DATE:
 3/3/26
M4.5

CAPTIVE AIRLINE
 El Paso & San Antonio
 El Paso, TX PHONE: (915) 800-1717 FAX: (915) 800-1718
 www.captiveairline.com

MESILLA, NM, 88046

DATE: 7/10/2025
 DWG NO: 7827668
 DWG TITLE: KITCHEN
 SCALE: 3/4" = 1'-0"
 MASTER DRAWING

SHEET NO. 6



EXHAUST FAN INFORMATION - JOB#7827668

FAN UNIT NO	TAG	QTY	FAN UNIT MODEL #	MANUFACTURER	CFM	ESP	RPM	MOTOR ENCL	HP	BHP	PHASE	VOLT	FLA	DISCHARGE VELOCITY	HEIGHT (CLBS)	SONES
1	KEF-1A	1	DUBSFA	CAPTIVEAIR	1715	1.500	1600	TEAD-EC	1.000	0.6470	1	200	6.9	543 FPM	94	16.4
2	KEF-1B	1	DUBSFA	CAPTIVEAIR	1715	1.500	1600	TEAD-EC	1.000	0.6470	1	200	6.9	543 FPM	94	16.4
3	KEF-2	1	DUBSFA	CAPTIVEAIR	1125	1.250	1357	TEAD-EC	1.000	0.3920	1	200	6.9	356 FPM	94	11.5

MVA FAN INFORMATION - JOB#7827668

FAN UNIT NO	TAG	QTY	FAN UNIT MODEL #	BLOWER	MIN CFM	MAX CFM	ESP	RPM	MOTOR ENCL	HP	BHP	PHASE	VOLT	FLA	DISCHARGE VELOCITY	HEIGHT (CLBS)	SONES
1	MAU-1	1	A2-2L250-800		2000	3645	0.500	1600	BDP-PREMIUM	3.000	2.2810	3	208	9.5	1159	204	2.25

PLS (TREAD MARK)-UP AIR UNIT(S)

FAN UNIT NO	TAG	QTY	FAN UNIT MODEL #	TEMP RISE	REQUIRED INLET GAS PRESSURE	GAS TYPE	EFFICIENCY	
4	MAU-1	1	176249	182149	48°	7 IN. W.C. - 14 IN. V.C.	NATURAL	92

FAN ACCESSORIES

FAN UNIT NO	EXHAUST	SUPPLY
1	DISCHARGE DAMPER	DISCHARGE DAMPER
2	DISCHARGE DAMPER	DISCHARGE DAMPER
3	DISCHARGE DAMPER	DISCHARGE DAMPER
4	DISCHARGE DAMPER	DISCHARGE DAMPER

CURB ASSEMBLIES

ME	DN	TAG	R-VALUE	WEIGHT	ITEM	SIZE
1	1	KEF-1A	4	44 LBS	CURB	23.000" V X 23.000" X 26.000" VENTED HINGED
2	1	KEF-1B	4	44 LBS	CURB	23.000" V X 23.000" X 26.000" VENTED HINGED
3	1	KEF-2	4	44 LBS	CURB	23.000" V X 23.000" X 26.000" VENTED HINGED
4	1	MAU-1	4.3	90 LBS	CURB	31.000" V X 79.000" L X 20.000" H INSULATED
5	1	MAU-1	4.3	90 LBS	RAIL	4.000" V X 4.000" L X 36.000" H

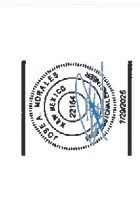
FAN OPTIONS

FAN UNIT NO	TAG	QTY	DESCRIPTION
1	KEF-1	1	GREASE BOX
1	A	1	FAN BASE CERAMIC SEAL - DU/BRSHFA - INSTALLED AT PLANT - FOR GREASE INKTS
1	A	1	ECM WIRING PACKAGE - PWM SIGNAL FROM ECMDS PRECURE (TECO MOTOR), CCV ROTATION
1	A	1	2 YEAR PARTS WARRANTY
1	B	1	GREASE BOX
1	B	1	FAN BASE CERAMIC SEAL - DU/BRSHFA - INSTALLED AT PLANT - FOR GREASE INKTS
1	B	1	ECM WIRING PACKAGE - PWM SIGNAL FROM ECMDS PRECURE (TECO MOTOR), CCV ROTATION
1	B	1	2 YEAR PARTS WARRANTY
2	KEF-2	1	TEMPERED COMMERCIAL DRAIN DISCHARGE FOR DIRECT DRIVE AHS
2	A	1	INLET PRESSURE GAUGE, 0-50"
2	A	1	MANIFOLD PRESSURE GAUGE, -5 TO 15" WC
2	A	1	BUTTERFLY MOD VALVE OPTION FOR MOD SIZE 2 (1" MOD VALVE)
2	A	1	MOTORIZED BACKDRAFT DAMPER FOR A2-D HOUSING - MEETS ANCA CLASS 1A RATING
2	A	1	IDT/MVA EVAP INTERLOCK
2	A	1	COMMERCIAL SHOCK DETECTOR/ALARM INTERLOCK - ALARM SUPPLIED BY OTHERS
2	A	1	SEPARATE LEDV WIRING PACKAGE (REQUIRED AND USED ONLY FOR BCV DR PREWIRE WITH CCV ROTATION)
2	A	1	SIZE 2 DIRECT FIRED HEATER LOW CFM PROFILE PACKAGE - USED ON HEATERS UNDER 250W
2	A	1	2 YEAR PARTS WARRANTY
2	A	1	BRACKET GAS CONNECTION PROVIDED BY FACTORY WITH QUICK SEAL AND ANTI-ROTATION

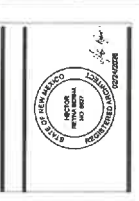
UNIT NUMBER

UNIT #	UNIT	TEMP AVERAGING	ADDRESS
FAN #4	UNIT	NOT AVERAGED	95

TEST AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY NEBB OR TABS CERTIFIED CONTRACTOR.



CHALET Architecture Studio
 3440 PROUD EAGLE DRIVE
 EL PASO, TX 79938
 Tel: (915) 433-0011
 www.chaletarchitecture.com



REVISION TABLE	
NUMBER DATE	REVISION BY

PROJECT #
GEN/ELE-03

SCALE:
NTS

**KITCHEN PLAN
EQUIPMENT PLAN**

DATE:
3/3/26

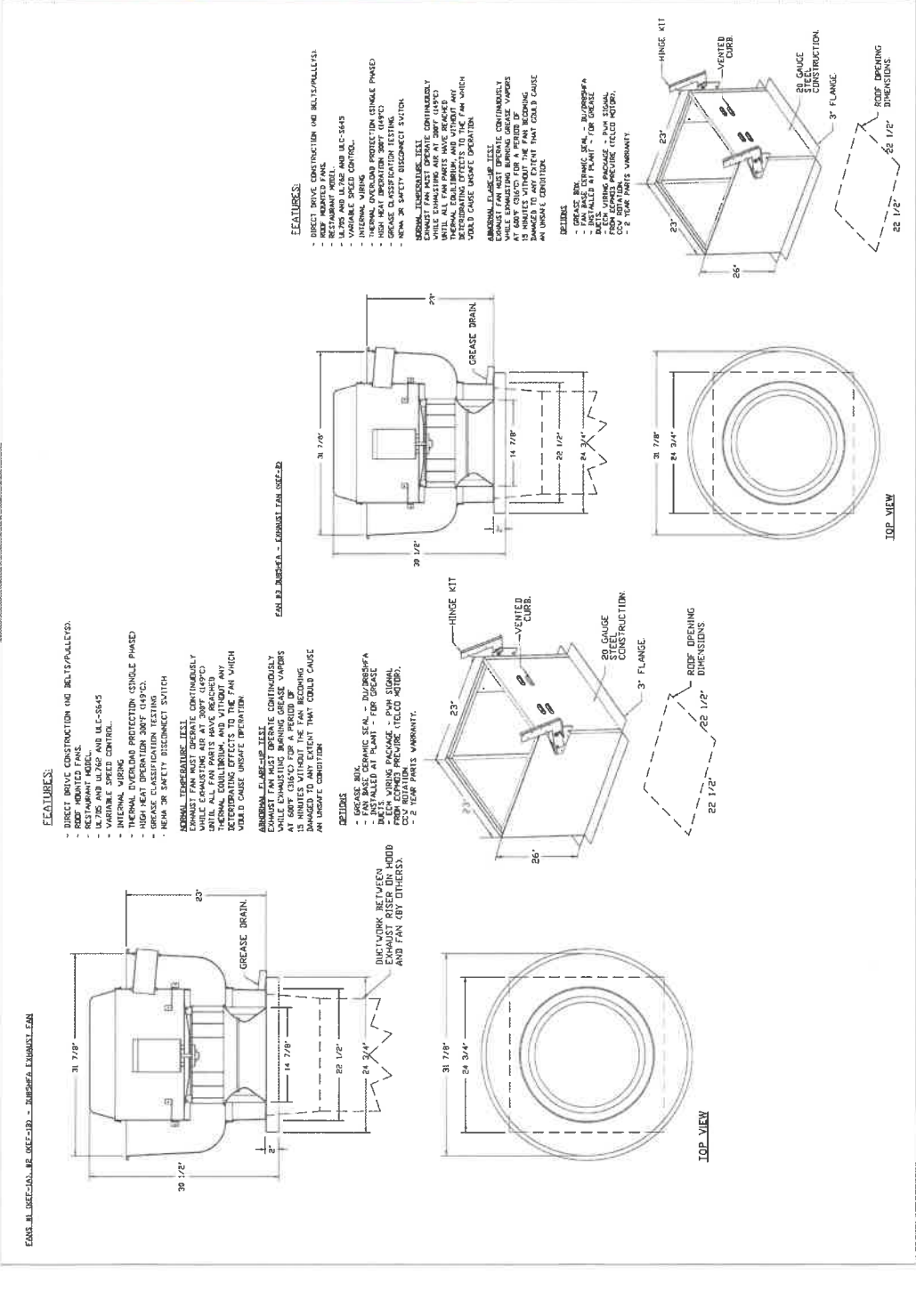
M4.6

CAPTIVE WIRE
 El Paso & San Antonio, TX
 6110 El Paso, TX 79905 | 915.433.0011 | 915.433.0011 | 915.433.0011 | 915.433.0011 | 915.433.0011 | 915.433.0011 | 915.433.0011 | 915.433.0011 | 915.433.0011

REVISED: 7/10/2025
 DRAWN BY: 7627668
 DATE: 7/10/2025
 SCALE: 3/4" = 1'-0"
 MASTER DRAWING

Parion de Mesilla Restaurant
 MESILLA, NM, 88046

SHEET NO. 7



TESTS AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY REB ON THIS CERTIFIED CONTRACTOR.



3449 PROUD EAGLE DRIVE
 #1 FARM, TX 78661
 Tel: (915) 433-0111
 www.chaletarchitecture.com



REVISION	DATE	REVISION

PROJECT #
 GEN/ELE-03

SCALE:
 NTS

KITCHEN
 EQUIPMENT PLAN

M4.8
 DATE: 3/3/26

TEST AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY NEBB OR TABS CERTIFIED CONTRACTOR.

REVISIONS	DATE	DESCRIPTION

CAPTIVE WIRE

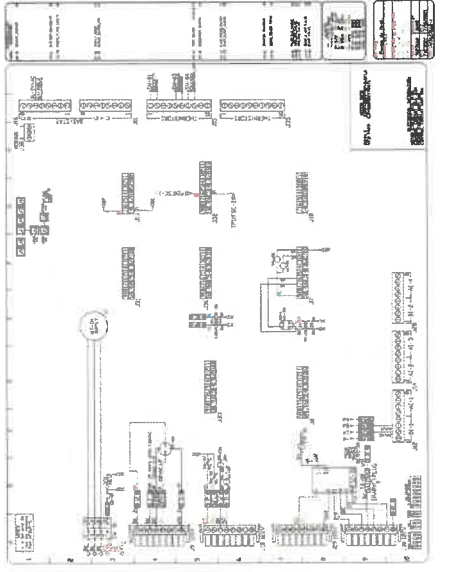
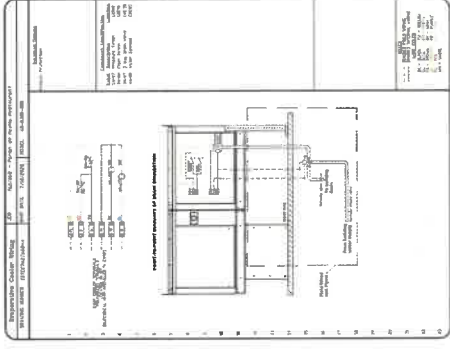
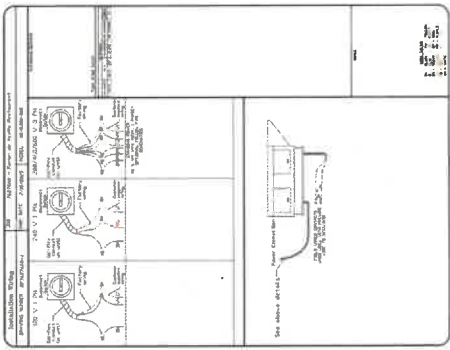
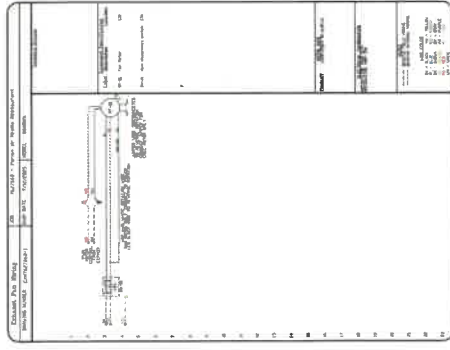
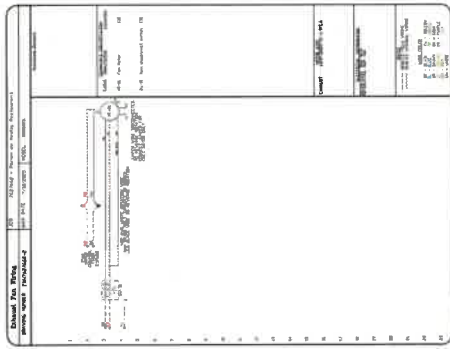
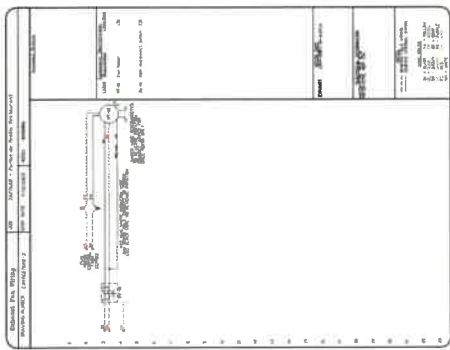
E Paso & SE New Mexico
 10 Paso, TX. PHONE: (915) 621-7187 FAX: (915) 621-7187 EMAIL: info@cpwire.com
 www.cpwire.com

Parlon de Mesilla Restaurant
 MESILLA, NM, 88046

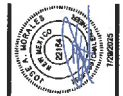
DATE: 7/10/2025
 DWG. NO. 7627668
 DRAWN BY: BTJ

SCALE: 3/4" = 1'-0"
 MASTER DRAWING

SHEET NO. 9



TEST AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY NEBB OR TABS CERTIFIED CONTRACTOR.



CHALET Architecture Studio
 3440 PROUD EAGLE DRIVE
 EL PASO, TX 79936
 TEL: (815) 433-0011
 www.chaletarchitecture.com



NUMBER	DATE	REVISION	BY

PROJECT #
 GEN/VELE-03
 SCALE:
 3/4" = 1'-0"

KITCHEN EQUIPMENT PLAN

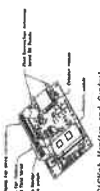
DATE:
 3/3/26
 M4.9

REVISIONS

CAPTIVE WIRE
 El Paso, TX PHONE: (915) 900-7197 FAX: (915) 918-1794 EMAIL: info@captivewire.com
 www.captivewire.com

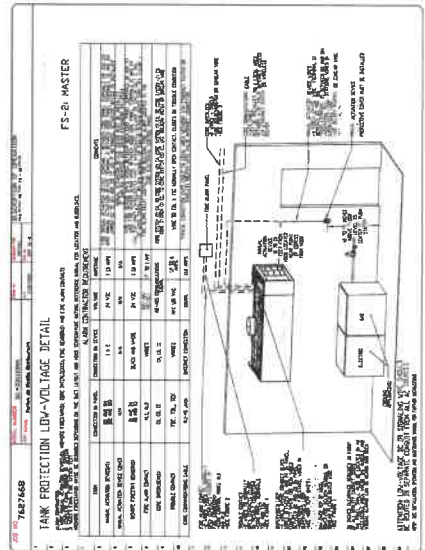
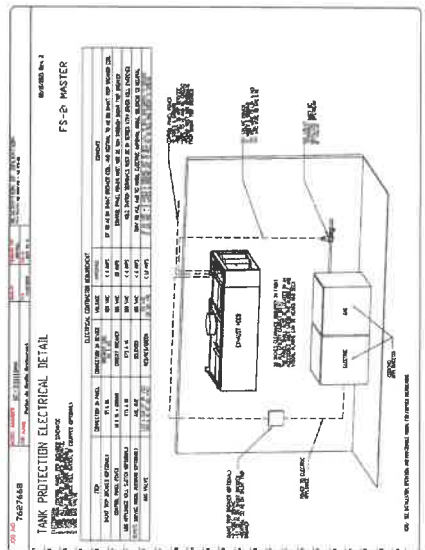
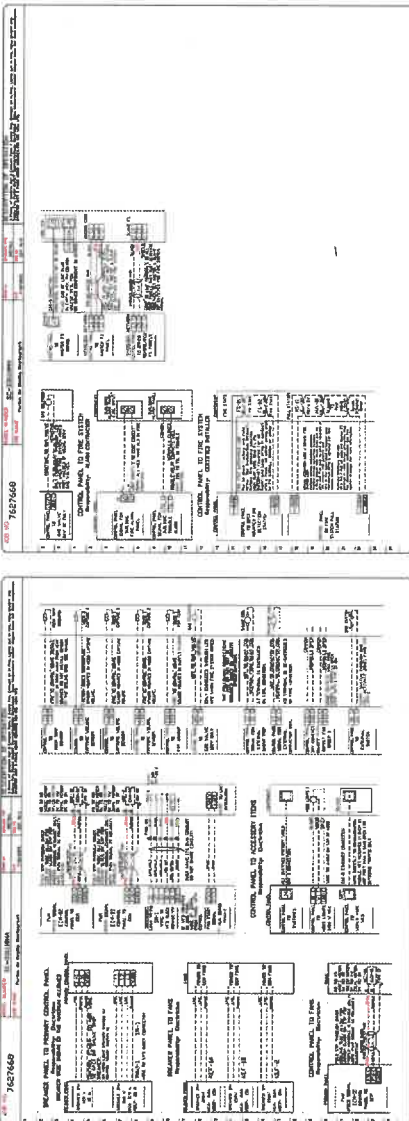
Parlan de Mesilla Restaurant
 MESILLA, NM, 88046
 DATE: 7/10/2023
 DRAWN BY: 7627668
 SCALE: 3/4" = 1'-0"
 MASTER DRAWING
 SHEET NO. 10

NO.	QTY	DESCRIPTION	LOCATION	UNIT	QUANTITY	NOTES
1	1	SCHEMATIC			1	



Control Monitor and Control
 This diagram shows the control panel for the system. It includes a control monitor and control unit. The control monitor is used to monitor the system and the control unit is used to control the system. The control panel is located in the kitchen area.

NO.	QTY	DESCRIPTION	LOCATION	UNIT	QUANTITY	NOTES
1	1	SCHEMATIC			1	



TEST AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY NEED OR TABS CERTIFIED CONTRACTOR.



CHALET Architecture Studio
 340 PROUD EAGLE DRIVE
 El Paso, TX 79906
 Tel: (915) 433-4011
 www.chaletarchitecture.com

REVISION	DATE	BY	DESCRIPTION

PROJECT # GEN/ELE-03
 SCALE: 3/4" = 1'-0"

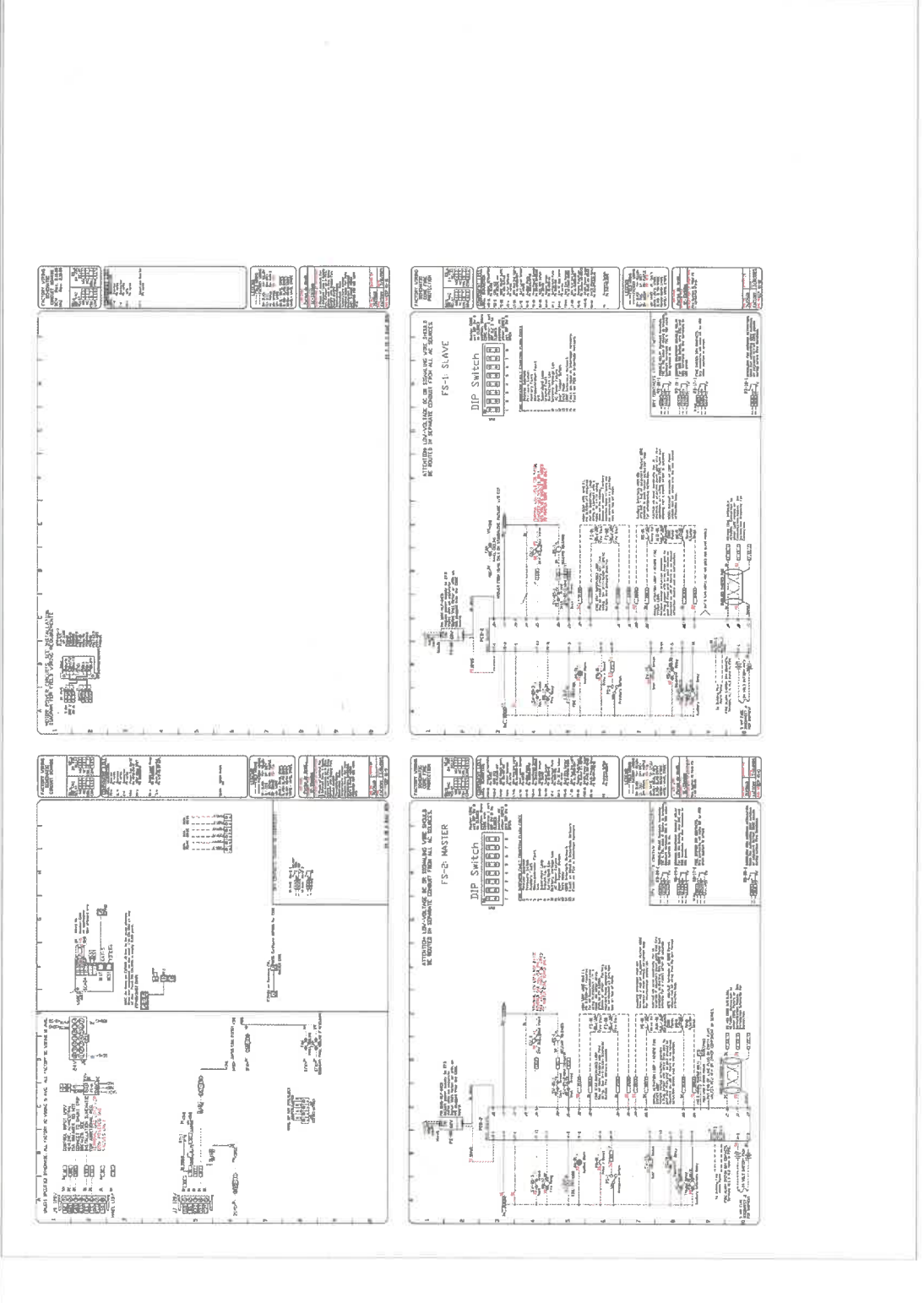
KITCHEN EQUIPMENT PLAN
 SHEET NO. 12
 DATE: 3/3/26
 M4.11

CAPTIVE WIRE
 El Paso & SE New Mexico
 www.captivewire.com
 El Paso, TX, PHONE: (915) 809-7787 FAX: 915) 809-0400 Email: info@captivewire.com

DATE: 7/10/2025
 DWG NO: 7-257828
 DRAWN BY: [Signature]
 SCALE: 3/4" = 1'-0"
 MASTER DRAWING

REVISIONS

RAXIS
 RAXIS ENGINEERING, INC.
 10000 W. 11TH AVENUE, SUITE 100
 DENVER, CO 80231
 PHONE: (303) 751-1111
 WWW.RAXISENGINEERING.COM



TEST AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY NESS OR TABS CERTIFIED CONTRACTOR.



REVISION	DATE	BY	DESCRIPTION

PROJECT # GEN/EL-03
 SCALE: 3/4" = 1'-0"
 KITCHEN EQUIPMENT PLAN
 DATE: 3/3/26
 SHEET NO. 13

CAPTIVE AIR
 El Paso & SE New Mexico
 3440 PROUD EAGLE DRIVE
 EL PASO, TX 79938
 Tel: (915) 433-0011
 www.chaletarchitecture.com

MESILLA, NM, 88046
 Parian de Mesilla Restaurant

DATE: 7/10/2025
 DWGNO: 7627668
 DRAWN BY: [Name]
 SCALE: 3/4" = 1'-0"
 MASTER DRAWING

RAXIS
 RAXIS ENGINEERING & ARCHITECTURE
 10000 W. BROADWAY, SUITE 100
 DENVER, CO 80202
 TEL: (303) 755-1100
 WWW.RAXIS-ENG.COM

DUCTWORK #1 PARTS - 1087827688 DOUBLE WALL KEP-14

TAG	PART #	QTY	UNIT	DESCRIPTION
H-01	DUW16R-03E-0R-S	1715	1715	1715
P1	DUW20R-03A-0R-S	1715	1715	1715
P2	DUW20R-03A-0R-S	1715	1715	1715
P3	DUW20R-03A-0R-S	1715	1715	1715
P4	DUW20R-03A-0R-S	1715	1715	1715
ASSEMBLY	DUW20R-03A-0R-S	1715	1715	1715
SYSTEM AT FS	DUW20R-03A-0R-S	1715	1715	1715
REL	DUW20R-03A-0R-S	1715	1715	1715
TOTAL WEIGHT		122.65		

DOUBLE WALL FACED BUILT UP INSULATED
 - ALL NETWORKS IS REQUIRED TO BE INSTALLED WITH THE MAXIMUM SUPPORT SPACING LISTED BELOW.
 - FOR A COMPLETE LIST OF APPROVED SUPPORT METHODS, SEE THE ENTIRE INSTALLATION AND OPERATION MANUAL.
 - NETWORK SHALL SLOPE NOT LESS THAN 1/16" PER LINEAR FOOT TOWARDS THE HODD OR AN APPROVED GRAVE COLLECTION RESERVOIR.
 - VERTICAL HORIZONTAL DUCTS EXCEED 75 FEET IN LENGTH, THE SLOPE SHALL NOT BE LESS THAN 3/16" PER LINEAR FOOT.

TYPE	WALL SUPPORT (FT)	CLAMP SUPPORT (FT)	CLAMP SUPPORT (FT)
20 & 20 (14'-0" TO 24')	20'	24'	24'
20 & 20 (24'-0" TO 30')	20'	24'	24'
30 (24'-0" TO 30')	18'	20'	20'

DUCT DIAMETER	SUPPORT SPACING (FT)
6"	8'
8"	10'
10"	12'
12"	14'
14"	16'
16"	18'
18"	20'
20"	22'
24"	24'
26"	26'
30"	30'
36"	36'
42"	42'

DO NOT LEAK TEST USING SMOKE BOMBS CONTAINING CHLORINES/CHLORIDES. CONSULT WITH CAPTIVEAIR FOR PROPER LEAK TESTING METHODS.

TEST AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY NEBB OR TABB CERTIFIED CONTRACTOR.



CHALET Architecture Studio

3440 PROUD EAGLE DRIVE
 EL PASO, TX 79906
 Tel: (915) 433-0011
 www.chaletarchitecture.com

REVISION TABLE	REVISION	DATE

PROJECT #
 GEN/ELE-03

SCALE:
 3/4" = 1'-0"

**KITCHEN
 EQUIPMENT PLAN**

DATE:
 M4.13 3/9/26

CAPTIVE

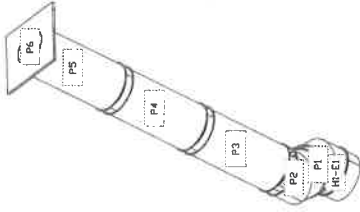
1800 W. TEXAS STREET, SUITE 100, FORT WORTH, TX 76102
 TEL: (817) 440-0000 FAX: (817) 440-0001
 WWW.CAPTIVEENGINEERING.COM

DATE: 7/10/2025
 DRAWN BY: 7627669
 CHECKED BY: [Signature]
 SCALE: 3/4" = 1'-0"
 DESCRIPTION: MECHANICAL

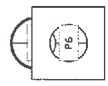
PROJECT #:
 GEN/ELE-03

SHEET NO.: 14

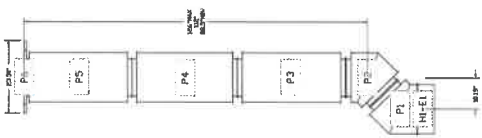
DUCTWORK #1 SE VIEW
 KEF-1A



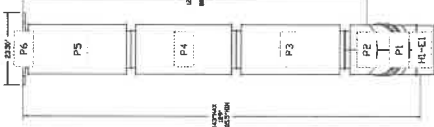
DUCTWORK #1 TOP VIEW
 KEF-1A



DUCTWORK #1 SIDE VIEW
 KEF-1A



DUCTWORK #1 FRONT VIEW
 KEF-1A



Floor (1000'±)

Floor (1000'±)



*TEST AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY NEBS OR TABS CERTIFIED CONTRACTOR.



CHALET Architecture Studio
 3440 PROUD EAGLE DRIVE
 EI PASO, TX 79936
 Tel: (915) 433-0011
 www.chaletarchitecture.com

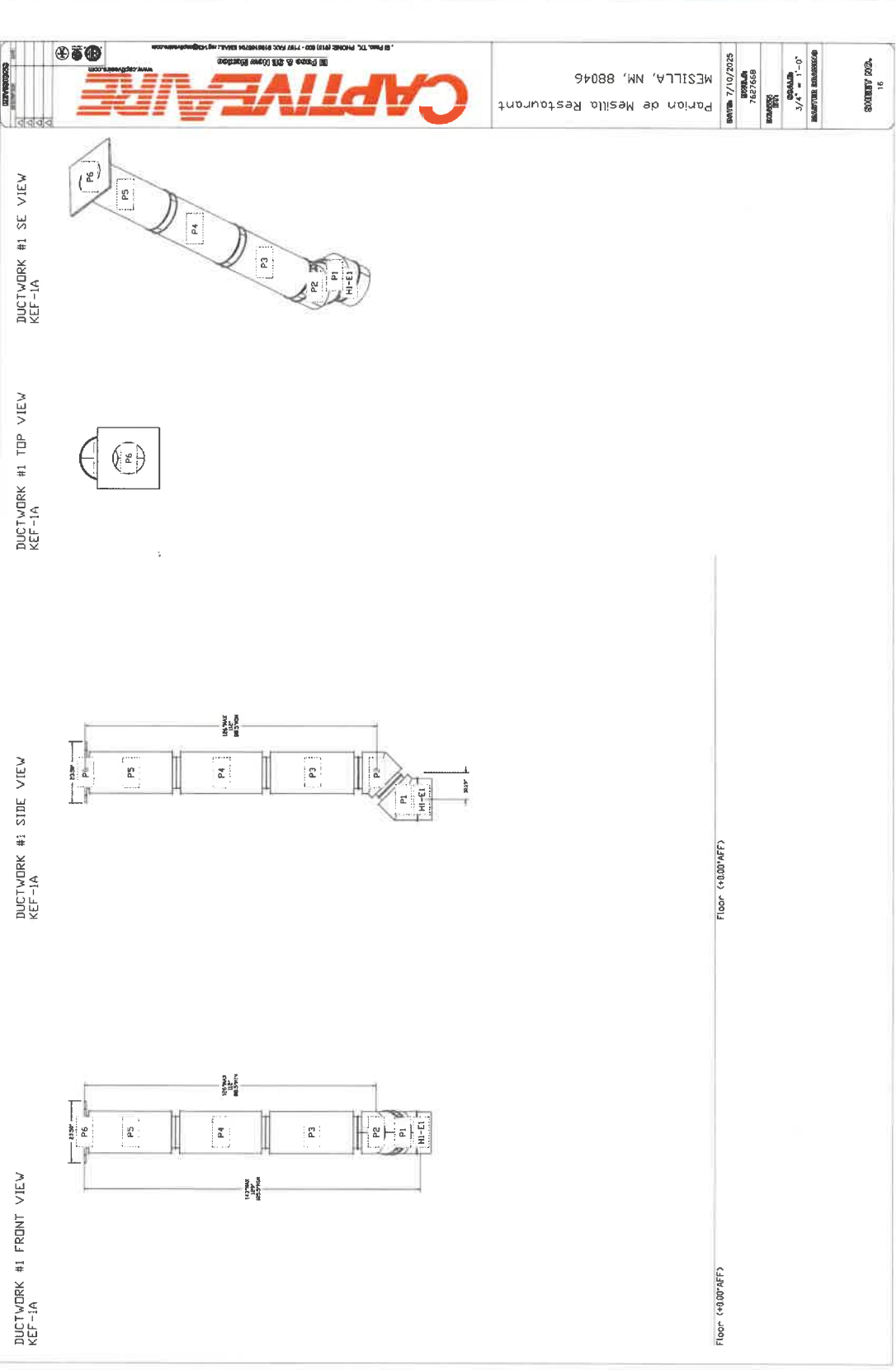
REVISION TABLE		
NUMBER	DATE	DESCRIPTION

PROJECT #
 GEN/ELE-03

SCALE:
 3/4" = 1'-0"

KITCHEN EQUIPMENT PLAN

DATE: **M4.15** 3/3/26



CAPTIVE AIR
 www.captiveair.com
 1800.333.3333
 1800.333.3333

Parion de Mesilla Restaurant
 MESILLA, NM, 88046

DATE: 7/10/2025
 DRAWN BY: JACOB
 CHECKED BY: JACOB

SCALE: 3/4" = 1'-0"
 MULTIPLE DRAWINGS

SHEET NO. 16



*TEST AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY NEBS OR TABS CERTIFIED CONTRACTOR.



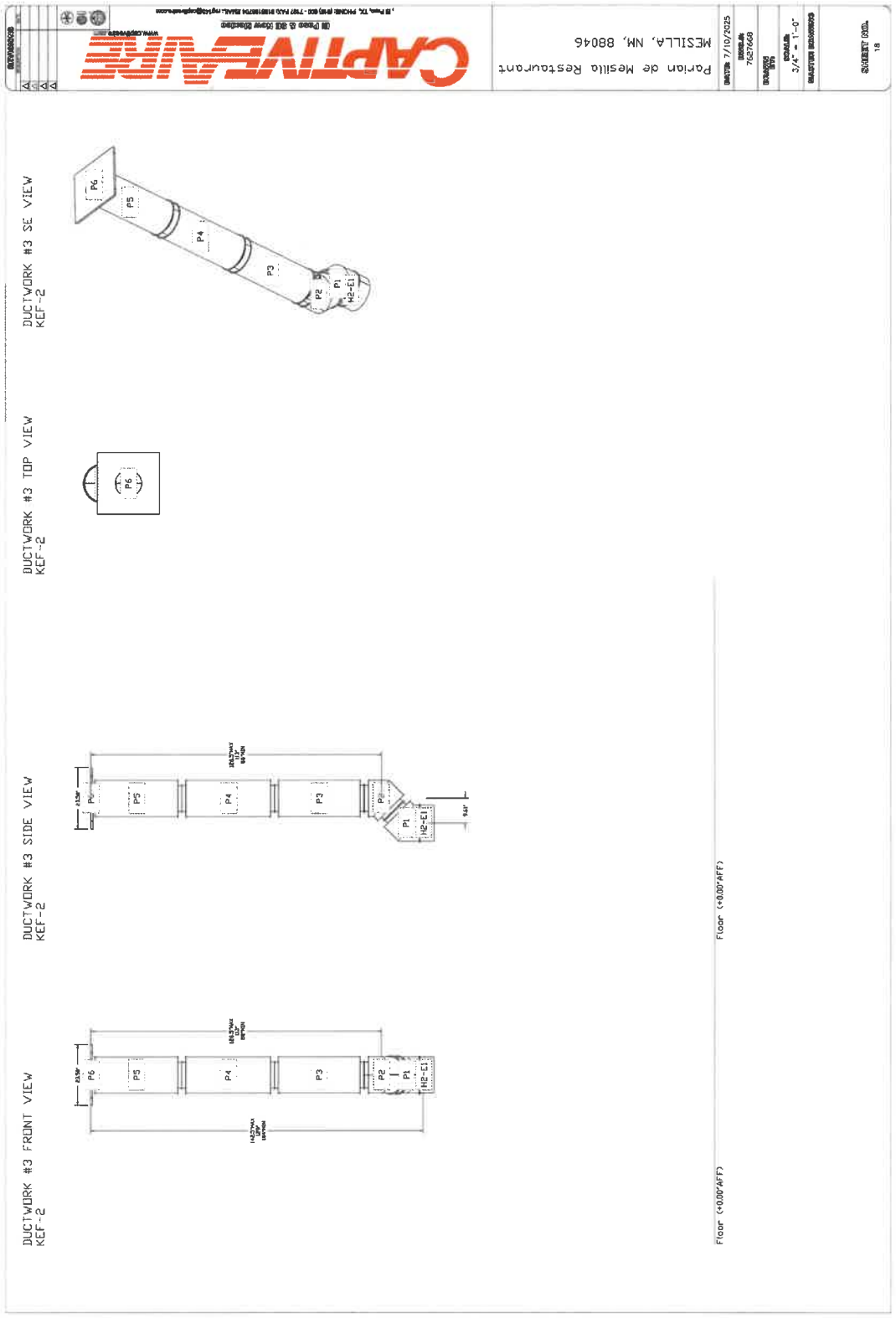
CHALET Architecture Studio
 3440 PROUD EAGLE DRIVE
 EL PASO, TX 79938
 Tel: (915) 433-0011
 www.chaletarchitecture.com

REVISION	DATE	BY	DESCRIPTION

PROJECT #
 GEN/ELE-03
 SCALE:
 3/4" = 1'-0"

DATE:
 3/3/26
 M4.17

KITCHEN EQUIPMENT PLAN



NO.	DESCRIPTION



Parcel de Mesilla Restaurant
 Mesilla, NM, 88046
 DATE: 7/10/2025
 DRAWN BY: 7627668
 SCALE: 3/4" = 1'-0"
 SHEET NO. 18



*TEST AND BALANCE OF MECHANICAL SYSTEMS TO BE PERFORMED AT PROJECT COMPLETION BY A THIRD PARTY NEBB OR TABE CERTIFIED CONTRACTOR.

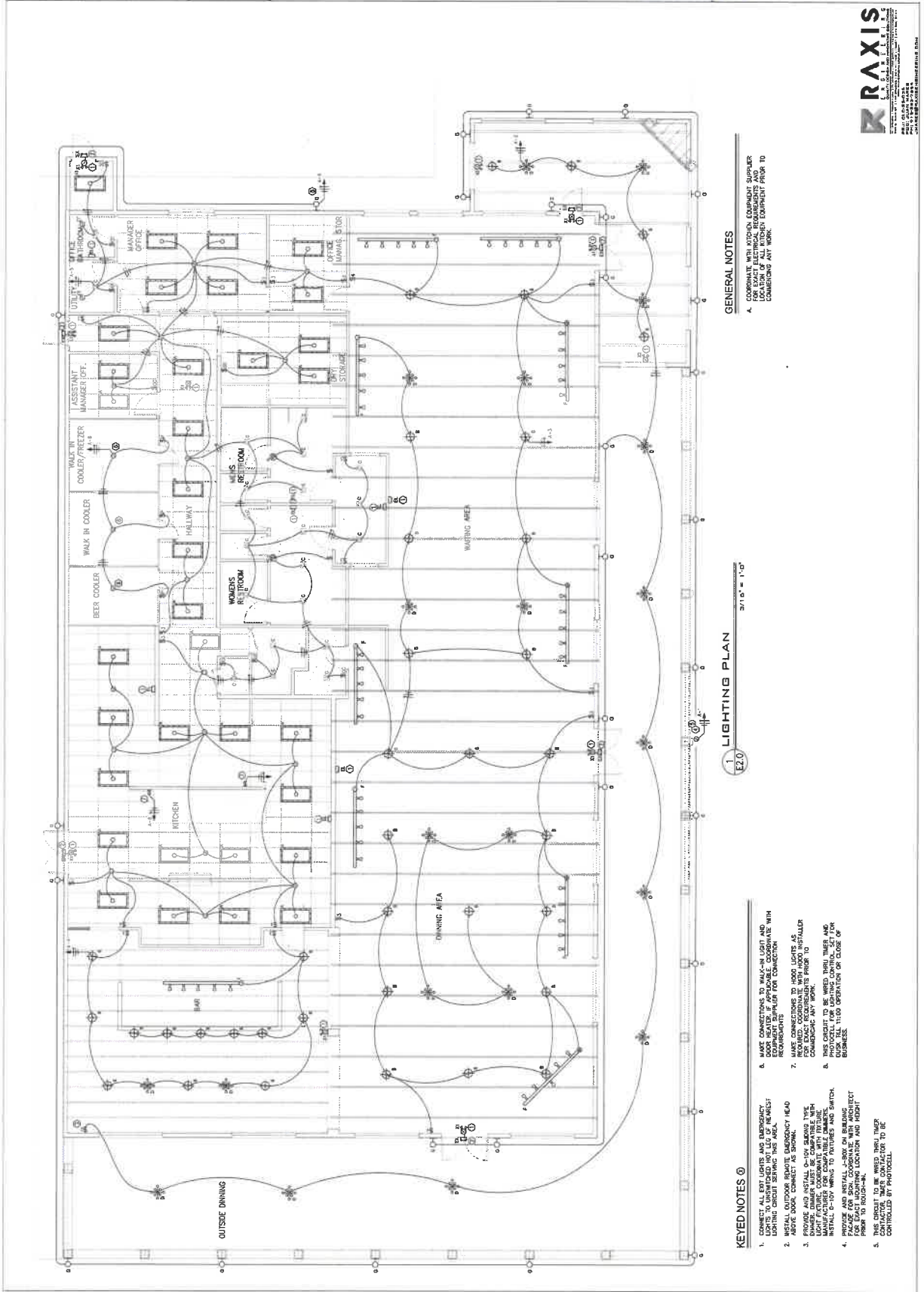
NUMBER	DATE	REVISION	BY	DESCRIPTION

PROJECT #
GEN/ELE-03

SCALE:
3/16" = 1'-0"

LIGHTING PLAN

E2.0 DATE: 3/3/26



GENERAL NOTES

- COORDINATE WITH KITCHEN EQUIPMENT SUPPLIER FOR EXACT ELECTRICAL REQUIREMENTS AND COMMENCE ANY WORK.

1 LIGHTING PLAN
E2.0

3/16" = 1'-0"

KEYED NOTES

- CONNECT ALL EXIST LIGHTS AND EMERGENCY LIGHTS TO UNWIRING AND LEAVE IN PLACE.
- INSTALL OUTSIDE ROUTE EMERGENCY HEAD ABOVE DOOR, CONNECT AS SHOWN.
- PROVIDE AND INSTALL 0-10V DIMMING TYPE LIGHT FIXTURES, COORDINATE WITH FIXTURE MANUFACTURER. INSTALL 0-10V WIRING TO FIXTURES AND SWITCH.
- PROVIDE AND INSTALL J-BOX ON BRANDING FOR EACH LIGHT FIXTURE LOCATION AND IDENTIFY PRIOR TO ROUGH-IN.
- THIS CIRCUIT TO BE JUMPED FROM J-BOX CONTROLLED BY PHOTOCELL.



CHALET Architecture Studio
 3409 DODD EAGLE DRIVE
 EL PASO, TX 78608
 Tel: (915) 433-0011
 www.chaletarchitecture.com

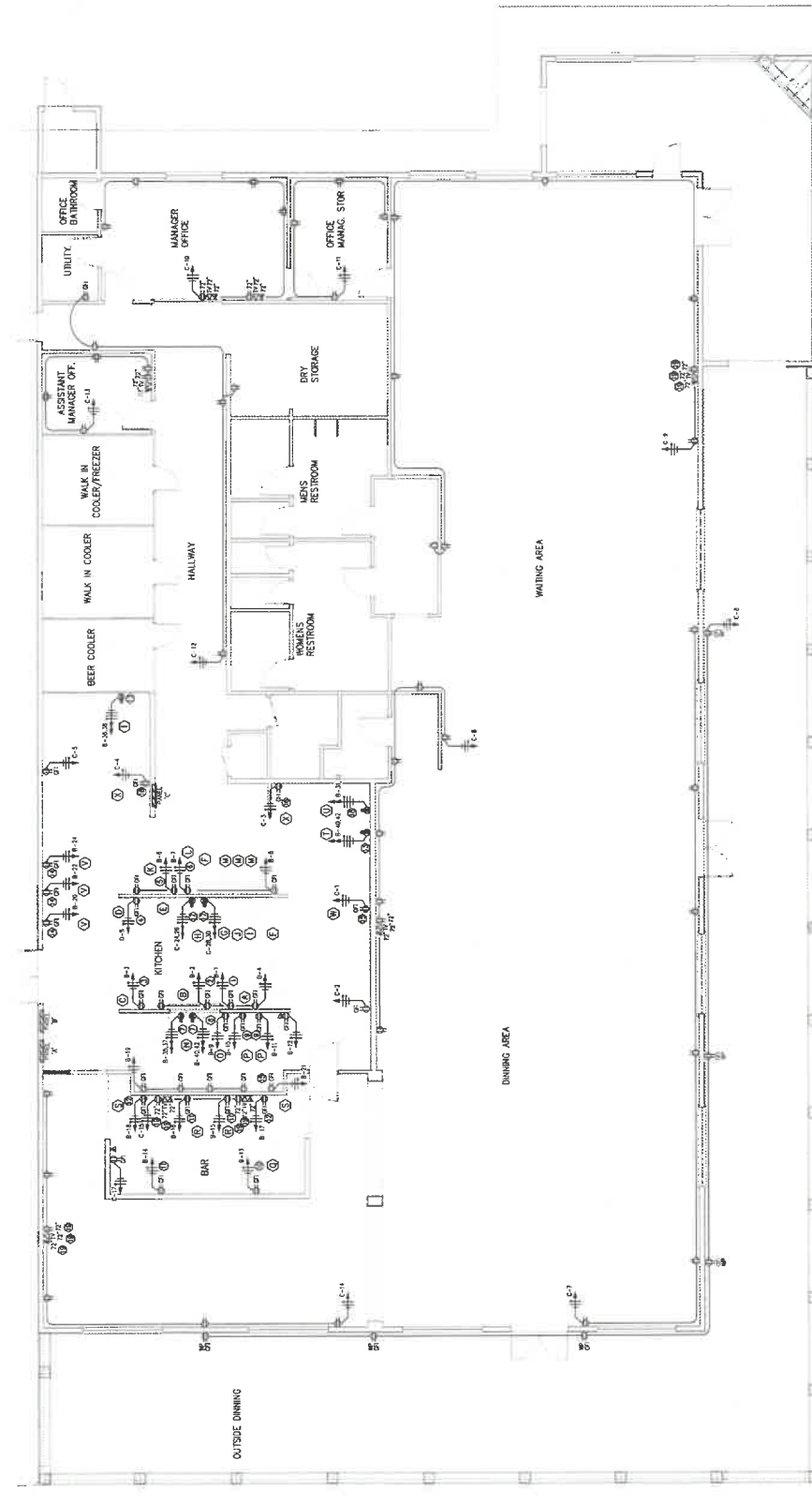


NUMBER	DATE	REVISION	BY

PROJECT # GEN/ELE-03
 SCALE: 3/16" = 1'-0"

POWER PLAN

DATE: 3/13/26
 E3.0



1 POWER PLAN
 3/16" = 1'-0"

GENERAL NOTES

- A. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL ORDINANCES.
- B. COORDINATE WITH KITCHEN EQUIPMENT SUPPLIER FOR EXACT ELECTRICAL REQUIREMENTS AND PROVIDE EXACT ELECTRICAL PANEL SCHEDULE PRIOR TO COMMENCING ANY WORK.

1. PROVIDE AND INSTALL 120V NEUA 3-1P GFI RECEPTACLE FOR PREP-TABLE REFRIGERATOR, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
2. PROVIDE AND INSTALL 120V NEUA 3-1P GFI RECEPTACLE FOR REFRIGERATOR, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
3. PROVIDE AND INSTALL 120V NEUA 3-1P GFI RECEPTACLE FOR BEER COOLER, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
4. PROVIDE AND INSTALL 120V NEUA 3-1P GFI RECEPTACLE FOR HOT/COLD WATER DISPENSER, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
5. PROVIDE AND INSTALL 120V NEUA 3-1P GFI RECEPTACLE FOR SINK, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
6. PROVIDE AND INSTALL 120V NEUA 3-1P GFI RECEPTACLE FOR ICE MAKING, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
7. PROVIDE AND INSTALL 200V NEUA 6-2P WITH GFCI RECEPTACLE FOR WALK IN COOLER, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
8. PROVIDE AND INSTALL 200V NEUA 6-2P WITH GFCI RECEPTACLE FOR WALK IN COOLER, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
9. PROVIDE AND INSTALL 200V NEUA 6-2P WITH GFCI RECEPTACLE FOR WALK IN COOLER, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
10. PROVIDE AND INSTALL 200V NEUA 6-2P WITH GFCI RECEPTACLE FOR WALK IN COOLER, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
11. PROVIDE AND INSTALL 200V NEUA 6-2P WITH GFCI RECEPTACLE FOR WALK IN COOLER, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
12. PROVIDE AND INSTALL 200V NEUA 6-2P WITH GFCI RECEPTACLE FOR WALK IN COOLER, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
13. PROVIDE AND INSTALL 200V NEUA 6-2P WITH GFCI RECEPTACLE FOR WALK IN COOLER, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.
14. PROVIDE AND INSTALL 200V NEUA 6-2P WITH GFCI RECEPTACLE FOR WALK IN COOLER, COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO COMMENCING ANY WORK.

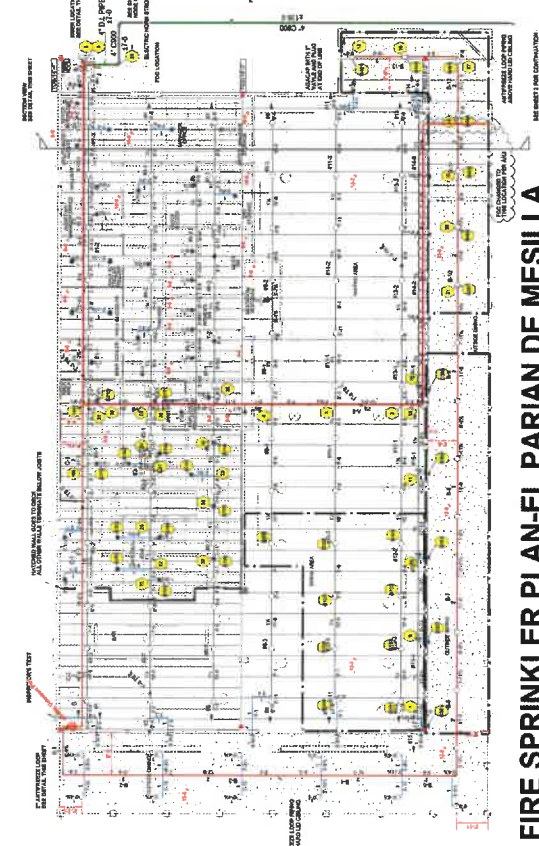
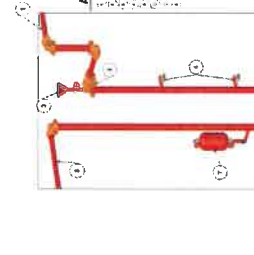
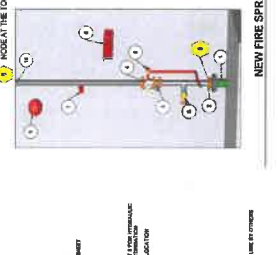
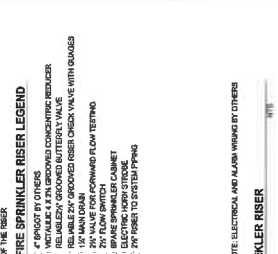
SCOPE OF WORK
DESIGN AND INSTALLATION OF A NEW 2.5" DRY SIDE BRANCH SYSTEM FOR THE ENTIRE BUILDING.
SPECIFICALLY TO THE 1ST FLOOR OUTSIDE DINING.

BUILDING DATA
OCCUPANCY: A2
TYPE: V3
NUMBER OF STORES: 1
BUILDING HEIGHT: 10'-0"
TOTAL FLOOR AREA: 11,432 SFT
INCLUDING OUTSIDE DINING

RELEVANT STANDARDS
NFPA 13 2016 EDITION
INTERNATIONAL FIRE CODE (IFC) 2021 EDITION

GENERAL NOTES:

- ALL WORK IS TO BE IN ACCORDANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING SPRINKLER SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING ELECTRICAL SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING PLUMBING SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING STRUCTURE AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING MECHANICAL SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING FIRE ALARM SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING ELEVATOR SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING STAIR SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING ROOF SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING EXTERIOR SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING INTERIOR SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING FINISH SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING UTILITIES SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING SECURITY SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING COMMUNICATIONS SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING TRANSPORTATION SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING ENERGY SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING ENVIRONMENTAL SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING INFRASTRUCTURE SYSTEM AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.
- THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING OTHER SYSTEMS AND HAS FOUND IT TO BE IN COMPLIANCE WITH THE 2021 IFC AND NFPA 13 2016 EDITION.



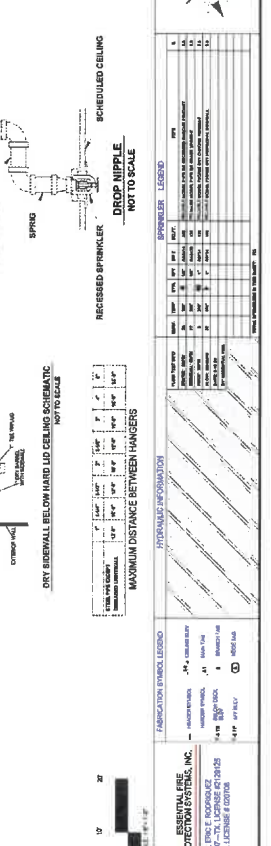
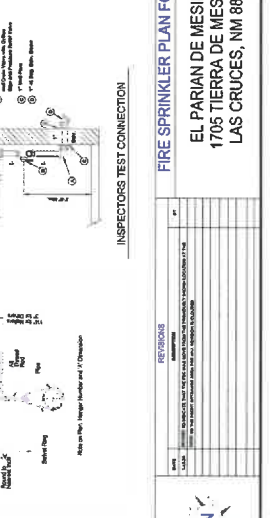
FIRE SPRINKLER PLAN-EL PARIAN DE MESILLA
SCALE: 1/8"=1'-1"

SYMBOL	DESCRIPTION
(Symbol)	2.5" RISER
(Symbol)	2.5" WALKER CABINET
(Symbol)	2.5" VALVE FOR FORWARD FLOW TESTING
(Symbol)	2.5" BRASS WALKER CABINET
(Symbol)	2.5" RISER TO SYSTEM PIPING
(Symbol)	2" ANTIFREEZE LOOP
(Symbol)	2" FILL COCK VALVE
(Symbol)	2" SPRING CHECK VALVE
(Symbol)	2" BRASS WALKER CABINET
(Symbol)	2" TO UNSATURATED AREA
(Symbol)	1.5" AND 2.0" CONCENTRIC REDUCERS
(Symbol)	REMILBURY GROUNDED BUTTERFLY VALVE
(Symbol)	1.5" AND 2.0" WELDED GASKET CHECK VALVE WITH DISCHARGE



VICINITY MAP

ESSENTIAL FIRE PROTECTION SYSTEMS, INC.
15000 W. HIGHTWAY 170
SUITE 100
DALLAS, TEXAS 75244
TEL: (972) 242-1234
WWW.ESSENTIALFIREPROTECTION.COM



FIRE SPRINKLER PLAN FOR: EL PARIAN DE MESILLA 1705 TIERRA DE MESILLA LAS CRUCES, NM 88005

NO.	REVISIONS
1	ISSUED FOR PERMIT
2	REVISED PER COMMENTS FROM THE CITY OF LAS CRUCES
3	REVISED PER COMMENTS FROM THE CITY OF LAS CRUCES
4	REVISED PER COMMENTS FROM THE CITY OF LAS CRUCES
5	REVISED PER COMMENTS FROM THE CITY OF LAS CRUCES
6	REVISED PER COMMENTS FROM THE CITY OF LAS CRUCES
7	REVISED PER COMMENTS FROM THE CITY OF LAS CRUCES
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CHALET
Architecture
Studio

3440 PROUD EAGLE DRIVE
E. Ft. Worth, TX 76136
Tel: (817) 433-0811
www.chaletarchitecture.com



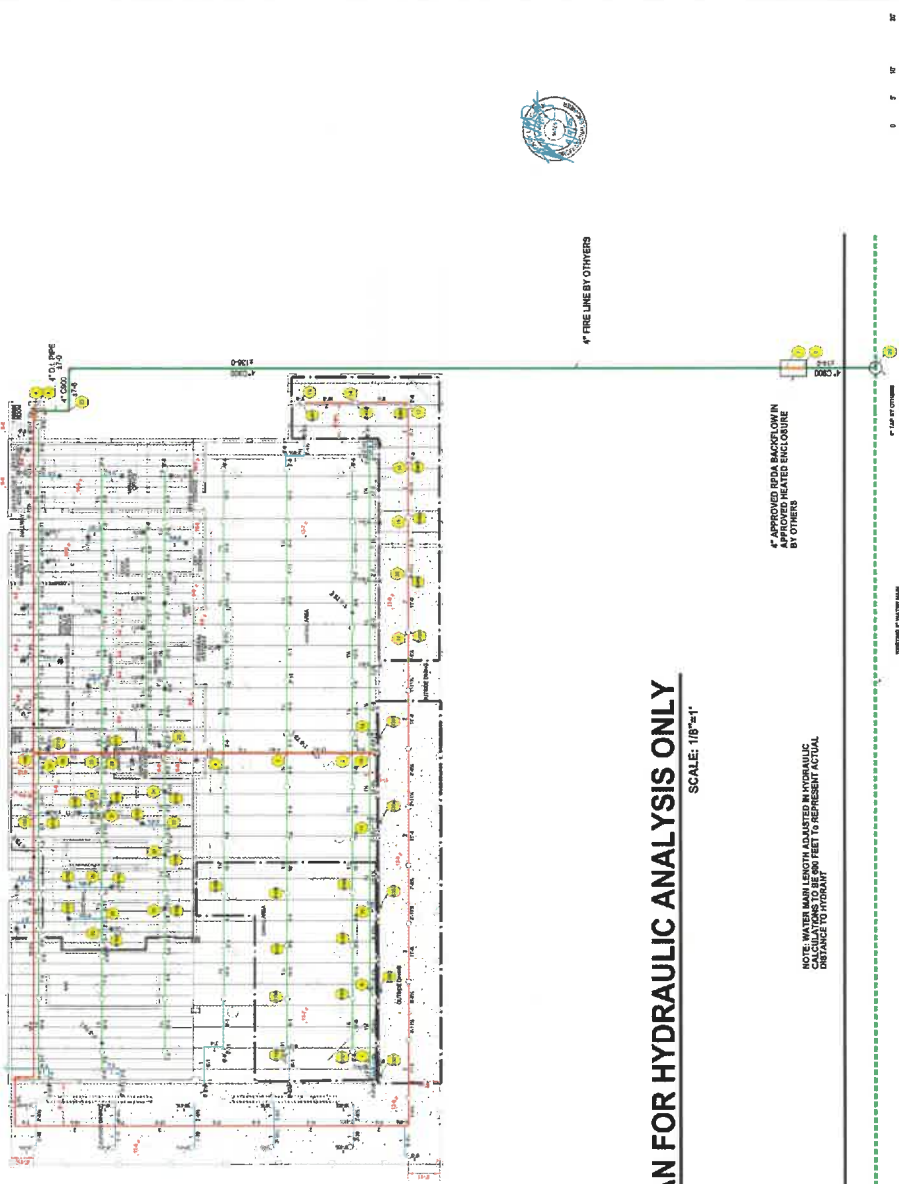
REVISION	DATE	BY	DESCRIPTION

PROJECT #
GENEVE-03

SCALE:
1/8"=10'

FIRE LINE FOR
HYDRAULIC
ANALYSIS

F-2 DATE:
3/3/26



FIRE LINE PLAN FOR HYDRAULIC ANALYSIS ONLY
SCALE: 1/8"=1'

NOTE: WATER MAIN EXISTING AS SHOWN IN HYDRAULIC CALCULATIONS TO BE 90' FEET TO REPRESENT ACTUAL DISTANCE TO HYDRANT

4" SPRINKLER RISER BACKS AWAY FROM APPROVED RELATED ENCLOSURE BY OTHERS

TIERRA DE MESILLA

<p>ESSENTIAL FIRE PROTECTION SYSTEMS, INC. 5625 W. STATE ST. SUITE 100 DALLAS, TEXAS 75247 TEL: (972) 412-1272</p>	<p>PROJECT INFORMATION</p> <p>PROJECT NAME: TIERRA DE MESILLA</p> <p>PROJECT ADDRESS: 1705 TIERRA DE MESILLA, LAS CRUCES, NM 88005</p>	<p>DESIGNER INFORMATION</p> <p>DESIGNER: CHALET ARCHITECTURE STUDIO</p>	<p>DATE: 3/3/26</p>
	<p>PROJECT #</p> <p>GENEVE-03</p>	<p>SCALE</p> <p>1/8"=10'</p>	<p>PROJECT #</p> <p>GENEVE-03</p>

**BOARD ACTION FORM
AGENDA DATE**

PZHAC: 3/16/26

BOT: 3/23/2026

**DAC ACCOUNT # R0400254
BLDG CODE – ACC
EVALUATION COST- \$59,799.46
FEE - \$0**

ITEM: ZONING CASE#062105 – 2670 Calle de Parian, requested by the Town of Mesilla. Carport on the south end of the Public Safety Building. ZONE: Historical Residential (HR).

BACKGROUND AND ANALYSIS:

Town of Mesilla is requesting approval to have Milestone Construction company install corrugated carport similar to the existing carport on the public safety building. Carport will help keep vehicles cool in the hot summer.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- The applicant has the authority to appeal the decision from PZHAC to BOT.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Have final approval on certain cases determined by the BOT.
4. Deny the application.

DEPARTMENT COMMENTS:

- Natural corrugated similar to the other side of public safety building.
- Is allowed within the historic commercial zone, MTC 18.33.100(C) - *Metal Roofing. Historically appropriate material and colors for new and replacement metal roofs are corrugated metal in either the natural gray or brick red color.*
- Carport will be approximately 100' long, covering 10 vehicles.
- Roof is sloped for draining into the parking lot and down to a storm drain.
- Help protect the vehicles from extreme sun.
- Keep cars cooler in the summer

SUPPORTING INFORMATION:

- Plans (see attached)
- Contractor License
- Quote
- Street view



TOWN OF MESILLA

2231 AVENIDA DE MESILLA
 MESILLA, NM, 88046
 PO BOX 10
 575-524-3262

mesillaced@mesillanm.gov

2026 ZONING PERMIT APPLICATION

Review Fee \$	_____
Permit Fee \$	_____
Penalty Fee \$	_____
Extension Fee \$	_____
TOTAL FEE \$	0

Name of property owner TOWN OF MESILLA		Worksite Address 2670 CALLE DE PARIAN	
ID/DL# N/A		Mailing Address PO BOX 10 MESILLA NM 88046	
Phone 575-524-3262		Email mesillaced@mesillanm.gov	Dona Ana County Account # R0400254
Contractor MILESTONE CONST. LLC	Mailing Address [REDACTED]	Phone 575-642-1560	License # [REDACTED]
Description of Proposed work CORRUGATED CARPORT ON SOUTH END OF PUBLIC SAFETY BUILDING			
Evaluation Cost \$ \$59,799.46		Date 3/12/2026	

Signature of Applicant _____

Date _____

ALONG WITH this application, proof of property ownership and signed contractor/client contract agreement is required to include evaluation cost of project. Plans are to be no larger than 11"x 17" or submitted electronically.

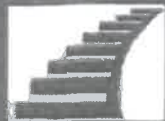
1. Site Plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to March 14, 1972.
2. Foundation Plan, new construction in full size drawings
3. Floor Plan, showing rooms, their uses and with dimensions
4. Cross section walls
5. Roof Plan and floor framing plan
6. Electrical Plans
7. Plumbing Plans
8. Elevations, details of architectural style and color scheme (checklist for Historic Zones)
9. Drainage plans (commercial)

Application is not considered to be submitted until ALL required documentation is submitted and application fee(s) are paid. Aside from administrative approvals, application process must undergo review by staff, PZHAC and/or BOT before permit is issued. All required NM CID permits must first obtain a zoning permit if work is to be performed in Mesilla. *****ALL permits must be displayed in clear view until final inspection*****

OFFICE USE ONLY

Reviewed by: Public Works	 Lorenza Aschena (Mar 12, 2026 12:07:27 MDT)	Date	Mar 12, 2026
Fire Department	 Greg White	Date	Mar 12, 2026
NM CID	 Thomas Maese (Mar 13, 2026 04:37:37 MDT)	Date	Mar 13, 2026
Community Development	 Eddie Salazar (Mar 12, 2026 11:52:33 MDT)	Date	Mar 12, 2026
Date(s) Approved: _____ Administrative	 Liana Aguirre (Mar 12, 2026 12:41:02 MDT)	Date	Mar 12, 2026
_____ PZHAC		_____ BOT	_____ CID

COMMENT(S) _____



Milestone Construction LLC

A Profitable Success

GB98 License # 419880

Mesilla Public Safety Parking Canopy PRICE PROPOSAL

1685 Camino De Pavos
Las Cruces NM 88005
Phone: (575) 642-1560
Email: marco@milestoneconstruct.com

DATE: December 18, 2025
QUOTATION #2
CUSTOMER ID 2501

QUOTATION VALID UNTIL: January 17, 2026

CUSTOMER

Town of Mesilla
Mayor Hernandez

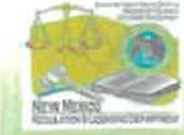
PREPARED BY: Marco Hamilton

DESCRIPTION		AMOUNT
	Lump sum	\$54,012
30 ft x 108 ft full length parking canopy at North side of Public Safety Building.		
Matching design of front entrance canopy (corrugated galvanized roof panels and painted tubular columns/beams) Intermediate support members are painted perlin steel.		
Reinforced concrete footings		
Flashing to tie into existing building		
Modifications to existing downspouts		
Includes: Design, permit, bond & CES fees		
Excludes lighting		
	BOND 3%	\$ 1,620.37
	TAX @ 7.49 %	\$ 4,166.88
	TOTAL	\$59,799.46

Note: quoted is full length canopy which can be shortened and/or a more basic design can be considered as cost reduced options.

If you have any questions concerning this quotation, please reach out to Marco (575) 642-1560

THANK YOU FOR YOUR BUSINESS!



New Mexico E-Services for Contractor Licensing



[Home Page](#)

Company Details

Company Name	MILESTONE CONSTRUCTION LLC	License Number	419880
Phone Number	5756421560	License Status	Active
Issue Date	03/20/2025	Expiry Date	03/31/2028
Volume	\$1000000.00 +		

Principal Place of Business Address

1685 CAMINO DE PAVOS

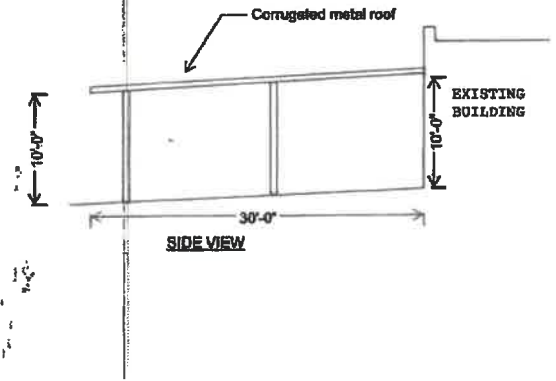
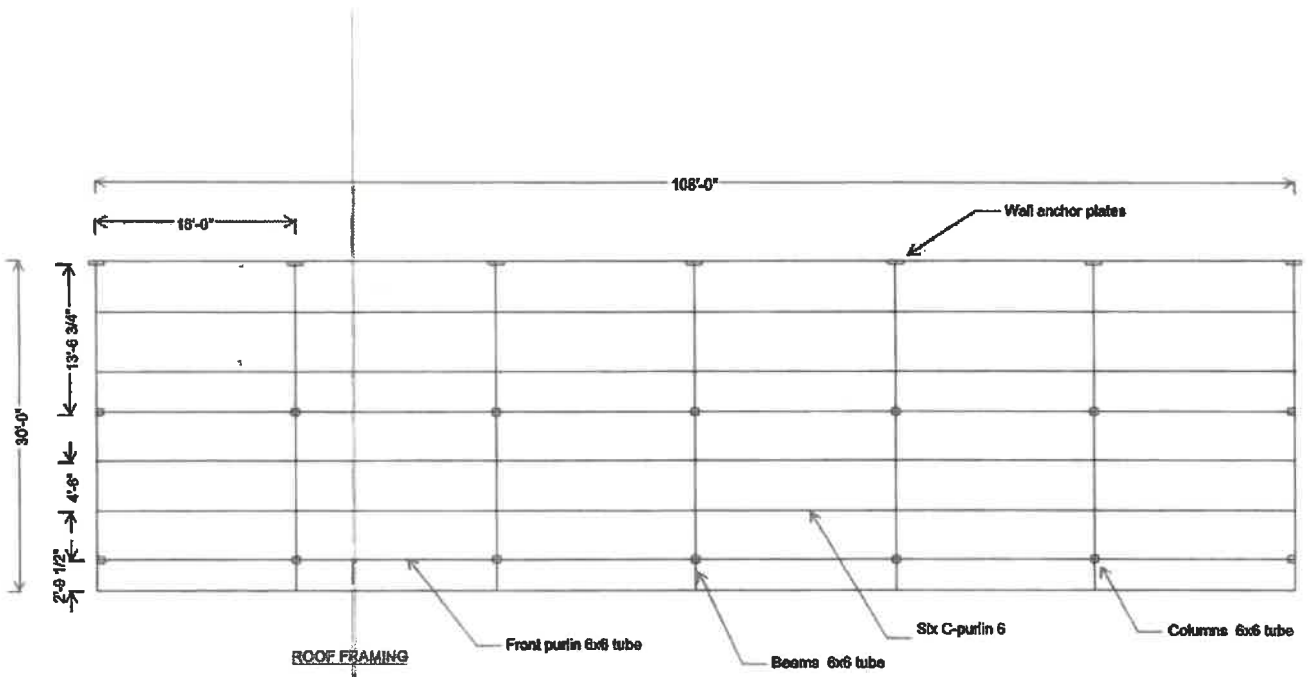
City LAS CRUCES

State NM Zip Code 88005

QP Details

Name	Certificate No	Classification	Attach Date	Status
<u>MARCO THOMAS HAMILTON</u>	419881	GB98	03/20/2025	Attached

[Back to search page](#) [Back](#)





PARKING LOT SHADE STRUCTURE

2670 CALLE DE PARIAN
MESILLA, NM 88046

PROJECT TYPE : SITE IMPROVEMENT - SHADE STRUCTURE

CLIENT: MILESTONE CONSTRUCTION, LLC
1885 CAMINO DE PAVOS, LAS CRUCES, NM, 88005
PHONE: (575) 642-1560

ARCHITECT: O5 ARCHITECTS
5999 CHIRICAHUA TRAIL, LAS CRUCES, NEW MEXICO 88012
TEL: (575)440 - 6233
E-MAIL: e5architects@outlook.com

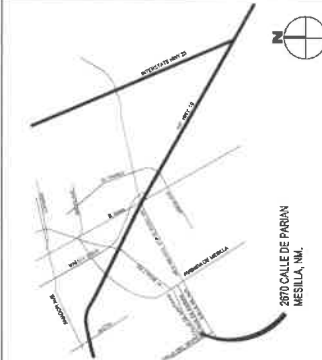
CODE ANALYSIS

OCCUPANCY	U
CONSTRUCTION	
INTERNATIONAL BUILDING CODE	2011 EDITION
INTERNATIONAL MECHANICAL CODE	2011 EDITION
INTERNATIONAL PLUMBING CODE	2011 EDITION
NATIONAL ELECTRICAL CODE	2011 EDITION
INTERNATIONAL FIRE CODE	2011 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE	2011 EDITION
INTERNATIONAL COMMERCIAL BUILDING CODE	2011 EDITION
NATIONAL ELECTRICAL SAFETY CODE	2011 EDITION
NFPA 101 LIFE SAFETY CODE AND RELATED CODE AND STANDARD	2011 EDITION
ADA STANDARDS FOR ACCESSIBLE DESIGN, US DEPARTMENT OF JUSTICE	2011 EDITION
LOCAL ORDINANCES	
TOWN OF MESILLA ORDINANCE	

PROJECT DATA



VICINITY MAP



GENERAL NOTES:

- THE FOLLOWING NOTES APPLY TO ALL DRAWINGS UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, DIMENSIONS AND LOCATIONS OF UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS. NOTES TAKE PRECEDENCE OVER NOTATION.
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SHEET INDEX

SHEET	SHEET NAME
T	TITLE
A101	FLOOR PLAN, ROOF PLAN, DETAIL
A102	ELEVATIONS, SECTION
S101	FOUNDATION PLAN, FRAMING PLAN, DETAILS



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ARCHITECTURE + PLANNING
6190 CHIRICAHUA TRAIL
LAS CRUCES, NM 88012

Phone: (575) 642-6233
Email: e5architects@outlook.com

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PROJECT TITLE

**PARKING LOT
SHADE STRUCTURE**

ADDRESS

2670 CALLE DE PARIAN
MESILLA, NM 88046

PROJECT NO.

180-1329

DATE

REVISION

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EMAIL: OSARCHITECTS@AOL.COM



PROJECT TITLE
**PARKING LOT
SHADE STRUCTURE**

ADDRESS
2810 CALLE DEL PUEBLO
MESA, NM 88008

PROJECT NO. 190129

NO.	DATE	REVISION
1		
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SHEET TITLE
**FLOOR PLAN /
ROOF PLAN /
DETAILS**

FILENAME	190129-01-PLAN
ISSUE	00
DATE	MARCH 2020
DRAWN BY	WBD
CHECKED BY	WBD

OWNER'SHIP APPROVAL

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SHEET NO.

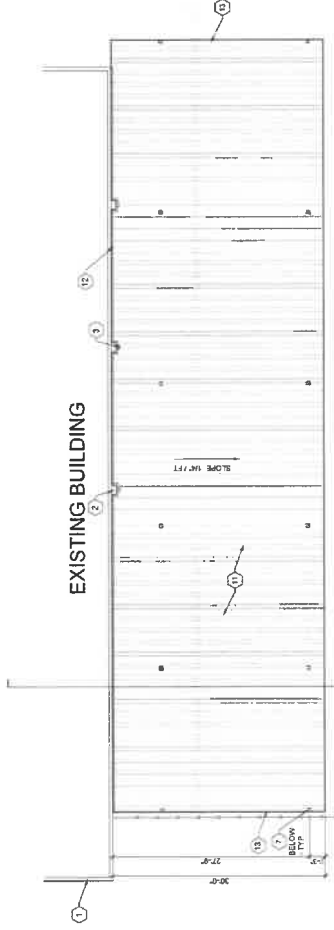
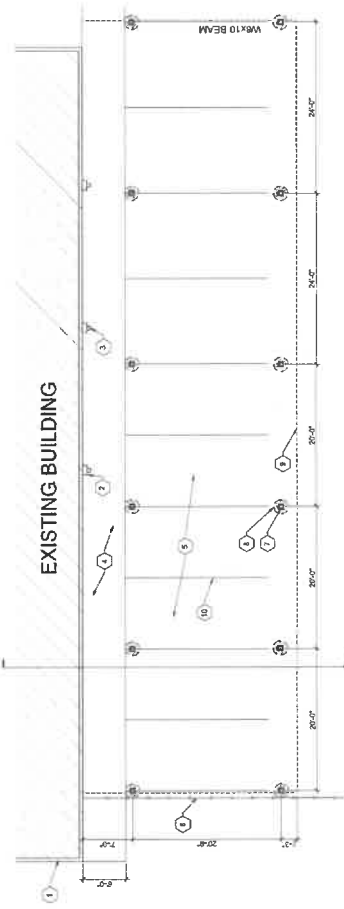
A101

GENERAL NOTES

- DIMENSIONS TO EXISTING WALLS ARE TO FACE OF CURB. DIMENSIONS TO NEW WALLS ARE TO CENTER OF COLUMN/BEAM.
- CONTRACTOR TO VERIFY ALL DIMENSIONS FOR COMPLIANCE WITH PLANS BEFORE PROCEEDING WITH WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO A COMMENCEMENT OF WORK AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- ALL EXISTING UTILITIES AND STRUCTURE SHOWN ARE FOR INFORMATION ONLY AND MAY NOT BE EXISTING. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES AND STRUCTURE ARE PART OF PROJECT SCOPE FOR COMPLIANCE TO ALL APPLICABLE CODES.
- CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES IN THE PARKING LOT AREA BEFORE DIGGING FOR NEW FOOTING.

KEYED NOTES

- EXISTING BUILDING WALL TO REMAIN - TYP. SEE SCHEDULE
- EXISTING STRUCTURAL PLASTER TO REMAIN - TYP. SEE SCHEDULE
- EXISTING DOWNPOUTS TO REMAIN - TYP. SEE NEW FLOOR PLAN
- EXISTING CONCRETE SUBGRADE - REPAIR DAMAGED AREA
- EXISTING ASPHALT PAVING - PATCH AFFECTED AREA
- EXISTING CHAIN LINK FENCING TO REMAIN
- NEW STEEL COLUMN - SEE STRUCTURAL DRAWING ON SHEET S101
- NEW FOOTING - SEE STRUCTURAL DRAWING ON SHEET S101
- 1/8" OF NEW ROOFING ABOVE - SEE ROOF PLAN
- NEW PARKING STRIPING - CODOR TO CODE
- CORRODATED METAL ROOFING - MATCH EXISTING PORCH ROOF
- PROVIDE METAL FLASHING AT WALL ROOFING. PROVIDE 1" MINIMUM GAP BETWEEN EXISTING AND NEW ROOFING.
- END GAP TO MATCH EXISTING PORCH ROOF



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 Email: o5architects@o5arch.com

ALL PROJECTS SHALL BE TO THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.



PROJECT TITLE
**PARKING LOT
 SHADE STRUCTURE**

ADDRESS
 200 O HALE DE PARRIS
 MEBLA, NM 88048

PROJECT NO. 19-12-08

NO.	DATE	REVISION
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SHEET TITLE

**ELEVATIONS /
 SECTION**

FILE NAME	19-12-08-PLAN
ISSUE	CD
DATE	MARCH 2019
DRAWN BY	WJD
CHECKED BY	WJD
OWNER/SHIP APPROVAL	

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.

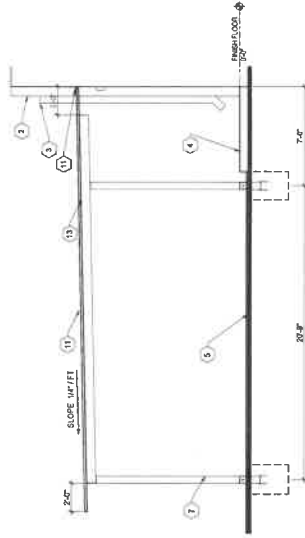
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GENERAL NOTES

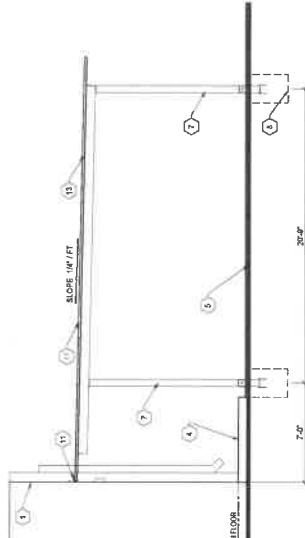
1. ALL WALLS ARE TO FACE OF CHALK DIMENSIONS TO NEW WALLS TO EXISTING WALLS.
2. CONTRACTOR SHALL VERIFY EXISTING OVERALL DIMENSIONS FOR COMPLIANCE WITH PLANS BEFORE PROCEEDING WITH WORK.
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4. ALL EXISTING ELEMENTS AND STRUCTURE SHOWN ARE FOR ILLUSTRATION ONLY AND MAY NOT BE CONSISTENT WITH WHAT AT THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
5. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES IN THE PARKING LOT AREA BEFORE BEGINNING ANY FOOTING.

KEYED NOTES

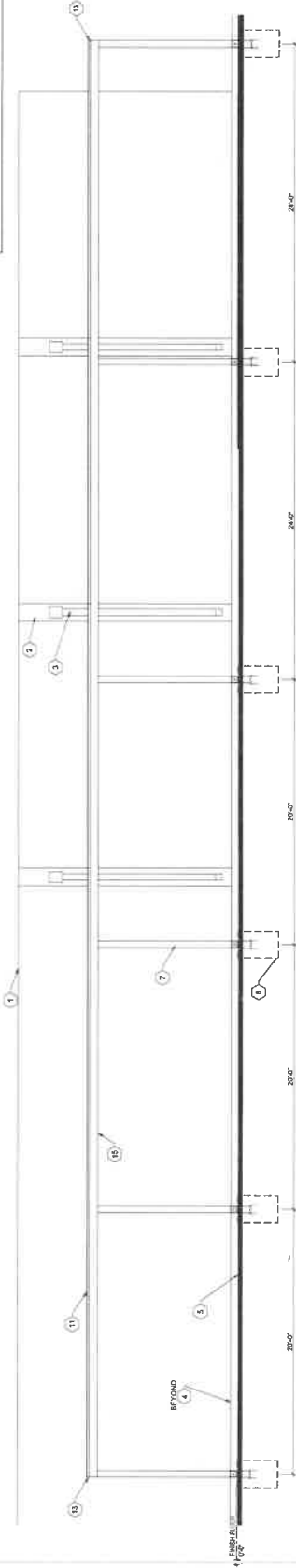
1. EXISTING BUILDING WALL TO REMAIN - TYP. SEE SCHEDULE
2. EXISTING STRUCTURAL PLASTER TO REMAIN - TYP. SEE SCHEDULE
3. EXISTING CONCRETE BEAMS TYP. - SEE NEW FLOOR PLAN
4. EXISTING CONCRETE SUBFLOOR - REPAIR DAMAGED AREA
5. EXISTING ASPHALT PAVING - MATCH AFFECTED AREA
6. EXISTING CHAIN LINK FENCING TO REMAIN
7. NEW STEEL COLUMN - SEE STRUCTURAL DRAWING ON SHEET S101
8. NEW FOOTING - SEE STRUCTURAL DRAWING ON SHEET S101
9. LINE OF NEW ROOFING ABOVE - SEE ROOF PLAN
10. NEW PARKING STRIPING - COLOR TO CODE
11. CORRUGATED METAL ROOFING - MATCH EXISTING PORCH ROOF
12. PROVIDE METAL FLASHING AT WALL ROOFING. PROVIDE 1" MINIMUM GAP BETWEEN EXISTING AND NEW ROOF
13. END CAP TO MATCH EXISTING PORCH ROOF
14. STEEL CHANNEL MEMBERS - SEE FRAMING ON SHEET S101
15. STEEL CHANNEL MEMBERS - SEE FRAMING ON SHEET S101
16. EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN



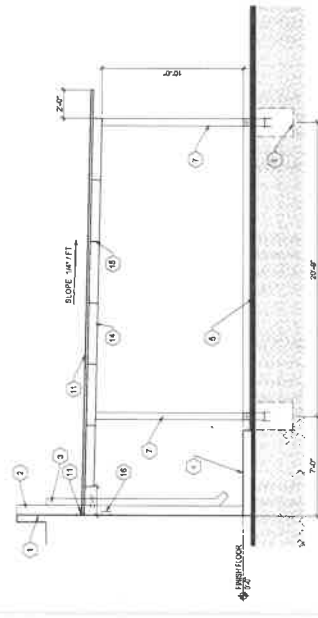
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 SCALE 1/4" = 1'-0"



1 LEFT SIDE ELEVATION
 SCALE 1/4" = 1'-0"



3 FRONT ELEVATION
 SCALE 1/4" = 1'-0"



4 SECTION
 SCALE 1/4" = 1'-0"

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 Phone: (575) 640-9233
 Email: o5architect@outlook.com

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION.



PROJECT TITLE
**PARKING LOT
 SHADE STRUCTURE**

ADDRESS
 2800 CALLE DE BARAN
 MESILLA, NM 88068

PROJECT NO. 190-1029

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		

SHEET TITLE
**FOUNDATION PLAN /
 FRAMING PLAN /
 DETAILS**

FILE NAME	190-1029-04A.RVT
ISSUE	00
DATE	MARCH 2024
DRAWN BY	WMO
CHECKED BY	WMO
OWNER'S APPROVAL	

DATE PLOTTED: 11/15/2024 10:58:30 AM
 PLOTTER: HP DesignJet T1300
 PLOT SCALE: 1/8" = 1'-0"

SHEET NO.
S101

GENERAL NOTES

1. ALL STEEL CONNECTIONS SHALL COMPLY WITH LOCAL, STATE AND FEDERAL BUILDING CODES AND STANDARDS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION.

FOUNDATIONS:

ALL EXISTING FOUNDATIONS SHALL BE REINFORCED TO MEET THE REQUIREMENTS OF THIS DRAWING. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION.

CONCRETE:

CONCRETE SHALL BE PLACED AND FINISHED TO THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION.

REINFORCING:

ALL REINFORCING SHALL BE PLACED AND FINISHED TO THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION.

STEEL CONNECTIONS:

ALL STEEL CONNECTIONS SHALL BE PLACED AND FINISHED TO THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION.

STRUCTURAL STEEL:

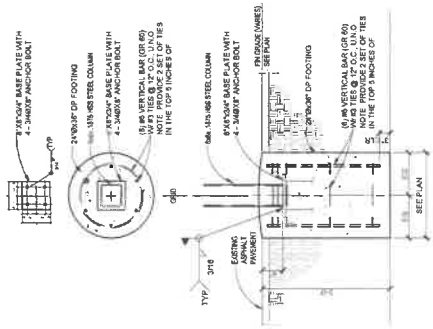
FOR ALL STRUCTURAL STEEL FABRICATION AND CONSTRUCTION LATEST AISC AND AIA SPECIFICATIONS SHALL APPLY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION.

WELDING:

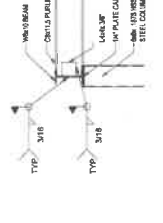
ALL WELDING SHALL BE PERFORMED TO THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION.

GENERAL NOTES:

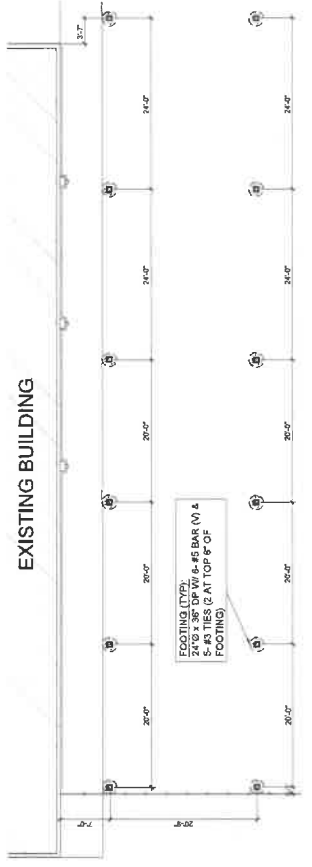
CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION.



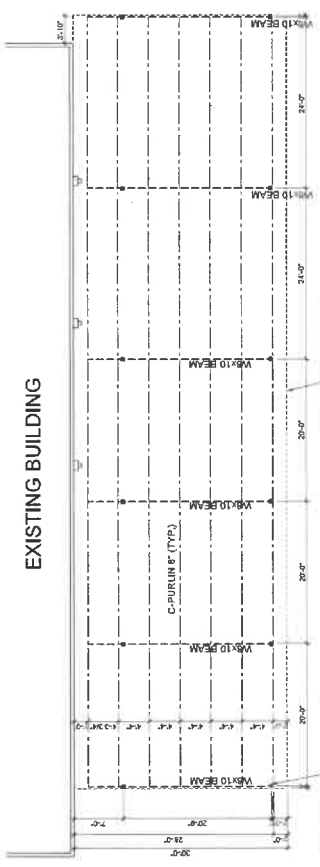
3 FOOTING DETAIL
 SCALE 3/4" = 1'-0"



3 FRAMING DETAIL
 SCALE 3/4" = 1'-0"



1 FOUNDATION PLAN
 SCALE 1/8" = 1'-0"



2 FRAMING PLAN
 SCALE 1/8" = 1'-0"

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Community Projects Report

Project	Description
Current Contact information	Dorothy Sellers Email: DorothyS@mesillanm.gov Work: 575-524-3262 Cell:575-571-3890
Mesilla Frontier Days	New event focusing on Mesilla in past years. This will include re-enactments. Demonstrations, talks and music. BOT is invited to come April 11 is the date from 10am to 5pm
Easter on the Plaza	Easter Bunny on the Plaza will be March 25 at 1PM BOT is invited to come
Cinco de Mayo	Applications now open. Talent currently being sought. Looking to add new performances. Event will be May 2 and 3rd
Summer Series	Currently booking talent for this event. Event is currently 75% booked. 2 new performers have been added.
Summer Rec	Creating hiring flyers for the upcoming year. Funding has been applied for
Mercado	All orientations complete. Working with new market captain on bring in new vendors
Clean & Beautiful Grant	Working on FY26. Application for next year under work. Installation of garden beds are installed and will begin planting in March.

<p>NM Tourism Grant</p>	<p>Mandatory survey has been completed Engagement is up with the social media package. Video production to occur in April. Applying for FY27</p>
<p>Website</p>	<p>Working on adding a Historic preservation section to the website and adding live cams. Changing the look of the farmers market page.</p>
<p>Keep America Beautiful</p>	<p>Organizing a clean up day and dumpsters for large items for residents.</p>

FY 24-25	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Munic. Share - State GRS Tax	\$67,379	\$68,741	\$66,779	\$64,114	\$71,741	\$70,233	\$63,487	\$77,153	\$69,819	\$59,591	\$81,511	\$82,049	\$775,217
Munic. GRT 650 (FOOD MED) - 650	\$158	\$226	\$257	\$915	\$587	\$736	\$444	\$404	\$494	\$145	\$350	\$453	\$5,012
Munic. Infra-Structure GRS - 645	\$31	\$42	\$51	\$181	\$116	\$145	\$88	\$79	\$97	\$29	\$69	\$90	\$986
Munic. Capital Outlay - 635	\$31	\$42	\$51	\$181	\$116	\$145	\$88	\$79	\$97	\$29	\$69	\$90	\$986
Munic. Environmental GRS -630	\$7	\$9	\$13	\$45	\$29	\$36	\$22	\$19	\$24	\$7	\$17	\$22	\$244
Munic. GRT-R 602	\$16,619	\$17,002	\$16,411	\$15,420	\$17,782	\$17,290	\$15,373	\$19,445	\$17,238	\$14,304	\$20,754	\$20,882	\$191,900
Munic. GRT 601	\$76,541	\$78,011	\$75,740	\$71,941	\$80,996	\$79,112	\$71,764	\$87,367	\$78,914	\$67,665	\$92,393	\$92,882	\$876,784
ITG (Interstate Telecom)	\$26	\$20	\$14	\$20	\$18	\$24	\$18	\$18	\$24	\$14	\$23	\$17	\$209
CMP TAX	\$1,196	\$1,063	\$911	\$1,460	\$1,109	\$1,081	\$1,214	\$891	\$844	\$1,061	\$1,029	\$1,111	\$11,774
H.B. 6 - Internet Sales	\$92	\$83	\$1,686	\$1,684	\$2,512	\$1,575	\$1,250	\$2,954	\$2,117	\$743	\$2,906	\$1,478	\$18,999
Cannibus Tax	\$192,060	\$165,241	\$161,912	\$155,971	\$175,006	\$170,377	\$153,748	\$184,408	\$169,680	\$143,588	\$169,121	\$199,073	\$2,044,192
difference over last FY	(\$16,062)	(\$15,612)	(\$5,936)	\$11,795	\$17,410	\$27,890	\$9,607	\$49,250	\$15,476	\$2,303	\$44,926	\$41,754	\$178,986
Total GRT Generated	\$607,331	\$626,220	\$631,109	\$646,017	\$692,399	\$639,710	\$577,576	\$717,903	\$631,501	\$582,892	\$749,740	\$737,077	\$7,707,777
% over last FY	-10%	-6%	-4%	8%	11%	20%	7%	34%	10%	2%	29%	27%	8726%
FY 25-26	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Munic. Share - State GRS Tax	\$87,335	\$78,580	\$98,675	\$74,964	\$89,400.30	\$88,751.99	\$80,754.73	\$84,774.02					\$683,234.62
Munic. GRT 650 (FOOD MED) - 650	\$494	(\$46)	\$160	\$143	\$209.05	\$145.30	\$137.62	\$76.59					\$1,318.95
Munic. Infra-Structure GRS - 645	\$94	(\$9)	\$32	\$28	\$41.28	\$27.28	\$27.12	\$15.13					\$255.39
Munic. Capital Outlay - 635	\$94	(\$9)	\$32	\$28	\$41.28	\$27.28	\$27.12	\$15.13					\$255.39
Munic. Environmental GRS -630	\$23	(\$2)	\$8	\$6	\$10.42	\$6.71	\$6.74	\$3.79					\$62.25
Munic. GRT-R 602	\$22,440	\$20,002	\$25,906	\$18,870	\$23,138.34	\$22,963.19	\$20,593.76	\$21,803.47					\$175,716.67
Munic. GRT 601	\$98,854	\$89,505	\$112,143	\$85,166	\$101,530.09	\$100,858.66	\$91,776.24	\$96,414.75					\$776,246.91
ITG (Interstate Telecom)	\$15	\$22	\$41	\$47	\$33.85	\$20.60	\$21.51	\$20.94					\$221.96
CMP TAX	\$873	\$2,082	\$1,142	\$1,037	\$996.10	\$1,861.62	\$804.47	\$1,070.48					\$9,865.86
H.B. 6 - Internet Sales	\$0	\$0	\$0	\$1,252	\$626.87	\$1,086.58	\$-	\$-					\$-
Cannibus Tax	\$210,220	\$190,124	\$238,138	\$181,542	\$216,028	\$215,720	\$194,140	\$204,104					\$1,950,324
difference over last FY	\$48,140	\$24,883	\$76,226	\$25,371	\$31,023	\$45,352	\$40,401	\$15,786					(\$194,080)
Total GRT Generated	\$7,065,333	\$7,145,794	\$7,594,745	\$6,917,470	\$8,173,117	\$7,907,520	\$7,301,993	\$8,092,210					\$76,976,470
% over last FY	30%	15%	47%	16%	23%	27%	26%	8%	100%	-100%	-100%	-100%	-19%