



Town of Mesilla, New Mexico

THE PLANNING AND ZONING HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL BE HAVING A PUBLIC HEARING AT MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA. TUESDAY –

FEBRUARY 17, 2026 @ 5PM.

(REVISED)

****NOTICE****

Hearing #1 - Code Amendments to Mesilla town code 18.65 Signs.

Hearing #2 - Code Amendments to Mesilla town code 18.60.340; wall height south of University Ave.

Hearing #3 - Mesilla Local Historic Registry Nominations (3).

- 2380 Calle de Principal**
- 2600 Avenida de Mesilla**
- 2090 Snow Road**

If you need any accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us on 575-524-3262 at least 48 hours prior to the meeting.

Posted on [1/29/2026](#) at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Lucky's Food Mart - 2290 Avenida de Mesilla; and US Post Office – 2253 Calle de Parian; and Town of Mesilla website.

Chapter 18.65 SIGNS*

Sections:

- 18.65.010 Title.**
- 18.65.020 Purpose.**
- 18.65.030 Authority for chapter.**
- 18.65.040 Existing uses – Nonconforming signs.**
- 18.65.050 Definitions.**
- 18.65.060 Permits required.**
- 18.65.070 Exceptions.**
- 18.65.080 Application to erect a sign.**
- 18.65.090 Permit issued if application is in order.**
- 18.65.100 Permit fees.**
- 18.65.110 Inspection.**
- 18.65.120 Obstruction.**
- 18.65.130 Temporary signs.**
- 18.65.135 Sandwich board or A-frame signs.**
- 18.65.140 Wall signs.**
- 18.65.150 Projecting signs.**
- 18.65.160 Freestanding signs.**
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- 18.65.250 Unlawful signs.**
- 18.65.260 Notice of unlawful signs and abatement.**
- 18.65.270 Complaint.**
- 18.65.280 Removal of unsafe or unlawful sign.**
- 18.65.290 Injunctions.**

* Prior legislation: Ords. 89-08 and 92-05.

18.65.010 Title.

This chapter and all subsequent amendments hereto may be cited as the “sign standards and regulations ordinance.” [Ord. 94-08; prior code § 11-3-1]

18.65.020 Purpose.

This chapter is for the purpose of regulating the installation and use of signs within the town of Mesilla. [Ord. 94-08; prior code § 11-3-2]

18.65.030 Authority for chapter.

This chapter is adopted pursuant to the provisions of an Act of the State Legislature known as Chapter 3, Laws of Article 19 (being Sections 1 through 12 of the New Mexico State Statutes Annotated, 1978) as amended. The provisions of this chapter are adopted in acceptance of and in accordance with said Act. [Ord. 94-08; prior code § 11-3-3]

18.65.040 Existing uses – Nonconforming signs.

Nonconforming signs which have been approved by the Mesilla board of trustees or signs which are not in conformity with these regulations but for which permits or variances were granted under previous ordinances, may continue, until one of the following occurs:

- A. The business is terminated.
- B. The sign is changed, modified, or painted.
- C. Five years after the ordinance codified in this chapter is in effect. [Ord. 2008-04 § 1; Ord. 94-08; prior code § 11-3-4]

18.65.050 Definitions.

For the purpose of this chapter, certain terms or words used herein shall be interpreted or defined as follows:

A. General.

- 1. Words used in the present tense include the future tense. The singular includes the plural. The word “person” includes a municipality, firm, association, organization, partnership, trust, company, or corporation as well as an individual.
- 2. The word “lot” includes the word “plot” or “parcel.” The term “shall” is mandatory; the term “may” is permissive. The word “town” shall mean the town of Mesilla. The words “board of trustees” shall mean the town board of trustees of the town of Mesilla. The word “commission” shall mean the planning, zoning and historical appropriateness commission of the town of Mesilla.

B. Specific.

- 1. “Sign” shall mean and include every sign, billboard, ground sign, wall sign, roof sign, illuminating sign, projecting sign, marquee, awning, canopy, and shall include any announcement, declaration, demonstration, illustration or insignia used to advertise or promote the interest of any person when the same is placed out of doors. Allowed signs in the town of Mesilla shall be limited to wall signs, projecting signs, freestanding signs, development identification signs, sandwich board signs and directory signs, as well as those signs that are identified as “temporary signs” or exceptions as defined in MTC [18.65.070](#).

- a. "Freestanding sign" as regulated by these guidelines shall include any sign attached to or supported from the ground and not attached to any building.
- b. "Temporary sign" shall mean any banner or advertising display with or without frames intended to be displayed for a period of less than 15 days. Maximum total sign space not to exceed 15 square feet and no more than ~~two~~ four permits per business per year may be issued.
- c. "Sandwich board or A-frame sign" shall mean any sign of a nonpermanent nature which is a type of advertisement composed of two boards (holding a message or graphic) and being set up (for example next to a store advertising its goods) in a triangle shape, hinged along the top.
- d. "Projecting sign," as regulated by these guidelines, shall include any sign, which is attached to a building or other structure and extends beyond the line of said building or structure.
- e. "Wall sign," as regulated by these guidelines, shall include all flat signs with projecting letters attached to a wall, or signs with letters painted directly upon a wall, or painted sign board attached to a wall.
- f. "Development identification sign," as regulated by these guidelines, shall include any sign at the entrance/exit to a commercial development to identify the development name and logo only, and not attached to any building.
- g. "Directory sign" is a sign that identifies the names and locations of tenants in a multi-tenant building or in a development made up of a group of buildings. A directory sign may also be a sign that identifies the development or building which the group of businesses/tenants occupy.

2. "Location" shall mean the lot or premises upon which the sign may be permitted.

3. "Display" shall mean to exhibit any item or items on the interior or exterior, for the purpose of attracting people for business. [Ord. 2008-04 § 2; Ord. 2003-05 § 1; Ord. 94-08; prior code § 11-3-5]

18.65.060 Permits required.

Other than the exceptions listed in MTC [18.65.070](#), temporary signs, and repair and maintenance of existing conforming signs, it shall be unlawful for any person to place, erect, repair, alter, relocate, or

retain within the town of Mesilla any sign or other advertising structure without first obtaining a review and recommendation by the planning, zoning and historical appropriateness commission and a permit approved by the Mesilla board of trustees. [Ord. 2008-04 § 3; Ord. 2005-06 § 1; Ord. 94-08; prior code § 11-3-6]

18.65.070 Exceptions.

The provisions and regulations of these guidelines shall not apply to temporary signs and the following signs; provided however, the number of exception signs does not exceed two for each business or use (with the exception of subsection (G) of this section) and said signs do not deviate radically from standards set forth herein:

- A. Real estate signs not exceeding six square feet in area which advertise the sale, rental, or lease of the premises upon which said signs are located.
- B. One professional name plate not exceeding one square foot in area.
- C. One bulletin board not over eight square feet in area for public, charitable, or religious institutions when the same are located on the premises of said institutions.
- D. Signs denoting the developer, architect, engineer, or contractor when placed on work under construction and when not exceeding 12 square feet in area.
- E. An occupational sign denoting only the name and profession of an occupant in a commercial building, public institution, or dwelling, and not exceeding two square feet in area.
- F. Memorial signs or tablets, names of buildings and date of erection when cut into any masonry surface or when constructed of bronze or other incombustible materials.
- G. Traffic or other municipal signs, legal notices, railroad crossing signs, danger, and such temporary, emergency, or other non-advertising signs as may be approved by the Mesilla board of trustees.
- H. Agricultural signs may be permitted where crops are grown; provided, they do not exceed 15 square feet in area in RA and RF zones and six square feet in area for all other zones and only advertise farm products for sale, the majority of which are grown on the premises.
- I. Political signs supporting a candidate or candidates for public office; provided, that it is placed no more than 30 days prior to the pertinent election and does not exceed four feet by eight feet in size. Political signs shall be removed no later than seven days following an election.

J. Occupants may place displays or descriptions of their merchandise or services behind the glass of windows or doors. Any business on the plaza must not occupy more than one-third of the glass area with displays or descriptions.

K. Parking, directional or OPEN/CLOSED signs which do not exceed two square feet in area.

L. Cottage industries signs; provided, that only one unlighted sign be placed, having a maximum area of 10 square feet.

M. House signs that warn of safety hazards, "Private Drive," "No Parking" or family name signs; provided, that they are not larger than one square foot.

N. Signs of historical significance [relevant to the location they are located](#).

O. Temporary directional signs for nonprofit organizations guiding patrons to functions approved by the board of trustees; provided, the sign does not exceed eight square feet. [Ord. 2008-04 § 4; Ord. 2005-06 § 2; Ord. 2003-05 § 2; Ord. 94-08; prior code § 11-3-7]

[P. Decorations for national holidays or community-wide festivals and fiestas.](#)

[Q. Garage sale signs.](#)

18.65.080 Application to erect a sign.

Application to erect a sign shall be made upon forms provided by the Mesilla Town Hall and shall contain, or have attached thereto the following information:

A. Name, address, and telephone number of applicant.

B. Location of building, structure, or lot upon which the sign is attached or erected.

C. Position of the sign, in relation to other signs, lot lines or other building.

D. A complete dimensioned scale drawing with full description of size, material, texture and/or finish lettering and graphics to be used.

E. Name of person, firm, corporation or association erecting structure.

F. Written consent from the owner of the building, structure, or land to which or on which the structure is to be erected. [Ord. 94-08; prior code § 11-3-8]

18.65.090 Permit issued if application is in order.

When the proposed sign is in compliance with all the requirements of these guidelines and all other laws and ordinances of the town, the permit may be issued administratively by the duly authorized representative for repair and maintenance of existing signs, temporary signs or sandwich board signs and may be issued following the recommendation of the planning, zoning and historical appropriateness commission, and approval of the board of trustees for all other signs that are in compliance with the requirements of these guidelines and all other laws and ordinances of the town. [Planning and Zoning Historical Appropriateness Commission reserves the right to consider the request upon any extenuating circumstances where regulations of this title are not mentioned.](#) If the work authorized under a sign permit has not been completed within six months after date of issuance, the permit shall become null and void. The application must be acted upon by the board of trustees within 75 days from the date of application. [Ord. 2008-04 § 5; Ord. 94-08; prior code § 11-3- 9]

18.65.100 Permit fees.

Every applicant after being granted a permit shall pay to the town of Mesilla a fee of ~~\$2.00~~ \$5.00 per square foot for the permitted sign. ~~The maximum fee for any sign shall be \$50.00.~~ No fee shall be assessed for signs listed under exceptions or temporary signs. [Ord. 2008-04 § 6; Ord. 2005-06 § 3; Ord. 94-08; prior code § 11-3-10]

18.65.110 Inspection.

The Mesilla board of trustees, or authorized designated representative, shall inspect as they deem necessary each sign regulated by these guidelines for the purpose of ascertaining that the sign conforms with the approved sign permit. [Ord. 94-08; prior code § 11-3-11]

18.65.120 Obstruction.

No signs shall be erected, relocated or maintained so as to prevent free ingress or egress at any door, window, or fire escape.

No sign or other advertising structure as regulated by these guidelines shall be erected in the 30-foot clear sight triangle of any street or in such a manner as to obstruct free and clear vision; or at any location where, by reason of the position, shape, or color, it may interfere with or obstruct the view of, or be confused with any authorized traffic sign, signal or device; or which makes use of the words "STOP," "DANGER" or any other word, phrase, symbol, or character in such manner as to interfere with, mislead or confuse traffic. Signs shall also conform to the sight distance of MTC [18.60.340](#), Wall, fence or hedge. [Ord. 94-08; prior code § 11-3-12]

18.65.130 Temporary signs.

A. A business may have a temporary sign for a period of 15 days. The temporary sign shall be no larger than 15 square feet in area. Each business may have up to ~~two~~ four temporary signs per

year.

B. Temporary signs may be administratively approved by community development staff pursuant to guidelines established by the board of trustees by adoption of a resolution. [Ord. 2008-04 § 7; Ord. 2005-06 § 4; Ord. 94-08; prior code § 11-3-13]

18.65.135 Sandwich board or A-frame signs.

A. A sandwich board or A-frame type sign may be permitted for a business establishment. Such sign shall be located on the premises where the business is located, and shall be nonpermanent in nature, brought inside when the business closes for the day. This sign shall be no larger than six square feet in area. **Only one sandwich sign is allowed per business and maybe within 3-feet of the property in the Historical Commercial (HC) zone when the building is up to the property line. Signs shall not cause any obstruction on pathways and sidewalks.**

B. ~~Sandwich board signs will be allowed for a three-month trial period upon approval of the ordinance codified in this section by the board of trustees.~~ They are only allowed in the **Historical Commercial (HC)**, Commercial (C) zone and at the Town Hall. [Ord. 2008-04 § 8]

18.65.140 Wall signs.

A. Wall Sign Area.

1. Within the Historical Commercial (H-C) zone, the wall sign area, on any given house or building, shall in no case exceed 10 percent of any wall area including apertures or 15 square feet, whichever is less. Dimensions of painted signs or graphics with no frame shall be determined by measuring the extent of the painted sign or graphic horizontally and vertically and calculating the area.

2. Within the Commercial (C) zone, the wall sign area on any ~~given house or commercial~~ building shall in no case exceed **One and one-half square feet of on-premises signage for each linear foot of exterior wall is permitted. The sign shall be placed on the side of the building used to calculate the square footage of the sign.** ~~10 percent of any wall area including apertures or 25-square feet, whichever is less.~~ Dimensions of painted signs or graphics with no frame shall be determined by measuring the extent of the painted sign or graphic horizontally and vertically and calculating the area.

B. No wall sign shall be permitted to be more than six inches thick. All wall signs shall be safely and securely attached to the building wall. [Ord. 2008-04 § 9; Ord. 2003-05 § 3; Ord. 2000-02 § 1; Ord. 94-08; prior code § 11-3-14]

18.65.150 Projecting signs.

A. No projecting sign may rise above the level of the first story of the building to which it is attached. All projecting signs must be at least seven feet above sidewalk or ground level, and must be located within the central one-third of the facade length so as not to obstruct neighboring signs.

B. Projecting signs shall be limited in area as follows:

1. A maximum of four feet projecting from the wall of the building;
2. A maximum of eight square feet of total sign space including frame. Both sides of a projecting sign may be used for advertisement.

C. The supporting structure of any projecting sign must be of adequate strength so as to have no need for guy-wires or wire reinforcement. [Ord. 94-08; prior code § 11-3-15]

18.65.160 Freestanding signs.

A. A freestanding sign (ground-based or post) may be permitted where a business establishment is set back from a street alignment of building facades more than 10 feet. A business establishment thus set back, in addition to the signs permitted upon the building itself, may maintain a freestanding sign of not more than 15 square feet in area including the frame but not the supports, and such sign must relate to the conduct of the business within. If a building has an unencumbered front setback of at least 25 feet, a two-face freestanding sign with a maximum of 15 square feet of area on each face, sign dimensions no greater than six feet in any dimension will be permitted; provided, it relates to the business conducted on the premises.

B. The bottom of freestanding signs supported by posts, which are not within two feet of the ground shall not be less than seven feet above the ground level.

C. For freestanding ground-based signs, the wall of a freestanding ground-based sign shall have a maximum square footage of 15 square feet for the Historical Commercial (H-C) zone and 25 square feet for the General Commercial (GC) zone. The height of a ground-based sign will be no more than four feet high. The ground-based signs shall also be required to have building permits for the structure complying with any building code requirements, clear sight triangle requirements or any other applicable codes or regulations.

D. All freestanding signs with posts shall be securely constructed, and erected upon posts extending at least three feet below the surface of the ground. All wood post parts below ground level shall be treated to protect them from moisture by an approved method.

E. No freestanding sign or any part thereof shall be more than 15 feet above the level of the street which the sign faces, or above the adjoining ground level, if such ground is higher than the street level.

F. All parts of a freestanding sign shall be two feet inside the property line. [Ord. 2006-01 § 1; Ord. 2003-05 § 4; Ord. 94-08; prior code § 11-3-16]

18.65.165 Directory signs.

A. A directory sign may be permitted for a building or development where there is more than one business or tenant. A directory sign may be a wall sign, projecting sign, or freestanding sign, provided the sign complies with all requirements for the type of sign.

B. A directory sign shall be limited to 15 square feet in area for signs located in the Historical Commercial (H-C zone) zone and 25 square feet in area for signs located in the Commercial (C) zone.

C. All directory signs shall be located on the premises where the businesses are located.

D. A directory sign may list all businesses or only the building or development name.

E. Each business may have one individual sign in addition to the identification on the directory sign, in accordance with the sign regulations and all other laws and ordinances. [Ord. 2008-04 § 10]

18.65.170 Development identification signs.

A development identification sign may be permitted at the entrance/exit to a commercial development to identify the development name and logo only.

A. The structure of a development identification sign shall be no larger than 48 square feet in size, and have a height no higher than four feet.

B. The actual sign portion of the development identification sign shall not exceed 25 square feet for the Commercial (C) zone, or 15 square feet for the Historic Commercial (H-C) zone. Area of the actual sign shall be determined by measuring the extent of the painted sign or graphic horizontally and vertically and calculating the area. [Ord. 2003-05 § 5; prior code § 11-3-17]

18.65.180 Illumination.

A. No signs that flash, blink, revolve, or are otherwise in motion, vary in intensity, or seem to be in motion shall be permitted.

B. No sign shall have any illumination outside of the face of the letters, other than goose neck lighting; there shall be no neon or similar lighting, exposed bulbs, or any moving parts or lights that give effect

of moving parts.

C. Goose neck lights with reflectors shall be permitted on projecting signs, freestanding signs and wall signs, provided the illumination falls upon the sign so as to prevent glare upon the street or adjacent property.

D. Nonblinking electric signs including neon signs may be placed inside windows and glass doors provided their proportions are not in excess of the window area so allowed in MTC [18.65.070\(J\)](#). Interior electric signs must be approved by the board of trustees or their designated representative. [Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-18]

18.65.190 Lettering and coloring.

All letters, figures, characters or representations in cut-out or irregular form maintained in conjunction with, attached to or superimposed upon any sign shall be safely and securely built or attached to the sign structure. Color of signs must be approved at the time of application for sign permit.

In Mesilla, signs shall not detract from the historic cultural attraction of the town; therefore, approval of color and design are left to the board of trustees or their designated representatives. [Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-19]

18.65.200 What may be advertised.

Exterior signs shall advertise a bona fide business conducted in or on said premises, and the advertising of products shall not exceed 25 percent of the area of such sign. [Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-20]

18.65.210 Maintenance.

The plot where the sign is located is to be maintained by the owner thereof in a safe, clean, sanitary, inoffensive condition, and free and clear of all obnoxious substances, rubbish, and weeds. [Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-21]

18.65.220 Number of permitted signs.

A. A total of two exterior signs may be allowed to each store or bona fide place of business.

B. When more than one business occupies a single building each business will be limited to one sign plus a space on a directory sign at each entrance. [Ord. 2008-04 § 11; Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-22]

18.65.230 Location.

No off-premises signs will be permitted for commercial business. [Ord. 2003-05 § 6; Ord. 94-08; prior

code § 11-3-23]

18.65.240 Miscellaneous.

A. Parking Lots, Etc. Where the nature of a business does not involve a structure on which a sign may be attached, such as parking lots, freestanding signs are allowed and the same regulations apply.

B. Exterior Commercial Display. The exterior display of items for sale is not permitted on town property or where the condition endangers the health, welfare and safety of the general public. [Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-24]

18.65.250 Unlawful signs.

It shall be unlawful to construct, erect and maintain a sign or other advertising structure in violation of the provisions and guidelines of this chapter. [Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-25]

18.65.260 Notice of unlawful signs and abatement.

The town may issue a notice directed to the owner of record of the property on which the unsafe or unlawful sign occurs, or to the occupant or tenant of the property, or both. The notice shall describe the violation and shall establish a reasonable time limit for abatement which shall not be less than two days nor more than 10 days after serving the notice. The notice may be served either personally or by registered mail at the owner's or occupant's last known address. The town shall be held harmless of all unsafe or unlawful signs. The person who owns the sign shall assume all liability or risk of damage to persons or property which may arise from an unsafe or unlawful sign and save the town of Mesilla, its officers and agents harmless from any and all liability which may arise or be incurred from the erection, construction, or operation of same. [Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-26]

18.65.270 Complaint.

In the event the owner or occupant of the property where the unsafe or unlawful sign exists has failed, within the prescribed time, to abate the nuisance, then the town shall file a complaint charging violation of this with the municipal court. [Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-27]

18.65.280 Removal of unsafe or unlawful sign.

Upon the failure of the person to remove or correct the unsafe or unlawful sign, the town shall proceed to correct or remove the sign and shall prepare a statement of costs incurred. Any and all costs shall constitute a lien against property upon which the unsafe or unlawful sign existed, or against personal property of the owner of the unsafe or unlawful sign, which lien shall be filed, proven and collected as provided by law.

Alternatively, the town attorney may bring a civil action by verified complaint in the name of the town, by any public officer, in the municipal court against any person who shall create or maintain an unsafe

or unlawful sign.

When judgment is against the defendant in an action to remove an unsafe or unlawful sign, he shall be adjudged to pay all court cost and a reasonable fee for the town attorney. [Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-28]

18.65.290 Injunctions.

The board of trustees or their representatives, when a violation exists as set forth in this chapter, may request an action in the name of the municipality to perpetually enjoin all persons from maintaining or permitting the unsafe or unlawful use and to abate the same. [Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-29]

The Mesilla Town Code is current through Ordinance 2021-03, passed December 30, 2021.

Disclaimer: The town clerk's office has the official version of the Mesilla Town Code. Users should contact the town clerk's office for ordinances passed subsequent to the ordinance cited above.

Town Website: <http://www.mesillanm.gov/>

Town Telephone: (575) 524-3262

[Code Publishing Company](#)

Chapter 18.60

GENERAL PROVISIONS, CONDITIONS AND EXCEPTIONS

Sections:

- 18.60.010 Regulations.**
- 18.60.020 Limitation of land use.**
- 18.60.030 Clarification of ambiguity.**
- 18.60.040 Public utility lines.**
- 18.60.050 Nonconforming uses cannot be expanded.**
- 18.60.060 Nonconforming use of land.**
- 18.60.070 Nonconforming building may be maintained.**
- 18.60.080 Alteration of nonconforming buildings as to yard regulations.**
- 18.60.090 Nonconforming use of conforming building.**
- 18.60.100 Nonconforming use of a nonconforming building.**
- 18.60.110 Reconstruction of nonconforming buildings partially destroyed.**
- 18.60.120 Nonconforming uses and nonconforming buildings resulting from reclassification.**
- 18.60.130 *Repealed.***
- 18.60.140 Extension of amortization period.**
- 18.60.150 Accessory uses.**
- 18.60.160 Temporary real estate offices.**
- 18.60.170 Parking requirements and fees.**
- 18.60.180 Area requirements deemed met.**

- 18.60.190 Height of buildings.**
- 18.60.200 Additional story permitted.**
- 18.60.210 Regulations for vertical structures.**
- 18.60.220 Yard regulations.**
- 18.60.230 Yards required on corner lots.**
- 18.60.240 Through lots to have two front yards.**
- 18.60.250 Front yard requirements deemed met.**
- 18.60.260 Front yards of unimproved lots.**
- 18.60.270 Setback lines measured from property lines.**
- 18.60.280 Irregularly shaped lots.**
- 18.60.290 Permissible reduction of side yard.**
- 18.60.300 Commission may modify.**
- 18.60.310 Permissible coverage of required rear yard.**
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- 18.60.330 Modification of required front yards.**
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- 18.60.350 Alley may apply to depth of rear yard in certain cases.**
- 18.60.360 Lot area not to be reduced.**
- 18.60.370 Lots not to be reduced to size below minimum required area.**
- 18.60.380 Area for public buildings and utility buildings may be reduced.**
- 18.60.390 Location of accessory buildings.**

18.60.010 Regulations.

All regulations contained in this title may be modified by general provisions, conditions and exceptions listed in this chapter. [Ord. 94-06 § 1; prior code § 11-2-5.1]

18.60.020 Limitation of land use.

Except as provided in this chapter, no building shall be erected, reconstructed or structurally altered, nor shall any building or land be used for any purpose other than is specifically permitted in the zone in which the building is located. [Ord. 94-06 § 1; prior code § 11-2-5.2]

18.60.030 Clarification of ambiguity.

If ambiguity exists concerning the appropriate classification of a particular use or with height, yard requirements, or zone boundaries, the planning commission shall ascertain all pertinent facts and by formal resolution set forth its findings and interpretations, and forward them to the board of trustees, and if approved by the board of trustees, such interpretation shall govern. [Ord. 94-06 § 1; prior code § 11-2-5.3]

18.60.040 Public utility lines.

The provisions of this title shall not be construed to limit or interfere with the installations, maintenance and operation of any public utility lines providing water, sewage disposal, electric, gas, television, telephone, or telegraph services to the public; provided, such lines are installed, maintained and operated in accordance with applicable laws. [Ord. 94-06 § 1; prior code § 11-2-5.4]

18.60.050 Nonconforming uses cannot be expanded.

A nonconforming use of land or of a building shall not be expanded since it is the purpose of this title to eliminate nonconforming uses at the earliest possible time. However, in a Commercial (C) zone existing single-family residences may be permitted to continue on any lot or parcel of land not used for the indicated zone purposes without being classified as a nonconforming use. [Ord. 94-06 § 1; prior code § 11-2-5.5]

18.60.060 Nonconforming use of land.

The nonconforming use of land, where no main buildings are involved, may be continued for a period of not to exceed five years after the effective date of the ordinance codified in the title, subject to the following conditions:

A. No nonconforming use of land shall be expanded or extended in any way.

B. Where such nonconforming use of land is discontinued for a period of six months, any future use of the land shall be in conformity with the provisions of this title.

C. These provisions do not apply to land used for agriculture or agriculturally related activities.

D. When the nonconforming use is trailers, no additional nor replacement trailers may be used on the lot. [Ord. 94-06 § 1; prior code § 11-2-5.6]

18.60.070 Nonconforming building may be maintained.

A nonconforming building may be maintained; provided, that no additions, enlargements nor structural alterations are made except those required by law or expressly permitted by this title. If any such nonconforming building is removed, future use of the land on which the building is located shall conform to this title. [Ord. 94-06 § 1; prior code § 11-2-5.7]

18.60.080 Alteration of nonconforming buildings as to yard regulations.

A building or structure which does not conform to the yard regulations may be structurally altered; provided, such alteration does not change the horizontal exterior dimensions, or the addition either conforms to the applicable yard regulations or does not project further into any yard than any substantial portion of the existing building or structure. "Substantial portion" for the purpose of this section shall mean 50 percent or more of the length of the wall. [Ord. 94-06 § 1; prior code § 11-2-5.8]

18.60.090 Nonconforming use of conforming building.

When a nonconforming use of a conforming building existed at the time the provisions of this title became applicable to such building so as to make the use thereof a nonconforming use, it may be continued and may be expanded or extended throughout such building, provided no structural alterations are made except those required by law. If the nonconforming use is discontinued for more than 12 months, any future use of such building shall conform to this title. If the nonconforming use is commercial, a different commercial enterprise, offering different products and/or services, may occupy the building if that enterprise is compatible with the residential nature of the neighborhood.

Incompatible enterprises might include:

A. Those which generate loud noises, offensive odors, or unhealthy or annoying substances.

B. Those which involve outdoor storage or parking of large or unsightly equipment or supplies.

C. Those which generate extensive traffic.

D. Those that do not meet the parking requirements (MTC [18.60.170](#)).

E. Those which are sources of light or sound which might annoy neighbors between 10:00 p.m. and 8:00 a.m.

A public hearing will be held by the planning, zoning and historical appropriateness commission to discuss each new nonconforming commercial enterprise before that enterprise is recommended for approval. All residents and property owners within 300 feet of the proposed nonconforming use will be notified of the public hearing by registered mail. [Ord. 95-03 § 5; Ord. 94-06 § 1; prior code § 11-2-5.9]

18.60.100 Nonconforming use of a nonconforming building.

The nonconforming use of a nonconforming building may be continued and may be expanded or extended throughout such building provided no structural alterations are made except those required by law. If such nonconforming use is discontinued, any future use of such building shall conform to the provisions of this title. [Ord. 94-06 § 1; prior code § 11-2-5.10]

18.60.110 Reconstruction of nonconforming buildings partially destroyed.

This title shall not prevent the repair of any nonconforming building damaged by fire, explosion, earthquake or other act of God subsequent to the effective date of the ordinance codified in this title; provided, that such repair shall not exceed 50 percent of the floor area of the building nor shall the dollar value of such repair exceed 50 percent of the dollar value of the building immediately prior to the damage. [Ord. 94-06 § 1; prior code § 11-2-5.11]

18.60.120 Nonconforming uses and nonconforming buildings resulting from reclassification.

This title shall also apply to buildings and uses which become nonconforming due to future reclassification of zones or land. [Ord. 94-06 § 1; prior code § 11-2-5.12]

18.60.130 Amortization, general.

Repealed by Ord. 2004-07. [Ord. 94-06 § 1; prior code § 11-2-5.13]

18.60.140 Extension of amortization period.

Nonconforming uses may be allowed to remain beyond the established amortization period defined in MTC [18.60.130](#); provided, that a petition requesting an extension be signed by a majority of the residents in the area whose properties are within 500 feet of the boundaries of the use, and that the board of trustees, after a public hearing adopts a resolution granting an extension for a specific period of time and with such conditions as may be necessary to protect surrounding properties. [Ord. 94-06 § 1; prior code § 11-2-5.14]

18.60.150 Accessory uses.

Any use customarily accessory and not specifically prohibited to the principal use of a lot or a building permitted in the respective zones may be permitted. [Ord. 94-06 § 1; prior code § 11-2-5.15]

18.60.160 Temporary real estate offices.

One residential structure within any new subdivision may be used as a combined temporary real estate office, or construction contractor's office and model home; provided, that such structure shall be completely restored to its intended residential use not later than 12 months following the date of the board of trustees accepting the public improvements of the subdivision in which it is located. [Ord. 94-06 § 1; prior code § 11-2-5.16]

18.60.170 Parking requirements and fees.

A. Historical Commercial Zone. Proposed new commercial building sites within the Historical Commercial zone shall provide for permanently maintained on-site motorized vehicle parking spaces pursuant to the parking spaces requirements contained in this section; all existing buildings (commercial and residential) in the H-C zone when the town of Mesilla adopted the land use plan and the zoning ordinance on February 15, 1972, shall be "grandfathered." The following are specific conditions that may apply to parking in the H-C zone:

1. Grandfathered Commercial Buildings. Existing commercial businesses located within an existing grandfathered commercial building which do not meet the parking requirements of the town of Mesilla may continue provided each business shall pay a yearly fee as stated in subsection (B) of this section at the time of business registration renewal. If a business occupies an existing building in the Historical Commercial zone and does meet the parking regulations, the business shall be exempt from the fee.
2. If expansions/additions of existing grandfathered buildings or changes of occupancies of an existing building cannot accommodate the required parking spaces pursuant to the requirements contained within this section on the business site or on adjacent business-owned property, then the owner(s) must pay the annual assessment listed in subsection (B) of this section. In no case shall any structure that is listed on the historic register be demolished to provide parking.

B. Historical and General Commercial Zones.

1. The required parking fee for commercial operations in the Historical and General Commercial zones shall be based on the following:
 - a. All commercial operations, other than home occupations as defined in Chapter [18.52](#) MTC, that have a total of one to five employees come to the site that do not meet the parking space requirements for the operation, as required by the following sections, are required to pay a \$150.00 parking fee to the town at the time the business registration is first acquired, and annually when business registration is renewed. If a parking fee is not paid prior to the renewal date, then the business license shall not be issued.

b. All commercial operations, other than home occupations as defined in Chapter [18.52](#) MTC, that have a total of six to 20 employees in which clients and employees come to the site that do not meet the parking space requirements for the operation, as required by the following sections, are required to pay a \$250.00 parking fee to the town at the time the business registration is first acquired, and annually when business registration is renewed. If a parking fee is not paid prior to the renewal date, then the business license shall not be issued.

c. All commercial operations, other than home occupations as defined in Chapter [18.52](#) MTC, that have a total of 21 or more employees in which clients and employees come to the site that do not meet the parking space requirements for the operation, as required by the following sections, are required to pay a \$500.00 parking fee to the town at the time the business registration is first acquired, and annually when business registration is renewed. If a parking fee is not paid prior to the renewal date, then the business license shall not be issued.

d. Fees shall not be prorated.

e. The annual assessment fees shall be placed into a special parking fund to be used for required maintenance, purchasing and creation of parking lots and parking spaces.

f. In no case shall any structure that is listed on the historic register be demolished to provide parking.

2. All new commercial building sites in the General Commercial zone shall provide for permanently maintained on-site motorized vehicle parking spaces pursuant to the parking spaces requirements contained in this section.

C. Parking Space Standards for All Uses. (All areas used for parking calculations are gross floor areas as listed in the county assessor’s records, unless otherwise specified.)

1. Commercial uses – including historical commercial:

USE	PARKING SPACES REQUIRED
Banks	One parking space for each 500 square feet of gross floor area.
Business or professional offices, not including medical professional offices and personal service shops	One parking space for each 500 square feet of gross floor area.

USE	PARKING SPACES REQUIRED
Churches and accessory uses	One parking space for each six seats, or if there are no fixed seats, then one parking space for each 100 square feet of floor space used for assembly purposes.
Establishments for the sale and consumption on premises of food and/or beverages	One parking space for each 100 square feet of gross floor area in addition to one space for each two employees on the maximum shift. One parking space is required for each 100 square feet of outdoor patio area.
Furniture and appliance stores, hardware stores, household equipment, service shops, clothing or shoe repair	One parking space for each 500 square feet of gross floor area.
Hotels and motels	One parking space for each sleeping unit or dwelling unit, in addition to requirements for auxiliary uses such as restaurants or shops.
Community buildings, libraries, museums, administration buildings, art galleries and centers	One parking space for each 300 square feet of gross floor area.
Manufacturing uses not providing customer services on the premises, such as research and testing laboratories, creameries, bottling establishments, bakeries, canneries, printing and engraving shops	One parking space per 500 square feet for 5,000 square feet or less; one space per 1,000 square feet over 5,000 square feet.
Small office establishments (law, accounting, engineering, real estate offices, and similar uses)	Two parking spaces for employees, plus one space for each 300 square feet of gross floor area.
Professional services (medical and dental offices, barbers, hairdressers, and similar uses)	One parking space for each 200 square feet of gross floor area.
Mortuaries, funeral homes	One parking space for each 50 square feet of floor area of assembly rooms used for services.
Nonmotorized vehicle sales, machinery sales or wholesale stores	One for each 500 square feet of gross floor area.
Retail stores, except as otherwise specified: (a) Having not more than 5,000 square feet of floor area	(a) One parking space for each 300 square feet of gross floor area.

USE	PARKING SPACES REQUIRED
(b) Having more than 5,000 square feet	(b) 10 parking spaces plus one parking space for each 300 square feet of gross floor area in excess of 5,000 square feet.
Boardinghouses, bed-and-breakfast inns and similar uses	One parking space for each 120 square feet of floor area used for sleeping purposes, in addition to requirements for auxiliary uses such as restaurants or shops.
Sanitariums, children's homes, homes for the aged, asylums, nursing homes	One parking space for each two beds.
Schools and learning centers, private	One parking space for each 500 square feet of gross floor area, plus one parking space for each employee as per subsection (B) of this section. For any large assembly area used for group meetings see immediately below.
Stadiums, sports arenas, auditoriums (including school auditoriums) and other places of public assembly and clubs and lodges having no sleeping quarters	One parking space for each two seats or one parking space for each 50 square feet of gross floor area used for assembly and not containing fixed seats.

USE	OFF-STREET PARKING SPACES REQUIRED
Dwellings, single-family, all zones	Three off-street parking spaces for each dwelling unit.
Dwellings – multifamily:	
(a) Efficiency (studio), no bedroom	One off-street parking space per unit.
(b) One bedroom	Two off-street parking spaces per unit.
(c) Two bedrooms or larger	Three off-street parking spaces per unit.

* Uses requiring special use permits (Chapter [18.55](#) MTC) shall provide parking pursuant to the above, based on the specific or most comparable use.

D. Parking Spaces for the Handicapped. The minimum number and design of designated handicapped parking spaces for other than one- and two-family dwellings shall be subject to the latest ADA requirements.

E. Parking Requirements for Uses Not Specified. Where the parking requirements for a use are not specifically defined, the planning commission shall determine the numbers based upon the requirements for the most comparable use.

F. General Requirements. The following general requirements shall apply:

1. Size and Access. If off-street parking is provided it shall be located as specified below:

a. Be 10 feet wide by 20 feet long exclusive of drives or aisles. Each space shall be provided with adequate ingress and egress. An enclosed attached or detached residential garage shall not be used to satisfy the requirements for parking spaces unless specifically designed as a community parking facility for more than two dwellings.

2. Location. If off-street parking facilities for a noncontiguous parcel are provided they shall be located as specified.

a. For dwellings, parking facilities shall be located on the same or a contiguous lot;

b. For hospitals, sanitariums, homes for the aged, asylums, orphanages, rooming houses, lodging houses, club rooms, fraternity and sorority houses, not more than 150 feet from the buildings they serve.

3. Mixed Occupancies in a Building. When mixed use businesses are proposed in a building or strip mall:

a. New or existing: The total parking spaces required shall be one space per 200 square feet of gross area.

b. In structures where the total parking requirements of all the occupants exceeds the total number of parking spaces available, each occupant shall be subject to the annual parking fee in subsection (B) of this section, Historical and General Commercial Zones. The parking requirements for mixed use structures shall be assessed annually at renewal of business registration.

4. Plans. The plan of the parking area shall be submitted with the building permit for the building. The plans shall be drawn to scale and include complete details. (See subsection (G)(1) of this section, Minimum Design Standards.)

G. Every lot used as a public or private parking area shall be developed and maintained in the following manner:

1. Minimum Design Standards.

a. Parking stalls shall allow for of an area 10 feet wide by 20 feet long, measured as a rectangle within the proposed parking space.

b. Aisles for circulation with one-way traffic shall be:

i. For parallel parking: 12 feet wide.

ii. For 30- and 40-degree parking: 15 feet wide.

iii. For 60-degree parking: 18 feet wide.

iv. For 90-degree parking: 24 feet wide.

c. There must be adequate space so that vehicles do not back into a public street.

d. Circulation aisles shall be designed to prevent vehicles entering a public street when driving from one aisle to another.

e. Narrow parking areas with only one aisle for both entrance and exit shall be a minimum of 24 feet in width, and on the side of the parking area furthest from the entrance, have a turning area with a 25-foot minimum radius.

f. One-way entrances and exits shall have a minimum width of 12 feet and combined

entrance-exits shall have a minimum width of 24 feet.

g. All entrances, exits and parking stalls shall be clearly marked, including directional markings.

2. Construction Standards.

a. All commercial parking spaces and areas provided under the provisions of this chapter shall:

i. Be paved with base course, asphalt, concrete or other material that would be suitable to the site.

ii. Provide adequate drainage. A drainage plan will be required for all developments including parking; and said plan must be approved by the commission and board of trustees prior to issuance of a certificate of zoning compliance.

iii. Have bumper guards where needed to protect walls, fences, structures, etc.

iv. Be provided with necessary space and aisle safety markings.

b. In All Residential Zones. Crushed stone or crusher fines, for a minimum depth of four inches, is the minimum surface that may be used for driveways or parking areas or similar material as determined by the planning, zoning and historical appropriateness commission.

i. Provide adequate drainage. A drainage plan will be required for all developments including parking; and said plan must be approved by the commission and board of trustees prior to issuance of a certificate of zoning compliance.

In addition to the requirements of subsections (G)(1) and (2) of this section, every parking lot, either public or private, having a capacity of five or more vehicles shall be developed and maintained as follows:

3. Border, Barricades, Screening and Landscaping.

a. Every parking area not separated by a fence from any abutting street or alley property line shall be provided with a suitable concrete or wood curb six inches in height, located two feet from the street or alley property lines. This curb shall be securely installed and maintained; no curb or barrier shall be required across any entrance to the parking area.

b. Every commercial parking area abutting property in the residential zones shall provide a

solid wall, view-obscuring fence or compact evergreen hedge six feet in height; provided, that along the required front yard the fence, wall or hedge shall not exceed 48 inches in height.

c. Any lights illuminating any parking area permitted by this title shall reflect the light away from any nearby dwelling unit and meet the requirements of Chapter [18.50](#) MTC, Outdoor Lighting.

4. Entrances and Exits. The location of all entrances and exits must be approved by the commission. A clear sight triangle must be maintained at each exit.

5. Recreation vehicles and buses are required to park in designated areas.

6. The “No Parking” zones at intersections shall be 30 feet pursuant to state law.

H. Bicycle parking is not required, but is encouraged.

I. Businesses that meet the requirements of subsections (C) and (G) of this section shall be exempt from the parking assessment fees.

J. Existing parking lots not in compliance with subsection (G) of this section shall be brought into compliance within two years of the date of acceptance of this amendment. [Ord. 2017-01 § 1; Ord. 2009-03 § 1; Ord. 2004-01 § 3; Ord. 2003-03 § 1; Ord. 2001-04 § 3; Ord. 94-06 § 1; prior code § 11-2-5.17]

18.60.180 Area requirements deemed met.

Any lot or building site shall meet the minimum area requirements when:

A. It existed as an entire lot, or as an entire parcel, for which either a deed was on record in the office of the county clerk, or a bona fide contract of sale was in effect prior to March 14, 1972.

B. It is legally subdivided after the effective date of the ordinance codified on March 14, 1972.

Any lot or building that is deemed to be legal and meets the area requirements because of this section shall not be deemed nonconforming simply because it exists on less than the area required by the code. [Ord. 2021-01 § 3; Ord. 94-06 § 1; prior code § 11-2-5.18]

18.60.190 Height of buildings.

No structure shall be erected, reconstructed, or structurally altered to exceed the height limits established by this title. [Ord. 94-06 § 1; prior code § 11-2-5.19]

18.60.200 Additional story permitted.

Where the average slope of a lot is greater than one foot in five feet of horizontal distance, an additional story will be permitted on the downhill side of any building. [Ord. 94-06 § 1; prior code § 11-2-5.20]

18.60.210 Regulations for vertical structures.

A. Definitions.

1. "Commercial tower" means a freestanding vertical structure that may or may not have various attachments thereto, which is intended to radiate and/or receive radio frequency signals for the purpose of providing a commercial service to the public. Commercial tower uses include, but are not limited to, cellular communications, paging stations, TV stations, AM and FM radio stations, two-way radio base stations, communication mobile services, common carrier wireless services and communications used for intra-business and inter-business purposes. Commercial towers are excluded from the C, H-C and H-R zones.
2. "Personal (private) tower" means a freestanding vertical structure that may or may not have various attachments thereto, which is intended to radiate and/or receive radio frequency signals for the purpose of radio communications without the intent of commercial service. Personal tower uses include, but are not limited to television signal reception, amateur radio stations, AM and FM radio signal reception and citizen band (CB) base stations. Personal (private) towers are excluded from the C, H-C and H-R zones.
3. "Monopole (freestanding) tower" means a single vertical pole that has no guywires for support and serves as a mounting platform for radio frequency antennas. Monopole towers are excluded from the C, H-C and H-R zones.
4. "Lattice (freestanding) tower" means a freestanding vertical structure that is composed of individual components, where each vertical leg of the structure is connected by criss-crossed members that create a hollow structure. Lattice structures are excluded from the C, H-C, H-R, R-1, RA and RF zones.
5. "Guyed tower" means a freestanding vertical structure that gains its support from tension wires attached at various locations to the structure and converging to one or more anchors at ground level. Guyed towers are excluded from the C, H-C and H-R zones.
6. "Total structure height" means the total height of a freestanding vertical structure shall be measured from ground level to the topmost attached structure placed on the tower. Total structure height shall include all mounting standards, antennae and lighting.

7. "Allowable structure height" means the height of a freestanding vertical structure that is allowed by ordinance or approval of a special use permit.

8. "Antenna" means an attached structure designed to radiate and/or receive radio frequency (RF) emissions. An antenna design includes, but is not limited to, the following:

- a. Monopole, dipole, discone;
- b. Horizontally and vertically polarized TV and FM, Yagi;
- c. Mesh or solid parabolic;
- d. Array, phased array and others protected by a radome;
- e. Shaped-element.

9. "Flag pole" means a freestanding, single vertical pole that has no guywires for support and is used for the purpose of displaying a flag. Flag poles are allowed in all zones: C, H-C, H-R, R-1, RA and RF. The height of a flag pole is limited to five feet above the roof structure of the building with which the flag pole is associated.

B. Heights for Attached Structures. Attached structures, including but not limited to belfries, chimneys, antennas and parapet walls, may be constructed to a height five feet above the structure to which it is attached.

C. Requirements for Freestanding Vertical Structures.

1. Structures shall not be used for sleeping or eating quarters, nor allowed for additional floor space.
2. Structures shall be set back from property lines one foot for each one foot in height plus 10 percent of the total height of the vertical structure.
3. Structures shall not exceed the height in each zone as measured from ground level vertically to the highest point of the freestanding vertical structure.
4. Structures shall be constructed to meet Uniform Building Code standards and have manufacturer's specifications to withstand 90-mile-per-hour winds.
5. Structures shall conform to Federal Communications Commission and Federal Aviation Administration regulations if applicable.

D. Heights for Freestanding Vertical Structures Permitted by Right by Zone.

H-R, H-C, C	None, they are excluded from these zones
R-1	30 feet
RA	40 feet
RF	50 feet

[Ord. 97-02 § 1; Ord. 97-01 § 1; Ord. 94-06 § 1; prior code § 11-2-5.21]

18.60.220 Yard regulations.

Every required front, side and rear yard shall be open and unobstructed from the ground to the sky; provided, that when the common boundary line separating two or more contiguous lots is covered or partially covered by a building or when two or more such lots are used as a single building site, such lots are a single building site and the yard spaces as required by this title shall then not apply to the common boundary line. [Ord. 94-06 § 1; prior code § 11-2-5.22]

18.60.230 Yards required on corner lots.

In any residential zone, other than the H-R and H-C zones, all buildings on a corner lot abutting upon two streets shall have a minimum setback of 10 feet from the side lot line. [Ord. 94-06 § 1; prior code § 11-2-5.23]

18.60.240 Through lots to have two front yards.

A through lot shall maintain a front yard setback on each street. [Ord. 94-06 § 1; prior code § 11-2-5.24]

18.60.250 Front yard requirements deemed met.

Any front yard requirement is met when the depth of the front yard at least equals the average of that established by front yards of existing buildings within the same block or zone. [Ord. 94-06 § 1; prior code § 11-2-5.25]

18.60.260 Front yards of unimproved lots.

The front yards on lots in any block where all existing main buildings have front yards greater than required for the particular zone shall be not less than the minimum depth of any existing front yards, but need not be more than 10 feet greater than the depth required. Buildings which are located in the rear half of the lot shall not be considered in applying this section. [Ord. 94-06 § 1; prior code § 11-2-5.26]

18.60.270 Setback lines measured from property lines.

Wherever front, side, and rear yards are required, the depth shall be measured from the property line. [Ord. 94-06 § 1; prior code § 11-2-5.27]

18.60.280 Irregularly shaped lots.

In lots having more than four boundary lines or lots which vary considerably from a rectangular shape, the rear lot line is the line most nearly opposite from and parallel with the street line on which the lot abuts. In the case of triangular lots, the rear lot line shall be a straight line 15 feet in length which is parallel to the front lot line and intersects the two side lot lines at points most distant from the front lot line. [Ord. 94-06 § 1; prior code § 11-2-5.28]

18.60.290 Permissible reduction of side yard.

On previous lots of record less than 60 feet in width, the required side yard may be reduced one and one-half inches for each foot such lot is less than 60 feet; provided, that the width of the side yard shall not be reduced to less than three feet. [Ord. 94-06 § 1; prior code § 11-2-5.29]

18.60.300 Commission may modify.

The planning commission may, by resolution, establish standard practices by which to determine an appropriate and practical modification of required front, side, and rear yard depths or widths in all zones if geometric shape, dimensions or topography make impractical the literal application of yard requirements in this title. Following adoption of standard practices, and approval by the board of trustees, they shall be applied as an administrative act. [Ord. 94-06 § 1; prior code § 11-2-5.30]

18.60.310 Permissible coverage of required rear yard.

Canopies or roofs and accessory buildings in a rear yard shall not be more than 50 percent of the required area. [Ord. 94-06 § 1; prior code § 11-2-5.31]

18.60.320 Structures permitted to intrude into required yards.

The following structures may intrude into any required yard which is five feet or greater in width or depth:

A. Cornices, eaves, buttresses, or other similar architectural features: one and one-half feet.

B. Fireplace structures not wider than eight feet: two feet intrusion.

C. Open stairways, balconies, and fire escapes: two and one-half feet.

D. Uncovered patios which are below the floor level of the first floor: two and one-half feet into required side and rear yards and six feet into required front yards.

E. Planting boxes or masonry planters not exceeding 42 inches in height: two feet.

F. Guard railings around ramps: two and one-half feet. [Ord. 94-06 § 1; prior code § 11-2-5.32]

18.60.330 Modification of required front yards.

The depth of required front yards may be modified on unimproved lots between lots having nonconforming front yards of a depth less than required by this title. The modification may be equal to the average depth of the front yards on the two adjacent lots; provided, that it is at least 15 feet. [Ord. 94-06 § 1; prior code § 11-2-5.33]

18.60.340 Wall, fence, or hedge.

A. Height (see illustration in Appendix A).

1. A six-foot maximum height above ground surface level shall be permitted on any part of the required setbacks of front yards or side yards abutting a street in H-R and H-C zones; provided, such wall, fence or hedge is in accord with subsections (D) and (G) of this section.

2. A four-foot maximum height above ground surface level shall be permitted on any part of the required setbacks of front yards or side yards abutting a street in R-1, RF and RA zones; provided, such wall, fence or hedge is in accord with subsection (D) of this section. A six-foot maximum height above ground surface level shall be permitted on any part of the required front yard or side yard abutting a street with openwork fencing in the RF and RA zones. "Open work" fencing is defined as fencing with 40 percent of the area transparent within each six-foot width of fence.

B. Walls, fences or hedges on any part of the lot that is to the rear of the required front yard must be in accord with subsection (D) of this section and constructed to Uniform Building Code Standards.

C. Any wall retaining four or more feet of soil must be designed and signed by a professional engineer registered in the state of New Mexico.

D. There shall be no fence, wall, hedge, or obstruction more than three feet above street curb level or ground level at edge of street in the clear sight triangle, measured 30 feet in both directions on the property line from a corner. (See Appendix B.)

E. Walls or fences constructed within the front yard setback area facing a street within the H-R, H-C, R-1 zones must be built with the following materials only: stucco, brick, stone, wood, adobe and wrought iron.

F. No wall, fence or hedge shall be permitted in a public right-of-way.

G. No walls, fences, hedges or other obstructions may be placed near exits from driveways or parking

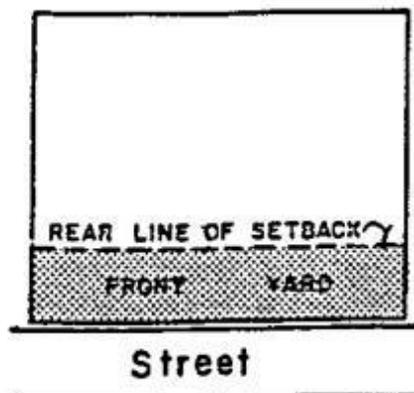
areas which block a driver's view of approaching traffic for a distance of 90 feet in both directions. The following explanations will further define this unobstructed view (also, see illustrations in Appendix C):

1. The driver's eye level may be from three to eight feet above the driveway's surface and located as far as 10 feet back from the curb line or pavement edge.
2. Those portions of approaching cars which are more than three feet above the roadbed must be within view of the exiting driver.
3. Approaching cars must be visible when driving in the center of any legal lane.
4. Minor gaps are permitted in the required field of view caused by tree trunks, sign posts, or other narrow objects if they could not conceal a small automobile.

H. A wall may exceed six feet if:

1. It is compatible with the development zone, as defined in the Guidelines and Criteria for Preservation and Development manual (YGUADO Plan), and is connected to the building where it surrounds a courtyard, patio, or open room and the height of the wall is to provide privacy and/or environmental protection. The wall shall not exceed the height of the corresponding building nor at any time exceed 10 feet. This criterion shall not be considered for a perimeter wall (property line fence). [Ord. 2006-10 § 1; Ord. 2001-09 § 1; Ord. 94-06 § 1; Ord. 93-08; prior code § 11-2-5.34]
2. Residential properties south of University Ave between Bowman St and McDowell St. In which the six feet maximum requirement for a perimeter fence is still six feet but would be measured at the base of the finished ground level immediately outside the property.

Appendix A – Fences, Walls and Hedges

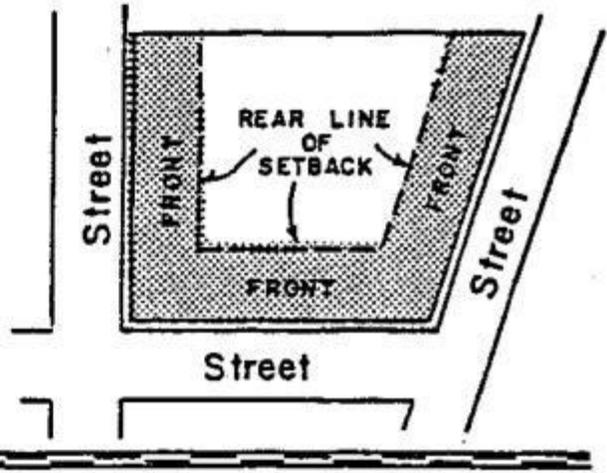


Interior Lot

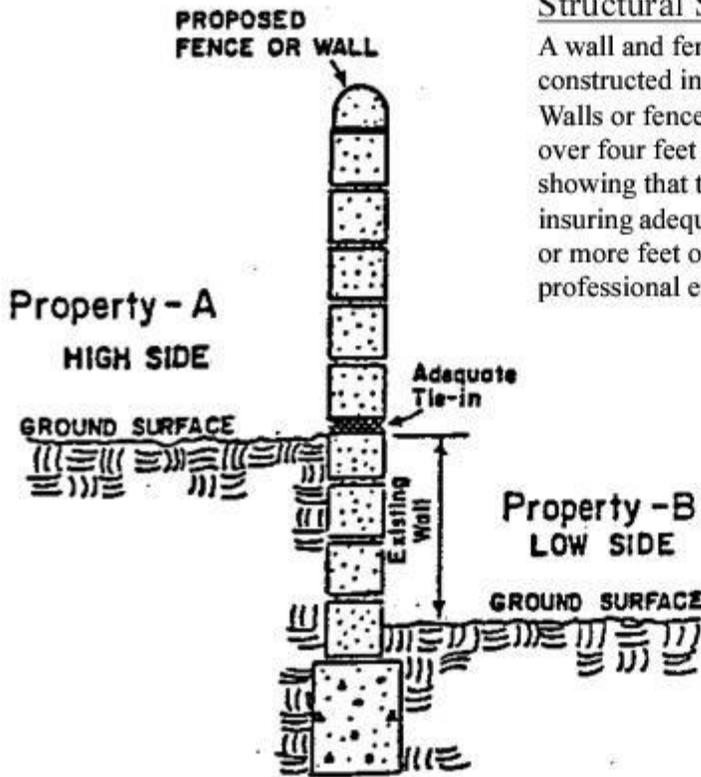
Hedge, fence and wall height is restricted (see MTC 18.60.340) in the shaded area, except that in any clear sight triangle, the height shall be limited to three feet.

Corner and Multi-Front Lots

Hedge, fence and wall height is restricted (see MTC 18.60.340) in the shaded area, except that in any clear sight triangle, the height shall be limited to three feet.



Note: Ground surface level is defined as the level of ground abutting the fence or wall.

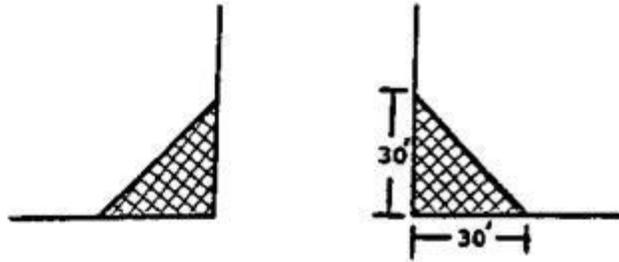


Structural Strength and Bi-Level Grades

A wall and fence constructed on a bi-level grade shall be constructed in accord with the following provision: Walls or fences constructed on top of an existing wall that is over four feet in height shall require a structural detail showing that the fence below is structurally adequate and insuring adequate tie-in and bonding; and a wall retaining four or more feet of soil must be designed and stamped by a professional engineer registered in the state of New Mexico.

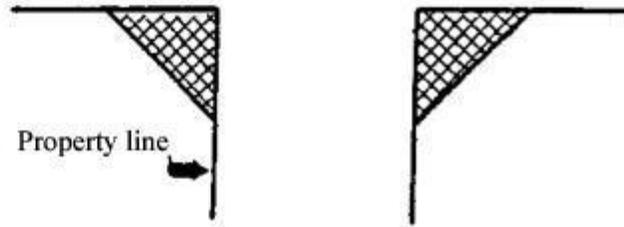
Appendix B – Clear Sight Triangle

Clear sight triangle applies to both corner lots and off-street multiple parking area. For a definition, see "Clear sight triangle," MTC 18.10.020.



Clear Sight Triangle

STREET

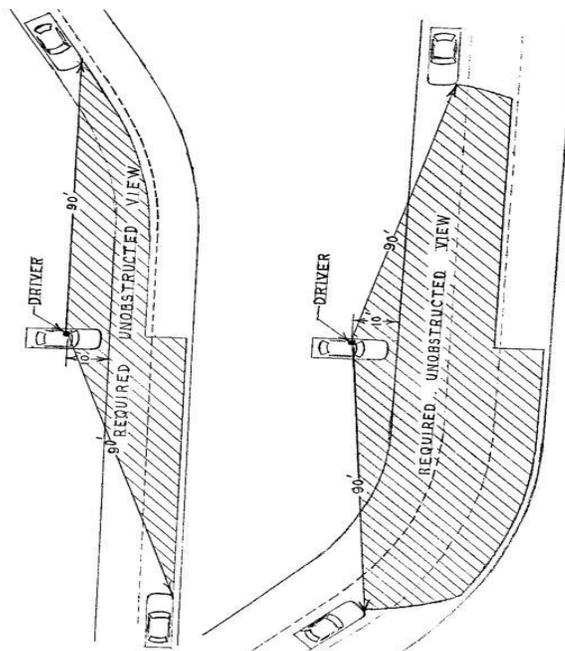


Appendix C

- Required Unobstructed View

18.60.350 Alley may apply to depth of rear yard in certain cases.

Where a rear yard opens onto a public alley, one-half of the width of such alley may be considered as applying to the depth of the rear yard up to 50 percent of the required depth. [Ord. 94-06 § 1; prior



code § 11-2-5.35]

18.60.360 Lot area not to be reduced.

No lot shall be so reduced or diminished that the yards or other open spaces shall be smaller than required by this title. [Ord. 94-06 § 1; prior code § 11-2-5.36]

18.60.370 Lots not to be reduced to size below minimum required area.

No lot shall be reduced in size so that the area is less than the minimum required area for a lot except when the reduction results from partial acquisition for public use. [Ord. 94-06 § 1; prior code § 11-2-5.37]

18.60.380 Area for public buildings and utility buildings may be reduced.

Where a lot or building site is exclusively public buildings and uses, and owned by a political subdivision or by a public utility company, and no living quarters are located on such lot a special use permit may be issued authorizing a reduction in the minimum required area. [Ord. 94-06 § 1; prior code § 11-2-5.38]

18.60.390 Location of accessory buildings.

Detached accessory buildings in any residential zone shall conform to the following regulations as to their location on the lot or building site:

A. They may be constructed in a required rear yard; provided, they cover no more than 50 percent of the required rear yard area, but not within seven feet of the rear property line if that is the side property line of an adjoining lot. [Ord. 94-06 § 1; prior code § 11-2-5.39]

The Mesilla Town Code is current through Ordinance 2021-03, passed December 30, 2021.

Disclaimer: The town clerk's office has the official version of the Mesilla Town Code. Users should contact the town clerk's office for ordinances passed subsequent to the ordinance cited above.

Town Website: <http://www.mesillanm.gov/>

Town Telephone: (575) 524-3262

[Code Publishing Company](#)



LOCAL DESIGNATION NOMINATION FOR THE HISTORIC REGISTER FOR THE TOWN OF MESILLA

Structure Address: **2090 SNOW RD**

DAC Account Number: R0401145

On National Register for Mesilla Historic District ? Yes No X

If yes, what # (on Map)?

Present Use of Property: (Check one or more as appropriate)

- | | | | | | | |
|--|--------------------------|---|---------------------------------------|---|--------------------------|--|
| Agricultural
<input type="checkbox"/> | <input type="checkbox"/> | Governmental
<input type="checkbox"/> | <input type="checkbox"/> | Museum
<input type="checkbox"/> | <input type="checkbox"/> | Scientific
<input type="checkbox"/> |
| Commercial
<input type="checkbox"/> | <input type="checkbox"/> | Acequia/Ditch
<input type="checkbox"/> | <input type="checkbox"/> | Park
<input type="checkbox"/> | <input type="checkbox"/> | Transportation
<input type="checkbox"/> |
| Educational
<input type="checkbox"/> | <input type="checkbox"/> | Industrial
<input type="checkbox"/> | X <input checked="" type="checkbox"/> | Residential
<input type="checkbox"/> | <input type="checkbox"/> | Work in Progress
<input type="checkbox"/> |
| Road/Trail
<input type="checkbox"/> | <input type="checkbox"/> | Military
<input type="checkbox"/> | <input type="checkbox"/> | Religious
<input type="checkbox"/> | <input type="checkbox"/> | Other (Specify):
<input type="checkbox"/> |

Date Application Received: _____ Complete: Incomplete:

Planning and Zoning Historic Appropriateness Commission Action:

Local Designation Register: Approved Tabled: Denied:

Date: _____ Town of Mesilla Historic and Cultural Designation # _____

National Register Recommendation: Approved Rejected:

Comments:

DIGITAL APPLICATION: MICROSOFT FORMS

View results

Respondent

3

Anonymous

07:22

Time to complete

1. Today's Date: *

1/13/2026



APPLICANT INFORMATION

2. Full Name: *

Liana Aguirre

3. Address: *

2231 Avenida de Mesilla

4. E-mail:

comdev@mesillanm.gov

5. Relationship to Property being nominated: *

- Owner
- Renter
- I'm just a community member
- Town employee

PROPERTY INFORMATION

6. Property Address: *

2090 Snow Road

7. Dona Ana County Parcel Account Number (Leave Blank if Unsure):

R0401145

8. Is this Property part of the Mesilla Historic District? *

- Yes
- No
- Unsure

9. If so, what would the property number be in the Historic District? (Leave blank if unsure)

No answer provided.

10. What is the present use of this property? *

- Residence
- Agricultural
- Acequia/Ditch
- Educational
- Road/Trail
- Governmental
- Industrial
- Educational
- Commercial
- Museum
- Park
- Religious
- Scientific
- Military
- Other

PROPERTY HISTORICAL SIGNIFICANCE

11. Narrative *

Historical and developmental history of Property: Trace the history of the property through primary, if possible, and secondary sources. Focus on significant events as well as the day-to-day experiences of people associated with the property. If a farm, for example, what crops were grown? Also explain physical characteristics and changes to the buildings and overall property so that its current appearance can be understood. Why is this property important to Mesilla (events, people, cultural relevance)?

See Separate Document attached

PROPERTY DESCRIPTION

12. What was the historic function of this property? (If unsure, leave blank)

Farm/ Farmhands quarters

13. Construction Date *

- Known
- Unknown
- Estimated

14. What is the Date:

1/1/1890

15. Please give the Source for this date:

Date is written on Property, found on Zillow.com

16. What is the current condition of this property: *

- Intact
- Altered
- Deteriorated
- Other

17. If known, who was the architect/builder:

No answer provided.

18. The architectural style of this building is: *

Please select at most 3 options.

- Not applicable
- Classical Revival/Neo-Classical Revival
- Pueblo/Pueblo Vernacular
- Classical Revival/Neo-Classical Revival
- Colonial Revival
- Gothic Revival/Folk Gothic
- Territorial
- Territorial Revival
- Mediterranean/Spanish Colonial Revival
- Mission Revival/California Mission Revival
- Southwest Vernacular
- New Mexico Vernacular
- Ranch/Rambler
- Spanish-Pueblo Revival
- Queen Anne
- Farmhouse/ Farm Quarters

19. Architectural and Building Materials *

Visible Construction Materials are:

- Adobe
- Brick
- Composition Board
- Concrete: Block
- Concrete: Cast Stone
- Concrete: Poured
- Concrete: Pre-cast
- Earth Plaster
- Metal: Corrugated
- Stone
- Stucco
- Tile: Clay
- Wood: Jacal
- Wood: Shingle
- Wood: Window Trim
- Wood: Log
- Other

PHOTOGRAPHS

20. In addition to the information above, photographs should be provided. They can be from Google, (maps or search engine) or from your own catalog. Along with your name, these photos should be submitted to comdev@mesillanm.gov. Please check which you will be submitting: *

- Historic Photos- If available
- Current Photo

RESOURCES

21. Please list all resources used for all your information, primary, secondary, including oral histories (names of individuals). *

Dona Ana County Records-Archives
New Mexico Farm and Ranch Heritage Museum, Oral History Program- oralhistory.nm.farmandranchmuseum.org/index.php
Lucío Salas Urbina, Santa Rosalía de Camargo: ayer y hoy (Chihuahua, 2005), 68–70. Paul Ginther
Mark Wasserman, Persistent Oligarchs: Elites and Politics in Chihuahua, Mexico, 1910–1940 (Durham:Duke University Press, 1993), 80.
Oral Accounts from Family
Powerhouse Chihuahua: Electricity, Water, and the State in the Long Mexican Revolution -Jonathan Hill Jr, CUNY Graduate Center

22. INCLUDING FILING OUT REQUIRED FIELDS, YOU HAVE ALSO SUBMITTED IN A SEPARATE DOCUMENT (emailed to comdev@mesillanm.gov): (check all that apply) *

- HISTORICAL PHOTOS
- CURRENT PHOTOS
- SITE MAP/ FLOOR PLAN
- Other

LOCAL LANDMARK DESIGNATION NOMINATION FOR THE *TOWN OF MESILLA HISTORIC AND CULTURAL REGISTER*

This property that sits on 2090 Snow Road, Rural Farm Zone, consists of various structures and holds high historical significance for the Town of Mesilla. The main living space itself was built circa 1890, initially owned by George and Ella Clark. The property consists of a farmhand quarters attached to a large barn and a separate home which was the main living space. All structures are made of adobe and are great examples of modern adobe homes. The barn is the only space where the adobe is exposed. The quarters, said to be built after the main home, was said by oral account to be built by Prisoners of War during WWII (German and Italian prisoners, perhaps in the 1940's). In addition to the large adobe storage barn there is a watermill that no longer is in service that once provided for the farm, and although there is no mention on a map of an acequia/lateral on the property, there is one that runs right through it.

This property is situated among one of the oldest rural corridors of Mesilla. It sits at the crossroads between Calle del Norte and Snow Road. Calle del Norte emanates from the Plaza and is still, today, a main road. Snow Road and its proximity to the Rio Grande made it an ideal location to acequias, agriculture and farmlands that put Mesilla on the map. Routes such as El Camino Real de Tierra Adentro/Chihuahua Trail and the Butterfield Overland Stagecoach, along with general commerce and trade, helped actualize these main roads, that connected to the plaza and were a means to and from the agricultural lands. These routes created a network of rural roads radiating from the Mesilla Plaza to farms, acequias, and outlying settlements. One of these settlements is this property.

Additionally, this property was once associated with Ginther Farms, actualized by Paul and Mary (Maria Ysais) Ginther. Ginther farms did not grow pecans, they were established well before their arrival. They focused more on cotton, alfalfa, sorghum and at some point, even had a great deal of beef cattle.

Paul Ginther was born in Alsace, France and made it to Chihuahua, MX in late 1800's. In 1905 Paul, now known as Don Pablo Ginther, along with a local lawyer began to propose a large dam near the town known as Camargo, which would provide hydroelectricity for local industries, factories, mills, trollies and public lighting. The dam later became known as La Boquilla and powered one of the largest dams. This dam was the first of its kind in this area. Sociedad Fronteriza y Politica and El Instituto de Investigaciones Historicas, feature a paper from Mark Wasserman that summarizes him best: "Paul (Pablo) Ginther was one of those who came originally to promote mines and stayed on to become a respected member of the

community. Born in France, he passed through the United States before arriving in Chihuahua in 1897. A mining engineer, he managed a number of mines on his own and acted as the representative of Dutch, French, and English investors. He eventually bought a hotel in Camargo and centered his activities there. Although many of his mining properties were ruined in the Revolution, he continued in this business through the 1920s. In later years he was a farmer outside Camargo. Known as an innovator, Ginther helped get a major dam built at Boquilla near Camargo, which furnished much of southern Chihuahua's electricity, and he owned the first automobile in the region. Where Ginther went to farm after Camargo was here in Mesilla, this property on 2090 Snow Rd.

Some sources say that he mined his way across North America, from New York to El Paso and ended up settling in Chihuahua after a railway accident. Born in 1875, Paul Ginther Lienhart moved to NYC at the age of 12, studied mining and discovered the "5 nobles" mine in Canada. Then moved on to Nevada and California crossing into Mexico at El Paso. Due to a railway accident, he visited the healing hot springs at Ojo caliente, Camargo in 1898 where he stayed for quite some time before moving to become a farmer in Mesilla. Calle Pablo Ginther, a main thoroughfare in Camargo is named after him. He also had a hotel, the Historic Hotel Hidalgo built, which is still standing but no longer in operation.

Although no documented history is found, direct oral family accounts have stated that Don Pablo Ginther left Chihuahua to evade and flee from Pancho Villa who came to confront his family and home. Ginther was a man of great wealth and was of interest and concern to Villa.

Although this property is currently being nominated for the Town of Mesilla Local Historic and Cultural Register, it additionally the Criteria for significance for the National Register under the following:

Criterion A- Patterns of an areas development-Agriculture, Commerce, Architecture,- POW's-WWII (Farm work, development), Important Commercial Rural Road in Mesilla

Criterion B- Association with the life of an important person

Criterion C- Architectural Style

All of the properties on the National Register of Historic Places for the Town of Mesilla are places that surround the Plaza. I believe bringing attention to this Rural Farm Area, an area of high importance for the development and flourishing of the Town of Mesilla, will help to increase awareness and assist in saving the Green Belt, something that seems of high importance to the town and that was mentioned in our Comprehensive Plan meetings. This structure holds high significance, integrity and feeling. It is a fine symbol of the heritage and

culture of the beginnings and history of the Town of Mesilla and has full potential to be the first National Landmark in the rural farm zone. I ask that you consider this property to place on the Town of Mesilla Local and Cultural Register to protect its integrity and architecture for years to come. There is none other like it in the Town and it would be a terrible demise to Mesilla if it is destroyed, altered, as it would lose its integrity.

RESOURCES

Dona Ana County Records-Archives

New Mexico Farm and Ranch Heritage Museum, Oral History Program-
oralhistory.nm.farmandranchmuseum.org/index.php

Lucío Salas Urbina, *Santa Rosalía de Camargo: ayer y hoy* (Chihuahua, 2005), 68–70. Paul Ginther

Mark Wasserman, *Persistent Oligarchs: Elites and Politics in Chihuahua, Mexico, 1910–1940* (Durham:Duke University Press, 1993), 80.

Oral Accounts from Family

Powerhouse Chihuahua: Electricity, Water, and the State in the Long Mexican Revolution - Jonathan Hill Jr, CUNY Graduate Center

Parcel lookup



KNOPP RICHARD W

ACCOUNT NUMBER: R0401145
PARCEL NUMBER: 4005138229075
MAP CODE: 4-005-138-229-075
OWNER NAME: KNOPP RICHARD W
MAILING ADDRESS: 5756 BOX ELDER ROAD
CITY: EL PASO
STATE: TX
ZIP: 79932
SUBDIVISION NAME: KNOPP ACRES (2403970) Lot:
2
SITE ADDRESS: SNOW RD
ACREAGE: 10.85
SQUARE FOOTAGE: 472,626.00
TOTAL VALUATION (LAND & BUILDING): 302,526

[ASSESSOR PARCEL INFORMATION DETAIL LINK](#)

Last edited by rebeccama_donaana on 11/25/2025, 4:43 PM.



Farm Quarters



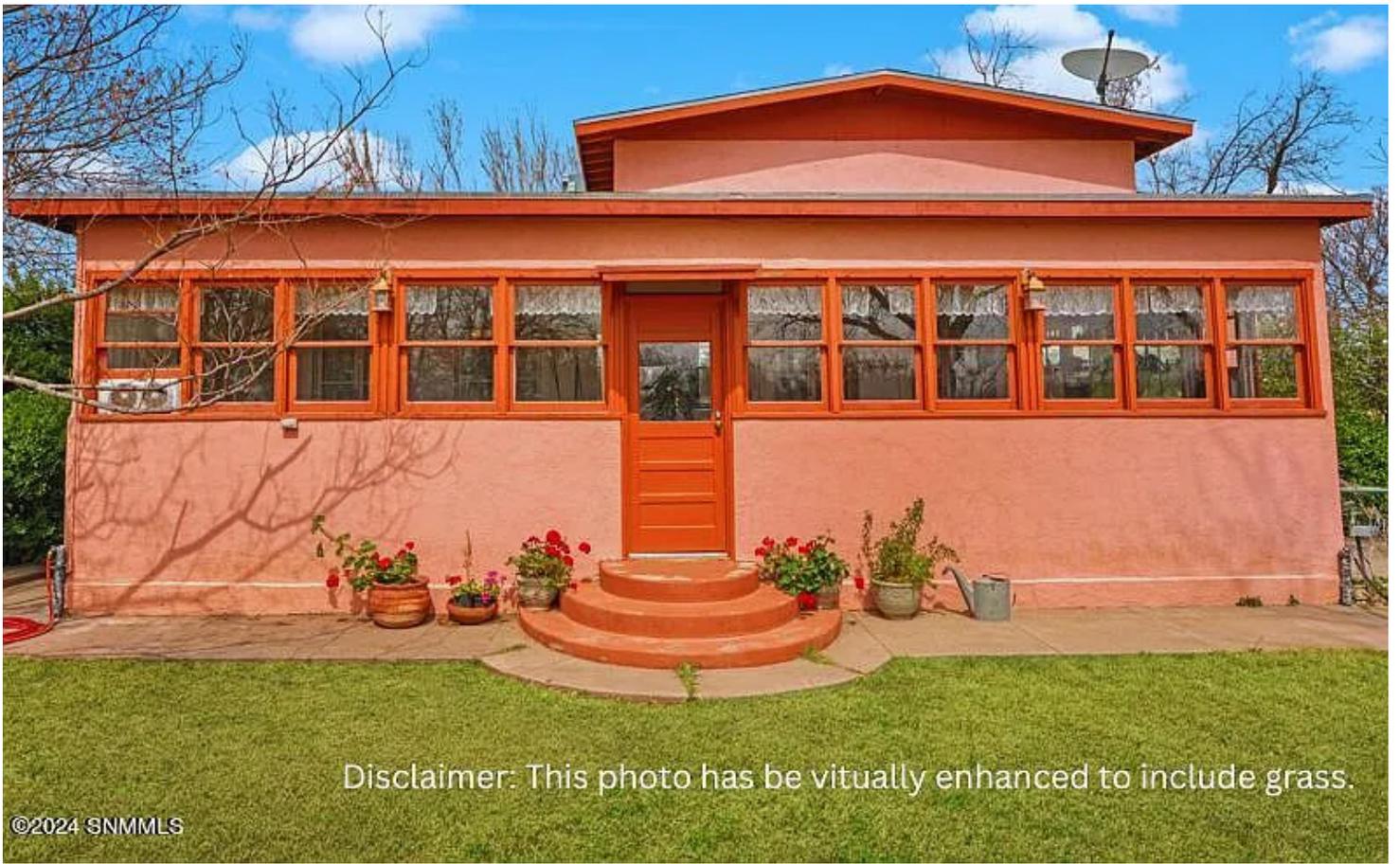
Main home front



Main home front



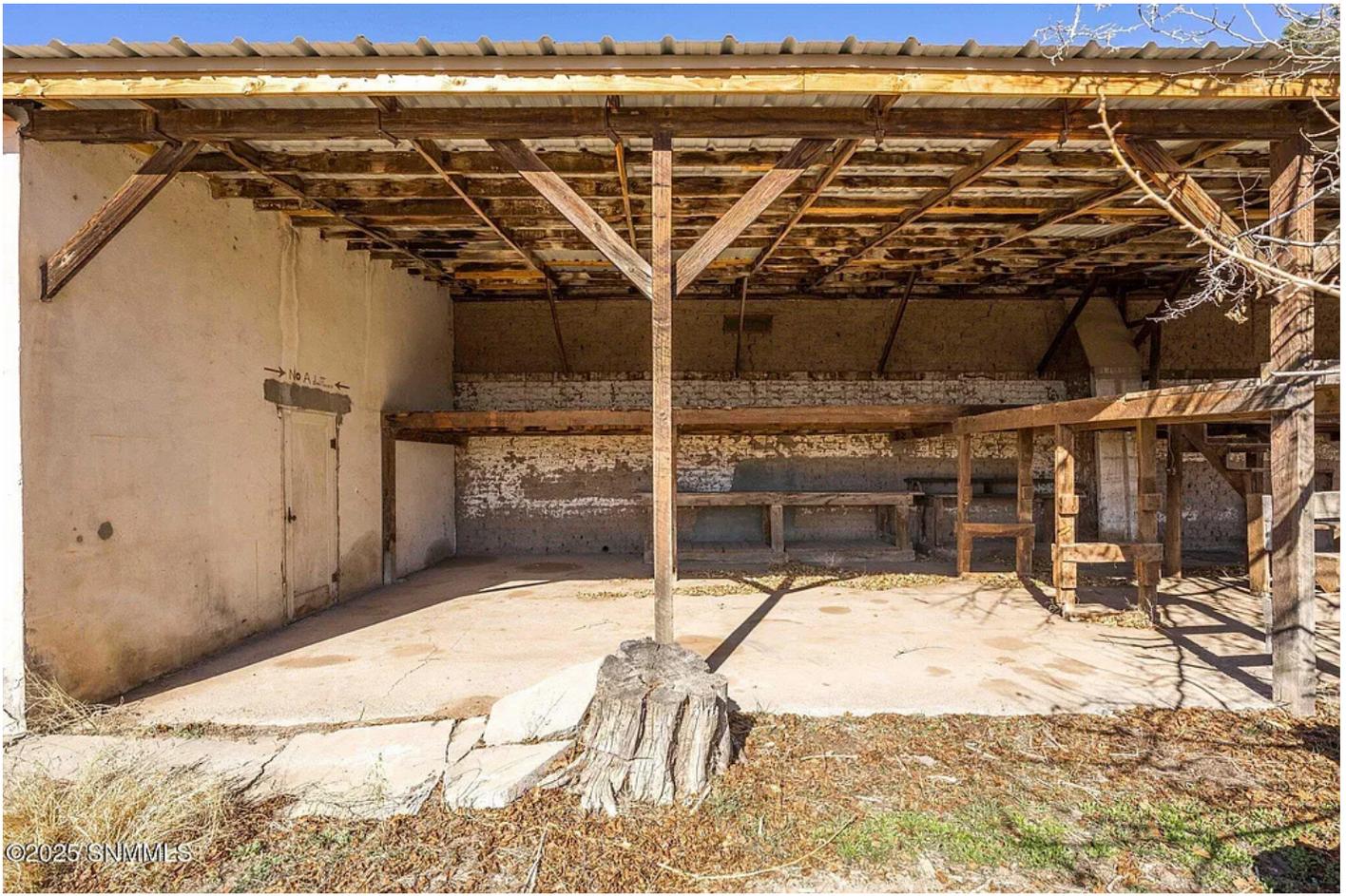
Watermill



Main home



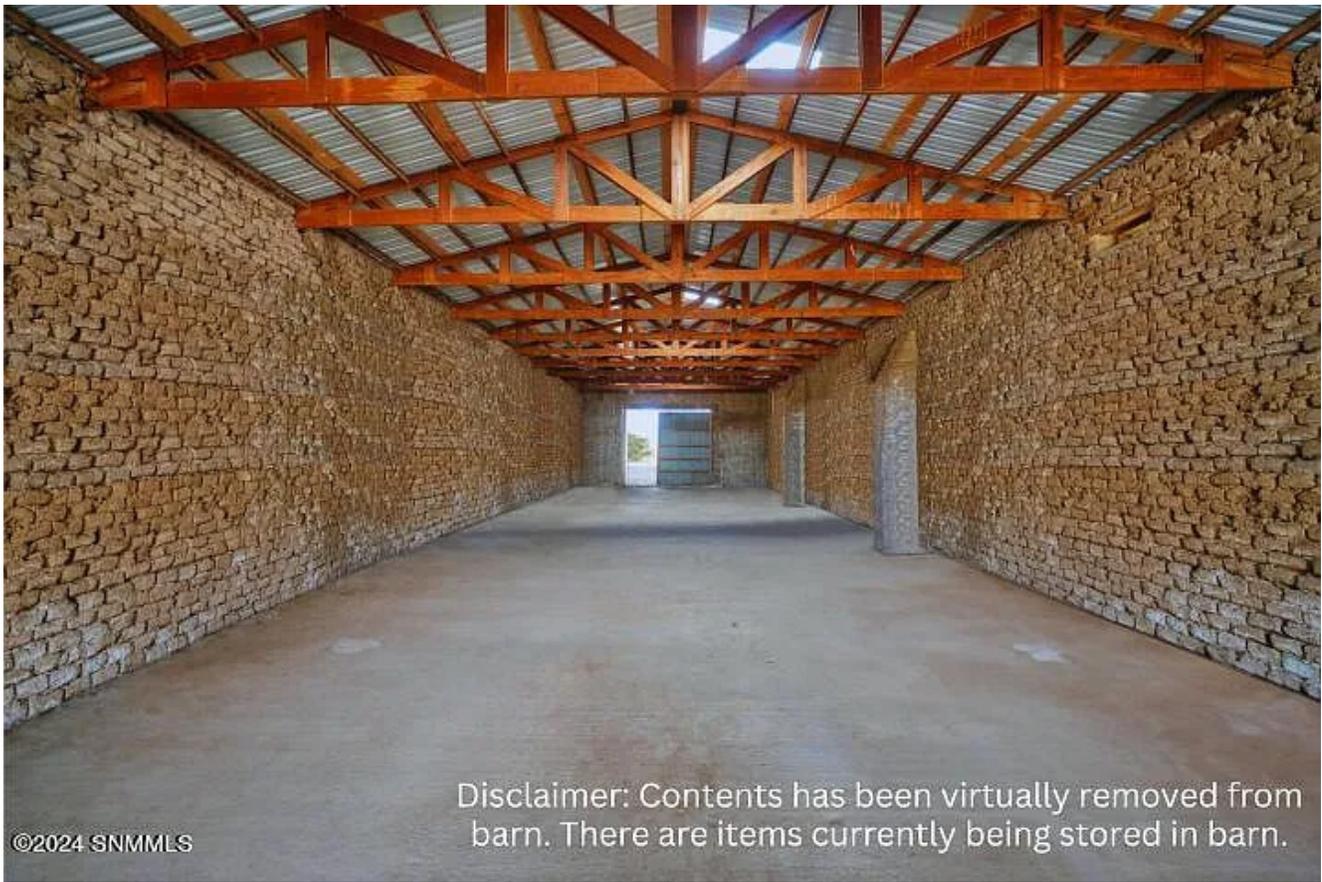
Farm Quarters



©2025 SNMMLS



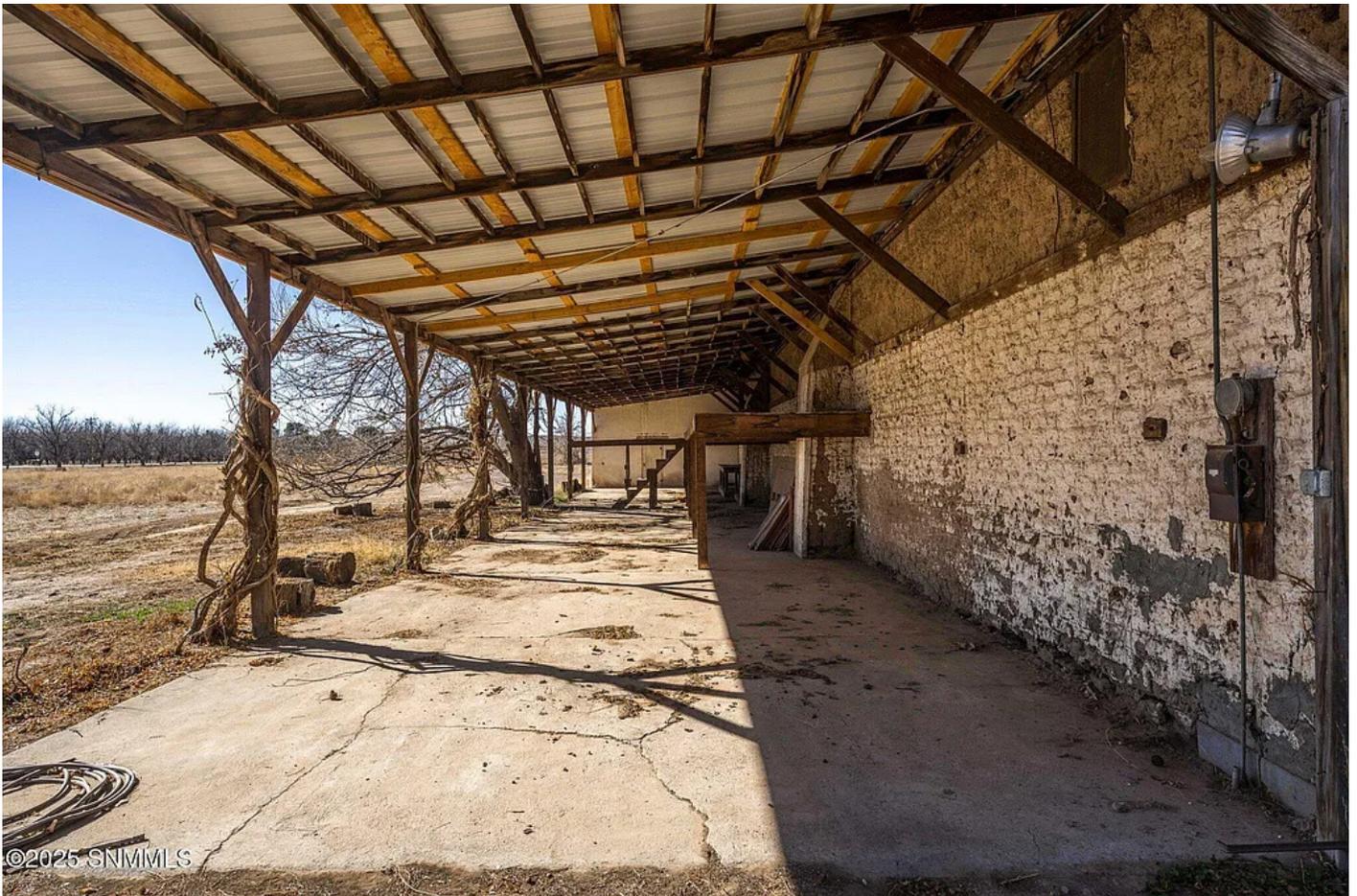
©2025 SNMMLS



Disclaimer: Contents has been virtually removed from barn. There are items currently being stored in barn.

©2024 SNMMLS

Farm storage attached to quarters



©2025 SNMMLS



Interior of Main Home:
Not regulated, just for insight





Interior of Farm Quarters:
Not regulated, just for
insight

©2025 SNMMLS



©2025 SNMMLS

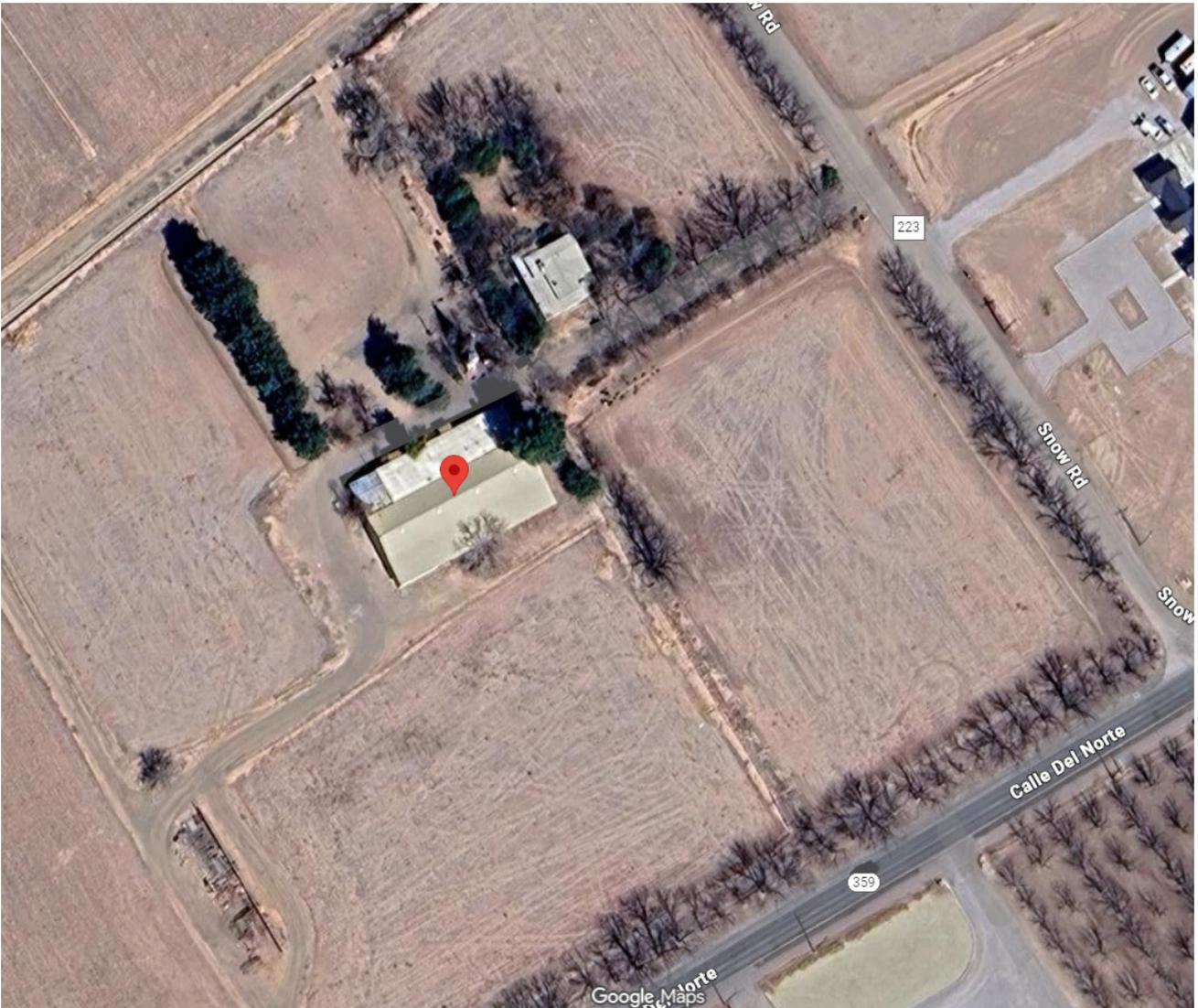


©2025 SNMMLS



©2025 SNMMLS

**All photos available on
Zillow, Trulia, Coldwell
Banker and other real
estate sites**



Street and Aerial View (Google Maps)



LOCAL DESIGNATION NOMINATION FOR THE TOWN OF MESILLA CULTURAL AND HISTORIC REGISTER

Structure Address: **2380 CALLE PRINCIPAL**

DAC Account Number: **R0401188**

On National Register for Mesilla Historic District ? Yes No

If yes, what # (on Map/DOCUMENT)? 119

Present Use of Property: (Check one or more as appropriate)

- | | | | | | | |
|---|--------------------------|---|--------------------------|---|--------------------------|--|
| Agricultural
<input type="checkbox"/> | <input type="checkbox"/> | Governmental
<input type="checkbox"/> | <input type="checkbox"/> | Museum
<input type="checkbox"/> | <input type="checkbox"/> | Scientific
<input type="checkbox"/> |
| Commercial
<input checked="" type="checkbox"/> | <input type="checkbox"/> | Acequia/Ditch
<input type="checkbox"/> | <input type="checkbox"/> | Park
<input type="checkbox"/> | <input type="checkbox"/> | Transportation
<input type="checkbox"/> |
| Educational
<input type="checkbox"/> | <input type="checkbox"/> | Industrial
<input type="checkbox"/> | <input type="checkbox"/> | Residential
<input type="checkbox"/> | <input type="checkbox"/> | Work in Progress
<input type="checkbox"/> |
| Road/Trail
<input type="checkbox"/> | <input type="checkbox"/> | Military
<input type="checkbox"/> | <input type="checkbox"/> | Religious
<input type="checkbox"/> | <input type="checkbox"/> | Other (Specify):
<input type="checkbox"/> |

Date Application Received: _____ Complete: Incomplete:

Planning and Zoning Historic Appropriateness Commission Action:

Local Designation Register: Approved Tabled: Denied:

Date: _____ Town of Mesilla Historic and Cultural Designation # _____

National Register Recommendation: Approved Rejected:

Comments:

DIGITAL APPLICATION: MICROSOFT FORMS

View results

Respondent

2

Anonymous

17:59

Time to complete

1. Today's Date: *

1/13/2026



APPLICANT INFORMATION

2. Full Name: *

Liana Aguirre

3. Address: *

Town of Mesilla

4. E-mail:

comdev@mesillanm.gov

5. Relationship to Property being nominated: *

- Owner
- Renter
- I'm just a community member
- Town Employee

PROPERTY INFORMATION

6. Property Address: *

2380 Calle Principal

7. Dona Ana County Parcel Account Number (Leave Blank if Unsure):

R0401188

8. Is this Property part of the Mesilla Historic District? *

- Yes
 No
 Unsure

9. If so, what would the property number be in the Historic District? (Leave blank if unsure)

119

10. What is the present use of this property? *

- Residence
 Agricultural
 Acequia/Ditch
 Educational
 Road/Trail
 Governmental
 Industrial
 Educational
 Commercial
 Museum
 Park
 Religious
 Scientific
 Military
 Other

11. Narrative *

Historical and developmental history of Property: Trace the history of the property through primary, if possible, and secondary sources. Focus on significant events as well as the day-to-day experiences of people associated with the property. If a farm, for example, what crops were grown? Also explain physical characteristics and changes to the buildings and overall property so that its current appearance can be understood. Why is this property important to Mesilla (events, people, cultural relevance)?

The Leonart Maurin Store is noted as the earliest brick building in the state of New Mexico. Mr. Auguste Maurin, was the original owner and his partner, Eugene Leonart were of French descent and owned much property in the Mesilla Valley. Leonart arrived with a group of Frenchmen in the 1850's and came by way of Mexico to these lands and built a home in Las Cruces. Possibly a gambler, he also had a business connection in Mesilla with a partner, Eugene Augustin Maurin (Interview number 30.1). He was one of the wealthiest men in the Mesilla Valley at the time. In 1861, Leonart sold merchandise to Confederates and parted with them when they withdrew in 1862. Eugene Leonart, who also lent money to other merchants, other industries, and apparently was a capitalist of considerable influence. When he passed, there was no newspaper report on him since he was a Confederate sympathizer in 1862, long before any newspaper had been printed in the vicinity. Maurin continued business in Mesilla and owned at least three farms.

In 1866, Auguste Maurin was murdered by robbers in his apartment (to the rear of this store). His relative, Cesar Maurin, moved in afterwards to claim the property and died in 1898, from age and infirmity, according to a coroners' jury. Shortly after Pedro Duhalde, a Frenchman who had been a saloon keeper in Mesilla, then moved into the building and too was murdered by robbers, and supposedly in the same area of the home Mr. Auguste Maurin had passed on.

This building has been used as a saloon, residence, town hall, and is currently housing two gift shops.

Constructed between 1860-1863 out of locally fired/burned brick from his own kiln. The kiln was located about half a mile from Mesilla, near the Mesilla-Las Cruces Ferry, adjacent to the Rio Grande. The structure was to have a second story as evidenced by blocked up, partially complete windows above the canal level. Only about three feet of this story was completed when the project was halted. Perhaps after the murder of Mr. Auguste Maurin. This is noted as the first brick building in the state of New Mexico.

PROPERTY DESCRIPTION

12. What was the historic function of this property? (If unsure, leave blank)

General Store, Town Hall and Saloon

13. Construction Date *

- Known
- Unknown
- Estimated

14. What is the Date:

12/31/1862

15. Please give the Source for this date:

Mary Daniels Taylor, Archives, Town of Mesilla. The Las Cruces Historic Buildings Survey NMSU, p.69, Dona Ana County Historical Society 2/10/1971, p.8

16. What is the current condition of this property. *

- Intact
- Altered
- Deteriorated
- Other

17. If known, who was the architect/builder:

Commissioned by Auguste Maurin

18. The architectural style of this building is: *

Please select at most 3 options.

- Not applicable
- Classical Revival/Neo-Classical Revival
- Pueblo/Pueblo Vernacular
- Classical Revival/Neo-Classical Revival
- Colonial Revival
- Gothic Revival/Folk Gothic
- Territorial
- Territorial Revival
- Mediterranean/Spanish Colonial Revival
- Mission Revival/California Mission Revival
- Southwest Vernacular
- New Mexico Vernacular
- Ranch/Rambler
- Spanish-Pueblo Revival
- Queen Anne
- Other

19. Architectural and Building Materials *

Visible Construction Materials are:

- Adobe
- Brick
- Composition Board
- Concrete: Block
- Concrete: Cast Stone
- Concrete: Poured
- Concrete: Pre-cast
- Earth Plaster
- Metal: Corrugated
- Stone
- Stucco
- Tile: Clay
- Wood: Jacal
- Wood: Shingle
- Wood: Window Trim
- Wood: Log
- Other

PHOTOGRAPHS

20. In addition to the information above, photographs should be provided. They can be from Google, (maps or search engine) or from your own catalog. Along with your name, these photos should be submitted to comdev@mesillanm.gov. Please check which you will be submitting: *

- Historic Photos- If available
- Current Photo

RESOURCES

21. Please list all resources used for all your information, primary, secondary, including oral histories (names of individuals). *

See previous section

22. INCLUDING FILING OUT REQUIRED FIELDS, YOU HAVE ALSO SUBMITTED IN A SEPARATE DOCUMENT (emailed to comdev@mesillanm.gov): (check all that apply) *

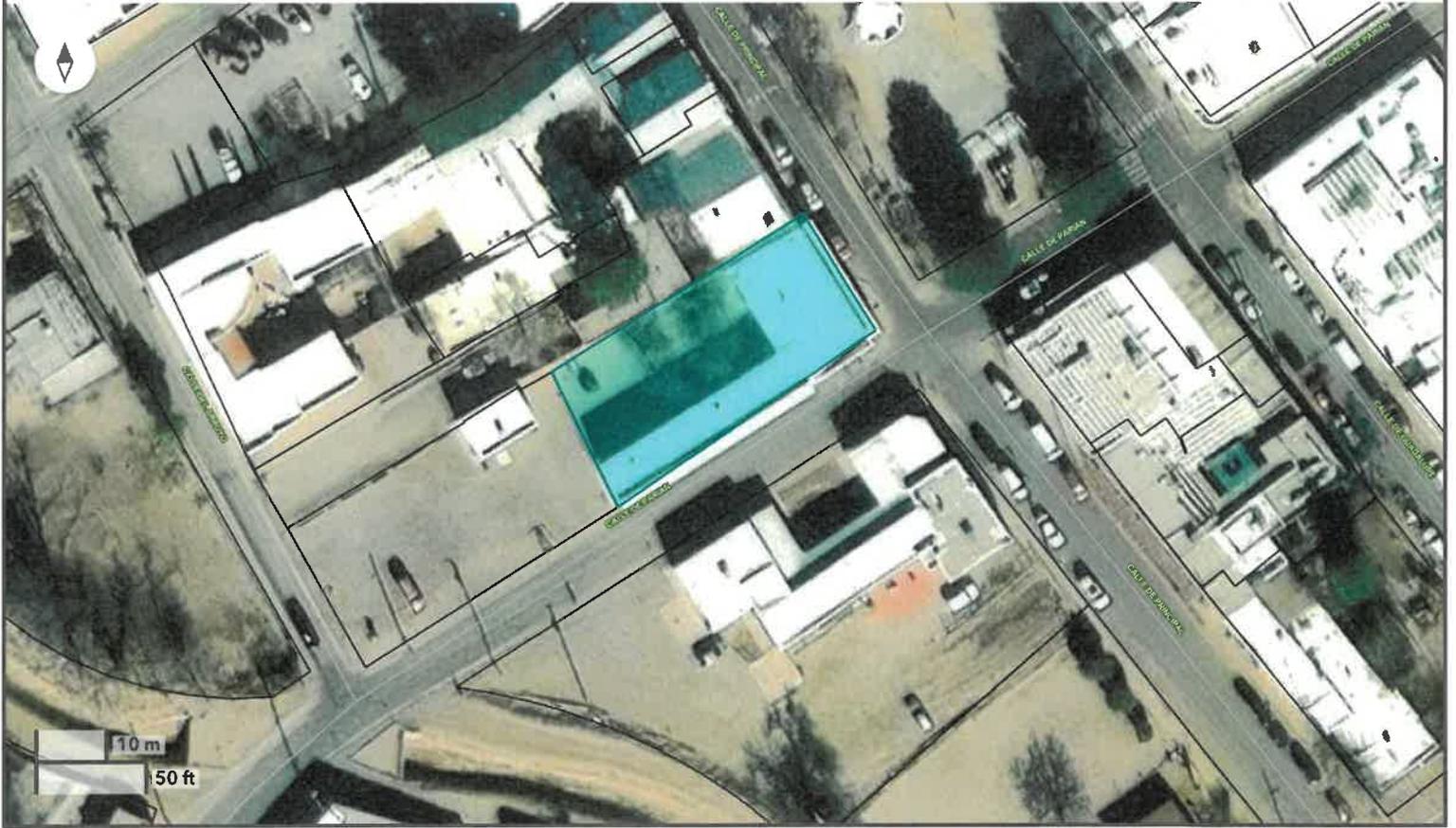
HISTORICAL PHOTOS

CURRENT PHOTOS

SITE MAP/ FLOOR PLAN

Other

Parcel lookup



TIBURCIO R FRIETZE LLC

ACCOUNT NUMBER: R0401188

PARCEL NUMBER: 4006137224464

MAP CODE: 4-006-137-224-464

OWNER NAME: TIBURCIO R FRIETZE LLC

MAILING ADDRESS: PO BOX 358

CITY: MESILLA PARK

STATE: NM

ZIP: 88047

SUBDIVISION NAME: FRIETZE TRACTS (BK 19 PG

123 - 9815662) Lot: PC B

SITE ADDRESS: CALLE DE PARIAN

ACREAGE: 0.19

SQUARE FOOTAGE: 8,276.00

TOTAL VALUATION (LAND & BUILDING): 411,333

[ASSESSOR PARCEL INFORMATION DETAIL LINK](#)

Last edited by rebeccama_donaana on 12/16/2025, 1:51 PM.



LOCAL DESIGNATION NOMINATION FOR THE TOWN OF MESILLA CULTURAL AND HISTORIC REGISTER

Structure Address: **2600 AVENIDA DE MESILLA**

DAC Account Number: **R401104**

On National Register for Mesilla Historic District ? Yes No

If yes, what # (on Map/DOCUMENT)? 8

Present Use of Property: (Check one or more as appropriate)

- | | | | | | | |
|---|--------------------------|---|--------------------------|---|--------------------------|--|
| Agricultural
<input type="checkbox"/> | <input type="checkbox"/> | Governmental
<input type="checkbox"/> | <input type="checkbox"/> | Museum
<input type="checkbox"/> | <input type="checkbox"/> | Scientific
<input type="checkbox"/> |
| Commercial
<input checked="" type="checkbox"/> | <input type="checkbox"/> | Acequia/Ditch
<input type="checkbox"/> | <input type="checkbox"/> | Park
<input type="checkbox"/> | <input type="checkbox"/> | Transportation
<input type="checkbox"/> |
| Educational
<input type="checkbox"/> | <input type="checkbox"/> | Industrial
<input type="checkbox"/> | <input type="checkbox"/> | Residential
<input type="checkbox"/> | <input type="checkbox"/> | Work in Progress
<input type="checkbox"/> |
| Road/Trail
<input type="checkbox"/> | <input type="checkbox"/> | Military
<input type="checkbox"/> | <input type="checkbox"/> | Religious
<input type="checkbox"/> | <input type="checkbox"/> | Other (Specify):
<input type="checkbox"/> |

Date Application Received: _____ Complete: Incomplete:

Planning and Zoning Historic Appropriateness Commission Action:

Local Designation Register: Approved Tabled: Denied:

Date: _____ Town of Mesilla Historic and Cultural Designation # _____

National Register Recommendation: Approved Rejected:

Comments:

DIGITAL APPLICATION: MICROSOFT FORMS

View results

Respondent

1

Anonymous

275:34

Time to complete

1. Today's Date: *

1/8/2026



APPLICANT INFORMATION

2. Full Name: *

Liana Aguirre

3. Address: *

2231 Avenida de Mesilla

4. E-mail:

Comdev@mesillanm.gov

5. Relationship to Property being nominated: *

Owner

Renter

I'm just a community member

Other

PROPERTY INFORMATION

6. Property Address: *

2600 Avenida de Mesilla

7. Dona Ana County Parcel Account Number (Leave Blank if Unsure):

R0401104

8. Is this Property part of the Mesilla Historic District? *

- Yes
- No
- Unsure

9. If so, what would the property number be in the Historic District? (Leave blank if unsure)

8 and 9

10. What is the present use of this property? *

- Residence
- Agricultural
- Acequia/Ditch
- Educational
- Road/Trail
- Governmental
- Industrial
- Educational
- Commercial
- Museum
- Park
- Religious
- Scientific
- Military
- Bar

PROPERTY HISTORICAL SIGNIFICANCE

11. Narrative *

Historical and developmental history of Property: Trace the history of the property through primary, if possible, and secondary sources. Focus on significant events as well as the day-to-day experiences of people associated with the property. If a farm, for example, what crops were grown? Also explain physical characteristics and changes to the buildings and overall property so that its current appearance can be understood. Why is this property important to Mesilla (events, people, cultural relevance)?

El Palacio Bar on 2600 Avenida de Mesilla was established in 1936 and was originally called Salcido's Dance Hall, named after Pablo Maese Salcido, the original owner. The main bar was build circa 1905 with the intention to be a blacksmith shop. According to his daughter and the now Owner, Velia Chavez, her father was a welder and this was the original plan. Velia's mother wanted to hold a dance event in 1936, gave it a shot and it took off from there. Wooden floors replaced the dirt and it quickly became a place for locals to get together and have a great time. After the bar incorporated an actual bar, Velia's mom named it El Palacio Bar. Palacio's, as it is known around town, was one of the last bars in the United States to maintain a gender-based restriction: women could dance and women were allowed but they could not go to the bar for a drink. This rule remained until 1990.

This Bar has been a social center of Mesilla for years. Since the time of its establishment, it has brought sense of community and has been a harbinger of the identity of Old Mesilla. Many in the community share stories about it. This can easily be a bar that showcases the vibrant history and energy of the community. The added dance hall was built a bit later, circa 1930's, perhaps in response to the end of Prohibition (1933). This building, also made of adobe is attached to the main bar to the north.

In September of 1980 these properties were placed on the National Register of Historic Places via the La Mesilla Historic District by Michael Romero Taylor. It was then recorded as a piece of history that should be remembered and preserved through time and it still shall.

According to Velia's interview with "Bucket Bars," she states that on August 26th, 1991 the interior of the bar burnt down however the adobe walls were its saving grace. The entire community came out to help clean out and rebuild the bar. A true effort from loyal patrons.

After Pablo Salcido's passing in 1991, ownership went to Velia Chavez, his daughter. Pablo M. Salcido, a true Mesillero, was born January 15, 1900 and enlisted in WWII at the age of 42. He and his family helped create El Palacio Bar and today its still holds a sense of living history. Although he passed in December of 1991, his memory will continue to live on through Palacio's.

PROPERTY DESCRIPTION

12. What was the historic function of this property? (If unsure, leave blank)

Blacksmith shop

13. Construction Date *

- Known
- Unknown
- Estimated

14. What is the Date:

1/1/1905

15. Please give the Source for this date:

Date was stated in National Register

16. What is the current condition of this property: *

- Intact
- Altered
- Deteriorated
- Other

17. If known, who was the architect/builder:

unknown

18. The architectural style of this building is: *

Please select at most 3 options.

- Not applicable
- Classical Revival/Neo-Classical Revival
- Pueblo/Pueblo Vernacular
- Classical Revival/Neo-Classical Revival
- Colonial Revival
- Gothic Revival/Folk Gothic
- Territorial
- Territorial Revival
- Mediterranean/Spanish Colonial Revival
- Mission Revival/California Mission Revival
- Southwest Vernacular
- New Mexico Vernacular
- Ranch/Rambler
- Spanish-Pueblo Revival
- Queen Anne
- with additions

19. Architectural and Building Materials *

Visible Construction Materials are:

- Adobe
- Brick
- Composition Board
- Concrete: Block
- Concrete: Cast Stone
- Concrete: Poured
- Concrete: Pre-cast
- Earth Plaster
- Metal: Corrugated
- Stone
- Stucco
- Tile: Clay
- Wood: Jacal
- Wood: Shingle
- Wood: Window Trim
- Wood: Log
- Other

PHOTOGRAPHS

20. In addition to the information above, photographs should be provided. They can be from Google, (maps or search engine) or from your own catalog. Along with your name, these photos should be submitted to comdev@mesillanm.gov. Please check which you will be submitting: *

- Historic Photos- If available
- Current Photo

RESOURCES

21. Please list all resources used for all your information, primary, secondary, including oral histories (names of individuals). *

Velia Chavez Oral histories, National Historic Register Nomination Form

22. INCLUDING FILING OUT REQUIRED FIELDS, YOU HAVE ALSO SUBMITTED IN A SEPARATE DOCUMENT (emailed to comdev@mesillanm.gov): (check all that apply) *

HISTORICAL PHOTOS

CURRENT PHOTOS

SITE MAP/ FLOOR PLAN

Other

Parcel lookup



CHAVEZ VELIA S TRUSTEE

ACCOUNT NUMBER: R0401104

PARCEL NUMBER: 4006137313489

MAP CODE: 4-006-137-313-489

OWNER NAME: CHAVEZ VELIA S TRUSTEE

MAILING ADDRESS: 1330 S CHAPARRO STREET

CITY: LAS CRUCES

STATE: NM

ZIP: 88001

SUBDIVISION NAME:

SITE ADDRESS: 2600 AVENIDA DE MESILLA

ACREAGE: 0.36

SQUARE FOOTAGE: 15,512.00

TOTAL VALUATION (LAND & BUILDING): 631,159

[ASSESSOR PARCEL INFORMATION DETAIL LINK](#)