



Town of Mesilla, New Mexico

THE BOARD OF TRUSTEES (BOT) OF THE TOWN OF MESILLA

REGULAR MEETING AT THE MESILLA TOWN HALL,
2231 AVENIDA DE MESILLA

MONDAY, AUGUST 26, 2024 ~ 6:00 P.M.~

AGENDA

1. **PLEDGE OF ALLEGIANCE**
2. **ROLL CALL & DETERMINATION OF A QUORUM**
3. **CHANGES TO THE AGENDA & APPROVAL**
4. **APPROVAL OF CONSENT AGENDA:** (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk *)
 - a) **BOT MINUTES** – Minutes of BOT Work session, Public Hearing, Meeting – 08.12.2024
5. **PRESENTATIONS:**
 - a) **PRESENTATION:** Proclamation La Posta de Mesilla Day
 - b) **PRESENTATION:** Marshal Department: Mesilla Specific Crime Statistics
6. **PUBLIC INPUT ON CASES** – The public is invited to address the Board as allowed by the chair.
7. **ACTION AND CONSIDERATION**
NEW BUSINESS
 - a) **DISCUSSION ONLY:** Full Project Overview of Calle Picacho/Calle Santiago Project
 - b) **DISCUSSION ONLY:** Short Term Rental Moratorium
 - c) **APPROVAL:** PZHAC STR #1255 - 2872 Calle de San Albino, submitted by Jeffrey Buras. Requesting approval to operate a short-term rental on property. **ZONE:** Historic Residential (HR).
 - d) **APPROVAL:** STR CASE #1256 - 2729 Calle de San Albino, submitted by Ruben Smith. Requesting approval to operate a short-term rental at his property. **ZONE:** Historical Residential (HR)
 - e) **ITEM:** PZHAC CASE #061880 – 2586 Calle de Principal, submitted by Teresa Turudy. Requesting approval to install 2 metal gates on property. **ZONE:** Historical Residential (HR)
 - f) **APPROVAL:** PZHAC CASE #061881-2011 Avenida de Mesilla, submitted by Grady Oxford. Requesting approval to place a 7ft x 8ft shed on the property. **ZONE:** Historical Commercial (HC).
 - g) **APPROVAL:** Updated Fire Captain Job Description

8. **PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.**
9. **CLOSED EXECUTIVE SESSION**
 - a) **Discussion of limited personnel matters pursuant to NMSA 1978, Section 10-15-1(H)(2) —
- Public Works**
 - b) **APPROVAL:** Any actions that may arise as a result of discussions in closed session
- **Position Public Works**
10. **BOARD OF TRUSTEE COMMITTEE REPORTS**
11. **BOARD OF TRUSTEE/STAFF COMMENTS**
12. **ADJOURNMENT**

NOTICE

If you need accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least one week prior to the meeting. The Mayor and Trustees request that all cell phones be turned off or set to vibrate. Members of the audience are requested to step outside the Board Room to respond to or to conduct a phone conversation. A copy of the agenda can be found online at www.mesillanm.gov.

Posted 08.22.2024 online and at the following locations: Town Hall and Visitor's Center Avenida de Mesilla, Public Safety Building 2670 Calle de Parian, Mesilla Community Center 2251 Calle de Santiago, Short's Food Mart 2290 Avenida de Mesilla, and the U.S. Post Office 2253 Calle de Parian.



Town of Mesilla, New Mexico

THE BOARD OF TRUSTEES (BOT) OF THE TOWN OF MESILLA

REGULAR MEETING AT THE MESILLA TOWN HALL,
2231 AVENIDA DE MESILLA

MONDAY, AUGUST 12, 2024 ~ 6:00 P.M.~

AGENDA

ATTENDEES

BOARD OF TRUSTEES

Mayor Russell Hernandez
Mayor Pro Tem Adrianna Merrick
Trustee Stephanie Johnson-Burick
Trustee Gerald Nevarez

STAFF

Ben Ascarate
Greg Whited
Eddie Salazar
Lourdez Hernandez

PUBLIC

<i>Dasa Bausova</i>	<i>Trina Witter</i>
<i>Mary F Lucero</i>	<i>Les Williamson</i>
<i>Robert Owen</i>	<i>Susan Krueger</i>
<i>Gary Rodriguez</i>	<i>Lori Miller</i>
<i>Mary H Ratje</i>	<i>Karena</i>
<i>Greg Lester</i>	<i>Crystal Whited</i>
<i>Andrea Bryan</i>	<i>Catherine Walkinshaw</i>
<i>Eric Walkinshaw</i>	<i>Nora Barraza</i>

PLEDGE OF ALLEGIANCE

1. ROLL CALL & DETERMINATION OF A QUORUM

Mayor Russell Hernandez – present
Mayor Pro Tem Adrianna Merrick – present

Trustee Stephanie Johnson-Burick – present

Trustee Gerald Nevarez – present

Trustee Biviana Cadena – absent

2. CHANGES TO THE AGENDA & APPROVAL

1st motion to approve – Mayor Pro Tem Merrick

2nd motion to approve – Trustee Gerald Nevarez

Unanimously Approved.

- 3. APPROVAL OF CONSENT AGENDA:** (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk *)

a) BOT MINUTES – Minutes of BOT Work session, Public Hearing, Meeting – 07.22.2024

1st motion to approve – Trustee Nevarez

2nd motion to approve – Mayor Pro Tem Merrick

Unanimously Approved.

4. PRESENTATIONS:

a) PRESENTATION: Querencia Mi Mesilla – internship training – Albert & Pat Taylor

Presentation was given by Pat Taylor and two guest interns.

- 5. PUBLIC INPUT ON CASES** – The public is invited to address the Board as allowed by the chair.

Mary H Ratje – concerned about case #061867, the storage shed does not meet the historic zone development design. Looks out of place. Also a concern about case #061871, garage door request. Currently, the property across the street is being used to enter existing garage door entrance. Lastly, a large tree limb overhanging into the street.

Ken Dickson – concern about the same shed, case #061867.

6. ACTION AND CONSIDERATION

NEW BUSINESS

- a) APPROVAL:** PZHAC CASE #061867 – 2195 Calle de Arroyo, submitted by Anna E. Emeric. Requesting approval to allow a shed on her property for the purpose of storage. ZONE: Historical Commercial (HC).

1st motion to approve by Mayor Pro Tem Merrick

2nd motion by Trustee Johnson-Burick

Motion was denied, not approved – 0-3.

- b) APPROVAL:** PZHAC CASE #061871 – 2280 Calle de Principal, submitted by Basilica de San Albino. Requesting approval to install a garage door next to an existing garage door. ZONE: Historical Commercial (HC).

1st motion to approve by Trustee Nevarez

2nd motion by Trustee Johnson-Burick

Roll Call Vote: Yes=2; No=1

Mayor Pro Tem Merrick Yes

Trustee Johnson-Burick No

Trustee Nevarez Yes

c) APPROVAL: PZHAC CASE #061872 – 2780 Calle Cuarta, submitted by Jose Torres. Requesting approval to build a 12' x 16' storage shed on property. ZONE: Historical Residential (HR).

1st motion to approve by Mayor Pro Tem Merrick

2nd motion by Trustee Nevarez

Unanimously Approved.

d) APPROVAL: Resolution 2025-07 FY2024-25 Holidays

1st motion to approve by Mayor Pro Tem Merrick

2nd motion by Trustee Nevarez

Motion Approved with amendment request by Trustee Nevarez to remove 2 holidays from the proposed holiday resolution, December 23rd, 2024 & December 30th, 2024.

Unanimously Approved.

1st motion to approve by Mayor Pro Tem Merrick

2nd motion by Trustee Nevarez

Unanimously Approved, as its original motion to approving the resolution with amendments.

e) APPROVAL: Resolution 2025-08 Addition and Designation of Cannabis line item

1st motion to approve by Mayor Pro Tem Merrick

2nd motion by Trustee Johnson-Burick

Unanimously Approved.

7. PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.

Mayor Hernandez – noted an emailed received by Eric Leifeld regarding road improvements in Mesilla. See attachment

Trina Witter – concerned about a community park and road improvements on Calle de Santiago/Picacho, addition of public parking.

Susan Krueger – support Trina’s comments.

Lori Miller – just learned the construction mentioned by Trina Witter. Does not recall any meetings stating the reduction of the park to increase public parking. Also, expressed concern about an electric anchor pole advised by El Paso Electric being put on her property.

Mary Lucero – also expressed concern about the reduction of the park to increase public parking.

Nora Barraza – Crime activity has increased. Parks, streets and medians look unkept. Trees and foliage covering signs. Codes not doing their job as well. Mesilla is hiring administrative positions; we need boots on the ground.

Requested moratorium on short-term rentals.

8. CLOSED EXECUTIVE SESSION

a) Discussion of limited personnel matters pursuant to NMSA 1978, Section 10-15-1(H)(2) – -

- Marshal’s Department**
- Community & Economic Development**
- Public Works**
- Finance**

1st motion to approve to go into close session by Mayor Pro Tem Merrick

2nd motion to approve by Trustee Johnson-Burick.

(closed session @ 6:51 pm)

b) APPROVAL: Any actions that may arise as a result of discussions in closed session

- Promotion Marshal’s Department**
- Promotion Community Economic Development**
- Open Position Public Works**
- Open Position Finance**

1st motion to approve to go back to scheduled session by Mayor Pro Tem Merrick

2nd motion to approve by Trustee Nevarez.

Back into open session, regularly scheduled meeting at 7:14 pm.

Mayor Hernandez announced promotion in Marshal’s Department, Lourdez Hernandez to Sergeant position.

1st motion to approve to go into close session by Mayor Pro Tem Merrick

2nd motion to approve by Trustee Johnson-Burick.

Unanimously Approved.

1st motion to approve to promote Edward Salazar to be Community & Economic Director by Mayor Pro Tem Merrick

2nd motion to approve by Trustee Johnson-Burick.

Unanimously Approved.

1st motion to approve facility clerk position to Jacob Atwell, new hire by Mayor Pro Tem Merrick

2nd motion to approve by Trustee Johnson-Burick

Unanimously Approved.

1st motion to approve employment opportunity to Christopher Naranjo in the public works department by Mayor Pro Tem Merrick

2nd motion to approve by Trustee Johnson-Burick

Unanimously Approved

BOARD OF TRUSTEE COMMITTEE REPORTS

Trustee Nevarez – nothing to report at this time.

Trustee Johnson-Burick – MPO update, canceled.

Mayor Pro Tem Merrick – only have 3 people in public works and understands the concerns from the community.

Mayor Hernandez – nothing to report at this time.

11. BOARD OF TRUSTEE/STAFF COMMENTS

Marshal Ascarate – new radios, some issues with radio but working with MVRD on this. Will be in Clovis next week for training. New cameras in our community. (Pinned badge on Sgt. Hernandez).

Sgt Hernandez expressed her gratitude in serving the community and promotion

Fire Marshal Whited – academy of 8 graduated Saturday at the community center. Taking old radios and soon to be expiring PPE and supplies to Ruidoso.

CCE Salazar – showed appreciation of promotion and excited to grown and help with economic development and historic preservation. Also, reported update on Ad Hoc committee regarding short-term rentals. Stated goal to have a drafted proposed STR ordinance by first or second week of September.

Mayor Hernandez – public works as mentioned has been short staffed. Two of our public works were out fairly late last night in an emergency. There is an opportunity to improve the appearance of our town, and a new landscaping company to assist in the absence of our public work staff. Had over 300 applications, is exciting but took time to review.

Trustee Nevarez – commented on internship program from college to assist Mesilla in various positions and aspects of staff. Also, commented on a property in Mesilla, with an new structure not in compliance with our code, eye sore.

Trustee Johnson-Burick – commented on short-term rental moratorium and would like to be a discussion in next meeting. Not recall hearing about park changes to accommodate public parking.

Mayor Pro Tem Merrick – if there is any concerns in the community or at least clarification, please let me know. I have not received any concerns on the park issue. Safety has been a concern, a lot is due to being so close to our surrounding communities. Have hired 4 marshals, are growing the department. Big part of safety is community involvement, keep Community Connect.

Mayor Hernandez – commented we are live on YouTube, in case there are any questions about a particular subject or meeting. Improvements to our meeting room. Taylor family day on 24th of this month, 9am to 1pm and also a soft start to visitor center.

Any code issues, please be sure to contact us. Sometimes there is and other times there are no permits for a project. Soon, a software, MyMesilla will be available to share codes, improvements, bill online, business, etc.

Community Development has been working on a STR moratorium. Need to consider influx of new applications being submitted and not due to codes being aggressive and contacting unregistered STR. Very little new STR applications are coming in to constitute a moratorium.

A lot of the projects have already been in place and are an overflow from previous administration that are being worked with. Capital improvement plan just approved a couple meetings ago. Quite a few items within the next couple of years. Projects and funding takes time to make it happen.

Been in this position for 8 months, was zero transition for previous administration. Learning a lot since then. Some of the plans, like the park parking, was changed. A grant fund that was received and put in through the process at the beginning of the year. Still have time to get input from community and will have a meeting for it to happen. Need to continue with communicating with him. Electric pole from El Paso Electric was planned from an existing project.

Waiting for a grant awarded for a study and comprehensive plan. Will give residents opportunity to be involved.

Hear comments on both ends by some that question what he has done since in office and others tell him to slow down, going too fast, which one is it?

Reminded everyone that his door is always open to listen to anyone in the community.

12. ADJOURNMENT @ 7:53 pm

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Posted **08.09.2024** online and at the following locations: Town Hall and Visitor's Center Avenida de Mesilla, Public Safety Building 2670 Calle de Parian, Mesilla Community Center 2251 Calle de Santiago, Short's Food Mart 2290 Avenida de Mesilla, and the U.S. Post Office 2253 Calle de Parian.



-Proclamation -

Declaring September 16, 2024 as “La Posta de Mesilla Day”

WHEREAS, La Posta de Mesilla Restaurant and Cantina is celebrating its 85th anniversary; and

WHEREAS, Katy Griggs Camunez, at the young age of only 25, established La Posta de Mesilla in 1939 with only four (4) tables, dirt floors & legendary recipes handed down over the years; and

WHEREAS, La Posta is a historic landmark and has endeared itself to Mesilla Valley residents and tourists alike for the preservation of the original Mesilla stagecoach stop on the famous Butterfield Stagecoach Trail; and

WHEREAS, La Posta has received local, regional and national recognition, more recently, by Americas Best Restaurants, for awarding Mexican Food and Margaritas made from centuries old recipes served in an old historic adobe compound identified on the National Historic Registry; and

WHEREAS, the USS New Mexico, a Virginia Class Submarine, graciously named their galley after La Posta and has honored La Posta by bringing young service men and women to train side by side with the cooks of La Posta to bring the unique flavors of New Mexico to those honorably serving “Down Under”; and

WHEREAS, La Posta attributes these many years of success to its dedicated, loyal, and hardworking staff, some who have worked here for decades; and

WHEREAS, La Posta has provided employment for many young men and women, attending high school, Dona Ana Community College or New Mexico State University, who have gone on to a variety of careers including tourism and hospitality; and

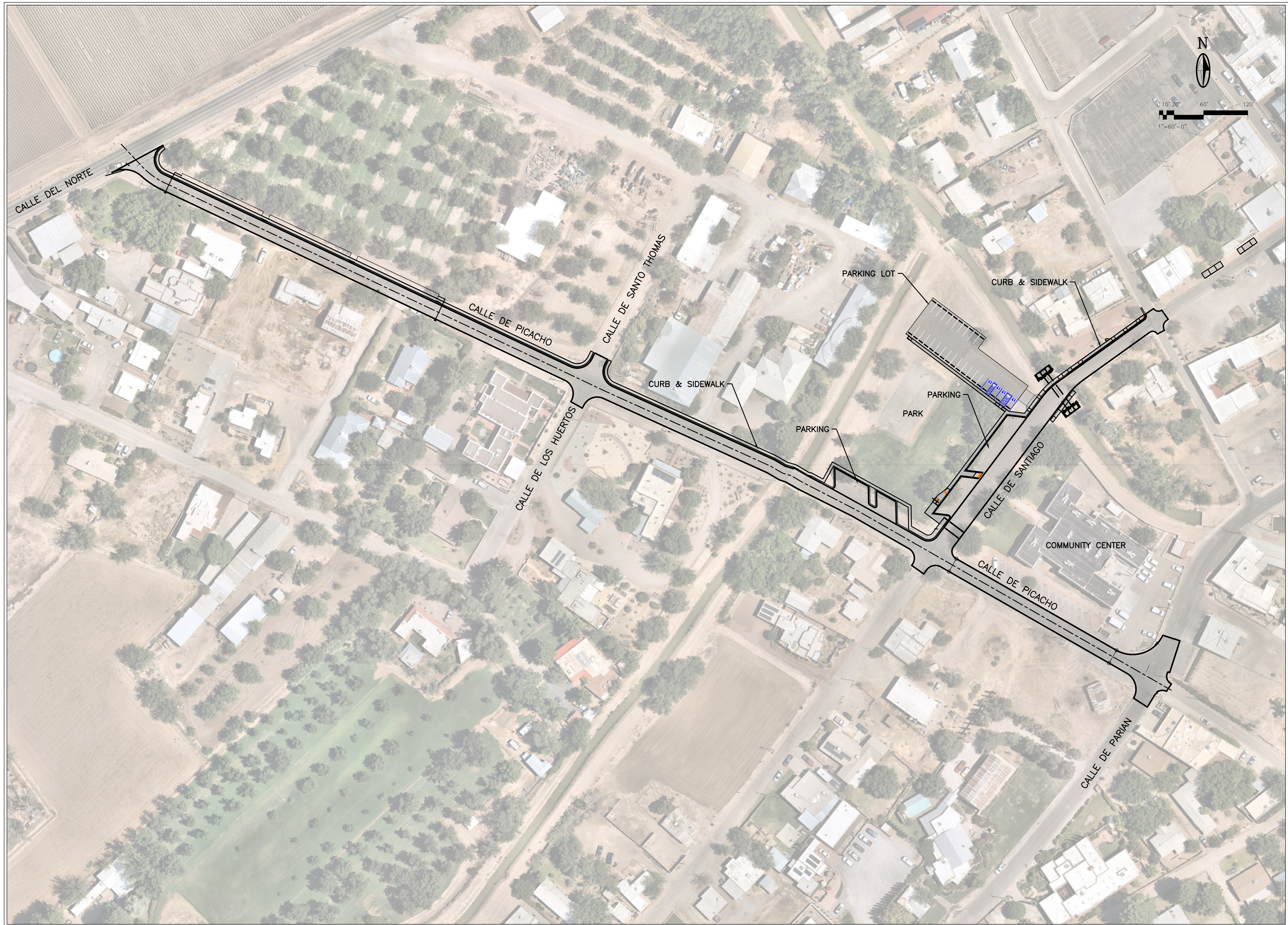
WHEREAS, La Posta has been graciously generous to the community, providing community leadership and goodwill;

NOW, THEREFORE, I, Russell Hernandez, Mayor of the Town of Mesilla, New Mexico, do hereby proclaim September 16th as “La Posta de Mesilla Day”.

SIGNED, SEALED AND PROCLAIMED this 26th day of August, 2024.

**RUSSELL HERNANDEZ
MAYOR**

PLOT DATE: 8/21/2024 2:18 PM
SAVE DATE: 8/21/2024 2:14 PM
I:\MESILLA\MES211-15-CALLE DE

**MOLZENCORBIN**

1155 Commerce Drive
Suite F
Las Cruces, New Mexico 88011
575 522 0049
MolzenCorbin.com

NOTICE OF EXTENDED PAYMENT PROVISION:
THIS CONTRACT ALLOWS THE OWNER TO MAKE
PAYMENT WITHIN 45 DAYS AFTER SUBMISSION
OF AN UNDISPUTED REQUEST FOR PAYMENT

NUMERIC SCALE CONFIRMATION
DRAWINGS ARE DEPICTED AT INTENDED
NUMERIC SCALES
IF THIS BAR EQUALS ONE INCH

	REV NO	REV DATE	DESCRIPTION
			PROJECT NUMBER: MES211-15
			DESIGNED BY: AL
			DRAWN BY: AL
			CHECKED BY: JTM
			PRIME DESIGN PROFESSIONAL: JOHN T. MONTOYA
			PROJECT DATE: MARCH 2024

TOWN OF MESILLA PROJECT OVERVIEW

CALLE DE PICACHO RECONSTRUCTION
TOWN OF MESILLA
TOWN OF MESILLA, NEW MEXICO

001

SHEET 1 / 1

BOARD ACTION FORM

AGENDA DATE

PZHAC: 8/5/2024

BOT: 8/26/2024

ITEM: PZHAC STR #1255 – 2872 Calle de San Albino, submitted by Jeffrey Buras.
Requesting approval to operate a short-term rental on property. ZONE: Historic Zone (HR).

BACKGROUND AND ANALYSIS:

Mr. Buras has submitted an application for a STR after he was contacted by Mesilla staff. Mr. Buras was advised he was conducting business in the town of Mesilla without a license. Mr. Buras has been renting out a part of his house called Getaway Guesthouse. He stated he was not aware that a business license was necessary to have a STR. He stated he had submitted a STR registration to town clerk but did not hear anything back and assumed he was approved. Mr. Buras has been paying Lodger's tax.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT COMMENTS:

- Mr. Burras is one of many short-term rental businesses being investigated in Mesilla.
- Code department is investigating violations and will determine accountability.

SUPPORTING INFORMATION:

- Tax Id number
- Site Plan
- Proof of Ownership
- Street view picture

DETERMINATION NOTES: approved, 3-2.

12

12

12

12

12

12



2231 Avenida de Mesilla

P.O. Box 10

Mesilla, NM 88046

Phone: (575) 524-3262 Fax: (575) 541-6327

Reg. No.: 1255

SHORT TERM RENTAL REGISTRATION

Note: Any changes to property owner information; additions or alterations to rental units; changes in number or type of rental units; parking; or any other changes to information listed on this form will require a change to the information on file with the Town.

PLEASE PRINT

Application Is: New ☒ Renewal ☐

CRS #: 633-20-7167

STR #: _____

(The location code for reporting earnings in the Town of Mesilla is 07-303.)

PROPERTY OWNER INFORMATION R0400667

Name of Rental: Getaway Guesthouse

Name of Owner/Applicant: Jeffrey Buras

Mailing Address (Street # or P.O. Box): Po Box 980

City: Mesilla State: NM Zip Code: 88046

E-Mail Address: jeffrey@jburas.com

Phone #1: 281-221-2797

Phone #2: _____

Emergency Phone #: 281-221-2797

Property Owner's Physical Address:

Street: 2878 Calle de San Albino

City: Mesilla State: NM Zip Code: 88046

RENTAL PROPERTY INFORMATION

Physical Address of Property: 2872 Calle de San Albino

Number of units on property: _____

Zone: HR DAC Parcel #: 04-_____

DAC Parcel #: 4-006-138-343-035

Square Footage of Rental Unit: 750 No. of Bedrooms: 2 No. of Bathrooms: 1

Number of Off-street Parking Spaces: _____

Fire Department Inspection Verifications

Fire Department Representative Signature: _____

Fire Inspection Date: _____ Approved: Yes ☐ No ☐ (Attach reasons)

Compliance with Fire Codes and Occupancy Requirements: For safety reasons, all short-term rentals are subject to applicable fire codes, and occupancy must be reviewed and approved for compliance with the Codes by the Town Fire Chief. An on-site inspection may be required.

JEFFREY P. BURAS
PO BOX 980
MESILLA, NM 88046-0980

July 26, 2024
SSN: ***-**-7167
Letter ID: L2050623856

THIS CERTIFICATE IS NOT TRANSFERABLE
STATE OF NEW MEXICO TAXATION AND REVENUE DEPARTMENT
REGISTRATION CERTIFICATE

Legal Name: JEFFREY P BURAS
Entity Type: Individual



THE ABOVE REFERENCED TAXPAYER IS REGISTERED FOR THE FOLLOWING TAX ACCOUNTS:

Business Tax ID **Doing Business As Name**



GETAWAY GUESTHOUSE

Program Name	Tax ID	Start Date	End Date	Filing Status
Gross Receipts		01-Aug-2022		Seasonal
Gross Receipts		01-Jan-2024		Quarterly

Business Tax ID **Location Addresses Under GRT Account**



2872 CALLE DE SAN ALBINO MESILLA NM 88046-9034
2872 CALLE DE SAN ALBINO MESILLA NM 88046-9034

EMPTY
PAVEMENT

2812
GUEST
SPACE

2818
PERSONAL
RESIDENCE

PARKING
SPACE

STREET

CALLE DE SAN ALBINO





Parcel: BURAS JEFFREY

ACCOUNT NUMBER: R0400667
OWNER NAME: BURAS JEFFREY
MAILING ADDRESS: PO BOX 980
CITY: MESILLA
STATE: NM
ZIP: 88046
SUBDIVISION NAME:
SITE ADDRESS: 2878 CALLE DE SAN ALBINO
ACREAGE: 0.19
SQUARE FOOTAGE: 8,346.00
TOTAL VALUATION (LAND &
BUILDING): 265,714

[ASSESSOR PARCEL INFORMATION DETAIL LINK](#)

[Zoom to](#)

2872 CALLE DE SAN ALBINO



BOARD ACTION FORM

AGENDA DATE

PZHAC: 8/19/2024

BOT: 8/26/2024

ITEM: STR CASE #1256 - 2729 Calle de San Albino, submitted by Ruben Smith. Requesting approval to operate a short-term rental at his property. ZONE: Historical Residential (HR)

BACKGROUND AND ANALYSIS:

Mr. Smith has finished renovating the property and is looking to obtain a business license to start listing as a short-term rental. The property is 3 bedrooms home, approximately 2700 square feet. The property has parking available to accommodate up to 6 vehicles plus a 2-car garage if necessary.

The structure on this property was undeveloped for a long time and was considered by many to be an eye sore in the community. Mr. Smith purchased the property and invested time and money to get the structure into compliance and finished constructing it into a beautiful home.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT COMMENTS:

- STR request is in the Historic Residential Zone
- Sufficient Parking

SUPPORTING INFORMATION:

- Floor plan
- Site plan
- Elevations
- Pictures
- Tax ID number
- Identification

DETERMINATION NOTES: approved without conditions, 4-1.

Town of Mesilla, New Mexico

Phone (575) 524-3262

P.O. Box 10

2231 Avenida de Mesilla, Mesilla, NM 88046



2024 BUSINESS REGISTRATION APPLICATION

(PLEASE PRINT)

DATE: 8.6.24

CASE NO: 1256

NEW \$ X RENEWAL \$ LATE FEE \$ PARKING \$ TOTAL \$ 35
\$35 \$35 \$10 (IF APPLICABLE)

APPLICANT'S INFORMATION

20400390

APPLICANT NAME <u>RUBEN A. SMITH</u>	MAILING ADDRESS <u>2053 Estancia Pl</u>
DRIVER LIC # <u>[REDACTED]</u>	PHONE# <u>(575) 649-8795</u>
	EMAIL <u>SMITHRUBENA@HOTMAIL.COM</u>

BUSINESS INFORMATION

BUSINESS NAME <u>C.B. Smith & Sons</u>	PHYSICAL ADDRESS <u>2729 CALLE DE SAN ALBINO</u>
PHONE # <u>(575) 649-8795</u>	MAILING ADDRESS <u>2053 ESTANCIA PL NM 88005</u>
TAX ID # <u>[REDACTED]</u>	# OF EMPLOYEES <u>2</u>
	EMAIL ADDRESS <u>SMITHRUBENA@HOTMAIL.COM</u>
OWNER/LANDLORD <u>[REDACTED]</u>	MAILING ADDRESS <u>SAME</u>
	PHONE # <u>SAME</u>

EMERGENCY CONTACT INFORMATION

NAME	ADDRESS	TELEPHONE #
<u>RUBEN SMITH</u>	<u>575-649-8795</u>	
	<u>2053 ESTANCIA PL</u>	
	<u>LAS CRUCES NM 88005</u>	
ALARM COMPANY (IF APPLICABLE)		TELEPHONE #

BUSINESS TYPE

(CHECK ALL THAT APPLY)

☐ FOOD ☐ RETAIL ☐ ENTERTAINMENT ☐ BAR/LOUNGE
☐ SERVICE ☐ HOME OCCUPATION ☐ CONSTRUCTION OTHER X STR

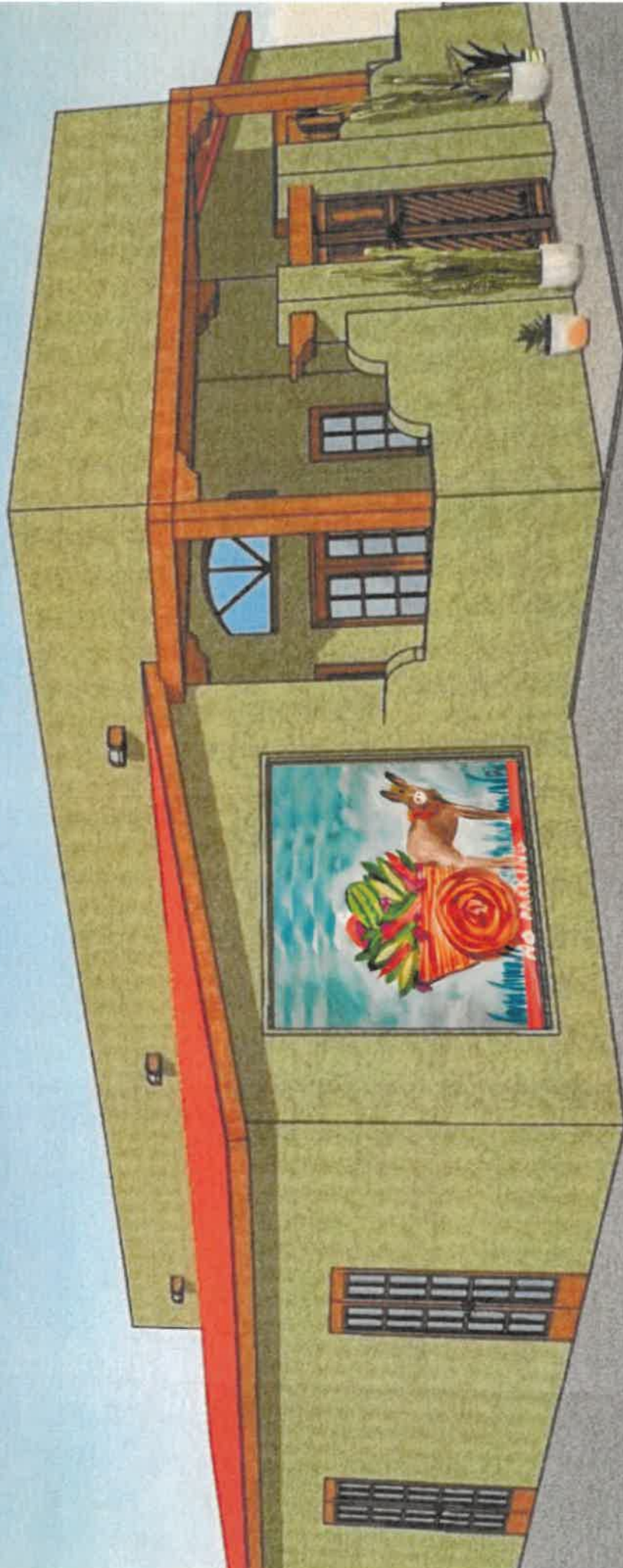
APPLICANT HEREBY STATES UNDER OATH THAT ALL STATEMENTS AND REPRESENTATIONS MADE IN THIS APPLICATION ARE TRUE AND VALID.

[Signature]
SIGNATURE OF APPLICANT/TITLE

DATE 8.6.24

[Signature]
SIGNATURE OF BUILDING OWNER/LANDLORD

DATE 8.6.24



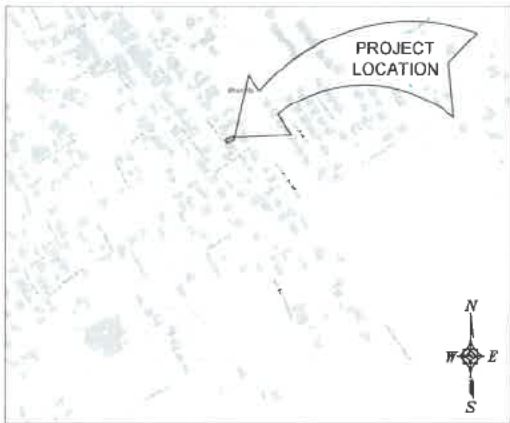


8/8/2019 4:44 AM





8/8/24 9:44 AM



VICINITY MAP
N.T.S.

CODE DATA

Address
2729 CALLE De SAN ALBINO
MESILLA, NM 88046

AREA CALCULATION

AREA	
HEATED	2,442 sq. ft.
FRONT PORCH	275 sq. ft.
NEW	2,717 sq. ft.

BUILDING DATA

OCCUPANCY CLASSIFICATION
RESIDENTIAL - SINGLE FAMILY DWELLING
ALL BEDROOM WINDOWS MEET THE MINIMUM REQUIREMENTS FOR EGRESS
ALL BEDROOMS ARE EQUIPPED WITH A SMOKE AND CARBON MONOXIDE DETECTOR
COMBINATION CARBON SMOKE AND MONOXIDE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND UL 217.

DESIGN LOADS

ROOF LIVE LOAD 20 PSF
FLOOR LIVE LOAD 20 PSF

DESIGN

RISK CATEGORY I
SEISMIC GROUP B
IMPORTANCE FACTOR, I = 1.0
SOILS SITE CLASS D

WIND

CLIMATE ZONE = 3B
RISK CATEGORY I
BASE WIND SPEED = 85 MPH
3-SECOND GUST = 115 MPH
PRESSURE (0-30 FT) = 20 PSF
PRESSURE (30-40 FT) = 25 PSF
IMPORTANCE FACTOR, I = 0.87
EXPOSURE 'C'

CODE REFERENCE

2015 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2021 UNIFORM MECHANICAL CODE
2021 UNIFORM PLUMBING CODE
2015 INTERNATIONAL EXISTING BUILDING CODE
2015 INTERNATIONAL PROPERTY MAINTENANCE CODE
2017 NATIONAL ELECTRICAL CODE
2015 INTERNATIONAL FIRE CODE
All current NM Codes can be found at the following link:
<http://www.nmstate.com/construction/rules-law-building-codes.aspx>

GENERAL NOTES:

- THIS NEW DESIGN IS DRAFTED IN CONJUNCTION OF OWNER PROVIDED AS BUILTS. NAVA-TECH HAS TAKEN ALL PRECAUTION TO ENSURE ACCURACY OF EXISTING DWELLING DIMENSIONS. CONTRACTOR TO FIELD VERIFY ALL DIMENSION SHOWN ON THESE PLANS.
- NEW WINDOW AND DOOR SIZES ARE CALLED OUT. EXISTING DOOR AND WINDOW SIZES ARE NOT SHOWN FOR COMMUNICATION OF CLARITY.
- FURNITURE SHOWN IS FOR DIAGRAMMATICAL PURPOSES ONLY.
- CONTRACTOR GRANTED PERMISSION TO MODIFY SIZE OF STUD FOR INTERIOR WALLS ONLY SHOULD CIRCUMSTANCES MERIT SUCH CHANGE.
- INTERIOR NONBEARING WALLS TO BE 2X4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- INTERIOR BEARING WALLS TO BE 2X4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- EXTERIOR BEARING WALLS TO BE 2X6 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL FIXTURES & APPLIANCES TO BE CHOSEN BY OWNER.
- USE FIRE STOPS PER I.F.C., I.B.C. OR LOCAL CODE REQUIREMENTS.
- ALL DIMENSIONS SHOWN ARE FROM LEADING OR TRAILING FACE OF STUD. STUDS ARE DRAWN ACTUAL SIZE. FOR LABELING PURPOSES, STUDS ARE CALLED OUT IN THEIR NOMINAL SIZE; "2x4"
- WALL INSULATION: R-20 or R-13 CAVITY PLUS R-3.8 CONTINUOUS INSULATION.
- ROOF/ATTIC INSULATION: R-38.
- INTERIOR WALLS TO BE SHEET ROCKED, TAPED, TEXTURED, AND PAINTED.
- ALL ANGLED WALLS TO BE 45° ANGLES UNLESS OTHERWISE NOTED.



Address
2729 CALLE De SAN ALBINO
MESILLA, NM 88046

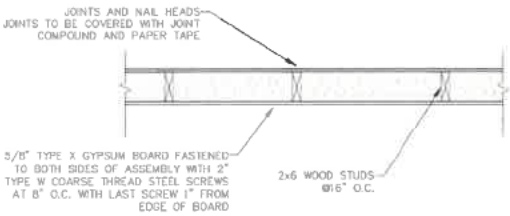
NEW RENOVATIONS - SINGLE FAMILY DWELLING

RUBEN SMITH RESIDENCE
PROPOSED FLOOR PLAN

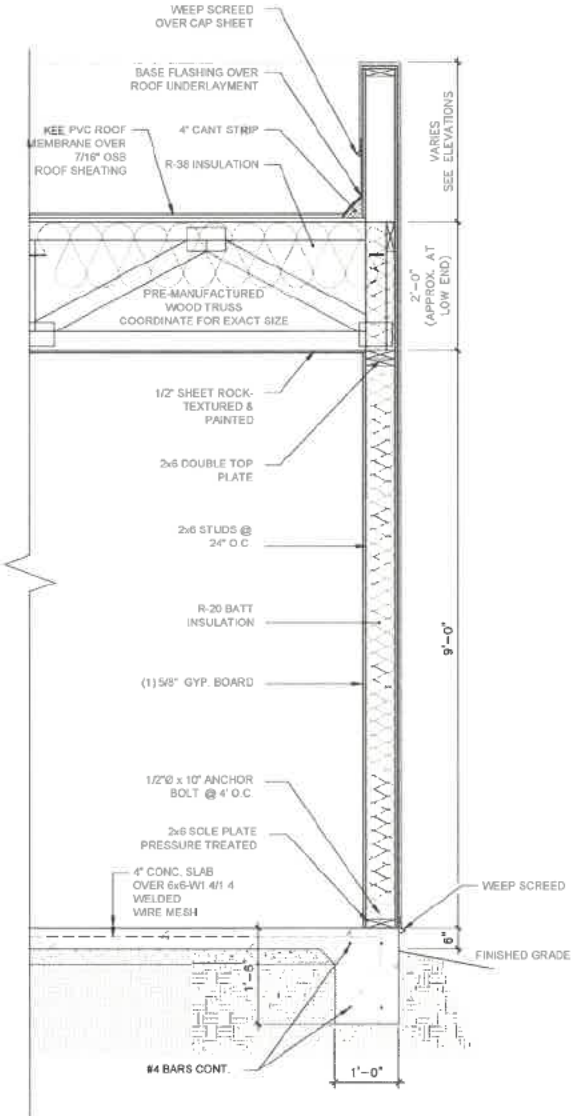


DRAWING BY
CAA
DATE:
05/24/2024
SCALE:
AS NOTED
SHEET NO.
A1.0
SHEET SIZE: 36"x24"

NOTE:
IT IS THE GENERAL CONTRACTOR AND FRAMING SUBCONTRACTORS RESPONSIBILITY TO BE KNOWLEDGEABLE ON 1 HOUR FIRE BARRIER DESIGN NUMBER U-305. A SPECIFICATION SHEET OF THIS DESIGN TESTED IN ACCORDANCE WITH UNDERWRITERS LABORATORIES AND TEST UL-263 HAS BEEN FURNISHED TO GENERAL CONTRACTOR BY DESIGNER.



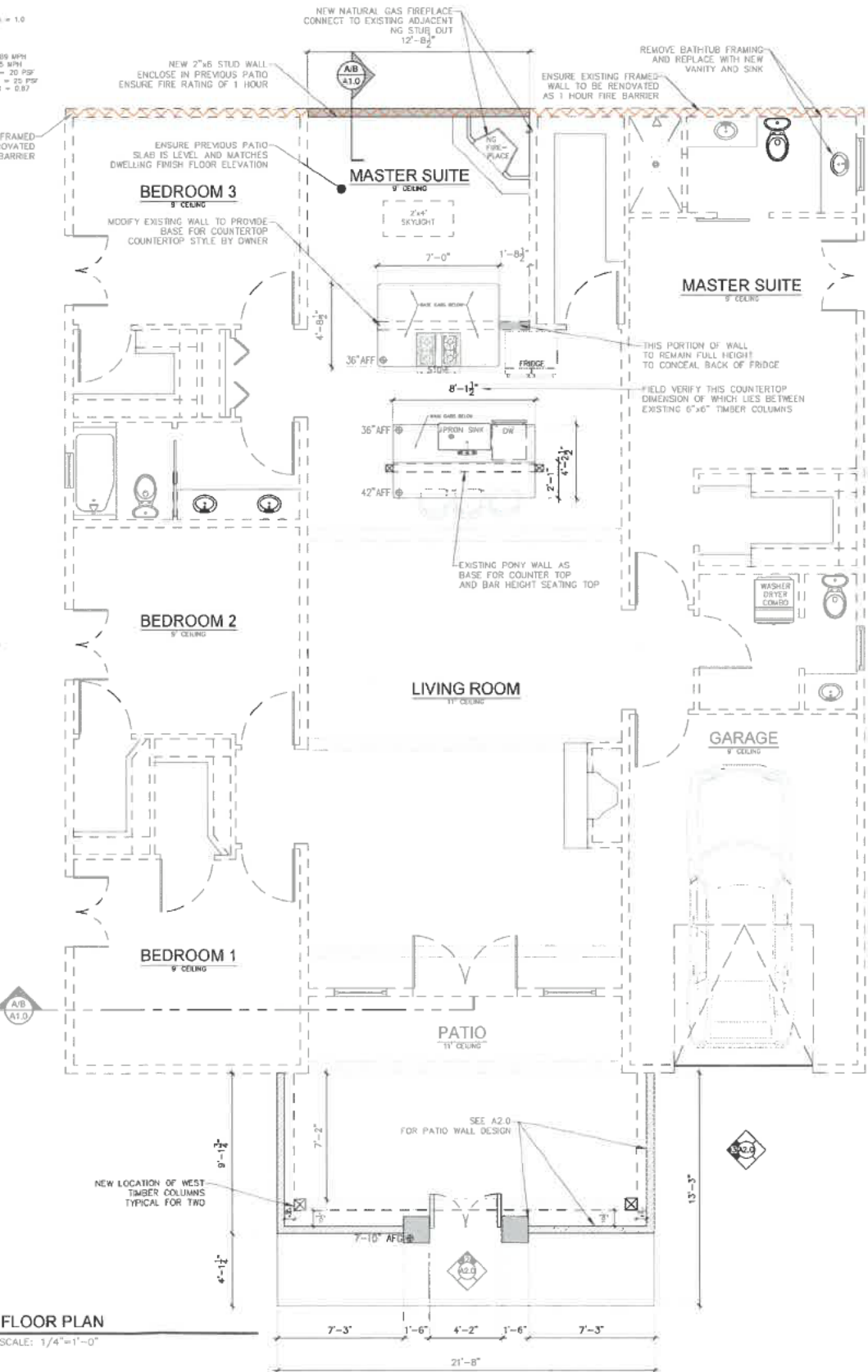
FIRE BARRIER PLAN
UL 263 DESIGN NO. U305
SCALE: 3/4"=1'-0"

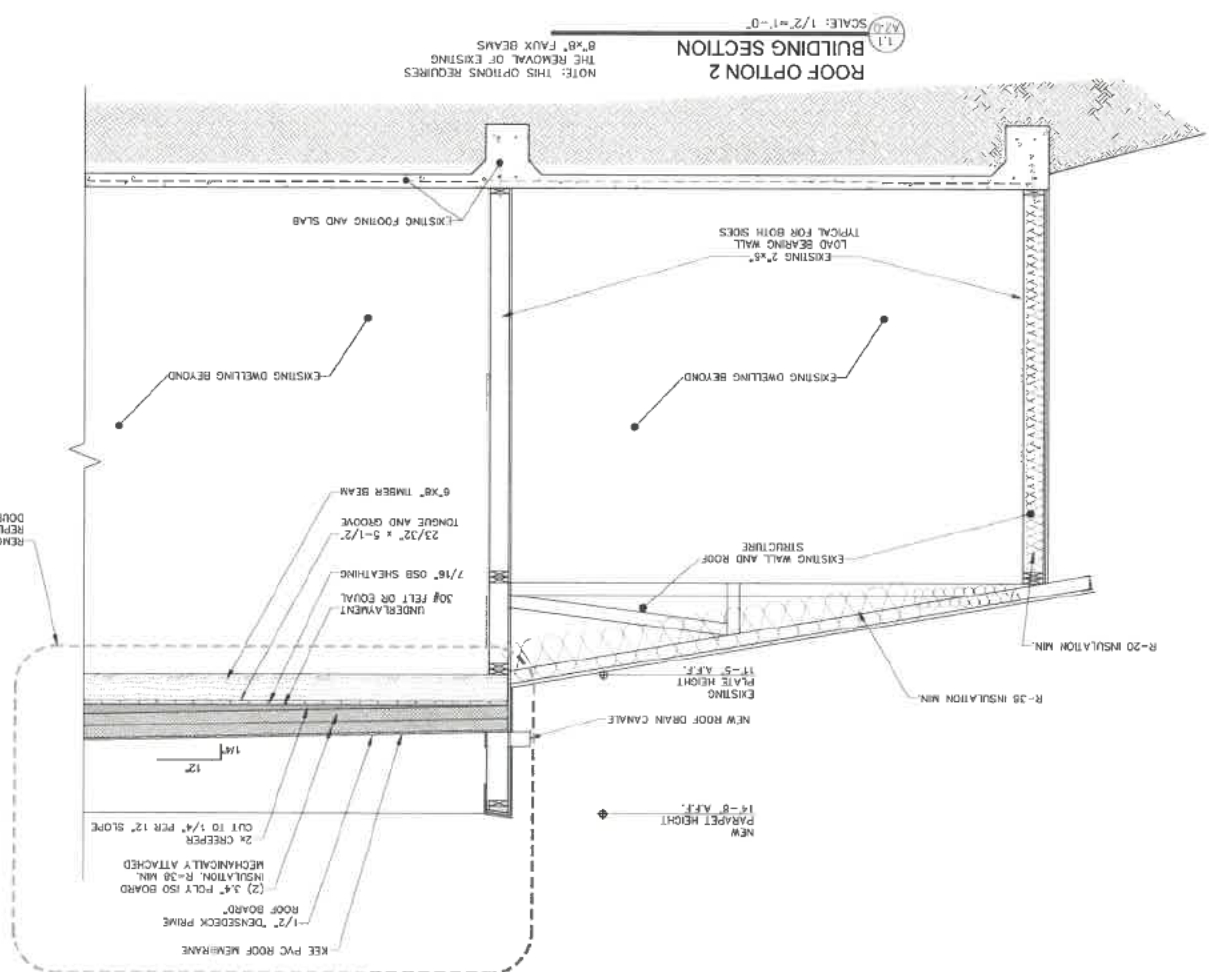
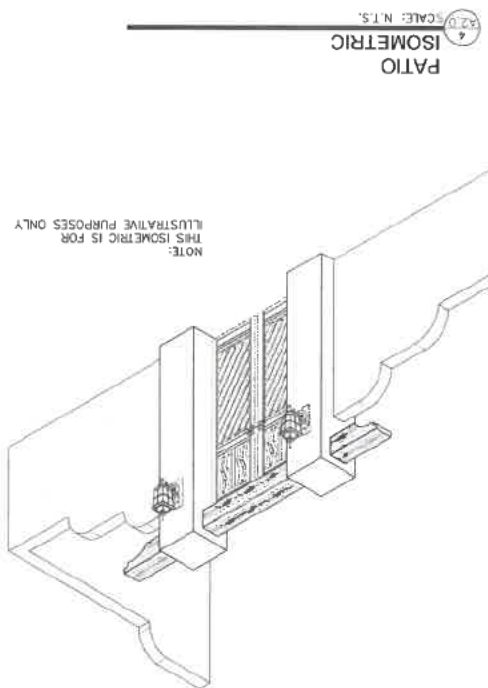
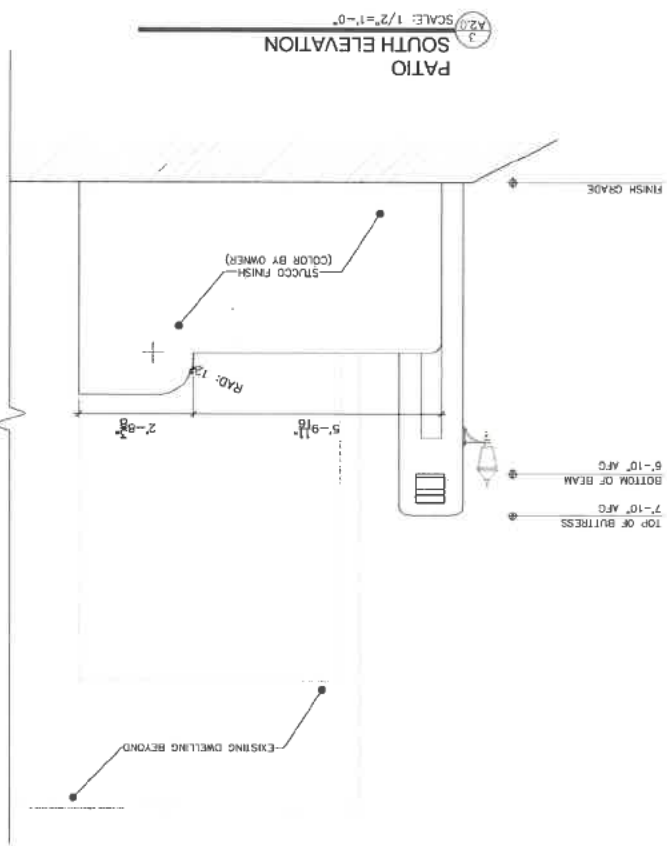
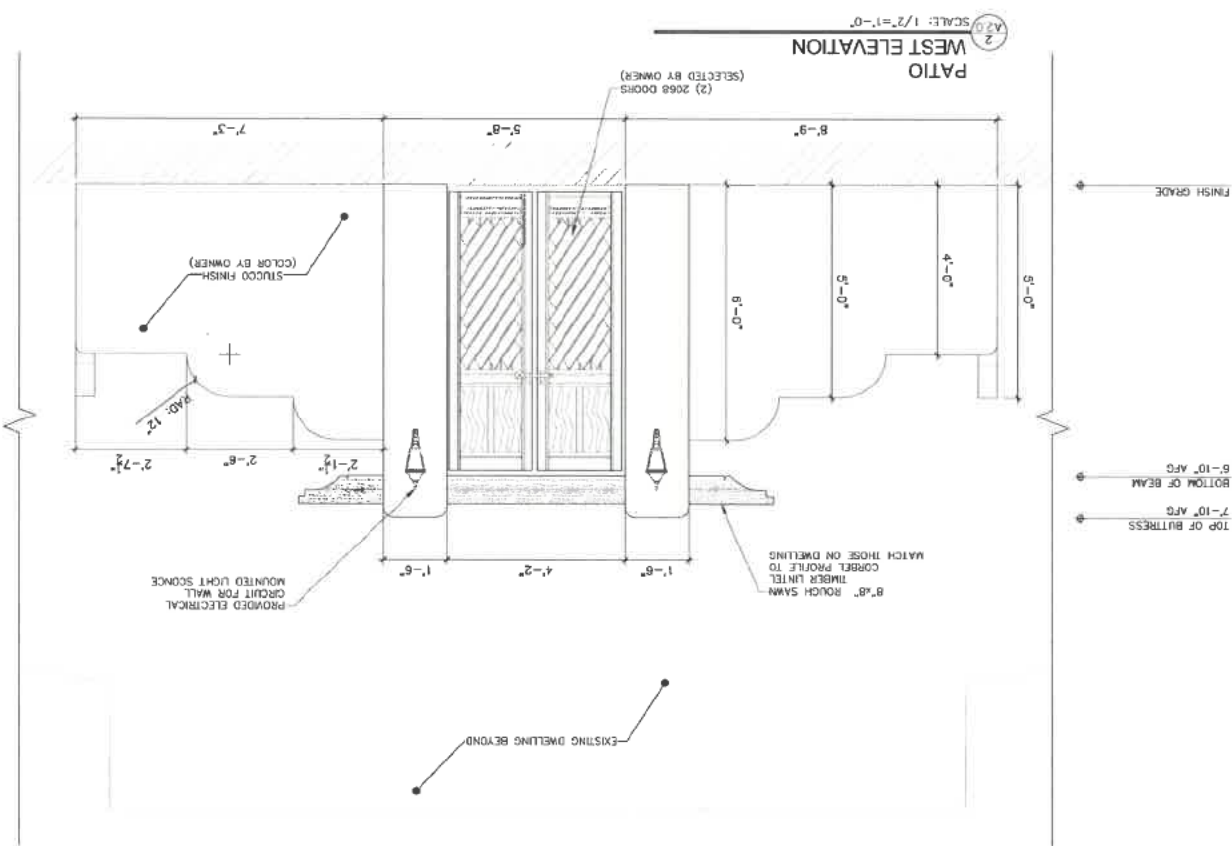


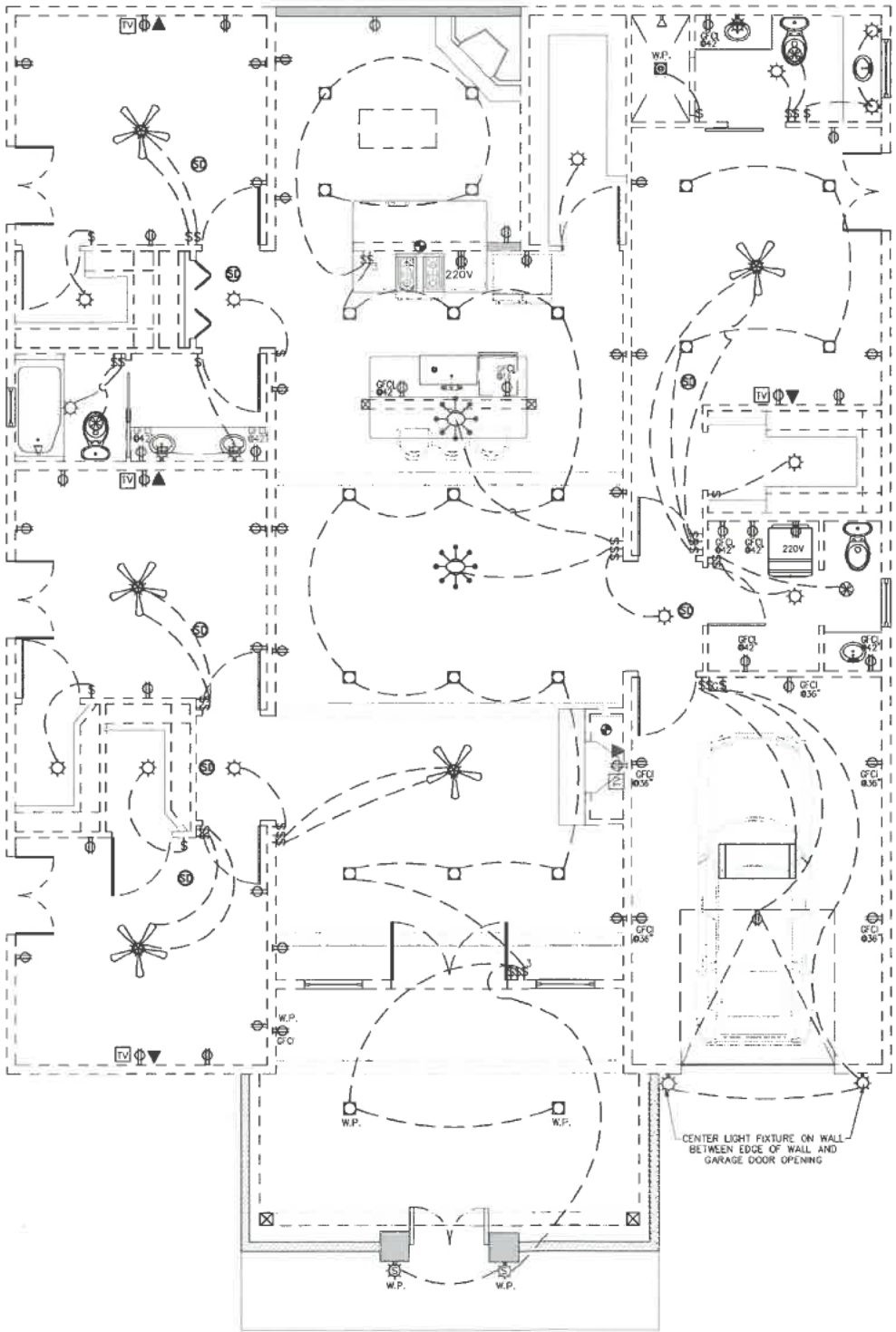
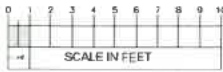
WALL SECTION
SCALE: 3/4"=1'-0"



FLOOR PLAN
SCALE: 1/4"=1'-0"







ELECTRICAL PLAN
SCALE: 1/4"=1'-0"
PLAN NORTH



ELECTRICAL LEGEND			MUST COMPLY WITH NEC 210.12
	- SWITCH TOP OUTLET		- WALL MOUNT SCONCE
	- SWITCH		- CEILING MOUNT PENDANT FIXTURE
	- W/R-SWITCH WITH REMOTE		- WALL MOUNT LIGHT FIXTURE
	- THREE WAY SWITCH		- CEILING MOUNT LIGHT FIXTURE
	- FOUR WAY SWITCH		- RECESSED LIGHT
	- DIMMER/ SWITCH		- DIRECTIONAL RECESSED LIGHT
	- CEILING FAN REMOTE		- UNDER CAB. LIGHT
	- GARAGE DISPOSAL		- EXHAUST FAN
	- GARAGE DOOR OPENER		- FLOOD LIGHT
	- 120 VOLT RECEPTACLE		- MOTION SENSOR
	- 120 VOLT FLOOR RECEP		- WEATHER PROOF
	- 120 VOLT CLNG. RECEP		- GARAGE DOOR OPENER WALL MOUNTED
	- 120 VOLT QUAD RECEP		- 4' or 6' LED SHOP LIGHT
	- 220 VOLT RECEP		- GAS
	- 120 VOLT RECEP 42' A.F.F.		- TELEPHONE/DATA OUTLET BOX
	- GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE		- TELEVISION CABLE BOX
			- SMOKE DETECTOR/CO COMBO
			- SPEAKER
			- DOOR BELL CHIME BOX
			- PATH LIGHTING
			- ELECTRICAL PANEL
			- ELECTRICAL DISCONNECT
			- ELECTRICAL METER
			- CEILING FAN W/ LIGHT
			- SOLAR TUBING

ELECTRICAL NOTES:

1. ALL EXTERIOR LIGHT FIXTURES AND OUTLETS TO BE WEATHERPROOF.
2. ELECTRICIAN TO SIZE AND LOCATE PANEL AND SERVICE.
3. ELECTRICIAN TO PROVIDE POWER TO AC UNITS.

ELECTRICAL NOTES

210.12 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION. ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION SHALL BE PROVIDED AS REQUIRED IN 210.12(A) (B), AND (C). THE ARC-FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.

(A) DWELLING UNITS. ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY ANY OF THE MEANS DESCRIBED IN 210.12(A)(1) THROUGH (6).

REVISIONS	BY:

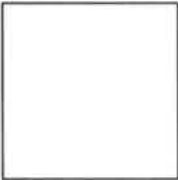
NAVA TECH INC.
AND ASSOCIATES
CONSTRUCTION PLAN PRODUCTION & COORDINATION
1615 S. Solano Dr.
Las Cruces, NM 88001
Fax: (575) 522-6060
Email: cn@nava-tech.com
Office: (575) 541-3050

NEW RENOVATIONS - SINGLE FAMILY DWELLING

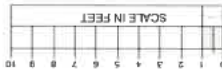
Address
2729 CALLE De SAN ALBINO
MESILLA, NM 88046

RUBEN SMITH RESIDENCE

ELECTRICAL PLAN



DRAWING BY: CAA
DATE: 11/11/2011
SCALE: AS NOTED
SHEET NO. A3.0
SHEET SIZE: 36"x24"



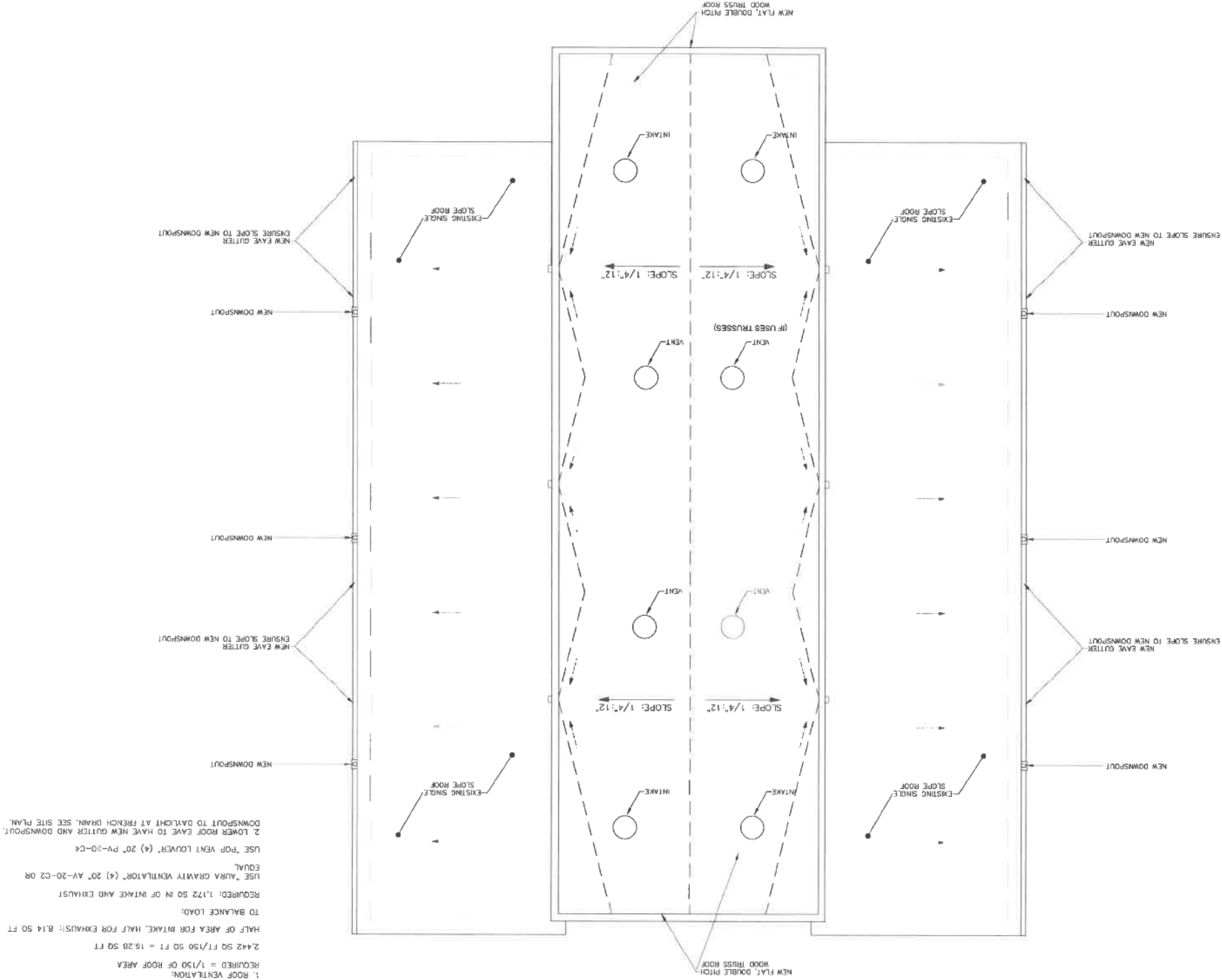
PLAN

SCALE: 1/4"=1'-0"

1

A4.0

ROOF PLAN



ROOF PLAN NOTES:
(IF USING PRE-MAN. WOOD TRUSS)

1. ROOF VENTILATION:
REQUIRED = 1/150 OF ROOF AREA
2,442 SQ FT / 150 SQ FT = 16.28 SQ FT
HALF OF AREA FOR INTAKE, HALF FOR EXHAUST: 8.14 SQ FT
TO BALANCE LOAD:
REQUIRED: 1,172 SQ IN OF INTAKE AND EXHAUST
USE "AURA GRAVITY VENTILATOR" (4) 20" AV-20-C2 OR
EQUAL
USE "POP VENT LOUVER" (4) 20" PV-10-C4
2. LOWER ROOF EAVE TO HAVE NEW GUTTER AND DOWNSPOUT.
DOWNSPOUT TO DAYLIGHT AT FRENCH DRAIN, SEE SITE PLAN.

REVISIONS	BY:

NAVA TECH INC.
AND ASSOCIATES
CONSTRUCTION PLAN PRODUCTION & COORDINATION

1515 S. Salsano Dr.
Las Cruces, NM 88001
Office: (575) 941-5050
Fax: (575) 522-6660
Email: car@navatechinc.com

Address
2729 CALLE De SAN ALBINO
MESILLA, NM 88046

NEW RENOVATIONS - SINGLE FAMILY DWELLING
RUBEN SMITH RESIDENCE
ROOF PLAN

DRAWING BY:
CMA

DATE:
11/1/24

SCALE:
AS NOTED

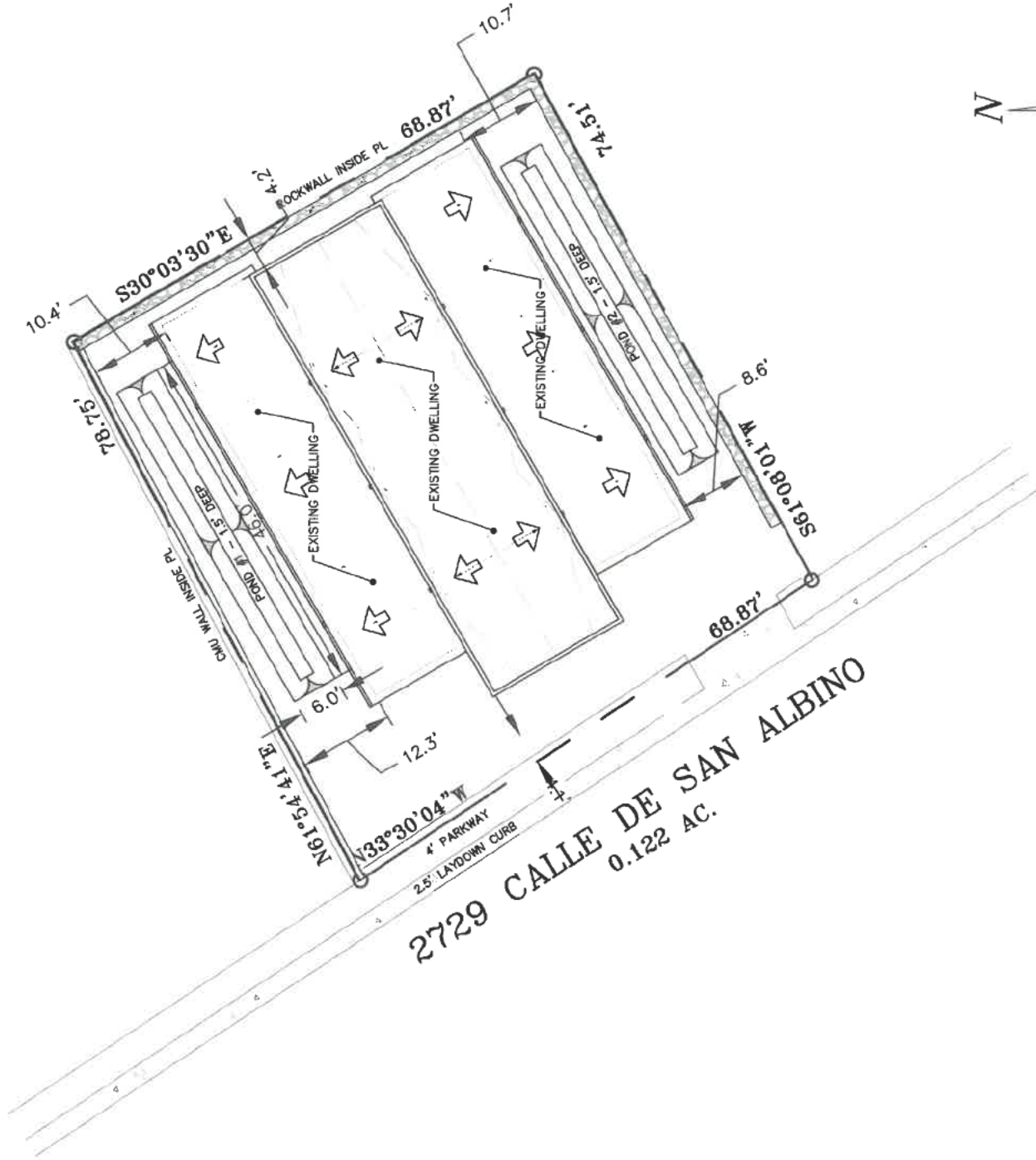
SHEET NO.
A4.0

SHEET SIZE: 36"x24"

Site Plan

Scale: 1"=20' AUG 2023

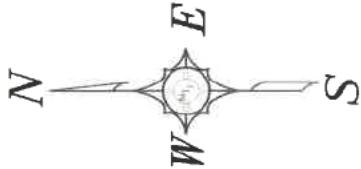
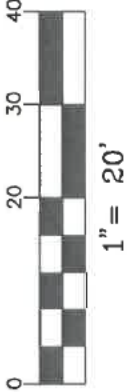
Description
On A 0.122 Acre Tract In Section 25, T.23S., R.1E., N.M.P.M. Of
The U.S.R.S. Surveys Being U.S.R.S. Tracts 11-5A & 11A-5B
Town Of Mesilla Dona Ana County New Mexico



PONDING CALCULATIONS					
ADDRESS: 2729 CALLE DE SAN ALBINO					
AREA CLASSIFICATION: Valley - 2.8"					
PONDING REQUIRED			PONDING PROVIDED AT 2:1 SLOPE		
IMPERVIOUS AREA	2,442 SQ FT	TOP OF POND	276.0 SQ FT		
RUNOFF COEFFICIENT	2.0 INCHES	BOTTOM OF POND	84.0 SQ FT		
CONVERSION FACTOR	12 INCHES	DEPTH OF POND	1.5 FEET		
SUB-TOTAL	407.0 CU FT	POND DIMS	48Lx6Wx1D		
*VOLUME REQUIRED	508.8 CU FT	VOLUME PROVIDED	262.0 CU FT		
*POND SIZED TO HOLD 125% OF ALL RUNOFF			POND 1: 262 CU FT, POND 2 262 CU FT		

GENERAL NOTES:

1. THIS IS A SITE PLAN ONLY AND IS NOT INTENDED TO BE A PROPERTY BOUNDARY SURVEY. REFER TO PLAT BY PROFESSIONAL SURVEYOR FOR COMPREHENSIVE DATA RELATING TO THIS TRACT.
2. SITE PREPARATION SHALL CONSIST OF CLEARING/GRUBBING AND REMOVAL OF ALL RUBBLE, DEBRIS, AND VEGETATION.
3. ALL FILL MATERIAL SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR. FILL MATERIALS SHALL NOT BE PLACED IN LIFTS EXCEEDING 6" THICKNESS.
4. ALL ON LOT PONDING MUST BE MAINTAINED BY THE LOT OWNER.
5. ALL PROPOSED PONDS AND SWALES WILL BE LINED WITH NATIVE OR LANDSCAPE ROCK FOR EROSION CONTROL.
6. CONTRACTOR TO FIELD VERIFY LOCATION OF SEWER LINE AND/OR SEPTIC TANK AND LEECH LINES.
7. CONTRACTORS TO BE RESPONSIBLE FOR LOCATING ANY AND ALL UTILITY LINES PRIOR TO EXCAVATION OR CONSTRUCTION.
8. PERIODIC WATERING TO BE EMPLOYED TO CONTROL DUST AND MAINTAIN MOISTURE CONTENT IN THE SOIL.



SITE PLAN

SCALE: 1" = 20'-0"

LEGEND

	ROOF DRAINAGE DIRECTION
	SITE DRAINAGE DIRECTION
	DENOTES POND
	PROPERTY LINE & CORNER
	EASEMENT
	BUILDING SETBACK

DRAFTING BY:



Civil, Commercial and Residential Drafting
1615 S SOLANO DRIVE Las Cruces, New Mexico 88001
Phone: 575-541-5050

SHEET

C1.0

1 OF 1

BOARD ACTION FORM

AGENDA DATE

PZHAC: 8/19/2024

BOT: 8/26/2024

ITEM: PZHAC CASE #061880 – 2586 Calle de Principal, submitted by Teresa Turudy. Requesting approval to install 2 metal gates on property. ZONE: Historical Residential (HR)

BACKGROUND AND ANALYSIS:

Mrs. Turudy was contacted by Officer Garica of the Mesilla Code Department regarding a project at her property. Mrs. Turudy hired a contractor to replace two wooden gates with black metal gates. One of the gates is already installed when Officer Garcia made contact. This gate is a perimeter gate facing Calle de Colon. The other gate being requested is on the opposite side of the property adjacent to the neighbor's property. Officer Garcia advised Mrs. Turudy a permit was necessary to do any exterior work to include the gates. Mrs. Turudy stopped by my office and submit an application along with pictures. She was advised of the approval process. Mrs. Turudy stated the reason she put the gates up was because someone had broken into her backyard and stolen a bicycle. She was concerned for her safety and property and acted promptly soon after the theft. Mrs. Turudy stated she was unaware a permit was needed.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT COMMENTS:

- Double fee was required as per MTC 15.15.040(D)(2) - An investigation fee, in addition to the permit fee, shall be collected whether or not a permit is then or subsequently issued. The investigation fee shall be equal to the amount of the permit fee required by this code. The payment of such investigation fee shall not exempt any person from compliance with all other provisions of this code nor from any penalty prescribed by law.

SUPPORTING INFORMATION:

- Application
- Proof of Ownership
- Identification
- Pictures of gate
- Pictures of property

DETERMINATION NOTES: approved without conditions. 5-0

TOWN OF MESILLA
APPLICATION FOR ZONING PERMIT

Permit Fee \$ 116
Review Fee \$ 21
Total Fee \$ 137⁰⁰

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061880 ZONE: HR CODE: AC APPLICATION DATE: 8/19/24
TERESA TUDURY 20400339 419-515-3361
Name of Property Owner Dona Ana County Account/Parcel # Property Owner's Telephone #
PO BOX 1074 Mesilla NM
Property Owner's Mailing Address City State Zip Code
tefosonic.net NM [REDACTED]
Property Owner's E-mail Address Applicant's DL/ID Number

Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number

Contractor's License Number

Address of Proposed Work: 2586 Calle Principal

Description of Proposed Work: metal gates for fence
NORTH SIDE OF PROPERTY FENCE, GATE ALREADY
INSTALLED. REQUESTING APPROVAL FOR GATE AND ALSO
ANOTHER GATE ON SOUTH SIDE OF PROPERTY

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. ☐ Site plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☐ Window replacement, need data sheet of new windows.
3. ☐ Foundation plan, new construction plans in full size drawings.
4. ☐ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☐ Roof and floor framing plan.
7. ☒ Proof of property ownership (Warranty Deed/Property Tax Receipt)
8. ☐ Drainage plan (commercial).
9. ☒ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☒ Valid government issues identification (Driver License/ID/Passport)

\$ 950.
Estimated Cost

Teresa Tudury
Signature of Applicant

8-19-24
Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. All zoning permits expire after one year from date issued.

*****ALL permits must be displayed in clear view until final inspection*****

FOR OFFICIAL USE ONLY

PZHAC APPROVAL REQUIRED: YES ☒ NO ☐

BOT APPROVAL REQUIRED: YES ☒ NO ☐

PZHAC ☐ Administrative Approval
☒ Approved Date: 8/19/24
☐ Disapproved Date: _____
☐ Approved with conditions

BOT ☐ Approved Date: _____
☐ Disapproved Date: _____
☐ Approved with Conditions

CID PERMIT/INSPECTION REQUIRED: YES ☐ NO ☒

PERMISSION ISSUED / DENIED BY: _____

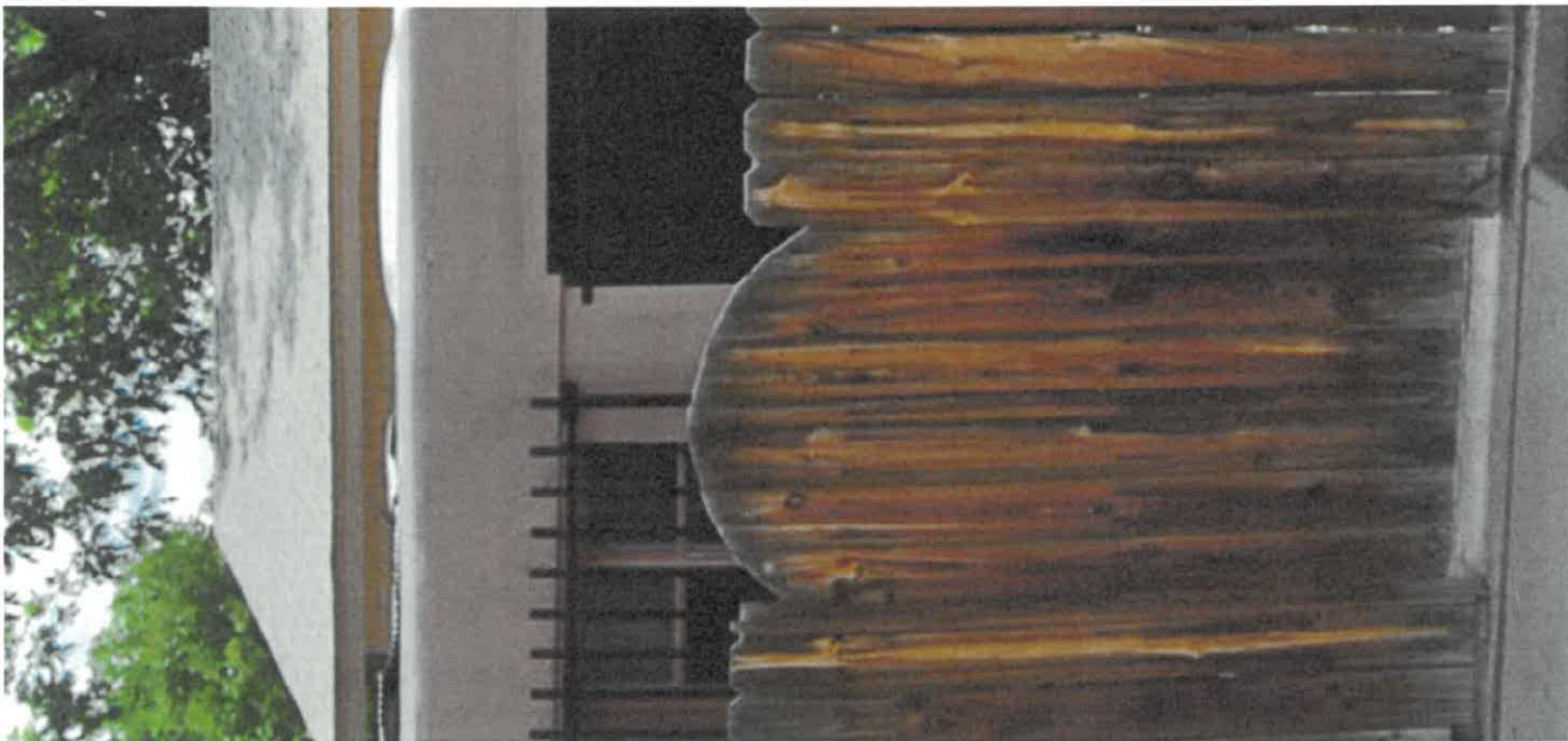
ISSUE DATE: _____

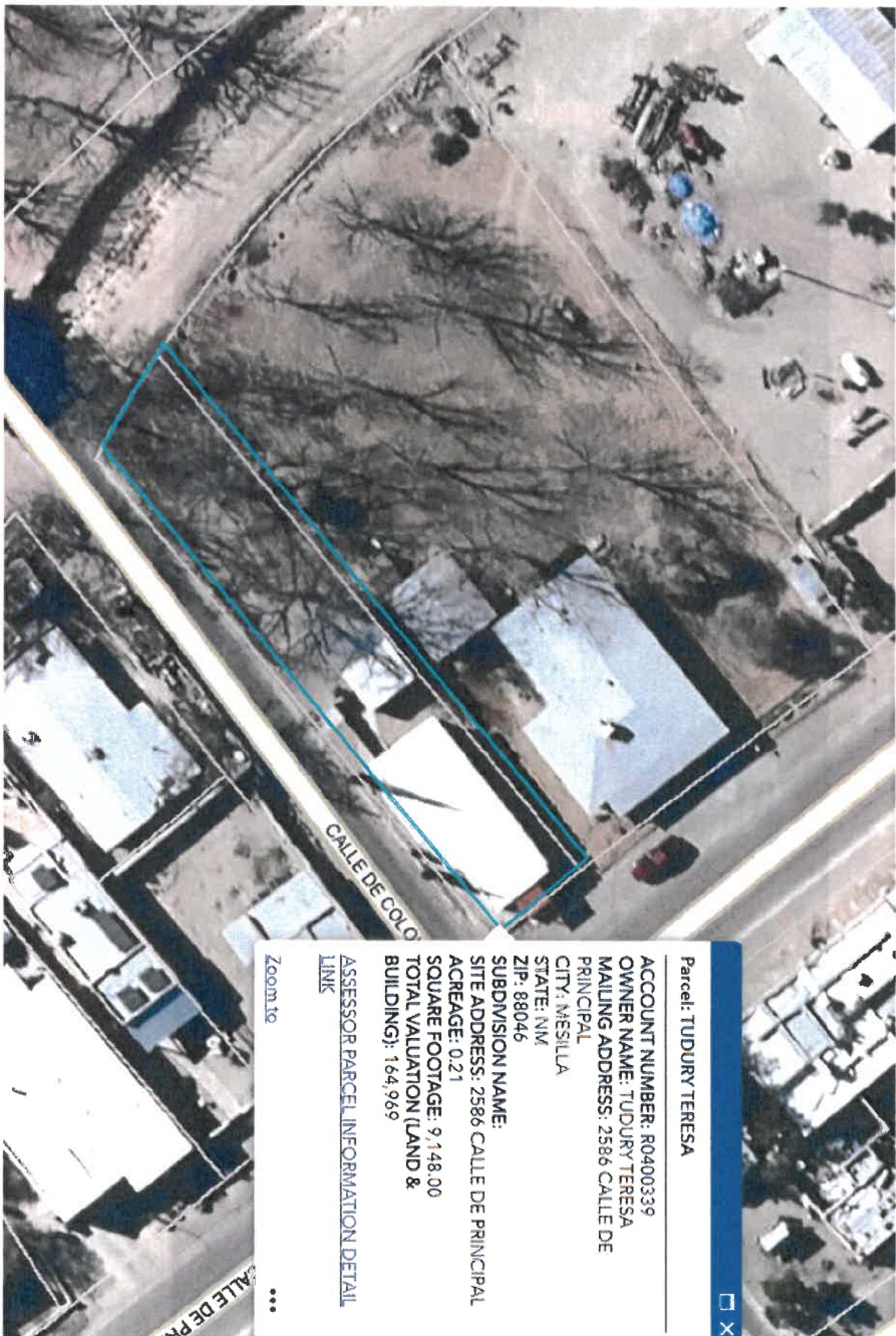












Parcel: TUDURY TERESA

ACCOUNT NUMBER: R0400339

OWNER NAME: TUDURY TERESA

MAILING ADDRESS: 2586 CALLE DE

PRINCIPAL

CITY: MESILLA

STATE: NM

ZIP: 88046

SUBDIVISION NAME:

SITE ADDRESS: 2586 CALLE DE PRINCIPAL

ACREAGE: 0.21

SQUARE FOOTAGE: 9,148.00

TOTAL VALUATION (LAND &

BUILDING): 164,969

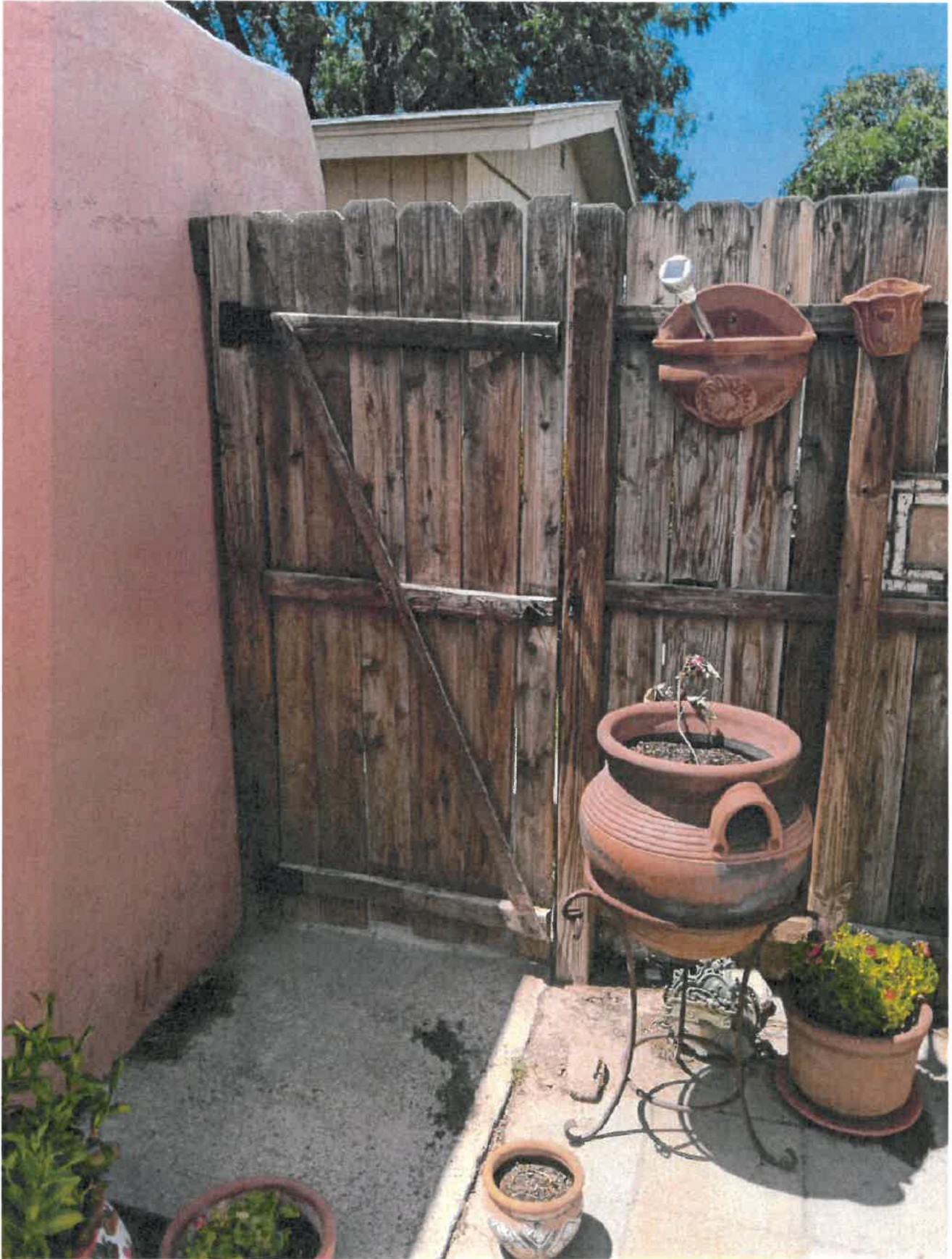
[ASSESSOR PARCEL INFORMATION DETAIL](#)

[LINK](#)

[Zoom to](#)









BOARD ACTION FORM

AGENDA DATE

PZHAC: 8/19/2024

BOT: 8/26/2024

ITEM: PZHAC CASE #061881 – 2011 Avenida de Mesilla, submitted by Grady Oxford. Requesting approval to place a 7ft x 8ft shed on the property. ZONE: Historical Commercial (HC).

BACKGROUND AND ANALYSIS:

Mr. Oxford is requesting a storage shed to be placed on top of a pre-existing cement slab on his property. The concrete foundation is located on the north side of the property. It is adjacent to the 6-ft cinder block wall.

The brown shed is approximately 7ft x 8 ft made out of lumber.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT COMMENTS:

- MTC 18.40.040 setback for Historic Commercial zone is a minimum of 7-ft unless it meets current building code standards for fire-resistive requirements in which it would be 3-ft from property line.
- Color of shed fits the development zone and design standards MTC 18.33.100(B).
- Total square footage of shed is 56 sq ft, CID requires permit above 120 sq ft.

SUPPORTING INFORMATION:

- Application
- Site plan
- Street view pic
- Proof of Ownership
- Identification
- Shed Specs

DETERMINATION: *Approved with conditions - must meet required setback according to MTC. 3feet - must be fire resistant material such as metal or have a solid firewall facing the perimeter cinder block fence OR: 7feet if not fire resistant such as lumber or plastic.*

TOWN OF MESILLA
APPLICATION FOR ZONING PERMIT

Permit Fee \$ 56
Review Fee \$ 10.20
Total Fee \$ 66.20

RECEIVED

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 06/881 ZONE: HC CODE: Acc APPLICATION DATE: 8/12/24

Grady Oxford R0400311 575 642-3893
Name of Property Owner Dona Ana County Account/Parcel # Property Owner's Telephone #
2011 Avenida de Mesilla Las Cruces NM
Property Owner's Mailing Address City State Zip
Property Owner's E-mail Address [REDACTED]

Contractor's Name & Address (If none, indicate Self) Self

Contractor's Telephone Number Contractor's License Number

Address of Proposed Work: 2011 Avenida de Mesilla

Description of Proposed Work: adding 8ft x 7ft brown shed behind building (The Bean of Mesilla)

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. ☐ Site plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☐ Window replacement, need data sheet of new windows.
3. ☐ Foundation plan, new construction plans in full size drawings.
4. ☐ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☐ Roof and floor framing plan.
7. ☐ Proof of property ownership (Warranty Deed/Property Tax Receipt)
8. ☐ Drainage plan (commercial).
9. ☐ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☐ Valid government issues identification (Driver License/ID/Passport)

\$ 900.00
Estimated Cost

[Signature]
Signature of Applicant

8-12-24
Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. All zoning permits expire after one year from date issued.
*****ALL permits must be displayed in clear view until final inspection*****

FOR OFFICIAL USE ONLY

PZHAC APPROVAL REQUIRED: YES ☒ NO ☐

BOT APPROVAL REQUIRED: YES ☒ NO ☐

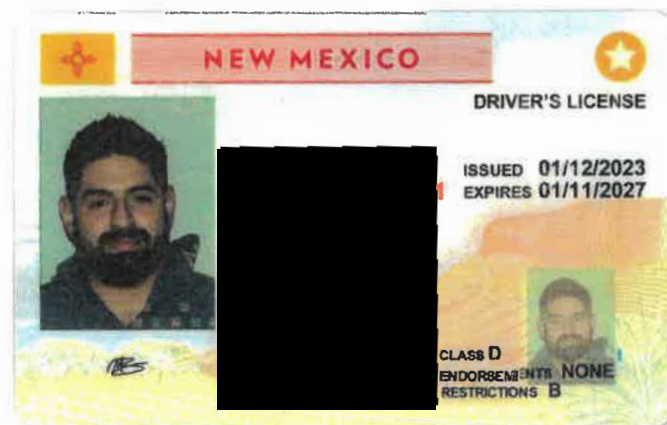
PZHAC ☐ Administrative Approval
☒ Approved Date: 8/19/24
☐ Disapproved Date: _____
☐ Approved with conditions

BOT ☐ Approved Date: _____
☐ Disapproved Date: _____
☐ Approved with Conditions

CID PERMIT/INSPECTION REQUIRED: YES ☐ NO ☐

PERMISSION ISSUED / DENIED BY: _____

ISSUE DATE: _____





Specifications

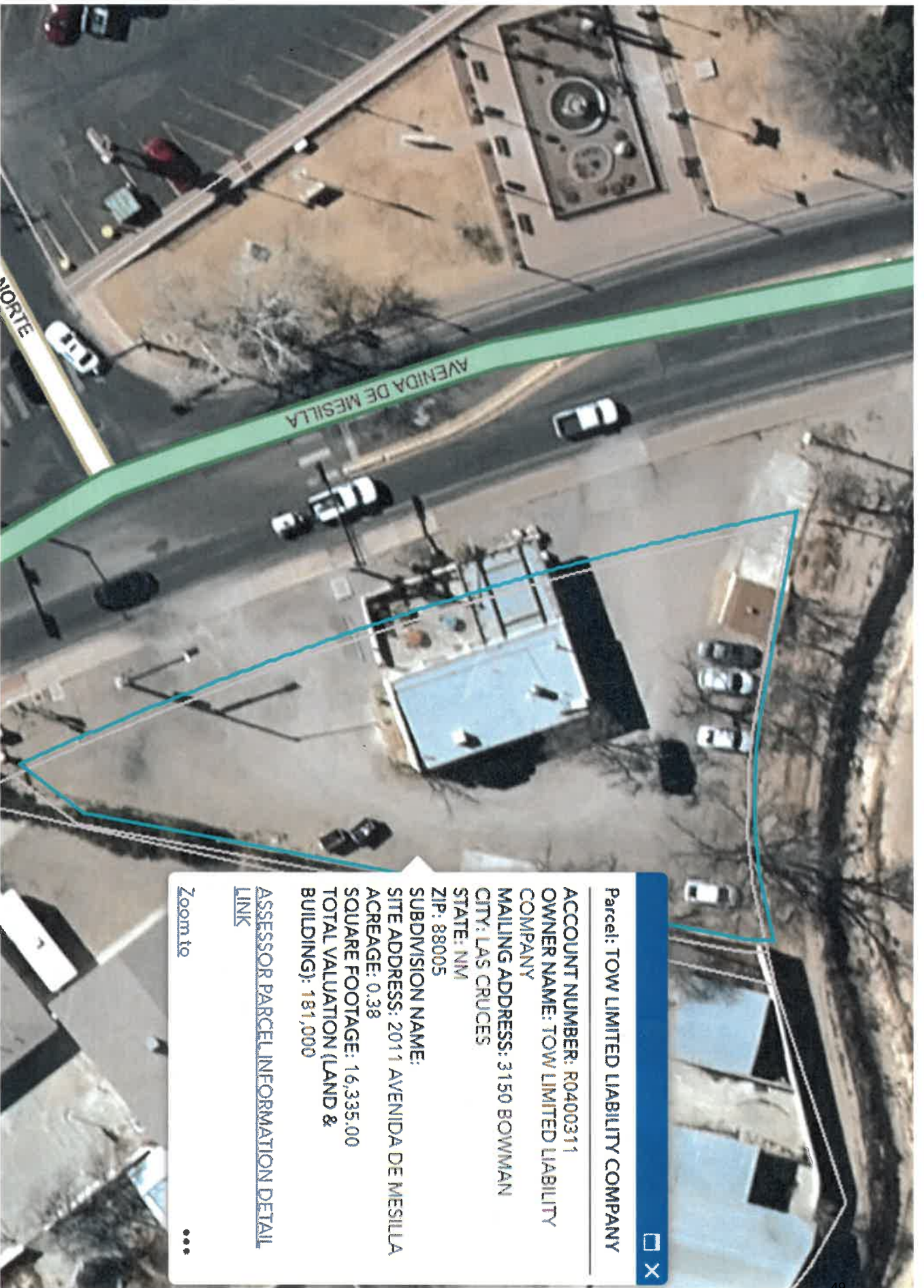
- High-Density Polyethylene (HDPE) construction
- Cubic Feet: 312.3 ft³ (8,91 m³)
- Door Opening Dimensions: 75"H x 56.4"W (191 cm x 142,8 cm)
- Exterior Dimensions: 7'6"L x 8'W x 7'11"H (2,28 m x 2,43 m x 2,41 m)
- Footprint: 7' 4.8"L x 7'8.6"W (2,24 m x 2,38 m)
- Interior Dimensions: 7'L x 7'6"W x 5'10" - 7'10"H (2,14 m x 2,29 m x 1,77 m - 2,38 m)
- Nominal Dimensions: 7'6"L x 8'W (2,28 m x 2,43 m)
- Roof Pitch: 6:12
- Eave Depth: 2" (5,08 cm)
- Windows: 16.5"W x 16.5"H
- Polycarbonate Window: Opens half-way
- Square Feet: 52.9 ft.² (4,92 m²)

Warranty	This product is covered by the Sam's Club Member Satisfaction Guarantee.
Assembled Country	United States
Assembled Size	7 ft. 6 in. L x 8 ft. W x 7 ft. 11 in. H

2011 AVENIDA DE MESILLA



SLAB
APPROXIMATELY
10 X 20 FEET



Parcel: TOW LIMITED LIABILITY COMPANY

ACCOUNT NUMBER: R040031

OWNER NAME: TOW LIMITED LIABILITY
COMPANY

MAILING ADDRESS: 3150 BOWMAN

CITY: LAS CRUCES

STATE: NM

ZIP: 88005

SUBDIVISION NAME:

SITE ADDRESS: 2011 AVENIDA DE MESILLA

ACREAGE: 0.38

SQUARE FOOTAGE: 16,335.00

TOTAL VALUATION (LAND &

BUILDING): 181,000

[ASSESSOR PARCEL INFORMATION DETAIL
LINK](#)

[Zoom to](#)







Eric P. Serna
Chairman
Jerome D. Block
Commissioner
Loula E. Gallegos
Commissioner

State of New Mexico
State Corporation Commission

CORPORATION DEPARTMENT

P.O. Drawer 1269
Telephone (505) 827-4510

Santa Fe
87504-1269

OCTOBER 13, 1994



Do not
827-4511

CRESSWELL & ROGGOW, P.A.
ATTN: CHARLES W. CRESSWELL
P.O. BOX 6460
LAS CRUCES, NM 88006-6460

RE: TOW LIMITED LIABILITY COMPANY
SCC#1692201

OCT 17 1994

BE ADVISED THAT THIS COMMISSION HAS APPROVED AND FILED THE ARTICLES OF ORGANIZATION, FOR THE ABOVE REFERENCED ORGANIZATION EFFECTIVE OCTOBER 11, 1994.

THE ATTACHED CERTIFICATE DOES NOT CONSTITUTE AUTHORIZATION FOR THE ABOVE REFERENCED ORGANIZATION TO TRANSACT ANY BUSINESS WHICH REQUIRES COMPLIANCE WITH OTHER APPLICABLE FEDERAL OR STATE LAWS, INCLUDING, BUT NOT LIMITED TO, STATE LICENSING REQUIREMENTS. IT IS THE ORGANIZATION'S SOLE RESPONSIBILITY TO OBTAIN SUCH COMPLIANCE WITH ALL LEGAL REQUIREMENTS APPLICABLE THERETO PRIOR TO ENGAGING IN THE BUSINESS FOR WHICH IT HAS OBTAINED THE ATTACHED CERTIFICATE OF ORGANIZATION.

THE ATTACHED ARTICLES OF ORGANIZATION SHOULD BECOME A PERMANENT DOCUMENT OF THE ORGANIZATION'S RECORDS. YOUR CANCELLED CHECK, AS VALIDATED BY THIS COMMISSION, IS YOUR RECEIPT. IF YOU HAVE ANY QUESTION, PLEASE CONTACT THE CHARTERED DOCUMENT DIVISION AT (505) 827-4511 FOR ASSISTANCE.

CHARTERED DOCUMENT DIVISION
MRG



OFFICE OF

THE STATE CORPORATION COMMISSION

CERTIFICATE OF ORGANIZATION

OF

TOW LIMITED LIABILITY COMPANY

1692201

The State Corporation Commission certifies that the Articles of Organization, duly signed and verified pursuant to the provisions of the

LIMITED LIABILITY COMPANY ACT
(53-19-1 TO 53-19-74 NMSA 1978)

have been received by it and are found to conform to law.

Accordingly, by virtue of the authority vested in it by law, the State Corporation Commission issues this Certificate of Organization and attaches hereto a duplicate of the Articles of Organization.

Dated: OCTOBER 11, 1994



In Testimony Whereof, the State Corporation Commission of the State of New Mexico has caused this certificate to be signed by its Chairman and the Seal of said Commission to be affixed at the City of Santa Fe

Chairman

Director

169220

ARTICLES OF ORGANIZATION

OF

TOW LIMITED LIABILITY COMPANY

The undersigned, acting as organizer(s) of a limited liability company pursuant to the New Mexico Limited Liability Company Act, adopt the following Articles of Organization:

ARTICLE 1. NAME

The name of the Limited liability company is TOW LIMITED LIABILITY COMPANY.

ARTICLE 2. DURATION

The latest date upon which the Company is to dissolve is: the 28th day of August, 2044.

ARTICLE 3. AGENT AND ADDRESS

The street address and city of the Company's initial registered office/principal place of business and the name of its initial registered agent at that office is Grady E. Oxford, Jr., 3150 Bowman, Las Cruces, New Mexico 88005.

ARTICLE 4. MANAGEMENT

The limited liability company shall be managed by the members in accordance with an Operating Agreement to be adopted by the members.

ARTICLE 5. INTERNAL AFFAIRS

Any other provisions including provisions for the regulation of the internal affairs of the Company is:

Contained in the Operating Agreement for TOW LIMITED LIABILITY COPMANY.

ARTICLE 6. ORGANIZER

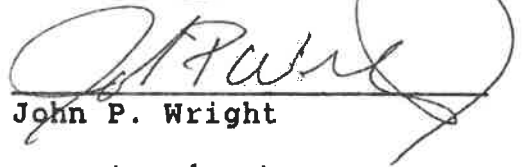
The names and addresses of the organizers of this limited liability company are Grady E. Oxford, Jr. at 3150 Bowman, Las Cruces, NM 88005 and John P. Wright at 1515 San Andres Drive, Las Cruces, NM 88005.

ORIGINAL



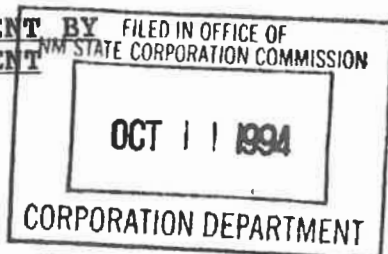
DATED this 26 day of September, 1994.


Grady E. Oxford, Jr.


John P. Wright

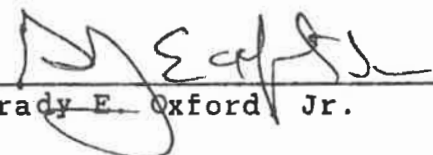
Organizer's Signatures

**AFFIDAVIT OF ACCEPTANCE OF APPOINTMENT
DESIGNATED INITIAL REGISTERED AGENT**



STATE OF NEW MEXICO)
 ss.
COUNTY OF DONA ANA)

On this 26th day of September, 1994, before me, a Notary Public in and for the State and County aforesaid, personally appeared Grady E. Oxford, Jr., who is to me known to be the person and who, being by me duly sworn, acknowledged to me that he does hereby accept his appointment as the Initial Registered Agent of TOW LIMITED LIABILITY COMPANY which is named in the annexed Articles of Organization, and which is applying for an organization pursuant to the provisions of the Limited Liability Company Act of the State of New Mexico.


Grady E. Oxford Jr.

STATE OF NEW MEXICO)
 ss.
COUNTY OF DONA ANA)

SUBSCRIBED AND SWORN TO before me this 26th day of September, 1994.


Notary Public

My Commission Expires:

Nov 25, 1997

SEP 28 1994

OCT 11 1994

ORIGINAL

POSITION TITLE: FIRE CAPTAIN

DEPARTMENT: FIRE

CLASSIFICATION: Full-Time

FLSA: EXEMPT

REPORTS TO: FIRE CHIEF

DIRECT REPORT: ALL VOLUNTEER FIRE & EMS TEAM

SALARY GRADE: C33: \$24.00 – \$31.20

Position Overview

Oversees and supervises fire department volunteers at the fire station that protects life and property through firefighting, emergency medical service (EMS), and other emergency response activities to meet the needs of the residents throughout the Town of Mesilla and neighboring areas.

Essential Responsibilities

Leadership & Supervision

- Coordinates the activities of volunteer firefighters to ensure adequate station coverage. Directly oversees a minimum of three (3) firefighters and may oversee career and/or volunteer personnel
- Supervise and manage volunteer firefighters during emergency and non-emergency situations
- Mentor and support volunteer firefighters, fostering a positive and collaborative team environment

Emergency Response

- Respond to fire alarms and determine from observation nature and extent of fire, condition of building, danger to adjacent buildings, and source of water supply, and directs firefighting crews accordingly
- Assess emergency situations, develop action plans, and make quick, effective decisions to ensure the safety and efficiency of operations
- Coordinate with other emergency services and agencies as necessary during incidents

Training & Development

- Conducts training for subordinates in the use of equipment and methods of extinguishing all types of fires
- Provide training in all aspects of suppressing and extinguishing fires including fire prevention, performing emergency rescues, and providing emergency medical assistance
- Ensure all team members are certified and up-to-date with necessary firefighting, first aid, and rescue certifications
- Evaluates efficiency of fire personnel by conducting regularly scheduled performance reviews

Safety & Compliance

- Inspects assigned fire station, buildings, grounds, and facilities, and examines firetrucks and equipment to ensure compliance with maintenance standards.

Administrative Duties

- Produce written documents using proper sentence construction, punctuation, and grammar
- Responsible for completion of a report of each fire call, listing location, type, probable cause, estimated damage, and disposition utilizing personal computer and emergency reporting software.
- Assists and coordinates the maintenance and repair of Town facilities, apparatus and equipment
- Aid with ordering of station supplies, as well as replenishing supplies for emergency response

Community Engagement

- Participate in community outreach programs to educate the public on fire safety, prevention, and emergency preparedness
- Represent the fire department at community events, meetings, and functions
- Foster Positive relationships with community members, local businesses, and other stakeholders

Fire Prevention & Inspection

- Performs fire suppression activities, fire prevention, rescue, communications, and emergency medical care
- Identify potential fire hazards and provide recommendations for corrective actions.

Qualifications

- Education: High School Diploma or GED
- Two (2) years field experience, as a career or volunteer firefighter, in emergency response
- 1-2 Years supervisory experience or leading teams preferred

Licenses/Certifications

- Valid Class D driver's license required with Class E required to be obtained within twelve (12) months of hire.
- New Mexico Emergency Medical Technician certification is required within twelve (12) months of hire, and EMT-Intermediate or Paramedic preferred.
- IFSAC Firefighter I-II or equivalent required. IS 700, 800 ICS 100, and 200 required

Knowledge, Skills, & Abilities

- Practices, procedures and equipment used in fire suppression
- Communication and interpersonal methods and techniques to deal with the general public, County staff, and Elected Officials
- Supervisory experience in effectively leading a fire company
- General business inspections and fire codes knowledge

- Knowledge & interpretation of existing laws, regulations, and policies
- Work independently with general supervision making determinations of appropriate action to take. Make minor equipment repairs and adjustments under supervision. Communicate effectively, speak clearly, and distinctly with the public and employees.
- Establish and maintain effective professional working relationships.

Physical Demands

- Ability to perform physically demanding tasks, including lifting, climbing, and operating heavy equipment
- Must have the ability to work in confined places, toxic atmospheres, and extreme environmental atmospheres.
- Must successfully complete annual medical physical according to NFPA standards and successfully complete annual physical ability test

Work Environment

- The role involves working in high-stress, dangerous, and physically demanding environments
- Requires availability for emergency call-outs at any time, including nights, weekends, and holidays

Supervisory Responsibilities

- This position will require direct supervision of interns & volunteers

ACKNOWLEDGMENT

I acknowledge that I have read the job description and requirements for the above referenced position, and I certify that I can perform these functions with or without accommodation.

Applicant Signature

Date

Witness

Date

****This job description is not intended to be all-inclusive. Employee may perform other related duties as assigned to meet the ongoing needs of the town.***

PLANNING AND ZONING HISTORICAL APPROPRIATENESS COMMITTEE

8/19/2024

PUBLIC HEARING @ 5PM – case #061870, 2750 Old Farm Rd. Case was heard but not voted on. Consideration for approval will be given on 8/27/2024 in a scheduled special meeting.

REGULAR MEETING @ 6PM

CHAIRPERSON – motioned to postpone short-term rental application listed on the agenda. Concerned with the amount we already have and would like the ad hoc committee to put together the ordinance they are working on before approving any.

Attorney Ben Young addressed the commission regarding this motion giving caution about the authority of the commission it being an advisory board. Chairperson gave no consideration to the attorney's advice and proceeded with the motion. Motion was denied by commission 3-2.

I feel any decision for a moratorium needs to come from a decision from the BOT and not taken upon themselves and abusing their authority to prevent any cases the right of due process regardless of personal opinion. It should be a great concern for Mesilla to provide factual unbiased decisions based on code within our commissioners.

PUBLIC COMMENT

- Members of ad hoc opposing any consideration for a moratorium
- 54 STR found to be listed by a resident
- Need to work with the ordinance we have now and not postpone cases waiting for ad hoc committee

ACTION AND CONSIDERATIONS

STR CASE #1254 – 2935 Estrada Rd, approved without conditions.

STR CASE #1255 – 2872 Calle de San Albino, approved without conditions.

STR CASE #1256 – 2729 Calle de San Albino, approved without conditions.

PZHAC CASE #061880 – 2586 Calle de Principal, approved without conditions.

PZHAC CASE #061881 – 2011 Avenida de Mesilla, approved with conditions;

Must meet all setbacks according to MTC.

COMMISSIONERS/STAFF COMMENTS

Chair Lucero – requested a STR workshop with commission.

Would like to have a work session scheduled before consideration on approving public hearing case #061870.

Asked to vote for a new secretary to the commission on next regular meeting.

Illegal shed/addition on 2551 Calle de Principal, asking for update.

CDC Salazar – illegal shed/addition is under investigation by codes.

Request for a workshop for STR is not available until Ad Hoc committee puts together an ordinance. Until then we need to follow our code.

Continuing to address unregistered STRs and bring them into compliance.

Attorney advised against request for a workshop regarding an open hearing case.

Excited about promotion and looking forward in working with our historic registry/landmarks.

My Mesilla software is upcoming soon. Excited to close that communication bridge between the community and staff, codes, etc.