



Town of Mesilla, New Mexico

REVISED

**THE BOARD OF TRUSTEES (BOT) OF THE TOWN OF MESILLA
WILL HOLD A REGULAR MEETING AT THE MESILLA TOWN HALL,
2231 AVENIDA DE MESILLA.**

MONDAY, AUGUST 28, 2023 AT 6:00 P.M.

AGENDA

- 1. PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL & DETERMINATION OF A QUORUM**
- 3. CHANGES TO THE AGENDA & APPROVAL**
- 4. PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.**
- 5. PRESENTATIONS**
 - a) **Proclamation: Walk to School September 20, 2023**
 - b) **El Paso Electric: Smart Meters, Presented by Grisel E. Ramirez**
 - c) **Update on University Avenue Corridor Project, Presented by NMDOT**
 - d) **Certificate of Recognition – Detective Danny Garcia**
- 6. APPROVAL OF CONSENT AGENDA:** (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk *)
 - a) ***BOT MINUTES** - Minutes of Regular Meeting, June 26, 2023
 - b) ***BOT MINUTES** – Minutes of Regular Meeting, July 24, 2023
 - c) ***BOT MINUTES** – Minutes of Worksession/Special Meeting, July 27, 2023
- 7. NEW BUSINESS**
 - a) **PZHAC CASE # - Case #061687** - 2729 Calle de San Albino, submitted by Ruben & Elizabeth Smith, requesting approval to continue construction of the unfinished home on the property. Zone: Historical Residential (HR)
 - b) **PZHAC CASE #061693** – submitted by Casa Blanka Imports, 1705 Tierra de Mesilla, requesting approval to construct a 8500 square feet commercial building next to his existing commercial building. Building will be used for future rental space. Zone: Commercial (C).
 - c) **APPROVAL:** Resolution 2023-15 – A Resolution by the Board of Trustees for FY23 Year-End Budget Adjustments – Gloria Maya
 - c) **Board of Adjustments Appointments** – Nora L Barraza, Mayor
 - d) **Discussion** – LCPS MOA
 - e) **Discussion** – El Paso Electric Grant Request
- 9. BOARD OF TRUSTEE COMMITTEE REPORTS**
- 10. BOARD OF TRUSTEE/STAFF COMMENTS**
- 11. ADJOURNMENT**

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least one week prior to the meeting. The Mayor and Trustees request that all cell phones be turned off or set to vibrate. Members of the audience are requested to step outside the Board Room to respond to or to conduct a phone conversation. A copy of the agenda can be found online at www.mesillanm.gov.



- Proclamation -

Declaring September 20, 2023 as Walk to School Day.

- Whereas, a lack of physical activity contributes to rising rates of obesity, diabetes and other health problems among children and walking or bicycling to school affords opportunities to build activity into daily routine;
- Whereas, parents, caregivers, community leaders and others are well-positioned to teach children about pedestrian safety, health risks related to sedentary lifestyles, and environmental consequences of fossil fuel use; and
- Whereas, driving students to school by private vehicle contributes to traffic congestion and air pollution; and
- Whereas, identifying shortcomings in transportation systems is the first step toward enhancing bicycle-pedestrian safety and community members and leaders should make a plan to make immediate changes to enable children to safely walk and bicycle in our community.
- Whereas, children, parents and community leaders around the world are joining together to walk to school.

NOW THEREFORE BE IT RESOLVED,

I, Mayor Nora L. Barraza, proclaim September 20th as "International Walk to School Day" in the Town of Mesilla, New Mexico and encourage everyone to consider the safety and health of children today and every day.

SIGNED, SEALED AND PROCLAIMED this September 10, 2023.

NORA L. BARRAZA
MAYOR



Town of Mesilla, New Mexico

**BOARD OF TRUSTEES (BOT)
TOWN OF MESILLA
REGULAR MEETING
MONDAY, JUNE 26, 2023 – 6:00 PM**

MINUTES

TRUSTEES: Nora Barraza, Mayor
Adrianna Merrick, Mayor Pro Tem
Biviana Cadena, Trustee (Absent)
Veronica Garcia, Trustee
Stephanie Johnson-Burick, Trustee

STAFF: Enrique Salas, Marshal
Edward Salazar, Community Development Coordinator
Greg Whited, Fire Chief
Gloria Maya, Recorder

PUBLIC:

| | |
|--------------------|--------------------------|
| Bader Jouda | Kimberly Jouda |
| Janice & Bill Cook | Joe Foster |
| Greg Lester | Andrea Bryan |
| Mary F. Lucero | Richard Moreno |
| Ruben Quintana | LaNett Kuhn |
| Yolanda Lucero | Trina Witter |
| Lori Miller | Erick Walkinshaw |
| Mary H. Ratje | Mary Taylor |
| Edith Wyndler | Susan Krueger |
| Amanda Collier | Stewart & Karena Oberman |

1. PLEDGE OF ALLEGIANCE

Mayor Barraza led the Pledge of Allegiance.

2. ROLL CALL & DETERMINATION OF A QUORUM

Roll Call.

Present: Mayor Barraza, Mayor Pro Tem Merrick, Trustee Garcia, Trustee Johnson-Burick.

3. CHANGES TO THE AGENDA & APPROVAL

Motion: To approve agenda, Moved by Trustee Johnson-Burick, Seconded by Trustee Garcia.

Roll Call Vote: Motion passed (summary: Yes =3).

Mayor Pro Tem Merrick Yes

Trustee Garcia Yes

Trustee Johnson-Burick Yes

4. PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.

Ms. Ratje read correspondence (Attached)

1
2 Ms. Krueger reviewed her concerns with Case #061636.

3
4 Ms. Kuhn inaudible wall is not a common wall and is not going to be altered.

5
6 Ms. Lucero stated her concerns with feral cats. She is in favor of the Cannabis Lounge which is like a bar.

7
8 **5. APPROVAL OF CONSENT AGENDA:** (The Board will be asked to approve by one motion the following
9 items of recurring or routine business. The Consent Agenda is marked with an asterisk *)

10 a) ***BOT MINUTES** - Minutes of Meeting, June 12, 2023

11 **Motion: To approve consent agenda, Moved by Mayor Pro Tem Merrick, Seconded by Trustee Garcia.**

12
13 **Roll Call Vote:** Motion passed (summary: Yes =3).

14 Mayor Pro Tem Merrick Yes

15 Trustee Garcia Yes

16 Trustee Johnson-Burick Yes

17
18 **6. PRESENTATION**

19 a) Fireworks/Drought Status – Greg Whited

20 Fire Chief Whited reviewed the drought situation around the state.

21
22 Trustee Garcia asked if fireworks are going to be allowed.

23
24 Fire Chief Whited responded according to the Fire Service the Farmington area is still experiencing a sever
25 drought.

26
27 Inaudible

28
29 **7. STAFF REPORTS**

30 a) TextMyGov – Dorothy Sellers

31 Ms. Sellers gave a presentation on TextMyGov.

32
33 b) NM Tourism Department Cooperative Agreement – Dorothy Sellers

34 Ms. Sellers gave an update on the NM Tourism Department Cooperative Agreement.

35
36 c) US Department of Agriculture Wildlife Services – Mayor Barraza

37 Mayor Barraza and Marshal Salas reviewed the US Department of Agriculture Wildlife Services provided.

38
39 Mayor Barraza asked the residents to call Animal Control when a situation arises.

40
41 **8. CLOSED EXECUTIVE SESSION**

42 a) Discussion of limited personnel matters pursuant to NMSA 1978, Section 10-15-1(H)(2) – Marshal
43 Department

44 **Motion: To enter Closed Executive Session for discussion of limited personnel matters pursuant to**
45 **NMSA 1978, Section 10-15-(H)(2)-Marshal Department, Moved by Mayor Pro Tem Merrick, Seconded**
46 **by Trustee Garcia.**

47
48 **Roll Call Vote:** Motion passed (summary: Yes =3).

49 Mayor Pro Tem Merrick Yes

1 Trustee Garcia Yes
2 Trustee Johnson-Burick Yes

3
4 Entered Closed Executive Session at 6:23 p.m.

5
6 **Motion: To enter Regular Meeting after discussion of limited personnel matters pursuant to NMSA**
7 **1978, Section 10-15-(H)(2)-Marshal Department – no action taken, Moved by Mayor Pro Tem Merrick,**
8 **Seconded by Trustee Garcia.**

9
10 **Roll Call Vote:** Motion passed (summary: Yes =3).

11 Mayor Pro Tem Merrick Yes
12 Trustee Garcia Yes
13 Trustee Johnson-Burick Yes

14
15 Entered Regular Meeting at 6:29 p.m.

16
17 **9. APPEAL: SUP CASE #061636 - DECISION TO RECOMMEND APPROVAL TO BOT**
18 **- Susan Krueger**

19 Participants were sworn in.

20
21 Mayor Barraza reviewed the appeal procedure.

22
23 Ms. Krueger referenced 18.85.190 through 18.85.210 and Open Meeting Act. Case was not included on the
24 agenda and, therefore, should not have been voted on. Recommended that PZHAC review the process.

25
26 Mr. Salazar reviewed the hearing process. There was a motion to recommend the case to the Board of Trustees,
27 so the process is not complete. He explained the difference between Quasi-Judicial hearing and a Regulatory
28 meeting.

29
30 Mayor Barraza stated no action was taken to approve the permit; approval to recommend to the Trustees was
31 done.

32
33 Ms. Lucero stated procedure was followed.

34
35 Mayor Barraza referenced 18.85.150 and 18.85.190. Ms. Krueger's appeal states there was a procedural error.
36 She believes the process was done correctly.

37
38 Ms. Krueger inaudible The PZHAC needs to understand the SUP process; reviewed the process.

39
40 Mr. Salazar stated procedures were explained at the start of the hearing.

41
42 Mayor Barraza referenced 18.85.150 and was assured by staff that everything was done correctly.

43
44 Mr. Salazar stated the public showed support for the lounge.

45
46 Mayor Barraza stated business owners submitted correspondence. Referenced 18.85.190.

47
48 Trustee Johnson-Burick stated she is concerned procedure was not followed and the lack of transparency. A roll
49 call vote was taken on an item that was not on the agenda. Not all of the public were aware of the case; this

1 could pose a liability to the town. Referred to the email received from Robert Fountain which was not included
2 in the packet. Referenced 18.85.190. There is no supporting documentation or BAF; drawing is incomplete.
3
4 Mayor Pro Tem Merrick asked what determines if it is a Quasi-Judicial Hearing or a Regulatory meeting.
5
6 Mr. Salazar responded Regulatory meetings are when they meet as a group; Quasi-Judicial Hearing is when it is
7 individual.
8
9 Mayor Pro Tem Merrick asked if it will be a Quasi-Judicial Hearing for SUPs.
10
11 Mr. Salazar responded yes.
12
13 Mayor Pro Tem Merrick stated there are conflicting facts being presented.
14
15 Trustee Garcia asked how the case was listed on the agenda.
16
17 Mr. Salazar responded it was listed as a Public Hearing.
18
19 Trustee Garcia asked if it was an action item.
20
21 Mr. Salazar responded yes.
22
23 Trustee Garcia asked if the Board of Trustees must have a Public Hearing as well.
24
25 Mr. Salazar responded that the determination of a SUP comes from the Board of Trustees.
26
27 Trustee Garcia asked if there was a quorum at the start of the meeting.
28
29 Mr. Salazar responded we had to wait.
30
31 Trustee Garcia stated Ms. Krueger sent an email saying that PZHAC should have a Public Hearing. Asked if
32 the PZHAC gave a reason for the way they voted.
33
34 Mr. Salazar stated the commissions gave a reason for the way they voted.
35
36 Trustee Garcia stated she did not see that information.
37
38 Trustee Johnson-Burick stated she had not seen the minutes.
39
40 Mayor Barraza responded that the minutes have not been approved. She asked if the posting was for a Public
41 Hearing and was it posted at the business listed on the case. She asked how long the posting was.
42
43 Mr. Salazar responded it was posted as a Public Hearing and it was posted at the business location. The posting
44 was done more than 15 days before the meeting.
45

1 Mayor Barraza asked if the surrounding business notified of the Public Hearing.
2
3 Mr. Salazar responded everyone within the 100 ft. was notified.
4
5 Trustee Johnson-Burick asked if it was posted that the PZHAC was going to take action during the public
6 hearing.
7
8 Mr. Salazar responded no.
9
10 Mayor Barraza asked how the posting listed the case.
11
12 Mr. Salazar read the agenda.
13
14 Mayor Pro Tem Merrick stated not enough information was provided.
15
16 Trustee Johnson-Burick stated all pertinent information needs to be provided so the board can do their due
17 diligence.
18
19 Mayor Barraza stated it is her understanding that the board feels there was a procedural error. She asked Mr.
20 Salazar what the process would be to proceed.
21
22 Mr. Salazar responded the item should be on the agenda as an action item.
23
24 Ms. Lucero inaudible
25
26 **Motion: To approve Appeal on SUP Case #061636 due to procedural error and to recommend case**
27 **back to PZHAC as an action item. Zone: Historical Commercial (HC), Moved by Trustee Johnson-**
28 **Burick, Seconded by Mayor Pro Tem Merrick.**
29
30 Trustee Garcia asked what the vote count is for an appeal.
31
32 Mayor Barraza responded that the vote count is 2/3. We are on track to the timeframe required. The Board
33 of Trustees will not need to have a Public Hearing.
34
35 **Roll Call Vote:** Motion passed (summary: Yes =3).
36 Mayor Pro Tem Merrick Yes
37 Trustee Garcia Yes
38 Trustee Johnson-Burick Yes
39
40 **10. NEW BUSINESS**
41 **a) PZHAC CASE #061647 – 2355 Calle de Guadalupe, submitted by CW Ritter, requesting**
42 **approval to build an additional storage room to his business, Double Eagle Restaurant. Zone:**
43 **Historical Commercial (HC)**
44 **Motion: To approve PZHAC Case #061647 – 2355 Calle de Guadalupe, submitted by CW Ritter,**
45 **requesting approval to build an additional storage room to his business, Double Eagle Restaurant.**
46 **Zone: Historical Commercial (HC), Moved by Mayor Pro Tem Merrick, Seconded by Trustee Garcia.**
47
48 Mayor Pro Tem Merrick stated this is only for a storage unit.
49

1 **Roll Call Vote:** Motion passed (**summary:** Yes =3).
2 Mayor Pro Tem Merrick Yes
3 Trustee Garcia Yes
4 Trustee Johnson-Burick Yes
5

6 **b) PZHAC LIC #1118** – 2244 Calle de Oeste, submitted by Sara Sanchez requesting approval to
7 open up a home occupation business, Homegrown Midwifery. Zone: Historical Residential (HR)
8 **Motion: To approve PZHAC LIC #1118 – 2244 Calle de Oeste, submitted by Sara Sanchez requesting**
9 **approval to open up a home occupation business, Homegrown Midwifery. Zone: Historical Residential**
10 **(HR), Moved by Mayor Pro Tem Merrick, Seconded by Trustee Garcia.**
11

12 **Roll Call Vote:** Motion passed (**summary:** Yes =3).
13 Mayor Pro Tem Merrick Yes
14 Trustee Garcia Yes
15 Trustee Johnson-Burick Yes
16

17 **c) APPROVAL:** TexMyGov Agreement
18 **Motion: To approve TexMyGov Agreement, Moved by Trustee Garcia, Seconded by Mayor Pro Tem**
19 **Garcia.**
20

21 Trustee Johnson-Burick stated she understands the residents need to sign up for the service.
22
23 Mayor Barraza responded they will need to sign up on the application to receive information.
24
25 Ms. Sellers responded she will give them access through the website on our side.
26
27 Trustee Johnson-Burick asked who will monitor the TexMyGov.
28
29 Mayor Barraza stated emergencies go through the On-Call process. This is similar to Amber Alerts.
30
31 Ms. Sellers responded we are going to be proactive.
32
33 Trustee Johnson-Burick asked if it will come back programing verbiage.
34
35 Ms. Sellers responded correct, and it will automatically respond.
36
37 Trustee Johnson-Burick stated feels it is pricy; would like to monitor the return on our investment.
38
39 Ms. Sellers stated this is all trackable; reports can be provided.
40
41 Mayor Pro Tem Merrick asked where the funds will be taken from.
42
43 Mayor Barraza responded that expense will come from the Tourism Fund.
44
45 Trustee Garcia asked when this will begin.
46
47 Mayor Barraza responded once we get approval.
48
49 Trustee Garcia asked that the information be provided to the residents on their water bills.
50

51 Inaudible
52

53 **Roll Call Vote:** Motion passed (**summary:** Yes =3).
54 Mayor Pro Tem Merrick Yes
55 Trustee Garcia Yes

1 Trustee Johnson-Burick Yes

2

3 **d)APPROVAL:** NM Tourism Department Cooperative Agreement

4 **Motion: To approve NM Tourism Department Cooperative Agreement, Moved by Trustee Garcia,**
5 **Seconded by Mayor Pro Tem Merrick.**

6

7 **Roll Call Vote:** Motion passed (summary: Yes =3).

8 Mayor Pro Tem Merrick Yes

9 Trustee Garcia Yes

10 Trustee Johnson-Burick Yes

11

12 **e) APPROVAL:** US Department of Agriculture Wildlife Services Agreement

13 **Motion: To approve US Department of Agriculture Wildlife Services Agreement, Moved by Trustee**
14 **Garcia, Seconded by Mayor Pro Tem Merrick.**

15

16 Trustee Garcia asked what number do they need to call.

17

18 Mayor Barraza responded that they call Animal Control at 575.526.0795.

19

20 Trustee Garcia asked what the response time is. She would like to have a list posted.

21

22 Marshal Salas responded it is usually immediately. This agreement is for small wildlife.

23

24 Trustee Johnson-Burick stated those animals will be killed.

25

26 **Roll Call Vote:** Motion passed (summary: Yes =3).

27 Mayor Pro Tem Merrick Yes

28 Trustee Garcia Yes

29 Trustee Johnson-Burick Yes

30

31 **f) APPROVAL:** Hire of Deputy I – Marshal’s Department

32 **Motion: To approve hiring of Deputy I – Jonathan Reyes, Moved by Trustee Garcia, Seconded by**
33 **Mayor Pro Tem Merrick.**

34

35 Trustee Garcia asked about the starting rate.

36

37 Mayor Barraza responded the pay is \$18.50 after a one-year promotion the pay goes to \$20.50.

38

39 **Roll Call Vote:** Motion passed (summary: Yes =3).

40 Mayor Pro Tem Merrick Yes

41 Trustee Garcia Yes

42 Trustee Johnson-Burick Yes

43

44 **a. APPROVAL:** SUP CASE #061636 – Cannabis Consumption Lounge

45 **Motion: To approve postpone approve SUP Case #061636 – Cannabis Consumption Lounge; goes back**
46 **to PZHAC for approval, Moved by Trustee Garcia, Seconded by Mayor Pro Tem Merrick.**

47

48 **Roll Call Vote:** Motion passed (summary: Yes =3).

49 Mayor Pro Tem Merrick Yes

50 Trustee Garcia Yes

51 Trustee Johnson-Burick Yes

52

53 **g) BOARD OF TRUSTEE COMMITTEE REPORTS**

54 Mayor Pro Tem Merrick: MPO Meeting – next meeting scheduled for August

1
2 Trustee Johnson-Burick: MPO Meeting

3
4 Trustee Garcia: meeting cancelled

5
6 Mayor Barraza: MPO Meeting , Policy Committee Meetings June 24th, Public Safety Meeting

7
8 **h) BOARD OF TRUSTEE/STAFF COMMENTS**

9 Marshal Salas stated Internship for Crime Scenes is being recognized.

10
11 Trustee Garcia stated she recommends they take a class by Mr. Garcia. She asked if the board could get their
12 packets earlier; we keep going back and forth. Asked if the Mayor is going to respond to Ms. Taylor's
13 comments.

14
15 Trustee Johnson-Burick stated she is not against this business; she is concerned with the procedural process
16 and transparency.

17
18 Mayor Pro Tem Merrick stated it is not against the business; just ensuring process is followed. Also, there is
19 conflicting information.

20
21 Mayor Barraza stated process needs to be transparent and ordinances contradict itself. We try to accommodate
22 everyone but there needs to be a deadline to submit agenda documentation or requests. She is planning a
23 worksession for the Board of Trustees and the PZHAC. There have been numerous complaints regarding feral
24 cats. Working on a clinic for residents to register and vaccinate their animals. Mr. Fountain's email came
25 through the town's website. He did not think that it was going to be forwarded.

26
27 Ms. Sellers stated she sent the information to trustees.

28
29 Mayor Barraza stated the Lodger's Tax Committee will meet on Tuesday at 10:00 a.m. They met with the
30 New Mexico Cultural Affairs staff; the problem has been the lack of communication. She will be meeting with
31 the Secretary of Cultural Affairs next week.

32
33 Ms. Sellers stated Neil McCowan on the plaza from 7:00 – 9:00 and fireworks at 9:30 which is donated by
34 Planet Fireworks.

35
36 Mayor Barraza stated State Statue 22 reads there needs to be open communication between State Agencies and
37 municipalities.

38
39 **12. ADJOURNMENT**

40 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-3).**

41
42 **WORKSESSION ADJOURNED AT 7:55 P.M.**

43
44 **APPROVED THIS 28th DAY OF AUGUST, 2023.**

45
46
47
48
49 _____
50 **Nora L. Barraza**
51 **Mayor**

52 **ATTEST:**

1
2
3
4
5
6
7

Gloria S. Maya
Town Clerk/Treasurer

DRAFT



Town of Mesilla, New Mexico

REVISED

**THE BOARD OF TRUSTEES (BOT) OF THE TOWN OF MESILLA
WILL HOLD A REGULAR MEETING AT THE MESILLA TOWN HALL,
2231 AVENIDA DE MESILLA.**

MONDAY, JULY 24, 2023 – 6:00 PM

MINUTES

TRUSTEES: Nora Barraza, Mayor
Adrianna Merrick, Mayor Pro Tem
Biviana Cadena, Trustee
Veronica Garcia, Trustee (Absent)
Stephanie Johnson-Burick, Trustee

STAFF: Rod McGillivray, Public Works Director
Ben Azcarate, Lieutenant
Gloria Maya, Town Clerk/Recorder

PUBLIC: Richard Moreno Ruben Quintana
Crystal Whited Mary H Ratje
Susan Krueger Marcy Toomey
Karena Oberman Trina Witter
Andy Embury

1. PLEDGE OF ALLEGIANCE

Mayor Barraza led the Pledge of Allegiance.

2. ROLL CALL & DETERMINATION OF A QUORUM

Roll Call.

Present: Mayor Barraza, Mayor Pro Tem Merrick, Trustee Cadena, Trustee Johnson-Burick.

3. CHANGES TO THE AGENDA & APPROVAL

Motion: To approve agenda, Moved by Trustee Johnson-Burick, Seconded by Mayor Pro Tem Merrick.

Roll Call Vote: Motion passed (summary: Yes =3).

Mayor Pro Tem Merrick Yes

Trustee Cadena Yes

Trustee Johnson-Burick Yes

4. PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.

Ms. Ratje gave an update on the HVAC system situation at Taylor’s Historic Site.

5. APPROVAL OF CONSENT AGENDA: (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk *)

a) *BOT MINUTES - Minutes of Regular Meeting, May 26, 2023 *Postponed till next meeting*

- 1 **b) *Resolution 2023-08 Town of Mesilla’s annual Open Meetings Act Resolution**
2 **c) *Resolution 2023-10 South Central Council of Governments Membership FY23-24**

3 **Motion: To approve the consent agenda as amended, Moved by Trustee Johnson-Burick, Seconded by**
4 **Mayor Pro Tem Merrick.**

5
6 **Roll Call Vote:** Motion passed (summary: Yes =3).

7 Mayor Pro Tem Merrick Yes

8 Trustee Cadena Yes

9 Trustee Johnson-Burick Yes

10
11 Mayor Barraza corrected the approval date on Resolution 2023-08.

12
13 **6. CLOSED EXECUTIVE SESSION**

- 14 **a) Discussion of limited personnel matters pursuant to NMSA 1978, Section 10-15-1(H)(2)-Public**
15 **Works Department**

16 **Motion: To close Regular Meeting and enter Closed Executive Session: discussion of limited personnel**
17 **matters pursuant to NMSA 1978, Section 10-15-1(H)(2)-Public Works Department, Moved by Mayor Pro**
18 **Tem Merrick, Seconded by Trustee Johnson-Burick.**

19
20 **Roll Call Vote:** Motion passed (summary: Yes =3).

21 Mayor Pro Tem Merrick Yes

22 Trustee Cadena Yes

23 Trustee Johnson-Burick Yes

24
25 **Entered Closed Executive Session at 6:12 p.m.**

26
27 **Motion: To enter Regular Meeting after discussion of limited personnel matters pursuant to NMSA 1978,**
28 **Section 10-15-1(H)(2)-Public Works Department – no action taken, Moved by Trustee Johnson-Burick,**
29 **Seconded by Mayor Pro Tem Merrick.**

30
31 **Roll Call Vote:** Motion passed (summary: Yes =3).

32 Mayor Pro Tem Merrick Yes

33 Trustee Cadena Yes

34 Trustee Johnson-Burick Yes

35
36 **Entered Regular Meeting at 6:35 p.m.**

37
38 **7. STAFF REPORTS**

- 39 **a) University Ave. Maintenance Drainage Pond Agreement between NMDOT and Town of Mesilla –**
40 **Rod McGillivray**

41 Mr. McGillivray gave a presentation on the University Avenue Maintenance Drainage Pond Agreement:
42 NMDOT and the Town of Mesilla. Work is scheduled to be completed by January, 2024.

- 43
44 **b) University Ave. Maintenance Landscape and Multi-Use Trail Agreement between NMDOT and the**
45 **Town of Mesilla – Rod McGillivray**

46 Mr. McGillivray gave a presentation on the University Avenue Maintenance Landscape and Multi-Use Trail
47 Agreement: NMDOT and the Town of Mesilla.

- 48
49 **c) University Ave. Signal/Intersection Lights Maintenance Agreement between NMDOT and the**
50 **Town of Mesilla - Rod McGillivray**

51 Mr. McGillivray gave a presentation on the University Avenue Signal/Intersection Lights Maintenance
52 Agreement: NMDOT and the Town of Mesilla.

1 d) SB192 – Junior Appropriation: \$75,000 Radio Transmission Upgrade – Enrique Salas
2 Lieutenant Azcarate stated they are waiting for a final quote for the radios. He understands that the \$75,000 will
3 cover 29 radios.

4
5 Mayor Barraza stated the quote needs to be attached to the agreement before we can send it back to the state.
6

7 **8. NEW BUSINESS**

8 a) **APPROVAL: University Ave. Maintenance Drainage Pond Agreement.**

9 **Motion: To approve University Ave. Maintenance Drainage Pond Agreement, Moved by Mayor Pro**
10 **Tem Merrick, Seconded by Trustee Cadena.**

11
12 **Roll Call Vote:** Motion passed (summary: Yes =3).

13 Mayor Pro Tem Merrick Yes

14 Trustee Cadena Yes

15 Trustee Johnson-Burick Yes
16

17 b) **APPROVAL: Maintenance Landscape and Multi-Use Trail Agreement – Rod McGillivray**

18 **Motion: To approve Maintenance Landscape and Multi-Use Trail Agreement, Moved by Mayor Pro**
19 **Tem Merrick, Seconded by Trustee Cadena.**

20
21 **Roll Call Vote:** Motion passed (summary: Yes =3).

22 Mayor Pro Tem Merrick Yes

23 Trustee Cadena Yes

24 Trustee Johnson-Burick Yes
25

26 c) **APPROVAL: Signal/Intersection Lights Maintenance Agreement - Rod McGillivray**

27 **Motion: To approve Signal/Intersection Lights Maintenance Agreement, Moved by Mayor Pro Tem**
28 **Merrick, Seconded by Trustee Cadena.**

29
30 **Roll Call Vote:** Motion passed (summary: Yes =3).

31 Mayor Pro Tem Merrick Yes

32 Trustee Cadena Yes

33 Trustee Johnson-Burick Yes
34

35 d) **APPROVAL: Junior Appropriation 23-ZH9202: \$75,000 Radio Transmission Upgrade –**
36 **Enrique Salas**

37 **Motion: To approve Junior Appropriation 23-ZH902: \$75,000 Radio Transmission Upgrade, Moved by**
38 **Mayor Pro Tem Merrick, Seconded by Trustee Johnson-Burick.**

39
40 **Roll Call Vote:** Motion passed (summary: Yes =3).

41 Mayor Pro Tem Merrick Yes

42 Trustee Cadena Yes

43 Trustee Johnson-Burick Yes
44

45 e) **APPROVAL: Maintenance Grounds/Facilities Worker – Mayor Barraza**

46 Mayor Barraza stated the committee recommends Alejandro Lazo for the position of Maintenance
47 Grounds/Facilities Worker.

48
49 **Motion: To approve Maintenance Grounds/Facilities Worker, Moved by Mayor Pro Tem Merrick,**
50 **Seconded by Trustee Johnson-Burick.**

1 **Roll Call Vote:** Motion passed (**summary:** Yes =3).
2 Mayor Pro Tem Merrick Yes
3 Trustee Cadena Yes
4 Trustee Johnson-Burick Yes
5

6 **f) APPROVAL: Utility Clerk/Receptionist – Mayor Barraza**

7 Mayor Barraza stated the committee recommends Ashley Padilla for the position of Utility Clerk/Receptionist.
8

9 **Motion: To approve Utility Clerk/Receptionist, Moved by Mayor Pro Tem Merrick, Seconded by**
10 **Trustee Johnson-Burick.**

11
12 **Roll Call Vote:** Motion passed (**summary:** Yes =3).
13 Mayor Pro Tem Merrick Yes
14 Trustee Cadena Yes
15 Trustee Johnson-Burick Yes
16

17 **g) Discussion: Department of Finance Assistance and Support – Mayor Barraza**

18 Mayor Barraza stated she would like the board's feedback on hiring someone to assist us in cleaning up our
19 financials. The New Mexico Municipal League has recommended contacting retired clerks. She spoke to Mr.
20 Fuentes to help us get back on track.
21

22 Trustee Johnson-Burick stated she would like to see the cost, timeframe and the services he would be
23 providing.
24

25 Mayor Pro Tem Merrick stated she does not have a problem with hiring someone to help; would also like to
26 see the cost of the services that will be provided.
27

28 Trustee Cadena stated since he was employed with the City of Roswell, he has direct knowledge of what is
29 needed.
30

31 Mayor Barraza stated Mr. Fuentes is familiar with the system. He was also the City Manager for the City of
32 Truth or Consequences and worked in the Town of Mesilla as Town Clerk/Treasurer under Mayor Cadena.
33

34 Trustee Cadena asked for a progress report on a regular basis.
35

36 Mayor Barraza stated she will meet with Mr. Fuentes and provide the requested information at the next
37 meeting.
38

39 **9. BOARD OF TRUSTEE COMMITTEE REPORTS**

40 Trustee Johnson-Burick: MPO meeting August 9th - City of Las Cruces.
41

42 Mayor Pro Tem Merrick: MPO meeting August 9th
43

44 Mayor Barraza: MPO meeting August 9th, NMML Resolution Committee Meeting last Saturday, SCRTD
45 meeting Wednesday, SCCOG meeting on Friday – Community Center
46

47 **10. BOARD OF TRUSTEE/STAFF COMMENTS**

48 Lieutenant Azcarate stated Officer Reyes is on duty. Officer Baca is 3 months away from graduation.
49

50 Mayor Pro Tem Merrick asked for an update on the sound system, PZHAC worksession and Lodger's Tax.
51

52 Mayor Barraza responded Mr. McGillivray will give an update on the sound system at the next meeting. A
53 worksession will be scheduled once the budget is completed.
54

1 Trustee Johnson-Burick stated she apologized for missing the last BOT meeting. She felt it was a disservice to
2 the board and the residents for not being notified of the Community meeting.
3

4 Trustee Cadena stated she is upset regarding the Taylor situation and asked if the town could reciprocate to
5 help them since what they are doing will enrich the Town of Mesilla.
6

7 Mayor Barraza stated they met with the NM Cultural Affairs staff and were told that the town needs to deal
8 with them directly. Reviewed the misunderstanding; town did an administrative approval so they could move
9 forward. The Open Meeting Act applies to all our boards and commissions. A Worksession and Special
10 Meeting will be held on Thursday at 4:00 p.m. The NMML Annual Conference will be held August 30th
11 through September 1st in Farmington; submit paperwork. Everyone needs to ride in their own vehicles.
12 SSCOG paid for her to attend the NALEO Conference. The organization asked her to sit on the panel for the
13 Community meeting. We will bring forth at the next meeting a contract for Mr. Fuentes, update on the sound
14 system. We continue to do research for the Lodger's Tax. City of Ruidoso has a software that would cost
15 \$20,000 to help with any Airbnb.
16

17 **11. ADJOURNMENT**

18 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-3).**

19
20 **MEETING ADJOURNED AT 7:15 P.M.**

21
22 **APPROVED THIS 28th DAY OF AUGUST, 2023.**
23
24
25
26

27 _____
28 **Nora L. Barraza**
29 **Mayor**

30 **ATTEST:**
31
32
33
34
35

36 _____
37 **Gloria S. Maya**
38 **Town Clerk/Treasurer**
39
40



Town of Mesilla, New Mexico

1
2
3 **THE BOARD OF TRUSTEES (BOT) OF THE TOWN OF MESILLA WILL HOLD A**
4 **WORKSESSION/SPECIAL MEETING AT THE MESILLA TOWN HALL,**
5 **2231 AVENIDA DE MESILLA.**

6 **THURSDAY, JULY 27, 2023 AT 4:00 P.M.**

7 **(BOT MEETING IMMEDIATELY FOLLOWING WORKSESSION)**

8 **MINUTES**

9
10
11 **Fiscal Year 2023-2024 Budget – Nora Barraza, Mayor**

12
13 Mayor Barraza reviewed Fiscal Year 2023-2024 Budget

14
15 Trustee Garcia: recommended increasing Business License, Community Center Rental, Building Permit
16 Fees

17
18 Mayor Barraza: Business License Fees set by State Statute.

19
20 Mayor Pro Tem Merrick: clarification on Court and General Matters in the Executive/Legislative fund and
21 Indigent cost

22
23 Ms. Maya: budget differences due to clearing the negatives within the department.

24
25 Trustee Garcia: reviewed the differences.

26
27 Trustee Johnson-Burick: asked about the carry-over discrepancies.

28
29 Mayor Barraza: reviewed the carryovers.

30
31 Mayor Pro Tem Merrick: reviewed the difference and asked where the extra funds are applied.

32
33 Mayor Barraza: GRTs came in over projection.

34
35 Trustee Garcia: amount in required reserve

36
37 Mayor Barraza: reserve is 1/12 of annual budget.

38
39 Trustee Johnson-Burick: asked where the extra money is applied.

40
41 Mayor Barraza: General Fund

42
43 Trustee Johnson-Burick: extra money can be used to address some of the town's needs.

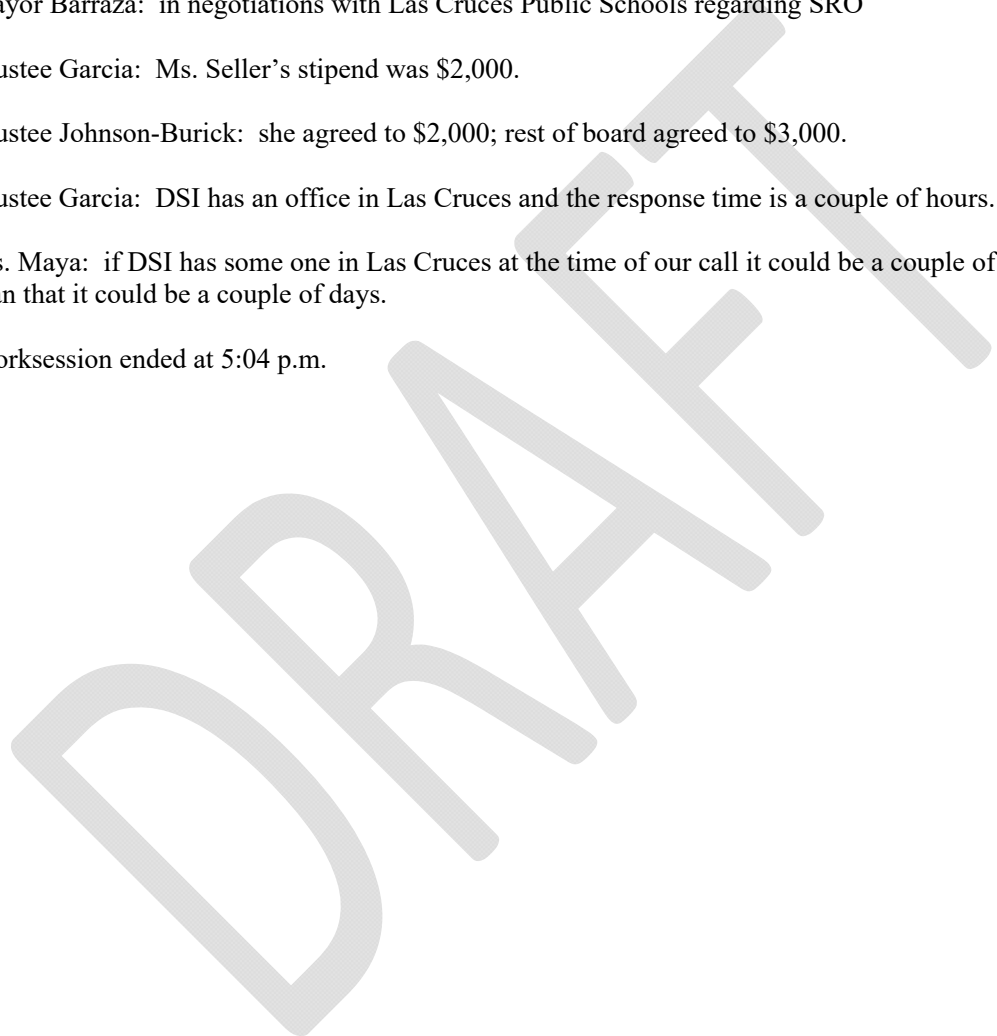
44
45 Trustee Garcia: asked about stipends.

46
47 Ms. Maya: stipends were kept as previously set up. Ms. Seller's stipend is done as a separate job code.

48
49 Mayor Barraza: stipends will not be given if certification is part of job description. Additional certification
50 will be given a stipend.

51
52 Ms. Maya: stipends will be a separate job code and paid for 26 pay periods.
53

1 Marshal Salas: recommends a one lump sum payment.
2
3 Trustee Garcia: concerned when employee leaves and has received payment.
4
5 Mayor Pro Tem Merrick: asked about Court Matters
6
7 Mayor Barraza: these funds pay for the attorney hired to represent the deputy in court cases.
8
9 Mayor Pro Tem Merrick: the court deficit was more than listed in final budget.
10
11 Ms. Maya: line items with a balance were used to cover deficits in other line items.
12
13 Mayor Barraza: in negotiations with Las Cruces Public Schools regarding SRO
14
15 Trustee Garcia: Ms. Seller's stipend was \$2,000.
16
17 Trustee Johnson-Burick: she agreed to \$2,000; rest of board agreed to \$3,000.
18
19 Trustee Garcia: DSI has an office in Las Cruces and the response time is a couple of hours.
20
21 Ms. Maya: if DSI has some one in Las Cruces at the time of our call it could be a couple of hours other
22 than that it could be a couple of days.
23
24 Worksession ended at 5:04 p.m.



25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57

1 **BOARD OF TRUSTEES SPECIAL MEETING**

2 **5:04 P.M.**
3 **MINUTES**

4
5
6 **TRUSTEES:** Nora Barraza, Mayor
7 Adrianna Merrick, Mayor Pro Tem
8 Biviana Cadena, Trustee (Absent)
9 Veronica Garcia, Trustee
10 Stephanie Johnson-Burick, Trustee
11

12
13 **STAFF:** Rod McGillivray, Public Works Director
14 Enrique Salas, Marshal
15 Greg Whited, Fire Chief
16 Ben Azcarate, Lieutenant
17 Gloria Maya, Town Clerk/Recorder
18

19 **PUBLIC:** Andrea Bryan Greg Lester
20 Catharine Walkinshaw Trina Witter
21
22
23

24 **1. PLEDGE OF ALLEGIANCE**

25 Mayor Barraza led the Pledge of Allegiance.
26

27 **2. ROLL CALL & DETERMINATION OF A QUORUM**

28 **Roll Call.**

29 **Present:** Mayor Barraza, Mayor Pro Tem Merrick, Trustee Cadena, Trustee Garcia, Trustee Johnson-Burick,
30 Trustee.
31

32 **3. CHANGES TO THE AGENDA & APPROVAL**

33 **Motion: To approve agenda, Moved by Mayor Pro Tem Merrick, Seconded by Trustee Garcia.**
34

35 **Roll Call Vote:** Motion passed (summary: Yes =3).

36 Mayor Pro Tem Merrick Yes

37 Trustee Garcia Yes

38 Trustee Johnson-Burick Yes
39
40

41 **4. PUBLIC INPUT – The public is invited to address the Board for up to 3 minutes.**

42 Ms. Walkinshaw stated packets are not being posted online as stated on the agenda.
43

44 **5. NEW BUSINESS**

- 45 a) **APPROVAL:** Resolution 2023-11: A resolution adopting the 2022-2023 Fiscal Year End
46 Financial Report for the Town of Mesilla.

47 **Motion: To approve Resolution 2023-11: A resolution adopting the 2022-2023 Fiscal Year End**
48 **Financial Report for the Town of Mesilla, Moved by Trustee Johnson-Burick, Seconded by Mayor Pro**
49 **Tem Merrick.**
50

51 Trustee Garcia requested investment and reserve amounts.
52

53 **Roll Call Vote:** Motion passed (summary: Yes =3).

54 Mayor Pro Tem Merrick Yes

55 Trustee Garcia Yes

1 Trustee Johnson-Burick Yes
2

3 **b) APPROVAL:** Resolution 2023-12: A resolution adopting the 2023-24 Fiscal Year Revenue and
4 Expenditures Budget for the Town of Mesilla

5 **Motion: To approve Resolution 2023-12: A resolution adopting the 2023-2023 Fiscal Year End**
6 **Expenditures Budget for the Town of Mesilla, Moved by Mayor Pro Tem Merrick, Seconded by Trustee**
7 **Garcia.**

8
9 **Roll Call Vote:** Motion passed (summary: Yes =3).

10 Mayor Pro Tem Merrick Yes

11 Trustee Garcia Yes

12 Trustee Johnson-Burick Yes
13
14

15 **6. APPROVAL:** Resolution 2023-13: Budget Adjustment #1 – FY2022-2023 *Removed from agenda*
16

17 **7. ADJOURNMENT**

18 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-3).**
19

20 **MEETING JOURNED AT 5:15 P.M.**

21
22 **APPROVED THIS 28th DAY OF AUGUST, 2023.**
23
24
25
26

27 _____
28 **Nora L. Barraza**
29 **Mayor**

30 **ATTEST:**
31
32
33
34

35 _____
36 **Gloria S. Maya**
37 **Town Clerk/Treasurer**
38
39
40
41
42

BOARD ACTION FORM

AGENDA DATE:

PZHAC: August 21, 2023

BOT: August 28, 2023

ITEM: PZHAC CASE # - Case #061687 - 2729 Calle de San Albino, submitted by Ruben & Elizabeth Smith, requesting approval to continue construction of the unfinished home on the property. Zone: Historical Residential (HR)

BACKGROUND AND ANALYSIS: Mr./Mrs. Smith have purchased the property and understand the primary home was red tagged due to the height of the structure exceeding town code and the structure encroaches into the rear set back. A fire wall needs to be installed to meet town code. Mr./Mrs. Smith will be modifying the plans to reduce the height of the structure and meet municipal code max height. Mr./Mrs. Smith has been in contact with CID inspector Thomas Maese and understand they will need to obtain a CID permit if this request is approved by the commission.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT COMMENTS:

- Town of Mesilla is excited to move forward on this project and finish constructing this home. It has been an eye sore for the community for some time being unfinished.
- Has submitted proof of ownership documents
- Looking for approval to continue construction
- Mr./Mrs. Smith were approved by PZHAC with the condition to stucco cement block wall on the premises. Un-stucco cinder block not allowed in the historic zone.

SUPPORTING INFORMATION:

- Application
- Identification
- Proof of Ownership
- Site Plan
- Elevations
- Floor Plans
- Roof Plans

TOWN OF MESILLA
APPLICATION FOR ZONING PERMIT

Permit Fee \$2929.00
 Review Fee \$ 310.50
 Total Fee \$ 3239.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061687 ZONE: HR CODE: NR APPLICATION DATE: 7/20/2023

RUBEN + ELIZABETH SMITH (575) 649-8795
 Name of Property Owner Donna Ana County Account/Parcel # Property Owner's Telephone #
2273 ESTANCA PL LAS CRUCES N.M. 88005
 Property Owner's Mailing Address City State Zip Code
SMITH RUBEN A @HOTMAIL.COM [REDACTED]
 Property Owner's E-mail Address Applicant's DL/ID Number
C.B. SMITH + SONS INC.
 Contractor's Name & Address (If none, indicate Self)
(575) 526-5411 on (575) 649-8795 0790
 Contractor's Telephone Number Contractor's License Number

Address of Proposed Work: 2229 CALLE SAN ALBINO
 Description of Proposed Work: COMPLETION OF BUILD OUT

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. Site plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Window replacement, need data sheet of new windows.
3. Foundation plan, new construction plans in full size drawings.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of property ownership (Warranty Deed/Property Tax Receipt)
8. Drainage plan (commercial).
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Valid government issues identification (Driver License/ID/Passport)

\$ 200,000 [REDACTED] 7-15-23
 Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. All zoning permits expire after one year from date issued.
*****ALL permits must be displayed in clear view until final inspection*****

FOR OFFICIAL USE ONLY

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

CID PERMIT/INSPECTION REQUIRED: YES NO

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____



NEW MEXICO ASSOCIATION OF REALTORS® — 2023 PURCHASE AGREEMENT – RESIDENTIAL RESALE



TRANSACTION COORDINATORS are licensed Brokers who have been engaged by the Broker as indicated above to assist the Broker in the processing of the transaction, which may include gathering information and paperwork, overseeing, and organizing contractual deadlines, communicating, and coordinating with lenders, title companies, inspectors, other Brokers, and the parties to the contract to facilitate the Closing of the transaction, and assembling the final transaction file for Closing. **TCs OWE BROKER DUTIES AS SET FORTH ON COVER PAGE 1. ATTN TCs: USE NMAR FORM 2100 TO MAKE ANY DISCLOSURES REQUIRED BY BROKER DUTIES.**

- Buyer is a New Mexico Real Estate Broker Seller is a New Mexico Real Estate Broker
 Buyer is a party to another Buyer-Broker Agreement

BUYER(S)

| | | | |
|----------------------|----------------|------------|---------|
| <i>Ruben A Smith</i> | Ruben A. Smith | 07/02/2023 | 2:49 PM |
| Buyer Signature | Printed Name | Date | Time |

| | | | |
|--------------------------|--------------------|------------|---------|
| <i>Elizabeth S Smith</i> | Elizabeth S. Smith | 07/02/2023 | 3:01 PM |
| Buyer Signature | Printed Name | Date | Time |

SELLER(S)

| | | | |
|------------------------------|-----------------------|------|------|
| <i>Ignacio L. Bustamante</i> | Ignacio L. Bustamante | | |
| Seller Signature | Printed Name | Date | Time |

| | | | |
|------------------------------|-----------------------|------|------|
| <i>Natalia S. Bustamante</i> | Natalia S. Bustamante | | |
| Seller Signature | Printed Name | Date | Time |

THE FOLLOWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
BROKERS ARE NOT PARTIES TO THIS PURCHASE AGREEMENT.

BUYER'S BROKER(S)

| | | |
|--|---|--|
| <i>Eileen F Hernandez</i> | <i>Amy E. Hummer</i> | 19741 |
| Buyer's Broker Name | Buyer's Broker's Qualifying Broker's Name and NMREC License No. | |
| <i>BHGRE Steinborn & Associates</i> | <i>575-522-3698</i> | <i>575 621-7653</i> <i>eileenhernandez@steinborn.com</i> |
| Buyer's Brokerage Firm | Office Phone | Cell Phone Email Address |
| <i>141 N. Roadrunner Parkway Ste 141</i> | <i>Las Cruces</i> | <i>NM 88011</i> |
| Buyer's Brokerage Address | City | State Zip Code |

Broker is is not a REALTOR®

| | | | |
|---------------------------|---|------------|---------------|
| Buyer's Broker Name | Buyer's Broker's Qualifying Broker's Name and NMREC License No. | | |
| Buyer's Brokerage Firm | Office Phone | Cell Phone | Email Address |
| Buyer's Brokerage Address | City | State | Zip Code |

Broker is is not a REALTOR®

SELLER'S BROKER(S)

| | | |
|---|--|---|
| <i>Eileen F Hernandez</i> | <i>Amy E. Hummer</i> | 19741 |
| Seller's Broker Name | Seller's Broker's Qualifying Broker's Name and NMREC License No. | |
| <i>BHGRE Steinborn & Associates</i> | <i>(575) 522-3698</i> | <i>575621-7653</i> <i>eileenhernandez@steinborn.com</i> |
| Seller's Brokerage Firm | Office Phone | Cell Phone Email Address |
| <i>141 N. Roadrunner Parkway</i> | <i>Las Cruces</i> | <i>NM 88011</i> |
| Seller's Brokerage Address | City | State Zip Code |

Broker is is not a REALTOR®

| | | | |
|----------------------------|--|------------|---------------|
| Seller's Broker Name | Seller's Broker's Qualifying Broker's Name and NMREC License No. | | |
| Seller's Brokerage Firm | Office Phone | Cell Phone | Email Address |
| Seller's Brokerage Address | City | State | Zip Code |

Broker is is not a REALTOR®

BAS
ESS
 SELLER(S) *[Signatures]*



NEW MEXICO ASSOCIATION OF REALTORS® — 2023 PURCHASE AGREEMENT – RESIDENTIAL RESALE

- | | |
|---|--|
| <input type="checkbox"/> Buyer's Sale Contingency Addendum (NMAR Form 2503) | <input type="checkbox"/> Residential Resale Condominium Addendum (NMAR Form 2302) |
| <input type="checkbox"/> Escalation Clause Addendum (NMAR Form 2111) | <input type="checkbox"/> Septic System Contingency Addendum (NMAR Form 5120A) |
| <input checked="" type="checkbox"/> Estimated Property Tax Levy | <input type="checkbox"/> Inspection and Objection Waiver Addendum (NMAR Form 5140) |
| <input type="checkbox"/> Lead-Based Paint Addendum (NMAR Form 5112) | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Other _____ | |

49. EXPIRATION OF OFFER. This offer shall expire unless acceptance is delivered in writing to Buyer or Buyer's Broker on or before July 3 2023, at 3:00 a.m. p.m. Mountain Time. **NOTE: UNTIL SELLER ACCEPTS THIS OFFER AND DELIVERS THE FULLY EXECUTED AGREEMENT, BUYER MAY WITHDRAW THIS OFFER AT ANY TIME.**

⚠ ATTENTION BUYERS AND SELLERS ⚠

- **OBLIGATIONS/RESPONSIBILITIES SET FORTH HEREIN.** Unless otherwise noted on Cover Page II, the Brokers involved in this sale are working as transaction brokers. This means, in part, that the obligations and responsibilities set forth in this Purchase Agreement are those of the parties to the Purchase Agreement and not of the Brokers.
- **AVAILABILITY OF INSPECTORS.** Buyers are encouraged to determine the availability of home and other inspectors the Buyer intends to engage **PRIOR TO** entering into this Agreement. Events may impact the availability of home and other inspectors and vendors needed to conduct inspections and/or repairs. The parties should be aware of this when setting deadlines for inspections and repairs and are expected to deviate from their primary selection(s) of inspectors and/or vendor(s) when necessary to meet the inspection and repair deadlines in this Agreement.
- **WIRE FRAUD ALERT**
 - Criminals are hacking email accounts of real estate Brokers, title companies, settlement attorneys and others, resulting in fraudulent wire instructions being used to divert funds to the account of the criminal.
 - The emails look legitimate, but they are not.
 - Buyer and Seller are advised not to wire any funds without personally speaking with the intended recipient of the wire to confirm the routing number and the account number.
 - Buyer and Seller should **NOT** send personal information such as social security numbers, bank account numbers and credit card numbers except through secured email or personal delivery to the intended recipient.

OFFER BY BUYER

BUYER ACKNOWLEDGES THAT BUYER HAS READ THE ENTIRE PURCHASE AGREEMENT AND UNDERSTANDS THE PROVISIONS THEREOF.

| | | | |
|--|---|---|--------------------------------|
| <small>Authentic Signature</small> <small>Buyer Signature</small> | Ruben A. Smith <small>Printed Name</small> | 07/02/2023 <small>Offer Date</small> | 2:49 PM <small>Time</small> |
| <small>Buyer Signature</small> | Elizabeth S. Smith <small>Printed Name</small> | 07/02/2023 <small>Offer Date</small> | 3:01 PM <small>Time</small> |

If additional signature lines are needed, please use NMAR Form 1150 – Signature Addendum

SELLER(S)



**NEW MEXICO ASSOCIATION OF REALTORS® — 2023
PURCHASE AGREEMENT – RESIDENTIAL RESALE**

SELLER'S RESPONSE

SELLER ACKNOWLEDGES THAT SELLER HAS READ THIS ENTIRE AGREEMENT AND UNDERSTANDS THE PROVISIONS HEREOF. (SELLER SHOULD SELECT ONE):

ACCEPTANCE

SELLER ACCEPTS this Offer and **AGREES** to sell the Property for the price and on the terms and conditions specified in this Agreement. **IF SELLER IS ACCEPTING THIS OFFER, SELLER SHOULD INITIAL ALL PAGES AND SIGN BELOW.**

SELLER(S)

| | | | |
|-----------------------------|-----------------------|--------|------|
| <i>Ignacio L Bustamante</i> | Ignacio L. Bustamante | 7/2/23 | |
| Seller Signature | Printed Name | Date | Time |
| <i>Natalia G Bustamante</i> | Natalia G. Bustamante | 7/2/23 | |
| Seller Signature | Printed Name | Date | Time |

If additional signature lines are needed, please use NMAR Form 1150 – Signature Addendum

COUNTEROFFER

SELLER REJECTS and submits a **Counteroffer**. NMAR 5102 or NMAR 2111B

IF SELLER IS REJECTING THIS OFFER AND SUBMITTING A COUNTEROFFER, SELLER SHOULD NOT SIGN THIS AGREEMENT, BUT SHOULD INITIAL ALL PAGES AND INITIAL BELOW.

SELLER(S) _____

NOTIFICATION OF MULTIPLE OFFERS

SELLER REJECTS and submits a **Notification of Multiple Offers**. NMAR 5103 – Notification of Multiple Offers

IF SELLER IS REJECTING THIS OFFER AND SUBMITTING A NOTIFICATION OF MULTIPLE OFFERS, SELLER SHOULD NOT SIGN THIS AGREEMENT AND DOES NOT NEED TO INITIAL ANY /ALL PAGES BUT SHOULD INITIAL BELOW.

SELLER(S) _____

REJECTION

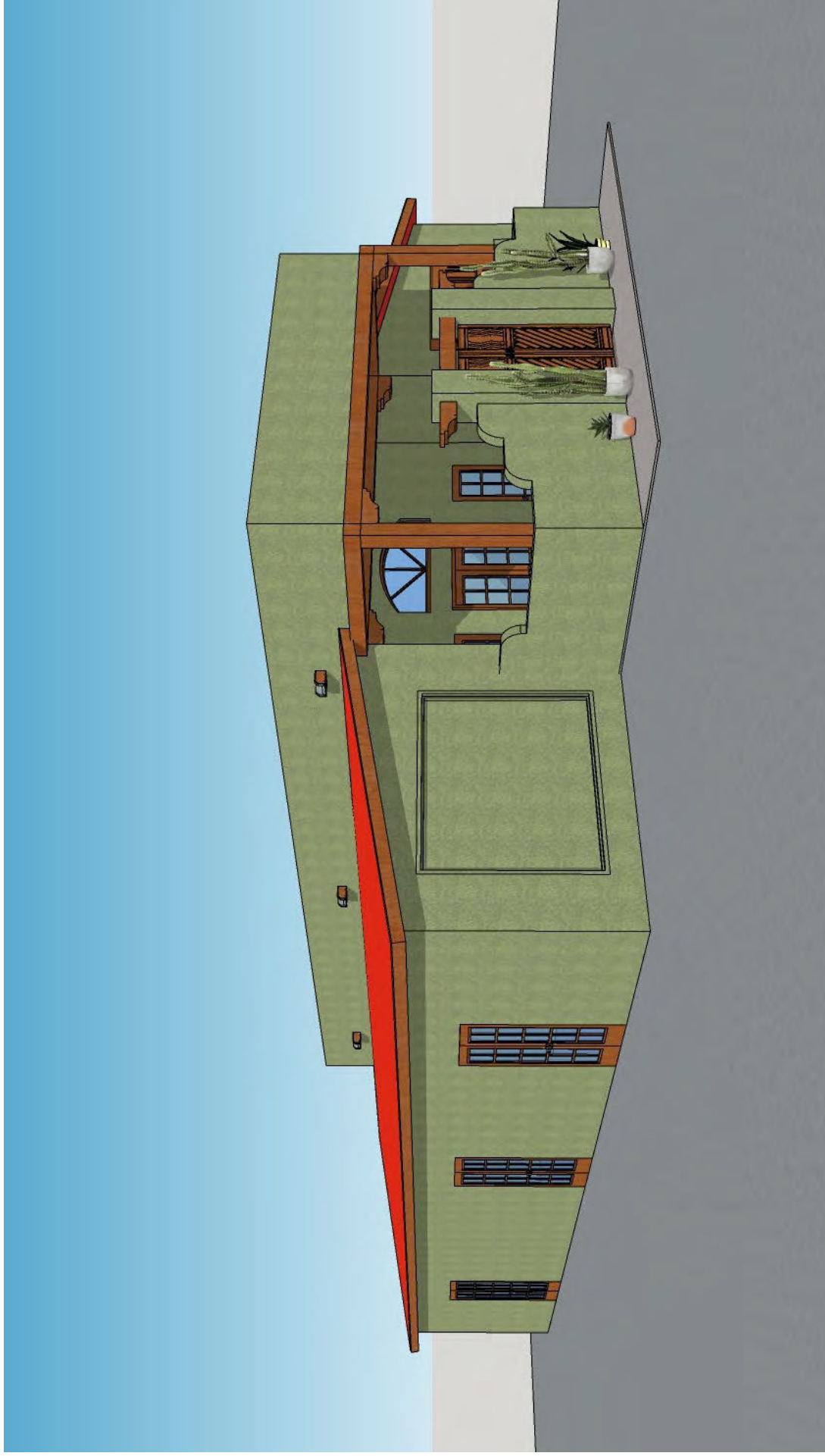
SELLER REJECTS THIS OFFER.

IF SELLER IS REJECTING THIS OFFER, SELLER SHOULD NOT SIGN THIS AGREEMENT AND DOES NOT NEED TO INITIAL ANY/ALL PAGES BUT SHOULD INITIAL BELOW.

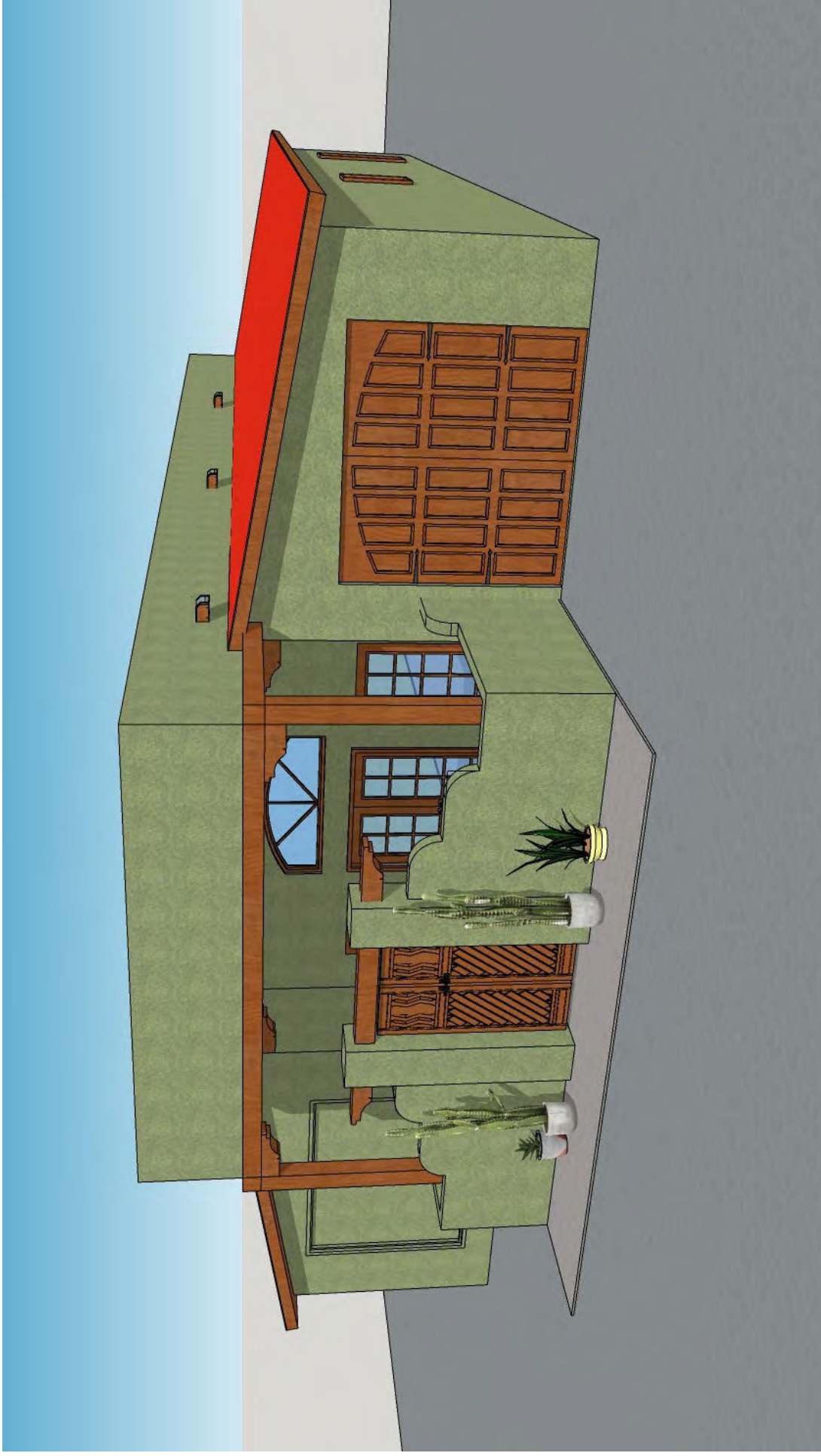
SELLER(S) _____

2729 Calle de San Albino
CONCEPTUAL PERSPECTIVE

DRAFTING BY:

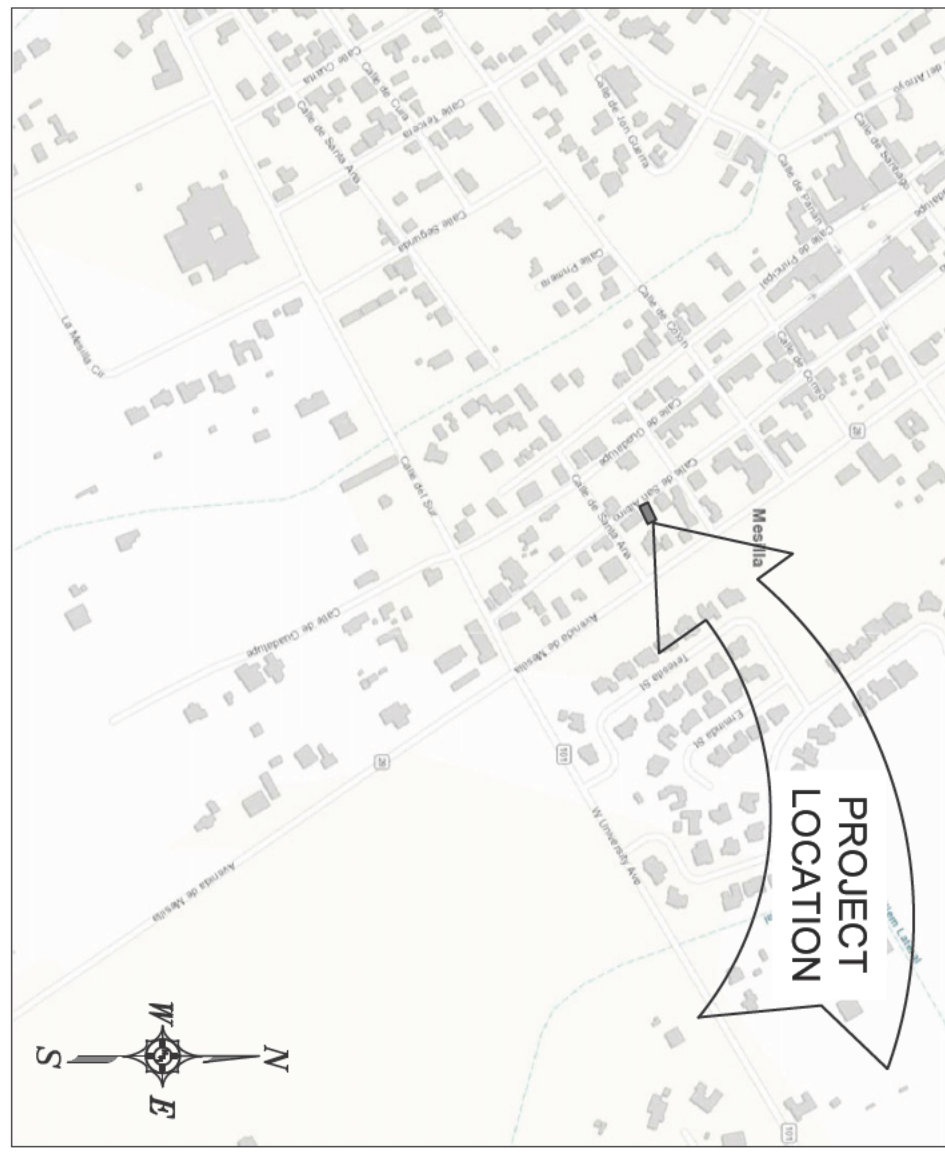


2729 Calle de San Albino
CONCEPTUAL PERSPECTIVE



DRAFTING BY:

NAVA TECH INC.
csn@nava-techinc.com | ASSOCIATES
CONSTRUCTION PLAN PRODUCTION & COORDINATION



CODE DATA

Address
2729 CALLE DE SAN ALBINO
MESILLA, NM 88046

AREA CALCULATION

| | |
|-------------|----------------------|
| AREA | 2,442 sq. ft. |
| HEATED | 275 sq. ft. |
| FRONT PORCH | |
| NEW | 2,717 sq. ft. |

BUILDING DATA

OCCUPANCY CLASSIFICATION:
 ALL RESIDENTIAL - SINGLE FAMILY DWELLING
 ALL RESIDENTIAL WINDOWS MEET THE MINIMUM REQUIREMENTS FOR EGRESS
 ALL BEDROOMS ARE EQUIPPED WITH A SMOKE AND CARBON MONOXIDE DETECTOR
 COMINATION CARBON SMOKE AND MONOXIDE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND UL 217.

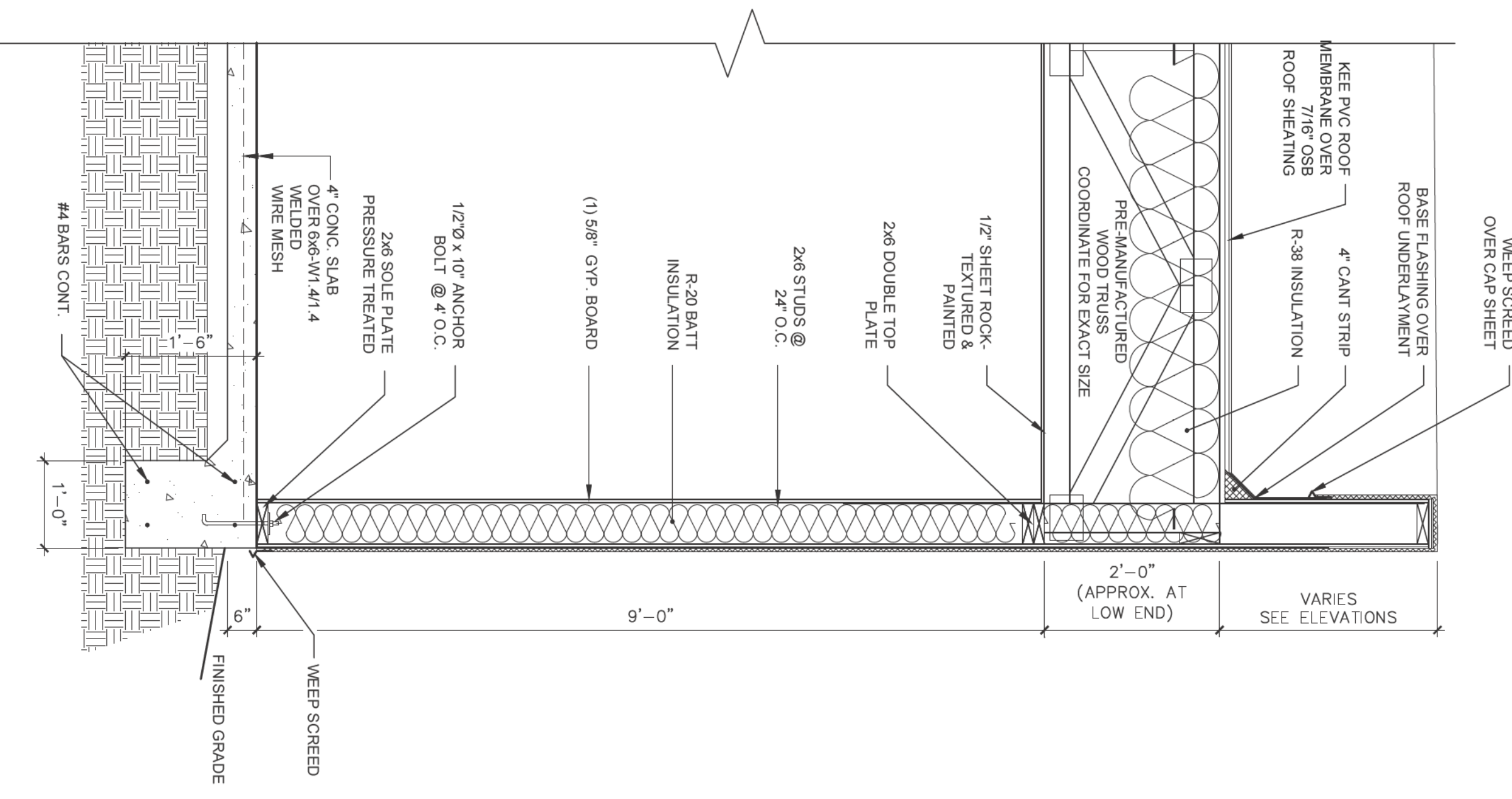
DESIGN LOADS:
 ROOF LIVE LOAD 20 PSF
 FLOOR LIVE LOAD 40 PSF

SEISMIC:
 SEISMIC GROUP B
 SEISMIC ANALYSIS TYPE: ANALYSIS
 SEISMIC ANALYSIS FACTOR: 1 = 1.0
 CHLMT. ZONE: 2B
 RISK CATEGORY: 1
 PRESSURE (0.30 FT) = 20 PSF
 3.5-COMPO. DISTD. 1.5 W/HP
 IMPORTANCE FACTOR: 1 = 0.87
 Exposure: "C"

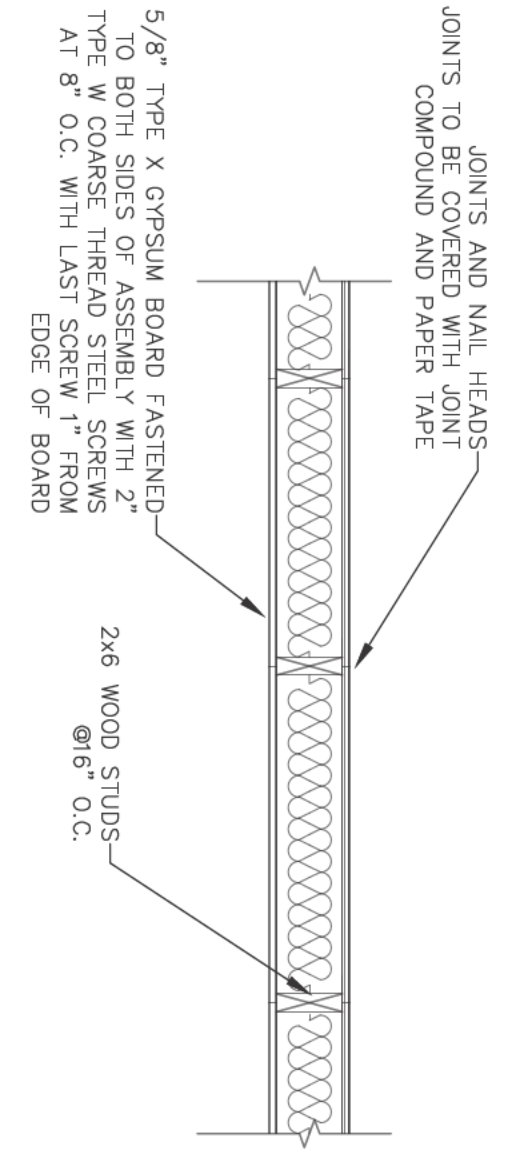
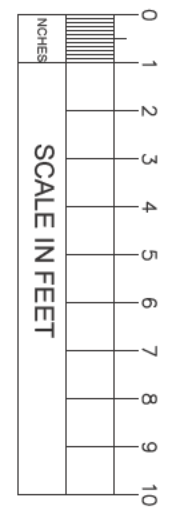
CODE REFERENCE

2015 INTERNATIONAL RESIDENTIAL CODE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 2021 INTERNATIONAL MECHANICAL CODE
 2021 INTERNATIONAL PLUMBING CODE
 2015 INTERNATIONAL EXISTING BUILDING CODE
 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE
 2017 NATIONAL ELECTRICAL CODE
 2015 INTERNATIONAL FIRE CODE
 All current NM Codes can be found at the following link:
<http://www.nm.gov/development/building-codes.aspx>

NOTE:
 IT IS THE GENERAL CONTRACTOR AND FRAMING SUBCONTRACTORS RESPONSIBILITY TO BE KNOWLEDGEABLE ON 1 HOUR FIRE BARRIER DESIGN NUMBER U-305. A SPECIFICATION SHEET OF THIS DESIGN TESTED IN ACCORDANCE WITH UNDERWRITERS LABORATORIES AND TEST U-263 HAS BEEN FURNISHED TO GENERAL CONTRACTOR BY DESIGNER.

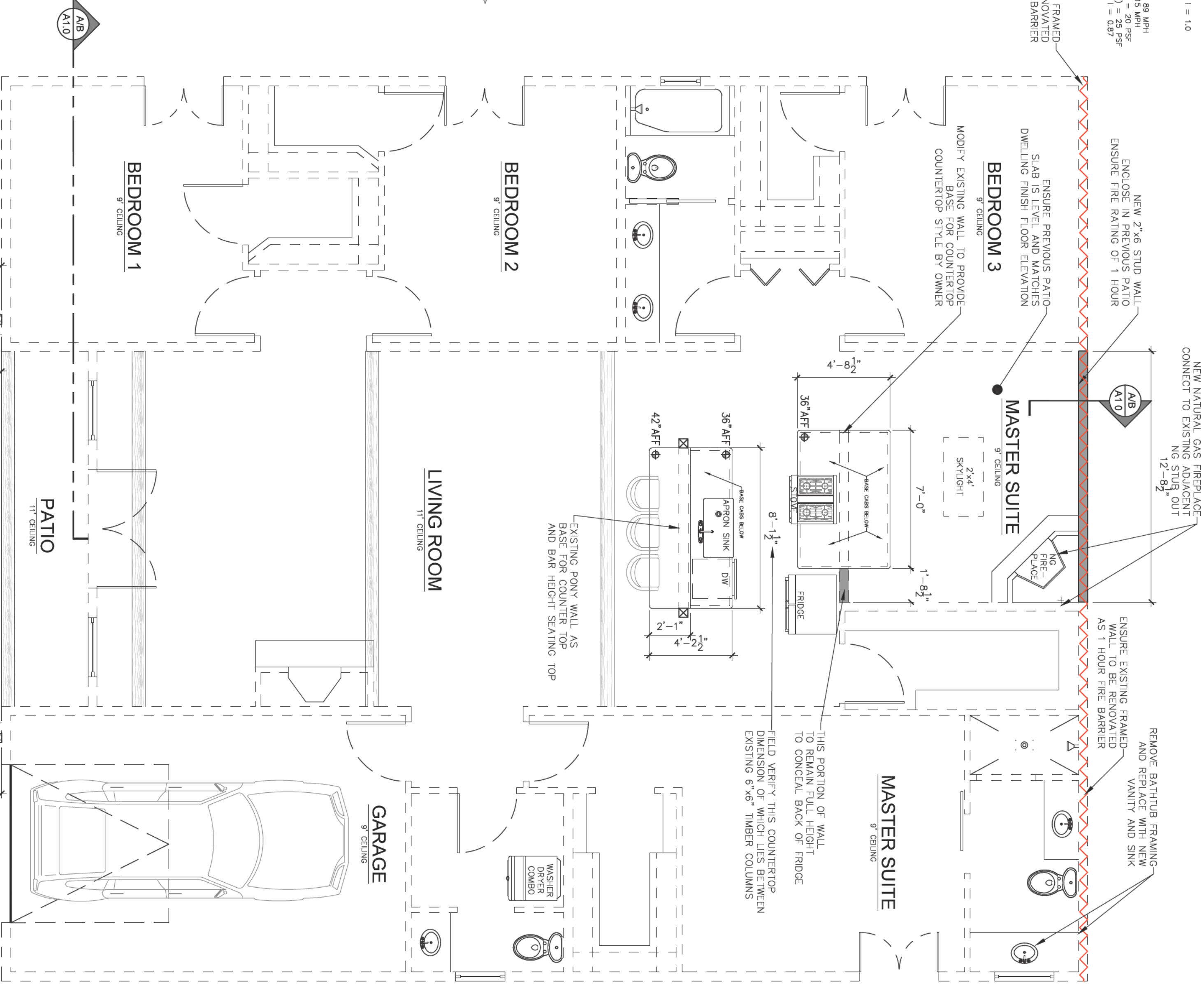


WALL SECTION
 A1.0 SCALE: 3/4"=1'-0"



FIRE BARRIER PLAN
 UL 263 DESIGN NO. U305
 A1.0 SCALE: 3/4"=1'-0"

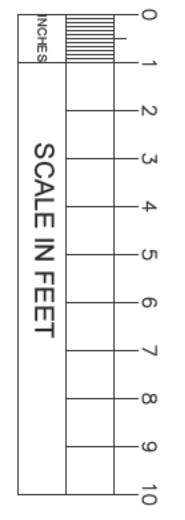
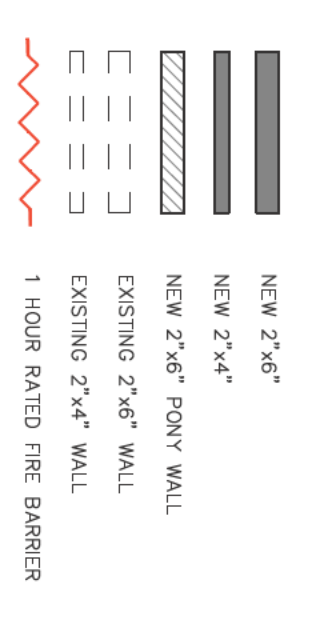
FLOOR PLAN
 A1.0 SCALE: 1/4"=1'-0"



GENERAL NOTES:

- THIS NEW DESIGN IS DRAFTED IN CONJUNCTION OF OWNER PROVIDED AS BUILT'S. NAVA-TECH HAS TAKEN ALL PRECAUTION TO ENSURE ACCURACY OF EXISTING DIMENSIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS SHOWN ON THESE PLANS.
- NEW WINDOW AND DOOR SIZES ARE CALLED OUT. EXISTING DOOR AND WINDOW SIZES ARE NOT SHOWN FOR COMMUNICATION OF CLARITY.
- FURNITURE SHOW IS FOR DIAGRAMMATICAL PURPOSES ONLY.
- CONTRACTOR GRANTED PERMISSION TO MODIFY SIZE OF STUD FOR INTERIOR WALLS ONLY. SHOULD DIMENSIONS BE SHOWN IN SMALL PRINT, STUDS ARE CALLED OUT IN THEIR NOMINAL SIZE: 2x4"
- INTERIOR NONBEARING WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- INTERIOR BEARING WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- EXTERIOR BEARING WALLS TO BE 2x6 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL FIXTURES & APPLIANCES TO BE CHOSEN BY OWNER.
- USE FIRE STOPS PER I.F.C., I.B.C. OR LOCAL CODE REQUIREMENTS.
- ALL DIMENSIONS SHOWN ARE FROM LEADING OR TRAILING FACE OF STUD. STUDS ARE DRAWN ACTUAL SIZE FOR LABELING PURPOSES. STUDS ARE CALLED OUT IN THEIR NOMINAL SIZE: 2x4"
- WALL INSULATION: R-20 OR R-13 CAVITY PLUS R-3.8 CONTINUOUS INSULATION.
- ROOF/ATTIC INSULATION: R-38.
- INTERIOR WALLS TO BE SHEET ROCKED, TAPERED, TEXTURED, AND PAINTED.
- ALL ANGLED WALLS TO BE 45° ANGLES UNLESS OTHERWISE NOTED.

WALL LEGEND



| REVISIONS | BY: |
|-----------|-----|
| | |
| | |
| | |



1615 S. Solano Dr.
 Las Cruces, NM 88001
 Office: (575) 541-5050
 Fax: (575) 522-8080
 Email: csn@nava-techinc.com

NEW RENOVATIONS - SINGLE FAMILY DWELLING

RUBEN SMITH RESIDENCE

PROPOSED FLOOR PLAN

Address
 2729 CALLE DE SAN ALBINO
 MESILLA, NM 88046

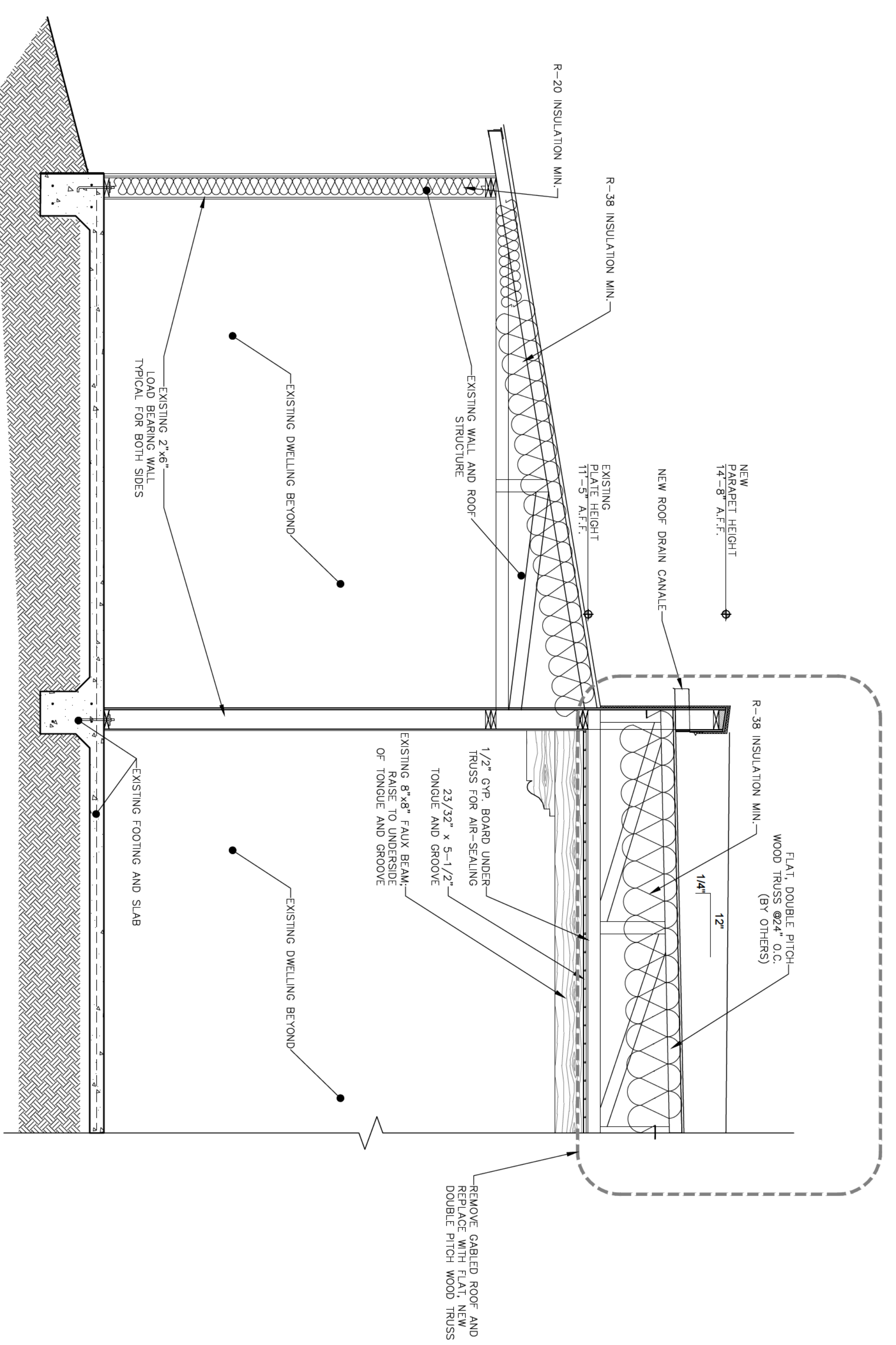
DRAWING BY:
 CNA

DATE:
 AS NOTED

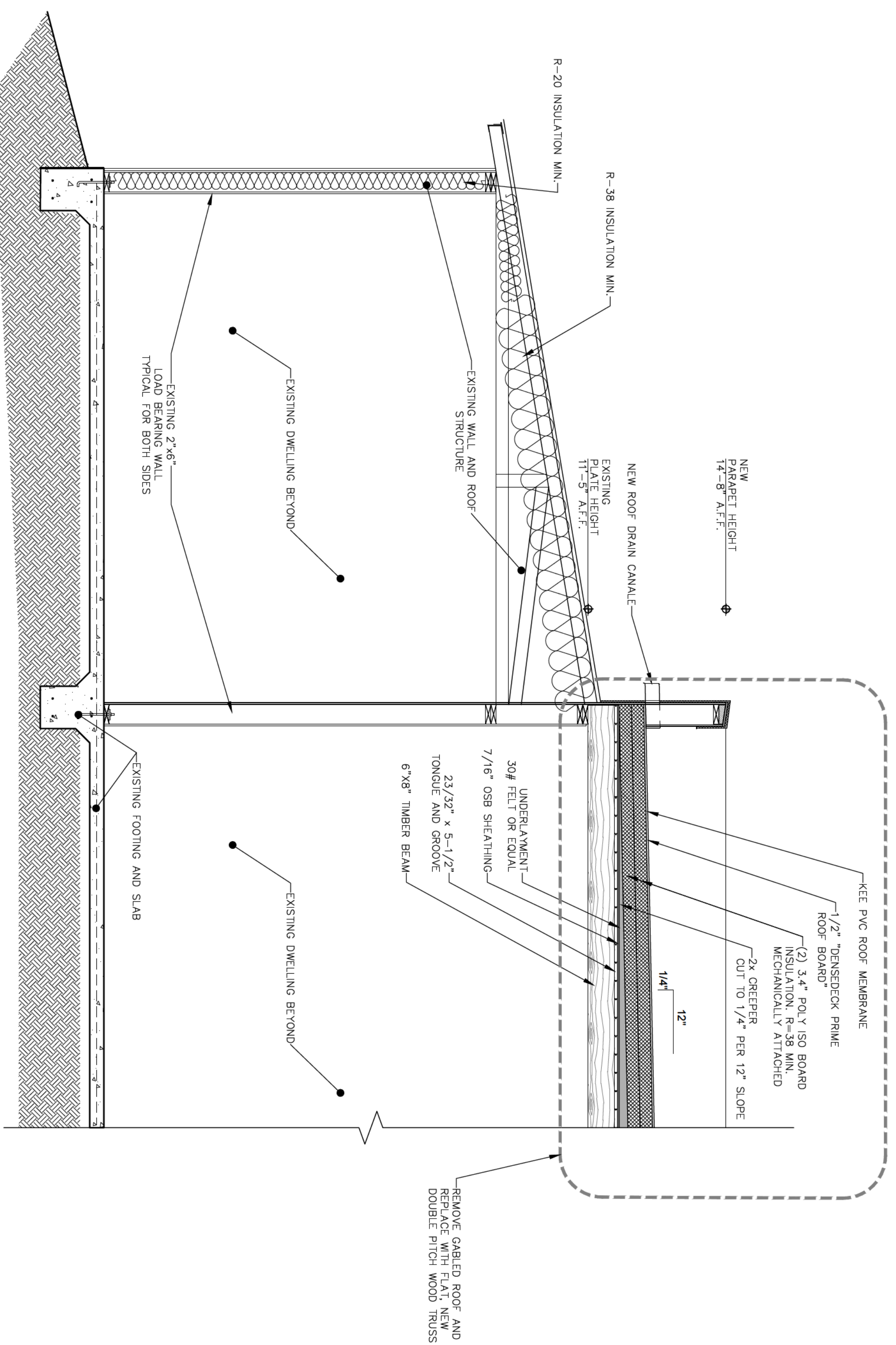
SCALE:
 AS NOTED

SHEET NO.
A1.0

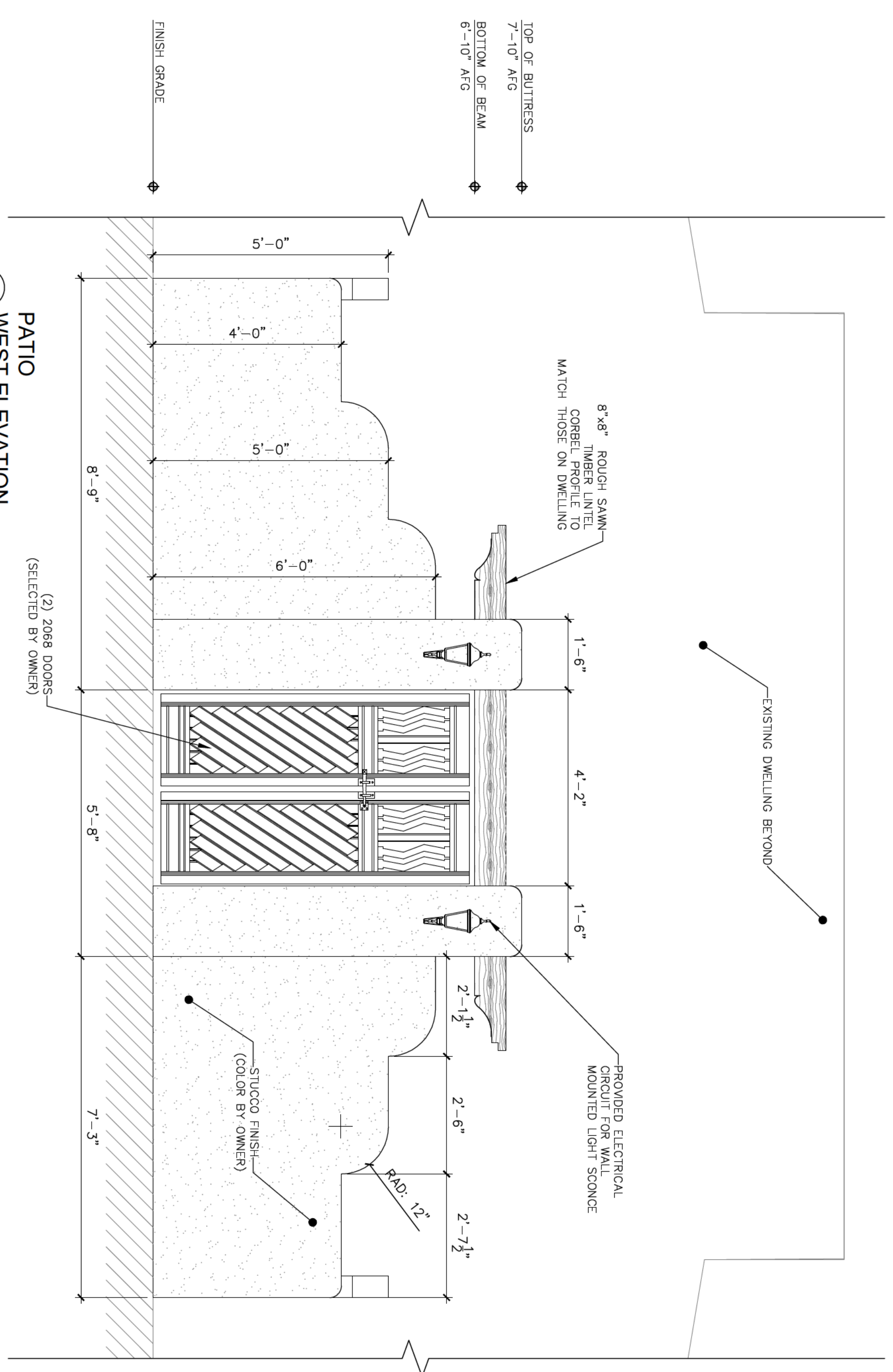
SHEET SIZE: 36"X24"



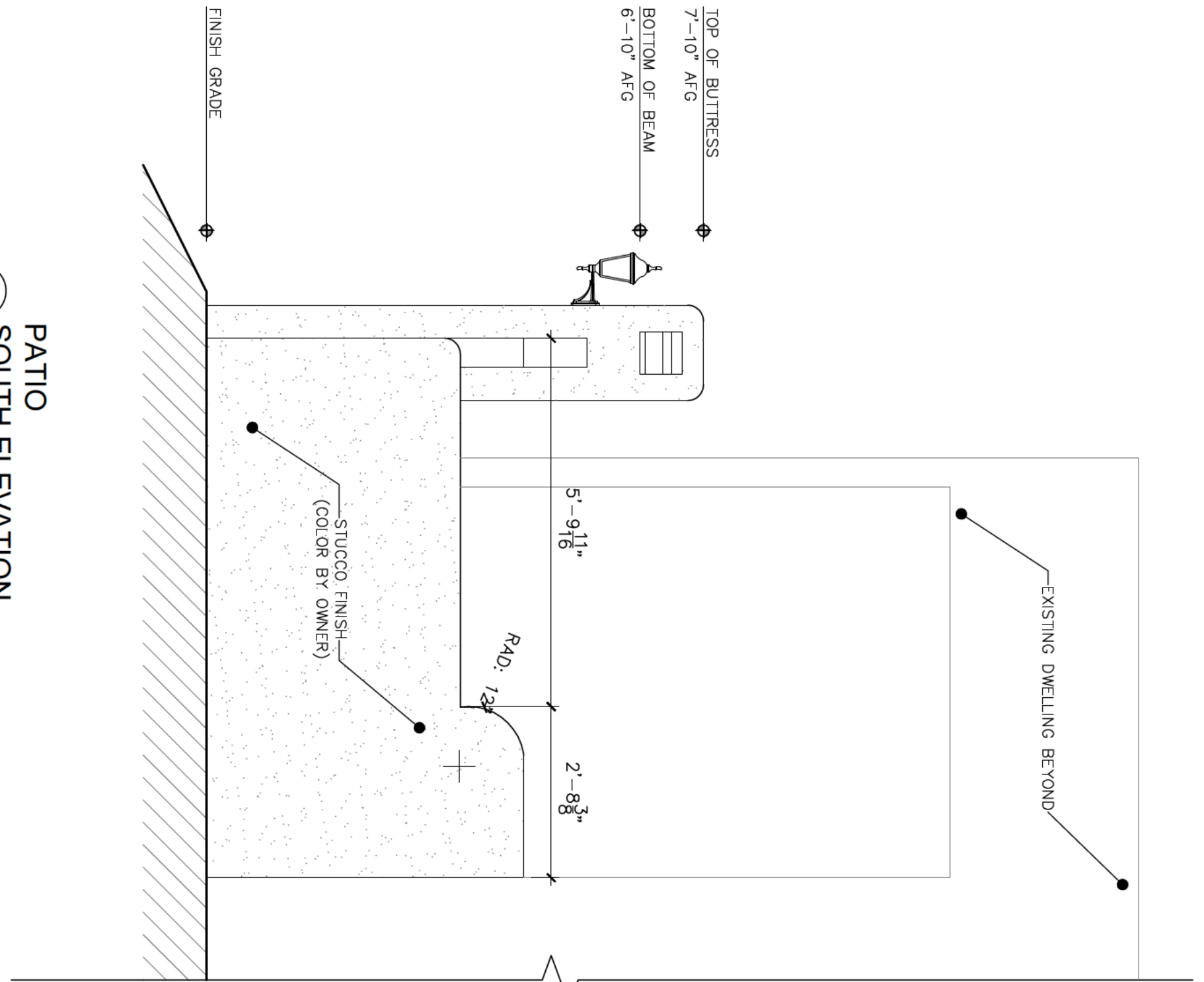
1.1 BUILDING SECTION
SCALE: 1/2"=1'-0"



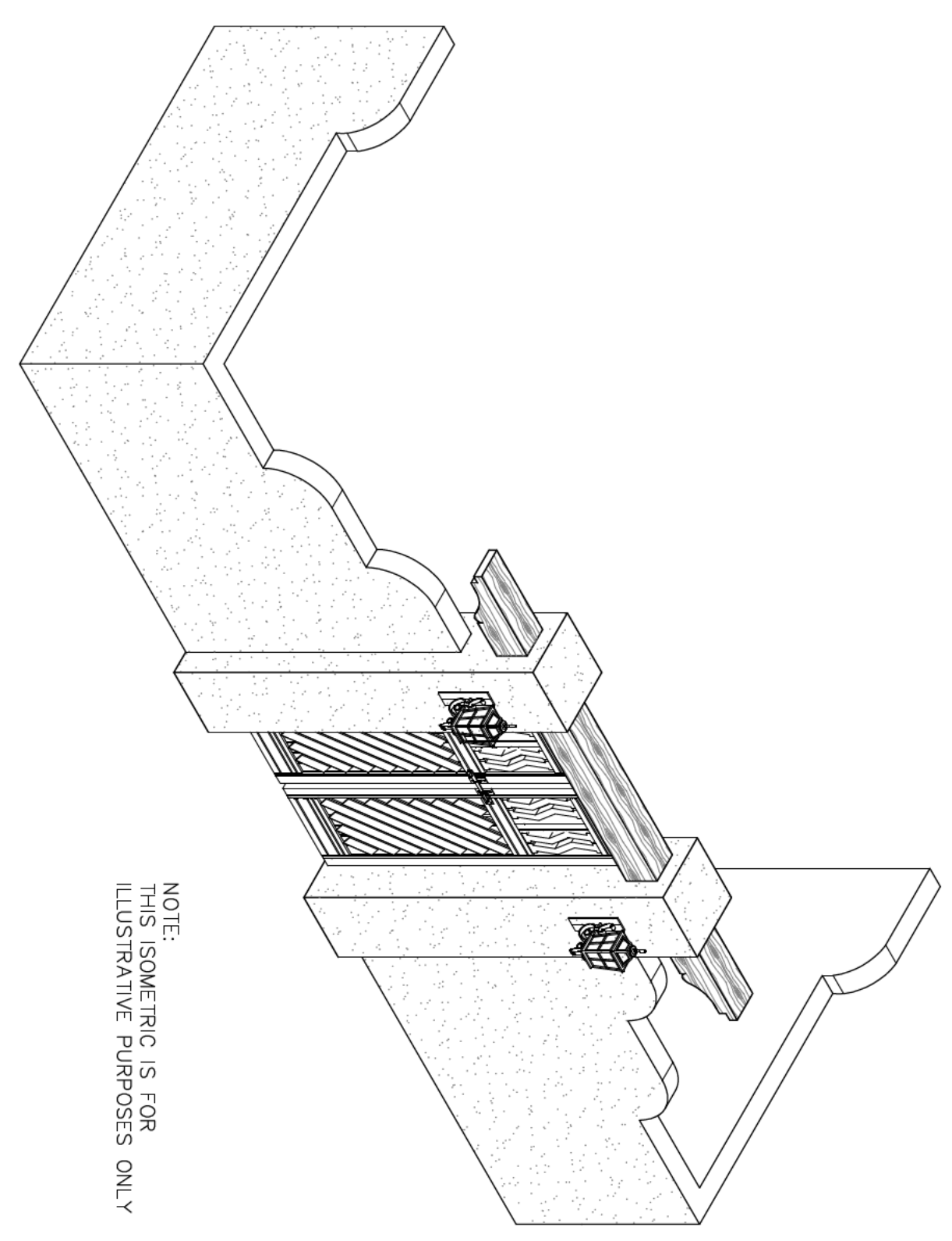
1.1 BUILDING SECTION
SCALE: 1/2"=1'-0"



2. WEST ELEVATION
SCALE: 1/2"=1'-0"



3. SOUTH ELEVATION
SCALE: 1/2"=1'-0"



4. ISOMETRIC
SCALE: N.T.S.

NOTE:
THIS ISOMETRIC IS FOR
ILLUSTRATIVE PURPOSES ONLY

NEW RENOVATIONS - SINGLE FAMILY DWELLING

RUBEN SMITH RESIDENCE

DETAILS; PATIO ELEVATIONS

Address
2729 CALLE De SAN ALBINO
MESILLA, NM 88046

NAVA TECH INC.
AND ASSOCIATES
CONSTRUCTION PLAN PRODUCTION & COORDINATION

1615 S. Solano Dr.
Las Cruces, NM 88001
Office: (575) 541-5050

Fax: (575) 522-6060
Email: csn@nava-techinc.com

| REVISIONS | BY: |
|-----------|-----|
| | |
| | |
| | |

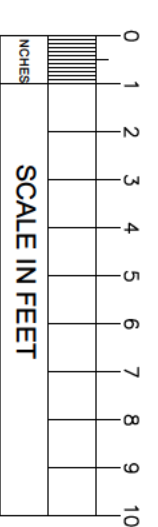
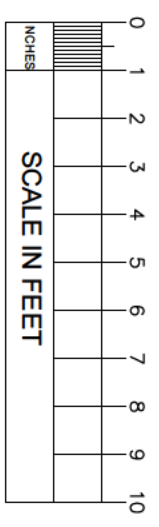
DRAWING BY:
CAN

DATE:
AS NOTED

SCALE:
AS NOTED

SHEET NO:
A2.0

SHEET SIZE: 36"X24"



ELECTRICAL LEGEND

MUST COMPLY WITH NEC 210.12

| | | | |
|---|---|---|-------------------------------|
| ⊕ | - SWITCH TOP OUTLET | ⊕ | - GAS |
| ⊕ | - SWITCH | ⊕ | - TELEPHONE/DATA OUTLET BOX |
| ⊕ | - W/R-SWITCH WITH REMOTE | ⊕ | - WALL MOUNT LIGHT FIXTURE |
| ⊕ | - THREE WAY SWITCH | ⊕ | - CEILING MOUNT LIGHT FIXTURE |
| ⊕ | - FOUR WAY SWITCH | ⊕ | - RECESSED LIGHT |
| ⊕ | - DIMMER/ SWITCH | ⊕ | - DIRECTIONAL RECESSED LIGHT |
| ⊕ | - CEILING FAN REMOTE | ⊕ | - UNDER CAB. LIGHT |
| ⊕ | - GARBAGE DISPOSAL | ⊕ | - DOOR BELL CHIME BOX |
| ⊕ | - GARAGE DOOR OPENER | ⊕ | - PATH LIGHTING |
| ⊕ | - 120 VOLT FLOOR RECP | ⊕ | - ELECTRICAL PANEL |
| ⊕ | - 120 VOLT FLOOR RECP | ⊕ | - MOTION SENSOR |
| ⊕ | - 120 VOLT CING. RECP | ⊕ | - WEATHER PROOF |
| ⊕ | - 120 VOLT QUAD RECP | ⊕ | - GARAGE DOOR OPENER |
| ⊕ | - 220 VOLT RECP | ⊕ | - WALL MOUNTED |
| ⊕ | - 120 VOLT RECP @ 42" AFF. | ⊕ | - 4' or 8' LED SHIP LIGHT |
| ⊕ | - GROUND FAULT CIRCUIT INTERRUPTER RECP | ⊕ | - CEILING FAN W/ LIGHT |
| ⊕ | | ⊕ | - SOLAR TUBING |

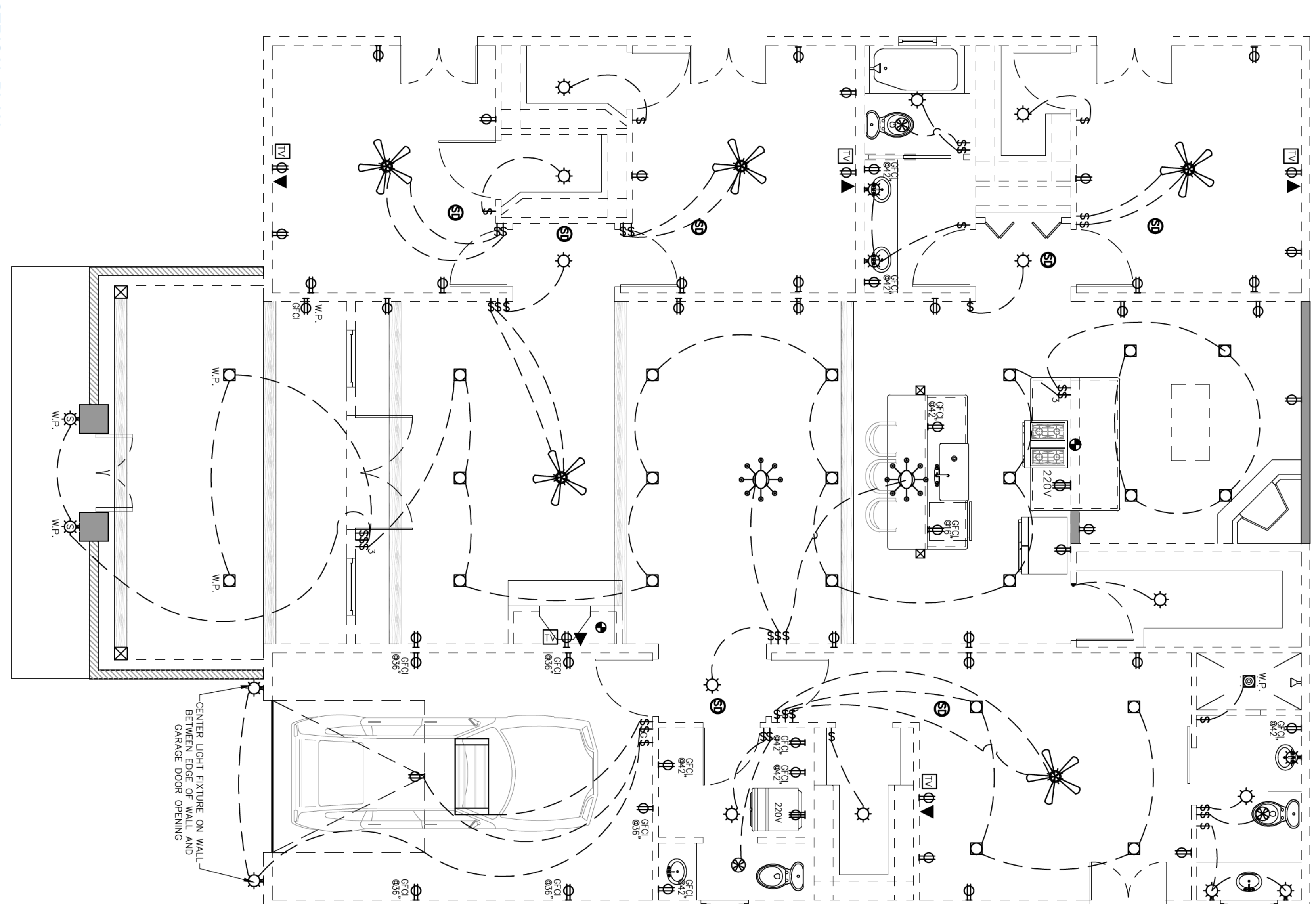
ELECTRICAL NOTES:

1. ALL EXTERIOR LIGHT FIXTURES AND OUTLETS TO BE WEATHERPROOF.
2. ELECTRICIAN TO SIZE AND LOCATE PANEL AND SERVICE.
3. ELECTRICIAN TO PROVIDE POWER TO AC UNITS.

ELECTRICAL NOTES

210.12 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION SHALL BE PROVIDED AS REQUIRED IN 210.12(A), (B), AND (C). THE ARC-FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.

(A) DWELLING UNITS, ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, RECREATION ROOMS, BATHS, BEDROOMS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY ANY OF THE MEANS DESCRIBED IN 210.12(A)(1) THROUGH (6).



ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



NEW RENOVATIONS - SINGLE FAMILY DWELLING

RUBEN SMITH RESIDENCE

ELECTRICAL PLAN

Address
2729 CALLE De SAN ALBINO
MESILLA, NM 88046

NAVA TECH INC.
AND ASSOCIATES
CONSTRUCTION PLAN PRODUCTION & COORDINATION

1615 S. Solano Dr.
Las Cruces, NM 88001
Office: (575) 541-5050

Fax: (575) 522-8080
Email: csn@nava-techinc.com

| | |
|-----------|-----|
| REVISIONS | BY: |
| | |
| | |
| | |

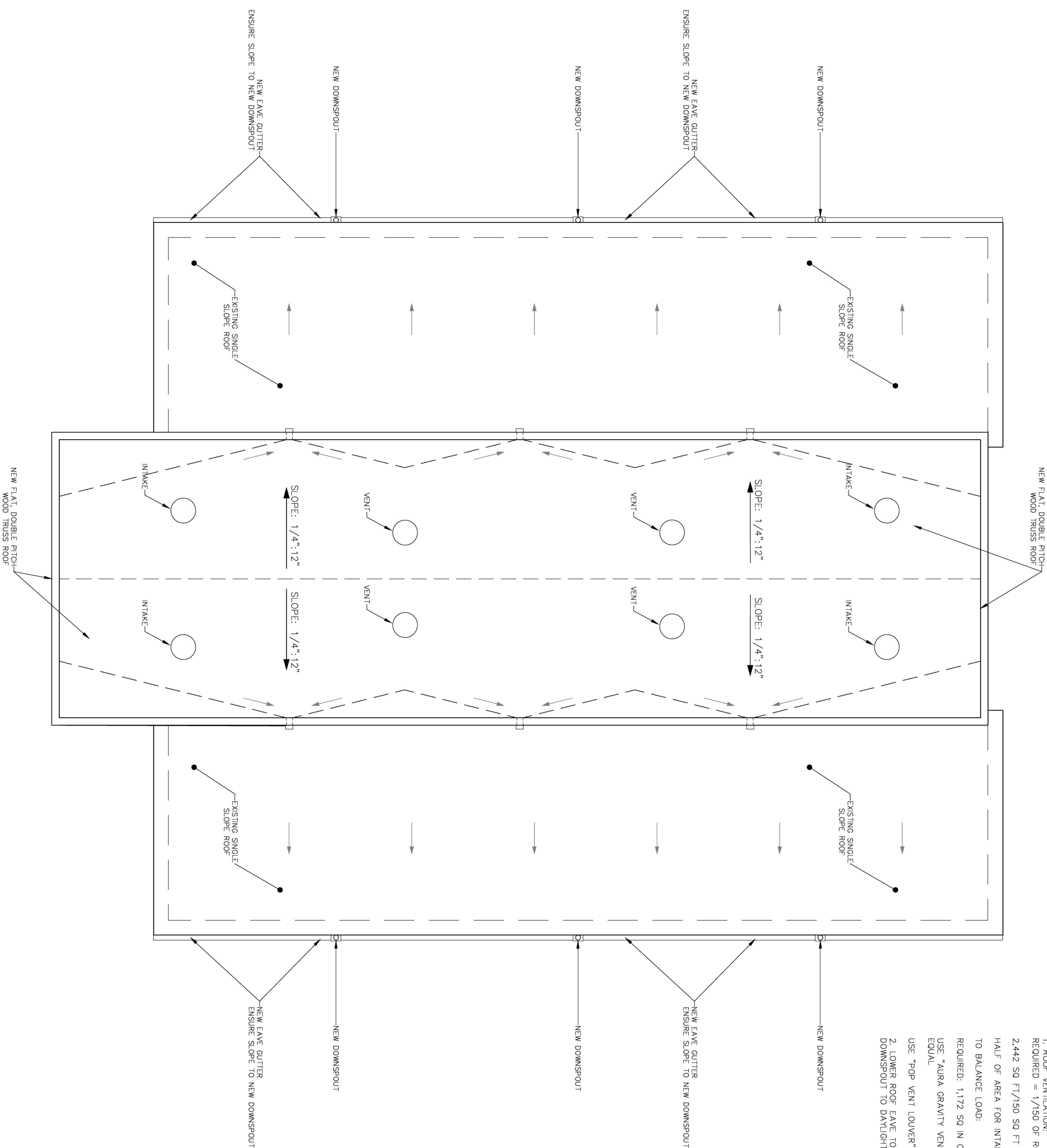
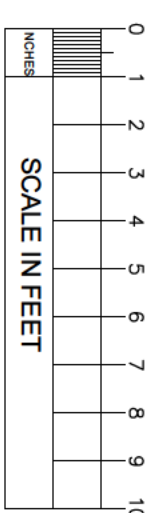
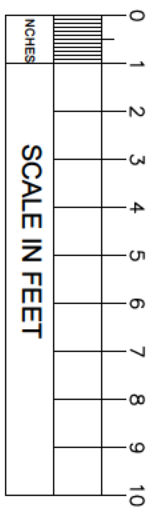
DRAWING BY: OAM

DATE:

SCALE: AS NOTED

SHEET NO. **A3.0**

SHEET SIZE: 36"X24"



ROOF PLAN NOTES:
(IF USING PRE-MAN. WOOD TRUSS)

1. ROOF VENTILATION:
REQUIRED = 1/150 OF ROOF AREA
2,442 SQ FT/150 SQ FT = 16.28 SQ FT
HALF OF AREA FOR INTAKE, HALF FOR EXHAUST: 814 SQ FT TO BALANCE LOAD.
REQUIRED: 1,172 SQ IN OF INTAKE AND EXHAUST
USE "AURA GRAVITY VENTILATOR" (4) 20" AV-20-C2 OR EQUAL
USE "POP VENT LOUVER" (4) 20" PV-20-C4
2. LOWER ROOF EAVE TO HAVE NEW GUTTER AND DOWNSPOUT. DOWNSPOUT TO DAYLIGHT AT FRENCH DRAIN. SEE SITE PLAN.

1 **ROOF PLAN**
SCALE: 1/4"=1'-0"
PLAN NORTH

ROOF PLAN NOTES:

| REVISIONS | BY: |
|-----------|-----|
| | |
| | |
| | |
| | |



1615 S. Solano Dr.
Las Cruces, NM 88001
Office: (575) 541-5050

Fax: (575) 522-8080
Email: csn@nava-techinc.com

NEW RENOVATIONS - SINGLE FAMILY DWELLING

RUBEN SMITH RESIDENCE

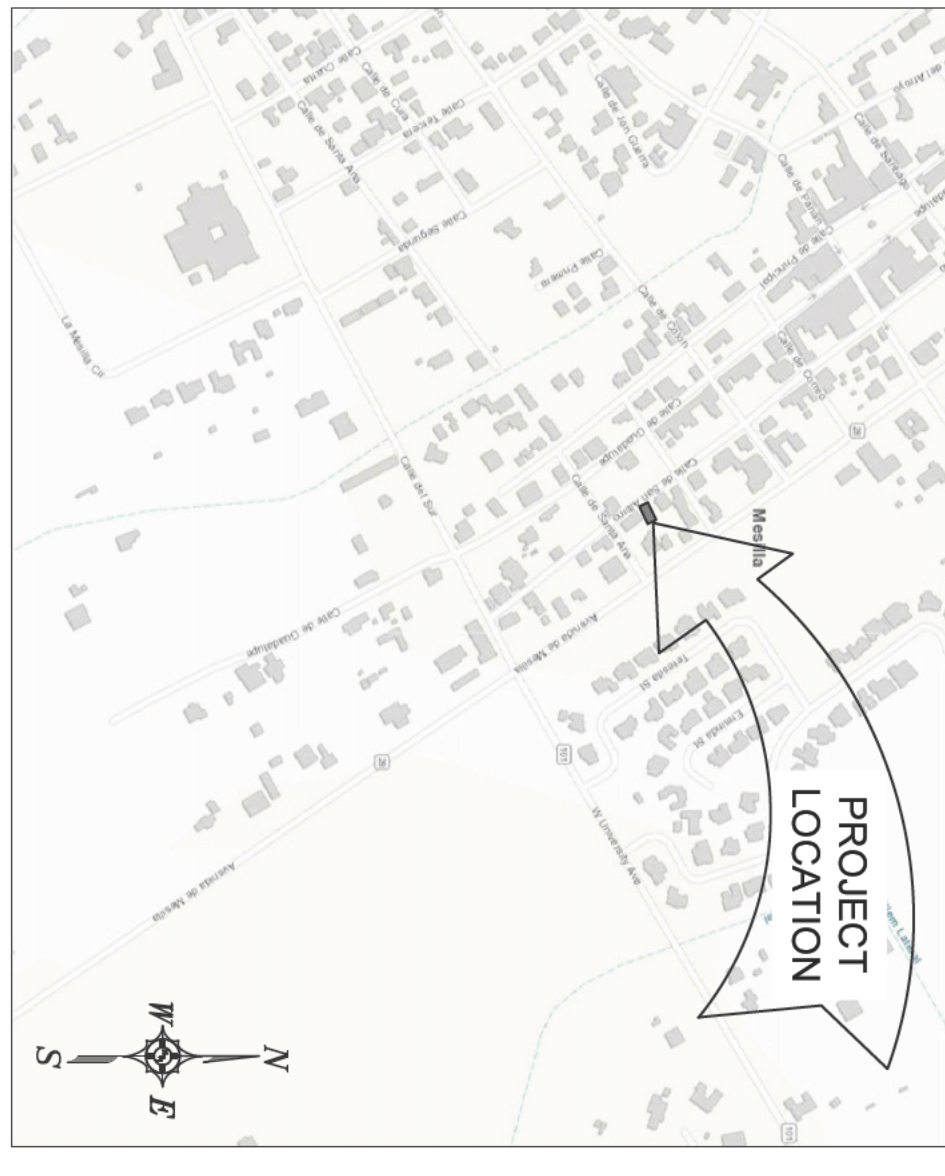
Address
2729 CALLE De SAN ALBINO
MESILLA, NM 88046

ROOF PLAN

DRAWING BY:
CAN

DATE:
SCALE:
AS NOTED

A4.0
SHEET NO.
SHEET SIZE: 36"X24"



CODE DATA

Address
2729 CALLE DE SAN ALBINO
MESILLA, NM 88046

AREA CALCULATION

| | |
|-------------|---------------|
| AREA | 2,442 sq. ft. |
| HEATED | 275 sq. ft. |
| FRONT PORCH | |
| NEW | 2,717 sq. ft. |

BUILDING DATA

OCCUPANCY CLASSIFICATION:
 ALL RESIDENTIAL - SINGLE FAMILY DWELLING
 ALL RESIDENTIAL WINDOWS MEET THE MINIMUM REQUIREMENTS FOR EGRESS
 ALL BEDROOMS ARE EQUIPPED WITH A SMOKE AND CARBON MONOXIDE DETECTOR
 COMINATION CARBON SMOKE AND MONOXIDE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND UL 217.

DESIGN LOADS:
 ROOF LIVE LOAD 20 PSF
 FLOOR LIVE LOAD 40 PSF

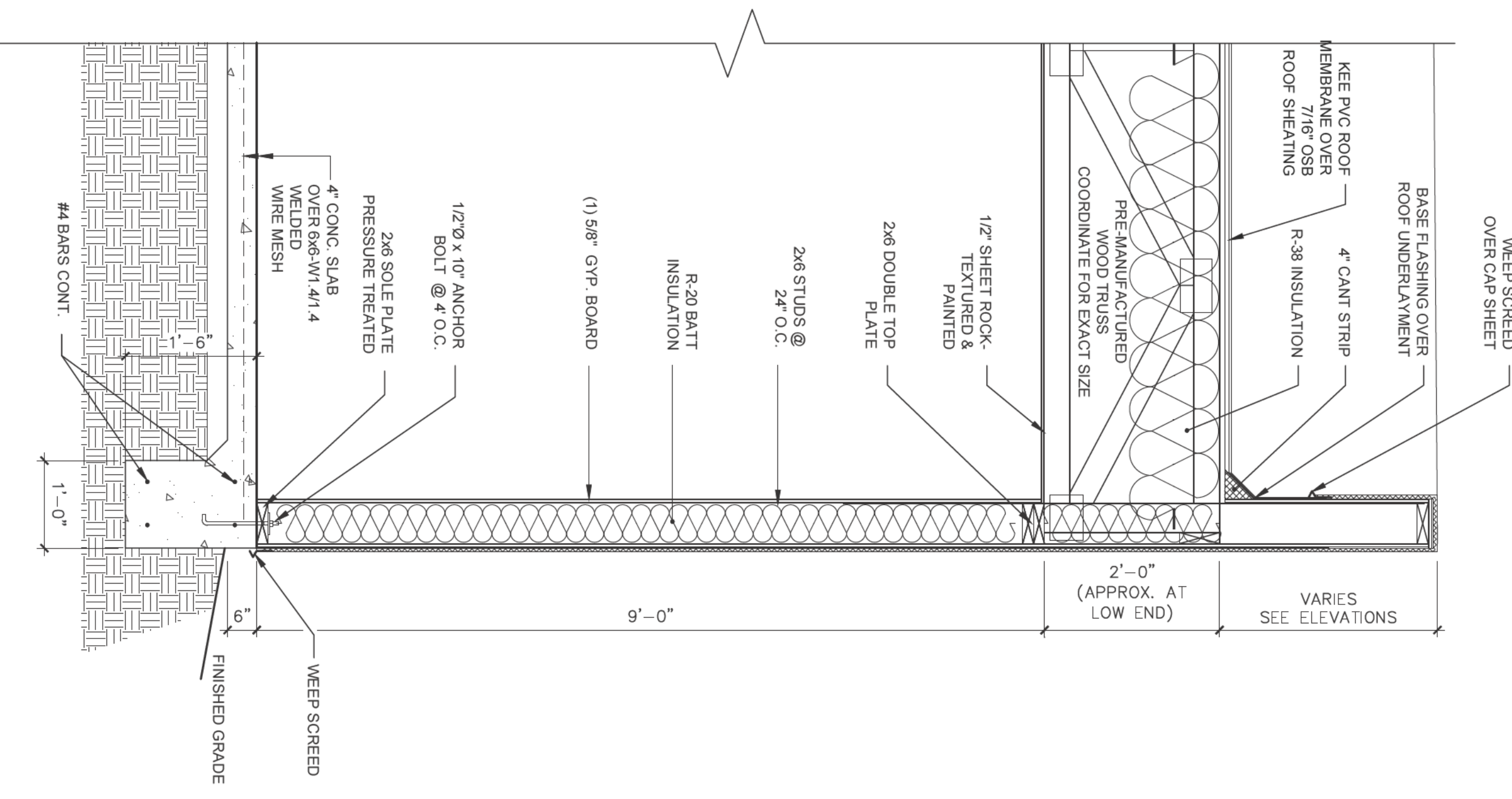
SEISMIC:
 SEISMIC GROUP B
 SEISMIC ANALYSIS FACTOR = 1.0
 CHLMT ZONE = AB

WIND:
 WIND CATEGORY I
 WIND SPEED 115 MPH
 PRESSURE (G-30/F1) = 20 PSF
 PRESSURE (G-30/F2) = 15 PSF
 IMPORTANCE FACTOR = 1.0
 Exposure = C

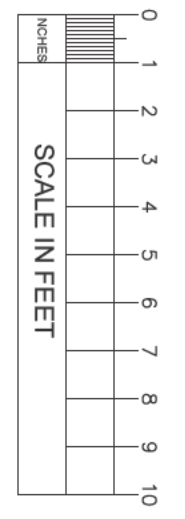
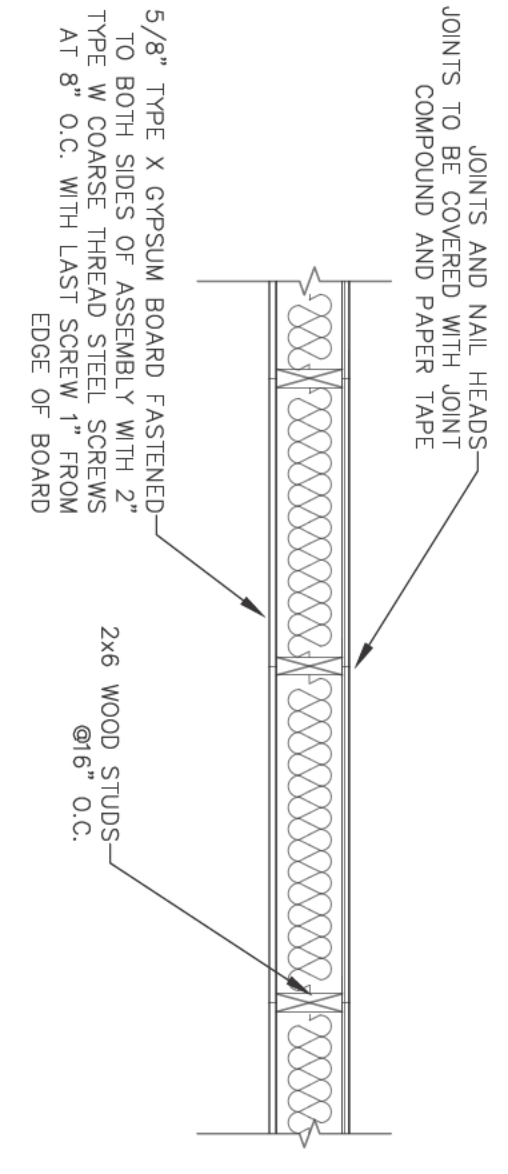
CODE REFERENCE

- 2015 INTERNATIONAL RESIDENTIAL CODE
 - 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2021 INTERNATIONAL MECHANICAL CODE
 - 2021 UNIFORM PLUMBING CODE
 - 2015 INTERNATIONAL EXISTING BUILDING CODE
 - 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE
 - 2017 NATIONAL ELECTRICAL CODE
 - 2015 INTERNATIONAL FIRE CODE
- All current NM Codes can be found at the following link:
<http://www.nm.gov/development/building-code.aspx>

NOTE:
 IT IS THE GENERAL CONTRACTOR AND FRAMING SUBCONTRACTORS RESPONSIBILITY TO BE KNOWLEDGEABLE ON 1 HOUR FIRE BARRIER DESIGN NUMBER U-305. A SPECIFICATION SHEET OF THIS DESIGN TESTED IN ACCORDANCE WITH UNDERWRITERS LABORATORIES AND TEST U-263 HAS BEEN FURNISHED TO GENERAL CONTRACTOR BY DESIGNER.

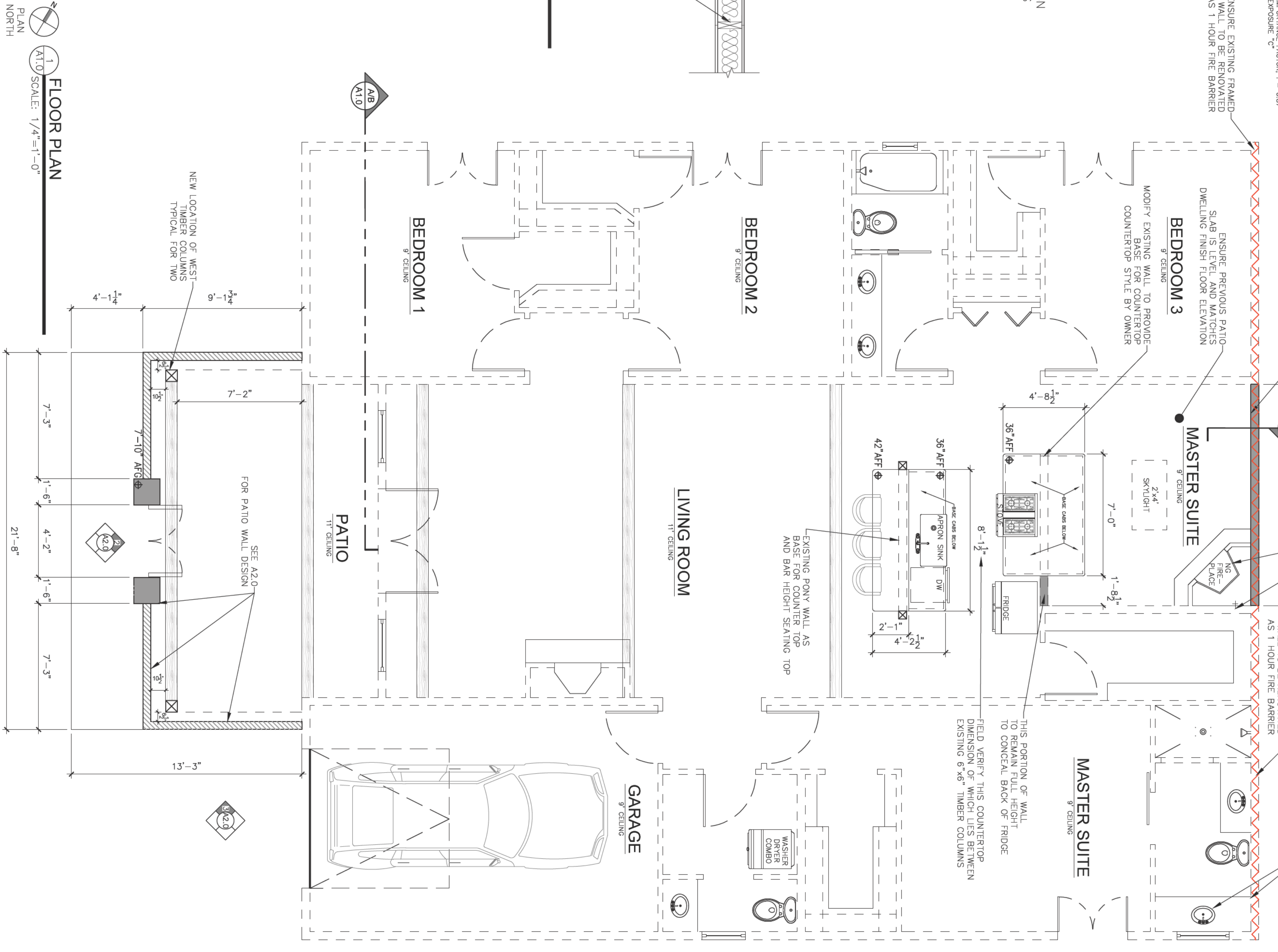


FIRE BARRIER PLAN
UL 263 DESIGN NO. U305
 AT/D SCALE: 3/4"=1'-0"

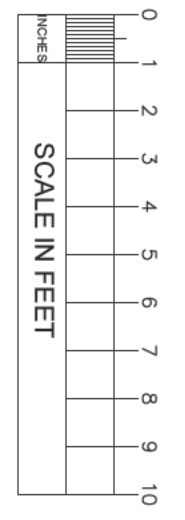


WALL SECTION
 AT/D SCALE: 3/4"=1'-0"

FLOOR PLAN



FLOOR PLAN
 AT/D SCALE: 1/4"=1'-0"

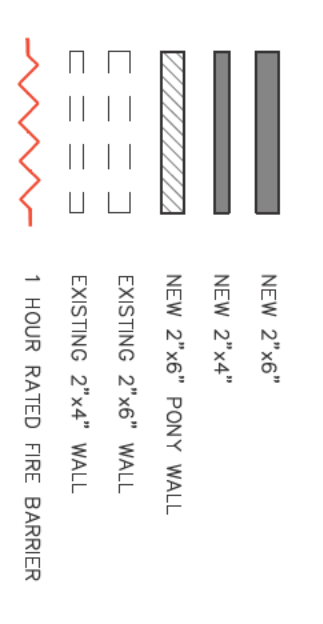


FLOOR PLAN
 AT/D SCALE: 1/4"=1'-0"

GENERAL NOTES:

- THIS NEW DESIGN IS DRAFTED IN CONJUNCTION OF OWNER PROVIDED AS BUILT'S. NAVA-TECH HAS TAKEN ALL PRECAUTION TO ENSURE ACCURACY OF EXISTING DIMENSIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS SHOWN ON THESE PLANS.
- NEW WINDOW AND DOOR SIZES ARE CALLED OUT. EXISTING DOOR AND WINDOW SIZES ARE NOT SHOWN FOR COMMUNICATION OF CLARITY.
- FURNITURE SHOW IS FOR DIAGRAMMATICAL PURPOSES ONLY.
- CONTRACTOR GRANTED PERMISSION TO MODIFY SIZE OF STUD FOR INTERIOR WALLS ONLY. SHOULD DIMENSIONS BE SHOWN, STUDS SHOULD BE 2X4 UNLESS NOTED OTHERWISE.
- INTERIOR NONBEARING WALLS TO BE 2X4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- INTERIOR BEARING WALLS TO BE 2X4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- EXTERIOR BEARING WALLS TO BE 2X6 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL FIXTURES & APPLIANCES TO BE CHOSEN BY OWNER.
- USE FIRE STOPS PER I.F.C., I.B.C. OR LOCAL CODE REQUIREMENTS.
- ALL DIMENSIONS SHOWN ARE FROM LEADING OR TRAILING FACE OF STUD. STUDS ARE DRAWN ACTUAL SIZE. FOR LABELING PURPOSES, STUDS ARE CALLED OUT IN THEIR NOMINAL SIZE: 2X4
- WALL INSULATION: R-20 OR R-13 CAVITY PLUS R-3.8 CONTINUOUS INSULATION.
- ROOF/ATTIC INSULATION: R-38.
- INTERIOR WALLS TO BE SHEET ROCKED, TABED, TEXTURED, AND PAINTED.
- ALL ANGLED WALLS TO BE 45° ANGLES UNLESS OTHERWISE NOTED.

WALL LEGEND



| | |
|-------------|------------|
| DRAWING BY: | CSN |
| DATE: | 08/03/2023 |
| SCALE: | AS NOTED |
| SHEET NO.: | A1.0 |
| SHEET SIZE: | 36x24" |

NEW RENOVATIONS - SINGLE FAMILY DWELLING

RUBEN SMITH RESIDENCE

PROPOSED FLOOR PLAN

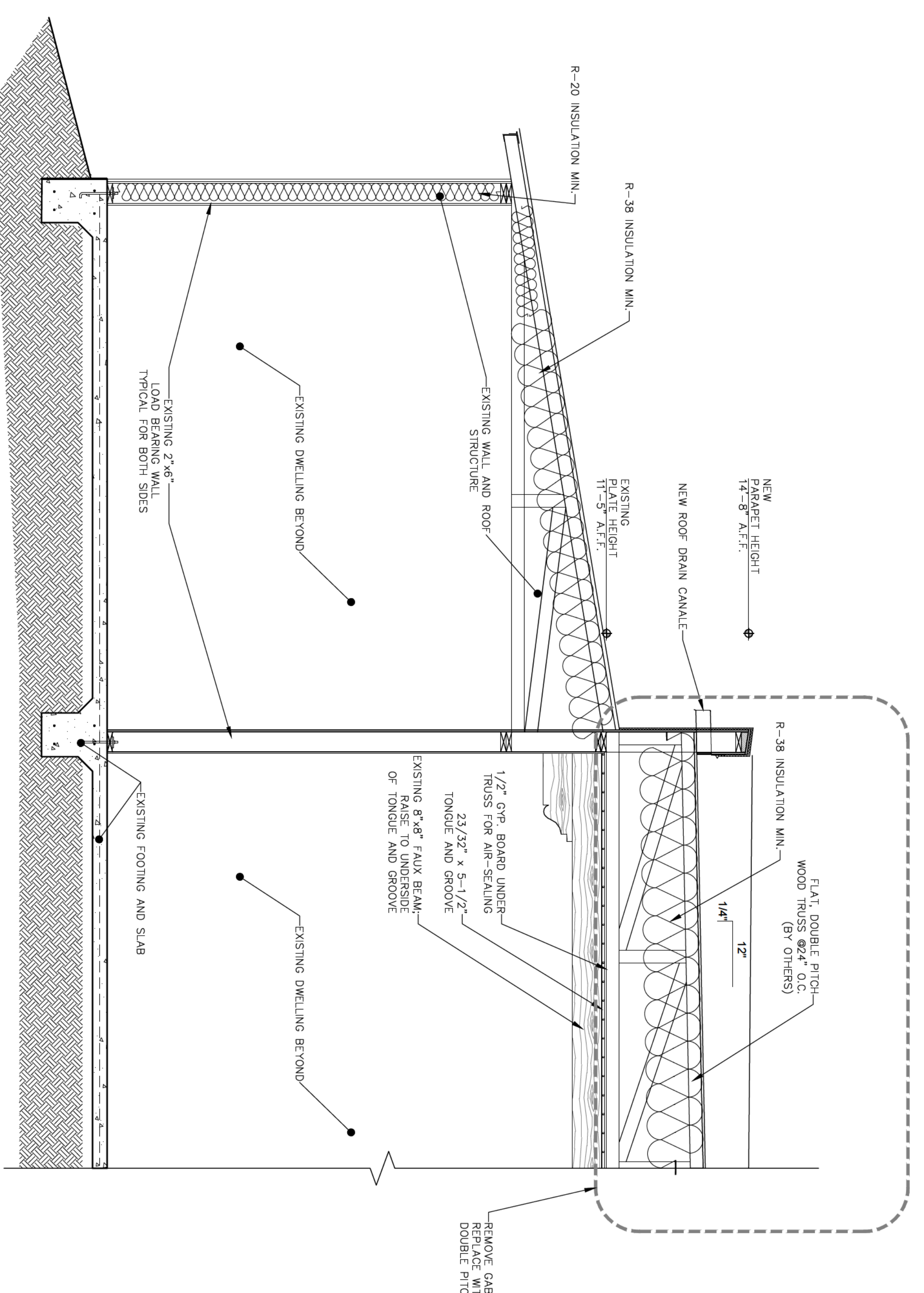
Address
2729 CALLE DE SAN ALBINO
MESILLA, NM 88046



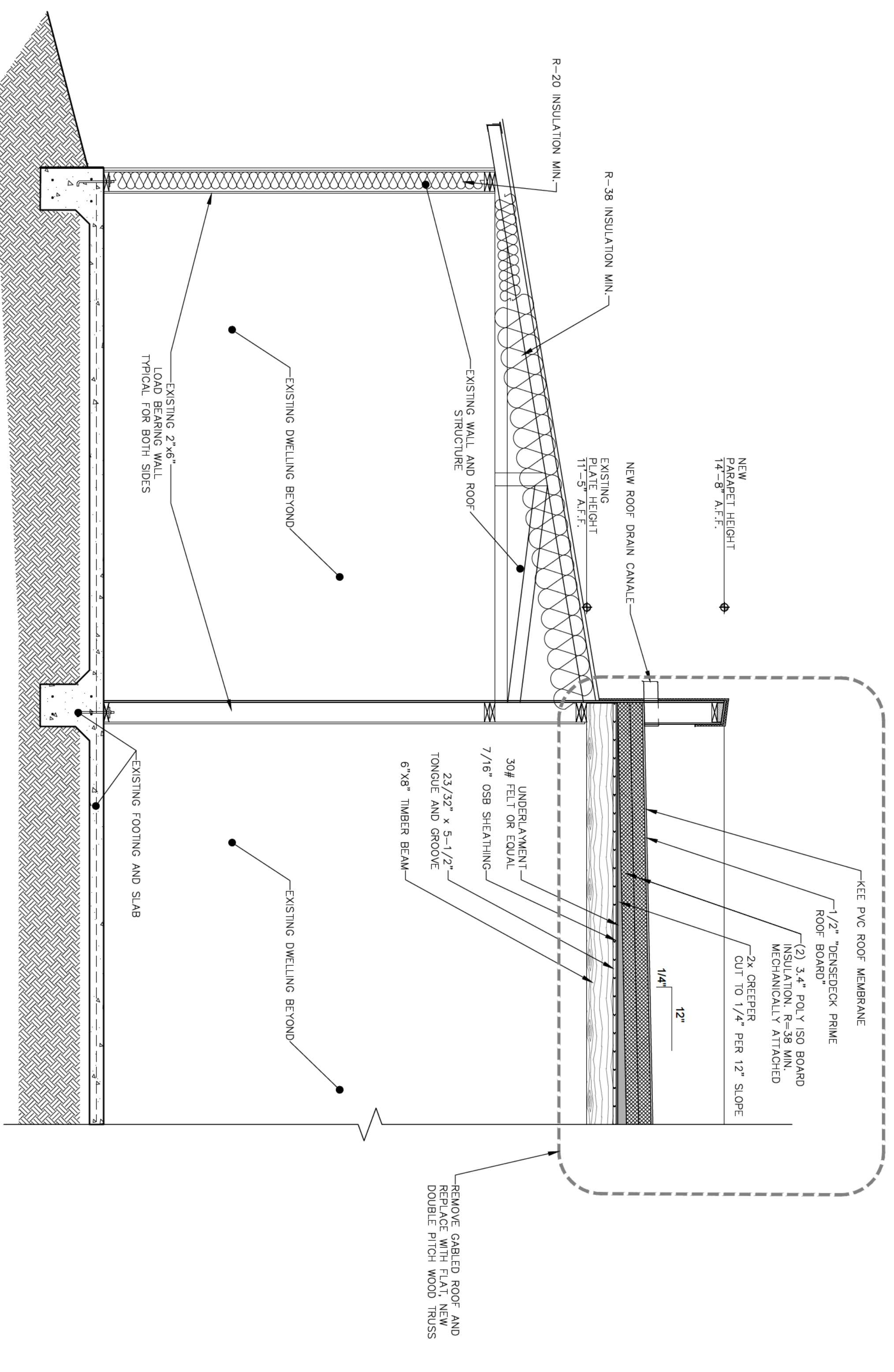
1615 S. Solano Dr.
 Las Cruces, NM 88001
 Office: (575) 541-5050

Fax: (575) 522-8080
 Email: csn@nava-techinc.com

| REVISIONS | BY: |
|-----------|-----|
| | |
| | |
| | |

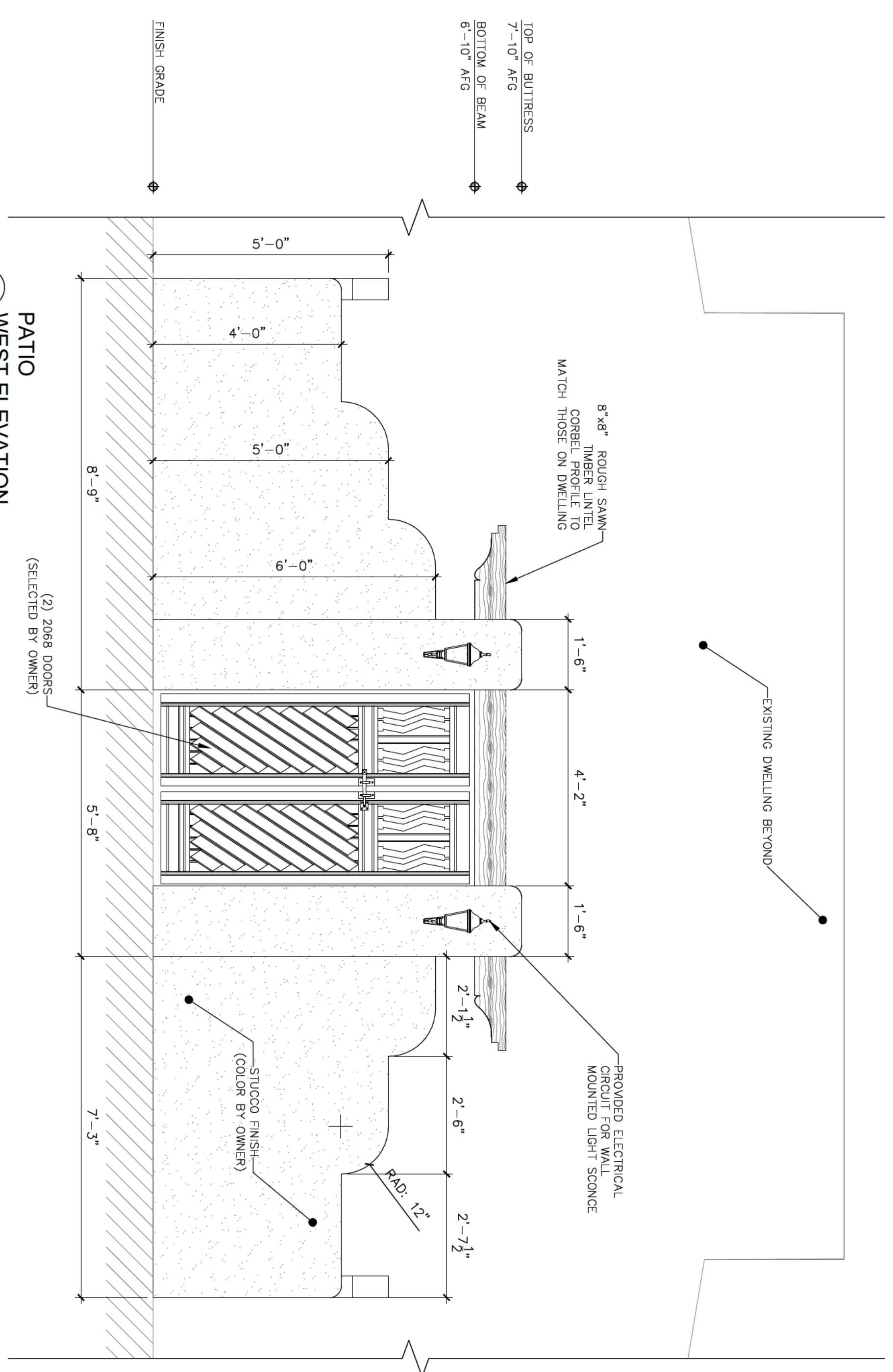


1 BUILDING SECTION
SCALE: 1/2"=1'-0"

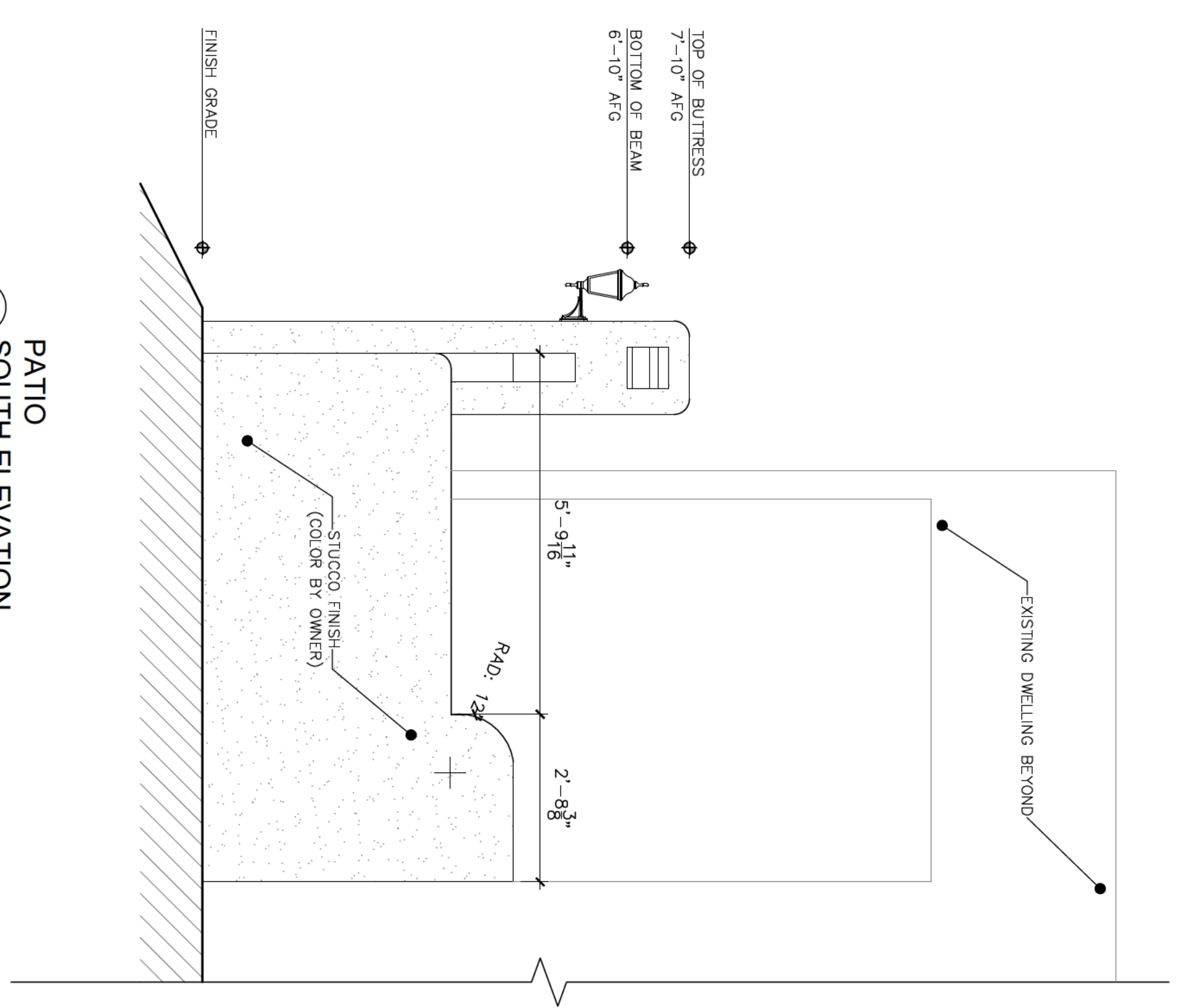


1.1 BUILDING SECTION
SCALE: 1/2"=1'-0"

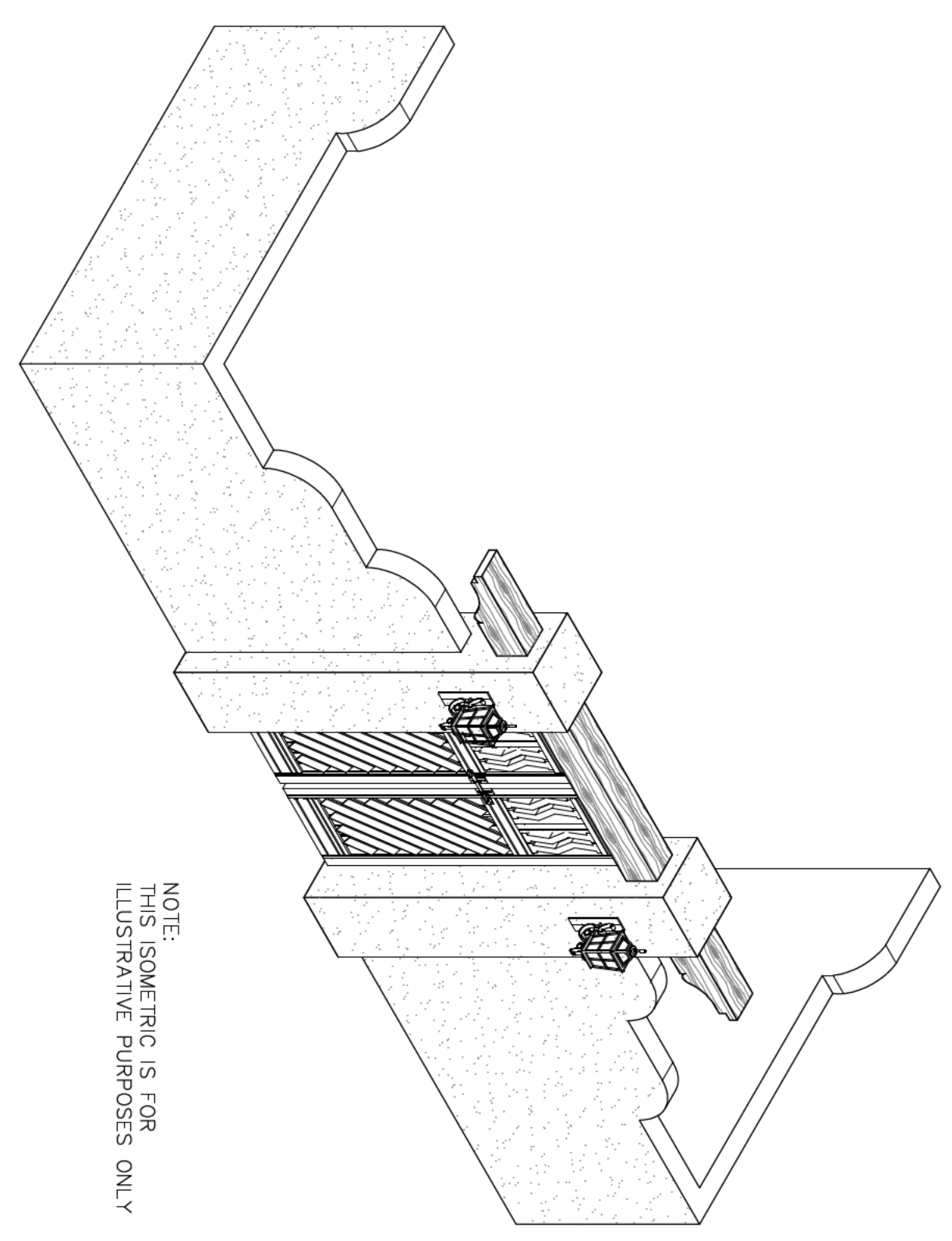
NOTE: THIS OPTION REQUIRES THE REMOVAL OF EXISTING 8"x8" FAUX BEAMS



2 WEST ELEVATION
SCALE: 1/2"=1'-0"



3 SOUTH ELEVATION
SCALE: 1/2"=1'-0"



4 ISOMETRIC
SCALE: N.T.S.

| | |
|-------------|----------|
| DRAWING BY: | CAK |
| DATE: | |
| SCALE: | AS NOTED |
| SHEET NO.: | A2.0 |
| SHEET SIZE: | 36"X24" |

NOTE: THIS ISOMETRIC IS FOR ILLUSTRATIVE PURPOSES ONLY

NEW RENOVATIONS - SINGLE FAMILY DWELLING

RUBEN SMITH RESIDENCE

DETAILS; PATIO ELEVATIONS

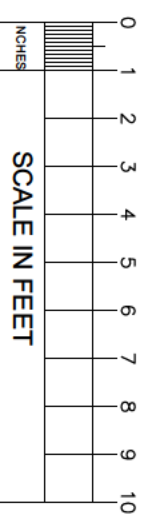
Address
2729 CALLE De SAN ALBINO
MESILLA, NM 88046

NAVA TECH INC.
AND ASSOCIATES
CONSTRUCTION PLAN PRODUCTION & COORDINATION

1615 S. Solano Dr.
Las Cruces, NM 88001
Office: (575) 541-5050

Fax: (575) 522-6060
Email: csn@nava-techinc.com

| REVISIONS | BY: |
|-----------|-----|
| | |
| | |
| | |



ELECTRICAL LEGEND

MUST COMPLY WITH NEC 210.12

| | |
|--|---|
| <ul style="list-style-type: none"> ⊕ - SWITCH TOP OUTLET ⊕ - SWITCH ⊕/R - SWITCH WITH REMOTE ⊕³ - THREE WAY SWITCH ⊕⁴ - FOUR WAY SWITCH ⊕ - DIMMER / SWITCH ⊕ - CEILING FAN REMOTE ⊕ - GARBAGE DISPOSAL ⊕ - GARAGE DOOR OPENER ⊕ - 120 VOLT FLOOR RECP ⊕ - 120 VOLT CING. RECP ⊕ - 120 VOLT QUAD RECP ⊕ - 120 VOLT RECP ⊕ - 120 VOLT RECP @ 42" AFF. ⊕ - GROUND FAULT CIRCUIT INTERRUPTER RECP ⊕ - WALL MOUNT SCNCE ⊕ - CEILING MOUNT PENDANT FIXTURE ⊕ - WALL MOUNT LIGHT FIXTURE ⊕ - CEILING MOUNT LIGHT FIXTURE ⊕ - RECESSED LIGHT ⊕ - DIRECTIONAL RECESSED LIGHT ⊕ - UNDER CAB. LIGHT ⊕ - EXHAUST FAN ⊕ - FLOOD LIGHT ⊕ - MOTION SENSOR ⊕ - WEATHER PROOF ⊕ - GARAGE DOOR OPENER ⊕ - WALL MOUNTED ⊕ - 4' or 8' LED SHIP LIGHT ⊕ - GAS ⊕ - TELEPHONE / DATA OUTLET BOX ⊕ - TELEVISION CABLE BOX ⊕ - SMOKE DETECTOR / CO COMBO ⊕ - SPEAKER ⊕ - DOOR BELL CHIME BOX ⊕ - PATH LIGHTING ⊕ - ELECTRICAL PANEL ⊕ - ELECTRICAL DISCONNECT ⊕ - ELECTRICAL METER ⊕ - 4" or 8" LED SHIP LIGHT ⊕ - CEILING FAN W/ LIGHT ⊕ - SOLAR TUBING | <ul style="list-style-type: none"> ⊕ - GROUND FAULT CIRCUIT INTERRUPTER RECP ⊕ - 120 VOLT RECP ⊕ - 120 VOLT QUAD RECP ⊕ - 120 VOLT CING. RECP ⊕ - 120 VOLT FLOOR RECP ⊕ - GARAGE DOOR OPENER ⊕ - CEILING FAN REMOTE ⊕ - DIMMER / SWITCH ⊕⁴ - FOUR WAY SWITCH ⊕³ - THREE WAY SWITCH ⊕/R - SWITCH WITH REMOTE ⊕ - SWITCH TOP OUTLET ⊕ - SWITCH ⊕ - WALL MOUNT SCNCE ⊕ - WALL MOUNT LIGHT FIXTURE ⊕ - CEILING MOUNT LIGHT FIXTURE ⊕ - RECESSED LIGHT ⊕ - DIRECTIONAL RECESSED LIGHT ⊕ - UNDER CAB. LIGHT ⊕ - EXHAUST FAN ⊕ - FLOOD LIGHT ⊕ - MOTION SENSOR ⊕ - WEATHER PROOF ⊕ - GARAGE DOOR OPENER ⊕ - WALL MOUNTED ⊕ - 4' or 8' LED SHIP LIGHT ⊕ - GAS ⊕ - TELEPHONE / DATA OUTLET BOX ⊕ - TELEVISION CABLE BOX ⊕ - SMOKE DETECTOR / CO COMBO ⊕ - SPEAKER ⊕ - DOOR BELL CHIME BOX ⊕ - PATH LIGHTING ⊕ - ELECTRICAL PANEL ⊕ - ELECTRICAL DISCONNECT ⊕ - ELECTRICAL METER ⊕ - 4" or 8" LED SHIP LIGHT ⊕ - CEILING FAN W/ LIGHT ⊕ - SOLAR TUBING |
|--|---|

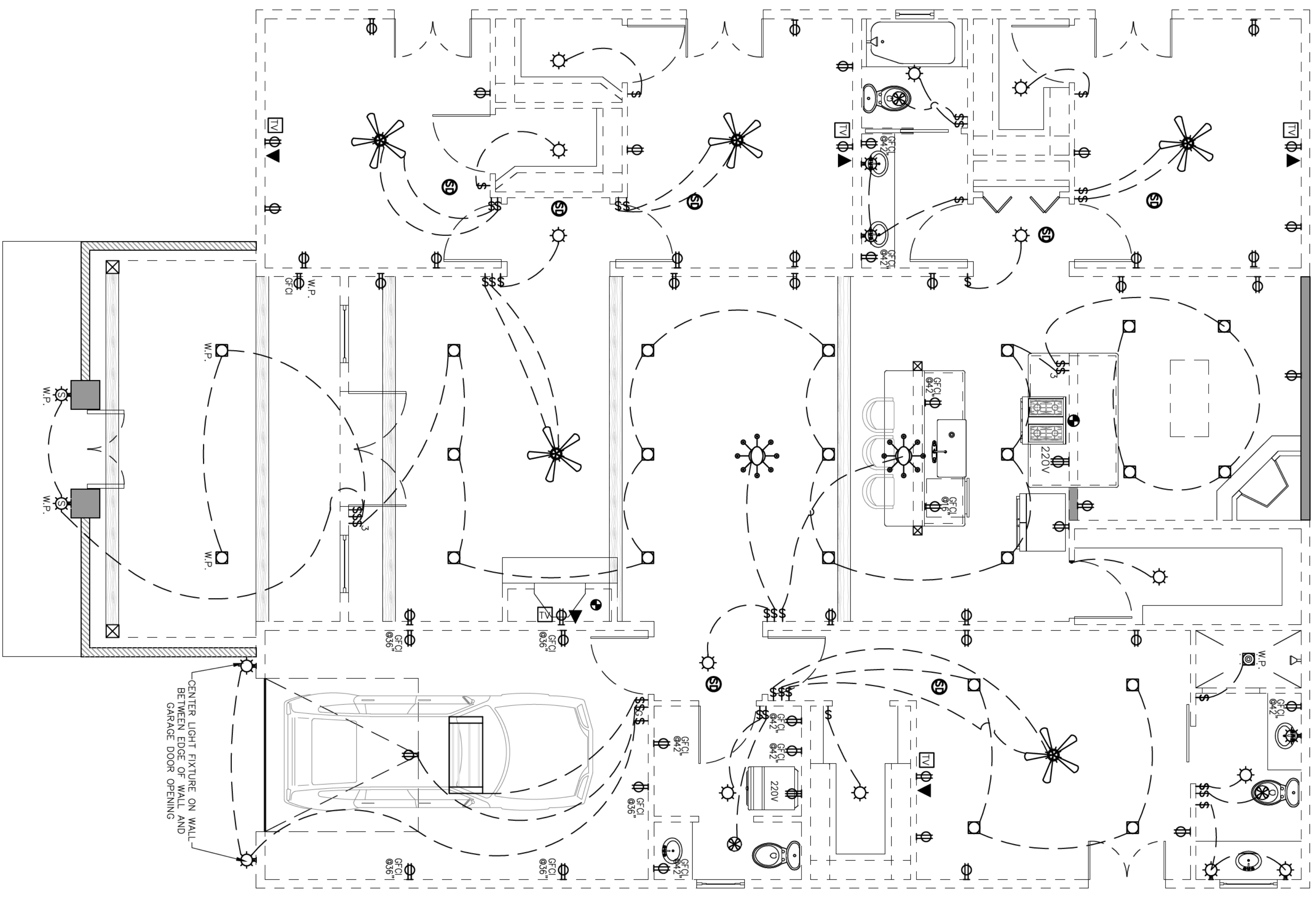
ELECTRICAL NOTES:

1. ALL EXTERIOR LIGHT FIXTURES AND OUTLETS TO BE WEATHERPROOF.
2. ELECTRICIAN TO SIZE AND LOCATE PANEL AND SERVICE.
3. ELECTRICIAN TO PROVIDE POWER TO AC UNITS.

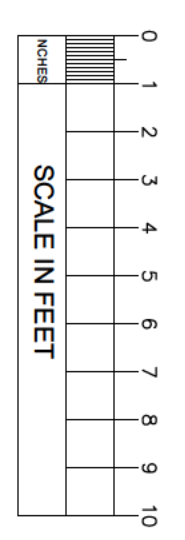
ELECTRICAL NOTES

210.12 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION SHALL BE PROVIDED AS REQUIRED IN 210.12(A), (B), AND (C). THE ARC-FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.

(A) DWELLING UNITS, ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, RECREATION ROOMS, BATHS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY ANY OF THE MEANS DESCRIBED IN 210.12(A)(1) THROUGH (6).



CENTER LIGHT FIXTURE ON WALL BE CAR GARAGE DOOR OPENING



ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



NEW RENOVATIONS - SINGLE FAMILY DWELLING

RUBEN SMITH RESIDENCE

ELECTRICAL PLAN

Address
2729 CALLE De SAN ALBINO
MESILLA, NM 88046

NAVA TECH INC.
AND ASSOCIATES
CONSTRUCTION PLAN PRODUCTION & COORDINATION

1615 S. Solano Dr.
Las Cruces, NM 88001
Office: (575) 541-5050

Fax: (575) 522-8080
Email: csn@nava-techinc.com

| REVISIONS | BY: |
|-----------|-----|
| | |
| | |
| | |
| | |

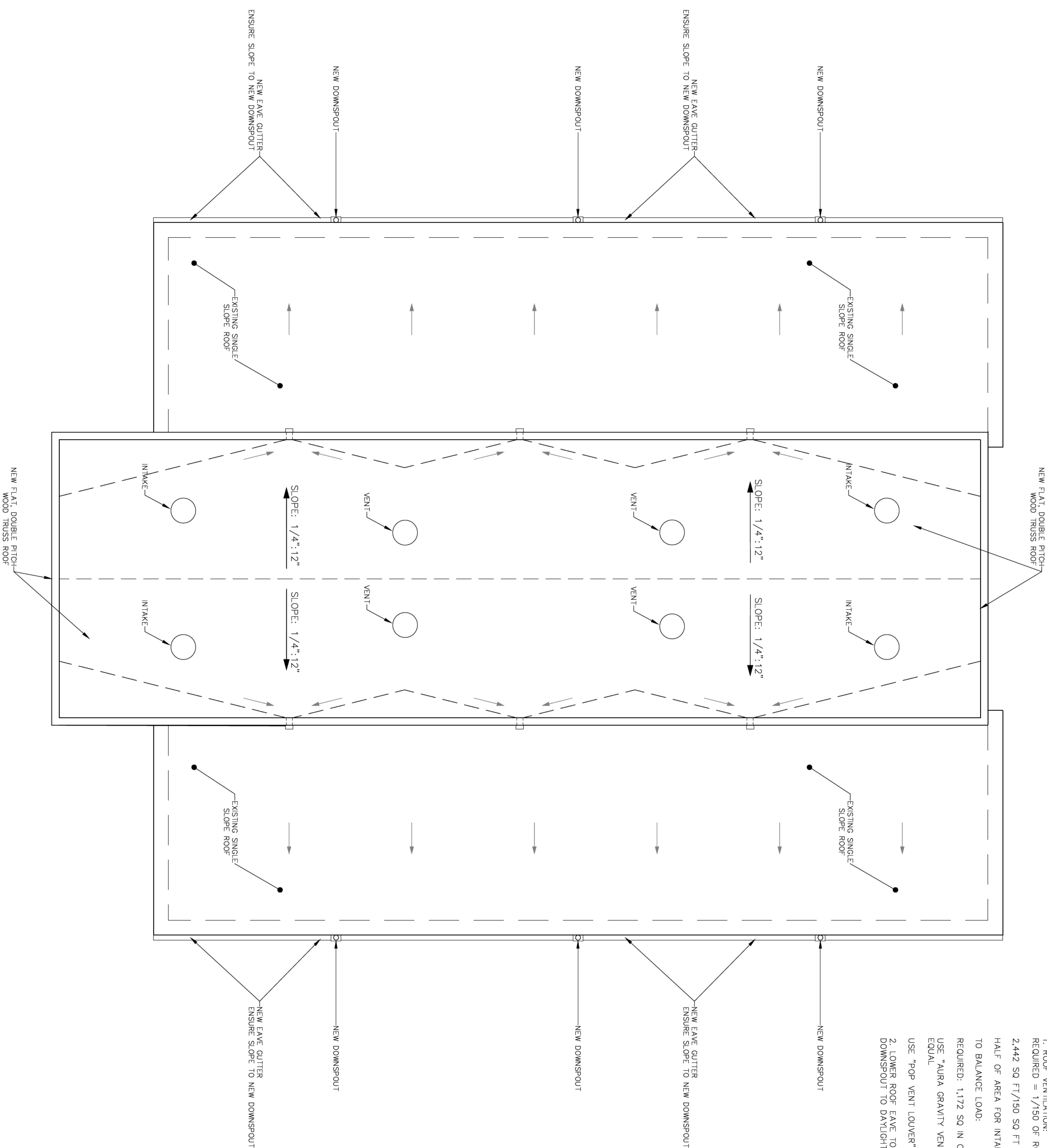
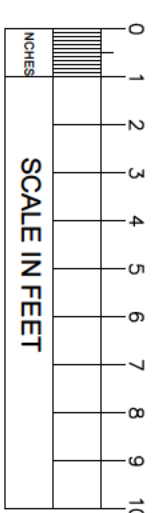
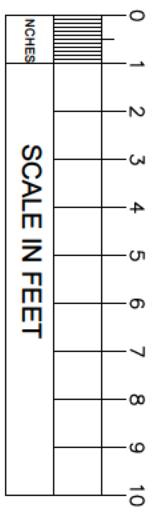
DRAWING BY:
CAN

DATE:
AS NOTED

SCALE:
AS NOTED

SHEET NO.
A3.0

SHEET SIZE: 36"X24"



**ROOF PLAN NOTES:
(IF USING PRE-MAN. WOOD TRUSS)**

- ROOF VENTILATION:
REQUIRED = 1/150 OF ROOF AREA
2,442 SQ FT/150 SQ FT = 16.28 SQ FT
HALF OF AREA FOR INTAKE, HALF FOR EXHAUST: 814 SQ FT TO BALANCE LOAD.
REQUIRED: 1,172 SQ IN OF INTAKE AND EXHAUST
USE "AURA GRAVITY VENTILATOR" (4) 20" AV-20-C2 OR EQUAL
USE "POP VENT LOUVER" (4) 20" PV-20-C4
2. LOWER ROOF EAVE TO HAVE NEW GUTTER AND DOWNSPOUT. DOWNSPOUT TO DAYLIGHT AT FRENCH DRAIN. SEE SITE PLAN.

1 ROOF PLAN
SCALE: 1/4"=1'-0"
PLAN NORTH

ROOF PLAN NOTES:

| REVISIONS | BY: |
|-----------|-----|
| | |
| | |
| | |
| | |



1615 S. Solano Dr.
Las Cruces, NM 88001
Office: (575) 541-5050
Fax: (575) 522-8080
Email: csn@nava-techinc.com

NEW RENOVATIONS - SINGLE FAMILY DWELLING

RUBEN SMITH RESIDENCE

Address
2729 CALLE De SAN ALBINO
MESILLA, NM 88046

ROOF PLAN

DRAWING BY: CAA

DATE:

SCALE: AS NOTED

SHEET NO.

A4.0

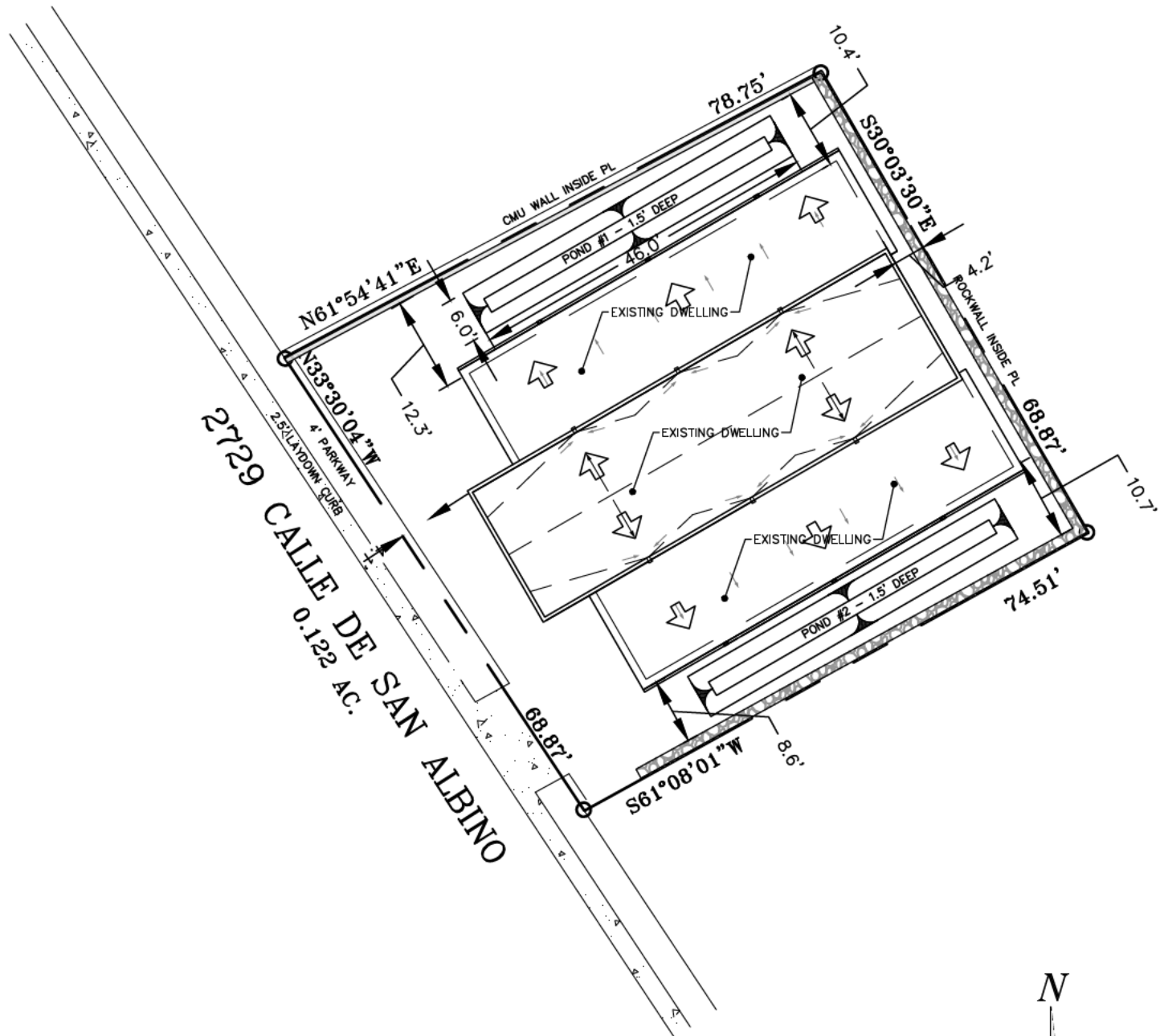
SHEET SIZE: 36"X24"

Site Plan

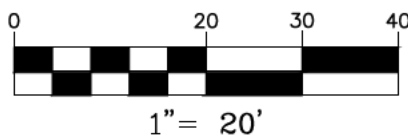
Scale: 1"=20' AUG 2023

Description

On A 0.122 Acre Tract In Section 25, T.23S., R.1E., N.M.P.M. Of
The U.S.R.S. Surveys Being U.S.R.S. Tracts 11-5A & 11A-5B
Town Of Mesilla Dona Ana County New Mexico



| PONDING CALCULATIONS | | | |
|--|-------------|-------------------------------------|--------------|
| ADDRESS: 2729 CALLE de SAN ALBINO | | | |
| AREA CLASSIFICATION: Valley - 2.8" | | | |
| PONDING REQUIRED | | PONDING PROVIDED AT 2:1 SLOPE | |
| IMPERVIOUS AREA | 2,442 SQ FT | TOP OF POND | 276.0 SQ FT |
| RUNOFF COEFFICIENT | 2.0 INCHES | BOTTOM OF POND | 84.0 SQ FT |
| CONVERSION FACTOR | 12 INCHES | DEPTH OF POND | 1.5 FEET |
| SUB-TOTAL | 407.0 CU FT | POND DIMS | 46'Lx6'Wx1'D |
| *VOLUME REQUIRED | 508.8 CU FT | VOLUME PROVIDED | 262.0 CU FT |
| *POND SIZED TO HOLD 125% OF ALL RUNOFF | | POND 1: 262 CU FT, POND 2 262 CU FT | |



SITE PLAN

SCALE: 1" = 20'-0"

GENERAL NOTES:

- THIS IS A SITE PLAN ONLY AND IS NOT INTENDED TO BE A PROPERTY BOUNDARY SURVEY. REFER TO PLAT BY PROFESSIONAL SURVEYOR FOR COMPREHENSIVE DATA RELATING TO THIS TRACT.
- SITE PREPARATION SHALL CONSIST OF CLEARING/GRUBBING AND REMOVAL OF ALL RUBBLE, DEBRIS, AND VEGETATION.
- ALL FILL MATERIAL SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR. FILL MATERIALS SHALL NOT BE PLACED IN LIFTS EXCEEDING 6" THICKNESS.
- ALL ON LOT PONDING MUST BE MAINTAINED BY THE LOT OWNER.
- ALL PROPOSED PONDS AND SWALES WILL BE LINED WITH NATIVE OR LANDSCAPE ROCK FOR EROSION CONTROL.
- CONTRACTOR TO FIELD VERIFY LOCATION OF SEWER LINE AND/OR SEPTIC TANK AND LEECH LINES.
- CONTRACTORS TO BE RESPONSIBLE FOR LOCATING ANY AND ALL UTILITY LINES PRIOR TO EXCAVATION OR CONSTRUCTION.
- PERIODIC WATERING TO BE EMPLOYED TO CONTROL DUST AND MAINTAIN MOISTURE CONTENT IN THE SOIL.

LEGEND

| | |
|--|-------------------------|
| | ROOF DRAINAGE DIRECTION |
| | SITE DRAINAGE DIRECTION |
| | DENOTES POND |
| | PROPERTY LINE & CORNER |
| | EASEMENT |
| | BUILDING SETBACK |

DRAFTING BY:



Civil, Commercial and Residential Drafting
1615 S.SOLANO DRIVE Las Cruces, New Mexico
Phone: 575-541-5050 88001

SHEET

C1.0

1 OF 1

#061687

Chapter 18.33 HISTORIC PRESERVATION

Sections:

- 18.33.010 Title.**
- 18.33.020 Applicability.**
- 18.33.030 Authority.**
- 18.33.040 Declaration of purpose and statement of public policy.**
- 18.33.050 Definitions.**
- 18.33.060 Development zone.**
- 18.33.070 Powers and duties of the PZHAC relating to historic preservation.**
- 18.33.080 Historical appropriateness permit.**
- 18.33.090 Design components or development criteria and compliance checklists.**
- 18.33.100 Miscellaneous, including colors for architectural components, gates, fences, and stucco and material and color for metal roofing.**
- 18.33.110 Standards for alterations.**
- 18.33.120 Demolition.**
- 18.33.130 Preservation of historic property.**
- 18.33.140 Designation of landmarks and historic districts.**
- 18.33.150 Appeal from historical appropriateness action.**
- 18.33.160 Enforcement.**
- 18.33.170 Appendix A – Design standards with compliance checklist for the following architectural styles: Spanish Pueblo, Territorial, Spanish Mission, Northern New Mexico and Ranch Style.**

18.33.180 Appendix B – Additional standards for preservation, rehabilitation, restoration and reconstruction taken from the Secretary of the Interior’s Standards for the Treatment of Historic Properties as developed in 1992 and codified as 36 CFR 68.

18.33.010 Title.

This chapter shall be known and may be cited and referred to as the historic preservation ordinance of the town of Mesilla. [Ord. 2011-03; Ord. 2008-02 § 1]

18.33.020 Applicability.

This chapter shall apply to all work or acts involving construction of new structures and removal or exterior alteration to existing structures and their sites on any property located as follows:

A. Any property located within one of the town’s four historic districts.

B. Any property located outside a historic district or zone that has the “Guidelines for Preservation and Development, 1973,” also known as the Yguado Plan, in place as a zoning overlay.

C. Any property not located within the town’s historic districts/zones that has been designated as a landmark. [Ord. 2011-03; Ord. 2008-02 § 1]

18.33.030 Authority.

The designation of the town’s historic zones is made pursuant to the Historic Districts and Landmarks Act, Sections [3-22-1](#) through [3-22-5](#) NMSA 1978. [Ord. 2011-03; Ord. 2008-02 § 1]

18.33.040 Declaration of purpose and statement of public policy.

A. The board of trustees declares that the historical heritage of Mesilla and its historic buildings and its historic districts are among its most valued and important assets. The board finds that some buildings having historical, architectural, aesthetic and cultural value have been neglected, altered or destroyed notwithstanding the feasibility of preserving and continuing the use of such buildings and without adequate consideration of the irreplaceable loss to the public and the town. The board finds that the historic character of Mesilla is of vital importance in maintaining the economy of the town and that its historic landmarks and the buildings in its historic district can be preserved, rehabilitated and used. The board finds that this chapter benefits all the residents of Mesilla and all the owners of property.

B. The board of trustees declares as a matter of public policy that the preservation, protection and use of historic landmarks and buildings in the historic districts are a public necessity because they have a special character or a special historic, architectural, aesthetic or cultural value and thus serve as visible reminders of the history and heritage of this town, state and nation. The board declares as a matter of public policy that this chapter is required in the interest of the health, safety, welfare and

economic well-being of the public. The board declares as a matter of public policy that the identification and designation of historic landmarks and historic districts and the approval or disapproval of exterior changes to designated property or their demolition or relocation or new construction on the site are stated to be a public purpose. [Ord. 2011-03]

18.33.050 Definitions.

“Architectural styles” means five building styles defined in the Yguado Plan as existing in Mesilla at the time the plan was issued (June 1973), to be used as historic precedents for building styles, construction techniques and design details to determine the historically appropriate appearance of new buildings and/or renovations to existing buildings within the historic districts.

“Construction” is defined as the act or process of erecting, removing or altering in any manner any building or structure or part thereof or the erection of a new structure on a lot or parcel of property. The act or process of alteration shall include rehabilitation, restoration, reconstruction, and preservation as defined in this section.

“Contributing structure” as defined in the National Register of Historic Places Inventory Nomination Form is a structure that is at least 50 years old and adds to the physical cohesiveness that ties a historic district together.

“Demolition” means any act or process that destroys a structure in part or in whole.

“Design standard” means a written standard of appropriate activity, the intent of which is to preserve the historic and architectural character of a structure, site or area.

“Development zone” means an area of structures that constitutes examples of historic precedents for building styles, construction techniques and design details. A physical inventory and comparison of these elements within a development zone is used to determine the historically appropriate building style, construction techniques and design details for new construction or alterations to existing structures within the development zone. There are three development zones: interior lot, corner lot and boundary lot, defined and illustrated in MTC [18.33.060](#).

“Historic property” means a building, structure or property individually listed or eligible for listing on the State Register of Cultural Properties or the National Register of Historic Places. The map and list of historic properties in the town of Mesilla and their classification as significant (S), contributing (C), neutral (N) and intrusive (I) are hereby adopted in their entirety by reference and are located in the community development department office.

“Historical appropriateness permit” means a permit issued by the planning, zoning and historical appropriateness commission (PZHAC) indicating that plans, as approved, for a building or structure and the site are historically appropriate for construction or demolition.

“Historical Commercial zone (H-C zone)” means an area or district designated as the “Historical Commercial zone” by ordinance of the town of Mesilla.

Historically Appropriate. When applied to new construction or an exterior alteration, a “historically appropriate” act or work is accomplished in a manner that preserves significant materials or the appearance of significant materials, the historic style and the historic features of the property or the development zone. At the same time, a “historically appropriate” act or work shall differentiate the new structure or design feature from the historic design features so that new work is not confused with what is genuinely part of the past.

“Landmark” means a structure or site that is worthy of rehabilitation, restoration, reconstruction and preservation because of its historic and/or architectural significance to the town of Mesilla pursuant to the procedures set forth in this chapter.

“Ordinary maintenance or repairs” is defined as any act or work, undertaken from time to time, that keeps a building or structure in good condition and repair and that does not change the exterior appearance of the building or structure in any way. Such maintenance and repair work requires a building permit but does not require a permit for a certificate of appropriateness. The building permit may be approved administratively.

“Planning, zoning and historical appropriateness commission” means a five-member board created by authority granted municipalities under the New Mexico State Statutes Annotated (1978) and appointed by the mayor and board of trustees, pursuant to the Mesilla Town Code.

“Preservation” is the act or process of applying measures necessary to sustain the existing form, integrity and materials of a building or structure and the existing form and vegetation of a site. The process of preservation requires the retention of the greatest amount of historic fabric, along with the building’s historic form, features and detailing as they have evolved over time. New exterior additions are not within the scope of this treatment. See MTC [18.33.180](#) for additional standards for preservation taken from the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

“Property/site” means land, buildings and structures in town-designated historic districts or land, buildings and structures individually designated by the town as historic.

“Public comments” means written comments from members of the public that are given to the planning, zoning and historical appropriateness commission and that relate to items under consideration by the commission.

“Public hearing” means a meeting of the planning, zoning and historical appropriateness commission at which members of the public provide testimony and comment regarding a specific item under consideration by the commission; 14-day notice must be given.

“Public meeting” means a meeting of the planning, zoning and historical appropriateness commission at which members of the public comment on items under consideration by the commission.

“Reconstruction” means using detailed photographic, physical or documentary evidence; reconstruction is the act or process of reproducing by new construction the exact form and detail of a vanished building, structure or site or a portion thereof in its historic location as it appeared at a specific time. See MTC [18.33.180](#) for additional standards for reconstruction taken from the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

“Rehabilitation” is the act or process of making possible an efficient contemporary use for a property or a process of returning a property to a state of utility through repair, alterations, and additions while preserving those portions and features which convey and are significant to the property’s historical, cultural or architectural values. See MTC [18.33.180](#) for additional standards for rehabilitation taken from the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

“Residential – Cultural – Historical zone, H-R zone” means an area or district designated as the “Residential – Cultural – Historical zone” by ordinance of the town of Mesilla.

“Restoration” is defined as the act or process of accurately recovering the form, features, character and setting of a property as it appeared at a particular period of time by means of the removal of features from other periods in history and replacement of missing features from the restoration period. See MTC [18.33.180](#) for additional standards for restoration taken from the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

“Scale” is defined as proper proportion of structures in a historic development zone.

“Significant structure” as defined in the “National Register of Historic Places Inventory Nomination Form” is a structure that is architecturally outstanding or exceptionally important in the history of the community.

Structure. For the purposes of this title, "structure" is defined pursuant to the Mesilla Town Code and shall include, but not be limited to, buildings of any kind, fences and walls. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.040]

18.33.060 Development zone.

A development zone defines the immediate physical vicinity to be used to identify the historic character of a particular area and includes the predominant architectural style and design standards of existing structures together with their setting.

A. Function of the Development Zone. The function of the development zone is to provide for historically appropriate development within an existing historic district by setting standards for both new construction and alterations to existing structures.

B. Applicability of the Development Zone.

1. All structures shall be considered a part of and be subject to regulation by the development zone within which they are located or proposed to be located.
2. The design components of the individual architectural styles subject to regulation by the development zone include the following: building height, setbacks, proportions, pattern and rhythm, roof types, surface texture, color, site utilization, projections and architectural details.

C. Process to Identify a Development Zone. Identify the immediate vicinity of surrounding, adjacent structures that relate most directly to any new construction or exterior alteration to an existing structure that is to take place on an interior lot, a corner lot or a boundary lot as follows:

1. Development zone for an interior lot shall include any lot fronting on the same street as the lot in question and within the same block, as well as those lots located on the opposite side of the street, except such portions of the zone which fall outside the boundary of the historic district.
2. Development zone for a corner lot shall include any lot fronting on the same streets as the lot in question and within the same block, as well as those lots located on the opposite side of the streets, including the opposite corner, except such portions of the zone which fall outside the boundary of the historic district.
3. Development zone of any lot located adjacent to a historic district boundary shall include all lots located in the same block plus those lots located on the opposite side of any street adjoining that block, as well as those lots located on the opposite corners, except such portions of the zone which fall outside the boundary of the historic district.

Illustrations of the three types of development zones are available in the office of the community development department.

D. Process to Use a Development Zone.

1. Identify the development zone for the work to be performed: interior, corner or boundary lot.
2. Obtain a photograph of the development zone from the community development department. If one does not exist, staff will prepare one.
3. If applicable, use the National Register of Historic Places Inventory Nomination Form to identify the historic structures in the zone.
4. Conduct a physical inventory and comparison of the structures within the development zone to identify the predominant architectural style and the predominant architectural details that exemplify the particular style together with the setting.
5. Once an appropriate architectural style and/or architectural details have been determined, proceed with the process to obtain a permit for a certificate of historical appropriateness.
6. If there is no predominant architectural style within the selected development zone, then the historic district (H-C or H-R) as a whole shall become the development zone for the architectural style.
7. If particular design criteria are missing from the selected architectural style within the development zone, then the historic district as a whole (H-C or H-R) shall become the development zone for the missing design criteria for the architectural style. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.050]

18.33.070 Powers and duties of the PZHAC relating to historic preservation.

In addition to the powers and duties stated elsewhere, the PZHAC shall take action necessary and appropriate to accomplish the historic preservation goals of this chapter. These actions may include, but are not limited to, the following:

- A. Conducting and maintaining a survey of historic buildings and areas and preparing a plan for their preservation;
- B. Recommending to the board of trustees the designation of historic landmarks and historic districts;

- C. Adopting written guidelines for making exterior changes to designated property and for undertaking new construction on designated property;
- D. Regulating exterior alterations proposed for designated property and regulating demolitions, relocations and new construction involving designated property;
- E. Working with and advising the federal, state and county governments and other parts of the town government on historic preservation issues;
- F. Advising and assisting owners of historic property and other persons and groups who are interested in historic preservation;
- G. Reporting to the board of trustees on the present condition of historic properties in order to prevent demolition by neglect;
- H. Conducting educational programs for property owners and the public, preparing publications and placing historical and architectural plaques on buildings;
- I. Attending educational programs covering the historic preservation duties of the PZHAC and current developments in historic preservation;
- J. Participating in the nomination of properties to the State Register of Cultural Properties and to the National Register of Historic Places;
- K. Performing duties that may be delegated to the town by the State Historic Preservation Officer under the Certified Local Government Program; and
- L. Recommending that the town apply for, receive and use public and private grants or gifts to help historic preservation activities. [Ord. 2011-03]

18.33.080 Historical appropriateness permit.

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

B. Process to Obtain a Certificate of Historical Appropriateness Permit.

1. **Preapplication Procedure.** A planning conference shall be held with community development staff. This conference is designed to provide the applicant with an opportunity to become acquainted with the rules and regulations of the historic conservation standards and processes and does not require a formal application. A copy of “A Guide to Building Permits in the Historic Zones” shall be provided to the applicant and shall be used during the review process outlined below.
2. **Preliminary Application.** At this stage, the applicant shall be required to submit a preliminary application containing the following information: type of structure, location, proposed use and type of work proposed.
3. **Planning Conference.** In this conference, the applicant and staff shall determine and review the following:
 - a. Identify the development zone;
 - b. For new construction, select an architectural style appropriate to the development zone. For work involving alterations to an existing structure, identify the structure’s architectural style;
 - c. Complete a compliance checklist of design standards/a building permit submittal checklist for the identified architectural style as set forth in MTC [18.33.170](#);
 - d. As applicable, complete a compliance checklist of rehabilitation standards as set forth in MTC [18.33.180](#);
 - e. If building style does not substantially comply with the checklist of design standards, staff will evaluate the style or features for compliance on a case-by-case basis.
4. **Work Session with PZHAC.** Applicant shall then submit to the PZHAC a formal application with a preliminary plan and supporting data containing the information gathered in the steps above for review by the PZHAC for historical appropriateness.
5. **PZHAC Agenda.** After the preliminary plan and supporting data are reviewed for completeness by the PZHAC during the work session, the application shall be placed on the PZHAC agenda for consideration for a permit for a certificate of historical appropriateness. Public notice shall be given about the application including conspicuous posting on the property. The PZHAC may schedule a public hearing on an application involving a structure with a “significant” designation on one of the historic registers. Conspicuous notice of the hearing shall be given by posting one

sign in front of the property and the posting of additional signs at 300-foot intervals on the property for large properties of more than 600 feet frontage.

6. Decision by the PZHAC. The PZHAC shall make a decision on the application within 45 days after the receipt of complete plans and supporting data; provided, that the PZHAC may extend the time for its decision an additional 30 days when the application is for a demolition. The PZHAC shall recommend approval, approval with modifications, or disapproval of application. The recommendation with modifications shall contain the revisions that the applicant may accept in order to receive a certificate of historical appropriateness. If the PZHAC disapproves an application, it shall give the applicant its reasons in writing, and the applicant may appeal the decision. If the PZHAC fails to decide on an application within the specified time period, the application shall be deemed recommended for approval and forwarded to the board of trustees.

C. Routine Maintenance and Repairs. The commission shall adopt a policy setting forth the standards and process for routine maintenance and repairs to structures within the historic districts that may be approved administratively by staff without consideration at a meeting provided the applicant files a building permit, pays the appropriate fee and complies with the design and materials guidelines set forth in this chapter. This includes but is not limited to elements of the individual architectural styles; colors for stucco, trim and doors, fences and gates; and roofing material and color. Staff shall report these administrative approvals in a timely manner on the agenda of each PZHAC meeting.

D. Exemptions. Work in any of the following categories shall be exempt from obtaining a certificate of historical appropriateness permit:

1. Maintenance or repairs which do not involve a change of the existing design, exterior materials or scale or outward appearance of the structure.
2. Work required by a town staff to eliminate an unsafe condition; provided, that any permanent repairs shall meet the criteria of subsection (D)(1) of this section.
3. Installation of storm windows or storm doors, with or without screens, painted or unpainted; provided, however, that no such windows or doors shall have any ornamental feature such as grilles, monograms, etc. This provision shall not be construed to prohibit the installation of plain bars on the inside of such windows or doors for protection of the screens or glass. If a study indicates that storm windows are necessary, the use of interior storm windows is preferred, and interior storm windows are also exempt from obtaining a certificate.
4. Erection of any accessory structure designed for the shelter of very small animals, such as rabbits and poultry; and provided, that such proposed accessory structure is not prohibited by

another statute, regulation or ordinance; and provided, that the maximum horizontal or vertical dimension of any such proposed structure does not exceed four feet. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.060]

18.33.090 Design components or development criteria and compliance checklists.

A. Design Components – Definition. Within the town’s historic districts there exist similarities in the design components and construction of the buildings. The similarities are expressed by a number of basic design components which include but are not limited to building height, setback, proportions, pattern and rhythm, roof types, surface texture, color, site utilization, projections and architectural details. These similarities provide the basis for determining precedent examples of the five architectural styles and their architectural details. The precedent examples themselves, identified by Yguado & Associates in 1973, are used to assure both the retention of an individual structure’s exterior historic form, features and detailing and the historically appropriate development of the district.

B. Design Components – Use. The design components define the building materials and exterior character-defining features for each of five architectural styles, such as:

1. The form and detailing of exterior materials, such as masonry, wood, and metal.
2. The form and detailing of exterior features, such as roofs, porches, doors and windows, as well as structural and mechanical systems. Where publicly visible, structural and mechanical systems, including solar and other energy collecting and conserving equipment, shall be architecturally integrated or screened.
3. The structure’s site and setting.

C. Design Components – Checklist. When considering an application for a permit for a certificate of historical appropriateness, the commission shall determine if the application complies or does not comply with each of the design components or development criteria which are organized by architectural style and presented in checklist form in MTC [18.33.170](#). [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.070]

18.33.100 Miscellaneous, including colors for architectural components, gates, fences, and stucco and material and color for metal roofing.

A. Colors for Architectural Components, Including Windows, Trim, Doors, and for Gates and Fences.

1. Criteria to be used in selecting an appropriate color for architectural components, gates and fences include, but are not limited to:

- a. The size of the surface area to be covered.
 - b. Other colors that will surround the architectural component, gate or fence.
 - c. Type and texture of the surface, such as rough stucco, smooth metal or wood.
2. An album of color charts and photographs to be used by commissioners, staff and citizens in determining appropriate colors for architectural details and, by extension with this chapter, for gates and fences, is available in the community development department office.

B. Colors for Exterior Stucco.

1. Appropriate colors include colors in the cream to medium brown earth tones referred to in the individual architectural styles found in MTC [18.33.170](#) as characteristic of a particular style. Permitted acrylic latex paint colors shall be subtle and muted rather than bright and reflective.
2. The combination of exterior wall and trim colors on the same structure shall be historically appropriate, which for trim colors includes natural wood, off whites, creams and beiges as described in the individual architectural styles found in MTC [18.33.170](#), along with the colors presented in the color chart album.

C. Metal Roofing. Historically appropriate material and colors for new and replacement metal roofs are corrugated metal in either the natural gray or brick red color. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.080]

18.33.110 Standards for alterations.

The Secretary of the Interior's Standards for the Treatment of Historic Properties authorized by the National Historic Preservation Act of 1966, developed in 1992 and codified as [36 CFR 68](#), and subsequent revisions, amendments and additions thereto adopted by the Secretary of the Interior are hereby adopted in their entirety into this chapter by reference.

A. Application. These standards shall apply to all work or acts performed on the exterior of historic buildings and structures used commercially and zoned H-C, Historical Commercial, that are designated "significant" or "contributing."

B. Function. The standards identify and define appropriate treatments for the alteration of exterior character-defining features, including the form and detailing of materials, spatial relationships, and structural and mechanical systems. The standards also encompass related landscape features and the building's site as well as attached adjacent or related new construction. The standards are to be

applied to specific projects in a reasonable manner, taking into consideration economic and technical feasibility.

C. Guidelines. Guidelines to be used to assist in implementing the standards are found in the Secretary of the Interior's Standards for the Treatment of Historic Properties, and are available in the community development department. The guidelines are divided into two categories:

1. Recommended approaches, treatments and techniques that are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties; and
2. Not recommended approaches, treatments and techniques that are not consistent with the Secretary's standards and could adversely affect a building's historic character. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.090]

18.33.120 Demolition.

A. The demolition of a significant or contributing structure within a historic district shall require a permit that includes verification by a qualified architect or certified structural engineer, with a background in architecture preferred, that the structure is not repairable or reusable.

The applicant shall provide the report containing the verification. The applicant shall also provide the plans for the site in order to demonstrate that it will not harm adjacent properties. The PZHAC may schedule a public hearing on the application. Conspicuous notice of the hearing shall be given by posting one sign in the front of the property and the posting of additional signs at 300-foot intervals, on said property, for large properties of more than 600 feet frontage.

B. Before voting on the demolition application, the PZHAC shall discuss with the applicant to see if an alternative to demolition can be found. The PZHAC may ask the applicant for additional information to be used in making its decision.

C. The PZHAC shall study the question of financial hardship for the applicant and shall determine whether the property can be put to reasonable beneficial use without the approval of the demolition application. Using the record that was developed, the PZHAC shall vote on the application following the procedures in MTC [18.33.080](#), Historical appropriateness permit. Options to prove financial hardship shall be: (1) income of 50 percent or lower of the average median income standards established for Dona Ana County; (2) proof of income documented with tax returns and annual expenditures.

D. If a demolition permit is issued, prior to the demolition the structure shall be documented with photographs, sketch plans and a brief historical description.

E. Demolition of intrusive features on a structure for the purpose of restoring original historic features should be encouraged and shall be exempt from the architect/engineering requirement. Documentation of the original features shall be provided in order to receive demolition approval. [Ord. 2011-03]

18.33.130 Preservation of historic property.

Every person in charge of a landmark or a property in a historic district shall keep in good repair: (A) all of the exterior portions of such property and (B) all interior portions which, if not maintained, may cause the exterior of the structure to deteriorate or to become damaged or otherwise to fall into a state of disrepair. The purpose of this section is to prevent a person from forcing the demolition of a building or structure by neglecting it or by permitting damage to it because of weather or vandalism. No provision in this chapter shall be interpreted to require an owner or tenant to undertake an alteration or to restore a building or structure to its original appearance. PZHAC shall consider financial hardship per MTC [18.33.120\(C\)](#). [Ord. 2011-03]

18.33.140 Designation of landmarks and historic districts.

A. The PZHAC may study a property or an area in order to make a recommendation on whether it qualifies for designation as a landmark or a historic district. The board of trustees, a property owner, an individual or a neighborhood organization may also request the PZHAC to make such a study and recommendation.

B. The PZHAC shall assemble information about the property or the area being considered for designation and shall schedule a public hearing on the proposed designation. Public notice of the hearing shall be given, including conspicuous posting on the property or in the proposed district for 14 days immediately prior to the hearing. Conspicuous notice of the hearing shall be given by posting one sign in the front of the property and the posting of additional signs at 300-foot intervals for large properties of more than 600 feet frontage. Notice of the hearing shall be given by certified mail at least 14 days in advance of the hearing to the owners of property under consideration. Written notice shall be considered sufficient when it is mailed to the person listed on the tax records of the government.

C. A landmark or a historic district shall qualify for designation when it meets one or more of the following criteria that will be discussed in a PZHAC report making its recommendation to the board of trustees:

1. Its value as a reminder of the cultural or archaeological heritage of the town, state or nation;
2. Its location as a site of a significant local, state or national event;

3. Its identification with a person or persons who significantly contributed to the development of the town, state or nation;
4. Its identification as the work of a master builder, designer or architect whose individual work has influenced the development of the town, state or nation;
5. Its value as a building or buildings that are recognized for the quality of their architecture and that retain sufficient elements showing their architectural significance;
6. Its distinguishing characteristics of an architectural style valuable for the study of a period, method of construction or use of indigenous materials;
7. Its character as a geographically definable area possessing a significant concentration of buildings, structures or sites united by past events or aesthetically by plan or physical development; and
8. Its character as an established and geographically definable residential neighborhood, united by culture, architectural styles, plan or physical development.

D. After evaluating the testimony at its public hearing and the other material it has assembled, the PZHAC shall decide whether or not to recommend the proposed designation to the board of trustees. If the PZHAC decides to recommend the designation, it shall submit a written report with information on the property or properties. The board of trustees shall approve, modify or disapprove the proposed designation within 60 days after receiving the recommendation and report from the PZHAC.

E. The PZHAC shall notify the owners of the property that has been designated and shall arrange that the designation of a property as a landmark or as a part of a historic district shall be recorded in the land records of the county. The PZHAC shall also give notice of the designation to the government offices in the town and in the county which shall retain the information for future reference.

F. The amendment or rescission of a designation shall be accomplished through the same steps as were followed in the original designation. [Ord. 2011-03]

18.33.150 Appeal from historical appropriateness action.

The process for an appeal from a PZHAC historical appropriateness action shall be pursuant to this title. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.100]

18.33.160 Enforcement.

Responsibility for enforcement shall be pursuant to the Mesilla Town Code. All work performed pursuant to a certificate of historical appropriateness shall conform to the provisions of such certificate. It shall be the responsibility of the town staff to inspect from time to time work being performed to assure such compliance. In the event work is being performed that is not in accordance with such certificate, the town may issue a stop work order. In the event work is being performed without the required certificate of historical appropriateness, the town may issue a stop work order. The PZHAC or its representative shall meet with the owner or tenant to resolve the problem. When necessary, the town attorney may seek an injunction and any other appropriate relief in order that the intent of this chapter shall be carried out. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.110]

18.33.170 Appendix A – Design standards with compliance checklist for the following architectural styles: Spanish Pueblo, Territorial, Spanish Mission, Northern New Mexico and Ranch Style.

Each style and its design standards with compliance checklist are listed below with instructions for completing the checklist. The styles appear on separate pages for ease in copying for individual use.

SPANISH PUEBLO

Design standards with compliance checklist for the Spanish Pueblo architectural style.

When completing a checklist, applicants shall circle all the components within individual items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked “n/a.”

A “1” in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

| | COMPLIANCE | |
|---|-------------------|-------------|
| | YES | NO |
| Design Components | | |
| Building Height: One or two stories, to be determined by development zone. | ✓ _____ | _____ |
| Setback: For commercial usage, can be built to property line; for residential, meets prevailing setback in the development zone. | ✓ _____ | _____ |
| Proportion, relationship of height to length: Buildings are long and low (1). | ✓ _____ | _____ |
| In the case of a two-story application of this style, the second level occurs over only a portion of the lower level. | _____ | MA _____ |

COMPLIANCE

YES NO

The overall proportion of the building is dependent in part on the height of the firewall or parapet which is a continuation of the exterior walls extending beyond the roof line on three or more sides (1).

✓ _____

Walls, historically, are reduced in thickness towards the top to form a battered silhouette.

_____ ✓

Portales or porches, if used, create a lower profile than the basic building (1).

✓ _____

The character of the building's shapes is rounded or softened without sharp lines.

_____ ✓

Pattern and Rhythm

Solid wall space is greater in any facade than window and door space combined (1).

✓ _____

Window and door openings are small and randomly, not symmetrically, placed on the facades.

✓ _____

Window heights from grade are uneven.

✓ _____

Canales, or drainspouts, pierce the parapet and are spaced in an uneven pattern as required for drainage.

✓ _____

| | Number | Proportion | Size |
|---------|-------------------|------------|----------|
| Doors | 2 | | STANDARD |
| Windows | 2 | | 3x2 |
| Gates | PORCH - FRONT | | |
| Walls | 2x6 STANDARD WITH | | |

COMPLIANCE

YES NO

Roof Type

Flat with a slight slope for drainage.

✓ _____

Parapet or firewall: roofs are surrounded on at least three sides by a parapet or firewall.

✓ _____

Surface Texture of Walls

Mud plaster. Hard plaster, smoothly applied, is acceptable.

✓ _____

Color

COMPLIANCE

YES NO

Exterior walls must be of a same single color. Acceptable colors are those of natural adobe, ranging from a light earth color to a dark earth color. Flat white is also acceptable. (See color charts)

✓ _____

The protected space under portales may be painted white or a contrasting color or a mural may be used.

Site Utilization

Follows development zone. Historically, examples of this style are seen most often in a rural setting or with setbacks if sited in an urban location.

✓ _____

Projections and Cavities

Historically, windows are usually deep set defining, from the exterior, the wall thickness.

_____ ✓

Wall heights vary according to room shapes or additions.

_____ _____

Buttresses, fireplace outlines and chimneys are massive and important facade elements.

✓ _____

Vigas, or beams, round or rectilinear, sometimes project through exterior walls or are sometimes cut flush with the unplastered adobe walls and plastered over for protection.

_____ X

Architectural Details

Wood trim is minimal around window and door openings with a rounding of the wall creating a transition from wall surface to window surface.

X _____

Canales are built up of saw timber, hollowed out from logs, or sheet metal bent to shape, or ceramic pipe sections or other materials as long as they are encased in one of the above materials.

X _____

Lintels above windows and door openings are exposed wood.

X _____

Portales or covered porches, either inset or projecting, have posts of round logs capped with a corbel and square beams.

✓ _____

(The rest of this page is left blank intentionally)

TERRITORIAL

X 

Design standards with compliance checklist for the Territorial architectural style.

When completing a checklist, applicants shall circle all the components within items that apply to their application and annotate their responses as needed. If a component is not required and does not

apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

| | COMPLIANCE | |
|---|-------------------|-----------|
| | YES | NO |
| Design Components | | |
| Building Height: Usually one story; however, each case will be determined individually by the development zone. | _____ | _____ |
| Setback: Varies according to the development zone. Historically, in urban/commercial settings, territorial buildings were built on or close to the property line with front facades occupying the entire lot frontage and entrances directly off the street. In rural residential settings, territorial buildings generally have large front yard setbacks. | _____ | _____ |
| Proportion, relationship of height to length. Buildings are long and low in proportion (1). | | |
| Historically, walls are usually two feet thick, but are sometimes two feet six inches thick to three feet in proportion to wall heights. | | |
| The overall proportion of the building is dependent in part on the height of a firewall or parapet, which is a continuation of exterior walls extending beyond the roof line on three or more sides (1). | _____ | _____ |
| Portales or porches, if used, create a lower profile than the basic building. | _____ | _____ |
| Pattern and Rhythm | | |
| Solid wall space is always greater in any facade than window and door space combined (1). | _____ | _____ |
| Window placement on facades is regular and below center. | _____ | _____ |
| Windows are of larger size with multi-paned glazing of individual panes no larger than 30 square inches (1). | _____ | _____ |
| Canales or drainspouts are evenly spaced along the facades and, historically, are more fine and precise in appearance than those used in the Spanish Pueblo style. | _____ | _____ |

| | Number | Proportion | Size |
|--------------|--------|------------|------|
| Doors | | | |

| | Number | Proportion | Size |
|----------------|--------|------------|------|
| Windows | | | |
| Gates | | | |
| Walls | | | |

COMPLIANCE

YES NO

Roof Type

Flat with a slight slope for drainage.

Parapet or firewall: roofs are surrounded on at least three sides by a parapet or firewall.

Surface Texture

Construction is of adobe but may be built of other materials simulating adobe.

Walls are sharp edged with abrupt changes of wall direction.

Walls, historically, are covered with mud plaster. Hard plaster or stucco, smoothly applied, colored or painted the color of natural adobe is acceptable.

Color

Color may range from dark to light earth color. Flat white may also be used. In protected spaces under portales, white or a contrasting color or mural may be used. (See color chart)

Site Utilization

Determined by development zone, size of site and intended use.

In areas of more dense development, high walls along with buildings set on the property line are used to enclose the lot for privacy and environmental protection.

Projections and Cavities

Canales, or drainspouts, pierce the firewalls at the roofline to provide drainage.

Windows are set flush with outside wall surfaces.

Doorways are either flush or slightly recessed in the exterior walls.

Portales, either inset or projecting, are light in effect, built of milled lumber of a scale and detail consistent with other wood elements of the building.

Vigas do not usually project from exterior walls, although in the case of buildings of adobe that have been altered to achieve the territorial style, projecting or partially exposed vigas occur.

Architectural Details

COMPLIANCE

YES NO

| | | |
|---|-------|-------|
| Firewalls are usually capped with a coping of fired brick or masonry. Sometimes the coping was added to a basic adobe building along with other details to achieve the style. | _____ | _____ |
| Door and window openings are framed with milled wood in an American Colonial (Greek Revival) design. | _____ | _____ |
| Doors are usually colonial but heavy paneled Spanish doors or appliqued doors are acceptable. | _____ | _____ |
| Structural lintels above windows and door openings are not exposed. | _____ | _____ |
| Metal or wood shutters are often used in conjunction with glazed windows. | _____ | _____ |
| Portales should be built with a parapet, capped or not, as has the basic building. | _____ | _____ |
| Buttresses, fireplace outlines and chimneys are usually not important facade elements. | _____ | _____ |

(The rest of this page is left blank intentionally)

SPANISH MISSION

Design standards with compliance checklist for the Spanish Mission architectural style.

When completing a checklist, applicants shall circle all the components within items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

COMPLIANCE

YES NO

Design Components

| | | |
|---|-------|-------|
| Building Height: To be determined by the development zone on a case-by-case basis. Historically, one or two stories with a vertical facade. In some cases the verticality is achieved primarily by the use of a false facade. | _____ | _____ |
|---|-------|-------|

COMPLIANCE

YES NO

Setback: In commercial usage, the building is sited on the front property line without setbacks. In residential usage, the buildings are sited with front, side and back yards.

Proportion: The use of facade design elements suggesting towers and belfries creates a verticality of a kind not evident in the other styles in Mesilla. This verticality is illustrated by the commercial buildings. In residential usage this verticality is implied rather than physically stated.

Pattern and Rhythm

Building surfaces are broken by applied or constructed openings.

The arched tower and belfry opening is repeated in the design of door and window openings.

In general, there are large areas of solid wall surfaces in relation to the openings created by windows and doors (1).

Roof lines simulate the tower and belfry outline.

| | Number | Proportion | Size |
|----------------|---------------|-------------------|-------------|
| Doors | _____ | | |
| Windows | _____ | | |
| Gates | _____ | | |
| Walls | _____ | | |

COMPLIANCE

YES NO

Roof Type

Angled, flat, or a combination of both.

In the event that a roof is visible, the preferred surface material is Spanish tile.

Surface Texture

Smooth stucco.

Color

Usually white or earth walls with terra cotta tiled visible roof surfaces. (See color chart)

Site Utilization

COMPLIANCE

YES NO

In commercial usage, usually built to property line with facade extending the length of the property frontage (1).

In residential usage, the building is generally placed with front, side and back yards (1).

Landscaping is very formally arranged, with walls and arches reflecting the character of the basic building.

Projections

Windows and doorways are typically deeply recessed in arched openings.

Portales and covered walks are supported by arches.

Arched or simple buttresses are used.

Architectural Details

Arches, iron grilles or railings, carved doors, partially or completely rounded windows, ornate metal hardware and ceramic tile are used in the Spanish Mission style.

(The rest of this page is left blank intentionally)

NORTHERN NEW MEXICO

Design standards with compliance checklist for the Northern New Mexico architectural style.

When completing a checklist, applicants shall circle all the components within items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

COMPLIANCE

YES NO

Design Components

Building Height: Usually one story; however, each case will be determined individually by the development zone.

COMPLIANCE

YES NO

The use of two stories would require the use of the angled roof as an attic or otherwise part of the second story.

Setback: There is no typical setback distance used, therefore the setback of the development zone would prevail.

The application of this style is generally in a rural setting. Certain buildings in the commercial area of Mesilla exhibit this style of building set on the property frontage.

Proportion: There is a marked division between the roof and exterior walls. The proportion of the exterior walls, usually of adobe construction, is long and low but verticality is achieved by the added angled roof (1). Roof angles are sharp but rarely reaching an angle of 45 percent off the horizontal (1).

Pattern and Rhythm

The facades of these buildings are simple with few window openings of small overall size (1).

Doorways are numerous predicated on the pattern of construction and additions to the basic construction (1).

| | Number | Proportion | Size |
|----------------|---------------|-------------------|-------------|
| Doors | _____ | _____ | _____ |
| Windows | _____ | _____ | _____ |
| Gates | _____ | _____ | _____ |
| Walls | _____ | _____ | _____ |

COMPLIANCE

YES NO

Roof Type

The most significant style element is the angled roof of corrugated metal. It is used in either the hipped or pitched configuration. The hipped roof is angled from four sides with a ridge line shorter than the length of the building. The pitched roof is angled from two sides. The use of the pitched roof makes necessary a filler for the triangular area at the ends of the building created by the addition of the pitched roof.

Surface Texture

| | COMPLIANCE | |
|--|-------------------|-----------|
| | YES | NO |
| Surface texture is of adobe or simulated adobe construction with or without mud or hard plaster. | _____ | _____ |
| Color | | |
| White or earth color. (See color chart). | _____ | _____ |
| Site Utilization | | |
| These buildings in the commercial area utilize most of the available site space. | _____ | _____ |
| In the more open, rural parts of Mesilla, these buildings are sited in varying ways depending on overall site usage and the development zone. | _____ | _____ |
| Projections and Cavities | | |
| Portales or covered porches are roofed with the same basic roofing materials. | _____ | _____ |
| Portales are sometimes beneath extensions of the overall roof. In this case the angle of the basic roof is continued or broken slightly as required. | _____ | _____ |
| Portales are sometimes enclosed with screens. | _____ | _____ |
| Roof overhangs are generally minimal. | _____ | _____ |
| Architectural Details | | |
| Windows, doors, columns, chimneys and buttresses are similar to those found in other adobe based buildings. | _____ | _____ |

(The rest of this page is left blank intentionally)

RANCH STYLE

Design standards with compliance checklist for the Ranch architectural style.

When completing a checklist, applicants shall circle all the components within items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

| COMPLIANCE | |
|-------------------|-----------|
| YES | NO |

COMPLIANCE

YES NO

Design Components

Building Height: To be determined on a case-by-case basis based on the development zone. Historically, single story although two-story additions or complete two story buildings occur.

Setback: Front yards are typical.

Ranch styles are not built to the property line and the setback of the development zone would prevail.

Proportion: Generally low and sprawling.

The pitched or angled roof sometimes creates an appearance of verticality.

Pattern and Rhythm

The character of this design element is generated by large picture windows, covered walkways or connecting overhead structures, the use of many windows, steps up to raised foundations, abrupt changes in facades which reflect the varying sizes of inner spaces or additions and a pattern sometimes created by changes in material.

| | Number | Proportion | Size |
|----------------|---------------|-------------------|-------------|
| Doors | _____ | _____ | _____ |
| Windows | _____ | _____ | _____ |
| Gates | _____ | _____ | _____ |
| Walls | _____ | _____ | _____ |

COMPLIANCE

YES NO

Roof Type

Roofs are pitched, angled, or shallow hipped.

The use of prefab trusses on site of construction to achieve the angled roof is the typical technique.

Roofs are usually built with large overhangs (1).

The thickness of the roof is exaggerated by the addition of trim material.

Roofs are usually finished with shingles either of roofing paper or wood.

Roof types are pitched or shed with frequent intersections at changes in building plan.

COMPLIANCE

YES NO

Surface Texture

Ranch styles in Mesilla exhibit a variety of surface textures: brick, concrete block, stone, various kinds of siding, unplastered or plastered adobe and simulated adobe.

The individual Ranch style buildings or structures sometimes have a variety of finishes or textures due to veneers and additions.

Color

The Ranch style has no typical color. Due to construction, detail and use of veneers, a variety of colors are possible within an individual building.

Site Utilization

In Mesilla, Ranch style houses are usually outside the more densely developed older areas of the town.

Being a recent style, it is usually used in typical subdivision fashion.

Landscaping is controlled by fencing and walks.

Many ornamental plants and trees and large lawns create a green surrounding for the Ranch style house.

Projections and Cavities

More change of surface is shown by additions, garages, breezeways, covered entrances, manmade shade structures, roof overhangs and raised entrances with steps than in the other styles existing in Mesilla.

Architectural Details

Simple construction and basic design is evident in the Ranch style house.

Windows and doors are manufactured items.

Trim is simple and varied.

Scalloped edges, trellises and wood moldings are used.

[Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.120]

(The rest of this page is left blank intentionally)

18.33.180 Appendix B – Additional standards for preservation, rehabilitation, restoration and reconstruction taken from the Secretary of the Interior’s Standards for the Treatment of Historic Properties as developed in 1992 and codified as [36 CFR 68](#).

Each set of standards appears below on separate pages for ease in copying for individual use.

STANDARDS FOR PRESERVATION

A. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

B. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

C. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.

D. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

E. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

F. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color and texture.

G. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

H. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

(The rest of this page is left blank intentionally)

STANDARDS FOR REHABILITATION

A. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

B. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be

avoided.

C. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

D. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

E. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

F. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

G. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

H. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

I. New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion and massing to protect the integrity of the property and its environment.

J. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

(The rest of this page is left blank intentionally)

STANDARDS FOR RECONSTRUCTION

A. Reconstruction will be used to depict vanished or nonsurviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.

B. Reconstruction of a landscape, building, structure or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.

C. Reconstruction will include measures to preserve any remaining historic materials, features and spatial relationships.

D. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the nonsurviving historic property in materials, design, color and textures.

E. A reconstruction will be clearly identified as a contemporary re-creation.

F. Designs that were never executed historically will not be constructed.

(The rest of this page is left blank intentionally)

STANDARDS FOR RESTORATION

A. A property will be used as it was historically or be given a new use which reflects the property's restoration period.

B. Materials and features from the restoration period will be retained and preserved. The removal of materials or alteration of features, spaces and spatial relationships that characterize the period will not be undertaken.

C. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.

D. Materials, features, spaces and finishes that characterize other historical periods will be documented prior to their alteration or removal.

E. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize the restoration period will be preserved.

F. Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials.

G. Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties or by combining features that never existed together historically.

H. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

I. Archeological resources affected by a project will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

J. Designs that were never executed historically will not be constructed.

[Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.130]

(The rest of this page is left blank intentionally)

The Mesilla Town Code is current through Ordinance 2021-03, passed December 30, 2021.

Disclaimer: The town clerk's office has the official version of the Mesilla Town Code. Users should contact the town clerk's office for ordinances passed subsequent to the ordinance cited above.

Town Website: <http://www.mesillanm.gov/>

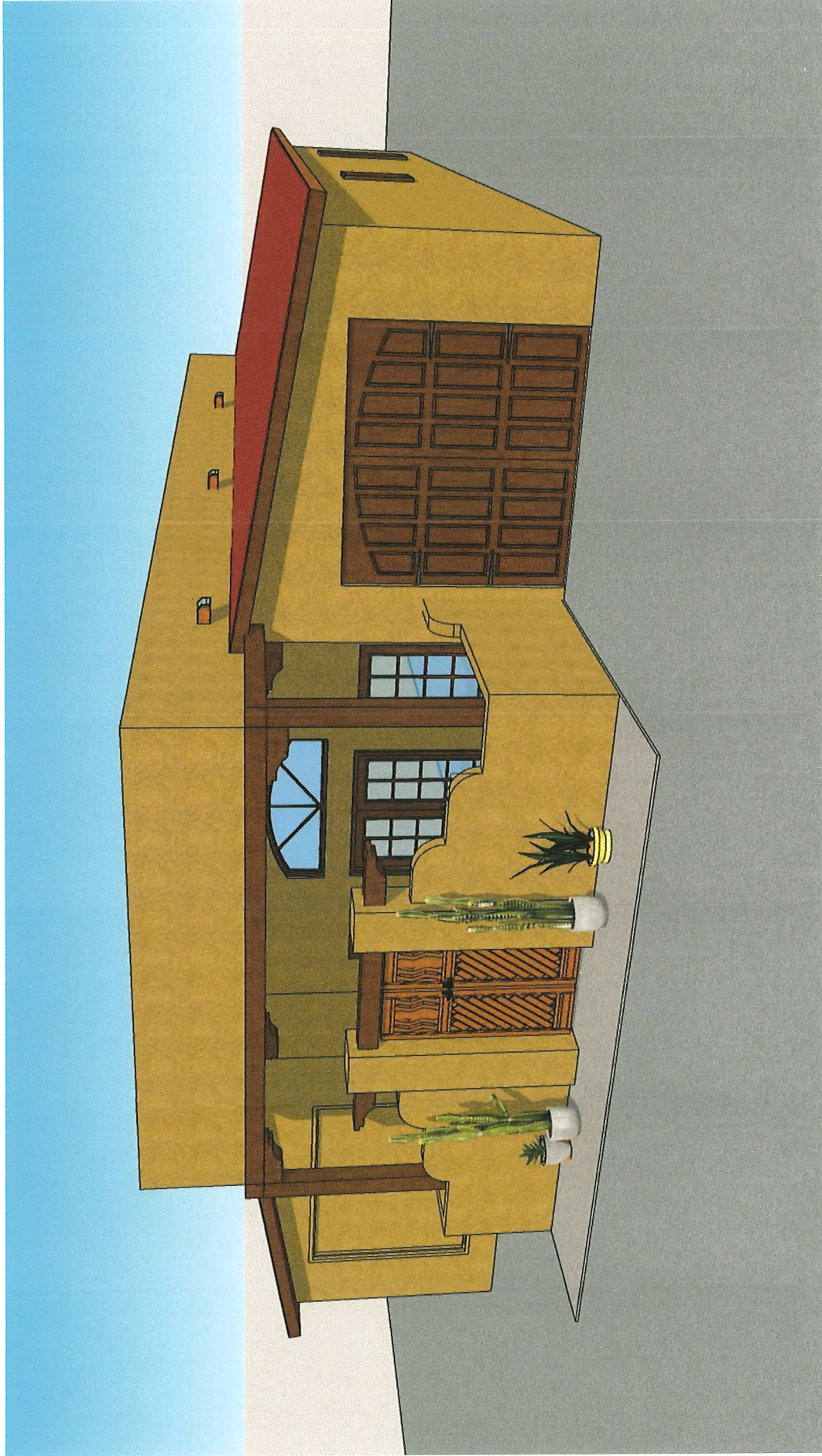
Town Telephone: (575) 524-3262

[Code Publishing Company](#)

2729 Calle de San Albino

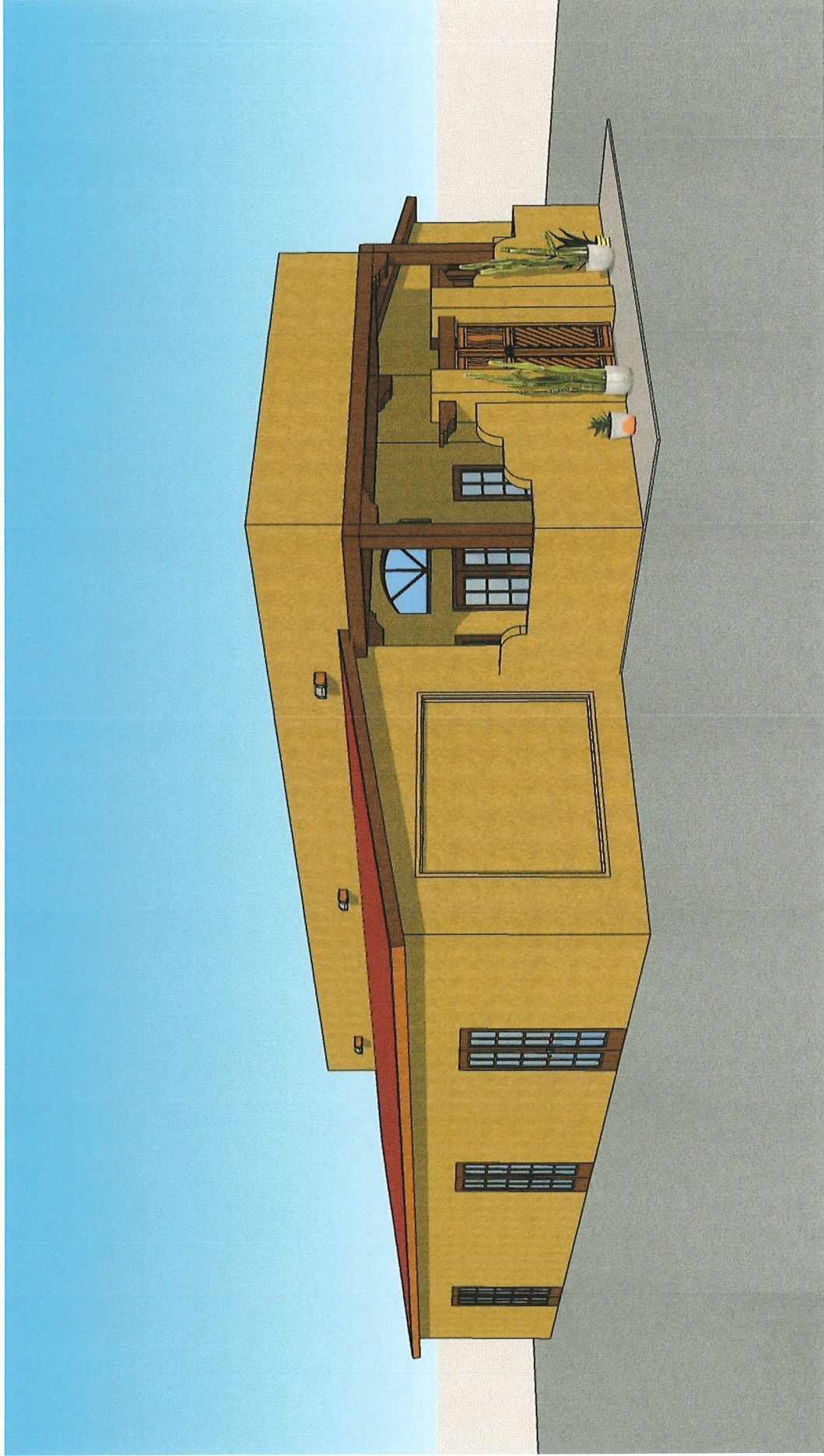
CONCEPTUAL PERSPECTIVE

061687
SUBMITTED COLOR CHANGE
ACTUAL ↓



2729 Calle de San Albino

CONCEPTUAL PERSPECTIVE



BOARD ACTION FORM

AGENDA DATE

PZHAC: August 21, 2023

BOT: August 28, 2023

ITEM: PZHAC CASE #061693 – submitted by Casa Blanka Imports, 1705 Tierra de Mesilla, requesting approval to construct a 8500 square feet commercial building next to his existing commercial building. Building will be used for future rental space. Zone: Commercial (C).

BACKGROUND AND ANALYSIS: Casa Blanka Imports has purchased property adjacent to its existing commercial property and has contracted Moy Surveying to survey the property and submit a replat. Replat at this stage has been reviewed and is out for utility approvals and will lastly be submitted for the Town of Mesilla's approval. Approval for this case is requested with conditions of replat be recorded with Dona Ana County Assessor's Office as one legally own lot. No structure can be built encroaching on property line regardless if both are owned by same person.

Merlin Enterprises will be constructing the proposed building. They are same company that built the existing commercial building. A 6-foot wall is not required to be constructed behind the property as it is not abutting to a residential zone, town code 18.60.170 Sec G. 3.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT COMMENTS:

- Parking requirements will be determined at time of space occupancy and type of business according to town code 18.60.170 Sec C.1. At this time, there are 57 parking spaces and 3 which are ADA approved.
- Each occupancy must pay parking fee if there is not sufficient parking for the type of business, town code 18.60.170 Sec F.3
- Sidewalk must be extended up to the edge of this front property with Mesilla approved material(s)-brick.
- PZHAC approved request 3-1 vote.

SUPPORTING INFORMATION:

- Application
- Site plan
- Replat survey/application
- Proof of Ownership
- Floor Plan
- Elevation Plans

TOWN OF MESILLA
APPLICATION FOR ZONING PERMIT

Permit Fee \$ 6679.00
 Review Fee \$ 685.50
 Total Fee \$ 7364.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 001693 ZONE: C CODE: NC APPLICATION DATE: 7/31/23

Name of Property Owner: Casa Blanca Imports
 Property Owner's Mailing Address: 3694 Santa Marcella Ave City: Las Cruces NM State: NM Zip Code: 88012
 Property Owner's E-mail Address: huices@hotmail.com
 Property Owner's Telephone Number: 915-226-7417

Contractor's Name & Address (If none, indicate Self): Merlin Electric P.O. Box 486 Mesquite NM Zip Code: 88048
 Contractor's Telephone Number: 575-639-0874 Contractor's Tax ID Number: [REDACTED] Contractor's License Number: 02094115003

Address of Proposed Work: 1705 Tierra de Mesilla
 Description of Proposed Work: Aprox 8500 sqft for future lease
Merlin Enterprises (575) 642-1273

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. Site plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Window replacement, need data sheet of new windows.
3. Foundation plan, new construction plans in full size drawings.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of property ownership/tenant lease. (Warranty Deed/Property Tax Receipt)
8. Drainage plan (commercial).
9. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
10. Valid government issues identification (Driver License/ID/Passport)

\$450,000
 Estimated Cost

[Signature]
 Signature of Applicant

7.31.23
 Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. All zoning permits expire after one year from date issued.
*****ALL permits must be displayed in clear view until final inspection*****

FOR OFFICIAL USE ONLY

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

PZHAC Administrative Approval Approved Date: _____ Disapproved Date: _____ Approved with conditions

BOT Approved Date: _____ Disapproved Date: _____ Approved with Conditions

CID PERMIT/INSPECTION REQUIRED: YES NO

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

STATE OF NEW MEXICO
CONSTRUCTION INDUSTRIES DIVISION

MERLIN ELECTRIC

LICENSE NUMBER

28071

Qualifying Party(S)

SOLIS MANUEL L.

EXPIRES

02/28/2025

CLASSIFICATION(S)

EE98



[Signature]
DIRECTOR

This card is the property of the CID and shall be surrendered upon demand

STATE OF NEW MEXICO
CONSTRUCTION INDUSTRIES DIVISION

MERLIN ENTERPRISES

LICENSE NUMBER

378859

Qualifying Party(S)

SOLIS MANUEL

EXPIRES

06/30/2025

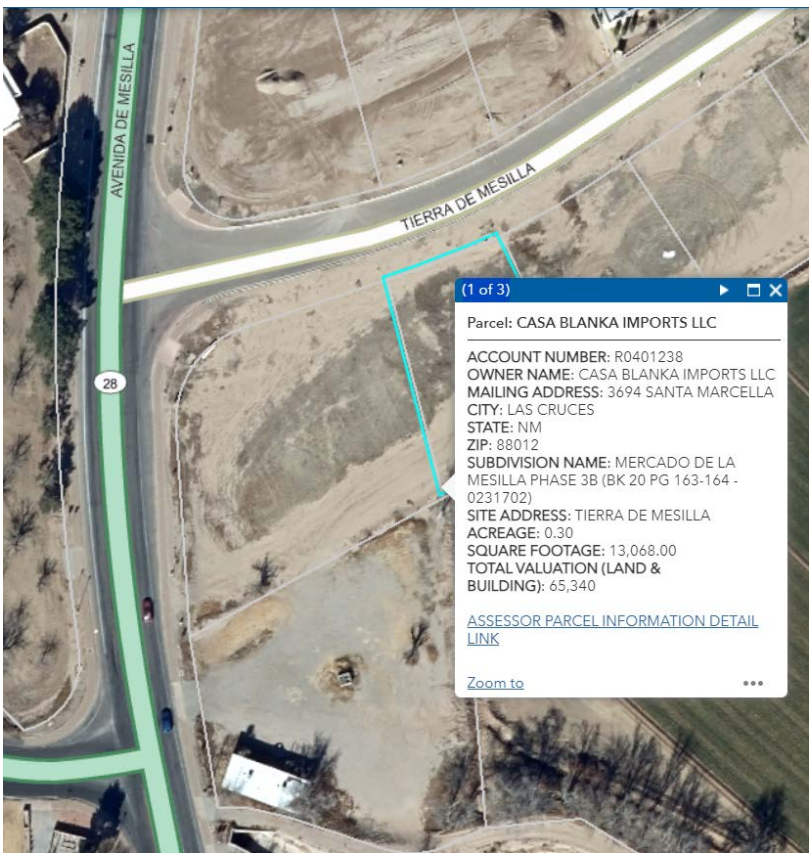
CLASSIFICATION(S)

GB98



[Signature]
DIRECTOR

This card is the property of the CID and shall be surrendered upon demand



(1 of 3)

Parcel: CASA BLANKA IMPORTS LLC

ACCOUNT NUMBER: R0401238
 OWNER NAME: CASA BLANKA IMPORTS LLC
 MAILING ADDRESS: 3694 SANTA MARCELLA
 CITY: LAS CRUCES
 STATE: NM
 ZIP: 88012
 SUBDIVISION NAME: MERCADO DE LA
 MESILLA PHASE 3B (BK 20 PG 163-164 -
 0231702)
 SITE ADDRESS: TIERRA DE MESILLA
 ACREAGE: 0.30
 SQUARE FOOTAGE: 13,068.00
 TOTAL VALUATION (LAND &
 BUILDING): 65,340

[ASSESSOR PARCEL INFORMATION DETAIL
LINK](#)

[Zoom to](#) ...



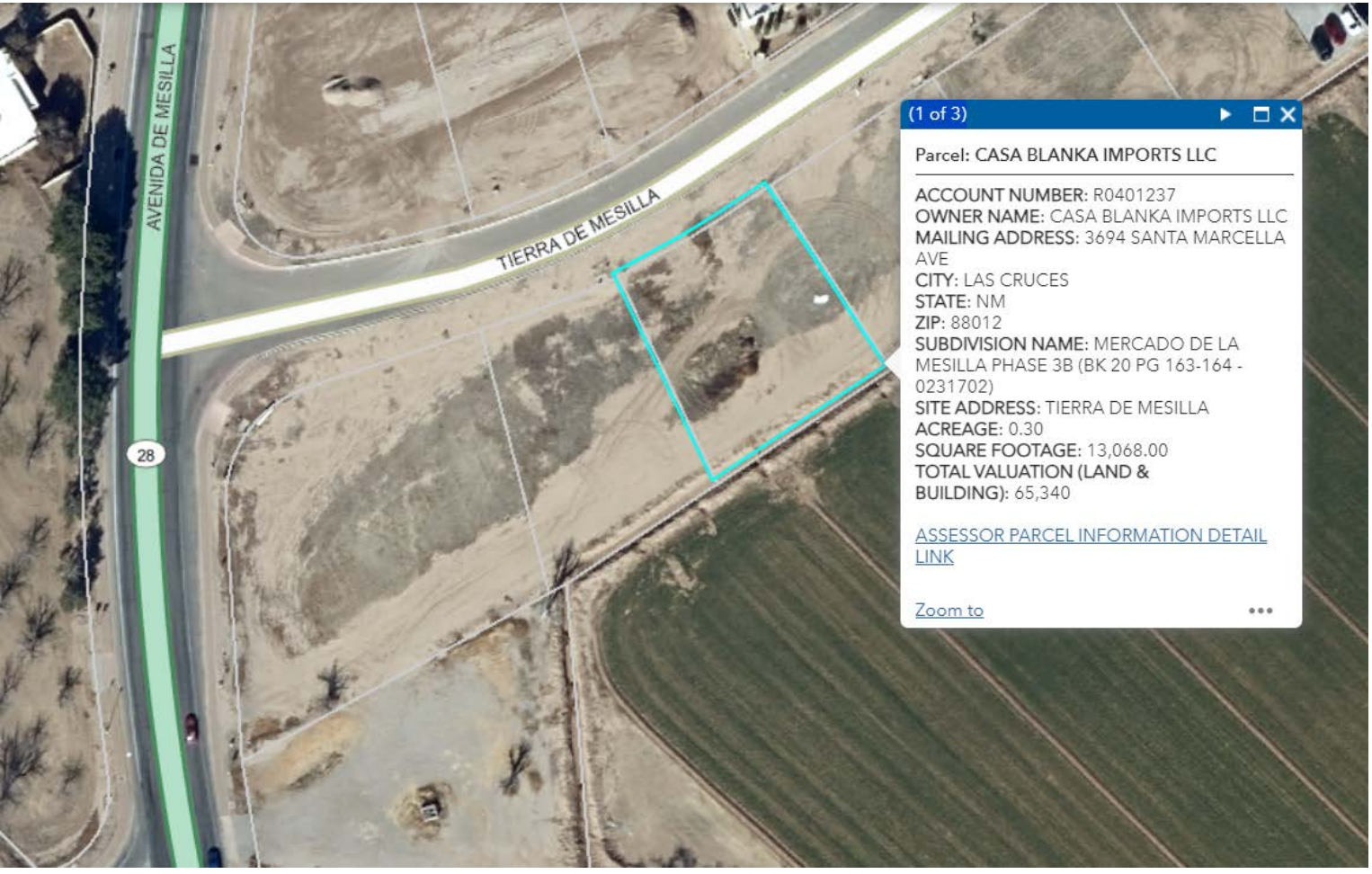
(1 of 3)

Parcel: CASA BLANKA IMPORTS LLC

ACCOUNT NUMBER: R0401239
 OWNER NAME: CASA BLANKA IMPORTS LLC
 MAILING ADDRESS: 3694 SANTA MARCELLA
 CITY: LAS CRUCES
 STATE: NM
 ZIP: 88012
 SUBDIVISION NAME: MERCADO DE LA
 MESILLA PHASE 3B (BK 20 PG 163-164 -
 0231702)
 SITE ADDRESS: 1705 TIERRA DE MESILLA
 ACREAGE: 0.64
 SQUARE FOOTAGE: 27,878.00
 TOTAL VALUATION (LAND &
 BUILDING): 498,328

[ASSESSOR PARCEL INFORMATION DETAIL
LINK](#)

[Zoom to](#) ...



(1 of 3)

Parcel: CASA BLANKA IMPORTS LLC

ACCOUNT NUMBER: R0401237
 OWNER NAME: CASA BLANKA IMPORTS LLC
 MAILING ADDRESS: 3694 SANTA MARCELLA
 AVE
 CITY: LAS CRUCES
 STATE: NM
 ZIP: 88012
 SUBDIVISION NAME: MERCADO DE LA
 MESILLA PHASE 3B (BK 20 PG 163-164 -
 0231702)
 SITE ADDRESS: TIERRA DE MESILLA
 ACREAGE: 0.30
 SQUARE FOOTAGE: 13,068.00
 TOTAL VALUATION (LAND &
 BUILDING): 65,340

[ASSESSOR PARCEL INFORMATION DETAIL
LINK](#)

[Zoom to](#) ...

RECEIVED



OFFICIAL USE ONLY:

Case # 061651

Fee \$ 200.00

CASE NO. 061651 ZONE: C CODE: Replat APPLICATION DATE: 6/1/23

Preliminary Plat Summary Subdivision Final Plat Vacation of Lot Line

CASA BLANKA IMPORTS LLC Name of Applicant Applicant's Telephone/Cell Number

3694 SANTA MARCELLA LAS CRUCES NM 88012 Mailing Address City State Zip Code

Owner of Record: Address City State Zip Code Moy Surveying, Inc 18078 1985 Calle De Colon MESILLA, NM 88046 575-525-9683

Name of Engineer License # of Engineer Address Telephone/Cell Number

Name of Architect License # of Architect Address Telephone/Cell Number

MERCADO DE LA MESILLA PHASE 3B MESILLA, NM Subdivision Name Subdivision Location

Total Acreage 1.250 AC Number of Lots: 1 Acreage of Largest Lot: 1.250 AC Acreage of Smallest Lot: Legal Description LOTS 9-11, BLOCK A, MERCADO DE LA MESILLA PHASE 3B

Tax Map Property Code (s) R0401239,R0401238,R0401237 Jacob's Map #

A ZONE CHANGE, VARIANCE, EXEMPTION, OR SPECIAL PERMIT IS ALSO BEING REQUESTED WITH THIS PROPERTY. EXPLAIN: A VACATION OF LOT LINE REPLATTING 3 LOTS INTO 1 LOT.

By signing this application, you hereby acknowledge that ALL the information submitted on and with this application is true and correct to the best of your knowledge and that all provisions of the Town of Mesilla shall be met. No application will be accepted without the original signature of the owner(s) of record of the described property. If more than one owner, ALL owners must sign the application. (Attached an additional sheet if necessary).

Blanca Huizar [Signature] 5-11-23 Owner(s) Date

Applicant(s) (if different than owner) Date

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: Disapproved Date: Approved with Conditions Approved Date: 6/1/23 Disapproved Date: Town of Mesilla

PLAN APPROVED

CONDITIONS: FOR COMPLIANCE WITH TOWN ZONING CODE

By Community Development Department Date: 6/1/23

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104



PHYSICAL
1985 Calle De Colon
Mesilla NM, 88046

MAILING
P.O. BOX 1570
Mesilla NM, 88046

info@moysurveying.com
(575) 525-9683 + F: (575) 524-3238
www.moysurveying.com

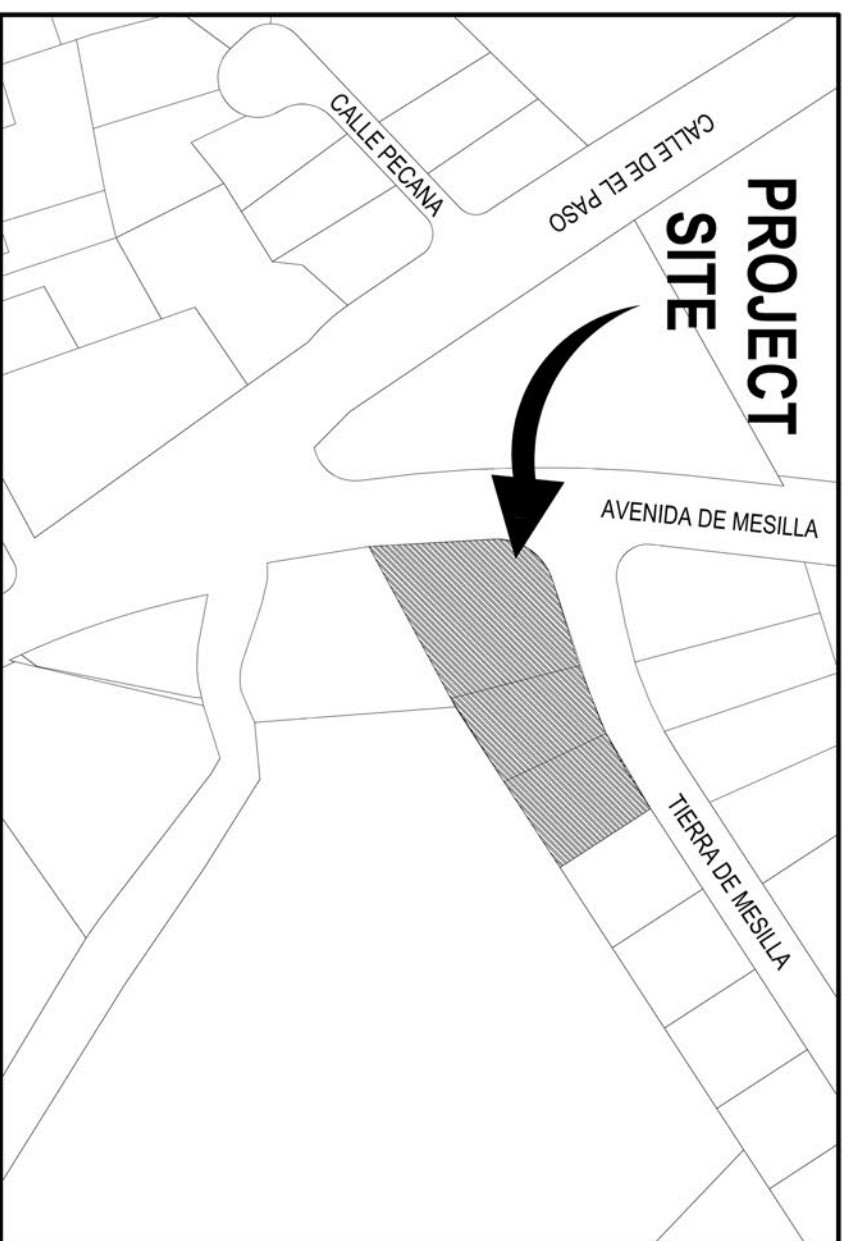
May 11, 2023

Town of Mesilla,

We allow Moy Surveying, Inc to represent the landowners, CASA BLANKA IMPORTS LLC, for the proposed replat that is being submitted to the Town of Mesilla. Moy Surveying can communicate directly with the any and all departments in the Town of Mesilla that are involved in this process. Moy Surveying will communicate any and all updates to the landowners throughout this process.

Thank you,

MEMBER
CASA BLANKA IMPORTS LLC

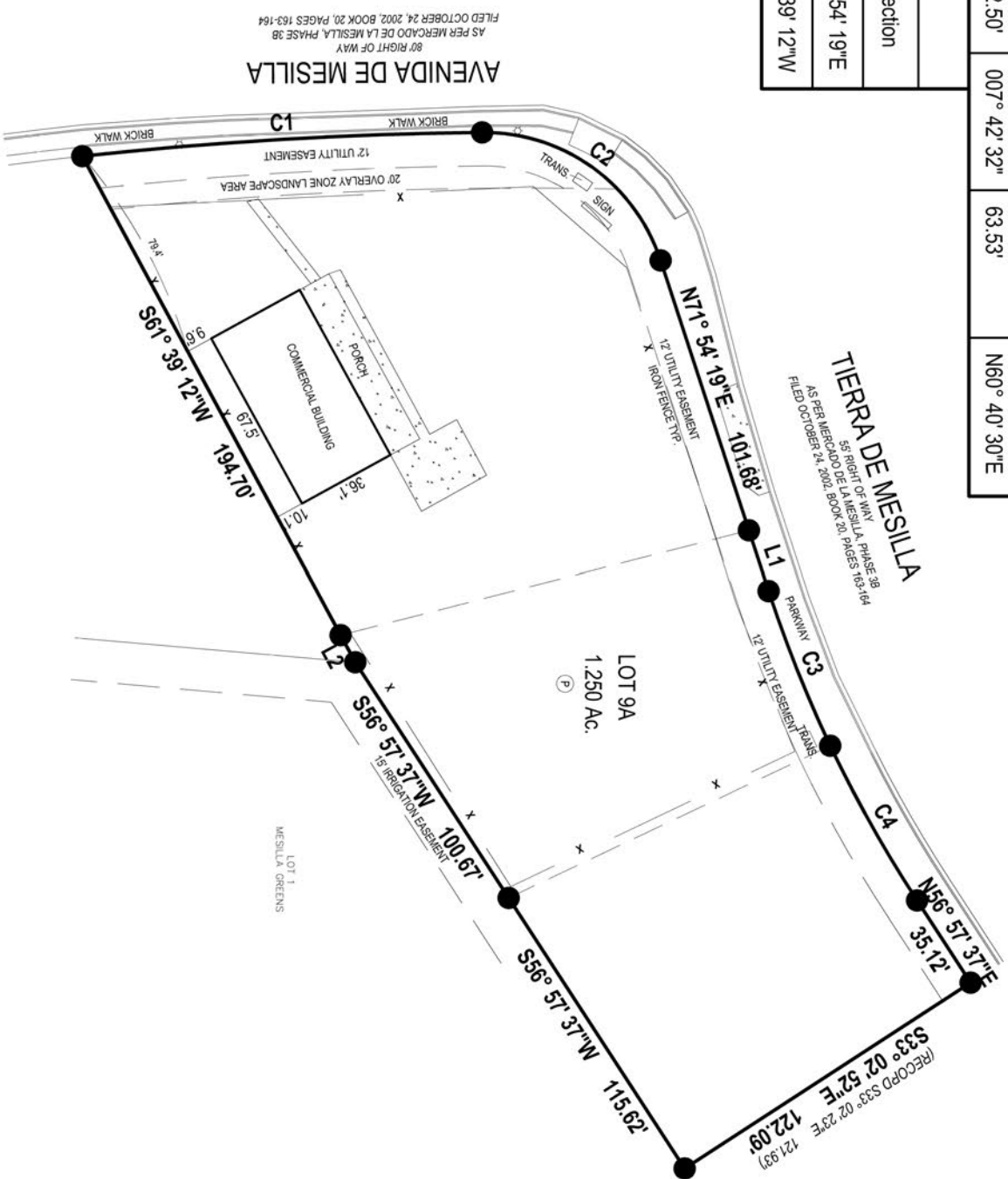


MERCADO DE LA MESILLA PHASE 3B REPLAT NO. 1

BEING A REPLAT OF LOTS 9, 10, AND 11, BLOCK A,
MERCADO DE LA MESILLA, PHASE 3B FILED
OCTOBER 24, 2002 IN BOOK 163-164, DOÑA ANA COUNTY RECORDS,
DOÑA ANA COUNTY, NEW MEXICO,
LOCATED IN SECTION 25, T. 23S., R. 1E., N.M.P.M. OF THE U.S.R.S. SURVEYS
TOWN OF MESILLA
DOÑA ANA COUNTY, NEW MEXICO
TOTAL ACRES = 1.250
SCALE 1"=60'

| Curve # | Length | Radius | Delta | Chord Length | Chord Bearing |
|---------|---------|----------|--------------|--------------|---------------|
| C1 | 143.39' | 1463.14' | 005° 36' 54" | 143.33' | N03° 24' 34"W |
| C2 | 84.15' | 66.50' | 072° 30' 22" | 78.65' | N35° 39' 06"E |
| C3 | 59.64' | 472.50' | 007° 13' 57" | 59.61' | N68° 17' 19"E |
| C4 | 63.57' | 472.50' | 007° 42' 32" | 63.53' | N60° 40' 30"E |

| Line # | Length | Direction |
|--------|--------|---------------|
| L1 | 22.72' | N71° 54' 19"E |
| L2 | 11.00' | S61° 38' 12"W |



UTILITY APPROVAL
THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE UTILITY SERVICE BY THE UNDERSIGNED COMPANIES TO THE SUBDIVISION.
EASEMENTS SHOWN HEREON, COPIES OF WHICH HAVE BEEN PRESENTED TO COMCAST COMMUNICATIONS CORPORATION, ARE SATISFACTORY TO MEET THE NEEDS FOR INSTALLATION AND MAINTENANCE OF (UNDERGROUND) (OVERHEAD) (UNDERGROUND AND/OR OVERHEAD FEEDER) (UNDERGROUND AND DESIGNATED OVERHEAD FEEDER) CABLE/TELEVISION/INTERNET UTILITIES.
COMCAST COMMUNICATIONS CORPORATION
BY: _____ DATE: _____

EASEMENTS SHOWN HEREON, COPIES OF WHICH HAVE BEEN PRESENTED TO EL PASO ELECTRIC COMPANY, ARE SATISFACTORY TO MEET THE NEEDS FOR INSTALLATION AND MAINTENANCE OF (UNDERGROUND) (OVERHEAD) (UNDERGROUND AND/OR OVERHEAD) (UNDERGROUND AND DESIGNATED OVERHEAD FEEDER) ELECTRICAL FACILITIES.
EL PASO ELECTRIC COMPANY
BY: _____ DATE: _____

EASEMENTS SHOWN HEREON, COPIES OF WHICH HAVE BEEN PRESENTED TO QWEST CORPORATION, D/B/A CENTURYLINK CO. ARE SATISFACTORY TO MEET THE NEEDS FOR INSTALLATION AND MAINTENANCE OF (UNDERGROUND) (OVERHEAD) (UNDERGROUND AND/OR OVERHEAD) (UNDERGROUND AND DESIGNATED OVERHEAD FEEDER) TELEPHONE FACILITIES.
QWEST CORPORATION, D/B/A CENTURYLINK CO.
BY: _____ DATE: _____

TOWN OF MESILLA BOARD OF TRUSTEES APPROVAL
THE ACCOMPANYING SUBDIVISION BEING WITHIN THE CORPORATE LIMITS OF THE TOWN OF MESILLA HAS BEEN PRESENTED AND APPROVED BY THE BOARD OF TRUSTEES OF THE TOWN OF MESILLA
MAYOR OF THE TOWN OF MESILLA _____ DATE _____

TOWN OF MESILLA PLANNING AND ZONING COMMISSION APPROVAL
THIS PLAT HAS BEEN SUBMITTED TO AND CHECKED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF MESILLA AND IS HEREBY APPROVED AS TO THE PLATTING AND AS TO THE CONDITIONS OF THE DEDICATIONS AND IN ACCORDANCE WITH THE LAND REGULATIONS OF THE TOWN OF MESILLA
THIS _____ DAY OF _____ 20____
CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____

I, HENRY MAGALLANEZ, A NEW MEXICO PROFESSIONAL SURVEYOR, CERTIFY THAT I CONDUCTED THIS SURVEY AND/OR WAS DONE UNDER MY DIRECTION, AND THAT THIS SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.
HENRY MAGALLANEZ, N.M.P.S. #18078



JOB NO: 21-0530
DRAWN BY: HMB
FIELD BY: KENNY/ACTOR
DATE: 05/30/23 SCALE: 1"=60'

STATE OF NEW MEXICO }
COUNTY OF DONA ANA }
NOTARY PUBLIC _____ SEAL _____
PLAT NO. _____ RECEPTION NO. _____
STATE OF NEW MEXICO }
COUNTY OF DONA ANA }
NOTARY PUBLIC _____ SEAL _____
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THIS _____ AM/PM AND
DATE OF _____, 2023, AT _____ PAGES(S) _____
DULY RECORDED IN PLAT BOOK NO. _____ AND FILED IN THE RECORDS OF THE COUNTY CLERK, DONA ANA COUNTY, NEW MEXICO.
COUNTY CLERK _____ DEPUTY COUNTY CLERK _____

NOTES:
1. FLOOD ZONE "X": AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAN, AS PER MAP NO. 35013C1093 G, REVISED JULY 6, 2016.
2. FIELD NOTES BY MOY SURVEYING INC., LICENSE #18078, ALL CORNERS SET ARE 1/2" IRON RODS WITH 1" PLASTIC CAPS STAMPED #18078. ALL IRON RODS OR MONUMENTS FOUND, TAGGED, STAMPED #18078, UNLESS OTHERWISE NOTED DEED BEARINGS AND DISTANCES AND FIELD BEARING AND DISTANCES ARE THE SAME.
3. INFORMATION IN THE PREPARATION OF THIS PLAT DERIVES FROM SUBDIVISION PLAT FILED OCTOBER 24, 2002, BOOK 201, PAGES 163-164, DONA ANA COUNTY RECORDS.
4. THIS SYMBOL REPRESENTS ON LOT PONDING. ALL LOTS THAT CONTAIN THIS SYMBOL WILL HAVE PONDS THAT WILL COMPLY WITH THE CITY OF LAS CRUCES DESIGN STANDARDS. PROPERTY OWNER IS RESPONSIBLE FOR ON-LOT POND MAINTENANCE.
5. SUBDIVIDER RESPONSIBLE FOR UTILITY STUB-OUTS AND FOR PROVIDING ANY AND ALL EASEMENTS NECESSARY TO PROVIDE UTILITY SERVICE TO LOTS CONTAINED HEREIN.

I, THE UNDERSIGNED OWNER, HEREBY SET MY HAND AND SEAL
THIS _____ DAY OF _____ 20____

CASA BLANKA IMPORTS LLC,
A NM LIMITED LIABILITY COMPANY
CESAR HUISAR
3694 SANTA MARGARELLA AVENUE
LAS CRUCES, NM 88072

STATE OF NEW MEXICO }
COUNTY OF DONA ANA }
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS
DAY OF _____ 20____
BY _____

MY COMMISSION EXPIRES _____

STATE OF NEW MEXICO }
COUNTY OF DONA ANA }

NOTARY PUBLIC _____ SEAL _____

PLAT NO. _____ RECEPTION NO. _____

STATE OF NEW MEXICO }
COUNTY OF DONA ANA }

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THIS _____ AM/PM AND
DATE OF _____, 2023, AT _____ PAGES(S) _____
DULY RECORDED IN PLAT BOOK NO. _____ AND FILED IN THE RECORDS OF THE COUNTY CLERK, DONA ANA COUNTY, NEW MEXICO.
COUNTY CLERK _____ DEPUTY COUNTY CLERK _____

STATE OF NEW MEXICO }
COUNTY OF DONA ANA }

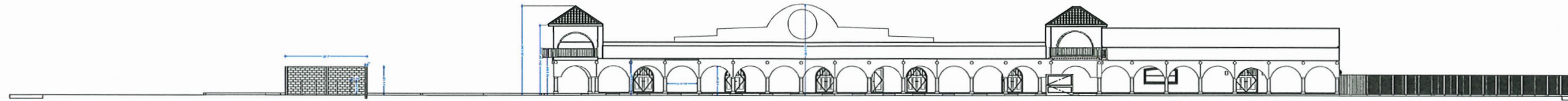
DEPUTY COUNTY CLERK _____

SCALE: 1"=60'



LEGEND:
● 1/2" IRON ROD FOUND
○ 1/2" IRON ROD SET
○ POWER POLE





Elevation 2



| REVISION TABLE | REVISION BY | DESCRIPTION |
|----------------|-------------|-------------|
| NUMBER | DATE | |
| | | |
| | | |
| | | |
| | | |



DRAWINGS PROVIDED BY: Aleph Medina

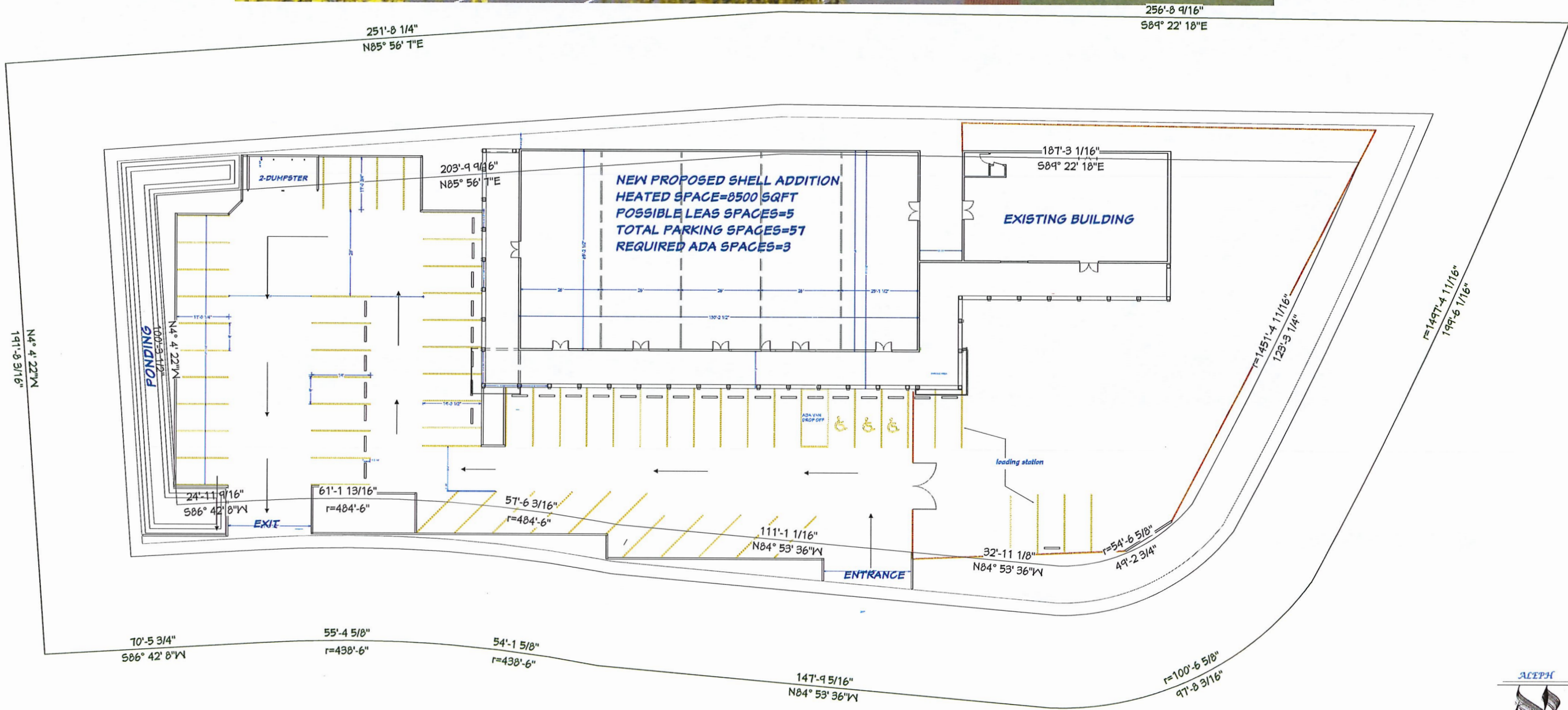
DATE:

7/31/2023

SCALE:

SHEET:





CASA BLANKA IMPORTS PHASE 2



| REVISION TABLE | NUMBER | DATE | REVISOR | DESCRIPTION |
|----------------|--------|------|---------|-------------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |



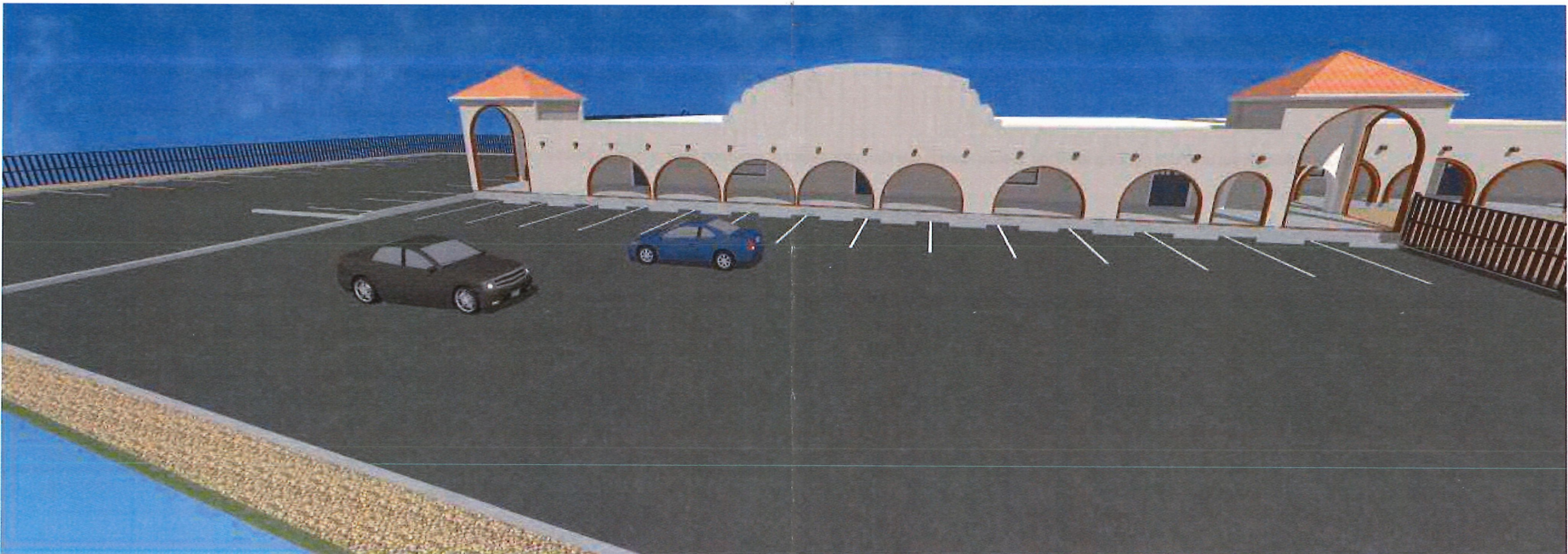
DRAWINGS PROVIDED BY: Aleph Medina

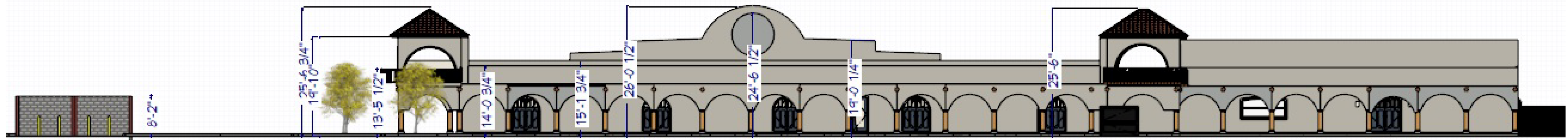
DATE:

7/31/2023

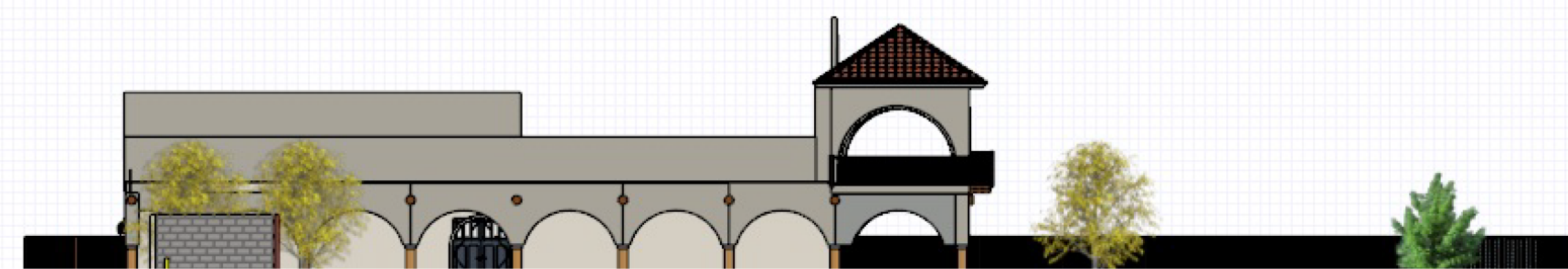
SCALE:

SHEET:

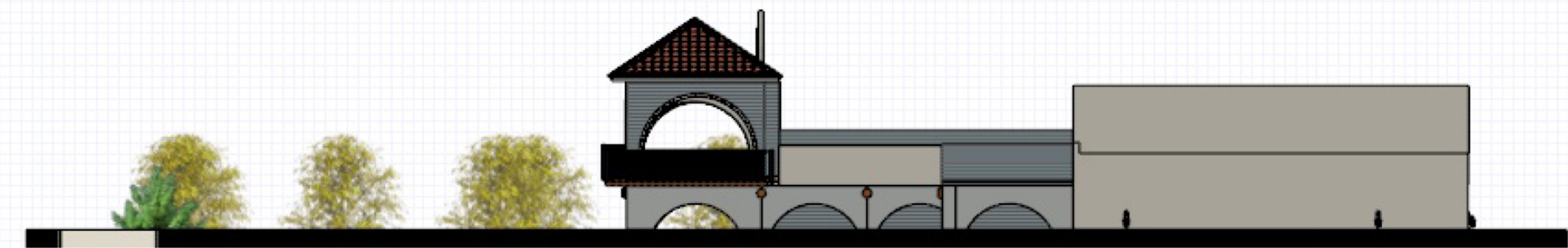




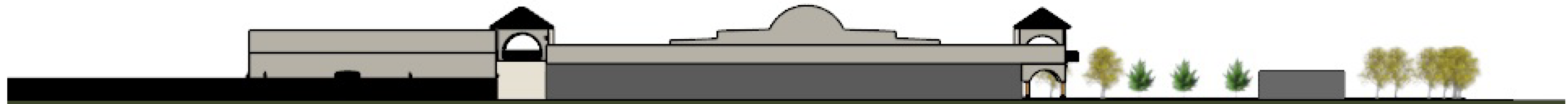
FRONT ELEVATION
NTS



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

| NUMBER | DATE | REVISION BY | DESCRIPTION |
|--------|------|-------------|-------------|
| | | | |
| | | | |
| | | | |
| | | | |



DRAWINGS PROVIDED BY: A eph Medina

DATE:
8/11/2023

SCALE:

SHEET:



MR. & MRS. HUIZAR

CASA BLANKA IMPORTS ADDITION

1705 TIERRA DE MESILLA
LAS CRUCES NM 88005

APPLICABLE CODES

| | |
|-------------------------------------|------|
| INTERNATIONAL BUILDING CODE | 2018 |
| UNIFORM MECHANICAL CODE | 2018 |
| NEW MEXICO MECHANICAL CODE | 2018 |
| UNIFORM PLUMBING CODE | 2018 |
| INTERNATIONAL FIRE CODE | 2018 |
| NATIONAL ELECTRICAL CODE | 2018 |
| NEW MEXICO ELECTRICAL CODE | 2018 |
| NEW MEXICO COMMERCIAL BUILDING CODE | 2018 |

PROJECT DATA

| | |
|-----------------------------------|------|
| EXISTING BUILDING SQUARE FOOTAGE | 2300 |
| EXISTING PATIO AREA | 792 |
| NEW PROPOSED ADDITION | 8500 |
| NEW PATIO AREA | 2340 |
| PROPOSED NUMBER OF PARKING SPACES | 57 |
| ADA PARKING SPACES PROVIDED | 3 |
| ADA PARKING SPACES REQUIRED | 3 |

DRAWING INDEX

COVER SHEET

| | |
|--------------|----------------------|
| CIVIL | |
| AS100 | DIMENSIONS SITE PLAN |
| C101 | GRADING |
| C102 | UTILITY |

STRUCTURAL

| | |
|------|-----------------|
| S001 | STRUCTURAL |
| S100 | FOUNDATION PLAN |
| S200 | FRAMING PLAN |

ARCHITECTURAL

| | |
|------|--------------------------|
| A100 | FLOOR PLAN |
| A200 | EXTERIOR ELEVATIONS |
| A300 | BUILDING WALL SECTION |
| A400 | ROOF AND CEILING PLAN |
| A500 | DOOR AND WINDOW SCHEDULE |

MECHANICAL

| | |
|------|--------------------|
| M100 | MECHANICAL NOTES |
| M200 | MECHANICAL PLAN |
| M300 | MECHANICAL DETAILS |

PLUMBING

| | |
|------|------------------|
| P100 | PLUMBING NOTES |
| P200 | PLUMBING PLANS |
| P300 | PLUMBING DETAILS |

ELECTRICAL

| | |
|------|----------------------|
| E100 | ELECTRICAL NOTES |
| E101 | ELECTRICAL SITE PLAN |
| E200 | LIGHTING PLAN |
| E300 | ELECTRICAL DETAILS |

VICINITY MAP



SITE LOCATION

| NUMBER | DATE | REVISION BY | DESCRIPTION |
|--------|------|-------------|-------------|
| | | | |
| | | | |
| | | | |



DRAWINGS PROVIDED BY: A eph Medina

DATE:
8/11/2023

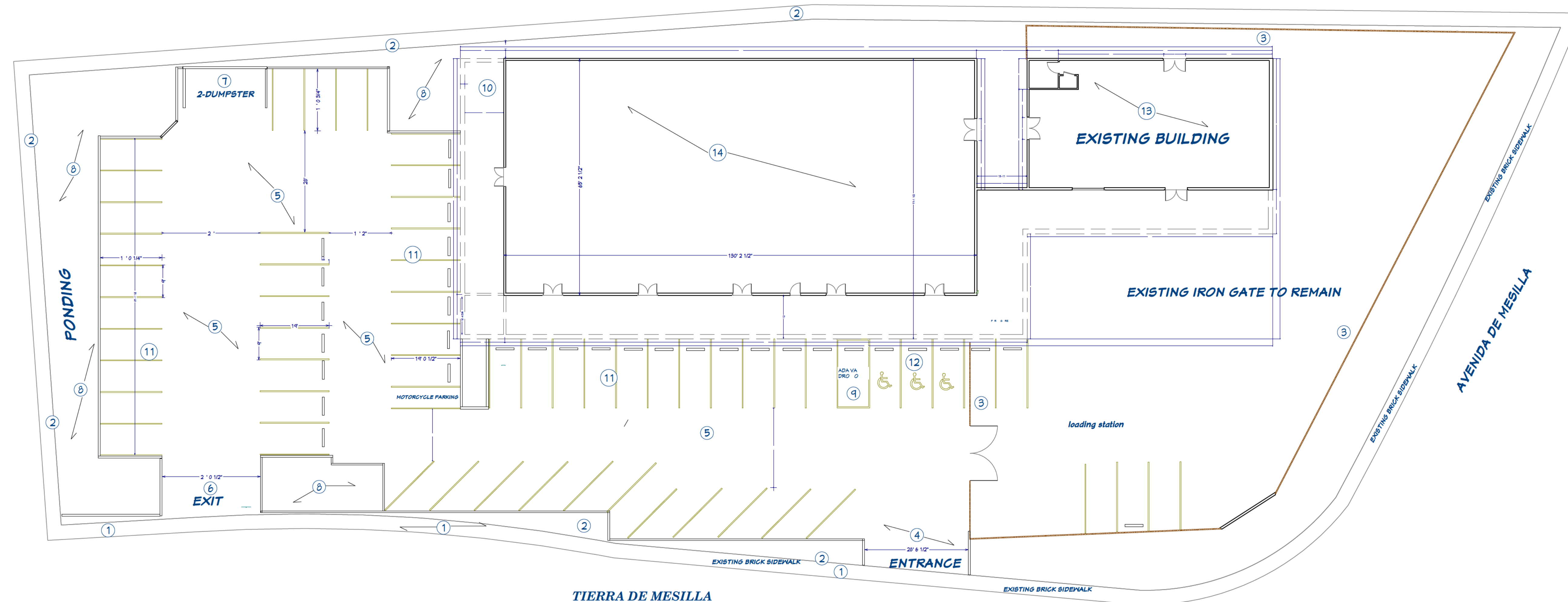
SCALE:

SHEET:



SITE PLAN GENERAL NOTES

- 1- NEW 4'0" SIDE WALK TO MATCH EXISTING BRICK PATTERN
- 2- PORTION OF EXISTING IRON FENCE TO BE REMOVED AT NEW BUILDING LOCATION
- 3- EXISTING IRON FENCE ONLY TO REMAIN AT ORIGINAL BUILDING PERIMETER
- 4- EXISTING ENTRANCE TO BECOME A ENTRANCE ONLY
- 5- PARKING LOT TO BE A ONE WAY, ASPHALT PAVING OVER COMPACTED BASE COURSE, SEE CIVIL.
- 6- NEW EXIT 6" REINFORCED CONCRETE EXIT DRIVE
- 7- NEW DOUBLE DUMPSTER INCLOSURE
- 8- PONDING AREA SEE CIVIL GRADING PLAN
- 9- ACCESSIBLE PARKING PAINT STRIPES
- 10- PROVIDE REQUIRED BICYCLE PARKING AS REQUIRED BY C.L.C.
- 11- 4" PAINTED WHITE PARKING STRIPING.
- 12- ACCESSIBLE PARKING SYMBOL.
- 13- LOCATION OF EXISTING BUILDING
- 14- LOCATION OF NEW BUILDING



SITE PLAN
NTS



| REVISION TABLE | NUMBER | DATE | REVISION BY | DESCRIPTION |
|----------------|--------|-----------|-------------|-------------|
| | 1 | 8/11/2023 | | |
| | 2 | 8/11/2023 | | |



DRAWINGS PROVIDED BY: A eph Medina

DATE:

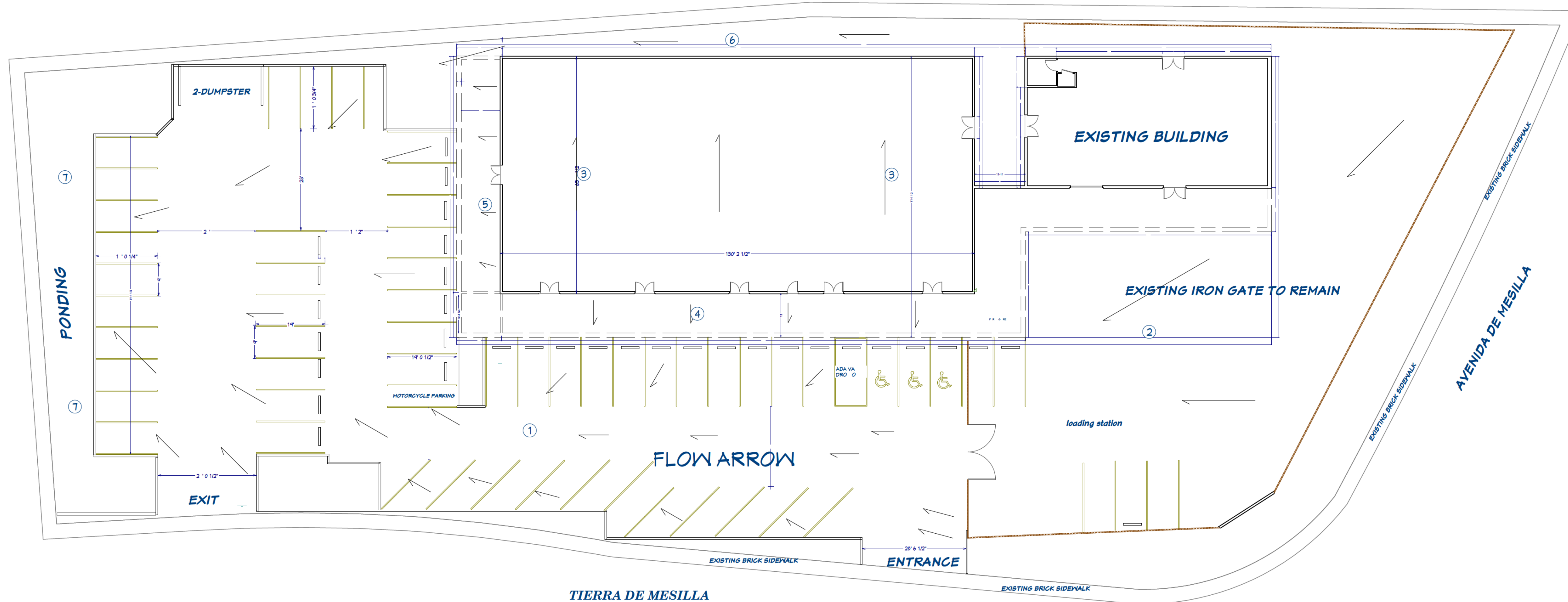
8/11/2023

SCALE:

SHEET:

DRAINAGE & ROOF PLAN GENERAL NOTES

- 1-NEW PARKING WATER FLOW TO BE ROUTED TO POND A
- 2-EXISTING PARKING WATER FLOW TO BE ROUTED TO POND A
- 3-WATER DRAINAGE FROM FLAT ROOF TOWARDS BACK OF BUILDING
- 4-WATER DRAINAGE FOR PATIO SLOPE FORWARD OF BUILDING
- 5-WATER DRAINAGE FOR PATIO SLOPED SIDE OF BUILDING
- 6-WATER FROM ROOF TO BE ROUTED TO POND A
- 7-POND A LOCATION



DRAINAGE PLAN
NTS

| NUMBER | DATE | REVISED BY | DESCRIPTION |
|--------|------|------------|-------------|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |



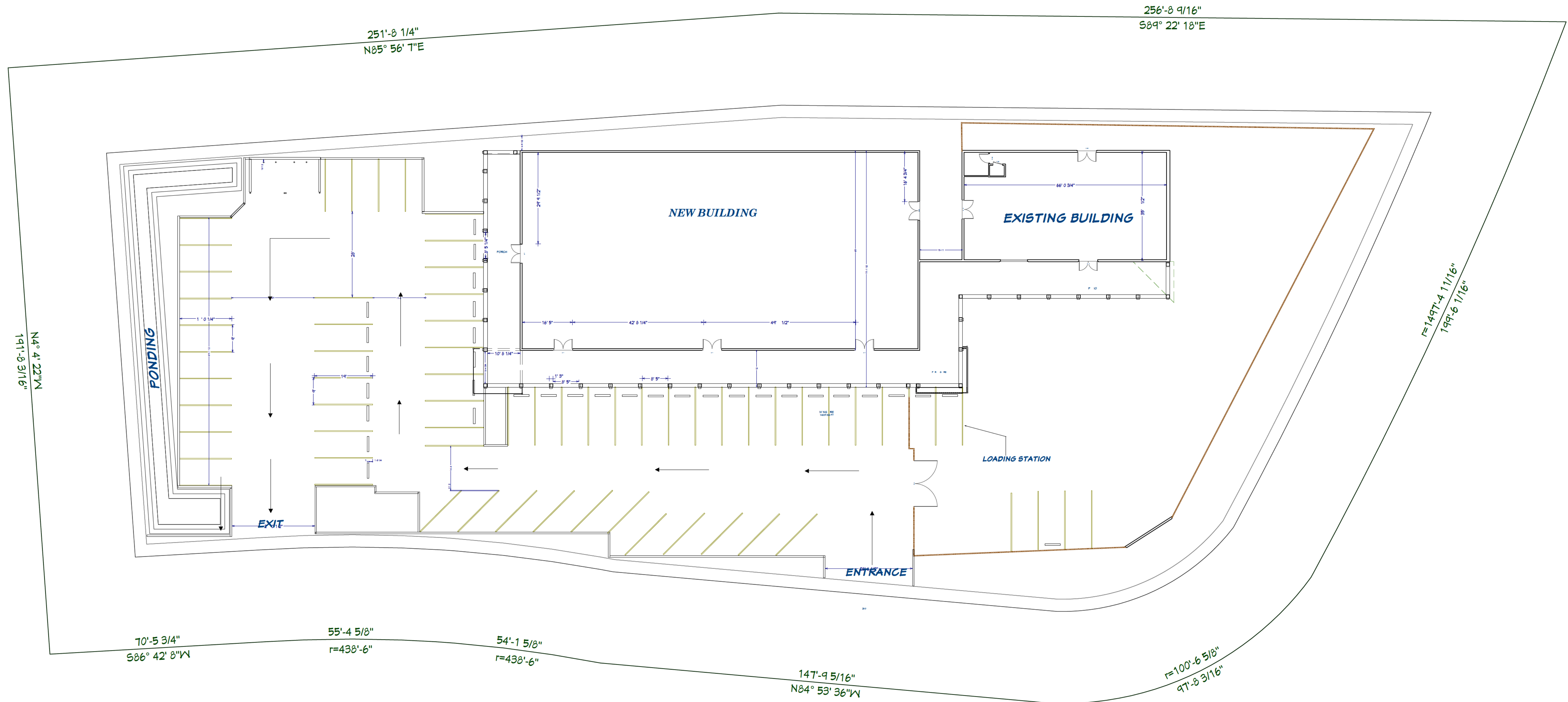
DRAWINGS PROVIDED BY: A eph Medina

DATE:
8/11/2023

SCALE:

SHEET:





CASA BLANKA IMPORTS PHASE 2

FLOOR PLAN
NTS



| NUMBER | DATE | REVISION BY | DESCRIPTION |
|--------|------|-------------|-------------|
| | | | |
| | | | |
| | | | |
| | | | |



DRAWINGS PROVIDED BY: A eph Medina

DATE:

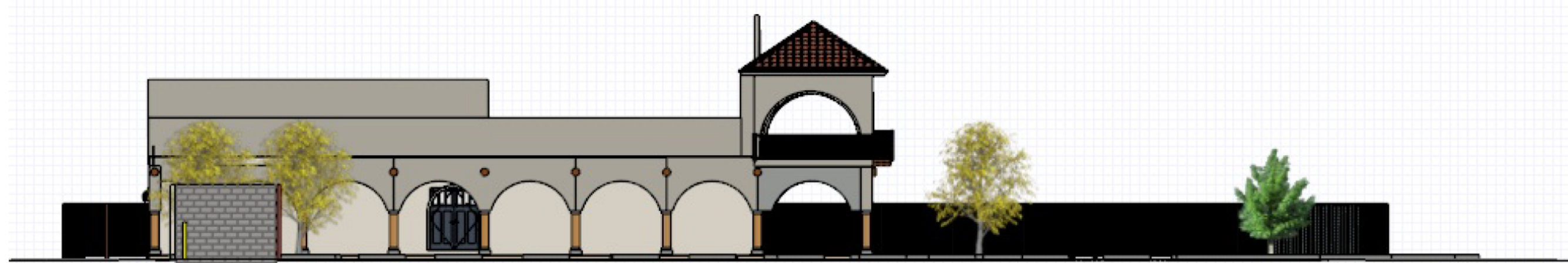
8/11/2023

SCALE:

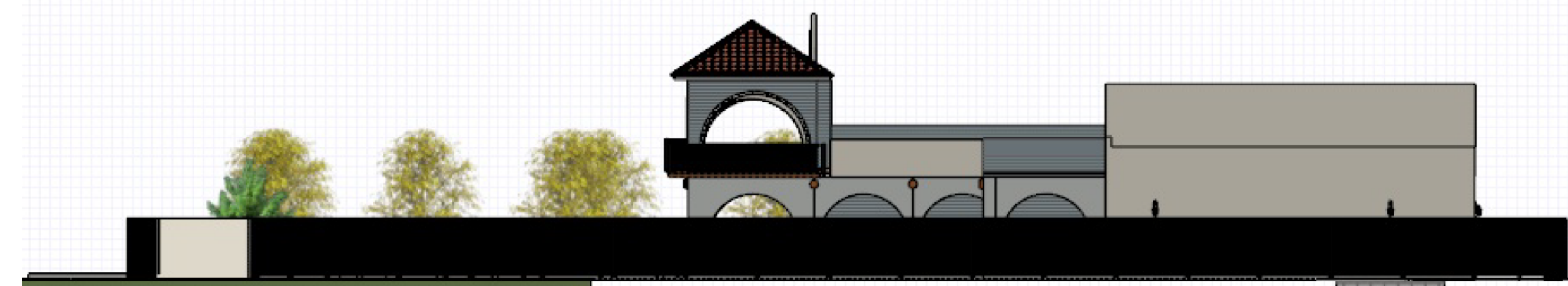
SHEET:



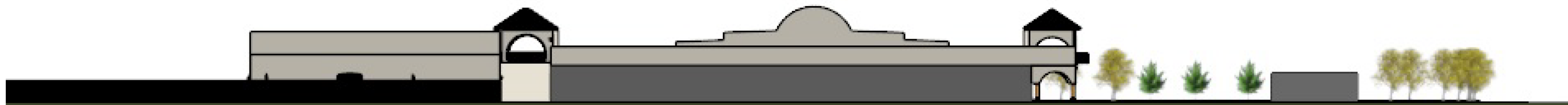
FRONT ELEVATION
NTS



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



| NUMBER | DATE | REVISION BY | DESCRIPTION |
|--------|------|-------------|-------------|
| | | | |
| | | | |
| | | | |
| | | | |

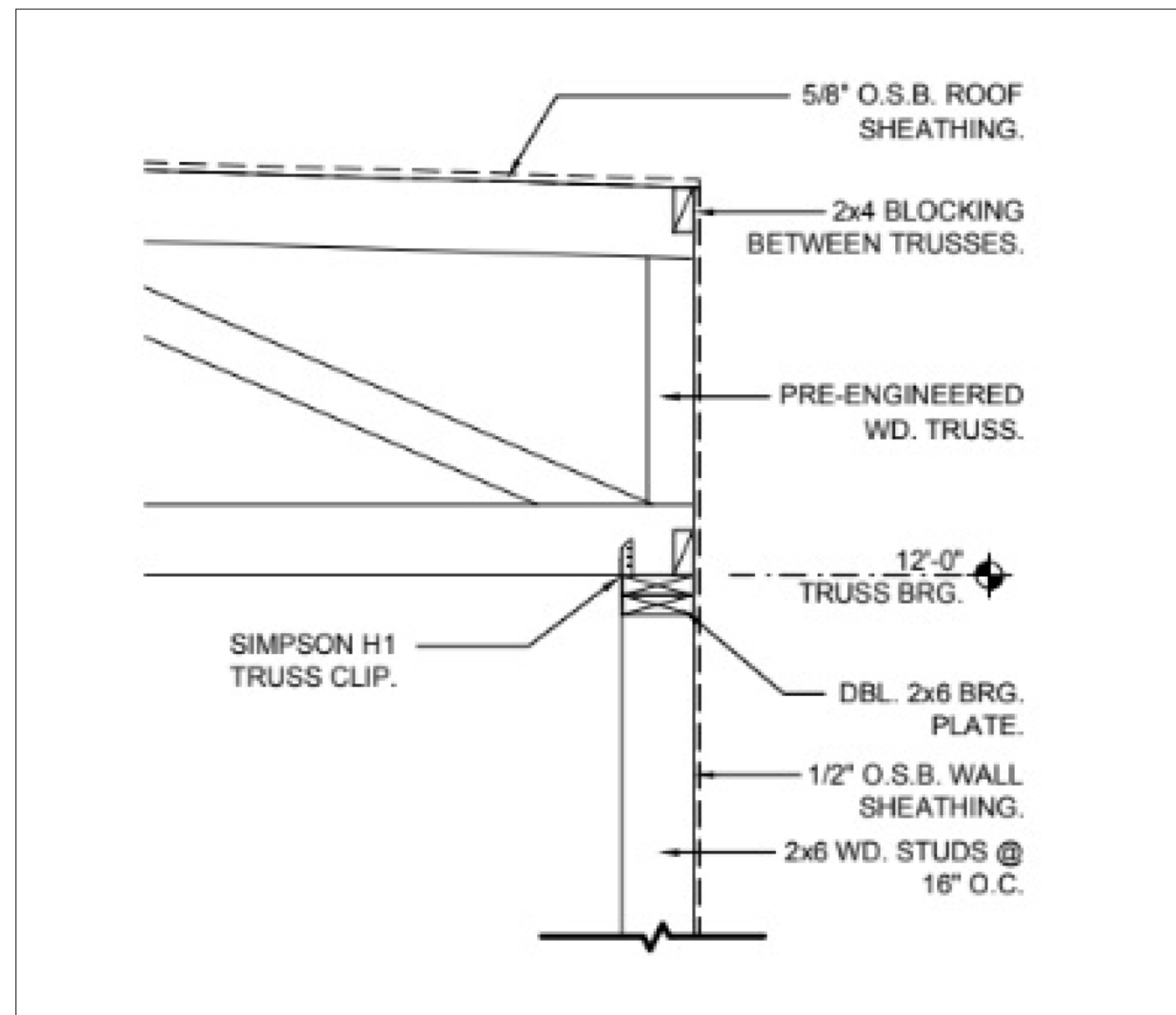


DRAWINGS PROVIDED BY: A eph Medina

DATE:
8/11/2023

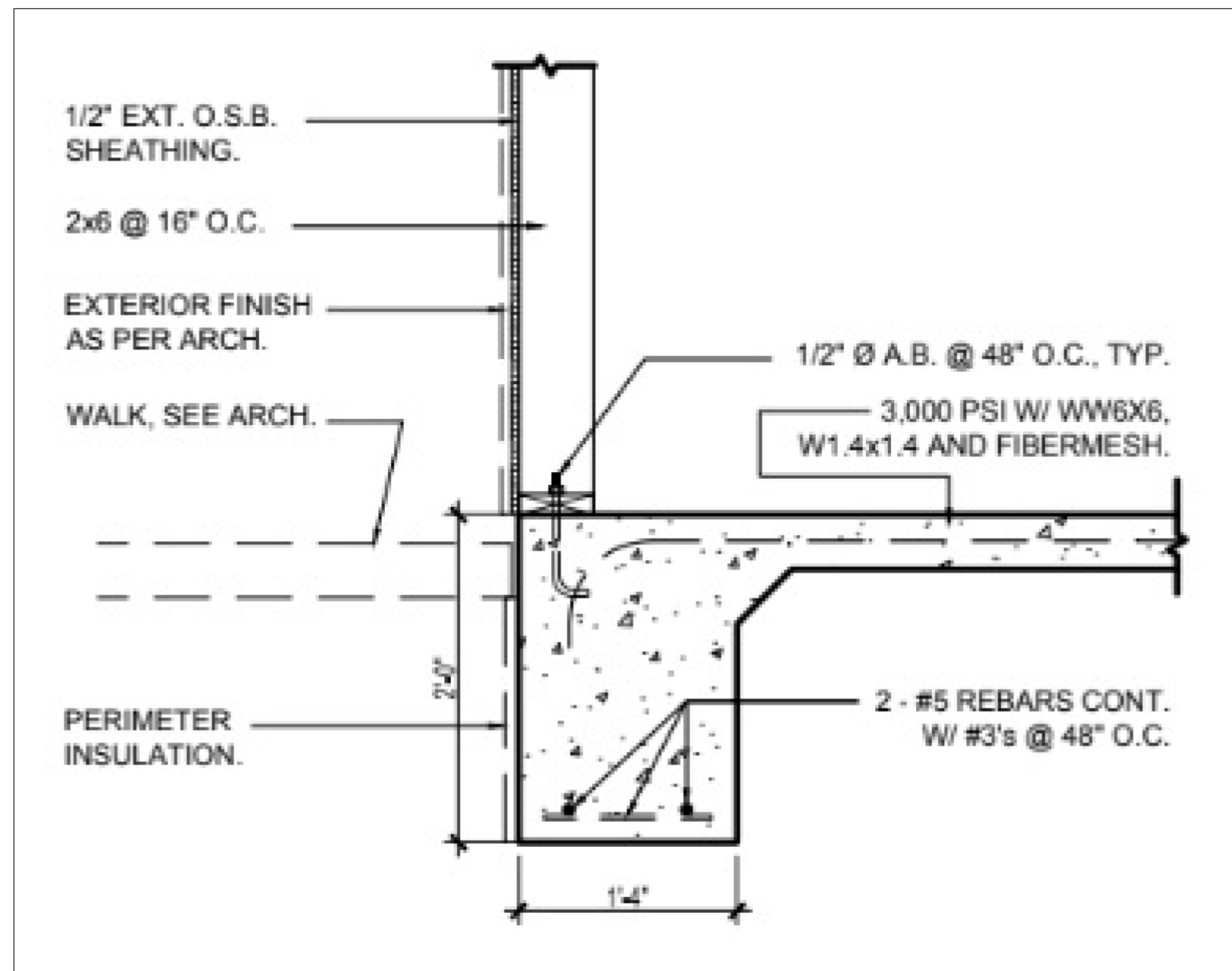
SCALE:

SHEET:



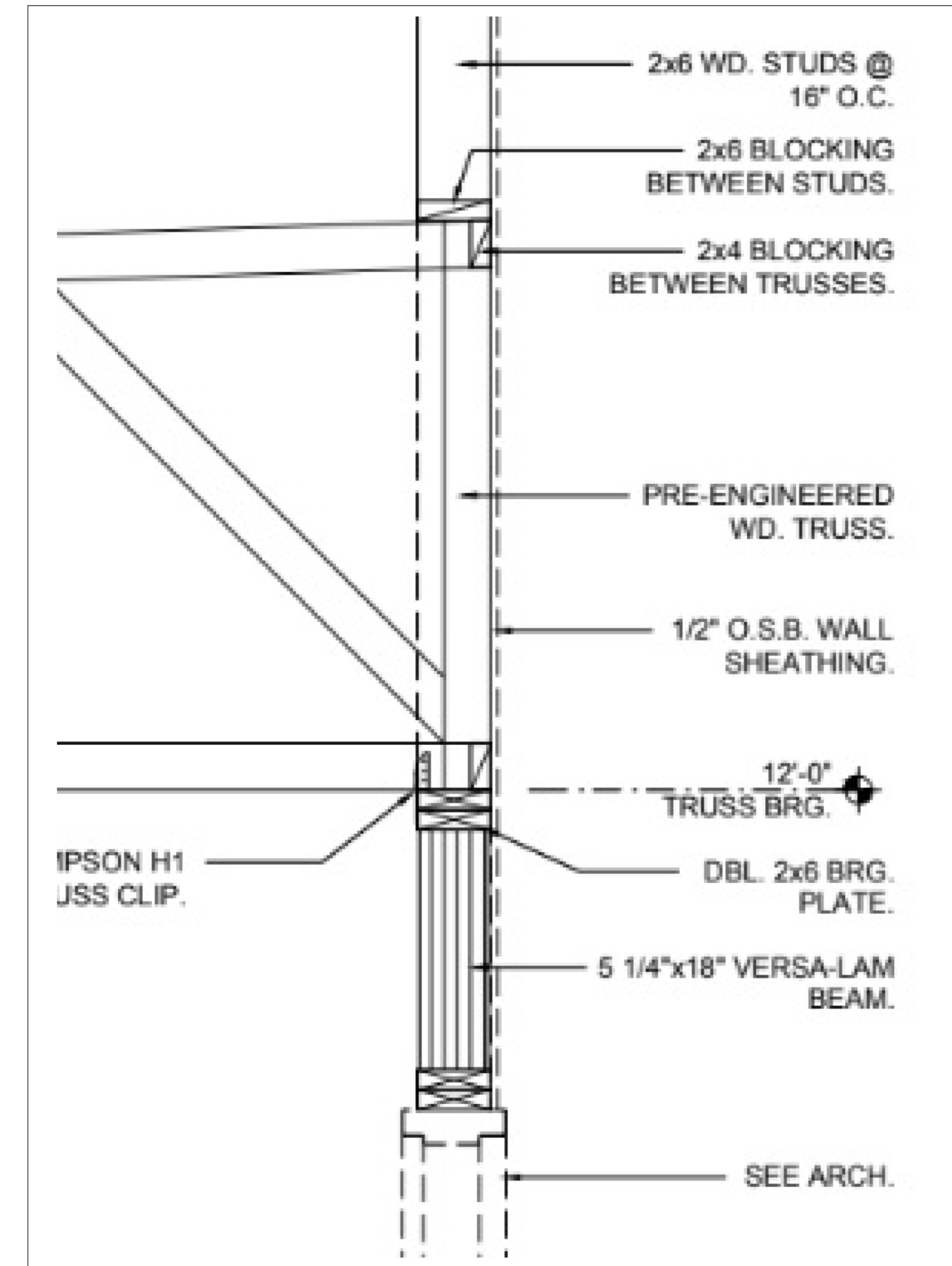
TYPICAL EXTERIOR WALL DETAIL

NTS



FOOTING DETAIL WITH FOOT SLAB

NTS



TYPICAL WALL FOR FRONT PATIO

NTS

| REVISION TABLE | NUMBER | DATE | REVISED BY | DESCRIPTION |
|----------------|--------|------|------------|-------------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |



DRAWINGS PROVIDED BY: A eph Medina

DATE:

8/11/2023

SCALE:

SHEET:





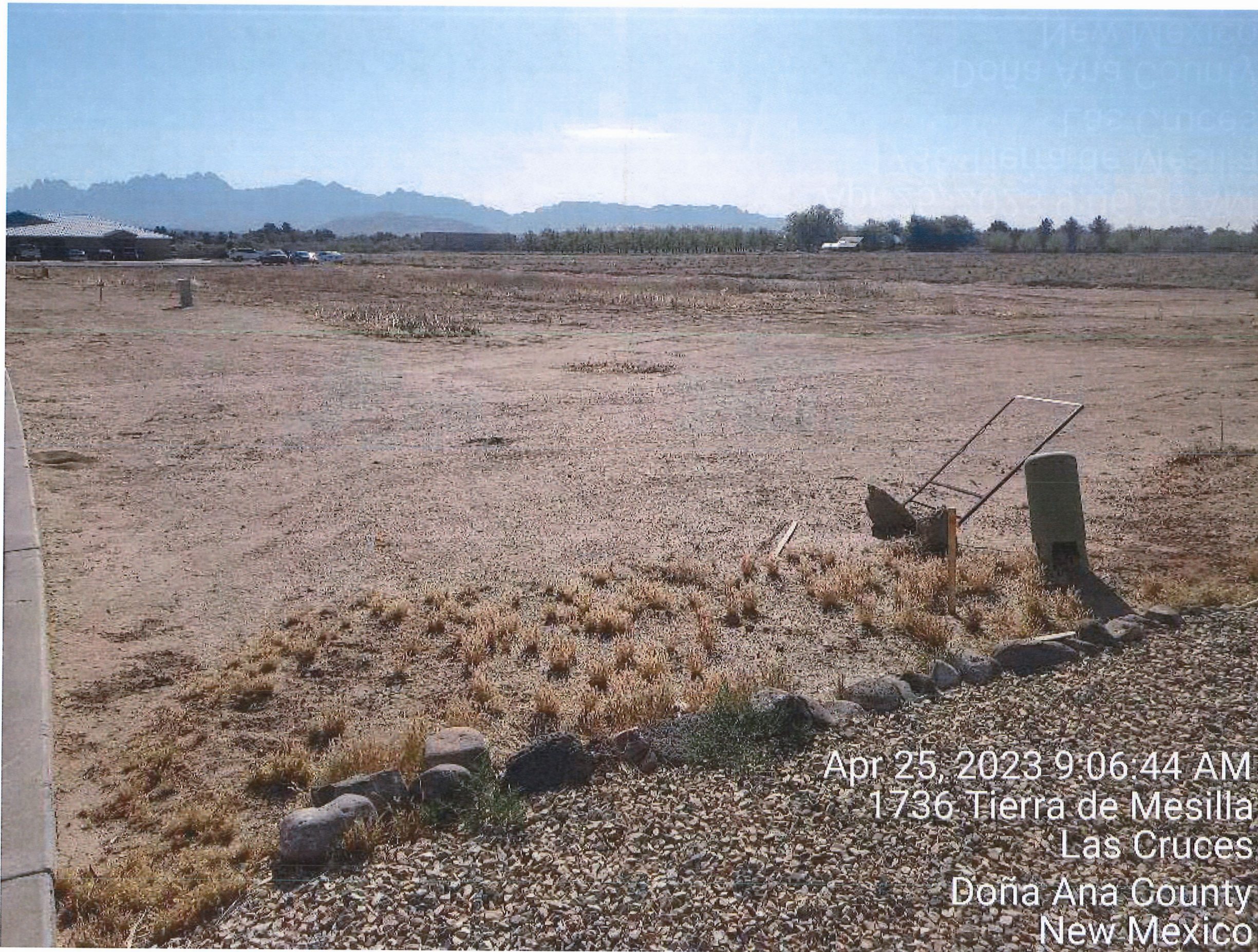
Apr 25, 2023 9:08:48 AM
Las Cruces
Doña Ana County
New Mexico



Apr 25, 2023 9:09:58 AM
2001 Avenida de Mesilla
Mesilla
Doña Ana County
New Mexico



Apr 25, 2023 9:06:36 AM
1736 Tierra de Mesilla
Las Cruces
Doña Ana County
New Mexico



Apr 25, 2023 9:06:44 AM
1736 Tierra de Mesilla
Las Cruces
Doña Ana County
New Mexico



Apr 25, 2023 9:10:20 AM
2001 Avenida de Mesilla
Mesilla
Doña Ana County
New Mexico

#061693

Chapter 18.33 HISTORIC PRESERVATION

Sections:

- 18.33.010 Title.**
- 18.33.020 Applicability.**
- 18.33.030 Authority.**
- 18.33.040 Declaration of purpose and statement of public policy.**
- 18.33.050 Definitions.**
- 18.33.060 Development zone.**
- 18.33.070 Powers and duties of the PZHAC relating to historic preservation.**
- 18.33.080 Historical appropriateness permit.**
- 18.33.090 Design components or development criteria and compliance checklists.**
- 18.33.100 Miscellaneous, including colors for architectural components, gates, fences, and stucco and material and color for metal roofing.**
- 18.33.110 Standards for alterations.**
- 18.33.120 Demolition.**
- 18.33.130 Preservation of historic property.**
- 18.33.140 Designation of landmarks and historic districts.**
- 18.33.150 Appeal from historical appropriateness action.**
- 18.33.160 Enforcement.**
- 18.33.170 Appendix A – Design standards with compliance checklist for the following architectural styles: Spanish Pueblo, Territorial, Spanish Mission, Northern New Mexico and Ranch Style.**

18.33.180 Appendix B – Additional standards for preservation, rehabilitation, restoration and reconstruction taken from the Secretary of the Interior’s Standards for the Treatment of Historic Properties as developed in 1992 and codified as 36 CFR 68.

18.33.010 Title.

This chapter shall be known and may be cited and referred to as the historic preservation ordinance of the town of Mesilla. [Ord. 2011-03; Ord. 2008-02 § 1]

18.33.020 Applicability.

This chapter shall apply to all work or acts involving construction of new structures and removal or exterior alteration to existing structures and their sites on any property located as follows:

- A. Any property located within one of the town’s four historic districts.
- B. Any property located outside a historic district or zone that has the “Guidelines for Preservation and Development, 1973,” also known as the Yguado Plan, in place as a zoning overlay.
- C. Any property not located within the town’s historic districts/zones that has been designated as a landmark. [Ord. 2011-03; Ord. 2008-02 § 1]

18.33.030 Authority.

The designation of the town’s historic zones is made pursuant to the Historic Districts and Landmarks Act, Sections [3-22-1](#) through [3-22-5](#) NMSA 1978. [Ord. 2011-03; Ord. 2008-02 § 1]

18.33.040 Declaration of purpose and statement of public policy.

A. The board of trustees declares that the historical heritage of Mesilla and its historic buildings and its historic districts are among its most valued and important assets. The board finds that some buildings having historical, architectural, aesthetic and cultural value have been neglected, altered or destroyed notwithstanding the feasibility of preserving and continuing the use of such buildings and without adequate consideration of the irreplaceable loss to the public and the town. The board finds that the historic character of Mesilla is of vital importance in maintaining the economy of the town and that its historic landmarks and the buildings in its historic district can be preserved, rehabilitated and used. The board finds that this chapter benefits all the residents of Mesilla and all the owners of property.

B. The board of trustees declares as a matter of public policy that the preservation, protection and use of historic landmarks and buildings in the historic districts are a public necessity because they have a special character or a special historic, architectural, aesthetic or cultural value and thus serve as visible reminders of the history and heritage of this town, state and nation. The board declares as a matter of public policy that this chapter is required in the interest of the health, safety, welfare and

economic well-being of the public. The board declares as a matter of public policy that the identification and designation of historic landmarks and historic districts and the approval or disapproval of exterior changes to designated property or their demolition or relocation or new construction on the site are stated to be a public purpose. [Ord. 2011-03]

18.33.050 Definitions.

“Architectural styles” means five building styles defined in the Yguado Plan as existing in Mesilla at the time the plan was issued (June 1973), to be used as historic precedents for building styles, construction techniques and design details to determine the historically appropriate appearance of new buildings and/or renovations to existing buildings within the historic districts.

“Construction” is defined as the act or process of erecting, removing or altering in any manner any building or structure or part thereof or the erection of a new structure on a lot or parcel of property. The act or process of alteration shall include rehabilitation, restoration, reconstruction, and preservation as defined in this section.

“Contributing structure” as defined in the National Register of Historic Places Inventory Nomination Form is a structure that is at least 50 years old and adds to the physical cohesiveness that ties a historic district together.

“Demolition” means any act or process that destroys a structure in part or in whole.

“Design standard” means a written standard of appropriate activity, the intent of which is to preserve the historic and architectural character of a structure, site or area.

“Development zone” means an area of structures that constitutes examples of historic precedents for building styles, construction techniques and design details. A physical inventory and comparison of these elements within a development zone is used to determine the historically appropriate building style, construction techniques and design details for new construction or alterations to existing structures within the development zone. There are three development zones: interior lot, corner lot and boundary lot, defined and illustrated in MTC [18.33.060](#).

“Historic property” means a building, structure or property individually listed or eligible for listing on the State Register of Cultural Properties or the National Register of Historic Places. The map and list of historic properties in the town of Mesilla and their classification as significant (S), contributing (C), neutral (N) and intrusive (I) are hereby adopted in their entirety by reference and are located in the community development department office.

“Historical appropriateness permit” means a permit issued by the planning, zoning and historical appropriateness commission (PZHAC) indicating that plans, as approved, for a building or structure and the site are historically appropriate for construction or demolition.

“Historical Commercial zone (H-C zone)” means an area or district designated as the “Historical Commercial zone” by ordinance of the town of Mesilla.

Historically Appropriate. When applied to new construction or an exterior alteration, a “historically appropriate” act or work is accomplished in a manner that preserves significant materials or the appearance of significant materials, the historic style and the historic features of the property or the development zone. At the same time, a “historically appropriate” act or work shall differentiate the new structure or design feature from the historic design features so that new work is not confused with what is genuinely part of the past.

“Landmark” means a structure or site that is worthy of rehabilitation, restoration, reconstruction and preservation because of its historic and/or architectural significance to the town of Mesilla pursuant to the procedures set forth in this chapter.

“Ordinary maintenance or repairs” is defined as any act or work, undertaken from time to time, that keeps a building or structure in good condition and repair and that does not change the exterior appearance of the building or structure in any way. Such maintenance and repair work requires a building permit but does not require a permit for a certificate of appropriateness. The building permit may be approved administratively.

“Planning, zoning and historical appropriateness commission” means a five-member board created by authority granted municipalities under the New Mexico State Statutes Annotated (1978) and appointed by the mayor and board of trustees, pursuant to the Mesilla Town Code.

“Preservation” is the act or process of applying measures necessary to sustain the existing form, integrity and materials of a building or structure and the existing form and vegetation of a site. The process of preservation requires the retention of the greatest amount of historic fabric, along with the building’s historic form, features and detailing as they have evolved over time. New exterior additions are not within the scope of this treatment. See MTC [18.33.180](#) for additional standards for preservation taken from the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

“Property/site” means land, buildings and structures in town-designated historic districts or land, buildings and structures individually designated by the town as historic.

“Public comments” means written comments from members of the public that are given to the planning, zoning and historical appropriateness commission and that relate to items under consideration by the commission.

“Public hearing” means a meeting of the planning, zoning and historical appropriateness commission at which members of the public provide testimony and comment regarding a specific item under consideration by the commission; 14-day notice must be given.

“Public meeting” means a meeting of the planning, zoning and historical appropriateness commission at which members of the public comment on items under consideration by the commission.

“Reconstruction” means using detailed photographic, physical or documentary evidence; reconstruction is the act or process of reproducing by new construction the exact form and detail of a vanished building, structure or site or a portion thereof in its historic location as it appeared at a specific time. See MTC [18.33.180](#) for additional standards for reconstruction taken from the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

“Rehabilitation” is the act or process of making possible an efficient contemporary use for a property or a process of returning a property to a state of utility through repair, alterations, and additions while preserving those portions and features which convey and are significant to the property’s historical, cultural or architectural values. See MTC [18.33.180](#) for additional standards for rehabilitation taken from the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

“Residential – Cultural – Historical zone, H-R zone” means an area or district designated as the “Residential – Cultural – Historical zone” by ordinance of the town of Mesilla.

“Restoration” is defined as the act or process of accurately recovering the form, features, character and setting of a property as it appeared at a particular period of time by means of the removal of features from other periods in history and replacement of missing features from the restoration period. See MTC [18.33.180](#) for additional standards for restoration taken from the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

“Scale” is defined as proper proportion of structures in a historic development zone.

“Significant structure” as defined in the “National Register of Historic Places Inventory Nomination Form” is a structure that is architecturally outstanding or exceptionally important in the history of the community.

Structure. For the purposes of this title, "structure" is defined pursuant to the Mesilla Town Code and shall include, but not be limited to, buildings of any kind, fences and walls. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.040]

18.33.060 Development zone.

A development zone defines the immediate physical vicinity to be used to identify the historic character of a particular area and includes the predominant architectural style and design standards of existing structures together with their setting.

A. Function of the Development Zone. The function of the development zone is to provide for historically appropriate development within an existing historic district by setting standards for both new construction and alterations to existing structures.

B. Applicability of the Development Zone.

1. All structures shall be considered a part of and be subject to regulation by the development zone within which they are located or proposed to be located.
2. The design components of the individual architectural styles subject to regulation by the development zone include the following: building height, setbacks, proportions, pattern and rhythm, roof types, surface texture, color, site utilization, projections and architectural details.

C. Process to Identify a Development Zone. Identify the immediate vicinity of surrounding, adjacent structures that relate most directly to any new construction or exterior alteration to an existing structure that is to take place on an interior lot, a corner lot or a boundary lot as follows:

1. Development zone for an interior lot shall include any lot fronting on the same street as the lot in question and within the same block, as well as those lots located on the opposite side of the street, except such portions of the zone which fall outside the boundary of the historic district.
2. Development zone for a corner lot shall include any lot fronting on the same streets as the lot in question and within the same block, as well as those lots located on the opposite side of the streets, including the opposite corner, except such portions of the zone which fall outside the boundary of the historic district.
3. Development zone of any lot located adjacent to a historic district boundary shall include all lots located in the same block plus those lots located on the opposite side of any street adjoining that block, as well as those lots located on the opposite corners, except such portions of the zone which fall outside the boundary of the historic district.

Illustrations of the three types of development zones are available in the office of the community development department.

D. Process to Use a Development Zone.

1. Identify the development zone for the work to be performed: interior, corner or boundary lot.
2. Obtain a photograph of the development zone from the community development department. If one does not exist, staff will prepare one.
3. If applicable, use the National Register of Historic Places Inventory Nomination Form to identify the historic structures in the zone.
4. Conduct a physical inventory and comparison of the structures within the development zone to identify the predominant architectural style and the predominant architectural details that exemplify the particular style together with the setting.
5. Once an appropriate architectural style and/or architectural details have been determined, proceed with the process to obtain a permit for a certificate of historical appropriateness.
6. If there is no predominant architectural style within the selected development zone, then the historic district (H-C or H-R) as a whole shall become the development zone for the architectural style.
7. If particular design criteria are missing from the selected architectural style within the development zone, then the historic district as a whole (H-C or H-R) shall become the development zone for the missing design criteria for the architectural style. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.050]

18.33.070 Powers and duties of the PZHAC relating to historic preservation.

In addition to the powers and duties stated elsewhere, the PZHAC shall take action necessary and appropriate to accomplish the historic preservation goals of this chapter. These actions may include, but are not limited to, the following:

- A. Conducting and maintaining a survey of historic buildings and areas and preparing a plan for their preservation;
- B. Recommending to the board of trustees the designation of historic landmarks and historic districts;

- C. Adopting written guidelines for making exterior changes to designated property and for undertaking new construction on designated property;
- D. Regulating exterior alterations proposed for designated property and regulating demolitions, relocations and new construction involving designated property;
- E. Working with and advising the federal, state and county governments and other parts of the town government on historic preservation issues;
- F. Advising and assisting owners of historic property and other persons and groups who are interested in historic preservation;
- G. Reporting to the board of trustees on the present condition of historic properties in order to prevent demolition by neglect;
- H. Conducting educational programs for property owners and the public, preparing publications and placing historical and architectural plaques on buildings;
- I. Attending educational programs covering the historic preservation duties of the PZHAC and current developments in historic preservation;
- J. Participating in the nomination of properties to the State Register of Cultural Properties and to the National Register of Historic Places;
- K. Performing duties that may be delegated to the town by the State Historic Preservation Officer under the Certified Local Government Program; and
- L. Recommending that the town apply for, receive and use public and private grants or gifts to help historic preservation activities. [Ord. 2011-03]

18.33.080 Historical appropriateness permit.

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

B. Process to Obtain a Certificate of Historical Appropriateness Permit.

1. **Preapplication Procedure.** A planning conference shall be held with community development staff. This conference is designed to provide the applicant with an opportunity to become acquainted with the rules and regulations of the historic conservation standards and processes and does not require a formal application. A copy of “A Guide to Building Permits in the Historic Zones” shall be provided to the applicant and shall be used during the review process outlined below.
2. **Preliminary Application.** At this stage, the applicant shall be required to submit a preliminary application containing the following information: type of structure, location, proposed use and type of work proposed.
3. **Planning Conference.** In this conference, the applicant and staff shall determine and review the following:
 - a. Identify the development zone;
 - b. For new construction, select an architectural style appropriate to the development zone. For work involving alterations to an existing structure, identify the structure’s architectural style;
 - c. Complete a compliance checklist of design standards/a building permit submittal checklist for the identified architectural style as set forth in MTC [18.33.170](#);
 - d. As applicable, complete a compliance checklist of rehabilitation standards as set forth in MTC [18.33.180](#);
 - e. If building style does not substantially comply with the checklist of design standards, staff will evaluate the style or features for compliance on a case-by-case basis.
4. **Work Session with PZHAC.** Applicant shall then submit to the PZHAC a formal application with a preliminary plan and supporting data containing the information gathered in the steps above for review by the PZHAC for historical appropriateness.
5. **PZHAC Agenda.** After the preliminary plan and supporting data are reviewed for completeness by the PZHAC during the work session, the application shall be placed on the PZHAC agenda for consideration for a permit for a certificate of historical appropriateness. Public notice shall be given about the application including conspicuous posting on the property. The PZHAC may schedule a public hearing on an application involving a structure with a “significant” designation on one of the historic registers. Conspicuous notice of the hearing shall be given by posting one

sign in front of the property and the posting of additional signs at 300-foot intervals on the property for large properties of more than 600 feet frontage.

6. Decision by the PZHAC. The PZHAC shall make a decision on the application within 45 days after the receipt of complete plans and supporting data; provided, that the PZHAC may extend the time for its decision an additional 30 days when the application is for a demolition. The PZHAC shall recommend approval, approval with modifications, or disapproval of application. The recommendation with modifications shall contain the revisions that the applicant may accept in order to receive a certificate of historical appropriateness. If the PZHAC disapproves an application, it shall give the applicant its reasons in writing, and the applicant may appeal the decision. If the PZHAC fails to decide on an application within the specified time period, the application shall be deemed recommended for approval and forwarded to the board of trustees.

C. Routine Maintenance and Repairs. The commission shall adopt a policy setting forth the standards and process for routine maintenance and repairs to structures within the historic districts that may be approved administratively by staff without consideration at a meeting provided the applicant files a building permit, pays the appropriate fee and complies with the design and materials guidelines set forth in this chapter. This includes but is not limited to elements of the individual architectural styles; colors for stucco, trim and doors, fences and gates; and roofing material and color. Staff shall report these administrative approvals in a timely manner on the agenda of each PZHAC meeting.

D. Exemptions. Work in any of the following categories shall be exempt from obtaining a certificate of historical appropriateness permit:

1. Maintenance or repairs which do not involve a change of the existing design, exterior materials or scale or outward appearance of the structure.
2. Work required by a town staff to eliminate an unsafe condition; provided, that any permanent repairs shall meet the criteria of subsection (D)(1) of this section.
3. Installation of storm windows or storm doors, with or without screens, painted or unpainted; provided, however, that no such windows or doors shall have any ornamental feature such as grilles, monograms, etc. This provision shall not be construed to prohibit the installation of plain bars on the inside of such windows or doors for protection of the screens or glass. If a study indicates that storm windows are necessary, the use of interior storm windows is preferred, and interior storm windows are also exempt from obtaining a certificate.
4. Erection of any accessory structure designed for the shelter of very small animals, such as rabbits and poultry; and provided, that such proposed accessory structure is not prohibited by

another statute, regulation or ordinance; and provided, that the maximum horizontal or vertical dimension of any such proposed structure does not exceed four feet. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.060]

18.33.090 Design components or development criteria and compliance checklists.

A. Design Components – Definition. Within the town’s historic districts there exist similarities in the design components and construction of the buildings. The similarities are expressed by a number of basic design components which include but are not limited to building height, setback, proportions, pattern and rhythm, roof types, surface texture, color, site utilization, projections and architectural details. These similarities provide the basis for determining precedent examples of the five architectural styles and their architectural details. The precedent examples themselves, identified by Yguado & Associates in 1973, are used to assure both the retention of an individual structure’s exterior historic form, features and detailing and the historically appropriate development of the district.

B. Design Components – Use. The design components define the building materials and exterior character-defining features for each of five architectural styles, such as:

1. The form and detailing of exterior materials, such as masonry, wood, and metal.
2. The form and detailing of exterior features, such as roofs, porches, doors and windows, as well as structural and mechanical systems. Where publicly visible, structural and mechanical systems, including solar and other energy collecting and conserving equipment, shall be architecturally integrated or screened.
3. The structure’s site and setting.

C. Design Components – Checklist. When considering an application for a permit for a certificate of historical appropriateness, the commission shall determine if the application complies or does not comply with each of the design components or development criteria which are organized by architectural style and presented in checklist form in MTC [18.33.170](#). [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.070]

18.33.100 Miscellaneous, including colors for architectural components, gates, fences, and stucco and material and color for metal roofing.

A. Colors for Architectural Components, Including Windows, Trim, Doors, and for Gates and Fences.

1. Criteria to be used in selecting an appropriate color for architectural components, gates and fences include, but are not limited to:

- a. The size of the surface area to be covered.
- b. Other colors that will surround the architectural component, gate or fence.
- c. Type and texture of the surface, such as rough stucco, smooth metal or wood.

2. An album of color charts and photographs to be used by commissioners, staff and citizens in determining appropriate colors for architectural details and, by extension with this chapter, for gates and fences, is available in the community development department office.

B. Colors for Exterior Stucco.

1. Appropriate colors include colors in the cream to medium brown earth tones referred to in the individual architectural styles found in MTC [18.33.170](#) as characteristic of a particular style. Permitted acrylic latex paint colors shall be subtle and muted rather than bright and reflective.
2. The combination of exterior wall and trim colors on the same structure shall be historically appropriate, which for trim colors includes natural wood, off whites, creams and beiges as described in the individual architectural styles found in MTC [18.33.170](#), along with the colors presented in the color chart album.

C. Metal Roofing. Historically appropriate material and colors for new and replacement metal roofs are corrugated metal in either the natural gray or brick red color. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.080]

18.33.110 Standards for alterations.

The Secretary of the Interior's Standards for the Treatment of Historic Properties authorized by the National Historic Preservation Act of 1966, developed in 1992 and codified as [36 CFR 68](#), and subsequent revisions, amendments and additions thereto adopted by the Secretary of the Interior are hereby adopted in their entirety into this chapter by reference.

A. Application. These standards shall apply to all work or acts performed on the exterior of historic buildings and structures used commercially and zoned H-C, Historical Commercial, that are designated "significant" or "contributing."

B. Function. The standards identify and define appropriate treatments for the alteration of exterior character-defining features, including the form and detailing of materials, spatial relationships, and structural and mechanical systems. The standards also encompass related landscape features and the building's site as well as attached adjacent or related new construction. The standards are to be

applied to specific projects in a reasonable manner, taking into consideration economic and technical feasibility.

C. Guidelines. Guidelines to be used to assist in implementing the standards are found in the Secretary of the Interior's Standards for the Treatment of Historic Properties, and are available in the community development department. The guidelines are divided into two categories:

1. Recommended approaches, treatments and techniques that are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties; and
2. Not recommended approaches, treatments and techniques that are not consistent with the Secretary's standards and could adversely affect a building's historic character. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.090]

18.33.120 Demolition.

A. The demolition of a significant or contributing structure within a historic district shall require a permit that includes verification by a qualified architect or certified structural engineer, with a background in architecture preferred, that the structure is not repairable or reusable.

The applicant shall provide the report containing the verification. The applicant shall also provide the plans for the site in order to demonstrate that it will not harm adjacent properties. The PZHAC may schedule a public hearing on the application. Conspicuous notice of the hearing shall be given by posting one sign in the front of the property and the posting of additional signs at 300-foot intervals, on said property, for large properties of more than 600 feet frontage.

B. Before voting on the demolition application, the PZHAC shall discuss with the applicant to see if an alternative to demolition can be found. The PZHAC may ask the applicant for additional information to be used in making its decision.

C. The PZHAC shall study the question of financial hardship for the applicant and shall determine whether the property can be put to reasonable beneficial use without the approval of the demolition application. Using the record that was developed, the PZHAC shall vote on the application following the procedures in MTC [18.33.080](#), Historical appropriateness permit. Options to prove financial hardship shall be: (1) income of 50 percent or lower of the average median income standards established for Dona Ana County; (2) proof of income documented with tax returns and annual expenditures.

D. If a demolition permit is issued, prior to the demolition the structure shall be documented with photographs, sketch plans and a brief historical description.

E. Demolition of intrusive features on a structure for the purpose of restoring original historic features should be encouraged and shall be exempt from the architect/engineering requirement.

Documentation of the original features shall be provided in order to receive demolition approval. [Ord. 2011-03]

18.33.130 Preservation of historic property.

Every person in charge of a landmark or a property in a historic district shall keep in good repair: (A) all of the exterior portions of such property and (B) all interior portions which, if not maintained, may cause the exterior of the structure to deteriorate or to become damaged or otherwise to fall into a state of disrepair. The purpose of this section is to prevent a person from forcing the demolition of a building or structure by neglecting it or by permitting damage to it because of weather or vandalism. No provision in this chapter shall be interpreted to require an owner or tenant to undertake an alteration or to restore a building or structure to its original appearance. PZHAC shall consider financial hardship per MTC [18.33.120\(C\)](#). [Ord. 2011-03]

18.33.140 Designation of landmarks and historic districts.

A. The PZHAC may study a property or an area in order to make a recommendation on whether it qualifies for designation as a landmark or a historic district. The board of trustees, a property owner, an individual or a neighborhood organization may also request the PZHAC to make such a study and recommendation.

B. The PZHAC shall assemble information about the property or the area being considered for designation and shall schedule a public hearing on the proposed designation. Public notice of the hearing shall be given, including conspicuous posting on the property or in the proposed district for 14 days immediately prior to the hearing. Conspicuous notice of the hearing shall be given by posting one sign in the front of the property and the posting of additional signs at 300-foot intervals for large properties of more than 600 feet frontage. Notice of the hearing shall be given by certified mail at least 14 days in advance of the hearing to the owners of property under consideration. Written notice shall be considered sufficient when it is mailed to the person listed on the tax records of the government.

C. A landmark or a historic district shall qualify for designation when it meets one or more of the following criteria that will be discussed in a PZHAC report making its recommendation to the board of trustees:

1. Its value as a reminder of the cultural or archaeological heritage of the town, state or nation;
2. Its location as a site of a significant local, state or national event;

3. Its identification with a person or persons who significantly contributed to the development of the town, state or nation;
4. Its identification as the work of a master builder, designer or architect whose individual work has influenced the development of the town, state or nation;
5. Its value as a building or buildings that are recognized for the quality of their architecture and that retain sufficient elements showing their architectural significance;
6. Its distinguishing characteristics of an architectural style valuable for the study of a period, method of construction or use of indigenous materials;
7. Its character as a geographically definable area possessing a significant concentration of buildings, structures or sites united by past events or aesthetically by plan or physical development; and
8. Its character as an established and geographically definable residential neighborhood, united by culture, architectural styles, plan or physical development.

D. After evaluating the testimony at its public hearing and the other material it has assembled, the PZHAC shall decide whether or not to recommend the proposed designation to the board of trustees. If the PZHAC decides to recommend the designation, it shall submit a written report with information on the property or properties. The board of trustees shall approve, modify or disapprove the proposed designation within 60 days after receiving the recommendation and report from the PZHAC.

E. The PZHAC shall notify the owners of the property that has been designated and shall arrange that the designation of a property as a landmark or as a part of a historic district shall be recorded in the land records of the county. The PZHAC shall also give notice of the designation to the government offices in the town and in the county which shall retain the information for future reference.

F. The amendment or rescission of a designation shall be accomplished through the same steps as were followed in the original designation. [Ord. 2011-03]

18.33.150 Appeal from historical appropriateness action.

The process for an appeal from a PZHAC historical appropriateness action shall be pursuant to this title. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.100]

18.33.160 Enforcement.

Responsibility for enforcement shall be pursuant to the Mesilla Town Code. All work performed pursuant to a certificate of historical appropriateness shall conform to the provisions of such certificate. It shall be the responsibility of the town staff to inspect from time to time work being performed to assure such compliance. In the event work is being performed that is not in accordance with such certificate, the town may issue a stop work order. In the event work is being performed without the required certificate of historical appropriateness, the town may issue a stop work order. The PZHAC or its representative shall meet with the owner or tenant to resolve the problem. When necessary, the town attorney may seek an injunction and any other appropriate relief in order that the intent of this chapter shall be carried out. [Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.110]

18.33.170 Appendix A – Design standards with compliance checklist for the following architectural styles: Spanish Pueblo, Territorial, Spanish Mission, Northern New Mexico and Ranch Style.

Each style and its design standards with compliance checklist are listed below with instructions for completing the checklist. The styles appear on separate pages for ease in copying for individual use.

SPANISH PUEBLO

Design standards with compliance checklist for the Spanish Pueblo architectural style.

When completing a checklist, applicants shall circle all the components within individual items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

COMPLIANCE

YES NO

Design Components

Building Height: One or two stories, to be determined by development zone. X _____

Setback: For commercial usage, can be built to property line; for residential, meets prevailing setback in the development zone. X _____

Proportion, relationship of height to length: Buildings are long and low (1). X _____

In the case of a two-story application of this style, the second level occurs over only a portion of the lower level. X _____

COMPLIANCE

YES NO

The overall proportion of the building is dependent in part on the height of the firewall or parapet which is a continuation of the exterior walls extending beyond the roof line on three or more sides (1).

X _____

Walls, historically, are reduced in thickness towards the top to form a battered silhouette.

X _____

Portales or porches, if used, create a lower profile than the basic building (1).

X _____

The character of the building's shapes is rounded or softened without sharp lines.

X _____

Pattern and Rhythm

Solid wall space is greater in any facade than window and door space combined (1).

X _____

Window and door openings are small and randomly, not symmetrically, placed on the facades.

X _____

Window heights from grade are uneven.

X _____

Canales, or drainspouts, pierce the parapet and are spaced in an uneven pattern as required for drainage.

X _____

| | Number | Proportion | Size |
|----------------|--------|------------|-------|
| Doors | _____ | _____ | _____ |
| Windows | _____ | _____ | _____ |
| Gates | _____ | _____ | _____ |
| Walls | _____ | _____ | _____ |

COMPLIANCE

YES NO

Roof Type

Flat with a slight slope for drainage.

X _____

Parapet or firewall: roofs are surrounded on at least three sides by a parapet or firewall.

Surface Texture of Walls

Mud plaster. Hard plaster, smoothly applied, is acceptable.

Color

COMPLIANCE

YES NO

Exterior walls must be of a same single color. Acceptable colors are those of natural adobe, ranging from a light earth color to a dark earth color. Flat white is also acceptable. (See color charts)

The protected space under portales may be painted white or a contrasting color or a mural may be used.

Site Utilization

Follows development zone. Historically, examples of this style are seen most often in a rural setting or with setbacks if sited in an urban location.

Projections and Cavities

Historically, windows are usually deep set defining, from the exterior, the wall thickness.

Wall heights vary according to room shapes or additions.

Buttresses, fireplace outlines and chimneys are massive and important facade elements.

Vigas, or beams, round or rectilinear, sometimes project through exterior walls or are sometimes cut flush with the unplastered adobe walls and plastered over for protection.

Architectural Details

Wood trim is minimal around window and door openings with a rounding of the wall creating a transition from wall surface to window surface.

Canales are built up of saw timber, hollowed out from logs, or sheet metal bent to shape, or ceramic pipe sections or other materials as long as they are encased in one of the above materials.

Lintels above windows and door openings are exposed wood.

Portales or covered porches, either inset or projecting, have posts of round logs capped with a corbel and square beams.

(The rest of this page is left blank intentionally)

TERRITORIAL

Design standards with compliance checklist for the Territorial architectural style.

When completing a checklist, applicants shall circle all the components within items that apply to their application and annotate their responses as needed. If a component is not required and does not

apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

| | COMPLIANCE | |
|---|-------------------|-----------|
| | YES | NO |
| Design Components | | |
| Building Height: Usually one story; however, each case will be determined individually by the development zone. | _____ | _____ |
| Setback: Varies according to the development zone. Historically, in urban/commercial settings, territorial buildings were built on or close to the property line with front facades occupying the entire lot frontage and entrances directly off the street. In rural residential settings, territorial buildings generally have large front yard setbacks. | _____ | _____ |
| Proportion, relationship of height to length. Buildings are long and low in proportion (1). | | |
| Historically, walls are usually two feet thick, but are sometimes two feet six inches thick to three feet in proportion to wall heights. | | |
| The overall proportion of the building is dependent in part on the height of a firewall or parapet, which is a continuation of exterior walls extending beyond the roof line on three or more sides (1). | _____ | _____ |
| Portales or porches, if used, create a lower profile than the basic building. | _____ | _____ |
| Pattern and Rhythm | | |
| Solid wall space is always greater in any facade than window and door space combined (1). | _____ | _____ |
| Window placement on facades is regular and below center. | _____ | _____ |
| Windows are of larger size with multi-paned glazing of individual panes no larger than 30 square inches (1). | _____ | _____ |
| Canales or drainspouts are evenly spaced along the facades and, historically, are more fine and precise in appearance than those used in the Spanish Pueblo style. | _____ | _____ |

| | Number | Proportion | Size |
|--------------|--------|------------|------|
| Doors | _____ | | |

| | Number | Proportion | Size |
|----------------|--------|------------|------|
| Windows | | | |
| Gates | | | |
| Walls | | | |

COMPLIANCE

YES NO

Roof Type

Flat with a slight slope for drainage.

Parapet or firewall: roofs are surrounded on at least three sides by a parapet or firewall.

Surface Texture

Construction is of adobe but may be built of other materials simulating adobe.

Walls are sharp edged with abrupt changes of wall direction.

Walls, historically, are covered with mud plaster. Hard plaster or stucco, smoothly applied, colored or painted the color of natural adobe is acceptable.

Color

Color may range from dark to light earth color. Flat white may also be used. In protected spaces under portales, white or a contrasting color or mural may be used. (See color chart)

Site Utilization

Determined by development zone, size of site and intended use.

In areas of more dense development, high walls along with buildings set on the property line are used to enclose the lot for privacy and environmental protection.

Projections and Cavities

Canales, or drainspouts, pierce the firewalls at the roofline to provide drainage.

Windows are set flush with outside wall surfaces.

Doorways are either flush or slightly recessed in the exterior walls.

Portales, either inset or projecting, are light in effect, built of milled lumber of a scale and detail consistent with other wood elements of the building.

Vigas do not usually project from exterior walls, although in the case of buildings of adobe that have been altered to achieve the territorial style, projecting or partially exposed vigas occur.

Architectural Details

COMPLIANCE

YES NO

Firewalls are usually capped with a coping of fired brick or masonry. Sometimes the coping was added to a basic adobe building along with other details to achieve the style.

Door and window openings are framed with milled wood in an American Colonial (Greek Revival) design.

Doors are usually colonial but heavy paneled Spanish doors or appliqued doors are acceptable.

Structural lintels above windows and door openings are not exposed.

Metal or wood shutters are often used in conjunction with glazed windows.

Portales should be built with a parapet, capped or not, as has the basic building.

Buttresses, fireplace outlines and chimneys are usually not important facade elements.

(The rest of this page is left blank intentionally)

SPANISH MISSION

Design standards with compliance checklist for the Spanish Mission architectural style.

When completing a checklist, applicants shall circle all the components within items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

COMPLIANCE

YES NO

Design Components

Building Height: To be determined by the development zone on a case-by-case basis. Historically, one or two stories with a vertical facade. In some cases the verticality is achieved primarily by the use of a false facade.

✓ _____

COMPLIANCE

YES NO

Setback: In commercial usage, the building is sited on the front property line without setbacks. In residential usage, the buildings are sited with front, side and back yards.

✓ _____

Proportion: The use of facade design elements suggesting towers and belfries creates a verticality of a kind not evident in the other styles in Mesilla. This verticality is illustrated by the commercial buildings. In residential usage this verticality is implied rather than physically stated.

✓ _____

Pattern and Rhythm

Building surfaces are broken by applied or constructed openings.

✓ _____

The arched tower and belfry opening is repeated in the design of door and window openings.

✓ _____

In general, there are large areas of solid wall surfaces in relation to the openings created by windows and doors (1).

✓ _____

Roof lines simulate the tower and belfry outline.

✓ _____

| | Number | Proportion | Size |
|---------|------------|------------|----------|
| Doors | 10 | yes | STANDARD |
| Windows | 8 | | STANDARD |
| Gates | N/A | | |
| Walls | 4 EXTERIOR | | |

COMPLIANCE

YES NO

Roof Type

Angled, flat, or a combination of both.

✓ _____

In the event that a roof is visible, the preferred surface material is Spanish tile.

✓ _____

Surface Texture

Smooth stucco.

✓ _____

Color

Usually white or earth walls with terra cotta tiled visible roof surfaces. (See color chart)

✓ _____

Site Utilization

COMPLIANCE

YES NO

In commercial usage, usually built to property line with facade extending the length of the property frontage (1).

✓ _____

In residential usage, the building is generally placed with front, side and back yards (1).

✓ _____

Landscaping is very formally arranged, with walls and arches reflecting the character of the basic building.

✓ _____

Projections

Windows and doorways are typically deeply recessed in arched openings.

✓ _____

Portales and covered walks are supported by arches.

✓ _____

Arched or simple buttresses are used.

✓ _____

Architectural Details

Arches, iron grilles or railings, carved doors, partially or completely rounded windows, ornate metal hardware and ceramic tile are used in the Spanish Mission style.

✓ _____

(The rest of this page is left blank intentionally)

NORTHERN NEW MEXICO

X 250 P. H. 12. 1.

Design standards with compliance checklist for the Northern New Mexico architectural style.

When completing a checklist, applicants shall circle all the components within items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

COMPLIANCE

YES NO

Design Components

Building Height: Usually one story; however, each case will be determined individually by the development zone.

COMPLIANCE

YES NO

The use of two stories would require the use of the angled roof as an attic or otherwise part of the second story.

Setback: There is no typical setback distance used, therefore the setback of the development zone would prevail.

The application of this style is generally in a rural setting. Certain buildings in the commercial area of Mesilla exhibit this style of building set on the property frontage.

Proportion: There is a marked division between the roof and exterior walls. The proportion of the exterior walls, usually of adobe construction, is long and low but verticality is achieved by the added angled roof (1). Roof angles are sharp but rarely reaching an angle of 45 percent off the horizontal (1).

Pattern and Rhythm

The facades of these buildings are simple with few window openings of small overall size (1).

Doorways are numerous predicated on the pattern of construction and additions to the basic construction (1).

| | Number | Proportion | Size |
|----------------|---------------|-------------------|-------------|
| Doors | _____ | _____ | _____ |
| Windows | _____ | _____ | _____ |
| Gates | _____ | _____ | _____ |
| Walls | _____ | _____ | _____ |

COMPLIANCE

YES NO

Roof Type

The most significant style element is the angled roof of corrugated metal. It is used in either the hipped or pitched configuration. The hipped roof is angled from four sides with a ridge line shorter than the length of the building. The pitched roof is angled from two sides. The use of the pitched roof makes necessary a filler for the triangular area at the ends of the building created by the addition of the pitched roof.

Surface Texture

| | COMPLIANCE | |
|--|-------------------|-----------|
| | YES | NO |
| Surface texture is of adobe or simulated adobe construction with or without mud or hard plaster. | _____ | _____ |
| Color | | |
| White or earth color. (See color chart). | _____ | _____ |
| Site Utilization | | |
| These buildings in the commercial area utilize most of the available site space. | _____ | _____ |
| In the more open, rural parts of Mesilla, these buildings are sited in varying ways depending on overall site usage and the development zone. | _____ | _____ |
| Projections and Cavities | | |
| Portales or covered porches are roofed with the same basic roofing materials. | _____ | _____ |
| Portales are sometimes beneath extensions of the overall roof. In this case the angle of the basic roof is continued or broken slightly as required. | _____ | _____ |
| Portales are sometimes enclosed with screens. | _____ | _____ |
| Roof overhangs are generally minimal. | _____ | _____ |
| Architectural Details | | |
| Windows, doors, columns, chimneys and buttresses are similar to those found in other adobe based buildings. | _____ | _____ |

(The rest of this page is left blank intentionally)

RANCH STYLE

Design standards with compliance checklist for the Ranch architectural style.

When completing a checklist, applicants shall circle all the components within items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

| COMPLIANCE | |
|-------------------|-----------|
| YES | NO |

COMPLIANCE

YES NO

Design Components

Building Height: To be determined on a case-by-case basis based on the development zone. Historically, single story although two-story additions or complete two story buildings occur.

Setback: Front yards are typical.

Ranch styles are not built to the property line and the setback of the development zone would prevail.

Proportion: Generally low and sprawling.

The pitched or angled roof sometimes creates an appearance of verticality.

Pattern and Rhythm

The character of this design element is generated by large picture windows, covered walkways or connecting overhead structures, the use of many windows, steps up to raised foundations, abrupt changes in facades which reflect the varying sizes of inner spaces or additions and a pattern sometimes created by changes in material.

| | Number | Proportion | Size |
|----------------|---------------|-------------------|-------------|
| Doors | _____ | _____ | _____ |
| Windows | _____ | _____ | _____ |
| Gates | _____ | _____ | _____ |
| Walls | _____ | _____ | _____ |

COMPLIANCE

YES NO

Roof Type

Roofs are pitched, angled, or shallow hipped.

The use of prefab trusses on site of construction to achieve the angled roof is the typical technique.

Roofs are usually built with large overhangs (1).

The thickness of the roof is exaggerated by the addition of trim material.

Roofs are usually finished with shingles either of roofing paper or wood.

Roof types are pitched or shed with frequent intersections at changes in building plan.

COMPLIANCE

YES NO

Surface Texture

Ranch styles in Mesilla exhibit a variety of surface textures: brick, concrete block, stone, various kinds of siding, unplastered or plastered adobe and simulated adobe.

The individual Ranch style buildings or structures sometimes have a variety of finishes or textures due to veneers and additions.

Color

The Ranch style has no typical color. Due to construction, detail and use of veneers, a variety of colors are possible within an individual building.

Site Utilization

In Mesilla, Ranch style houses are usually outside the more densely developed older areas of the town.

Being a recent style, it is usually used in typical subdivision fashion.

Landscaping is controlled by fencing and walks.

Many ornamental plants and trees and large lawns create a green surrounding for the Ranch style house.

Projections and Cavities

More change of surface is shown by additions, garages, breezeways, covered entrances, manmade shade structures, roof overhangs and raised entrances with steps than in the other styles existing in Mesilla.

Architectural Details

Simple construction and basic design is evident in the Ranch style house.

Windows and doors are manufactured items.

Trim is simple and varied.

Scalloped edges, trellises and wood moldings are used.

[Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.120]

(The rest of this page is left blank intentionally)

18.33.180 Appendix B – Additional standards for preservation, rehabilitation, restoration and reconstruction taken from the Secretary of the Interior’s Standards for the Treatment of Historic Properties as developed in 1992 and codified as [36 CFR 68](#).

Each set of standards appears below on separate pages for ease in copying for individual use.

STANDARDS FOR PRESERVATION

A. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

B. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

C. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.

D. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

E. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

F. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color and texture.

G. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

H. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

(The rest of this page is left blank intentionally)

STANDARDS FOR REHABILITATION

A. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

B. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be

avoided.

C. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

D. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

E. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

F. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

G. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

H. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

I. New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion and massing to protect the integrity of the property and its environment.

J. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

(The rest of this page is left blank intentionally)

STANDARDS FOR RECONSTRUCTION

A. Reconstruction will be used to depict vanished or nonsurviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.

- B. Reconstruction of a landscape, building, structure or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.
- C. Reconstruction will include measures to preserve any remaining historic materials, features and spatial relationships.
- D. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the nonsurviving historic property in materials, design, color and textures.
- E. A reconstruction will be clearly identified as a contemporary re-creation.
- F. Designs that were never executed historically will not be constructed.

(The rest of this page is left blank intentionally)

STANDARDS FOR RESTORATION

- A. A property will be used as it was historically or be given a new use which reflects the property's restoration period.
- B. Materials and features from the restoration period will be retained and preserved. The removal of materials or alteration of features, spaces and spatial relationships that characterize the period will not be undertaken.
- C. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.
- D. Materials, features, spaces and finishes that characterize other historical periods will be documented prior to their alteration or removal.
- E. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize the restoration period will be preserved.

F. Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials.

G. Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties or by combining features that never existed together historically.

H. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

I. Archeological resources affected by a project will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

J. Designs that were never executed historically will not be constructed.

[Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.130]

(The rest of this page is left blank intentionally)

The Mesilla Town Code is current through Ordinance 2021-03, passed December 30, 2021.

Disclaimer: The town clerk's office has the official version of the Mesilla Town Code. Users should contact the town clerk's office for ordinances passed subsequent to the ordinance cited above.

Town Website: <http://www.mesillanm.gov/>

Town Telephone: (575) 524-3262

[Code Publishing Company](#)





TOWN OF MESILLA

BOARD ACTION FORM

ITEM:

For Approval/Disapproval: Resolution 2023-15 - year-end budget adjustments for fiscal year ending June 30, 2023.

BACKGROUND:

The year-end budget adjustments are required by the State of New Mexico Department of Finance and Administration (DFA) for year-end adjustments for FY23. The final budget adjustments resolution (BAR) must be approved.

A summary of the adjustments for FY23 ending June 30, 2023 is provided in Attachment A.

SUPPORT INFORMATION:

BOARD OPTIONS:

1. Approve
2. Modify
3. Reject

SUBMITTED BY: Gloria S Maya
BOT MEETING DATE: 08.28.2023

DEPARTMENT: Finance



Town of Mesilla, New Mexico

RESOLUTION NO. 2023-15

A RESOLUTION BY THE BOARD OF TRUSTEES FOR BUDGET ADJUSTMENTS

WHEREAS, since the development of the Town of Mesilla budget for fiscal year 2022-2023, the Town has had various revenue and expense increases; and

WHEREAS, budget adjustments are necessary to account for increased revenue and zero out certain expenditure line items in various departments that are over budget; and

WHEREAS, review of FY 2022-23 revenues and expenditures in various funds exceeded the original approved budget amount; and

WHEREAS, attachment 'A' provides a list of all funds/departments affected by these budget adjustments; and

WHEREAS, the summary of adjustments referenced herein are true and correct to the best of our knowledge.

NOW THEREFORE, BE IT RESOLVED by the Board of Trustees of the Town of Mesilla, that the budgetary adjustments are subject to the approval of the State of New Mexico Department of Finance and Administration (DFA) and that a copy of this resolution be forwarded to DFA for approval.

PASSED, ADOPTED AND APPROVED on this 28th day of August, 2023

ATTEST:

Gloria S Maya
Town Clerk-Treasurer

Nora L. Barraza
Mayor

Mayor Pro Tem Merrick ____
Trustee Cadena ____
Trustee Garcia ____
Trustee Johnson-Burick ____

ATTACHMENT A

BUDGET ADJUSTMENTS FOR FY2022-23 4TH QRT

Transfers:

| | |
|--|--|
| General Fund Transfer (10) transfer to Municipal Streets (Road Fund - 27) | \$ 4,445.41 to correct negative balance |
| General Fund Transfer (10) transfer to Other Special Revenue (SRO – 29) | \$ 36,760.77 to correct negative balance |
| General Fund Transfer (10) transfer to Other State Funded Projects (Capital Improvements - 35) | \$413,159.75 to correct negative balance |
| General Fund Transfer (10) transfer to Revenue Bond Debt Service (Town Hall Project – 21) | \$ 3,734.43 to correct negative balance |
| General Fund Transfer (10) transfer to Other Internal Service (Events Fund – 30) | \$ 1,773.54 to correct negative balance |
| Municipal Streets (Road Fund – 27) transfer from General Fund (10) | \$ 4,445.41 to correct negative balance |
| Other Special Revenue (SRO – 29) transfer from General Fund (10) | \$ 36,760.77 to correct negative balance |
| Other State Funded Projects (Capital Improvements – 35) transfer from General Fund (10) | \$413,159.75 to correct negative balance |
| Revenue Bond Debt Service (Town Hall Project – 21) transfer from General Fund (10) | \$ 3,734.43 to correct negative balance |
| Other Internal Service (Events Fund – 10) transfer from General Fund (10) | \$ 1,773.54 to correct negative balance |
| | |
| Total Transfers Out | \$459,873.90 |
| Total Transfers In | \$459,873.90 |