



# Town of Mesilla, New Mexico

**THE BOARD OF TRUSTEES (BOT) OF THE TOWN OF MESILLA WILL HOLD A WORKSESSION AND REGULAR MEETING AT THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.**

**MONDAY, APRIL 10, 2023 – 5:00 PM**

**WORKSESSION AGENDA**

**Fiscal Year 2023-2024 Budget – Nora Barraza, Mayor**

**MONDAY, APRIL 10, 2023 – 6:00 PM**

**REGULAR MEETING AGENDA**

1. **PLEDGE OF ALLEGIANCE**
2. **ROLL CALL & DETERMINATION OF A QUORUM**
3. **CHANGES TO THE AGENDA & APPROVAL**
4. **PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.**
5. **PRESENTATION**
  - a) **National Public Safety Telecommunications Week Proclamation**
6. **APPROVAL OF CONSENT AGENDA:** (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk \*)
  - a) **\*BOT MINUTES - Minutes of Regular Meeting, March 27, 2023**
7. **NEW BUSINESS**
  - a) **PZHAC Case #061553** – 1930 Calle de Pacana, submitted by Margarita Fraga, to request a building permit to install solar panels on her property. Zone: **Historical Residential (HR)**
  - b) **PZHAC Case #061549** – 2488 Calle de Guadalupe, submitted by Juan Albert, to request building permit to install commercial equipment in his business. ZONED: **Historical Commercial (HC)**
  - c) **PZHAC Case #061535** – 2590 Calle de Colon, submitted by Daniel Bustamantes to build a 15 x 30 feet pool on property. Zone: **Historical Residential (HR)**
8. **CLOSED EXECUTIVE SESSION**
  - a) **Discussion concerning attorney/client privilege matters pertaining to threatened or pending litigation in which the public body is or may become a participant pursuant to NMSA 1978, Section 10-15-1(H)(7)**
9. **BOARD OF TRUSTEE COMMITTEE REPORTS**
10. **BOARD OF TRUSTEE/STAFF COMMENTS**  
*(Written staff reports included in packet)*
11. **ADJOURNMENT**

**NOTICE**

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least one week prior to the meeting. The Mayor and Trustees request that all cell phones be turned off or set to vibrate. Members of the audience are requested to step outside the Board Room to respond to or to conduct a phone conversation. A copy of the agenda packet can be found online at [www.mesillanm.gov](http://www.mesillanm.gov).

Posted 04.06.2023 online and at the following locations: Town Clerk's Office 2231 Avenida de Mesilla, Public Safety Building 2670 Calle de Parian, Mesilla Community Center 2251 Calle de Santiago, Short's Food Mart 2290 Avenida de Mesilla, Ristramn Chile Co. 2531 Avenida de Mesilla and the U.S. Post Office 2253 Calle de Parian.



## **-Proclamation-**

### **DECLARING APRIL 9-15, 2022, AS NATIONAL PUBLIC SAFETY TELECOMMUNICATIONS WEEK**

**WHEREAS,** when an emergency occurs the prompt response of police officers, firefighters, and paramedics is critical to the protection of life and preservation of property; and

**WHEREAS,** the safety of our police officers, firefighters and emergency medical personnel is dependent upon the quality and accuracy of information obtained from citizens who telephone the Mesilla Valley Regional Dispatch Authority Communications Center; and

**WHEREAS,** professional Public Safety Telecommunicators are a vital link between citizens and victims and are the first and most critical contact our citizens have with emergency services; and

**WHEREAS,** Public Safety Telecommunicators are the single vital link for our police officers, firefighters, and emergency medical personnel by monitoring their activities by radio, providing them information, and insuring their safety; and

**WHEREAS,** Public Safety Telecommunicators of the Mesilla Valley Regional Dispatch Authority are the First, First Responders who contributed substantially as part of the public safety team; and

**WHEREAS,** each dispatcher has exhibited compassion, understanding, and professionalism during the performance of their job in the past year.

#### **NOW THEREFORE BE IT RESOLVED,**

that I Nora L. Barraza, Mayor of Mesilla, New Mexico, do hereby proclaim the week of April 9-15, 2023, to be National Public Safety Telecommunications Week in the Town of Mesilla in honor of the men and women whose diligence and professionalism keep our communities and citizens safe.

**SIGNED, SEALED AND PROCLAIMED** this April 10, 2023.

\_\_\_\_\_  
Nora L. Barraza  
Mayor



# Town of Mesilla, New Mexico

## BOARD OF TRUSTEES (BOT)

### TOWN OF MESILLA

### REGULAR MEETING

MONDAY, MARCH 27, 2023 – 6:00 PM

### MINUTES

#### TRUSTEES:

Nora Barraza, Mayor  
Adrianna Merrick, Mayor Pro Tem  
Biviana Cadena, Trustee  
Veronica Garcia, Trustee  
Stephanie Johnson-Burick, Trustee

#### STAFF:

Rod McGillivray, Public Works Director  
Enrique Salas, Marshal  
Gloria Maya, Recorder

#### PUBLIC:

Richard Moreno	Ruben Quintana
Jessie Herrera-Sainz	Adam Sainz
J. Zapien	T. Scott
D. Thurnhorst	I. Thurnhorst
Alayna Hallford	Crystal Davis-Whited
Greg Whited	Kathy Telgard
Sue Ann Davis	Joanie Demchok
Andrew Whited	Sam McBurney
Catharine Walkinshaw	Russell Hernandez
Paul Germani	Jeannette Fietze
Mary H Ratje	Guillermo Acosta
Trina Witter	Karena Oberman
Stewart Oberman	Susan Krueger
Pat Taylor	Marcy Toomey
Diego	Janice & Bill Cook

#### 1. PLEDGE OF ALLEGIANCE

Mayor Barraza led the Pledge of Allegiance.

#### 2. ROLL CALL & DETERMINATION OF A QUORUM

##### Roll Call.

**Present:** Mayor Barraza, Mayor Pro-Tem Merrick, Trustee Cadena, Trustee Garcia, Trustee Johnson-Burick.

#### 3. CHANGES TO THE AGENDA & APPROVAL

**Motion:** To approve agenda, Moved by Trustee Johnson-Burick, Seconded by Trustee Garcia.

**Roll Call Vote:** Motion passed (**summary:** Yes =4).

- 1 Mayor Pro Tem Merrick Yes
- 2 Trustee Cadena Yes
- 3 Trustee Garcia Yes
- 4 Trustee Johnson-Burick Yes
- 5

6 **4. PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.**

7 Mayor Pro Tem Merrick stated comments regarding the cell tower should be directed to the town attorney.

8  
9 Ms. Telgard read editorial (attached). She has not filed a lawsuit against the Town of Mesilla and asked why her  
10 freedom of speech has been curtailed.

11  
12 Ms. Wittern stated the docket 2:21 CB-00259 list three parties, Verizon, Town of Mesilla and Board of Trustees.  
13 There are not residents listed. Comments related to the cell tower should be allowed.

14  
15 Mr. Acosta stated he found it disturbing that comments regarding the cell tower would not be allowed. Feels the  
16 mayor’s comments were an overreach and does not allow for transparency. Encouraged everyone to contact the  
17 New Mexico Municipal League.

18  
19 Ms. Walkinshaw stated the Fountain Theatre will be having free showings of Chupa on April 6<sup>th</sup> and 8<sup>th</sup>. There  
20 will be a showing on April 7<sup>th</sup> at the Rio Grande Theatre. She is not in a law suit against the town. Residents have  
21 attempted to contact Mr. Cervantes through phone calls and emails with no response.

22  
23 Ms. Sainz stated she feels permit fees are too high. She asked Mr. Salazar what the fees are for, and he did not  
24 have an answer. She asked that they take their concerns into account. They have met many obstacles in trying to  
25 add to their home.

26  
27 Mr. Embury thanked everyone for their prayers, food and support. He truly felt the love from our Mesilla  
28 community.

29  
30 Ms. Ratje stated she visited with Ms. Sellers regarding the Lodger’s Tax. She has volunteered to be on the  
31 Lodger’s Tax Committee.

32  
33 Mr. Taylor stated anyone interested in registering for a workshop may do so on the website-pattaylor,inc. We have  
34 a sponsor that will be paying registration fees for local residents.

35  
36 **5. PRESENTATION**

- 37 a) Motorcycle Awareness Month Proclamation

38 Ms. Maya read proclamation making May Motorcycle Awareness Month.

39  
40 **6. APPROVAL OF CONSENT AGENDA:** (The Board will be asked to approve by one motion the  
41 following items of recurring or routine business. The Consent Agenda is marked with an asterisk \*)

- 42 a) **\*BOT MINUTES** - Minutes of Regular Meeting, March 13, 2023

43 **Motion: To approve agenda, Moved by Trustee Johnson-Burick, Seconded by Trustee Garcia.**

44  
45 **Roll Call Vote:** Motion passed (summary: Yes =4).

- 46 Mayor Pro Tem Merrick Yes
- 47 Trustee Cadena Yes
- 48 Trustee Garcia Yes

1 Trustee Johnson-Burick Yes  
2

3 **7. CLOSED EXECUTIVE SESSION**

4 a) Discussion of limited personnel matters pursuant to NMSA 1978, Section 10-15-1(H)(2)-Fire  
5 Department –

6 **Motion: To enter Closed Executive Session: discussion of limited personnel matters pursuant to NMSA**  
7 **1978, Section 10-15-1(H)(2)-Fire Department, Moved by Trustee Johnson-Burick, Seconded by Trustee**  
8 **Garcia.**

9  
10 **Roll Call Vote:** Motion passed (summary: Yes =4).

11 Mayor Pro Tem Merrick Yes

12 Trustee Cadena Yes

13 Trustee Garcia Yes

14 Trustee Johnson-Burick Yes  
15

16 **Entered Closed Executive Session at 6:20 p.m.**  
17

18 **Motion: To enter Regular Meeting: discussion of limited personnel matters pursuant to NMSA 1978,**  
19 **Section 10-15-1(H)(2)-Fire Department – no action taken, Moved by Trustee Johnson-Burick, Seconded by**  
20 **Trustee Garcia.**

21  
22 **Roll Call Vote:** Motion passed (summary: Yes =4).

23 Mayor Pro Tem Merrick Yes

24 Trustee Cadena Yes

25 Trustee Garcia Yes

26 Trustee Johnson-Burick Yes  
27

28 **Entered Regular Meeting at 6:40 p.m.**  
29

30 **8. NEW BUSINESS**

31 a) **Approval:** Of Fire Chief – Trustee Johnson-Burick

32 **Motion: To approve the hiring of Fire Chief, Moved by Trustee Garcia, Seconded by Trustee Johnson-**  
33 **Burick.**

34  
35 Trustee Johnson-Burick stated the committee recommends Mr. Greg Whited as Town of Mesilla Fire Chief.

36  
37 Trustee Garcia asked what the starting pay would be.

38  
39 Mayor Pro Tem Merrick responded the pay will start at \$55,000.  
40

41 **Amended Motion: To approve the hiring of Fire Chief at \$55,000 pay rate, Moved by Trustee Garcia,**  
42 **Seconded by Trustee Johnson-Burick.**

43  
44 **Roll Call Vote:** Motion passed (summary: Yes =4).

45 Mayor Pro Tem Merrick Yes

46 Trustee Cadena Yes

47 Trustee Garcia Yes

48 Trustee Johnson-Burick Yes  
49

50 Mr. Whited thanked everyone for their trust. All that we do is for the safety of our town and the firefighters.  
51

52 **9. BOARD OF TRUSTEE COMMITTEE REPORTS**

1 Trustee Garcia: Workforce Solutions Meeting cancelled

2  
3 Trustee Johnson-Burick: MPO Meeting April 12<sup>th</sup>

4  
5 Mayor Pro Tem Merrick: MPO Meeting April 12<sup>th</sup>

6  
7 **10. BOARD OF TRUSTEE/STAFF COMMENTS**

8 Trustee Cadena state she appreciates the public attendance. Residents want transparency and to be ensured that the  
9 board is working for them. They are looking at a meeting where things can be discussed more in depth. Residents  
10 rely on us to govern, the obligation we took on as elected officials. Keeping writing, keep talking as much as you  
11 can.

12  
13 Trustee Garcia stated she had asked at the last meeting about updating the minutes on our website, we are violating  
14 the Open Meetings Act. Trustee Johnson-Burick and herself have spoken about the fees; she will talk to Mr.  
15 Salazar about helping the family.

16  
17 Trustee Johnson-Burick thanked everyone for their comments.

18  
19 Mayor Pro Tem Merrick stated she appreciates the interest in residents serving on the Lodger’s Tax Committee.  
20 Apologized to Ms. Sainz for the issues she has had regarding permit fees. There will be a budget worksession at  
21 5:00 p.m. on April 10<sup>th</sup> .

22 **11. ADJOURNMENT**

23 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-4).**

24  
25 **MEETING ADJOURNED AT 6:51 P.M.**

26  
27 **APPROVED THIS 10th DAY OF APRIL, 2023.**

28  
29  
30  
31  
32 **Nora L. Barraza**  
33 **Mayor**

34  
35 **ATTEST:**

36  
37  
38  
39  
40  
41 **Gloria S. Maya**  
42 **Town Clerk/Treasurer**  
43

# Las Cruces Sun News.

**Gregory Williams** Foundation for Open Government Board Member and past president

Published 1:45 p.m. MT March 15, 2023

*Editor's note: News Director Jessica Onsurez is a board member and current vice-president of the Foundation for Open Government.*

Public officials and employees love transparency in the abstract. In reality: not so much.

Transparency in government is a crowd-pleasing election promise that gets set aside in practice. It happens in part because openness takes effort. It takes a daily commitment by public entities to provide access to records, to inform the public as to what is going on, and to allow participation. Transparency also invites scrutiny, and not all public officials and employees want that.

Open government also suffers because public officials often choose to favor other policy concerns over transparency. For example, when the New Mexico Legislature and governor chose years ago to limit access to applications for university president positions, they decided that other considerations, like the supposed quality of the applicant pool, outweighed the public interest in a transparent hiring process.

Transparency isn't the only valid policy concern, of course. There are sometimes good reasons to keep some public records confidential, or to close parts of open meetings. For example, the state tax department is required to keep information in tax returns private, which protects the privacy interests of individual taxpayers.

But when it comes to public business, transparency is entitled to more weight than almost every other policy concern. The reason is simple: government is omnipresent, and transparency is fundamental to good government.

Every person in our state, one way or another, relies on the operation of government. And every person funds it. We all have a constant interest in how our government runs. Efficient, dependable and effective government is a requirement for a thriving society.

And that requires both trust and oversight. Our government reports to us; when it enacts laws that limit what information we can get from it, or puts up obstacles to obtain it, we lose faith in the system. Public entities have to be open and straightforward about how they are devoting our resources and applying our laws; when they are not, we question their integrity.

# Las Cruces Sun News.

Accountability is key to any operation, including government. Transparency is one of the primary deterrents to government corruption. The more access we have to the daily operations of government – specifically, where the money goes – the less likely that we will be victimized by those with a duty to serve us.

Access to government is not just about strong transparency laws. It also relies on a commitment by public officials to comply with those laws. A robust public records law is of little use if a public body does not adequately fund compliance with the law or training of its employees. Too many governmental entities resist providing access to their operations, delaying responses to records requests or looking for ways to provide the least possible information. Open government requires the opposite mindset: a dedication to providing the greatest possible access, and an understanding that doing so is one of the core functions of government.

Transparency erodes without a constant effort to maintain it. Every statute that is passed with a confidentiality provision, or portion of a public meeting that is closed off to attendees, or delay in responding to a records request, eats away at effective government. Transparency must be more than a politician's favorite buzzword; instead, it requires a recognition that it is fundamental to democracy, and takes constant effort to carry out.



## BOARD ACTION FORM

### AGENDA DATE

**PZHAC:** March 20, 2023

**BOT:** April 10, 2023

**ITEM:** PZHAC CASE #061553 – 1930 Calle de Pacana, submitted by Margarita Fraga, to request a building permit to install solar panels on her property. Zone: **Historical Residential (HR)**

**BACKGROUND AND ANALYSIS:** Applicant is looking for approval to install solar panels on the roof not visible from the street.

### IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- N/A

### ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

### DEPARTMENT COMMENTS:

- Staff reviewed all documents and everything is in order.
- Panels are no taller than 13" will not be visible from the street

### SUPPORTING INFORMATION:

- Application
- Residential Building Agreement (contract)
- Photo IDs
- Dona Ana County Assessor's Ownership Record
- Solar Panel Specs
- Engineering Certification
- Street/aerial view of residence

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061553  
Fee \$ 616.00



**PAID**

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524 3262 ext. 104

CASE NO. 061553 ZONE: HR CODE: RSO APPLICATION DATE: 2/7/2023

Margarita Fraga	(575) 640-3101	NM DL 022551434
Name of Property Owner	Property Owner's Telephone Number	ID#
PO Box 330	Mesilla NM 88046	
Property Owner's Mailing Address	City	State
margarod@nmsu.edu		Zip Code
Property Owner's E-mail Address		R0401599
		Dona Ana County Account #
Organ Mountain Solar & Electric - 400 South Compress Road, Las Cruces, NM 88005		
Contractor's Name & Address (If none, indicate Self)		
(575) 288-1792		394801
Contractor's Telephone Number	Contractor's Tax ID Number	Contractor's License Number

Address of Proposed Work: 1930 Calle Pacana, Mesilla, NM 88046

Description of Proposed Work: Roof to solar installation

\$ 40,437.38

Estimated Cost

Signature of Applicant

2/7/2023

Date

DocuSigned by:

Signature of property owner:

Margarita Fraga

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

**FOR OFFICIAL USE ONLY**

<b>PZHAC</b>	<input type="checkbox"/> Administrative Approval	<b>BOT</b>	<input type="checkbox"/> Approved Date: _____
	<input checked="" type="checkbox"/> Approved Date: <u>4/3/23</u>		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED:  YES \_\_\_ NO BOT APPROVAL REQUIRED:  YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED:  YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: NO CONDITIONS

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_

ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- N/A Foundation plan with details.
- Floor plan showing rooms, their uses and dimensions.
- Cross section of walls
- Roof and floor framing plan
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
- N/A Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the City Code or Community Development Department (See other side.)

PAY



TOWN OF MESILLA

575-524-3262

\*\*\*\*\* REPRINT RECEIPT\*\*\*\*\*

REC#: 00189597 3/15/2023 9:37 AM

OPER: UTCLK TERM: 001

REF#: BRC

ACCT #: XXXXXXXXXXXXXXXXXXXX

AUTH #: 04989G

TRAN #: 00000189597

TYPE: PURCHASE

ENTRY MODE: MANUAL

TRAN: 110.0000 PERMITS/INSPECTIONS

061553 616.00CR

FRAGA, MARGARITA

1930 CALLE DE PACANA

BLD 616.00CR

TENDERED: 616.00 CREDIT CARD

APPLIED: 616.00-

CHANGE: 0.00

Pay Online: [www.mesillanm.gov](http://www.mesillanm.gov)

COB



Organ Mountain Solar & Electric  
400 S Compress Rd, Suite D, Las Cruces, NM 88005  
(575) 288-1792  
License #: 394801

## RESIDENTIAL BUILDING IMPROVEMENT AGREEMENT (Solution D)

**Contract Date:** Nov 2, 2022

**PARTIES** This Residential Building Improvement Agreement (“**Contract**”) is by and between the parties listed below. Contractor and Customer are occasionally referred to herein individually as a “**Party**” and collectively as the “**Parties**.”

**CUSTOMER (Owner on Title/Deed):**

Margarita Rodriguez & David Fraga  
1930 Calle Pacana  
Mesilla, NM 88046  
(575) 640-3101  
margarod@nmsu.edu

**CONTRACTOR (Seller):**

Organ Mountain Solar & Electric  
400 S Compress Rd Suite D  
Las Cruces, NM 88005  
(575) 288-1792  
pmlc@omsande.com  
License: 394801

**SALES CONSULTANT:**

Troy Guglielmina  
(575) 644-4051  
troy@omsande.com

**EFFECTIVE DATE.** **Contract** is effective as of the latest date referenced on the signature lines below (“**Effective Date**”). This contract may be cancelled by the Customer for any reason and free of charge up to three business days from the Effective Date.

**WORK SITE.** The following is a legal description of the location (the“**Premises**”) where the work by Contractor to be performed as described herein will occur:

**1930 Calle Pacana, Mesilla, NM 88046**

**ATTACHMENTS:**

1. ATTACHMENT A: WARRANTY
2. ATTACHMENT B: DISTRIBUTED GENERATION DISCLOSURE STATEMENT
3. UTILITY INTERCONNECTION APPLICATION & DATA USAGE AUTHORIZATION



The parties to this Contract agree as follows:

**1. Scope of Work.** Description of the Project and Description of the Significant Materials to be Used and Equipment to be Installed:

**1. Residential Roof Mount PV System**

Contractor will provide materials and labor to supply and interconnect a roof mounted, grid-tied solar electric (PV) system at your premises. The “Solar PV System” has a rated capacity of **11.480 DC kW (STC)** and includes the following major items:

- PV Modules: (28) Panasonic EVPV410H  
410 W, 120 half-cut cell monocrystalline HJT module, white backsheet, black frame, 1000V max system Vdc
- Microinverters - grid-tie: (28) Enphase Energy IQ8A-72-2-US [240V]

The Contractor shall furnish all the necessary design documents, permitting and utility interconnection agreements, and all materials, equipment, and labor to complete the defined scope of work. Commissioning & testing of the equipment will occur after the installation to ensure proper system functionality.

**2. Time of Completion.** The work to be performed under this contract is dependent on a variety of variables, including, but not limited to, completion of design site survey, customer design approval, financing, jurisdiction and utility permitting approval, project-related activities outside the above defined scope of work for by Contractor (e.g. roof work, additional electrical work, etc.)

**3. Price and Payment Schedule.**The Customer shall pay the Contractor for the work to be performed under this agreement in accordance with the following:

**CONTRACT PRICE: \$41,693.18**

Payment Method: unsecured loan  
Down Payment: \$0.00  
Amount Financed: \$41693.18  
Finance Program: Nusenda 15 Yr 4.69%

Customer will complete a separate loan agreement with the finance company. Finance company will pay Organ Mountain Solar & Electric for the Scope of Work and Customer will make payments to finance company per Customer's separate agreement with them. If Customer is unable to successfully complete the loan agreement with finance company within a reasonable time, contractor may cancel this agreement with Customer.

**Estimated Monthly Payments** \$323.00/mo for first 18 months | \$188.00/mo for 162 months (assumes Tax Credit Payment is made by end of promotional term)  
*Monthly payment is estimated, and depends on third party financing approval. Organ Mountain Solar & Electric is not a finance company, and merely conveys financing programs to the best of our knowledge. Organ Mountain Solar & Electric does not make any claims, guarantees, or profits regarding any financing. Rates, fees, payments, and programs are administered by a third party. All program details must be confirmed by Customer directly with any finance company Customer selects.*

**SCHEDULE OF PROGRESS PAYMENTS.** Total Price will be paid according to the schedule defined below:

#	Event	Description	Portion	Amount
1	Nusenda funding	Funding requested 15 - 30 days prior to installation	Balance	\$41,693.18
<b>Contract Cost</b>				\$41,693.18

DS MRF DS DRP

Engineering payment (if any) is due at time of contract signing. Payment to Contractor may be made by cash, check or wire transfer. Credit / Debit cards can be accepted with prior approval. Please note that there will be a non-refundable 3% service fee added to each credit / debit card transaction.

#### NOTES:

- The pricing in this Contract is valid for a period of 10 days after the date that the Contractor first presents it to the Customer for review and execution. If you do not sign and return this Contract to Contractor within this 10-day period, the Contractor reserves the right to revise this Contract to better reflect current pricing at that time.
- The Contract Price is inclusive of any and all taxes and/or standard fees due as a result of the Work, which shall in all cases be the sole responsibility of the Contractor to pay to the appropriate project-related third-party entities.

**4. Final Invoice.** The Customer shall pay the remainder of the Contract Price within 15 business days after receiving the final system activation invoice (system activation invoice is defined by the payment schedule in section 3).

#### 5. Customer's Warranties & Responsibilities.

- a. Customer warrants and represents that he/she is not only the owner of the location where the System will be installed, including on-site work performed, but also assumes responsibility, and is thus responsible for any future potential conflicts of property lines, restrictive covenants, and rights of easement owner(s).
- b. The Customer will provide the Contractor with any and all required surveys, legal descriptions, etc. that may be necessary for designing and permitting the Work.

**6. General Provisions and Change Orders.** Any alterations or deviation to the above specifications, including, but not limited to, any such alteration or deviation involving changes in materials and/or labor costs, will be executed only upon a written order for same, signed by the Customer and the Contractor. If there is any change in price for such alteration or deviation, initiated by either the Customer or Contractor, a change order will be issued, for which the change in price must be mutually agreed upon in writing, signed by both parties, and added to, or subtracted from, the contract price of this contract.

**7. Work Quality.** All work shall be completed in compliance with all building and electrical codes, all other applicable laws, and all applicable utility requirements, including appropriate utility interconnection obligations.

**8. Project Approval.** The Contractor shall furnish to the Customer the following documents for approval, which will require a dated signature by the Customer prior to procurement of materials.

- a. **Site Map 1** Top-down overview of the project site illustrating proposed module layout and equipment placement.
- b. **Site Map 2** Overview of the Balance of System (BOS) equipment illustrating layout and placement. (BOS is defined in this context to mean the solar meter, combiner enclosure, and required electrical switch gear.)

**9. Licensing.** To the extent required by the law, all work shall be performed by individuals duly licensed and authorized by law to perform said work.

**10. Subcontractors.** Contractor may at its discretion engage subcontractors to perform work herein, provided Contractor shall fully pay said subcontractor and in all instances remain responsible for the proper completion of this Contract.

**11. Insurance.** Contractor warrants that it has and will maintain insurance coverage adequate for the work being performed, including general liability insurance and Workers Compensation insurance as required by law.

**12. Permits.** Contractor shall obtain all permits necessary for the work to be performed.

**13. Site Maintenance.** Contractor agrees to remove all debris and leave premises in the same condition as when work commenced.

**14. Warranty.** Contractor warrants all work and workmanship for a period of (120) one-hundred and twenty months following completion.

**15. Data Monitoring.** Real-time monitoring requires access to the Customer's internet connection, which must be provided by the Customer.

a. Failure of data monitoring system due to a failure of communications equipment may result in a service call fee upon Customer request.

**16. Conflict of Interest.** Contractor represents that it has no conflicts of interest that may interfere with its performance under this Contract. Contractor further represents that it will immediately inform the Customer of any conflicts which arise or may arise during the term of this Contract by written notice to the Customer. The Customer and Contractor shall immediately address any such conflicts or potential conflicts as they may arise. If Contractor presently has any obligations or affiliations from which such a conflict might in the future arise, Contractor will provide written notice to this effect to the Customer on or before execution of this contract.

**17. Termination of Contract.** Termination by Customer: **The Customer shall retain their right to fully cancel this contract for any reason and at any time prior to midnight of the third business day from the date of the Customer's signature upon this agreement.** This Contract may be terminated by either party due to conditions or occurrences that increase the cost of the Work by more than 5%. In the instance of any Customer initiated cancellation, the Customer hereby agrees to pay the Contractor for all Work performed up to the point of cancellation as well as the amount equal to all non-refundable deposits and payments made by the Contractor prior to the date of Customer initiated termination, including incurred travel expenses and materials provided. Additionally, the Customer agrees to pay the Contractor an amount equal to Contractor's substantiated, reasonable direct costs necessarily incurred by the Contractor (a) in procuring materials and equipment, (b) in preparation for the parts of the Work not yet performed and (c) in demobilizing and stopping work hereunder, provided that the total sum payable to Contractor upon termination shall not exceed the unpaid balance of the Contract Price. Contractor shall be entitled to its overhead & profit in the proportion that its costs to be reimbursed bear to the Contract Sum. Contractor shall not be entitled to any other costs or damages whatsoever arising out of Contractor's performance of the Work.

**18. Billable Work.** Billable work begins on the fourth business day from the date of the Customer's signature upon this agreement. Any Customer initiated cancellation thereafter will result in the Customer being billed for all time and material costs accrued on and after that date. The billable amount will be deducted from any refund due.

**19. Indemnification and Limitation of Liability.** Each Party will indemnify and defend the other Party and its directors, officers, employees, agents, representatives, and affiliates and hold them harmless from and against any and all losses, liabilities, damages, claims, suits, actions, judgments, assessments, costs and expenses, including without limitation, interest, penalties, attorney fees, any and all expenses incurred in investigating, preparing, or defending against any

litigation, commenced or threatened, or any claim whatsoever, and any and all amounts paid in settlement of any claim or litigation asserted against, imposed on, or incurred or suffered by any of them, directly or indirectly, as a result of or arising from any negligent or wrongful acts or omissions of the other Party, from any breach of this Agreement by the other Party, or from any finding, judgment or other determination or settlement whereby the Customer is deemed or considered to be the employer of Contractor or of Contractor's personnel.

**20. Arbitration.** Any disputes which may arise under this Agreement and which cannot be resolved by the Parties through good faith negotiation will be submitted to arbitration. In the event of a dispute that cannot be resolved among the parties, either party may: for disputes valued at or below \$25,000, submit the dispute to binding mediation; or for disputes valued above \$25,000, submit the dispute to binding arbitration. During the pendency of the dispute resolution, all Work shall cease unless the parties agree otherwise.

**21. Legal Fees.** In the event legal action is instituted by either party hereto, the prevailing party shall be entitled to reasonable attorney's fees and costs incurred in prosecuting or defending such action.

**22. Force Majeure.** Notwithstanding anything contained in this Agreement to the contrary, the Contractor will not be deemed liable or deemed to be in default for any delay or failure in performance under this Agreement deemed to result, directly or indirectly, from any third-part related project delays, third-party policy or procedural changes, existing Customer owned code related infractions, existing Customer owned infrastructure deficiencies, acts of God, acts of civil or military authority, acts of public enemy, war, or any like cause beyond its reasonable control unless such delay or failure in performance is expressly addressed elsewhere in this Agreement.

**23. Governing Law and Venue.** This Agreement will be interpreted and enforced according to the laws of the state of New Mexico. Any proceeding to compel arbitration or to enforce an arbitration award is to be brought against any of the Parties in Dona Ana County Circuit Court of the State of New Mexico and each of the Parties consents to the jurisdiction of such court (and of the appropriate appellate court) in any such action or proceeding and waives any objection to such venue.

**24. Financials.**

a. The Contractor highly recommends working with a tax professional to determine how the federal tax credit applies to the Customer's specific tax situation. Some income and tax situations are ineligible for the currently available tax credits.

b. The Customer and their financial advisor are solely responsible for determining your actual ROI. Utility rates, utility REC rates (if offered by utility), and tax credits may change, which are outside of our control and liability.

c. The federal tax credit is currently at the 30% level and is scheduled to change to 26% in 2033.

**25. Entire Agreement** This agreement, with exhibits, is the entire agreement between the Parties and supersedes any and all previous agreements that existed or may have existed between the Parties. No term sheet, feasibility report, spreadsheet, pamphlet, or any other document is an agreement between the Parties or a part of this agreement. This agreement may be modified only in writing signed by both Parties.

Signatures: The individuals signing below hereby represent that they are authorized to enter into this Agreement on behalf of the Party for whom they sign.

**Customer(s)**

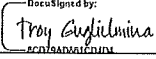
Signature DocuSigned by:  
Margarita Rodriguez Fraga  
DC17D30D62740181  
Printed Margarita Rodriguez Fraga  
Date 11/9/2022

Signature DocuSigned by:  
David R. Fraga  
DC17D30D62740181  
Printed David R. Fraga  
Date 11/9/2022



---

**Contractor: Organ Mountain Solar & Electric, Lic: 394801**

Signature  DocuSigned by:  
Troy Guglielmina  
5201A8A012001A

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Printed Troy Guglielmina

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Date 11/9/2022

---



Organ Mountain Solar & Electric  
400 S Compress Rd Suite D, Las Cruces, NM 88005  
(575) 288-1792  
394801

## ATTACHMENT A

### Organ Mountain Solar & Electric, LLC 10 Year WORKMANSHIP LIMITED WARRANTY

**1(a). LIMITED WARRANTY.** Subject to the limitations and exclusions set forth in Section 1(e) below, Organ Mountain Solar & Electric, hereinafter referred to as the “Company” warrants to Client for a period of ten (10) years following the Substantial Completion Date (the “Warranty Period”) that the System: (A) was installed (i) in compliance with all applicable codes and regulations in effect at the time of installation; (ii) in accordance with the reasonable industry practices at the time of installation and installed in accordance with the specifications of the Original Equipment Manufacturers (“OEM”) specifications of the instruction manuals of the components of the System (each such manufacturer an OEM); and (iii) in a good and workmanlike manner; and (B) will be free from material defects in assembly and installation techniques that would result in the System failing to perform in accordance with the specifications.

**1(b). TELEPHONE SUPPORT.** Client will be entitled to reasonable telephone assistance from the Company.

**1(c). CLAIMS.** Client shall make all warranty claims in writing to the Company prior to the expiration of the Warranty Period. If the Client has a valid warranty claim, subject to the limitations and exclusions set forth in Section 1(e) below, the Company, at its sole discretion, will either: (A) repair, correct or otherwise cure, or subcontract or otherwise arrange for a third party to repair, correct or otherwise cure, the defect in assembly or installation; or (B) pay to Client the reasonable cost of repairing, correcting or curing the defect in assembly or installation; or (C) Pay Client prorated portion of the system that is not performing.

**1(d). WARRANTY EXCLUSIONS.** Notwithstanding anything to the contrary set forth herein, the Company specifically excludes from the limited warranty set forth in Section 1(a) above any defects caused by or resulting from any of the following: (A) If the System is installed on the ground, defects caused by soil movement or erosion; (B) defects for which compensation is provided by State or Federal statutes or mandate or is covered by other insurance; (C) Defects caused or made worse by: (i) materials, equipment or work supplied by any third party, including any OEM; (ii) misuse, abuse, negligence, accident, vandalism, theft, terrorism or unauthorized tampering with the System by any party other than the Company; (iii) negligence, improper maintenance or improper operation of the System by anyone other than the Company; or (iv) normal wear and tear or deterioration. (D) Loss or damage to the System that results from acts of God or acts of force majeure, including without limitation, fire, explosion, smoke, water escape, changes which are not reasonably foreseeable in the level of underground water table, wind, hail, lightning, falling trees, animals, vehicles, flood, earthquake and climate change. (E) Damage to structure of any building or any personal property located on the Site caused by snow runoff over the panels. (F) Damage to the System resulting from animals. (G) Damage to structure of any building or any personal property located on the Site caused by roof leaks. Client hereby acknowledges and agrees that installation of the System may involve penetration of the roof and the Company specifically disclaims any liability related thereto unless the same results directly and completely from the Company’s defective installation of the System within 1 year of the penetration. (H) Failure of data monitoring system due to the failure of communications equipment connected to the client’s internet. It is the client’s responsibility to monitor their output and notify the Company in writing about output losses that might give rise to a warranty claim. Production estimates are estimates only and may vary due to weather, excessive snow or soiling, increased shading from foliage, etc. Initial (Year 1) production will be accurate to within 10% of the estimated production, except where weather, excessive shading or other natural phenomena outside of Company’s control impacts the production.

**1(e). THIS WARRANTY IS A LIMITED WARRANTY AND IS GIVEN IN LIEU OF AND INCLUDES ANY**

**AND ALL EXPRESS AND IMPLIED WARRANTIES THAT MAY APPLY TO THE INSTALLATION OF THE SYSTEM. THE COMPANY MAKES NO OTHER REPRESENTATIONS OR WARRANTIES OF ANY KIND, WHETHER EXPRESS OR IMPLIED, REGARDING ANY ASPECT OF INSTALLATION OR OTHERWISE COVERING THE SYSTEM OR ANY COMPONENT OR ELEMENT THEREOF, INCLUDING WITHOUT LIMITATION, THE MERCHANTABILITY, SUITABILITY, ORIGINALITY, FITNESS FOR A PARTICULAR USE OR PURPOSE OR RESULTS TO BE DERIVED FROM THE USE OF THE SAME, AND THE COMPANY SPECIFICALLY DISCLAIMS ALL SUCH IMPLIED WARRANTIES.**

**2 THIRD PARTY WARRANTIES.** (A) the Company hereby assigns to Client all warranties made by third parties, including any applicable OEM and/or subcontractor, with respect to all System Components, module mounting systems and subcontractor services, if any, (collectively, the “Third Party Warranties”). Client acknowledges that: (i) the Company will have no liability or responsibility for honoring any such Third Party Warranties; and (ii) Client will be solely responsible for knowing the terms and conditions of any such Third Party Warranties and enforcing the same. (B) Upon Client’s reasonable request, the Company will use commercially reasonable efforts to assist Client in connection with enforcing all Third-Party Warranties. (C) In some cases, OEM warranty may not include labor or travel and the client would be responsible for those costs.



Organ Mountain Solar & Electric  
 400 S Compress Rd Suite D, Las Cruces, NM 88005  
 (575) 288-1792  
 License # 394801

ATTACHMENT B: Distributed Generation Disclosure Statement

<b>I. Party Information</b>				
<p><b><u>Purchaser</u></b>                      Name: Margarita Rodriguez &amp; David Fraga                      Address: 1930 Calle Pacana                      Mesilla, NM 88046                      Telephone: (575) 640-3101                      Email: margarod@nmsu.edu</p>	<p><b><u>Seller, Installer and Maintenance Provider</u></b>                      Name: Organ Mountain Solar &amp; Electric                      Address: 400 S Compress Rd Suite D                      Las Cruces, NM 88005                      Telephone: (575) 288-1792                      Email: pmle@omsande.com                      License No: 394801                      Organ Mountain Solar &amp; Electric is a licensed and insured electrical contractor.</p>			
<b>II. Purchase Price, Financing and Payments</b>				
<p>A. Purchase Price of the Distributed Energy System: \$41,693.18</p>				
<p>Paid as follows:</p>				
#	Event	Description	Portion	Amount
1	Nusenda funding	Funding requested 15 - 30 days prior to installation	Balance	\$41,693.18
<b>Contract Cost</b>				\$41,693.18
<p>B. Financing Costs:                      Down Payment: \$0.00                      Total Amount Financed: \$41,693.18</p>				
<p><b>NOTE: YOU ARE PURCHASING THIS SOLAR SYSTEM; YOU OWN THE SYSTEM AND THE POWER GENERATED BY THE SYSTEM.</b></p>				

### Distributed Generation Disclosure Statement


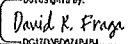

This Distributed Generation Disclosure Statement is supplied to the consumer pursuant to direction of the State of New Mexico Distributed Generation Disclosure Act (2017). It references certain provisions of the proposed or mutually executed "RESIDENTIAL DESIGN AND INSTALLATION CONTRACT", between consumer and Organ Mountain Solar & Electric, Inc.

<b>III. Fees</b>
<p>A. Late Fees. <u>Late payments will accrue 5% annual interest.</u></p> <p>B. System Removal Fees. <u>Should you desire to have your system removed from your roof, Organ Mountain Solar &amp; Electric will provide a quotation.</u></p> <p>C. Uniform Commercial Code Notice Removal and Refiling Fees. <u>NONE.</u></p> <p>D. Maintenance Fees. <u>Should your system require maintenance that is not covered under our workmanship warranties or equipment warranties, service work will be charged at time and materials rates effective at the time of service.</u> Internet Connection Fees: <u>None if Owner provided internet available.</u></p> <p>E. Automated Clearing House Fees. <u>NONE.</u></p> <p>F. (List one-time or recurring fees). <u>NONE.</u></p>
<p style="text-align: center;"><b>Consult with your tax professional to determine the value to you of incentives and cost to you of any tax obligations.</b></p>
<p><b>IV. Tax Credits, Rebates and incentives and Renewable Energy Certificates.</b> <b>The distributed energy system is eligible for the tax benefits and incentives listed below. Values are estimates. Verify with your tax professional.</b></p>
<p>A. Federal Investment Tax Credit is owned by the system purchaser (estimated): \$12,507.95</p> <p>B. Solar arrays installed on commercial properties are eligible for MACRS Depreciation. This tax incentive is owned by the system purchaser. The exact value of this incentive depends upon your tax rate.</p> <p>C. Renewable Energy Certificates (RECs). The system purchaser owns any proceeds from the sale of RECs, if any, from this solar system.</p>

Distributed Generation Disclosure Statement

<p><b>V. Tax Obligations - You are required to pay the the following tax obligations.</b></p>
<p>A. Business Personal Property Taxes. \$0.00 B. Gross Receipts Taxes. None. C. In the case of a commercial installation, the system purchaser is responsible to pay any change in assessed property taxes. Estimated cost is \$0.00</p>
<p><b>VI. Transferability of Lease or PPA and the Selling or Refinancing your Home.</b></p>
<p>A. In the event of the transfer of the real property to which the distributed energy generation system is affixed, the Customer has the following options: <u>Once the system is purchased from the solar company, the solar company has no constraints on the transfer of ownership of the solar system. Any constraints associated with third-party financing are according to terms of that agreement between the solar system owner and the third-party financing company.</u> B. Transfer of Warranty: <u>All warranty rights are transferred to the owner. Manufacturers may have conditions on ownership transfers.</u></p>
<p><b>VII. Design Assumptions.</b></p>
<p>A. System Size: 11.480 DC kW (STC) B. Estimated first-year production: 21,805 kWh C. Maximum degradation rate: Refer to system module manufacturer's warranty for specific details D. Degradation over 25 Years: Refer to system module manufacturer's warranty for specific details</p>
<p><b>VIII. Financial and Energy Savings Assumptions, Calculations and Comparative</b></p>
<p>A. Residential - Distributed Generation (1) B. Utility Rate Class: Residential - Distributed Generation (1) C. Utility Rate Escalation: 4.0 % per year D. Payment for excess generation: \$0.01 per kWh</p>
<p><b>IX. Rates Disclosure</b></p>
<p><b>Actual utility rates may increase or decrease and actual savings may vary. For further information regarding rates, you may contact the local utility or the Public Regulation Commission. Tax and other state and federal incentives are subject to change.</b></p>

Distributed Generation Disclosure Statement

<b>X. Interconnection Disclosure</b>	
Interconnection requirements, including timelines, are established by rules of the Public Regulation Commission and may be obtained from either the Public Regulation Commission or the local utility.	
<b>XI. Permits and Inspections</b>	
Within thirty days of completion of installation or modification, the seller or marketer shall provide the Customer with proof that: <ol style="list-style-type: none"> <li>1. all required permits for the installation or any modification of the system were obtained prior to installation; and</li> <li>2. the system received was approved by an authorized inspector.</li> </ol>	
<b>XII. Security Filings</b>	
Seller or Marketer <b>WILL</b> <input type="checkbox"/> <b>WILL NOT</b> <input checked="" type="checkbox"/> place a lien on your home. The contract referenced herein is not a lease or PPA.	
Seller or Marketer <b>WILL</b> <input type="checkbox"/> <b>WILL NOT</b> <input checked="" type="checkbox"/> file a fixture filing or UCC-I Financing Statement with the County Clerk in your home's Real Property Records.	
If the Seller or Marketer filed a fixture filing or UCC-I Financing Statement pursuant to the Uniform Commercial Code they must provide you a copy of the filed financing statement within thirty calendar days of the filing.	
You have the right to cancel your solar contract for a period of <u>3</u> days after the agreement is signed.	
<p>Date: 11/9/2022                      11/9/2022</p> <div style="display: flex; justify-content: space-around; margin-top: 10px;"> <div style="text-align: center;"> <small>DocuSigned by:</small>    <small>Margarita Rodriguez Fraga</small>  <small>EC012921452173</small> </div> <div style="text-align: center;"> <small>DocuSigned by:</small>    <small>David R. Fraga</small>  <small>EC012921452173</small> </div> </div> <p>(Customer)</p> <p>Printed Name: Margarita Rodriguez &amp; David Fraga                  Address: 1930 Calle Pacana, Mesilla, NM, 88046                  Telephone: (575) 640-3101                  Email: margarod@nmsu.edu</p>	<p>This Document was prepared by:</p> <p>Salesperson Name: Troy Guglielmina                  Company: Organ Mountain Solar &amp; Electric                  Address: 400 S Compress Rd Suite D, Las Cruces, NM, 88005                  Telephone: (575) 644-4051                  Email: troy@omsande.com</p> <div style="text-align: right; margin-top: 20px;"> <small>DocuSigned by:</small>    <small>Troy Guglielmina</small>  <small>EC012921452173</small> </div> <p style="text-align: right; margin-top: 10px;">11/9/2022</p>



**ATTACHMENT C: UTILITY INTERCONNECTION APPLICATION & DATA USAGE AUTHORIZATION**

I/We authorize Organ Mountain Solar & Electric to submit the online interconnection application for my/our customer-owned generating facility on my/our behalf.

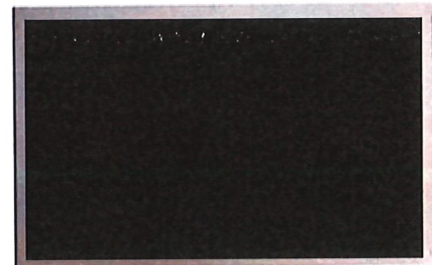
I/We authorize Organ Mountain Solar & Electric to work with my utility company to collect usage and rate plan information for my property in order to pursue a solar electric proposal.

**CUSTOMER SIGNATURE(S)**

Signed: DocuSigned by:  
Margarita Rodriguez Fraga  
BC4ED90A3A894E8  
Name: Margarita Rodriguez Fraga  
Date: 11/9/2022



Signed: DocuSigned by:  
David R. Fraga  
DC17D3BC074B4B4  
Name: David R. Fraga  
Date: 11/9/2022







Actual (2022)  
Primary Taxable  
Tax Area: 2DIN R

Type	Actual A
Residential Land	\$50,000
Residential Improvement	\$241,806

Owner Name FRAGA MARGARITA R  
Owner Address PO BOX 1697  
MESILLA PARK NM 88047

308  
FR GROVE SUBDIVISION (BK 22 PG 783-784 - 0933138) Lot 7 S:

311 - MESILLA

Transfers

Book Page	Sale Date	Grantor	Grantee
1	12/13/2016	LILLEY,FRANKA LILLEY,MARC A ETUX LILLEY,LISA M ETVIR LOGOS DEVELOPMENT KATERINA INC	FRAGA,MARGARITA R LILLEY,FRANKA ETUX LILLEY,JOLENE L ETMIR LILLEY,MARC A ETUX LILLEY,LISA M ETVIR LOGOS DEVELOPMENT
03/05/2007		PIRTLE PAUL E-TRSTE-ETAL BEVERLEY A-TRSTE-ETAL PIRTLE FAMILY TRUST ETAL	KATERINA INC PIRTLE PAUL E-TRSTE-ETAL PIRTLE, BEVERLEY-TRSTE-ETAL PIRTLE FAMILY TRUST ETAL
03/29/1996		BOX, THADIS W-TRSTE-ETAL BOX VIRGINIA-TRSTE-ETAL	BOX FAMILY TRUST ETAL BOX, THADIS W-TRSTE-ETAL BOX VIRGINIA-TRSTE-ETAL
01/16/1996		BOX, THADIS W ETUX	ETAL BOX THADIS ETUX
12/30/1993		NM STATE HWY & TRANS	BOX THADIS W ETUX
01/03/1991		BOLDT ALVAREZ TRUST	BOX THADIS W ETUX
01/03/1991		BOLDT ALVAREZ TRUST	BOX THADIS W ETUX
08/11/1989		ALVAREZ BENJAMIN B	BOLDT/ALVAREZ TRUST
12/29/1986		ALVAREZ CRUZ	ALVAREZ BENJAMIN B
05/16/1984		ALVAREZ FANNIE B	ALVAREZ CRUZ R

Tax Year	Taxes	Photo	Sketch	GIS	Images
2022	\$2,420.72				
2021	\$2,408.20				







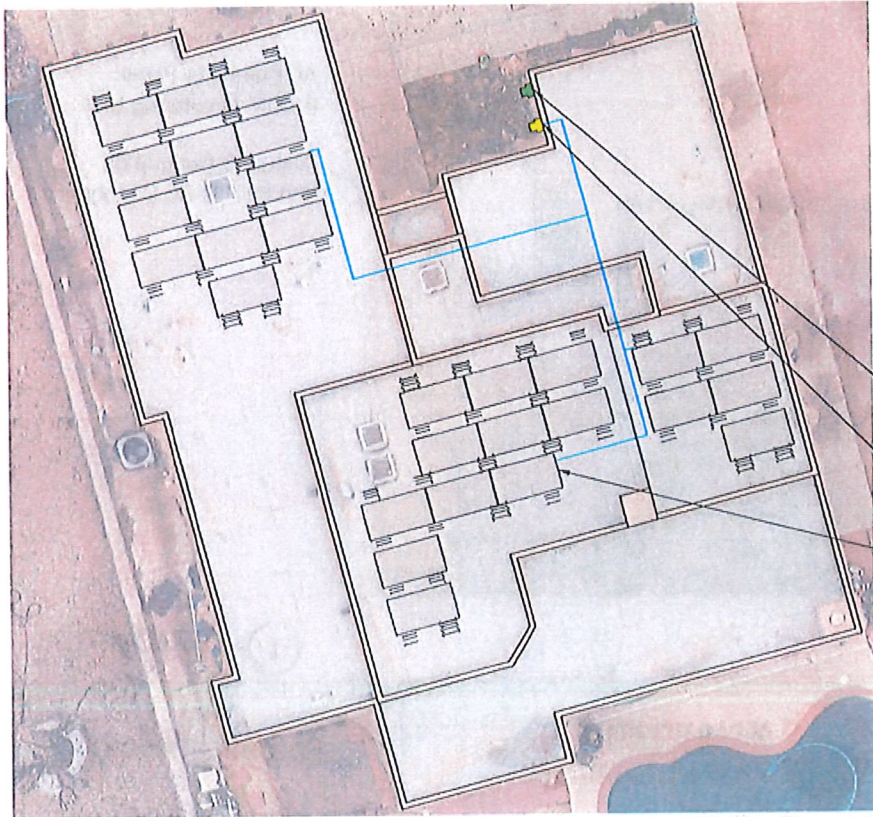
Margarita R Fraga System Component List  
Document Number PV-3.2

Tilt Up - Roof Array

System Component	Make/Model
Array -	28x Panasonic EverVolt EVPV410H
Inverters	28x Enphase IQ8A-72-2-US
DC Combiner Box -	N/A
Inverter Combiner Panel -	Enphase IQ Combiner
Customer Generation AC Disconnect -	SquareD DU222RB - 60A Rated
Production Meter Base -	Milbank U5934-XL Meter Socket 100A Rated 1ph 4-Terminal
Racking System -	Flatroof - Unirac RM

Margarita R Fraga  
1930 Calle Pacana  
Mesilla, NM 88047

Note:  
 -Special Access Instructions: None.



1 Site Plan  
 Scale: 1/4" = 1'-0"



2 Vicinity Map  
 Scale: 0.051011

Existing Utility Meter / Main Service Disconnect & Panel (Outside)

Customer Generation AC Disconnect / Production Meter / AC Combiner Panel / Data Monitoring Unit (Outside)

Roof Mounted Array  
 28 x Panasonic EVPV410H Modules with Enphase IQ8A Microinverters

**SHEET NOTES**

- Exact location of equipment and conduit is subject to minor variations during installation.
- Estimated annual energy production is based on existing site conditions and this array layout. Annual variations in weather and module degradation will affect production.

**Design Approval**

I approve of this design showing all equipment and locations, as it estimated production. Any change to this design may result in delays and additional costs.

Approved By: \_\_\_\_\_  
 Date: \_\_\_\_\_



**Organ Mountain Solar**  
 400 South Compress Road  
 Suite D  
 Las Cruces, NM 88005  
 (575) 288-1792  
 NM Electrical Contractor's  
 License # 394801

Owner  
**Margarita R Fraga**

Utility-Interactive Photovoltaic System  
 System Size = 11.48 kWdc  
 1930 Calle Pacana  
 Mesilla, NM 88047

DESIGNER:  
 Pollzois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	2/3/23

**DESIGN SUMMARY**

Number of Modules	28
Module Tilt Angle	10°
Module Azimuth	165°
Average Annual Shading	2.00%
Year 1 Production Estimate	2140 kWh

**SITE PLAN**  
**PV-1.0**

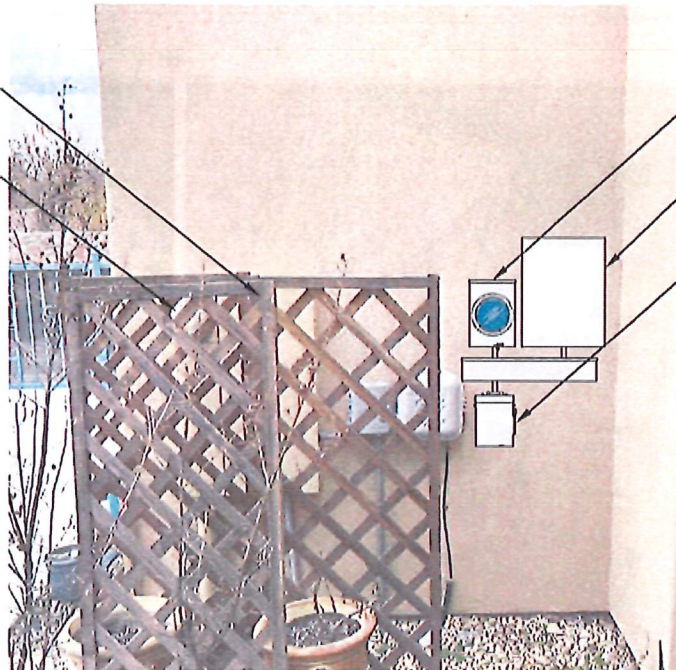
New Main Service Disconnect  
in Existing Panel

Existing Utility Meter

Production Meter

AC Combiner Panel  
& Data Monitoring Unit

Customer Generation  
Non Fusible AC Disconnect



1 Partial Elevation  
Scale: CUSTOM

REV	DESCRIPTION	DATE
0	Initial Release	2/3/23

DESIGNER: Polzeis Dallas



**Organ Mountain Solar**  
400 South Compress Road, Suite D  
Las Cruces, NM 88005  
(575) 288-1792

NM Electrical Contractor's License # 394801

Owner

Margarita R Fraga

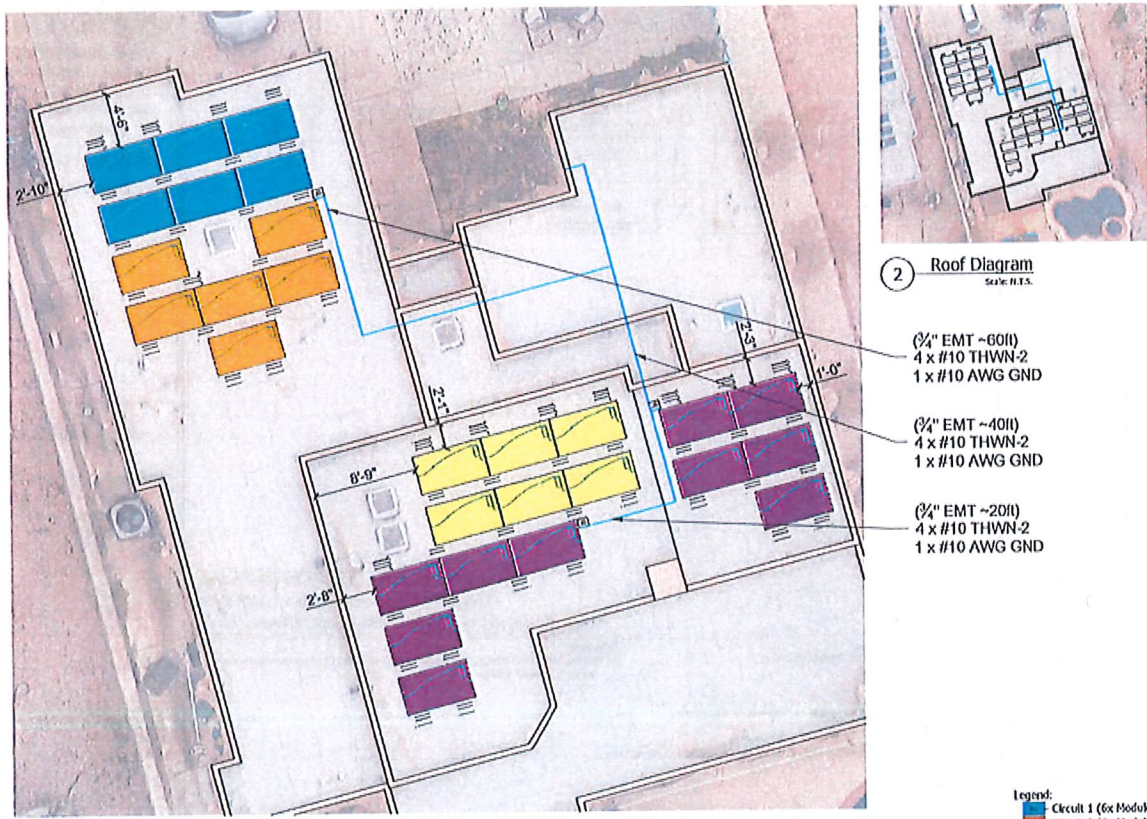
Utility-Interactive Photovoltaic System  
System Size = 11.48 kWdc  
1930 Calle Pacana  
Mesilla, NM 88047

**PV-1.2**

Array:  
28 x Panasonic EV-P41011 Modules



**Organ Mountain Solar**  
400 South Compress Road  
Suite D  
Las Cruces, NM 88005  
(575) 288-1792  
NM Electrical Contractor's  
License # 394801



2 Roof Diagram  
Scale: N.T.S.

(3/4" EMT ~60ft)  
4 x #10 THWN-2  
1 x #10 AWG GND

(3/4" EMT ~40ft)  
4 x #10 THWN-2  
1 x #10 AWG GND

(3/4" EMT ~20ft)  
4 x #10 THWN-2  
1 x #10 AWG GND

1 Circuit Diagram  
Scale: N.T.S.

Note:  
-All new conduit will follow securing and supporting requirements established in the NEC Articles 318, 350, and 358 for EMT, LFFHC and TMT respectively.

- Legend:
- Circuit 1 (6x Modules)
  - Circuit 2 (6x Modules)
  - Circuit 3 (6x Modules)
  - Circuit 4 (10x Modules)

Owner  
**Margarita R Fraga**

Utility-Interactive Photovoltaic System  
System Size = 11.40 kWdc  
1930 Calle Pacana  
Mesilla, NM 88047

DESIGNER:  
**Polizolis Dallis**

REV	DESCRIPTION	DATE
0	Initial Release	2/3/23

**CIRCUIT DIAGRAM**  
**PV-1.3**





**Organ Mountain Solar & Electric**  
 Organ Mountain Solar  
 400 South Compress Road  
 Suite D  
 Las Cruces, NM 88005  
 (575) 288-1792  
 NM Electrical Contractor's  
 License # 394801

Owner  
**Margarita R Fraga**  
 Utility-Interactive Photovoltaic System  
 System Size = 11.48 kWdc  
 1930 Calle Paganos  
 Mesilla, NM 88047

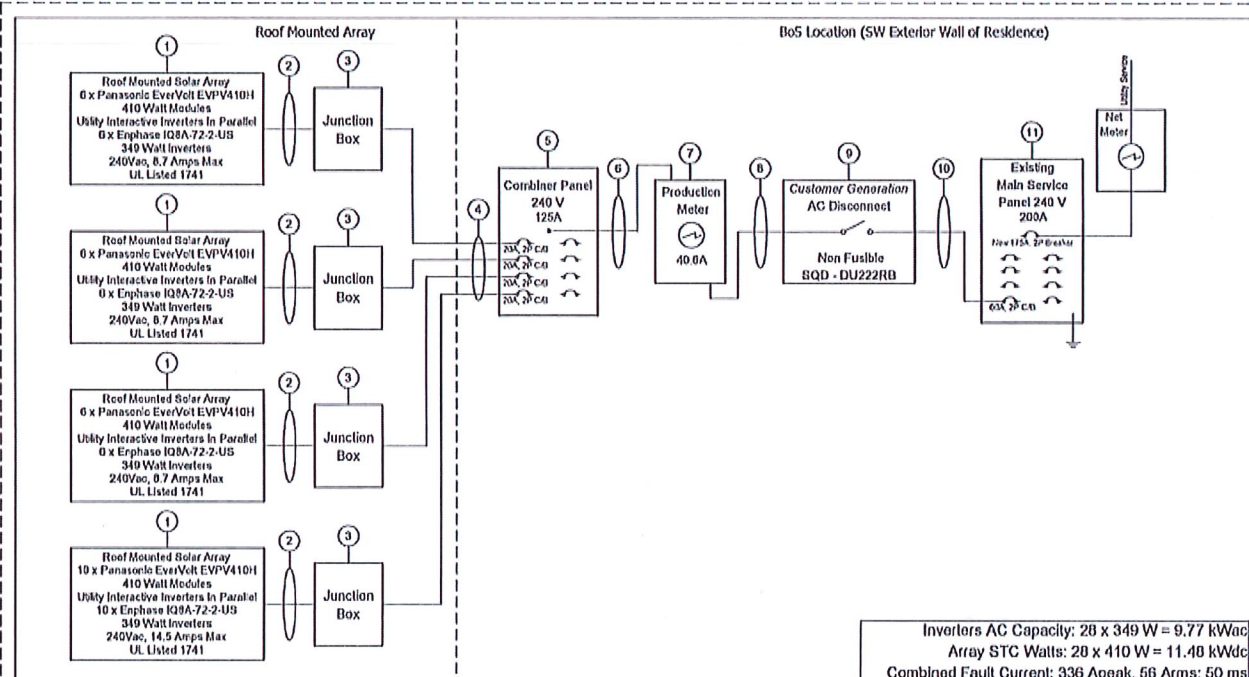
DESIGNER:  
**Polizois Dallis**

REV	DESCRIPTION	DATE
0	Initial Release	2/3/23

DESIGN SUMMARY

Number of Modules	28
Module Tilt Angle	10°
Module Azimuth	165°
Year 1 Production Estimate	21440 kWh

ONE-LINE DIAGRAM  
**PV-3.0**



Inverters AC Capacity: 28 x 349 W = 9.77 kWac  
 Array STC Watts: 28 x 410 W = 11.48 kWdc  
 Combined Fault Current: 336 Apeak, 56 Arms; 50 ms

- Electrical System Notes**
- All electrical components are UL listed where warranted.
  - PV system shall be installed in accordance with Article 690 of the 2017 National Electric Code.
  - Electrical tags used with multiple conductors shall be rated for both multiple conductors and circular mil.
  - Bond bushings shall be used on concrete and eccentric metal knockouts.
  - EMT conduit shall include expansion joints where required.
- Grounding Notes**
- A grounding electrode system in accordance with NEC 690.47 and 250.50 through 250.51 and 250.166 shall be provided.
  - All grounds shall be connected to the main service ground in the existing Main Service.

- Keyed Notes**
- Roof Mounted Array (T=100000 = 10 F, T=100 = 100 F) and 1x #6 AWG bare Cu per rack.
  - Photoconductor Conductors, TC-ER Cable, 2 x #12 AWG, 90°C wkt rated.  
-0.33% Vdrop for #12 AWG TC-ER Cable.
  - J-Box type 3R pass through enclosure for wire transition or equivalent.
  - EMT (mkt) contains 1x #10 AWG THHN-2 (current carrying conductors) and 1x #10 AWG THHN-2 (EGC).  
-69° AC run at 0.75% Vdrop for #10 AWG.
  - Emphase IQ Combiner, 125A 3P, 125A rated panel with pre-wired IQ Emphase (data monitoring).
  - EMT (mkt) contains 2x #6 AWG THHN-2 (current carrying conductors), 1x #6 AWG THHN-2 (neutral) and 1x #6 AWG THHN-2 (EGC).  
-6° AC run at 0.06% Vdrop for #6 AWG THHN-2.
  - Librax US934XL, NEMA 3R, 100 A meter enclosure.
  - Nipple (mkt) contains 2x #6 AWG THHN-2 (current carrying conductors), 1x #6 AWG THHN-2 (neutral) and 1x #6 AWG THHN-2 (EGC).  
-6° AC run at 0.06% Vdrop for #6 AWG THHN-2.
  - Emphase DU222RB, NEMA 3R, 80A rated non fusible disconnect.
  - EMT (mkt) contains 2x #6 AWG THHN-2 (current carrying conductors), 1x #6 AWG THHN-2 (neutral) and 1x #6 AWG THHN-2 (EGC).  
-6° AC run at 0.06% Vdrop for #6 AWG THHN-2.
- TOTAL AC Vdrop = 1.30% (max)

- Keyed Notes**
- Existing Eaton Load Center with a 200 Amp Bus Bar, a new 175 Amp Main Breaker and a new 60 Amp solar dedicated CB.



# U-BUILDER PROJECT REPORT

APPLICATION VERSION: 6.0.0  
PROJECT VERSION: 0.0.25

**PROJECT TITLE**

ROOFMOUNT RM10  
EVO

**PROJECT ID**

8EA4C342

**CREATED**

Feb. 3, 2023, 12:03 p.m.

<b>NAME</b>	Rodriguez Fraga, Margarita	Designed by pdallis@78
<b>ADDRESS</b>	1930 Calle Pacana, Mesilla	RM10 EVO
<b>CITY, STATE</b>	Las Cruces, NM	Panasonic
<b>MODULE</b>	Panasonic EVPV410H	28 - EVPV410H
		557.67 ft <sup>2</sup>
		11.48 KW

**NOTE:** Installation of the project is intended to happen within the year of project designed in UBuilder. If it's past one year please rerun the design or contact Unirac Engineering Services.

## BILL OF MATERIALS

LEGEND: ■ Base System Part ■ Accessory

PART NUMBER	PART TYPE	DESCRIPTION	QUANTITY	SUGGESTED QUANTITY	UNIT PRICE (USD)	TOTAL LIST PRICE (USD)
User Supplied	Ballast Block	BALLAST BLOCK	136	136	0.00	0.00
370010	Ballast Bay	RM10 EVO FIELD BAY	44	44	44.76	1969.44
370011	Ballast Bay	RM10 EVO NORTH ROW BAY	14	14	44.76	626.64
370023	Clamp	EVO MOD CLAMP BULK	168	168	2.93	492.24
310760	RM Roof Pad	RM ROOF PAD	116	116	2.35	272.60
370022	RM Hex Bolt	EVO MOD CLAMP SIDE BOLT BULK	168	168	1.31	220.08
008115M	Wire Management	MLPE Tiger Clip	28	28	2.73	76.44

<b>BASE SYSTEM PRICE</b>	<b>\$3308.40</b>	<b>ACCESSORIES PRICE</b>	<b>\$349.04</b>	<b>TOTAL PRICE</b>	<b>\$3657.44</b>
	\$0.288 PER WATT		\$0.030 PER WATT		\$0.319 PER WATT

This design is to be evaluated to the product appropriate Unirac Code Compliant Installation Manual which references International

Building Code 2009, 2012, 2015, 2018 and ASCE 7-05, ASCE 7-10, ASCE 7-16 and California Building Code 2010, 2016. The installation of products related to this design is subject to requirements in the above mentioned installation manual.

## DETAILED PARTS DESCRIPTION

QTY



**Ballast Block** UserSupplied BALLAST BLOCK

136

Standard 4x8x16 inch cap blocks. Nationwide availability. Please confirm the weight of your ballast block as this will affect the total blocks required for your installation.



**Ballast Bay** 370010 RM10 EVO FIELD BAY

44



**Ballast Bay** 370011 RM10 EVO NORTH ROW BAY

14



**Clamp** 370023 EVO MOD CLAMP BULK

168



**RM Roof Pad** 310760 RM ROOF PAD

116



**RM Hex Bolt** 370022 EVO MOD CLAMP SIDE BOLT BULK

168



**Wire Management** 008115M MLPE Tiger Clip  
MLPE Tiger Clip

28

**NOTE:** Installation of the project is intended to happen within the year of project designed in UBuilder. If it's past one year please rerun the design or contact Unirac Engineering Services.

## ENGINEERING REPORT

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### Plan review

---

AVERAGE PSF	7.21 psf
TOTAL NUMBER OF MODULES	28
TOTAL KW	11.48 KW
TOTAL MODULE AREA	-798 ft <sup>2</sup>
TOTAL WEIGHT ON ROOF	5754 lbs
RACKING WEIGHT	142 lbs
MODULE WEIGHT	1260 lbs
BALLAST WEIGHT	4352 lbs
MAX BAY LOAD (DEAD)	175 lbs
TOTAL BALLAST BLOCK COUNT	136

### Loads Used for Design

---

BUILDING CODE	ASCE 7-10
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	20.00 psf
SEISMIC (Ss)	0.287
ELEVATION	4055.00 ft
WIND EXPOSURE	C
MRI	25
RISK CATEGORY	II
VELOCITY PRESSURE, QZ	18.69 psf

### Inspection

---

PRODUCT	RM10 EVO
MODULE MANUFACTURER	Panasonic
MODEL	EVPV410H
MODULE WATTS	410 watts
MODULE LENGTH	71.70"
MODULE WIDTH	40.00"
MODULE THICKNESS	1.20"
MODULE WEIGHT	45.00 lbs
HALF BLOCK ALLOWED	No
ADD CENTRAL SUPPORT	No
BALLAST BLOCK (CMU) WEIGHT	32.0 lbs
MAX BLOCKS PER NORTH BAY	4
MAX BLOCKS PER NON NORTH BAY	3
BUILDING HEIGHT	15.00 ft
LONGEST BUILDING LENGTH	75.00 ft
ROOF TYPE	MINERAL_CAP
LONGEST BUILDING LENGTH	75.00 ft
SHORTEST BUILDING LENGTH	59.00 ft
PARAPET HEIGHT	36.00"
DEAD LOAD FACTOR	1.000
RISK CATEGORY	II

## Roof Area 1 - Array 1

---

AVERAGE PSF	6.12 psf	MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
TOTAL NUMBER OF MODULES:	12	ARRAY TO ARRAY:	3.0"
TOTAL KW:	4.92 KW	TO FIXED OBJECT ON ROOF:	6.0"
TOTAL AREA:	343 ft <sup>2</sup>	TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TOTAL WEIGHT ON ROOF:	2098 lbs	TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
RACKING WEIGHT:	54 lbs	MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
MODULE WEIGHT:	540 lbs	MAX NUMBER OF NORTH-SOUTH ROWS:	20
MODIFIED DEAD LOAD FACTOR	1.0	MAX NUMBER OF EAST-WEST COLUMNS:	33
BALLAST WEIGHT:	1504 lbs		
MID SUPPORT KIT WEIGHT:	0 lbs		

\*In jurisdictions that follow SEAOC PV-1 methodology.

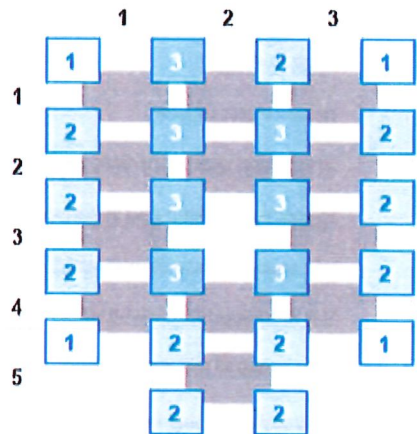
## BOM

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
PART	QTY
RM10 EVO FIELD BAY	18
RM10 EVO NORTH ROW BAY	4
EVO MOD CLAMP SIDE BOLT BULK	66
EVO MOD CLAMP BULK	66
BALLAST BLOCK	47

## Roof Area 1 - Array 1 - Modified Uplift Ballast Map

---



### LEGEND

-  Module
-  Standard corner bay with CMU block count
-  Supplemental bay with CMU block count

### NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

Install roof pads to every bay.

## Roof Area 1 - Array 2

---

AVERAGE PSF	<b>6.41 psf</b>	MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
		ARRAY TO ARRAY:	3.0"
TOTAL NUMBER OF MODULES:	11	TO FIXED OBJECT ON ROOF:	6.0"
TOTAL KW:	4.51 KW	TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TOTAL AREA:	310 ft <sup>2</sup>	TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
TOTAL WEIGHT ON ROOF:	1986 lbs	MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
RACKING WEIGHT:	51 lbs	MAX NUMBER OF NORTH-SOUTH ROWS:	20
MODULE WEIGHT:	495 lbs	MAX NUMBER OF EAST-WEST COLUMNS:	32
MODIFIED DEAD LOAD FACTOR	1.0		
BALLAST WEIGHT:	1440 lbs		
MID SUPPORT KIT WEIGHT:	0 lbs		

\*In jurisdictions that follow SEAOC PV-1 methodology.

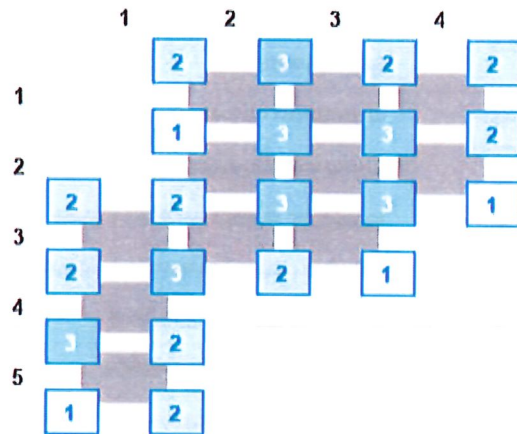
## BOM

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PART	QTY
RM10 EVO FIELD BAY	16
RM10 EVO NORTH ROW BAY	5
EVO MOD CLAMP SIDE BOLT BULK	61
EVO MOD CLAMP BULK	61
BALLAST BLOCK	45





## Roof Area 1 - Array 2 - Modified Uplift Ballast Map



### LEGEND

 Module

 Standard corner bay with CMU block count

 Supplemental bay with CMU block count

### NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

Install roof pads to every bay.

## Roof Area 1 - Array 3

---

AVERAGE PSF	11.51 psf	MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
TOTAL NUMBER OF MODULES:	5	ARRAY TO ARRAY:	3.0"
TOTAL KW:	2.05 KW	TO FIXED OBJECT ON ROOF:	6.0"
TOTAL AREA:	145 ft <sup>2</sup>	TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TOTAL WEIGHT ON ROOF:	1670 lbs	TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
RACKING WEIGHT:	37 lbs	MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
MODULE WEIGHT:	225 lbs	MAX NUMBER OF NORTH-SOUTH ROWS:	16
MODIFIED DEAD LOAD FACTOR	0.6	MAX NUMBER OF EAST-WEST COLUMNS:	27
BALLAST WEIGHT:	1408 lbs	*In jurisdictions that follow SEAOC PV-1 methodology.	
MID SUPPORT KIT WEIGHT:	0 lbs		

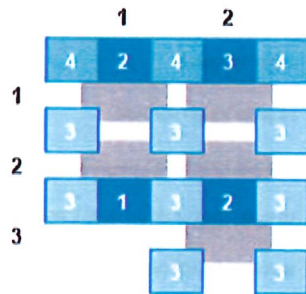
## BOM

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PART	QTY
RM10 EVO FIELD BAY	10
RM10 EVO NORTH ROW BAY	5
EVO MOD CLAMP SIDE BOLT BULK	41
EVO MOD CLAMP BULK	41
BALLAST BLOCK	44

## Roof Area 1 - Array 3 - Modified Uplift Ballast Map

---



### LEGEND

-  Module
-  Standard corner bay w/lt CMU block count
-  Supplemental bay with CMU block count

### NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

Install roof pads to every bay.

## ROOF PAD DETAILS

---

Minimum ratios by main roof types for application where friction coefficients must be met:

EPDM	1:1	Pads on each primary bay
TPO	1:4	Pads on 1 of every 4 primary bays
PVC	1:4	Pads on 1 of every 4 primary bays
Mineral cap	N/A	No pads required

### NOTE

1. It is always an option to apply roof pads to all bays in an array even when not required
2. Roof pads are always applied 2 per bay (one on each ski to avoid unbalancing chassis).
3. When installing minimum roof pads for friction (at 1:4 ratio), apply 2 roof pads to every 4<sup>th</sup> primary bay staggering the offset between the rows:
  1. Alternatively, install 2 roof pads to every other bay in a row of bays, then skip a row, and do it again
  2. Skip any bays that have mechanical roof attachments(i.e., Anchor products, FlashLoc RM or OMG attachments).

## WIND DESIGN DETAIL

---

Terrain Category	C	
Basic Wind Speed	115.00 mph	
Elevation	4055.00 ft	
Exposure	C	Section 26.7 (ASCE 7-10)
Risk Category	II	Table 1.5-1 (ASCE 7-10)
Mean Roof Height	15.00 ft	
Numerical coefficient	0.002265	Section 26.10.1 (ASCE 7-10)
Topographic Factor, $K_{zt}$	1.00	Section 26.8.2 (ASCE 7-10)
Wind Directionality Factor, $K_d$	0.85	Section 26.6-1 (ASCE 7-10)
Ground Elevation Factor, $K_e$	1.00	
Velocity Pressure Exposure Coefficient, $K_z$	0.85	Section 30.3-1 (ASCE 7-10)
Design Life Factor <sup>2</sup> , $f_c^2$	0.8649	Equation 26.5-2 (ASCE 7-10)
Velocity Pressure at Height, $q_z$	21.61 psf	Section 30.3.1 (ASCE 7-10)
Design Life Velocity Pressure, $q_z \times f_c^2$	18.69 psf	Equation C26.5-4 (ASCE 7-10)

## SEISMIC DESIGN PER SEAOC PV1-2012 (UNATTACHED SYSTEM)

Site Classification	D	
$S_s$	0.287 g	Section 11.4.1 (ASCE 7-10)
Risk Category	II	
Site Coefficient, $F_a$	1.5704	Table 11.4-1 (ASCE 7-10)
$S_{MS}$	0.451 g	Section 11.4.3 (ASCE 7-10)
$S_{DS}$	0.300 g	Section 11.4.4 (ASCE 7-10)
Module Weight	45.00 lbs	
Racking and Ballast Weight to One Module	130.45 lbs	
Capacity of Connections to One Module (N/S)	227.00 lbs	
Capacity of Connections to One Module (E/W)	377.00 lbs	
W1 (Module, Racking, and Ballast Weight to One Module)	175.45 lbs	
Maximum of $0.133 S_{DS} W1$ or 0.1 W1	17.54 lbs	
Maximum Number of Modules per Row (N-S)	16	
Maximum Number of Modules per Column (E-W)	27	
Building Importance Factor, $I_e$	1.00	Table 1.5-2 (ASCE 7-10)
Importance Factor of Array, $I_p$	1.00	Table 13.6-1 (ASCE 7-10)
Design for Seismic Separation $\delta_{mpv} = [(S_{DS} - 0.4)^2 \times 60 \text{ in}]$ or 6 in	6.00 in	SEAOC PV1-6
Setback Between Arrays ( $0.5 \times I_p \times \delta_{mpv}$ )	3.00 in	SEAOC PV1-6
Setback Between Array and Objects ( $I_p \times \delta_{mpv}$ )	6.00 in	SEAOC PV1-6
Setback Between Array and Edge of Parapet ( $I_e \times \delta_{mpv}$ )	6.00 in	SEAOC PV1-6
Setback Between Array and Roof Edge without Parapet ( $1.5 \times I_e \times \delta_{mpv}$ )	9.00 in	SEAOC PV1-6

## SNOW DESIGN

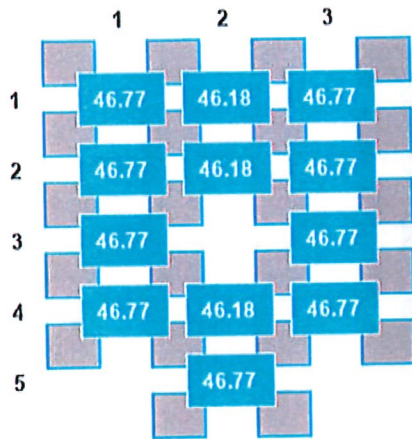
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Risk Category	II	Table 1.5-1 (ASCE 7-10)
Importance Factor, $I_s$	1.00	Table 1.5-2 (ASCE 7-10)
Exposure Category	C	Section 26.7 (ASCE 7-10)
Exposure Factor, $C_e$	1.00	Table 7.2 (ASCE 7-10)
Thermal Factor, $C_t$	1.00	Section C7.8 (ASCE 7-10)
Ground Snow, $p_g$	20.00 psf	
Tilt Angle	10°	
Flat Roof Snow Load, $p_f = 0.7 \times C_e \times C_t \times I_s \times p_g$	14.00 psf	Equation 7.3-1 (ASCE 7-10)
Minimum Snow Load, $p_m$		
For $p_g \leq 20$ psf	20.00 psf	Section 7.3.4 (ASCE 7-10)
For $p_g > 20$ psf	20.00 psf	Section 7.3.4 (ASCE 7-10)
Slope Factor, $C_s$	1.00	Figure 7-2a (ASCE 7-10)*
Sloped Roof Snow Load, $p_s = C_s p_f$	14.00 psf	Equation 7.4-1 (ASCE 7-10)*

\*Section C7.8 states "collectors should be designed to sustain a load calculated by using the "unobstructed slippery surfaces" curve in Fig. 7-2a." This indicates that  $C_t \leq 1.0$ . Per Figure 7-2a for a roof slope of 5° with the unobstructed slippery surfaces graph,  $C_s = 1.0$ .

**DEAD LOAD PER MODULE(D) - Roof Area 1 - Array 1**

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Units: lbs

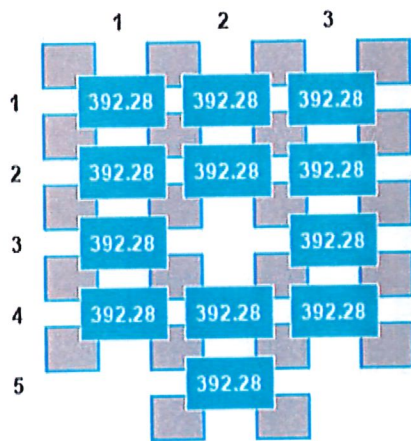
**X** Dead Load = Module Wt. + Clamp & Bolt Wt.

**LEGEND**

 Module

**SNOW LOAD PER MODULE(S) - Roof Area 1 - Array 1**

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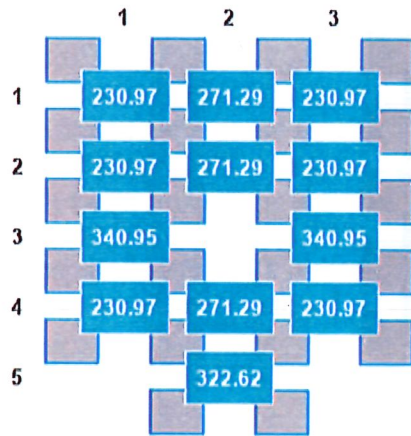
Units: lbs

**LEGEND**

 Module



**WIND LOAD (UPWARD) PER MODULE - Roof Area 1 - Array 1**



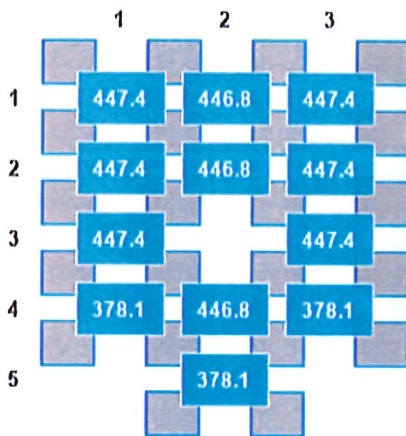
Units: lbs

**X** Total uplift =  $Oh + gcp + \text{uplift area}$

**LEGEND**


 Module

**FINAL DOWNLOAD PER MODULE MAP - Roof Area 1 - Array 1**



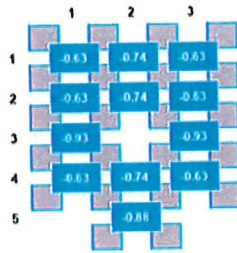
Units: lbs

**LEGEND**

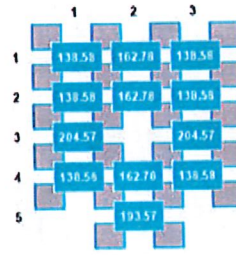
 Module

## UPLIFT CALCULATIONS

Gcp factor per module (uplift) map - Roof Area 1 - Array 1



Factored total wind uplift map - Roof Area 1 - Array 1



Units: lbs

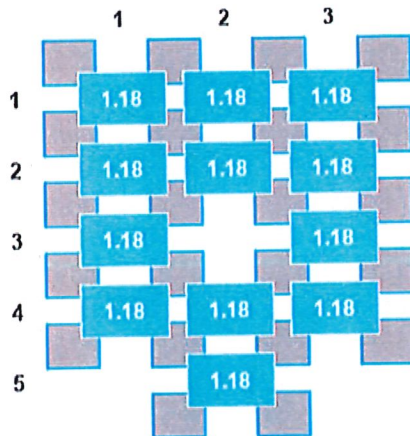
x Total Uplift with Factor = 0.6 \* G<sub>h</sub> \* g<sub>cp</sub> \* uplift area

### LEGEND

Module

## DRAG CALCULATIONS

Drag Gcp factor per module - Roof Area 1 - Array 1



### LEGEND

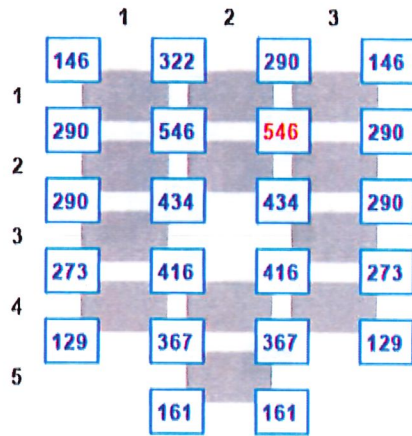
Module

## TOTAL DOWNLOAD CALCULATIONS

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### Total downpoint load per bay - Roof Area 1 - Array 1

---



#### LEGEND



Module



Bay - Downpoint load

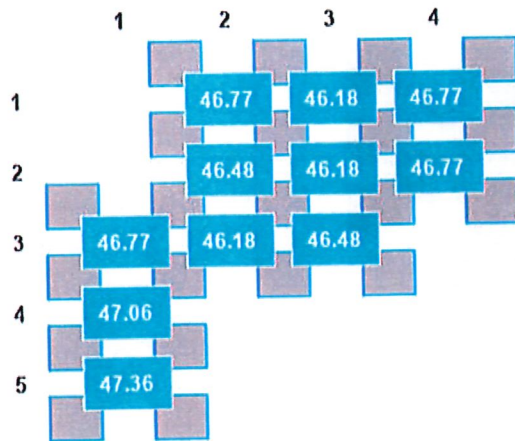


Bay - Maximum downpoint load

#### NOTE

For exact values please check DXF file.

**DEAD LOAD PER MODULE(D) - Roof Area 1 - Array 2**



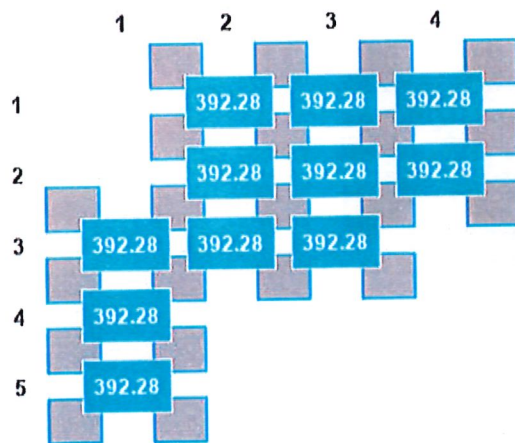
Units: lbs

**X** Dead Load = Module Wt. + Clamp & Bolt Wt.

**LEGEND**

Module

**SNOW LOAD PER MODULE(S) - Roof Area 1 - Array 2**

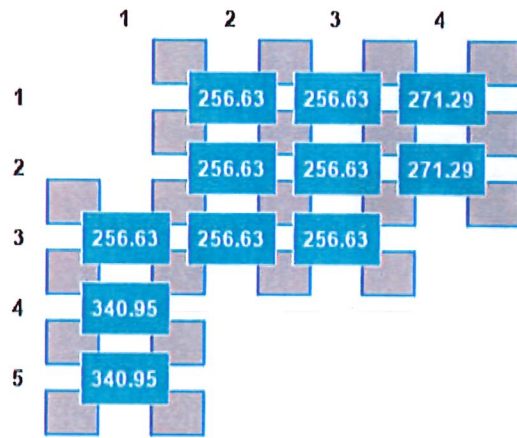


Units: lbs

**LEGEND**

Module

### WIND LOAD (UPWARD) PER MODULE - Roof Area 1 - Array 2



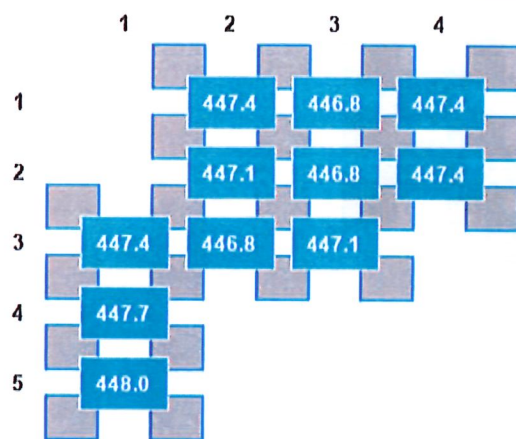
Units: lbs

**X** Total uplift =  $0h \cdot gc_p \cdot \text{uplift area}$

#### LEGEND

 Module

### FINAL DOWNLOAD PER MODULE MAP - Roof Area 1 - Array 2



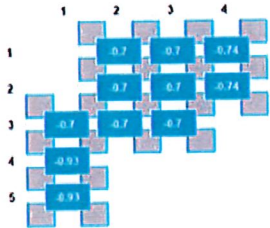
Units: lbs

#### LEGEND

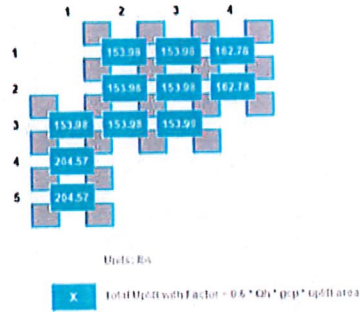
 Module

## UPLIFT CALCULATIONS

Gcp factor per module (uplift) map - Roof Area 1 - Array 2



Factored total wind uplift map - Roof Area 1 - Array 2

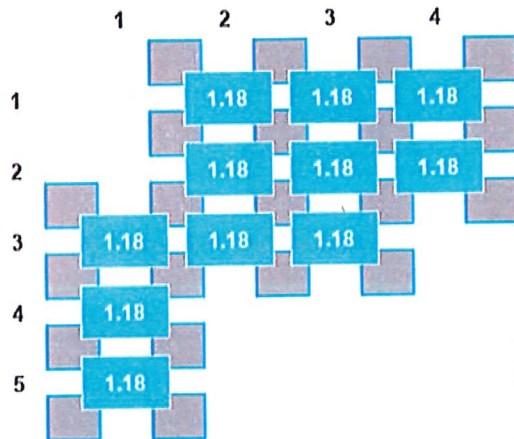


### LEGEND

Module

## DRAG CALCULATIONS

Drag Gcp factor per module - Roof Area 1 - Array 2

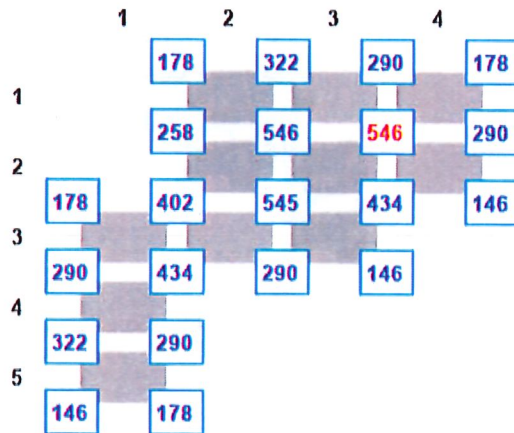


### LEGEND




Module

## TOTAL DOWNLOAD CALCULATIONS

### Total downpoint load per bay - Roof Area 1 - Array 2



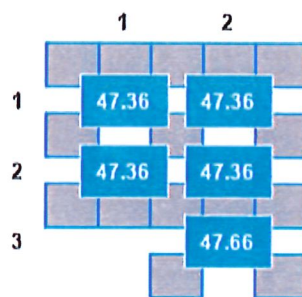
#### LEGEND

-  Module
-  Bay - Downpoint load
-  Bay - Maximum downpoint load

#### NOTE

For exact values please check DXF file.

### DEAD LOAD PER MODULE(D) - Roof Area 1 - Array 3



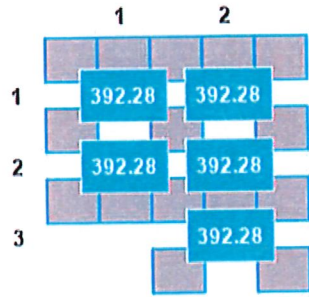
Units: lbs

-  Dead Load - Module Wt. + Clamp & Bolt Wt.

LEGEND

Module

SNOW LOAD PER MODULE(S) - Roof Area 1 - Array 3

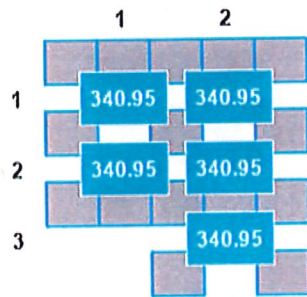


Units: lbs

LEGEND

Module

WIND LOAD (UPWARD) PER MODULE - Roof Area 1 - Array 3



Units: lbs

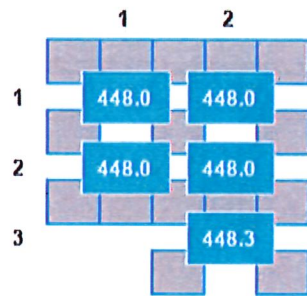
X Total uplift =  $Q_h \cdot g_{cp} \cdot \text{uplift area}$

LEGEND

Module



### FINAL DOWNLOAD PER MODULE MAP - Roof Area 1 - Array 3



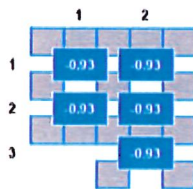
Units: lbs

#### LEGEND

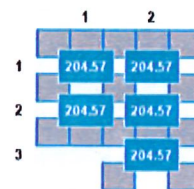
Module

### UPLIFT CALCULATIONS

#### Gcp factor per module (uplift) map - Roof Area 1 - Array 3



#### Factored total wind uplift map - Roof Area 1 - Array 3



Unit: lbs

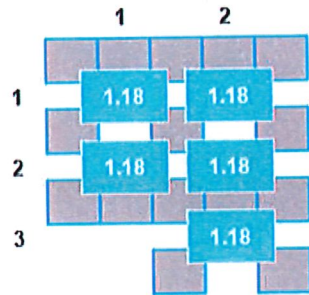
Total Uplift with factor =  $0.6 * 0.6 * gcp * \text{uplift area}$

#### LEGEND

Module

## DRAG CALCULATIONS

### Drag Gcp factor per module - Roof Area 1 - Array 3

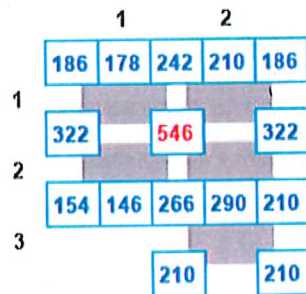


#### LEGEND

 Module

## TOTAL DOWNLOAD CALCULATIONS


### Total downpoint load per bay - Roof Area 1 - Array 3



#### LEGEND

 Module

 Bay - Downpoint load

 Bay - Maximum downpoint load

#### NOTE

For exact values please check DXF file.

#### NOTE

- Unirac testing was performed as per AISI S100-2007 standards
- Terrapin testing report roof mount ballast support coefficient of friction testing RM 2.0 family (July 13, 2016) (Static, Kinetic, Wet and Dry testing performed)

## RM10 EVO U-BUILDER PRODUCT ASSUMPTIONS

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### RM10 EVO – Ballasted Flat Roof Systems

*Limitations of Responsibility: It is the user's responsibility to ensure that inputs are correct for your specific project.*

*Unirac is not the solar, electrical, or building engineer of record and is not responsible for the solar, electrical, or building design for this project.*

#### Building Assumptions

1. Minimum allowed setback distance is 1 ft
2. Building Height  $\leq$  50 ft
3. Building Height > 50 ft: only where  $(\text{longest length of building} \times \text{building height})^{0.5} \leq 100$  ft
4. Roof Slope  $\geq 0^\circ$  (0:12) and  $\leq 3^\circ$  (5/8:12) for Seismic Design Category C, D, E and F. For low seismic regions Seismic Design Category A and B (provided Array Importance factor = 1.0), Roof Slope  $\geq 0^\circ$  (0:12) and  $\leq 7^\circ$  (1 1/2:12).
5. Roofing Material Types: EDPM, PVC, TPO, or Mineral Cap
6. Surrounding Building Grade: Level
7. Building Height > 60 ft requires attachments

#### Ballast Blocks

The installer is responsible for procuring the ballast blocks (Concrete Masonry Units – CMU) and verifying the required minimum weight needed for this design. CMU should comply with ASTM standard specification for concrete roof pavers designation (C1491 or C90 with an integral water repellent suitable for the climate it is placed. It is recommended that the blocks are inspected periodically for any signs of degradation. If degradation of the block is observed, the block should immediately be replaced.

The CMU ballast block should have nominal dimensions of 4"x8"x16". The actual block dimensions are 3/8" less than the nominal dimensions. Ballast blocks should have a weight as specified for the project in the "Inspection" section of this report.

#### Design Parameters

1. Risk Category I to III
2. Wind Design
  - a. Basic Wind Speed: 110-150 mph (ASCE 7-10)/90-180 mph (ASCE 7-16)
  - b. Exposure: B, C or D (ASCE 7-10/ASCE 7-16)
  - c. 25 year or 50 year Design Life for ASCE 7-10 /50 year Design Life for ASCE 7-16
  - d. Elevation: Insertion of the project at - grade elevation can result in a reduction of wind pressure. If your project is in a special case study region or in an area where wind studies have been performed, please verify with your jurisdiction to ensure that elevation effects have not already been factored into the wind speed. If elevation effects have been included in your wind speed, please select 0 ft as the project site elevation.
  - e. Wind Tunnel Testing: Wind tunnel testing coefficients have been utilized for design of the system.
3. Snow Design
  - a. Ground Snow Load: 0-100 psf (ASCE 7-10/ASCE 7-16)
  - b. Roof Snow Load: Calculation per Section 7.3 (ASCE 7-10/ASCE 7-16)
  - c. Unbalanced/Drifting/Sliding: Results are based on the uniform snow loading and do not consider unbalanced, drifting, and sliding conditions
4. Seismic Design
  - a. Report *SEAOC PV1-2012/ASCE 7-16 SECTION 13.6,12 – Structural Seismic Requirements and Commentary for Rooftop Solar Photovoltaic Arrays*

#### Properties

1. Bay Weight: ~2.45 lbs
2. Module Gaps (E/W) = 0.25 in
3. Module Gaps (N/S) = 13.5 in

## Testing

1. Coefficient of Friction
2. Wind Tunnel
3. UL 2703
4. Component Testing (Bay and Clamp)

## Setbacks

For the wind tunnel recommendations in U-Builder to apply, the following setbacks should be observed/followed for U-Builder wind design:

1. Modules should be placed a minimum of 3 feet from the edge of the building in any direction.
2. If the array is located near an obstruction that is 3.5 feet wide and 3.5 feet high or larger, the nearest module of the array must be located a distance from the obstruction that is greater than or equal to the height of the obstruction.  
Exception: When using ASCE 7-16 Building Code and using the obstruction feature in the module editor to accurately model the size and location of obstruction.
3. Installations within the setbacks listed above require site specific engineering<sup>2</sup>
4. The setbacks above are for wind and seismic. Fire access isles, mechanical equipment etc., may require larger setbacks than listed above.

## Site Specific Engineering

Conditions listed below are beyond the current capabilities of U-Builder. Site specific engineering is required.

1. Wind designs for a project design life exceeding 25 years 1/ASCE 7-16
2. Building assumptions and design parameters outside of U-Builder assumptions<sup>2</sup>
3. Attachments<sup>2</sup>
4. Risk Category III or IV projects (U-Builder can be adjusted for the correct wind, but not the seismic or snow design)<sup>2</sup>
5. Wind tunnel testing reduction factors are not permitted by the Authority Having Jurisdiction (AHJ)<sup>3</sup>
6. Seismic designs that fall outside SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 recommendations (>3% roof slope, or AHJ's that require shake table testing or non-linear site-specific response history analysis)<sup>3</sup>
7. Signed and sealed site-specific calculations, layouts, and drawings<sup>3</sup>
8. Building that is not enclosed and categorized as open structures, carport or others

## Notes:

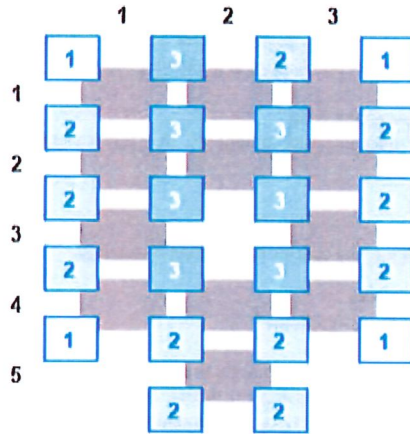
<sup>1</sup>Please contact info@unirac.com.

<sup>2</sup>Please contact EngineeringServices@unirac.com for more information.

NOTE: Installation of the project is intended to happen within the year of project designed in UBuilder. If it's past one year please rerun the design or contact Unirac Engineering Services.

## INSTALLATION AND DESIGN PLAN

### Roof Area 1 / Roof Area 1 - Array 1



#### NOTE

Install roof pads to every bay.

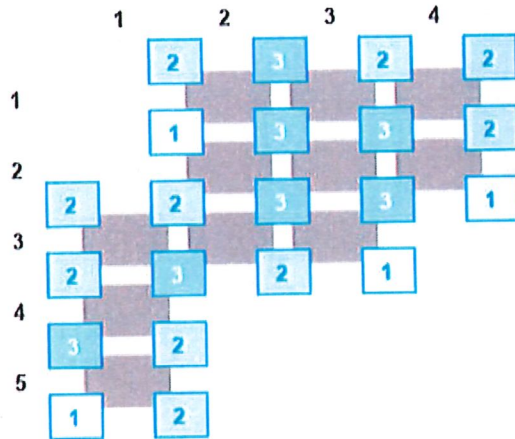
#### Layout Dimensions

NS DIMENSION ~ 24.00 ft

EW DIMENSION ~ 17.93 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	3	4	7	224
2	3	4	10	320
3	2	4	10	320
4	3	4	10	320
5	1	4	6	192

### Roof Area 1 / Roof Area 1 - Array 2



#### NOTE

Install roof pads to every bay.

#### Layout Dimensions

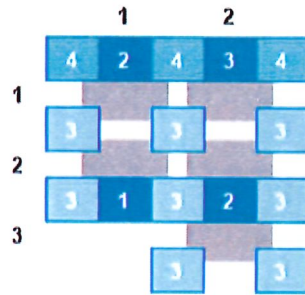
NS DIMENSION - 24.00 ft

EW DIMENSION - 23.90 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	3	4	9	288
2	3	4	9	288
3	3	5	11	352
4	1	4	8	256
5	1	2	5	160
6	0	2	3	96

## Roof Area 1 / Roof Area 1 - Array 3

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### NOTE

Install roof pads to every bay.

### Layout Dimensions

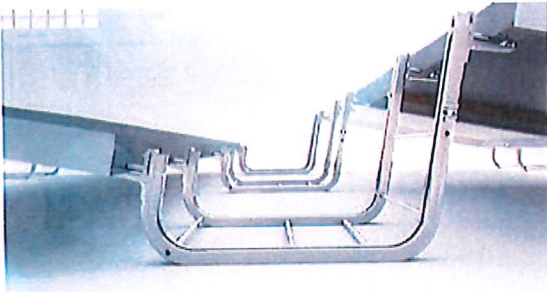
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NS DIMENSION ~ 15.18 ft

EW DIMENSION ~ 11.95 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	2	5	17	544
2	2	3	9	288
3	1	5	12	384
4	0	2	6	192

# RM ROOF MOUNT



## THE POWER OF SIMPLICITY

ROOF MOUNT introduces the Power of Simplicity to the ballasted flat roof solar industry. The system consists of only two major components, minimizing preparation work and installation time. Seamlessly design around roof obstacles, support most framed modules and bond the system with just the turn of a wrench.

[www.unirac.com](http://www.unirac.com)



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## SPECIFICATIONS

### PROJECT CHARACTERISTICS

Allowable Roof Slope:	3 Degrees
Unevenness:	+/- 3.5 Degrees
Max Building Height:	100 ft <sup>1</sup>
Wind Speed:	Up to 120 mph <sup>2</sup>
Wind Exposure:	Categories B and C. (D Upon Request)
PSF on Roof:	As low as 3.5 PSF <sup>3</sup>
Surfaces:	EPDM, PVC & TPO Membranes, Bitumen & Concrete
Min. Local Contact Area:	38 in <sup>2</sup> per Module (57 in <sup>2</sup> with Roof Pad)
Module Orientation:	Landscape
Nominal Module Tilt Angle:	10 Degrees (Nominal) <sup>4</sup>
Row Spacing:	19 in (Nominal) <sup>4</sup>

### COMPONENTS MATERIALS

Ballast Bay	Aluminum 6063-T5
Module Clamp	Aluminum 6005A-T61
Locking 3/8" Hex Bolt	Stainless Steel 300 Series
Roof Pad	TPE 70 Shore A

### BALLAST BAY GEOMETRY

Width:	21 in
Length:	17 in
Height:	13 in
Weight:	3.5 lbs
Roof Pad:	3 in x 10 in

### MODULE COMPATIBILITY

Standard 60 and 72 Cell Framed Modules	
Module Clamp w/ Integrated Bonding to UL2703	
Cable Management	Compatible w/ Strut Accessories

### WARRANTY & CERTIFICATIONS

20 Year Manufacturing  
UL 2703 Certification

<sup>1</sup> Self configurable up to 60'. Greater than 60' upon request.

<sup>2</sup> ASCE 7-05 Wind Maps

<sup>3</sup> Criteria used: ASCE 7-10 wind (110 mph), Snow=0, Building Height= 30 ft., Exposure Category B

<sup>4</sup> Varies by module







January 8, 2020

Unirac  
1411 Broadway Boulevard NE  
Albuquerque, New Mexico 87102-1545  
TEL: (505) 242- 6411  
FAX: (505) 242-6512

Attn.: Engineering Department,

Re: Engineering Certification for the Unirac RM Roof Mounted Ballasted Photovoltaic Panel Support System.

The Unirac RM Roof Mounted Ballasted Photovoltaic Panel Support System is a proprietary framed ballasted assembly which supports Photovoltaic panels. The ballast frames hold the PV panels and are ballasted with concrete blocks as required for the wind loads. The wind uplift loads are resisted directly by the ballast. Lateral forces, both wind and seismic, are resisted by friction between the ballast and the roof surface. For wind forces, the system is designed for no lateral or vertical displacement of the array. For seismic forces, the system is designed per SEAOC PV1-2012 requirements for lateral movement/displacement.

The ballasting requirements are determined using the Unirac online "U-Builder" Design Assistant tool. The Design Assistant covers a wide range of system configurations and loading and allows the user to customize the input to match the specific project conditions.

We have reviewed the Unirac RM Roof Mounted Ballasted Photovoltaic Panel Support System, the RDWI wind tunnel test results and the Unirac ballasted system design methodology and have determined that the Unirac RM ballasted system design methodology is a rational approach and is in compliance with the structural requirements of the following Reference Documents:

Codes: ASCE/SEI 7-05 and ASCE/SEI 7-10 Minimum Design Loads for Buildings and other Structures  
International Building Code, 2009, 2012 & 2015 Editions  
Other: Aluminum Design Manual, 2010 & 2015 Edition  
RWDI Wind Pressure Study Report #1300856  
SEAOC PV1-2012 Report – Structural Seismic Requirements and Commentary for Rooftop Solar PV Arrays  
SEAOC PV2-2012 Report - Wind Design for Low-Profile Solar Photovoltaic Arrays on Flat Roofs  
Terrapin Testing #TT513010-ASTM G115 Coefficient of Friction Testing Report

This letter certifies that the Unirac RM Roof Mounted Ballasted Photovoltaic Panel Support System and the Unirac online "U-Builder" Design Assistant tool are in compliance with the above Reference Documents.

If you have any questions on the above, do not hesitate to call.

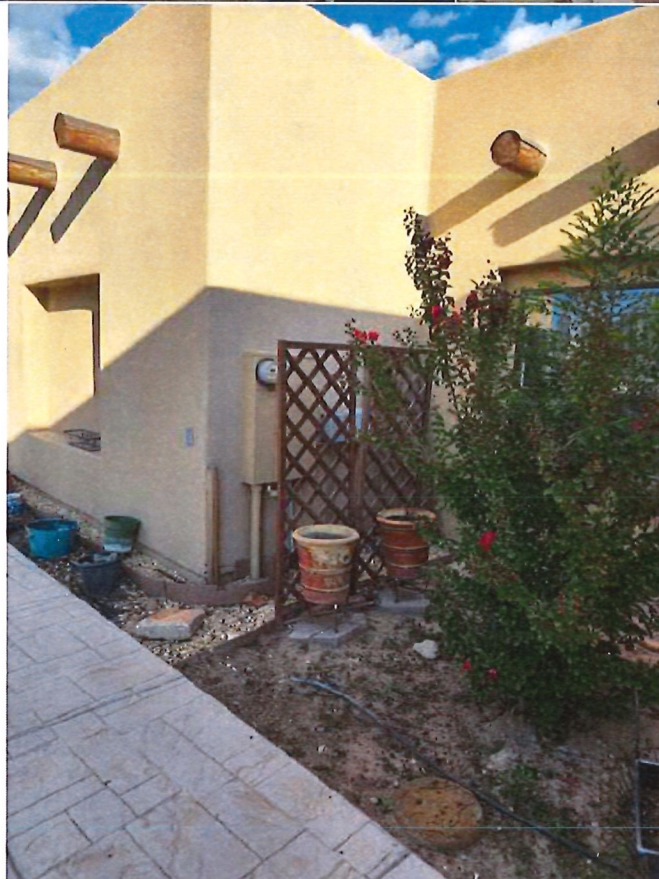
Prepared By:  
PZSE, Inc. - Structural Engineers  
Roseville, CA



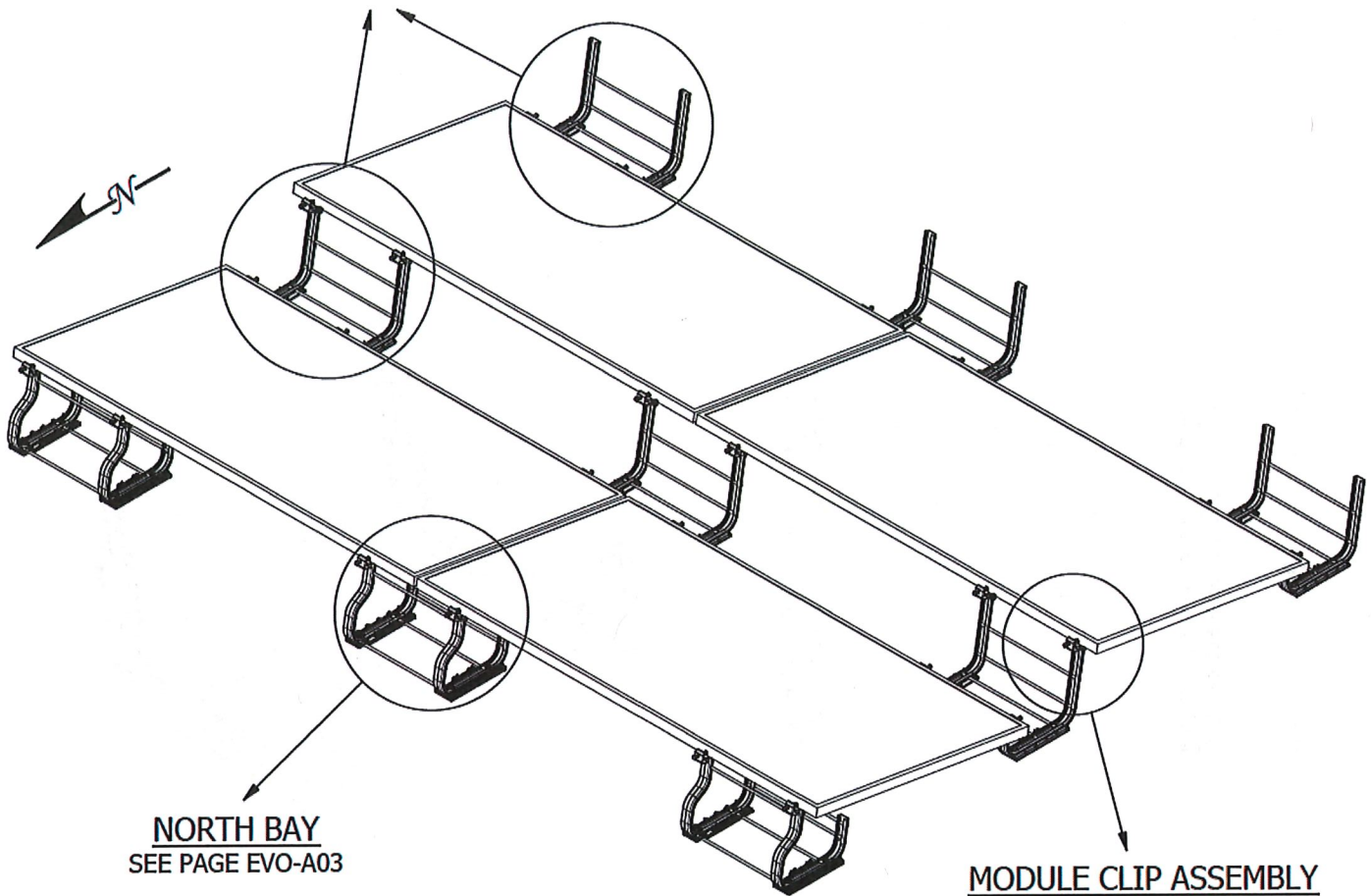


# 1930 Calle Pacana



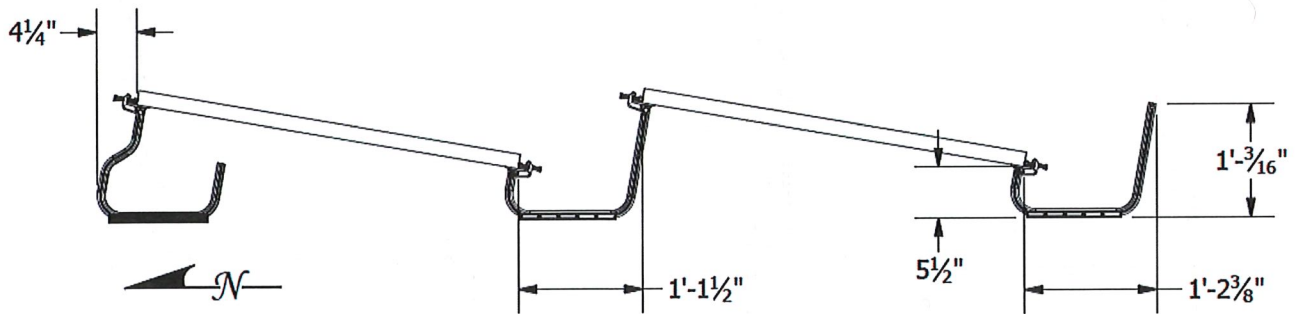


**FIELD BAY**  
SEE PAGE EVO-A02



**NORTH BAY**  
SEE PAGE EVO-A03

**MODULE CLIP ASSEMBLY**  
SEE PAGE EVO-A04



**PROFILE VIEW**

**NOTES:**

1. ARRAY DIMENSIONS WILL VARY BASED ON MODULE WIDTH, LENGTH AND RETURN FLANGE.



1411 BROADWAY BLVD. NE  
ALBUQUERQUE, NM 87102 USA  
PHONE: 505.242.6411  
WWW.UNIRAC.COM

PRODUCT LINE:	RM10 EVO
DRAWING TYPE:	SYSTEM ASSEMBLY
DESCRIPTION:	RM10 EVO
REVISION DATE:	12/10/2021

DRAWING NOT TO SCALE  
ALL DIMENSIONS ARE  
NOMINAL

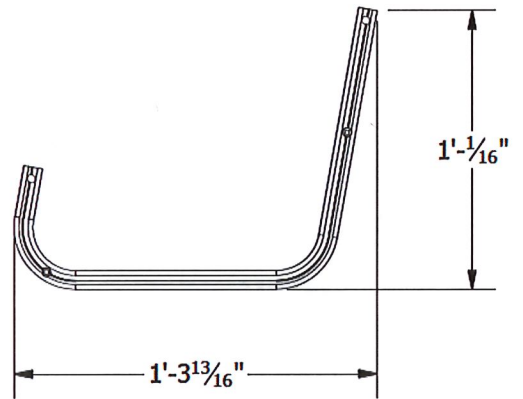
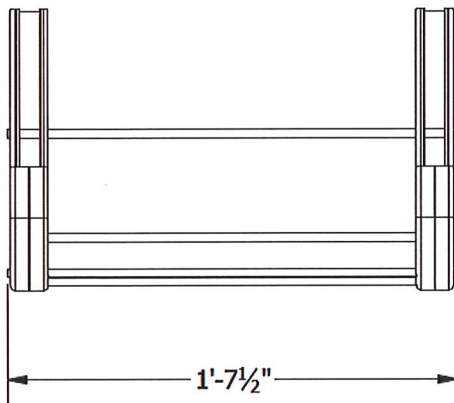
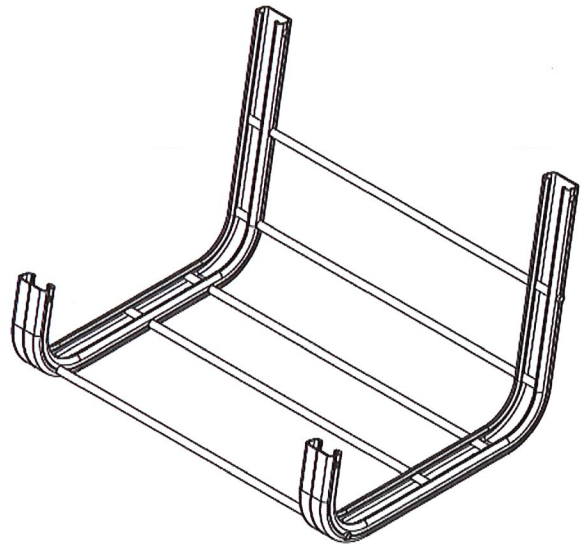
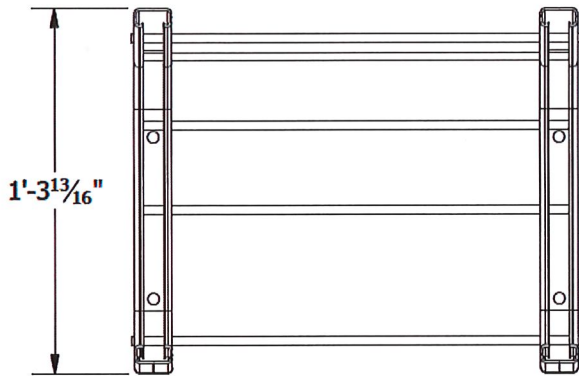
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EVO-A01

SHEET

ASSEMBLY # TABLE

P/N	DESCRIPTION
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PHONE: 505.242.6411  
WWW.UNIRAC.COM

PRODUCT LINE:	RM10 EVO
DRAWING TYPE:	PARTS ASSEMBLY
DESCRIPTION:	FIELD BAY ASSEMBLY
REVISION DATE:	12/10/2021

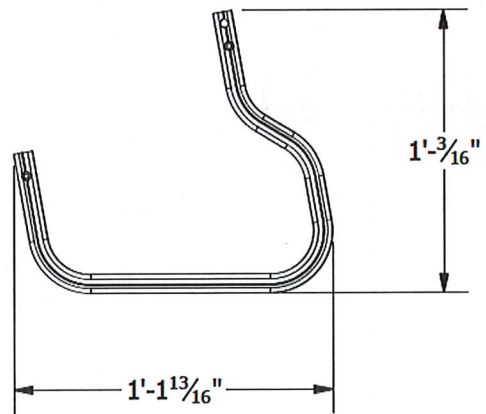
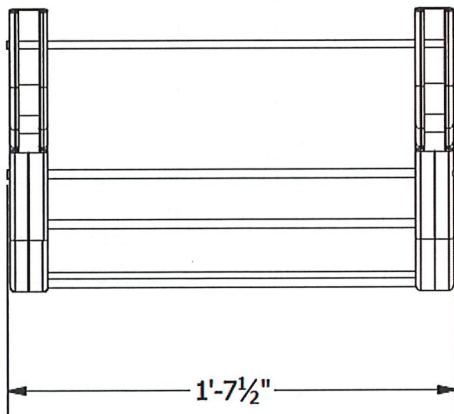
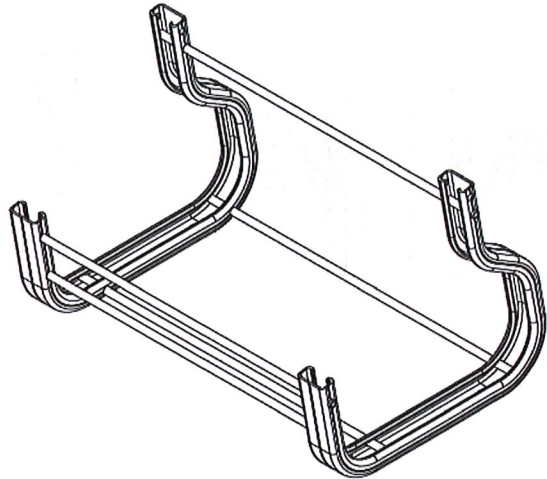
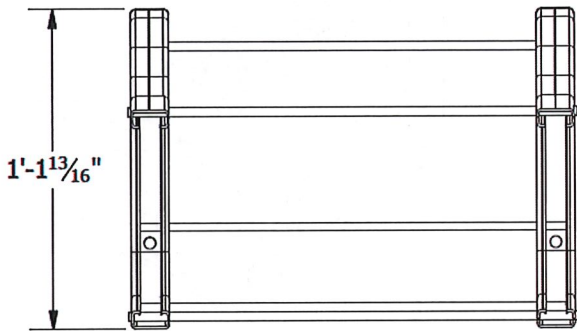
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NOMINAL

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EVO-A02

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ALBUQUERQUE, NM 87102 USA  
PHONE: 505.242.6411  
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PRODUCT LINE:	RM10 EVO
DRAWING TYPE:	PARTS ASSEMBLY
DESCRIPTION:	NORTH BAY ASSEMBLY
REVISION DATE:	12/10/2021

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ALL DIMENSIONS ARE  
NOMINAL

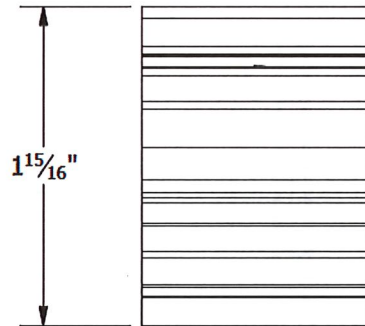
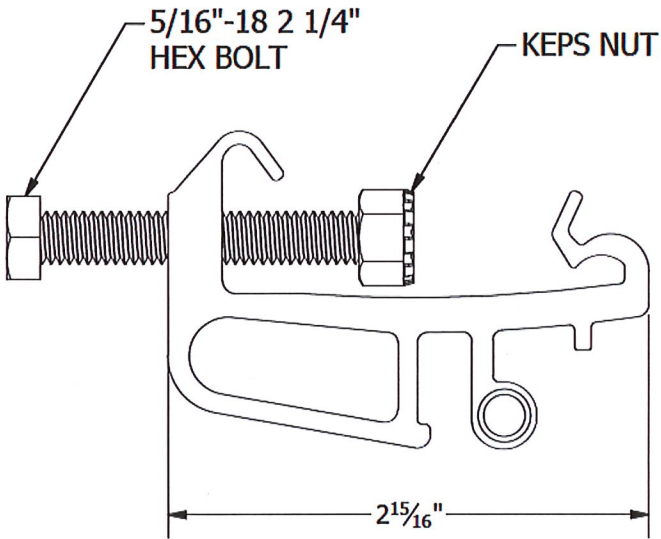
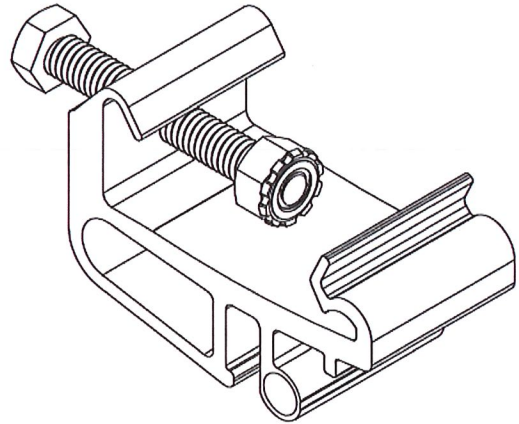
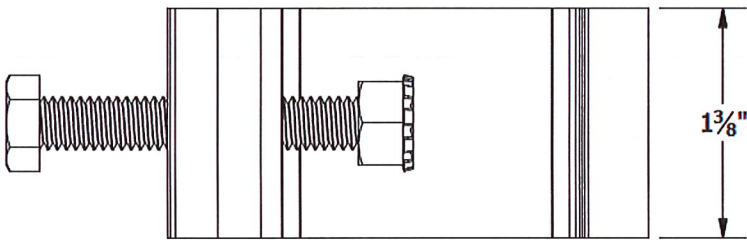
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EVO-A03

SHEET



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PHONE: 505.242.6411  
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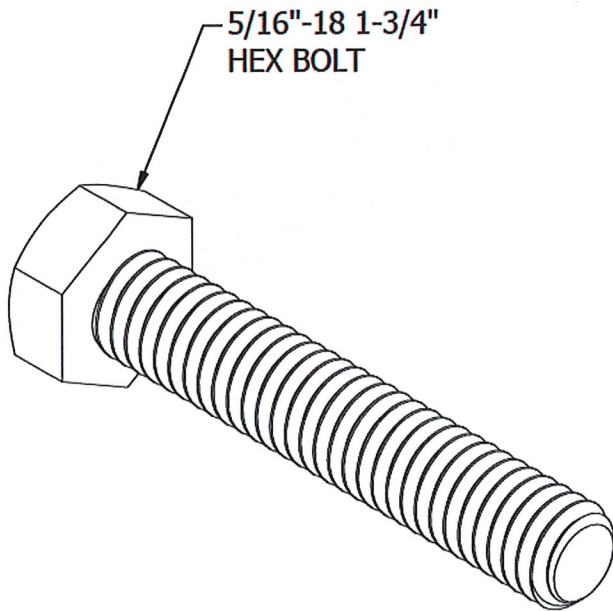
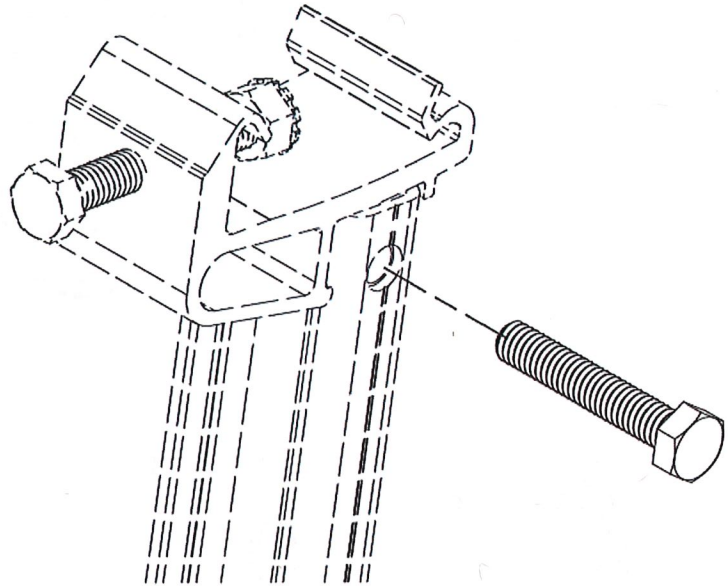
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DRAWING TYPE:	PARTS ASSEMBLY
DESCRIPTION:	MODULE CLIP ASSEMBLY
REVISION DATE:	12/10/2021

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EVO-A04  
SHEET

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P/N	DESCRIPTION
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5/16"-18 1-3/4"  
HEX BOLT

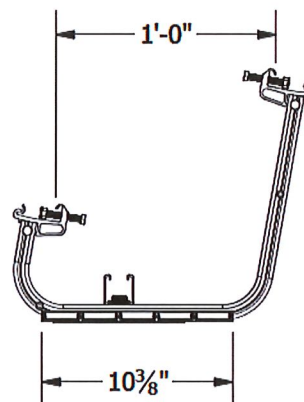
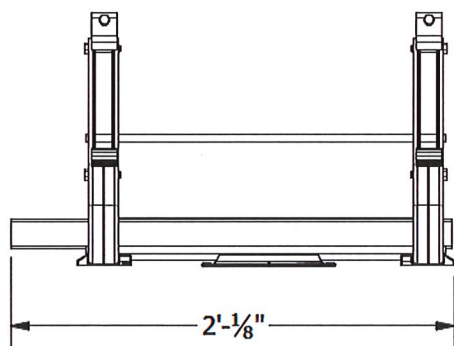
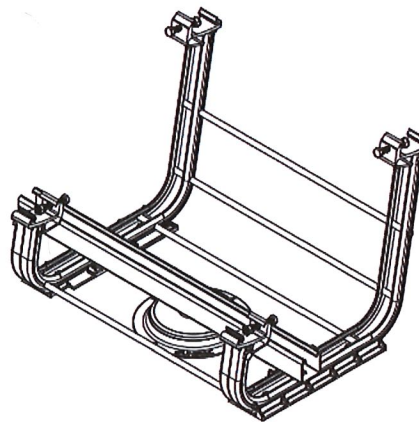
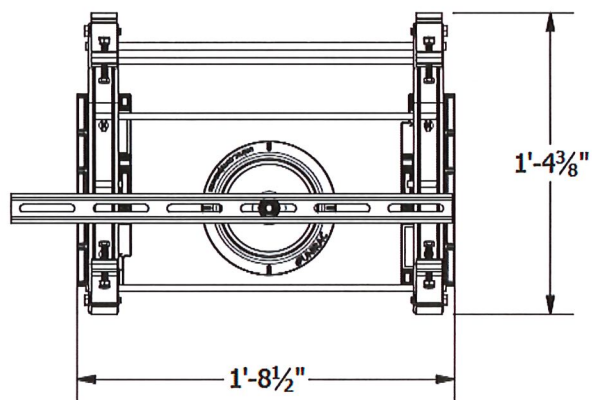
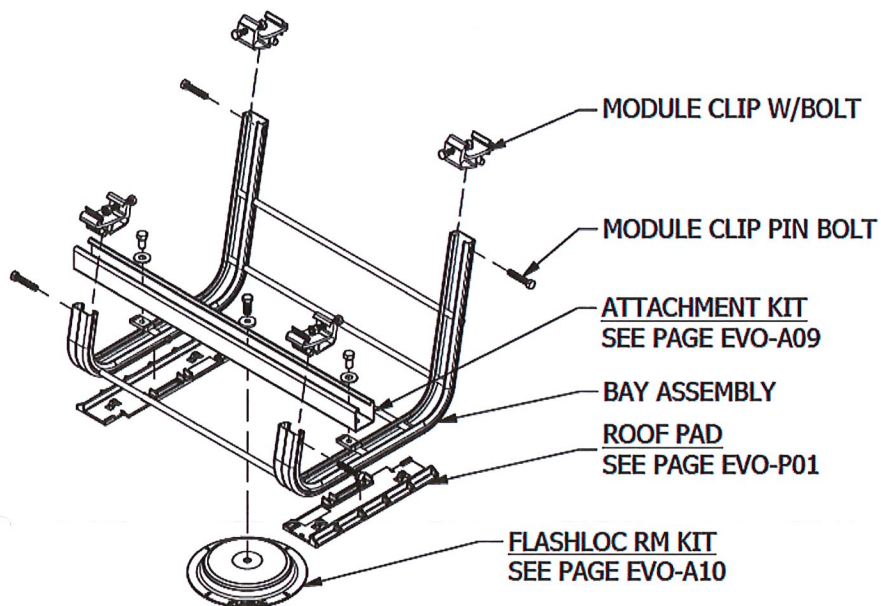
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 PHONE: 505.242.6411  
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PRODUCT LINE:	RM10 EVO
DRAWING TYPE:	PARTS
DESCRIPTION:	MODULE CLIP PIN BOLT
REVISION DATE:	12/10/2021

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EVO-A05  
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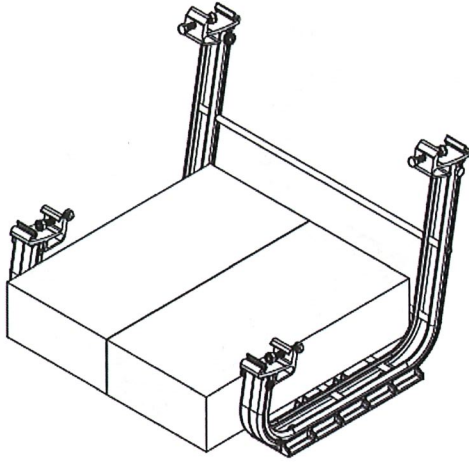
1411 BROADWAY BLVD. NE  
ALBUQUERQUE, NM 87102 USA  
PHONE: 505.242.6411  
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DESCRIPTION:	ROOF ATTACHMENT ASSEMBLY
REVISION DATE:	12/10/2021

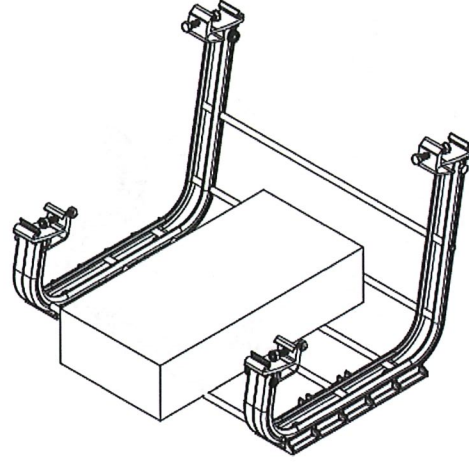
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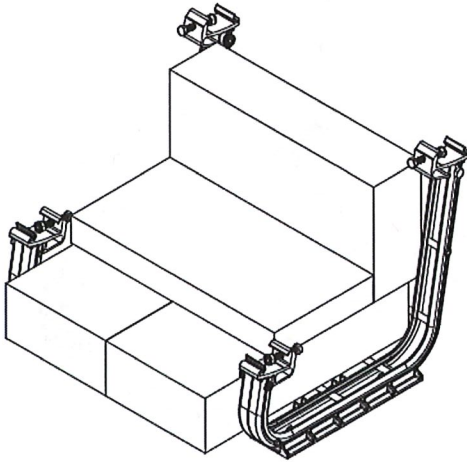
EVO-A06  
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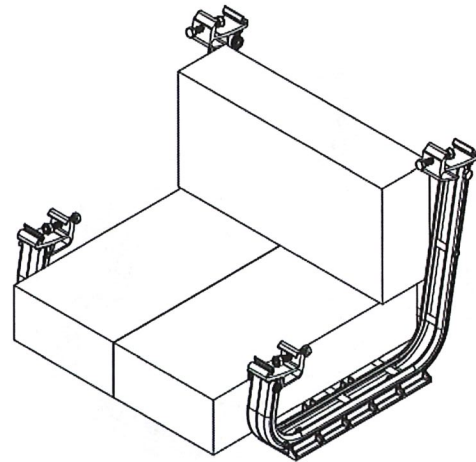
2 BLOCK BAY



1 BLOCK BAY



3-1/2 BLOCK BAY



3 BLOCK BAY



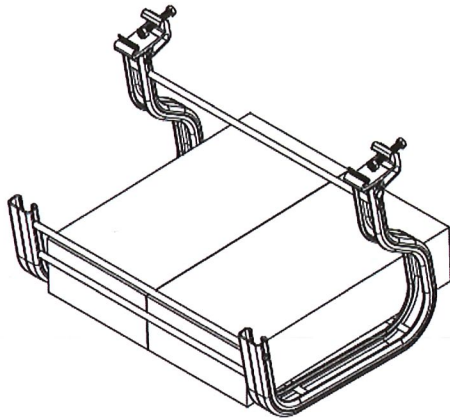
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 ALBUQUERQUE, NM 87102 USA  
 PHONE: 505.242.6411  
 WWW.UNIRAC.COM

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DRAWING TYPE:	PARTS ASSEMBLY
DESCRIPTION:	FIELD BAY BALLAST LAYOUT
REVISION DATE:	12/10/2021

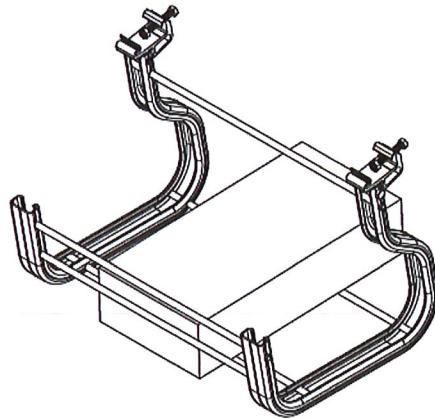
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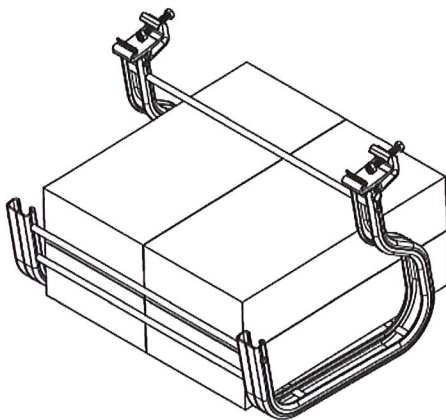
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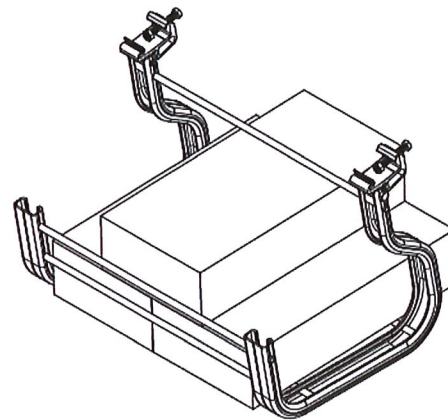
2 BLOCK BAY



1 BLOCK BAY



4 BLOCK BAY



3 BLOCK BAY



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ALBUQUERQUE, NM 87102 USA  
PHONE: 505.242.6411  
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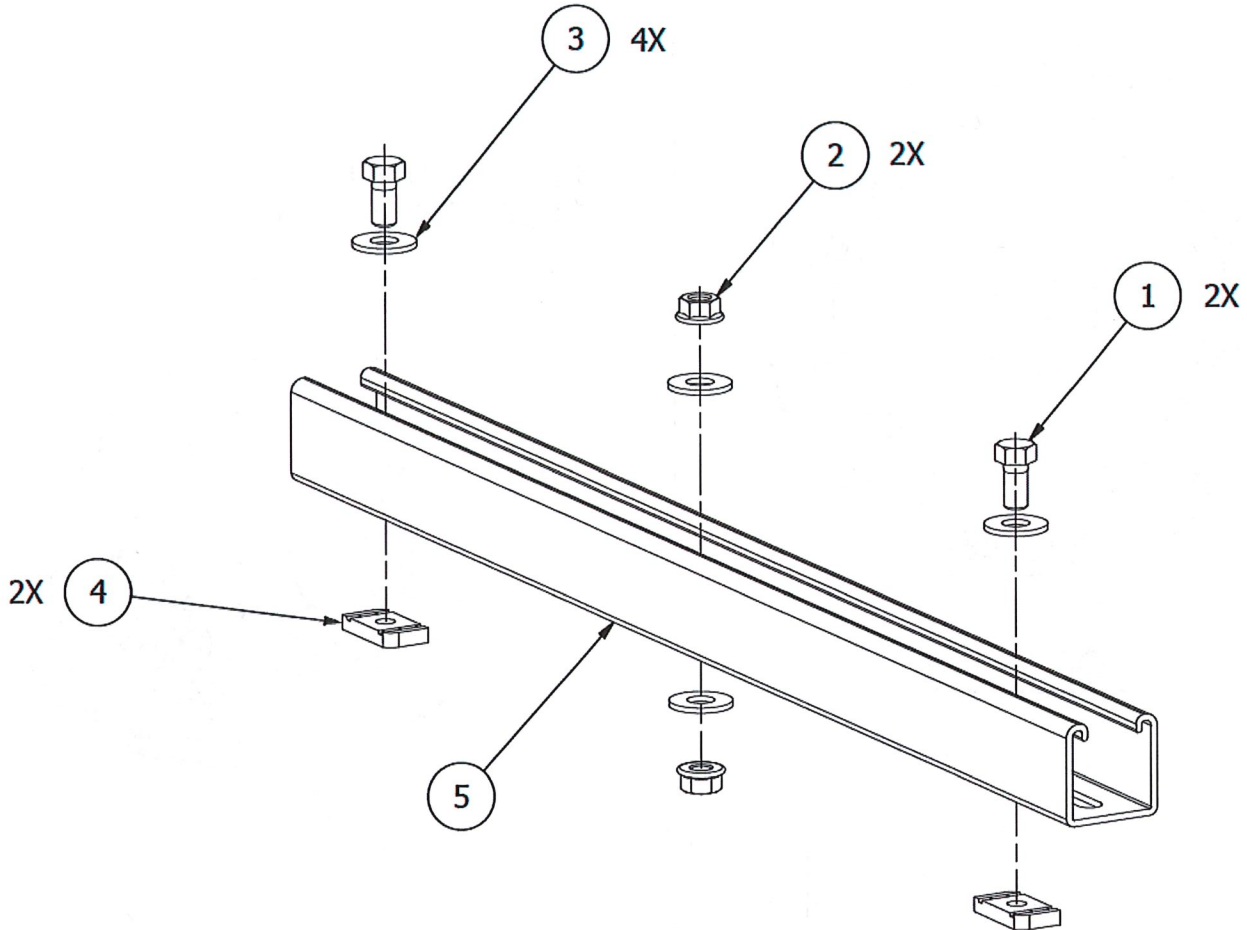
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DRAWING TYPE:	PARTS ASSEMBLY
DESCRIPTION:	NORTH BAY BALLAST LAYOUT
REVISION DATE:	12/10/2021

DRAWING NOT TO SCALE  
ALL DIMENSIONS ARE  
NOMINAL

PRODUCT PROTECTED BY  
ONE OR MORE US PATENTS  
LEGAL NOTICE

EVO-A08  
SHEET

ASSEMBLY # TABLE	
P/N	DESCRIPTION
310771	RM10 ATTACHMENT KIT



ATTACHMENT PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
1	2	M30304	3/8-16 X 3/4 HEX BOLT, SS
2	2	M31184	3/8-16 HEX FLANGE NUT, SS
3	4	M31130	3/8 WASHER, SS
4	2	M30383	3/8-16 STRUT NUT, ZN
5	1	M40600	1 5/8 X 1 5/8 X 24 IN STRUT, GALV



1411 BROADWAY BLVD. NE  
ALBUQUERQUE, NM 87102 USA  
PHONE: 505.242.6411  
WWW.UNIRAC.COM

PRODUCT LINE: RM10 EVO

DRAWING TYPE: ASSEMBLY

DESCRIPTION: RM10 ATTACHMENT KIT

REVISION DATE: 12/10/2021

DRAWING NOT TO SCALE  
ALL DIMENSIONS ARE  
NOMINAL

PRODUCT PROTECTED BY  
ONE OR MORE US PATENTS

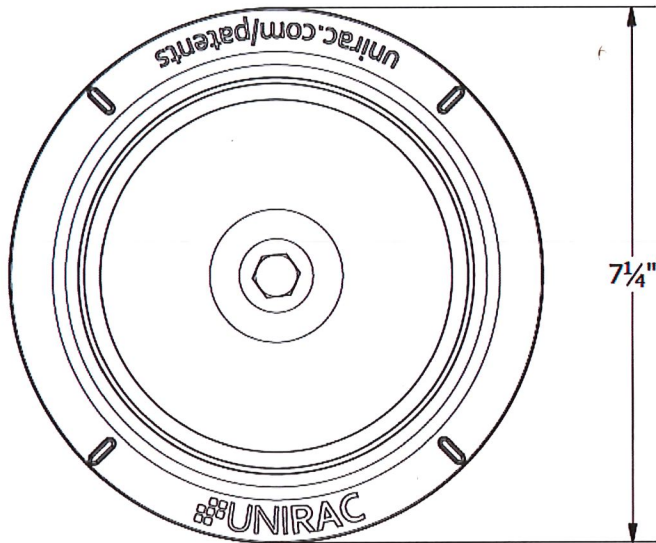
LEGAL NOTICE

EVO-A09

SHEET

**NOTES:**

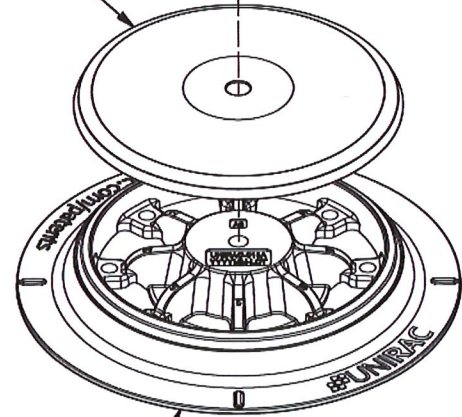
1. ATTACHMENT CAN ACCOMMODATE ROOFING SCREW SIZES #12 - #15. FASTENER SIZE, LENGTH, AND QUANTITY TO BE SELECTED BY STRUCTURAL ENGINEER OF RECORD WHEN DESIGNING FOR THE SPECIFIC PROJECT CONSTRUCTION AND CAPACITY.
2. REFER TO THE UNIRAC INSTALLATION GUIDE FOR PROPER USE OF CHEM LINK M1 AND ONE-PART SEALANTS FOR WATER TIGHT INSTALLATION.



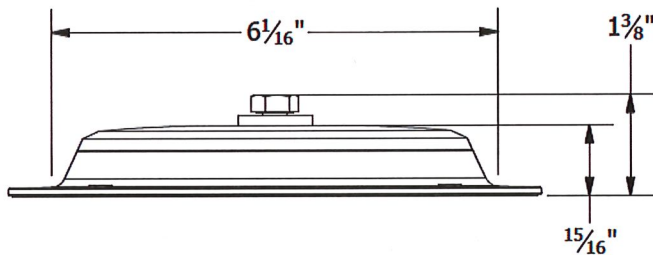
**TOP VIEW**

Ø 3/8" HARDWARE  
(PRE-ASSEMBLED)

COVER



BASE



PART # TABLE	
P/N	DESCRIPTION
310999	FLASHLOC RM KIT

**ULTIMATE TEST LOAD (WITH 8 ROOF FASTENERS)**

UPLIFT ULTIMATE CAPACITY	6,670 lbs.
SHEAR ULTIMATE CAPACITY	5,760 lbs.



1411 BROADWAY BLVD. NE  
ALBUQUERQUE, NM 87102 USA  
PHONE: 505.242.6411  
WWW.UNIRAC.COM

PRODUCT LINE:	RM10 EVO
DRAWING TYPE:	ASSEMBLY DETAIL
DESCRIPTION:	FLASHLOC RM KIT
REVISION DATE:	12/10/2021

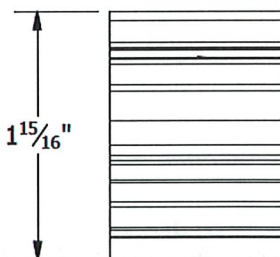
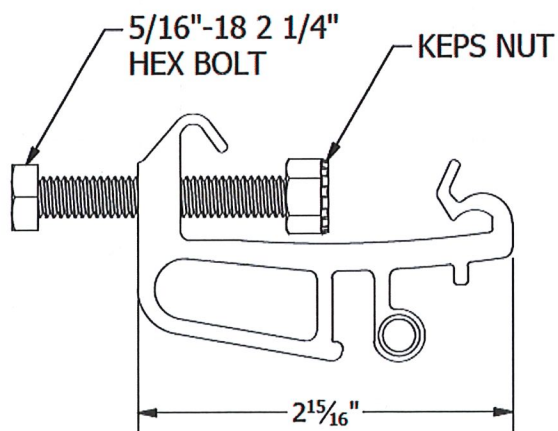
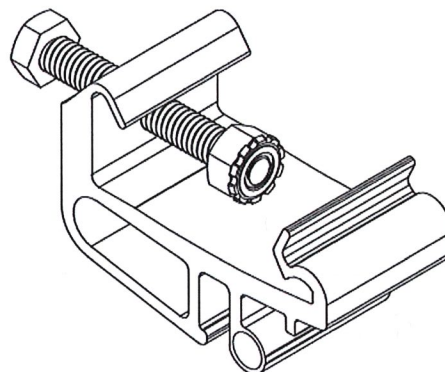
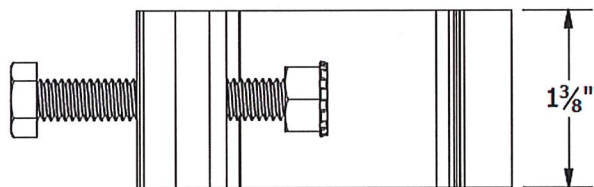
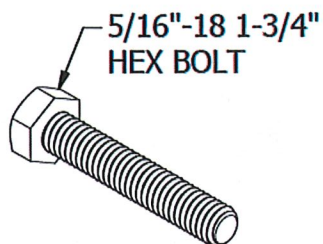
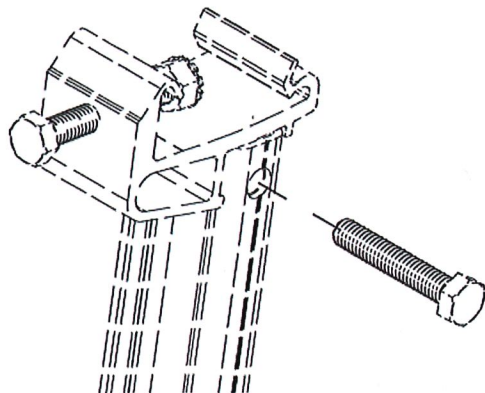
DRAWING NOT TO SCALE  
ALL DIMENSIONS ARE  
NOMINAL

PRODUCT PROTECTED BY  
ONE OR MORE US PATENTS  
LEGAL NOTICE

EVO-A10

SHEET

ASSEMBLY # TABLE	
P/N	DESCRIPTION
370020	RM10 EVO MODULE CLAMP KIT



1411 BROADWAY BLVD. NE  
ALBUQUERQUE, NM 87102 USA  
PHONE: 505.242.6411  
WWW.UNIRAC.COM

PRODUCT LINE:	RM10 EVO
DRAWING TYPE:	PARTS
DESCRIPTION:	MODULE CLIP PIN BOLT
REVISION DATE:	12/10/2021

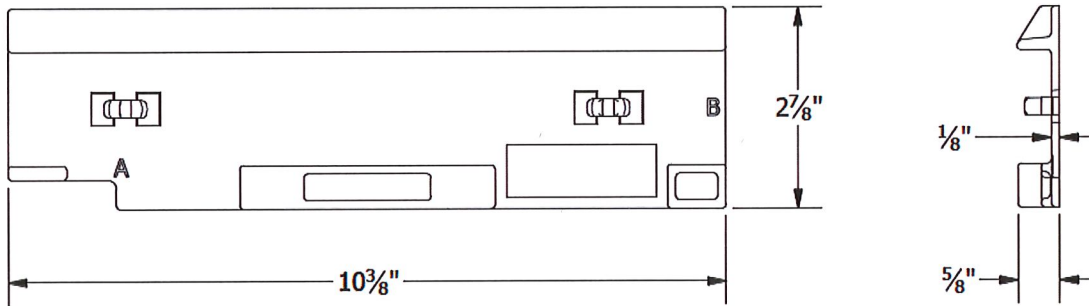
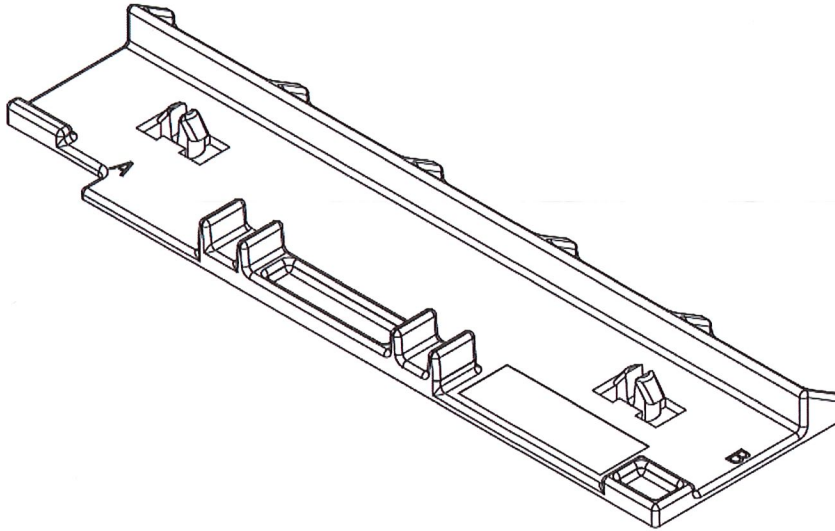
DRAWING NOT TO SCALE  
ALL DIMENSIONS ARE  
NOMINAL

PRODUCT PROTECTED BY  
ONE OR MORE US PATENTS  
LEGAL NOTICE

EVO-A11  
SHEET



PART # TABLE	
P/N	DESCRIPTION
310760	RM10 ROOF PAD



**NOTES:**

1. MATERIAL: TPE 70 SHORE A: SANTOPRENE 201-73, ELASTOCON 2870 OR UNISOFT TPE ST-70A BK-2-01.
2. FINISH: BLACK



1411 BROADWAY BLVD. NE  
ALBUQUERQUE, NM 87102 USA  
PHONE: 505.242.6411  
WWW.UNIRAC.COM

PRODUCT LINE:	RM10 EVO
DRAWING TYPE:	PART
DESCRIPTION:	RM10 ROOF PAD
REVISION DATE:	12/10/2021

DRAWING NOT TO SCALE  
ALL DIMENSIONS ARE  
NOMINAL

PRODUCT PROTECTED BY  
ONE OR MORE US PATENTS  
LEGAL NOTICE

EVO-P01

SHEET

## Elevation for Maggie Fraga

External

Inbox x

S

Scott Burns

to me, Permits

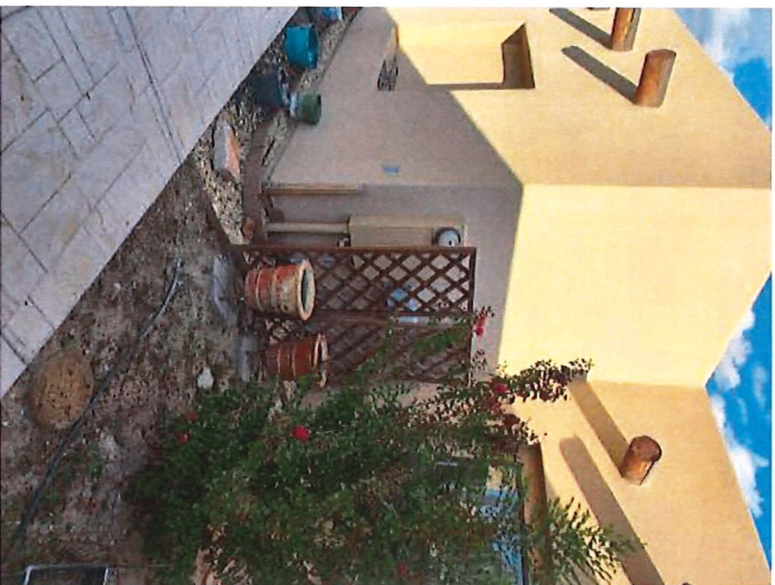
Hello Eddie,

10:38 AM (41 minutes ago)



Thanks again for calling today. Attached is the racking information that we will use and a drone photo to show the parapet heights. Our racking does not go above 13" from the roof and will not be visible from the street.

Cheers,



Scott Burns | PMP | NABCEP Board Certified

## BOARD ACTION FORM

### AGENDA DATE

**PZHAC:** March 20, 2023

**BOT:** April 10, 2023

**ITEM:** PZHAC CASE #061549 – 2488 Calle de Guadalupe, submitted by Juan Albert, Rincon de Mesilla to request a building permit. Zone: **Historical Commercial (HC)**

**BACKGROUND AND ANALYSIS:** Applicant is looking for approval to install commercial equipment in kitchen, to include;

- Commercial kitchen hood with fire suppression.
- Commercial stove-NSF
- Required grease trap
- Rewire A/C in kitchen

New breaker will be installed on breaker box outside the structure to accommodate changes.

### IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- Plans were not sealed and signed
- Fire Chief to inspect plans for kitchen hood suppression
- Was tabled on 3/3/2023

### ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

### DEPARTMENT COMMENTS:

- Applicant has acquired D.P.D. Construction to make all modifications
- Kitchen Hood suppression plans, plumbing and electrical plans in order
- Fire Chief advised inspection will be done once kitchen hood suppression is installed
- Plans were electronically signed, does Mesilla PZHAC recognize?

### SUPPORTING INFORMATION:

- Application
- Plans submitted; Floor, Plumbing, Electrical, and Kitchen Hood Suppression
- Tenant/Landlord Lease Agreement
- Pictures of affected areas
- Contractor license verified

RECEIVED  
2/12/23

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY

Case #  
Fee \$ 1740

PAID

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 001549 ZONE: HC CODE: ACC APPLICATION DATE: 2/16/23

Name of Property Owner: Juan Albert Property Owner's Telephone Number: 575-323-4413

Property Owner's Mailing Address: 4108 Mission Bell Ave. City: Las Cruces State: NM Zip Code: 88011

Property Owner's E-mail Address: Albert@ejournal.com NM DL 511468680

Contractor's Name & Address (If none, indicate Self): SELF D.P.D. CONSTRUCTION INC

Contractor's Telephone Number: 575-323-4413 Contractor's Tax ID Number: 94635 Contractor's License Number:

Address of Proposed Work: 2488 Calle de Guadalupe

Description of Proposed Work: - Gravel Trap, electrical work  
Install gas stove, hood and fan system

Estimated Cost: \$9,000 Signature of Applicant: [Signature] Date: 2/16/23

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: X YES NO BOT APPROVAL REQUIRED: X YES NO

CID PERMIT/INSPECTION REQUIRED: X YES NO SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses and dimensions.
- Cross section of walls
- Roof and floor framing plan
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the City Code or Community Development Department (See other side.)

STATE OF NEW MEXICO  
CONSTRUCTION INDUSTRY LICENSING

D.F.D. CONSTRUCTION INC.

LICENSE NUMBER

94635


Qualifying Party(S)  
GRANADOS CESAR

EXPIRES

09/30/2024

CLASSIFICATION IS  
GENERAL



  
DIRECTOR

This card is the property of the CIL and shall be terminated upon demand.



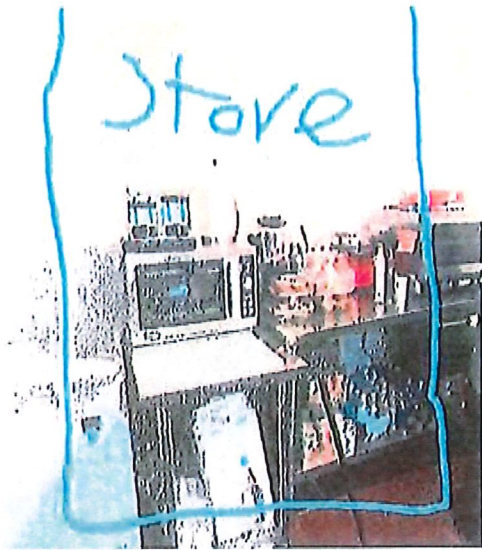
NEW MEXICO



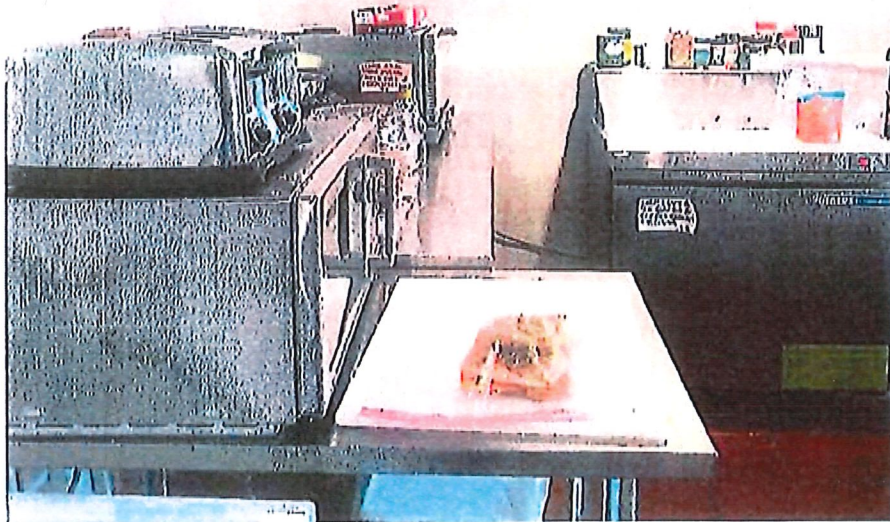
DRIVER'S LICENSE



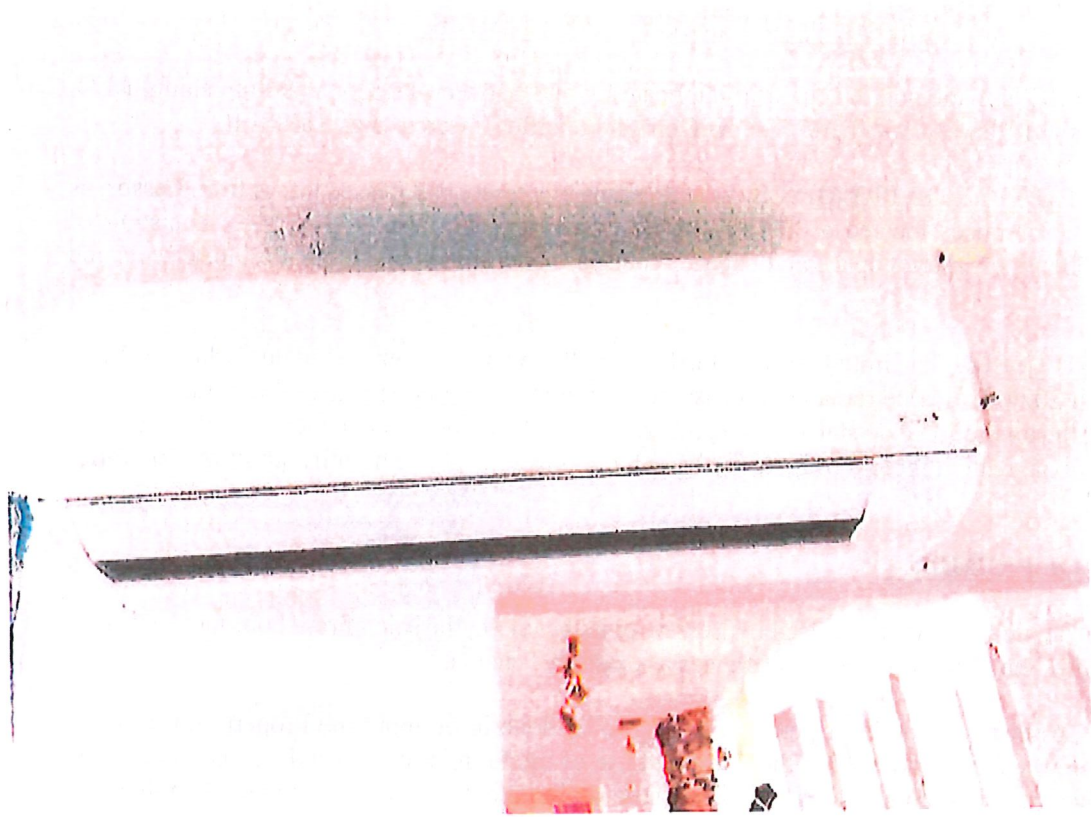
RINCON DE MESILLA  
2488 Calle de Guadalupe



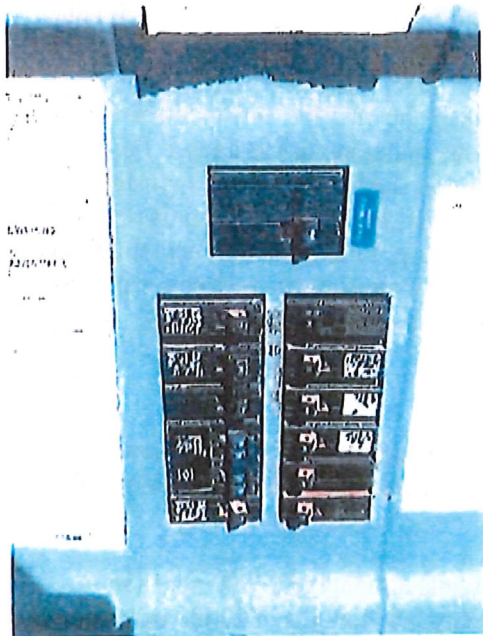
Stove  
Hood







Air conditioning rewiring in the kitchen



Work on the outside breaker add an additional breaker



## LEASE FOR BUSINESS PREMISES

**THIS LEASE** is made and executed in duplicate by and between PsyConOps Publishing, LLC, hereinafter as "LESSOR" and Juan Albert//Claudia Gonz, hereinafter referred to as "LESSEE."

1. **DESCRIPTION OF PREMISES.** Lessor leases to Lessee, and Lessee leases from Lessor, as herein provided, the premises located at 2488 Calle de Guadalupe, Mesilla, NM 88046, consisting of approximately 1500 sqft of interior space and exterior courtyard enclosed by adobe/cinderblock walls and gate.

2. **LEASE TERM.** The initial term of this Lease is three years commencing on 1 May 2021 and ending on 30 April 2024. If Lessee remains in possession of the leased premises with the written consent of the Lessor after the expiration date stated above, this Lease will be converted to a month-to-month Lease and each party shall have the right to terminate the lease by giving at least one month's prior written notice to the other party.

3. **USE OF PREMISES.**

(a) The premises are to be used by Lessee, in its business, the sale of retail products provided Lessee does not offer the same products and services as existing Tenants.

(b) Lessee shall not do or permit anything to be done in or about the Property nor bring or keep anything therein which is not within the permitted use of the Premises; nor shall Lessee maintain or permit any nuisance in, on, or about the Premises. Lessee shall not commit or allow to be committed any waste in or upon the Property. Lessee shall observe and comply with all laws, codes and ordinances.

4. **COMPLIANCE WITH LAWS AND REGULATIONS.** Lessee shall comply with all Federal, State, County, and City laws, statutes, ordinances, rules, and regulations affecting or respecting the use or occupancy of the Leased Premises by the Lessee, or the business at any time thereon transacted by the Lessee, and Lessee shall comply with all rules which may be hereafter adopted by Lessor for the protection, welfare and orderly management of the building and its tenants.

5. **CLEANLINESS OF PREMISES.** Lessee will keep the interior and exterior of the Leased Premises clean and will not store any refuse, trash or hazardous materials in the Leased Premises or in or around the Leased Premises, other than in the refuse containers. Lessee will be responsible for excess trash and litter in the rear or front of the building at Lessee's sole cost. In the event Lessor is required to clean up the Premises due to Lessee's trash or other breach of this Lease, Lessee will immediately pay the invoice when presented by Lessor for the cost of clean up. Lessee shall also be responsible for interior an exterior pest control of the Leased Premises, and exterior landscaping maintenance and upkeep.

6. **RENT.**

(a) The Lessee shall pay, or cause to be paid to the Lessor as rental for the Premises Rent as set forth below in advance on the first day of each month during the Term hereof beginning on 1 May 2021 and continuing on the first day of each month thereafter:

1 May 2021 – 31 October 2021: \$12,000, payable in monthly installments of \$2000 per month.  
1 November 2021 – 30 April 2022: \$13,200, payable in monthly installments of \$2200 per month.  
1 May 2022 – 30 April 2023: \$28,800, payable in monthly installments of \$2400 per month.  
1 May 2023 – 30 April 2024: \$31,200, payable in monthly installments of \$2600 per month.

Lessee to pay Rent for the term of the lease period. Rent payments received by the Lessor after the fifth day of the month will be late and carry an additional late charge penalty of 20% of the Rent. If any monthly payment of rent is not paid 15 days from the due date, the Lease shall be in default for nonpayment of Rent. In addition to the monthly rent payment, Lessee shall be responsible for paying for electric utilities and maintenance of exterior. Since the utility service and public area are shared, these costs will be split 50/50 with tenant in the southern portion of the building. Usage history shows an average of \$250/mth for electric bills. Lessee will thus pay \$125/mth for electric. If the total electric charges exceed \$300/mth over a period of several months due to the lessees use of additional energy (i.e., appliances for café) then the charges will be adjusted accordingly. Current landscape maintenance/mosquito spraying costs also total \$250/mth. These costs will be split 50/50 with tenant in the southern portion of the building. Lessee will thus pay \$125/mth for landscape maintenance/mosquito spraying. Lessor will be responsible for paying water, sewer, and garbage pickup as well as property taxes.

(b) COVID Clause: If, due to an outbreak of the COVID virus, the Governor orders the closure of retail businesses that include the Lessees retail business (not food services), the Lessee may choose to pay 50% of the rent during the period of the ordered closure. Upon termination of the closure order by the governor, the Lessee shall pay the amount in arrears over the period of the following year in 12 equal payments. In addition, the Lessee will not be required to pay for their 50% share of the electric (assuming no electric is being consumed) or for the landscape maintenance during the period of ordered closure.

(c) In consideration of the mutual benefits arising from the Lease, Lessee hereby grants to Lessor a lien and security interest on all Premises of Lessee now or hereafter placed in or upon the premises, and such property shall be and remain subject to such lien and security interest of Lessor for payment of all rent, additional rent and other sums agreed to be paid by Lessee according to the terms of this Lease. The lien provided in this section shall not be exclusive of any lien rights that exist under the laws of the State of New Mexico.

(d) All taxes, charges, costs, and expenses payable by Lessee hereunder, together with all interests and penalties that may accrue thereon in the event Lessee fails to pay those items, and all other damages, costs, expenses and sums that Lessor may suffer or incur, or that may become due, by reason of any default of Lessee or failure by Lessee to comply with the terms and conditions of this Lease shall be deemed to be additional rent. Lessee shall pay to Lessor, as additional rental for each month of each year of the Lease term. Lessor shall have the same remedies for Lessee's failure to pay the additional rent as for non-payment of Rent. Lessor, at its election, shall have the right, but not the obligation, to pay or do any act which requires the expenditure of any sums of money by reason of the failure or neglect of Lessee to perform any of the provisions of this Lease, and in the event Lessor shall, at its election, pay such sums or do such acts requiring the expenditure of monies, Lessee agrees to pay the Lessor upon demand, all such sums, and the sums so paid by Lessor, which shall be deemed to be additional rent and be payable as such may be collected or enforced as provided by law with respect to payment of rent.

## 7. LIENS.

(a) Lessee agrees that Lessee will pay all liens of contractors, subcontractors, mechanics, laborers, material men, and other liens of like character, and will indemnify Lessor against all legal costs and charges, bond premiums for release of liens, including reasonable attorney fees reasonably incurred (whether litigation's is necessary or not) in discharging the said premises or any part thereof from any liens, judgments, or encumbrance caused or suffered by Lessee. In the event a lien is recorded, Lessee shall have such lien removed through payment or bonding within fifteen (15) days of recording and if Lessee fails to remove the lien from the Lease Premises within that time Lessor may cause it to be removed at Lessee's

sole cost and expense and all such amounts incurred to remove the lien, including all costs, expenses and attorney fee shall be deemed additional rent hereunder.

(b) Lessee herein shall not have any authority to create any liens for labor or material on the Lessor's interest in the land and Building, and all persons contracting with the Lessee for the erection, installation, construction, alteration, or repair of improvements on or to the above described premises, and all material men, contractors, mechanics, and laborers are hereby charged with notice that they must look to the Lessee and to the Lessee's interest only in the above described property to secure the payment of any bill for work done or material furnished during the rental period created by this Lease.

(c) Lessee agrees to provide Lessor, upon Lessor's request, documentation of work orders and corresponding executed notarized waivers and releases of mechanics liens evidencing payment in full to any and all contractors, subcontractors, mechanics, laborers, material men, and the like.

8. **LESSEE'S DEFAULT**, The occurrence of any one or more of the following events shall additionally constitute a default and breach of this Lease by Lessee:

(a) the vacating or abandonment of the Premises by Lessee; or if Lessee shall sublet the Premises or assign this Lease in violation of the requirements set forth in this Lease; or

(b) the failure by Lessee to make any payment of rent, additional rent or any other payment required to be made by Lessee hereunder, as and when due and Lessee fails to cure such default within ten (10) days of written notice of default by Lessor; or

(c) the failure by Lessee to observe or perform any of the covenants, conditions or provisions of this Lease to be observed or performed by the Lessee, other than described in Section B above, where such failure shall continue for a period of thirty (30) days after written notice thereof by Lessor to Lessee, provided, however, that if the nature of Lessee's obligation is such that more than thirty (30) days is necessary for complete performance, then Lessee shall not be in default if Lessee commences performance within such thirty (30) day period and, thereafter, diligently prosecutes the same to completion;

(d) if Lessee shall make an assignment for the benefit of creditors, or file a voluntary petition in bankruptcy, or be adjudicated bankrupt by any court and such adjudication shall not be vacated within thirty (30) days, or Lessee takes the benefit of any insolvency act, or Lessee be dissolved voluntarily or involuntarily or have a receiver or custodian of Lessee's Property appointed in any proceedings other than bankruptcy proceedings;

(e) if a trustee, receiver, or liquidator of Lessee or any substantial part of its business or assets shall be appointed with the consent or acquiescence of Lessee, or if such appointment, if not consented to or acquiesced in, shall remain unvacated or unstayed for an aggregate of thirty (30) days;

(f) if the interest of Lessee herein shall be sold under execution or other legal process; and

(g) in any event whereby this Lease or the estate hereby granted, or the unexpired balance of the Term hereof would by operation of law or otherwise devolve upon or pass to any person, firm or corporation other than Lessee, except as permitted in this Lease.

#### 9. **INSURANCE ON LEASED PREMISES.**

(a) The Lessee shall procure and keep in force at all times during the term of the Lease, at its expense, public liability insurance in an amount of not less than One Million Dollars (\$1,000,000) for

personal injuries arising out of any one accident with no per person limit and Two Hundred Thousand Dollars (\$200,000) for property damage. The Lessor shall be named as an additional insured, and when requested by the Lessor, the Lessee shall furnish the Lessor with certificate or certificates evidencing such insurance.

(b) The Lessor shall procure and keep in force at all times during the term of the Lease insurance against the loss or damage by fire or other casualty and by extended coverage hazards for full replacement value all improvements to the Leased Premises, including without limitation, all buildings and structures, leasehold improvements, and appurtenances thereto situated on the Leased Premises which are now or hereafter a part of the Leased Premises.

(c) The Lessee shall not create any avoidable hazards to the improvements on the Leased Premises which would cause an increase in the existing rate of fire or extended coverage insurance thereon.

(d) Lessee shall obtain and maintain any other insurance that Lessee desires on the demised premises or on the personal property thereon at the expense of Lessee and any additional insurance desired by Lessee, may be written by any carrier selected by Lessee.

(e) It is expressly understood by and between the parties that Lessee shall have the sole responsibility to obtain sufficient insurance to insure its personal property and furnishings from any losses with a property damage liability insurance policy. Insurance coverage purchased by Lessee shall be in an amount reasonably acceptable to Lessor and shall be purchased from insurance companies authorized to do business in the State of New.

(f) All policies purchased by Lessee shall contain a provision for notice to the Lessor not less than thirty (30) days in advance of any cancellation or material changes in such policy. In case of failure of Lessee to make premium payments when due, the Lessor may pay the amount of any such premiums, which amount with interest thereon from the date of payment by Lessor shall be added to and become part of the next installment of rent. Copies of renewal policies for any insurance required under this Section shall be deposited by Lessee with Lessor at least ten (10) days prior to the expiration of existing policies and upon failure so to do, Lessor may immediately purchase, for the account of Lessee, the necessary insurance from any reputable insurance company without notice to Lessee, and Lessee shall reimburse Lessor for costs thereof within ten (10) days after demand.

10. **MAINTAINING PREMISES.** Lessee at its own expense, agrees to maintain the leased premises and appurtenances thereto in good repair and maintain the same in clean, sightly and sanitary order. Lessee shall, at its expense, keep in good order and maintain, repair, the following: ceiling, floors, plumbing, equipment, the exterior doors, windows, landscaping, wiring, HVAC. Lessee shall maintain the HVAC on a monthly maintenance program including changing the air filters and cleaning the coils. All repairs and maintenance expenses will be at the expense of the Lessee. Lessee will keep the premises occupied and used in a clean and sanitary condition. Lessor is responsible for maintaining and replacement of the roof and structure of the premises.

11. **WARRANTY OF QUIET ENJOYMENT.** Lessee, upon paying the rents and other amounts due under this Lease and keeping and performing the covenants of this Lease to be performed by Lessee, shall peacefully and quietly hold, occupy, and enjoy said premises during said term or any renewal thereof without any let, hindrance or molestation by Lessor or any persons lawfully claiming under Lessor.

12. **ASSIGNMENT AND SUBLETTING.** Lessee shall not assign this Lease nor sublet all or any part of the Leased Premises without first securing Lessor's written consent which may be withheld for any reason. If Lessor does consent to an assignment or subletting, the assignee and/or sublessee shall first

be obliged in writing to likewise assume all of the obligations of Lessee under this Lease and Lessee shall, for the full term of this Lease, continue to be jointly and severally liable with such assignee or sublessee for the payment of rents and the performance of all obligations required of Lessee under this Lease. The Lessor shall not unreasonably withhold its aforesaid consent; however, the Lessee hereby acknowledges that the use to which the Leased Premises are put and the compatibility of any occupant of the Leased Premises with other Lessees on the contiguous property, and the ability to pay rent when due are of prime importance and significance to the Lessor. Any approved sublease or assignment shall not constitute a consent to any additional assignment or sublease and as a condition precedent to any obligation of Lessor to approve or consent to an assignment or sublease, Lessee must provide to Lessor a copy of the proposed sublease or assignment plus financial documents requested by Lessor relating to the proposed subtenant or assignee and any profit with regard to any assignment or sublease shall be the property of Lessor.

13. **INTERRUPTION OF SERVICE.** Lessor does not warrant that any services to be provided by Lessor will be free from interruption due to causes beyond Lessor's control. In the event of temporary interruption of services or unavoidable delay in the making of repairs, the same shall not be deemed an eviction or disturbance of Lessee's use and possession of the Leased Premises nor render Lessor liable, except if caused by the negligence of the Landlord, its agents or employees, to Lessee for damage by abatement of rent or otherwise, nor shall the same relieve Lessee from performance of Lessee's obligations under this Lease.

14. **ALTERATIONS AND ADDITIONS.**

Lessee shall not make or allow to be made any alterations, additions or improvements to or of the Premises or any part thereof, without the prior written consent of the Lessor which shall not be unreasonably withheld. All improvements made by Lessee shall at once become a part of the realty and belong to the Lessor and shall be surrendered with the Property. The Lessee shall return the Premises to the Lessor at the end of the lease term in its state existing on the Commencement Date of this Lease, normal wear and tear excepted. Notwithstanding the foregoing, Lessee shall have the right to make interior, non-structural alterations, additions or improvements to the Property without first obtaining Lessor's consent.

Lessor shall have the right and privilege to make and build additions to the buildings of which the Premises are a part (if applicable) and make such alterations and repairs to the Premises as it may deem advisable. Lessor shall not be liable to Lessee, and Lessee hereby waives any claims for, lost profits or consequential damages relating to any alterations or repairs to the Premises or adjacent building made by Lessor or at Lessor's direction.

15. **ACCEPTANCE OF PROPERTY.** By entry hereunder, Lessee shall be deemed to have accepted the Property as being in good, sanitary order, condition and repair.

16. **WAIVER OF CLAIM.** Except if caused by negligence of the Landlord, its agents or employees, Lessee waives and releases all claims against Lessor, its agents, employees, and servants, in respect of, and sustained by Lessee, or any other person, occurring in or about the building or the leased premises resulting directly or indirectly, from any existing or future condition, defect, matter or thing in the Leased Premises, or the Building or any part of it, or from equipment or appurtenance therein, or from accident, or from any occurrence, act, or from negligence or omission of occupant of the Building, or of any other person; but nothing in this paragraph shall be deemed to relieve Lessor from liability for damage or injuries to person or property caused by or resulting from the negligence of Lessor, its agents, servants or employees. This paragraph shall apply especially, but not exclusively, to damage caused as aforesaid or by flooding, sprinkling devices, air conditioning apparatus, water, steam, excessive heat, falling plaster, broken glass, sewage, gas, odors or noise, or the bursting or leaking of pipes or from any thing or circumstance above mentioned, or any other thing or circumstance, whether of a like or wholly different

nature. All property in the Leased Premises belonging to Lessee, its agents, employees, or invitees, or to any occupant of the Leased Premises, shall be there at the risk of Lessee or other person only and Lessor shall not be liable for damage thereto or theft, misappropriation, or loss thereof. Lessee agrees to hold harmless and to indemnify Lessor against claims and liability for injuries to all persons and for the damage to, or due to act or omission of Lessee, its agents, employees, guests, customers, clients, and invitees.

17. **SIGNS.** Upon approval of sign design by Lessor, Lessee at its expense, may install signage identifying the name of Lessee's business on the Leased Premises in accordance with the town of Mesilla codes. Lessee agrees to such standards and will keep its sign in good repair and condition.

18. **EMINENT DOMAIN.** If the whole of the Leased Premises shall be taken by any public authority under the power of eminent domain, or if so much of the building or grounds shall be taken by any such authority under the power of eminent domain so that the Lessee cannot continue to operate its business in the Leased Premises, then the term of this Lease shall cease as of the day possession shall be taken by such public authority and the rent shall be paid up to that day with proportionate refund by Lessor of any such rent as may have been paid in advance or deposited as security. The amount awarded for any taking under the power of eminent domain shall belong to and be the property of the Lessor whether such amount be awarded as compensation for diminution in value to the leasehold or to the fee of the premises or as damage to the residue.

19. **HOLDING OVER.** At the expiration or earlier termination of this Lease, Lessee will remove Lessee's Property and will deliver possession of the Premises to Lessor, together with any Improvements made, in the same condition they were on the Commencement Date, except for reasonable wear and tear. If Lessee remains in possession of the Premises or any part thereof after the expiration of the term hereof without the express written consent of Lessor, such holding over shall be deemed a tenancy at sufferance and Lessee shall pay to Lessor a rental rate double in the amount of the monthly rent, plus all other charges payable hereunder, paid during the last month prior to termination of the Lease, and upon all the same terms set forth herein.

20. **ENTRY BY LESSOR.** Lessor reserves, and shall have the right during normal business hours upon reasonable notice (which may be verbal rather than written) to enter the Premises to inspect the same, to show said Premises to prospective purchasers or lessees, to post reasonable notices for non-responsibility, to repair the Premises, without abatement of rent, and may for that purpose erect scaffolding and other necessary structures where reasonably required by the character of the work to be performed, always provided that the entrance to the Premises shall not be unreasonably blocked thereby, and further providing that the business of the Lessee shall not be interfered with unreasonably. Lessee hereby waives any claim for damages or for any injury or inconvenience to or interference with Lessee's business, any loss of occupancy or quiet enjoyment of the Premises, and any other loss occasioned thereby. For each of the aforesaid purposes, Lessor shall have the right to use any and all means which Lessor may deem proper to open said doors in an emergency, in order to obtain entry to the Premises without liability to Lessee and any entry to the Premises obtained by Lessor by any of said means, or otherwise, shall not under any circumstances be construed or deemed to be a forcible or unlawful entry into, or a retainer of, the Premises, or an eviction of Lessee from the Premises or any portion thereof.

21. **NOTICES.** Any notice, request, demand, consent, approval or other communication required or permitted under this Contract (collectively a "Notice") shall be (a) in writing (or telefax) and (b) addressed by the sender to the other party at address or number and in the manner set forth below:

If to the Lessor:  
PsyConOps Publishing  
PO Box 594

If to Lessee:  
Juan Albert/Claudia Gonz  
4108 Mission Bell Ave

Except as otherwise provided in this Agreement, each notice shall be effective and shall be deemed delivered on the earlier of: (i) its actual receipt, if delivered personally, by facsimile (on the condition that the sending party has confirmation of a transmission receipt of the notice), courier service, or, (ii) on the third (3rd) day after the notice is postmarked for mailing by first-class, postage prepaid, certified, United States mail, with return receipt requested (whether or not the return receipt is subsequently received by the sender).

22. **ESTOPPEL CERTIFICATE.**

(a) **Execution of Estoppel Certificate.** At any time, and from time to time, upon the written request of Lessor or any mortgagee, Lessee within twenty (20) days of the date of such written request agrees to execute and deliver to Lessor and/or such mortgagee, without charge and in a form reasonably satisfactory to the Lessor and/or such mortgagee, a written statement: (a) ratifying this Lease; (b) confirming the commencement and expiration date of the term of this Lease; (c) certifying that Lessee is in occupancy of the Property, and that the Lease is in full force and effect and has not been modified, assigned, supplemented or amended except by such writings as shall be stated; (d) certifying that all conditions and agreements under this Lease to be satisfied or performed by Lessor have been satisfied and performed except as shall be stated; (e) certifying that Lessor is not in default under the Lease and there are no defenses or offsets against the enforcement of this Lease by Lessor or stating the defaults and/or defenses claimed by Lessee; (f) reciting the amount of advance rent, if any, paid by Lessee and the date to which such rent has been paid; (g) reciting the amount of security deposited with Lessor, if any; and (h) any other information which Lessor or the mortgagee shall require.

(b) **Failure to Execute Estoppel Certificate.** The failure of Lessee to execute, acknowledge and deliver to Lessor and/or any mortgagee a statement in accordance with the provisions of Section 31(a) above within the said twenty (20) day period shall constitute acknowledgment by Lessee which may be relied upon by any person holding or intending to acquire any interest whatsoever in the Premises that this Lease had not been assigned, amended, changed, or modified, is in full force and effect and that the Rent and additional rent have been duly and fully paid not beyond the respective due dates immediately preceding the date of the request for such statement and shall constitute as to any persons entitled to rely on such statements a waiver of any defaults by Lessor or defenses or offsets against the enforcement of this Lease by Lessor which may exist prior to the date of the written request, and Lessor at its option, may treat such failure as an event of default.

23. **LIMITATION OF LESSOR'S PERSONAL LIABILITY.** Lessee specifically agrees to look solely to Lessor's interest in the Premises for the recovery of any judgment against Lessor, it being agreed that Lessor (and its partners and/or shareholders) shall not be personally liable for any such judgment. Further under no circumstances shall Lessor be liable for incidental, consequential or special damages.

24. **DESTRUCTION OF PREMISES.** Should the Premises be destroyed by a fire or other casualty, or damaged to such an extent that the repair would not be permitted under any law, rule, order or ordinance of any state or county authority, then this Lease shall be canceled unless the Lessor determines to rebuild the building and the Lessor elects not to terminate the lease, provided the building can be reconstructed within a period of 90 days from the date of destruction. In the event the building is damaged by fire or any other cause whatsoever and such damage can be reasonably repaired, this Lease shall not be terminated.

25. **INDEMNIFICATION.** Lessee shall defend, indemnify and hold harmless Lessor, its agents, representatives, general partners, shareholders, owners, officers, directors, employees, assigns or successors, against and from any and all claims, costs, losses, damages, liabilities, causes of action, awards, judgments, expenses and attorney fees of whatever kind or nature incurred by Lessor arising from or in any way connected to Lessee's use of the Property or from the conduct of its business or from any activity permitted or suffered by the Lessee or its employees, guests or invitees in or about the Property; Lessee's failure to comply with any law, rule, regulation or order of any governmental authority; from any and all claims arising from any breach or default in the performance of any obligation on Lessee's part to be performed under the terms of this Lease. Lessee, as a material part of the consideration to Lessor, hereby assumes all risk of damage to Property or injury to persons in, upon or about the Property, from any cause other than Lessor's gross negligence or willful misconduct; this indemnification and hold harmless agreement shall apply to all claims against Lessor including claims attributable in whole or part to Lessor's negligent acts or omissions; and Lessee hereby waives all claims in respect thereof against Lessor. Lessee shall give prompt notice to Lessor in case of casualty or accidents to Lessor. If Lessor is made a party to any litigation commenced against Lessee, then Lessee shall protect and hold Lessor harmless and shall pay all costs, expenses and reasonable attorney fees incurred or paid by Lessor in connection with such litigation and any appeal thereof.

26. **WAIVER OF JURY TRIAL.** The parties hereto, knowingly, voluntarily and intentionally waive the right any of them may have to a trial by jury in respect to any litigation arising out of, under, or in connection with this Agreement, and any other agreements executed or contemplated to be executed in connection herewith, or any course of conduct, course of dealings, statements (whether verbal or written) or actions of any party (including, without limitation, any action to rescind or cancel this Agreement and any claims or defenses asserting that this Agreement was fraudulently induced or is otherwise void or voidable); this waiver being a material inducement for Lessor to enter into this Agreement with Lessee.

27. **PRIOR AGREEMENTS/AMENDMENTS.** This Lease contains all of the agreements of the parties hereto with respect to any matter covered or mentioned in this Lease, and no prior agreements or understanding pertaining to any such matters shall be effective for any purpose and all such provisions are merged herein. No provision of this Lease may be amended, modified, or added to except by an agreement in writing signed by the parties hereto or their respective successors in interest.

28. **CHOICE OF LAW/VENUE.** This Lease shall be governed by the laws of the State of New Mexico and the exclusive venue for its enforcement and any action or proceeding based upon or arising from this Lease shall be in Dona Ana County, NM.

29. **ATTORNEYS' FEES.** In any action or proceeding brought by either party under this Lease, the prevailing party shall be entitled to recover from the unsuccessful party its attorney's fees and costs, in such amount as the court may adjudge reasonable.

30. **ACT OF GOD OR FORCE MAJEURE.** Except for Lessee's continuing obligation to pay the rent identified herein, either party shall not be required to perform any covenant or obligation under this Lease, or be liable for damages to the other, so long as the performance or nonperformance of the covenant or obligation is delayed, caused or provided by an act of God or force majeure. For purposes of this Lease, an "act of God" or "force majeure" is defined as strikes, lockouts, sitdowns, material or labor restrictions by an governmental authority, unusual transportation delays, riots, floods, washouts, explosions, earthquakes, fire, storms, weather (including wet grounds, hurricanes, tornados or inclement weather which prevents construction), acts of public enemy, wars, insurrections, and/or any other cause not reasonably within the control of such party or which by the exercise of due diligence such party is unable wholly or in part, to prevent or overcome.

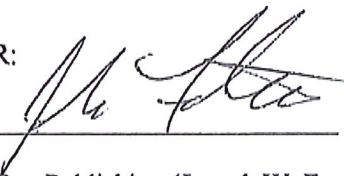


all of its covenants and obligations contained in or derived from this Lease arising out of any act, occurrence or omission occurring after consummation of such sale; and the purchaser, at such sale or any subsequent sale of the Premises shall be deemed, without any further agreement between the parties or their successors in interest or between the parties and any such purchaser, to have assumed and agreed to carry out any and all of the covenants and obligations of the Lessor under this Lease.

32. **AUTHORITY.** The undersigned individuals executing this Lease on behalf of the Lessee and Lessor if such party is a corporation, partnership, trust or other entity, hereby individually represents and warrants to the other party that such individual has full power and authority to bind such entity to the terms and provisions of this Lease and has obtained all necessary approvals and consents to sign this Lease on behalf of such entity.

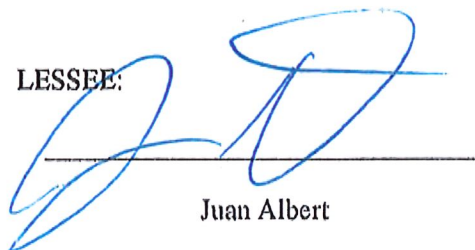
IN WITNESS WHEREOF, the Lessor and Lessee have caused this lease to be executed and sealed, this 15<sup>th</sup> day of APRIL 2021

LESSOR:




PsyConOps Publishing (Joseph W. Foster)

LESSEE:



Juan Albert



Gonzalez Astorga  
Claudia Astorga Gonzalez







## BOARD ACTION FORM

### AGENDA DATE

**PZHAC:** March 20, 2023

**BOT:** April 10, 2023

**ITEM:** PZHAC CASE #061535 – 2590 Calle de Colon, submitted by Daniel Bustamantes to build a 15 x 30-foot pool on property. Zone: **Historical Residential (HR)**

**BACKGROUND AND ANALYSIS:** Applicant is looking for approval to build a pool at his residence. He has hired DWP construction company to do all the work. Applicant has also gotten letter of approval from El Paso Electric.

### IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- Applicant second attempt for approval. Has submitted pool plans as requested

### ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

### DEPARTMENT COMMENTS:

- Engineer drawings of pool and spa, to include plumbing and electrical plans, stamped and signed
- Detail drawings of perimeter barrier around pool to include measurements and gate/latch specs
- If using motorized cover, drawings as well

### SUPPORTING INFORMATION:

- Application
- El Paso Electric Approval Letter
- FEMA floor record/map
- Site Plan of pool location in backyard
- Supplemental docs on water pump and submersible light specs
- Construction License and NM ID

RECEIVED  
2/13/23  
[Signature]

TOWN OF MESILLA  
ZONING APPROVAL



PAID

OFFICIAL USE ONLY:

Use # \_\_\_\_\_  
Fee \$ 815.00  
100.50  
\$915.50

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061555 ZONE: HK CODE: 51 APPLICATION DATE: \_\_\_\_\_

DANIEL BUSTAMANTES 575-635-1549  
Name of Property Owner Property Owner's Telephone Number

2590 CALLE DE COLON  
Property Owner's Mailing Address City State Zip Code

Property Owner's E-mail Address  
MANUEL DAVID PADILLA  
Contractor's Name & Address (If none, indicate Self)

505-303-2415 \_\_\_\_\_ 406950  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2590 CALLE DE COLON

Description of Proposed Work: INSTALL 15X30 CONCRET POOL & SPA

\$65,000 \_\_\_\_\_ Manuel Padilla \_\_\_\_\_ 2/14/23  
Estimated Cost Signature of Applicant Date

Signature of property owner: Daniel Bustamantes

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED:  YES \_\_\_ NO BOT APPROVAL REQUIRED:  YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

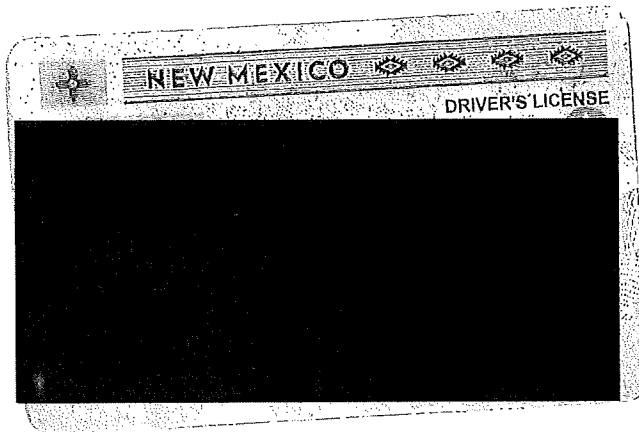
CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1.  Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2.  Site Plan with dimensions and details.
3.  Foundation plan with details.
4. \_\_\_\_\_ Floor plan showing rooms, their uses and dimensions.
5. \_\_\_\_\_ Cross section of walls
6. \_\_\_\_\_ Roof and floor framing plan
8. \_\_\_\_\_ Proof of legal access to the property.
9. \_\_\_\_\_ Drainage plan.
10. \_\_\_\_\_ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. \_\_\_\_\_ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12.  Proof of legal access to the property.
13.  Other information as necessary or required by the City Code or Community Development Department (See other side.)





**STATE OF NEW MEXICO**  
CONSTRUCTION INDUSTRIES DIVISION

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**D W P CONSTRUCTION**  
LICENSE NUMBER  
[REDACTED]

Qualifying Party(S)  
PADILLA MANUEL

EXPIRES  
**06/30/2025**

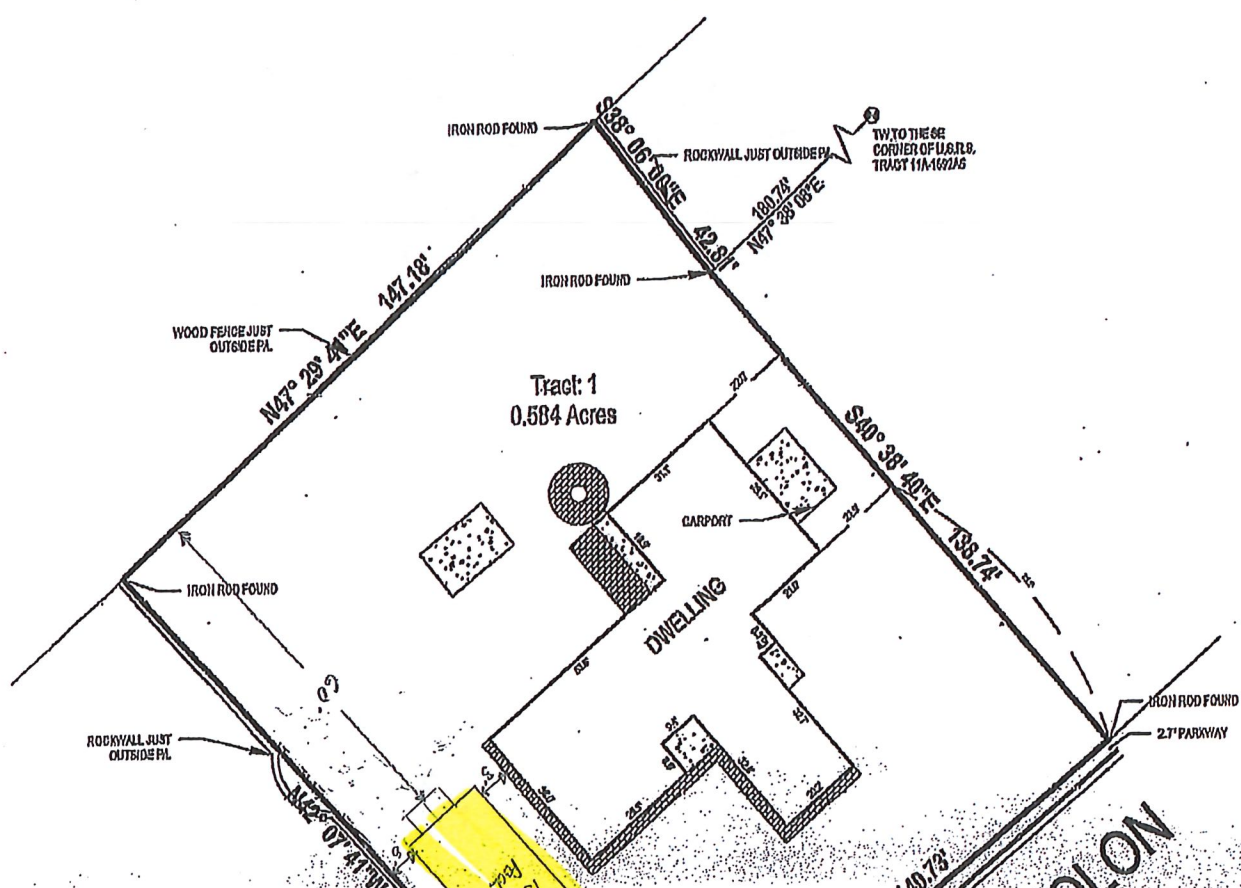
CLASSIFICATION(S)  
GB02

*Clara D. Co.*  
DIRECTOR

This card is the property of the CD and shall be surrendered upon demand



A&B  
MMS



**EL PASO ELECTRIC COMPANY**

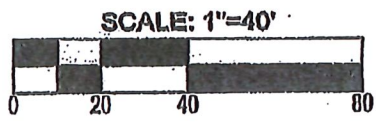
Swimming pool approved with respect to minimum horizontal clearance of electric lines.

Approved by: *[Signature]*

Date: 01-06-23

2590 CALLE DE COLON

NOTES:  
 FLOOD ZONE "X"; AREA DETERMINED TO BE WITHIN 0.2% ANNUAL CHANCE FLOOD HAZARD AS PER MAP NO. 35013C1093 G, REVISED JULY 6, 2016.



FIELD NOTES BY MOY SURVEYING INC., LICENSE #18078.  
 ALL CORNERS SET ARE 1/2" IRON RODS WITH 1" PLASTIC

PROPERTY OWNER:  
 PROPERTY LOCATION: MESILLA



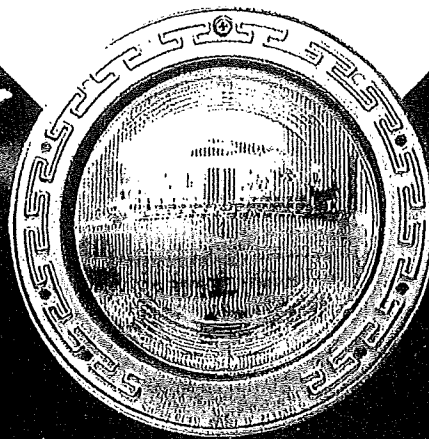


INTELLIBRITE® 5G

# INTELLIBRITE® 5G

UNDERWATER LED LIGHTS

The most efficient underwater LED lighting available.



PENTAIR.COM

eco select

TRADEGRADE

Standard light shows



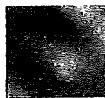
**SAm Mode:**  
Cycles through the color spectrum of the SAm Light



**Party Mode:**  
Rapid color changing builds energy and excitement



**Romance Mode:**  
Slow transition for a mesmerizing and calming routine



**California Sunset Mode:**  
Dramatic transitions of orange, red and magenta tones



**American Mode:**  
Patriotic red, white and blue transition



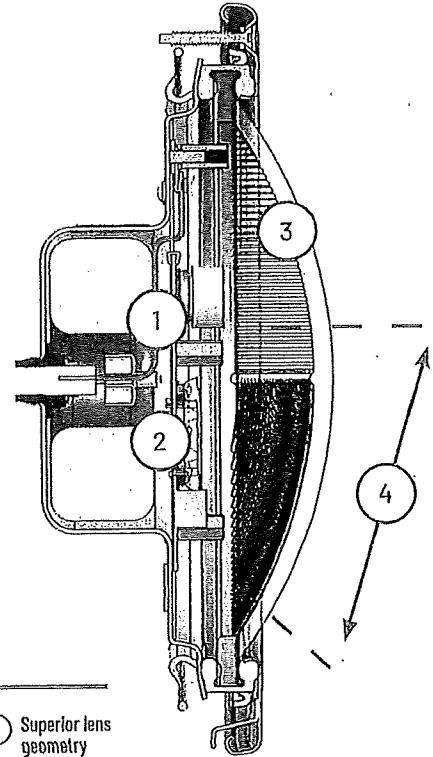
**Caribbean Mode:**  
Transitions between a variety of blues and greens



**Royal Mode:**  
Cycle that selects only rich, deep tones of color

**BETTER LIGHT DISPERSION.**

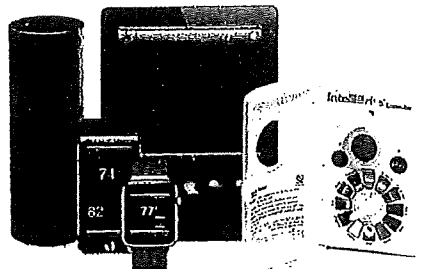
The innovative lens geometry and reflector design of the IntelliBrite 5g Lights provide a choice in positioning based on a pool's shape and layout. The default wide mode is used for lights in the side of pools, while the narrow mode is used for lighting under diving boards and can illuminate the length of the pool. Plus, the IntelliBrite 5g's light beam distribution eliminates "hot spots" and glare.

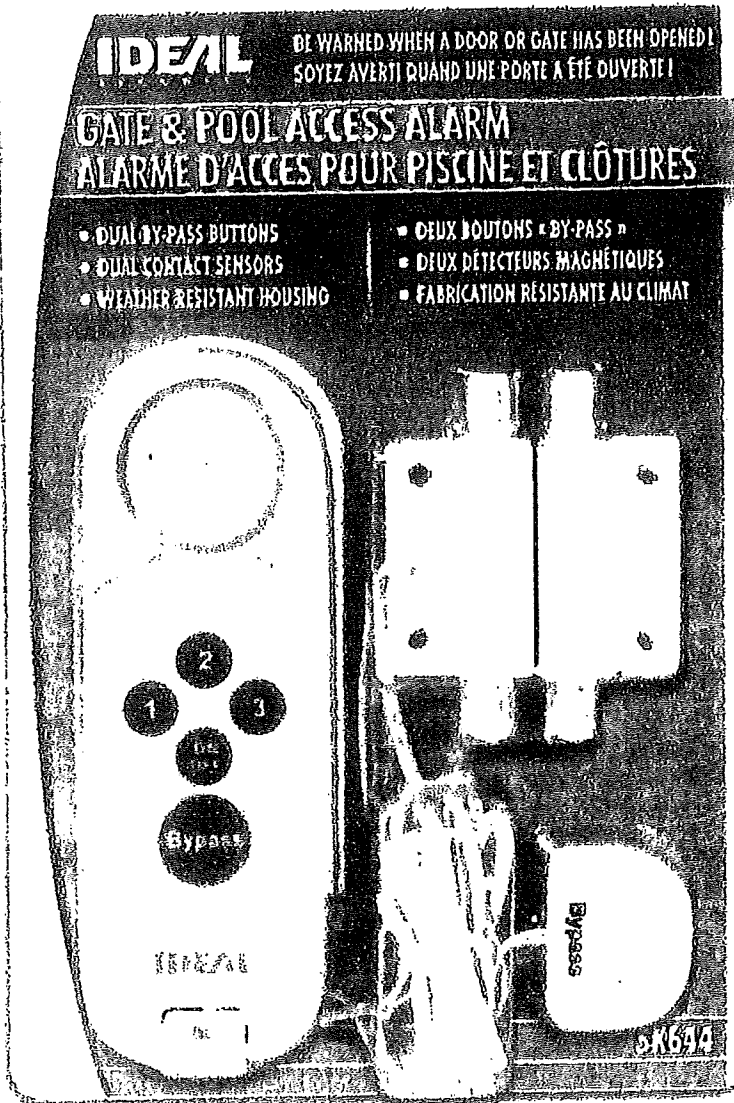


1 Reflector 2 LED lights 3 Light beam distribution 4 Superior lens geometry

**SYNCHRONIZES SEAMLESSLY WITH CONTROL SYSTEMS.**

IntelliBrite 5g Lights easily pair with Pentair Control Systems for superior pool, spa and poolscape equipment automation. In addition, the IntelliBrite Controller offers pool and spa owners without an automation system fast and easy switching to their favorite color modes.





*access gates to pool will be self closing & lockable*



# FNS PLUS FIBERGLASS D.E. FILTER

## THE FILTER THAT DELIVERS CRYSTAL CLARITY

When you want the most crystal clear water in your pool, you need a D.E. filter. Because the "diamonds" (D.E. media) in this filter are made of diatomaceous earth, they are naturally sharp and effective. They catch and hold dirt particles so small that you can't see them with the naked eye.

That's why D.E. filters work so well. Water passes through a series of D.E. media layers, and as it flows, the sharp edges of the D.E. media catch and hold dirt particles. As a result, the water that comes through the filter is crystal clear. You'll see the difference in your pool water.



FNS PLUS filters are made of fiberglass, so they're strong and durable. They can handle up to 100 lbs. of water pressure. And they're easy to install. They fit into most standard filter housings. So you can get the most out of your pool's filtration system.

And they're easy to clean. You can backwash them with water. Or you can use a special cleaning solution. So you can keep your pool water crystal clear all year long.

- Easy to install and maintain. Fits into most standard filter housings.
- Long-lasting. Made of fiberglass, so they're strong and durable.
- Easy to clean. You can backwash them with water. Or you can use a special cleaning solution.
- Easy to use. You can backwash them with water. Or you can use a special cleaning solution.



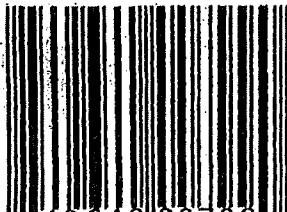
CMP Galaxy 8" VGB Cove

\$24.99



4905

25531-000-000



8 49640 00799 0

# Gunite Pool Main Drain Frame and 8in Galaxy Lid (Anti-Vortex) White

Proposition 65 Warning

WARNING: Cancer and Reproductive Harm.  
AVERTISSEMENT: Peut Causer le Cancer et des  
Dommages au Système Reproducteur.  
ADVERTENCIA: Cáncer y Daño Reproductivo  
[www.P65Warnings.ca.gov](http://www.P65Warnings.ca.gov)

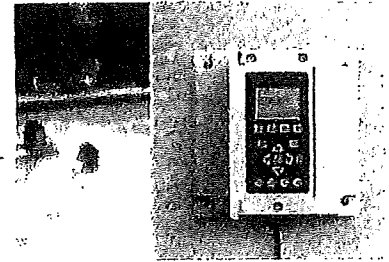
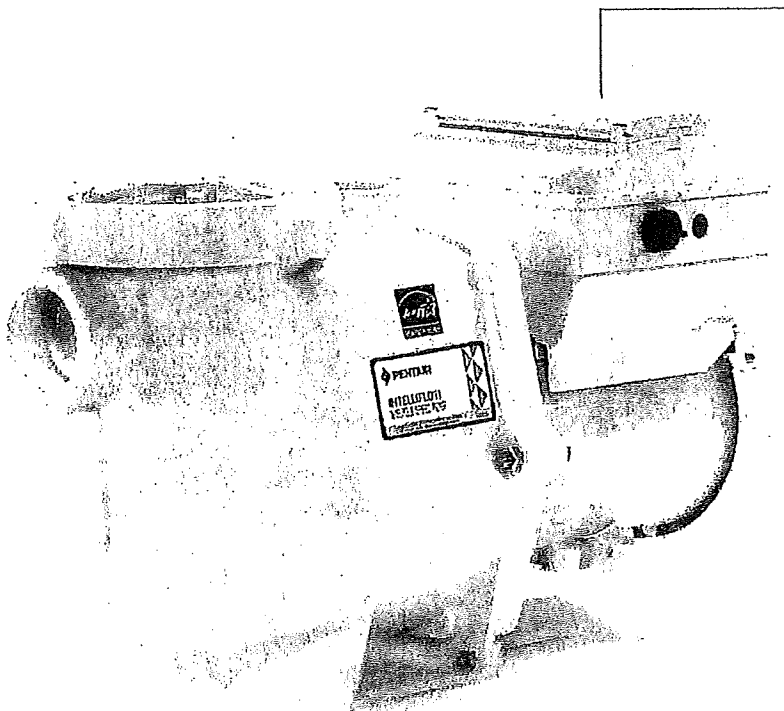
WWW.CMP.COM

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## INTELLIFLO® PUMPS ARE INSTALLED IN MORE POOLS WORLDWIDE THAN ANY OTHER VARIABLE SPEED PUMP.

Reliability and savings, that's why pool builders, retailers and service professionals count on Pentair.



The keypad is rotatable for easy access and has an optional wall mount kit (356804Z) that's sold separately.

i1

### THE WORLD'S MOST POPULAR VARIABLE SPEED PUMP IS ALSO MORE VERSATILE.

If your pool is in an area that restricts the rate of flow on replacement pumps, the IntelliFlo i1 Pump may be your ideal choice. Its hydraulic design reduces flow rates while providing the significant energy savings you'd expect from a Pentair variable speed pump. The i1 pump also has a maximum rating of 7 amps, which helps make retrofits easier in applications that are limited by existing wire gauge size. Plus, it's just as quiet and reliable as ever.

i2

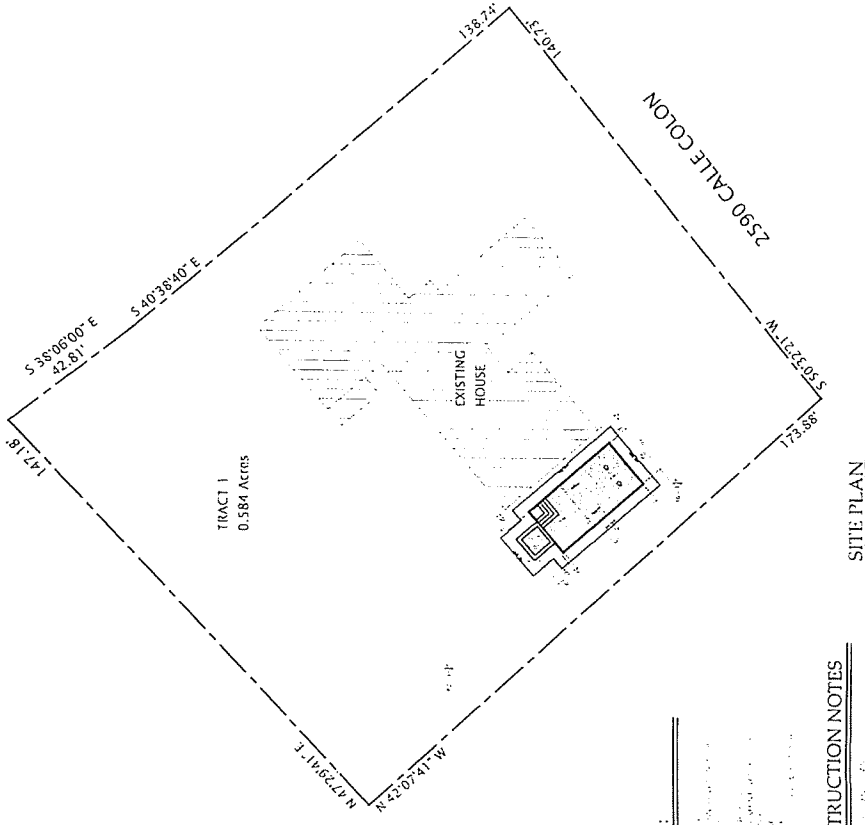
### THE PUMP GIVES YOU ALL THE FEATURES YOU WANT AND THE SMARTER CHOICES YOU NEED.

The IntelliFlo i2 pump provides all the great features that have made our flagship IntelliFlo pumps the best-selling industry standard. But, the IntelliFlo i2 pump is hydraulically engineered to provide maximum performance on a 15-amp breaker. It has a maximum rating of 11.8 amps, which makes retrofits easier in applications that are limited by existing wire gauge size. Energy efficient, automation ready and technologically advanced—now that's a smart choice.





DATE	1.1.2023
DRAWN BY	UNAPPROVED
PROJECT NAME	BUSTAMANTE RESIDENCE
PROJECT NO.	2590 CALLE DE COLON
PROFESSIONAL SEAL	
SHEET TITLE	30'x15' POOL
SHEET NO.	1 OF 1

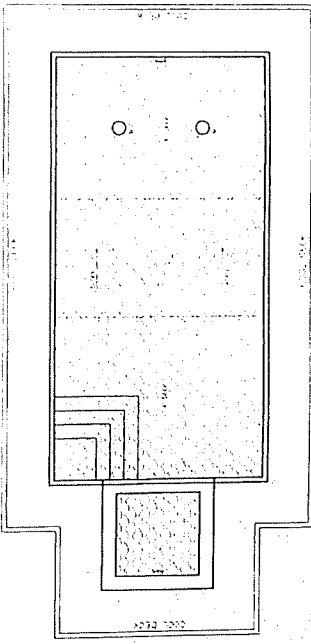
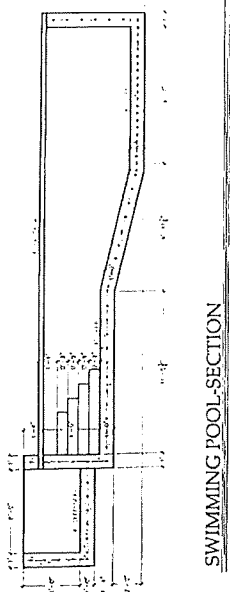
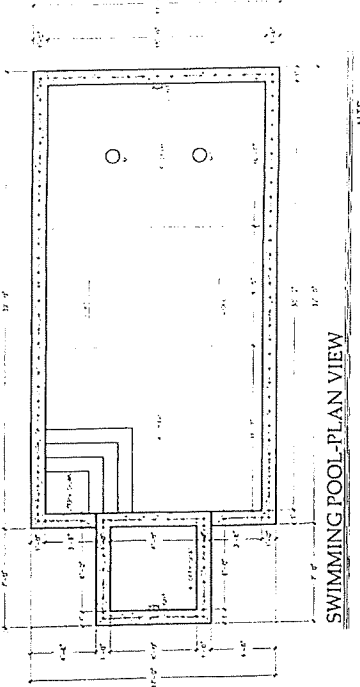


SITE PLAN  
1/16"=1'

CODE DATA:

POOL CONSTRUCTION NOTES

GENERAL NOTES



2590 CALLE DE COLON  
MESILLA, NM 88046  
DWP Construction, LLC  
Contact: Manuel Padilla  
Phone: 505-303-2415  
Lic# 408950

## Community Projects Report

Project	Description
Current Contact information	Dorothy Sellers Email: <a href="mailto:DorothyS@mesillanm.gov">DorothyS@mesillanm.gov</a> Work: 575-524-3262 Cell:575-571-3890
Promote Mesilla and area businesses	Have begun attending Experience Mesilla meetings in order to help bridge gaps and work together to better Mesilla. Hosting meeting at Town Hall in April.
Visitors Guide	Work has begun on the 2023 Visitors Guide. Planned distribution is April 2023. We are adjusting the guide to make it more cost effective for the town without losing quality.
Social Media and website	New website has gone live. It has been triple checked but if changes are needed or noticed please let me know so I can adjust.
Mercado	Mercado continues to be successful. Have back up applicants ready to fill positions. Looking to add alternate vendors to fill empty spaces. Background checks will be done on all existing and incoming vendors. Orientations have been completed and a successful new season is in the works.
Clean & Beautiful Grant	First cleanup day was a success. Looking for two more organizations to hold two more clean up days end of April.  Dumpster days are scheduled for April 13 <sup>th</sup> – 24 <sup>th</sup> at Town Hall  New Application is open and I am currently working on the application. Any suggestions please contact me ASAP..
NM Tourism Grant	Application is live and I am currently applying for the FY24 cycle
Lodgers Tax Committee	I have 3 volunteers and am to begin meetings end of April.

<p>Cinco de Mayo</p>	<p>All entertainment is set for this years fiesta.</p> <p>All vendor booths have been sold.</p>
<p>Summer Recreation</p>	<p>Submitting application to El Paso Electric for the 2023 Gloria Garza Summer Rec Program. Was told the application will be released soon. A definite date has not been announced.</p> <p>Job has been posted.</p> <p>Application for Students will began in May.</p>
<p>Informational Signs</p>	<p>Information signs found at Town Hall, Plaza and Parking on Calle de Medanos is being updated and refreshed.</p> <p>Plaza is complete. The other two are in process.</p>
<p>Summer Music Series</p>	<p>Search for talent for Summer Series has begun.</p>



## Board of Trustees Report Month of March 2023

For the month of March, Mesilla Fire Department had a change of command with the selection of the new Fire Chief. A department meeting was held on the 30<sup>th</sup> to discuss the changes and expectations, which Mayor Barraza attended and spoke to the firefighters. Right now, morale is on an upswing, with increasing attendance and engagement.

We are recruiting for our upcoming Fire Cadet Academy 2023-17, which will begin on May 27. Please share the information with any interested parties. Applications are available at the Fire Station and through the department Facebook page.

The primary focus of the staff for the last 2 weeks has been the budget. We are making progress, gaining access to accounts and information so we can make educated decisions on where best to spend our resources.

The Department report attached is a summary report that outlines our activities for the last month in a clear, concise format. If the Board would like more information we would be happy to provide what we are legally allowed to share.

Respectfully,  
Greg Whited  
Fire Chief.

# Mesilla Fire Department

Mesilla, NM



## Incident Statistics

Zone(s): All Zones | Start Date: 03/01/2023 | End Date: 03/31/2023

**Total volunteer hours**                      **810 at \$12.50/hr**                      **\$10,125**

INCIDENT COUNT		
INCIDENT TYPE	# INCIDENTS	
EMS	22	
FIRE	9	
<b>TOTAL</b>	<b>31</b>	
1 patient transport out of 13 patients		
MUTUAL AID		
Aid Type	Total	
Aid Given	4	
Aid Received	2	
OVERLAPPING CALLS		
# OVERLAPPING	% OVERLAPPING	
2	6.45	
LIGHTS AND SIREN - AVERAGE RESPONSE TIME (Dispatch to Arrival)		
Station	EMS	FIRE
Mesilla Fire Main Station 31	0:08:57	0:11:42
<b>AVERAGE FOR ALL CALLS</b>		<b>0:09:06</b>
LIGHTS AND SIREN - AVERAGE TURNOUT TIME (Dispatch to Enroute)		
Station	EMS	FIRE
Mesilla Fire Main Station 31	0:01:01	0:05:36
<b>AVERAGE FOR ALL CALLS</b>		<b>0:01:53</b>
AGENCY	AVERAGE TIME ON SCENE (MM:SS)	
Mesilla Fire Department	61:16	

Only Reviewed Incidents included. EMS for Incident counts includes only 300 to 399 Incident Types. All other incident types are counted as FIRE. CO Checks only includes Incident Types: 424, 736 and 734. # Apparatus Transports = # of incide



# MESILLA MARSHAL DEPARTMENT

P.O. BOX 10 MESILLA, NM 88046 PHONE 575-526-4138 FAX 575-652-3776

To: Honorable Mayor and Mesilla Board of Trustees

This is the Monthly Report for March 2023, for the Mesilla Marshal's Department:

911 hang ups	3	Foot patrol	4
Abandoned Vehicles	2	Found property	2
Agency assist	13	Forgery/fraud	3
ACO calls	10	Frequent patrol	43
Assaults	3	Harassment	2
Auto burglary	2	Illegal dumping	0
Behavioral Issues	3	Illegally parked vehicle	2
BOLO	1	Incorrigible Child	1
Building Check	3	Information report	12
Burglary	5	Lock Out	1
Burglary alarm	11	Lost Property	1
Child Abuse	1	Missing person	0
Codes	15	Motor Vehicle Crashes	6
CPR	2	Narcotics/ Illegal Drugs	1
Custody Disputes	2	Out with subject	4
Death	1	Overdose	2
Disturbances	21	Phone call	5
DWI	1	Prisoner Transport	9
Fire Structure	2		

Public assist	5
Runaway	1
Reckless driver	0
Suicidal Subject	1
Shots fired	0
Supplement	4
Suspicious activity	25
Theft/larceny	1

Thank you,

Enrique Salas,  
Marshal

Threats	0
Traffic stops	90
Vandalism	3
Warrant service	1
<u>Welfare Check</u>	<u>7</u>

**Total # of calls for service 339**





# Memorandum

**To:** Mayor and Trustees

**From:** Gloria S Maya  
Town Clerk-Treasurer

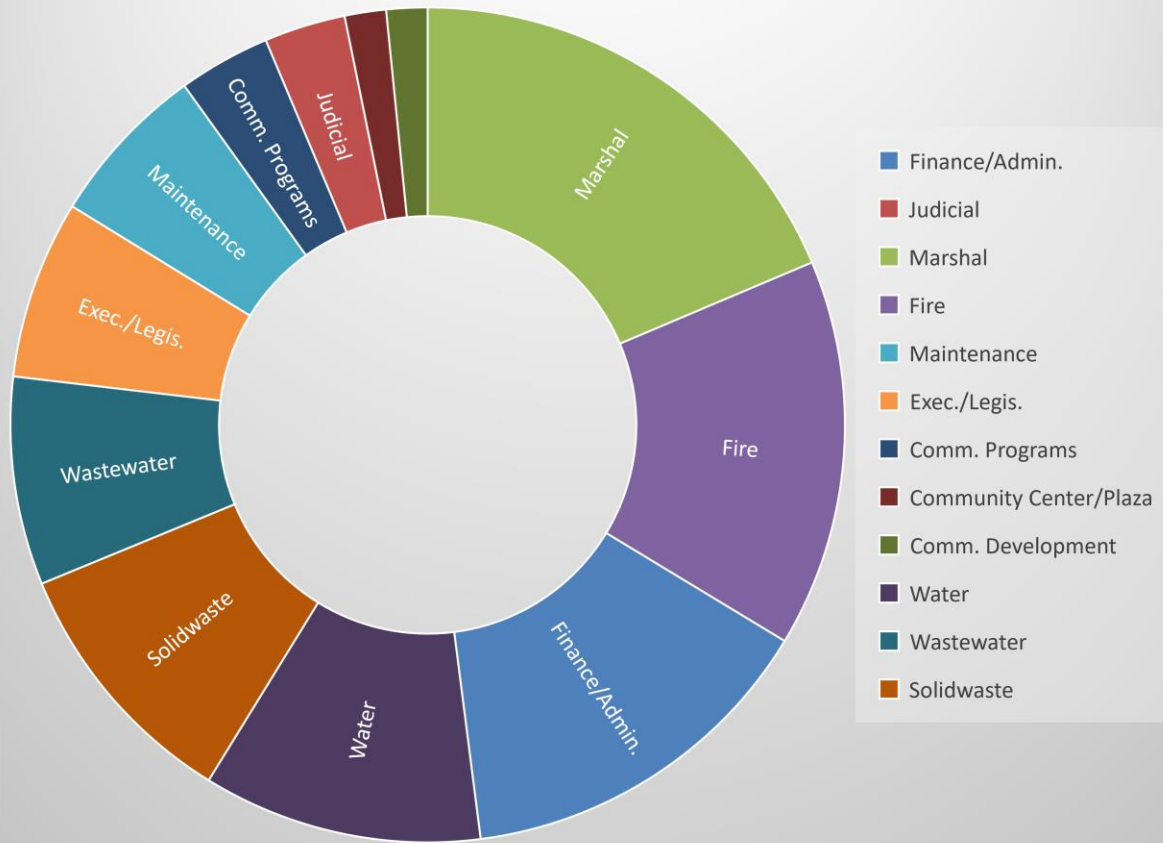
**RE:** Monthly Finance Report

Listed below is a review of department and fund expenditures for: Mar-23  
General Fund should be at: 33% spending

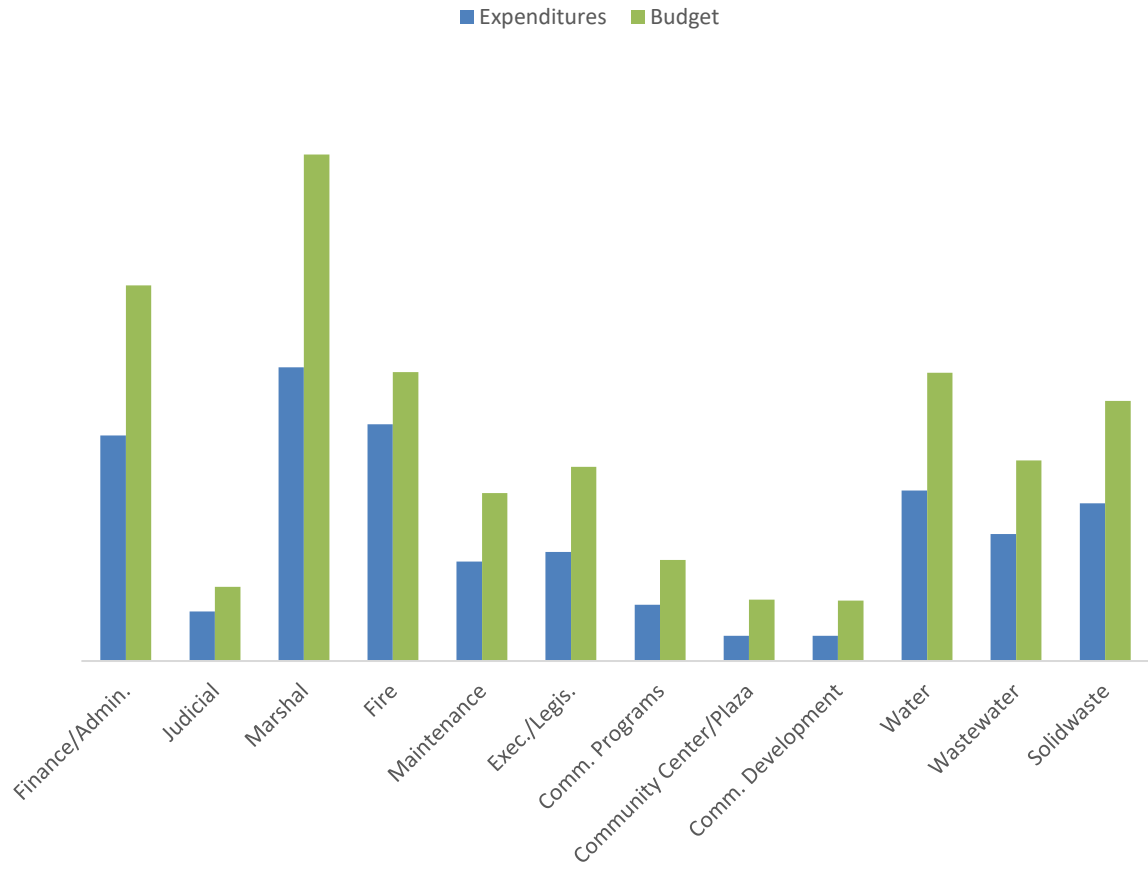
**EXPENDITURES ARE HIGHER DUE TO 1ST HALF OF INSURANCES BEING DUE IN JULY**

YTD EXPENDITURES	%Exp.	\$ Money YTD	Mo.%	YTD % over/under	Approved Budget
Finance/Admin.	60.26%	\$266,696	100.00%	-39.74%	\$ 444,235
Judicial	66.99%	\$58,659	100.00%	-33.01%	\$ 87,566
Marshal	58.41%	\$347,258	100.00%	-41.59%	\$ 598,975
Fire	81.92%	\$279,989	100.00%	-18.08%	\$ 341,795
Maintenance	59.35%	\$117,781	100.00%	-40.65%	\$ 198,451
Exec./Legis.	56.05%	\$128,809	100.00%	-43.95%	\$ 229,814
Comm. Programs	55.68%	\$66,474	100.00%	-44.32%	\$ 119,394
Community Center/Plaza	41.26%	\$29,893	100.00%	-58.74%	\$ 72,442
Comm. Development	41.49%	\$29,688	100.00%	-58.51%	\$ 71,561
<b>General Fund</b>	<b>83.10%</b>	<b>\$1,325,246</b>	<b>100.00%</b>	<b>-16.90%</b>	<b>\$ 1,594,794</b>
Water	62.15%	\$201,672	100.00%	-37.85%	\$ 340,723
Wastewater	66.00%	\$150,284	100.00%	-34.00%	\$ 237,314
Solidwaste	61.94%	\$186,334	100.00%	-38.06%	\$ 307,719
<b>Enterprise Fund</b>	<b>57.28%</b>	<b>\$538,290</b>	<b>100.00%</b>	<b>-42.72%</b>	<b>\$ 939,756</b>

# EXPENDITURES



# EXPENDITURES VS BUDGET

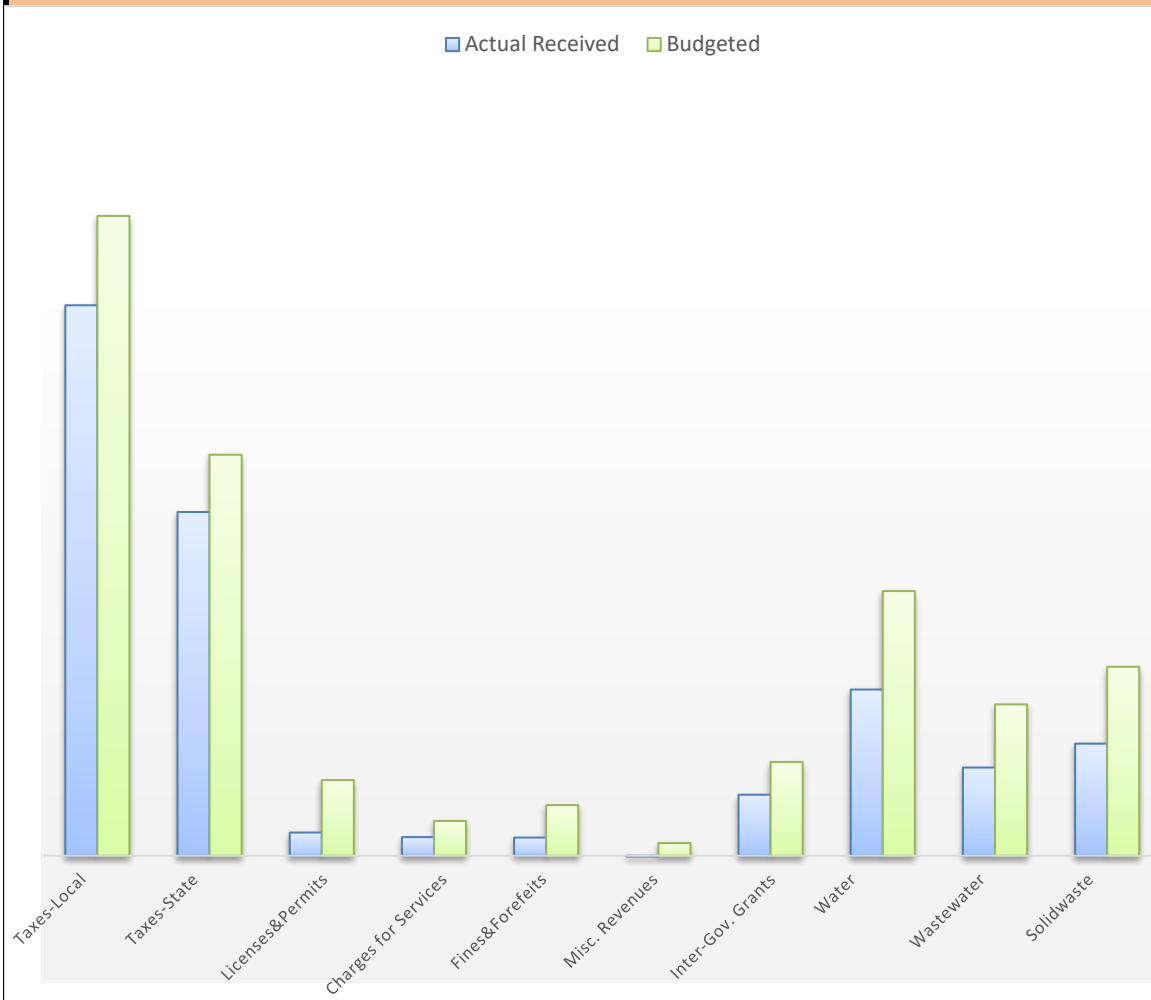


Please request the INCODE report for detail revenues and expenses by fund.

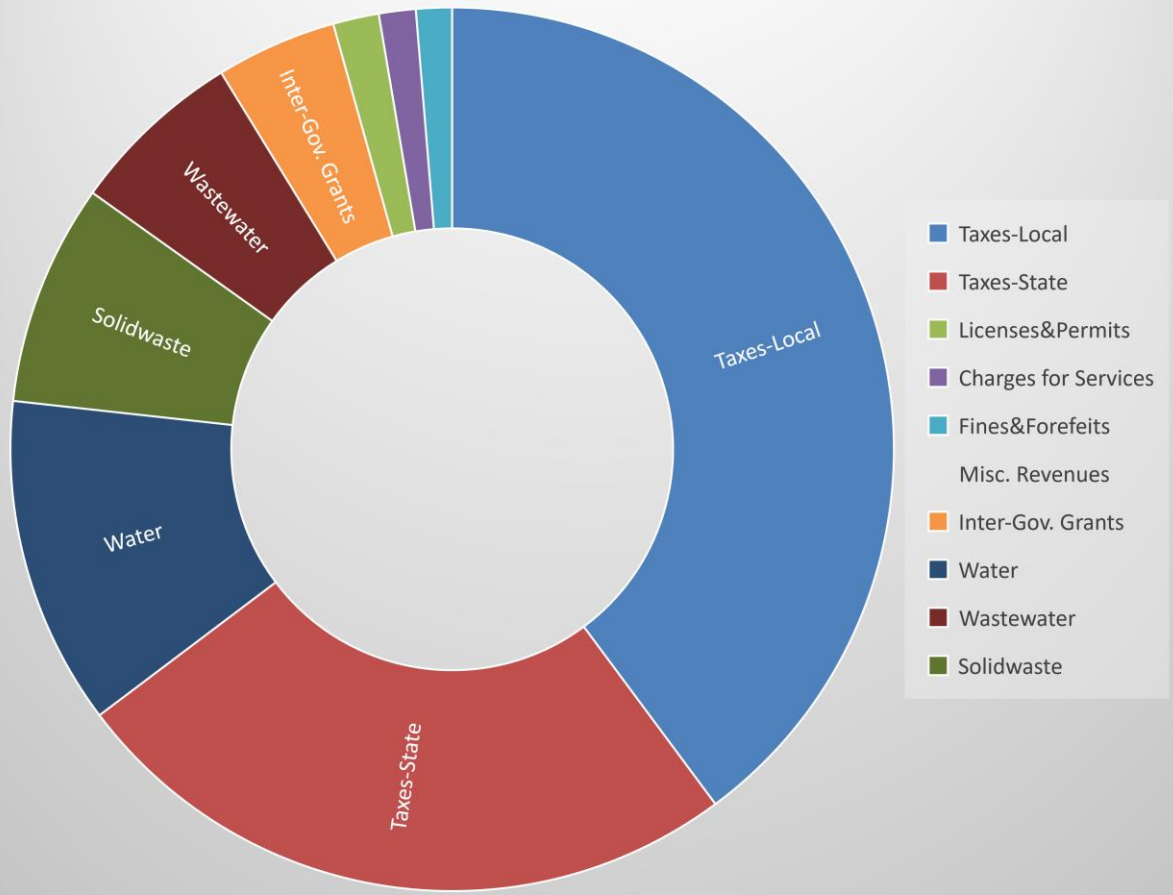
REVENUE					
YTD REVENUES	% Rec.	YTD Money \$	% Est.	YTD % over/under	AMOUNT BUDGETED
Taxes-Local	86.04%	\$869,903	100.00%	-13.96%	\$1,011,111
Taxes-State	85.73%	\$543,248	100.00%	-14.27%	\$633,700
Licenses&Permits	30.67%	\$36,683	100.00%	-69.33%	\$119,600
Charges for Service	53.45%	\$29,395	100.00%	-46.55%	\$55,000
Fines&Forefeits	35.92%	\$28,738	100.00%	-64.08%	\$80,000
Misc. Revenues	-6.62%	-\$1,324	100.00%	-106.62%	\$20,000
Inter-Gov. Grants	65.05%	\$96,448	100.00%	-34.95%	\$148,274
<b>General Fund</b>	<b>98.65%</b>	<b>\$1,603,093</b>	<b>100.00%</b>	<b>-1.35%</b>	<b>\$1,624,957</b>
Water	62.00%	\$262,688	100.00%	-38.00%	\$ 418,285
Wastewater	58.26%	\$139,378	100.00%	-41.74%	\$ 239,220
Solidwaste	59.32%	\$177,136	100.00%	-40.68%	\$ 298,617
<b>Enterprise Fund</b>	<b>60.58%</b>	<b>\$579,202</b>	<b>100.00%</b>	<b>-39.42%</b>	<b>\$956,122</b>

# REVENUES VS BUDGET

Actual Received Budgeted

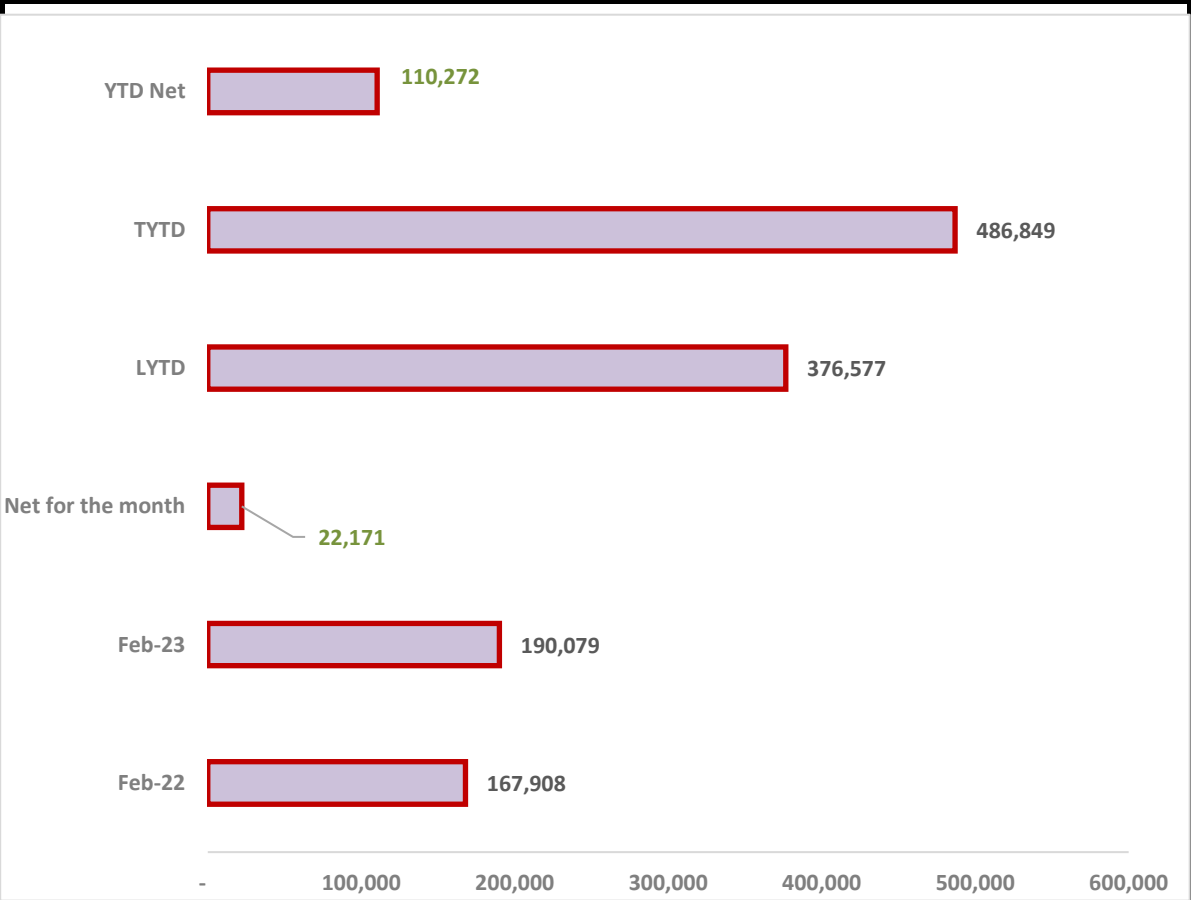


# REVENUES



## GRT COMPARISONS

Feb-22	Feb-23	Net for the month	LYTD	TYTD	YTD Net
167,908	190,079	22,171	376,577	486,849	110,272



Business GRT in August 2021			
Percentage over last FY	13%	Percentage over last FYTD	29%

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

10 -GENERAL FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		TAXES - LOCAL	1,011,000.00	124.25	0.00	967,737.70	0.00	43,262.30	95.72
		TAXES - STATE	633,700.00	0.00	0.00	612,140.62	0.00	21,559.38	96.60
		LICENSES & PERMITS	119,600.00	488.50	0.00	46,568.16	0.00	73,031.84	38.94
		CHARGES FOR SERVICES	55,000.00	1,948.34	0.00	35,769.92	0.00	19,230.08	65.04
		FINES & FORFEITS	80,000.00	832.00	0.00	35,513.41	0.00	44,486.59	44.39
		MISCELLANEOUS REVENUES	20,000.00	0.00	0.00	6,129.08	0.00	13,870.92	30.65
		INTER-GOV/GRANTS	148,274.00	0.00	0.00	96,448.23	0.00	51,825.77	65.05
		TOTAL REVENUES	<u>2,067,574.00</u>	<u>3,393.09</u>	<u>0.00</u>	<u>1,800,307.12</u>	<u>0.00</u>	<u>267,266.88</u>	<u>0.00</u>
EXPENDITURE SUMMARY									
		FINANCE	444,235.00	10,130.53	0.00	297,001.97	1,000.00	146,233.03	67.08
		COURT	87,566.00	2,684.27	0.00	64,832.16	0.00	22,733.84	74.04
		MARSHAL	598,975.00	20,881.82	0.00	393,942.02	9,084.01	195,948.97	67.29
		FIRE	341,795.00	825.34	0.00	281,313.99	0.00	60,481.01	82.30
		MAINTENANCE	198,451.00	3,605.31	0.00	126,768.76	0.00	71,682.24	63.88
		EXECUTIVE/LEGISLATIVE	229,814.00	2,832.20	0.00	149,378.83	0.00	80,435.17	65.00
		COMMUNITY PROGRAMS	119,394.00	2,369.59	0.00	75,941.74	0.00	43,452.26	63.61
		COMM CNTR/PLAZA	72,442.00	880.98	0.00	40,388.24	0.00	32,053.76	55.75
		COMMUNITY DEVELOPMENT	71,561.00	2,028.49	0.00	35,791.29	0.00	35,769.71	50.02
		TOTAL EXPENDITURES	<u>2,164,233.00</u>	<u>46,238.53</u>	<u>0.00</u>	<u>1,465,359.00</u>	<u>10,084.01</u>	<u>688,789.99</u>	<u>68.17</u>
		EXCESS REVENUES/EXPENDITURES	( 96,659.00)	( 42,845.44)	0.00	334,948.12	( 10,084.01)	( 421,523.11)	336.09-
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	73,067.00	0.00	0.00	36,422.00	0.00	36,645.00	49.85
		NET TRANSFERS	( 73,067.00)	0.00	0.00	( 36,422.00)	0.00	( 36,645.00)	49.85
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	( 169,726.00)	( 42,845.44)	0.00	298,526.12	( 10,084.01)	( 458,168.11)	169.95-



TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

10 -GENERAL FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
TAXES - LOCAL									
	10-41002	FRANCHISE TAX	75,000.00	124.25	0.00	66,742.93	0.00	8,257.07	88.99
	10-41030	INFRASTRUCTURE	40,000.00	0.00	0.00	860.55	0.00	39,139.45	2.15
	10-41050	MUN.GROSS REC. TAX 48%	800,000.00	0.00	0.00	832,195.90	0.00	(32,195.90)	104.02
	10-41060	PROPERTY TAX	96,000.00	0.00	0.00	67,938.32	0.00	28,061.68	70.77
		TOTAL TAXES - LOCAL	1,011,000.00	124.25	0.00	967,737.70	0.00	43,262.30	95.72
TAXES - STATE									
	10-42020	CIGARETTE TAX .02	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	10-42050	STATE GROSS REC.1.225-48%	600,000.00	0.00	0.00	600,338.05	0.00	(338.05)	100.06
	10-42060	EQUIVALENT COMPENSATING TAX	3,500.00	0.00	0.00	0.00	0.00	3,500.00	0.00
	10-42070	INTERSTATE TELECOM	200.00	0.00	0.00	177.82	0.00	22.18	88.91
	10-42080	AUTO LIC DIST/REG/ALL CITIES	15,000.00	0.00	0.00	11,624.75	0.00	3,375.25	77.50
	10-42090	INTERNET SALES TAXES	15,000.00	0.00	0.00	0.00	0.00	15,000.00	0.00
		TOTAL TAXES - STATE	633,700.00	0.00	0.00	612,140.62	0.00	21,559.38	96.60
LICENSES & PERMITS									
	10-43010	BUILDING PERMITS	60,000.00	338.50	0.00	34,331.40	0.00	25,668.60	57.22
	10-43020	BUSINESS LICENSES	15,000.00	150.00	0.00	7,930.00	0.00	7,070.00	52.87
	10-43030	LIQUOR LICENSES	4,500.00	0.00	0.00	2,020.00	0.00	2,480.00	44.89
	10-43060	OTHER PERMITS	40,000.00	0.00	0.00	2,286.76	0.00	37,713.24	5.72
	10-43100	ANIMAL CONTROL LICENSES	100.00	0.00	0.00	0.00	0.00	100.00	0.00
		TOTAL LICENSES & PERMITS	119,600.00	488.50	0.00	46,568.16	0.00	73,031.84	38.94
CHARGES FOR SERVICES									
	10-44010	OTHER ADMINISTRATIVE FEES	15,000.00	0.00	0.00	5,500.00	0.00	9,500.00	36.67
	10-44070	COMM CENTER/PLAZA RENTALS	40,000.00	1,948.34	0.00	30,269.92	0.00	9,730.08	75.67
		TOTAL CHARGES FOR SERVICES	55,000.00	1,948.34	0.00	35,769.92	0.00	19,230.08	65.04
FINES & FORFEITS									
	10-45020	COURT FINES	80,000.00	832.00	0.00	35,513.41	0.00	44,486.59	44.39
		TOTAL FINES & FORFEITS	80,000.00	832.00	0.00	35,513.41	0.00	44,486.59	44.39
MISCELLANEOUS REVENUES									
	10-46030	INTEREST	1,000.00	0.00	0.00	2,801.55	0.00	(1,801.55)	280.16
	10-46040	DWI SEIZURE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	10-46050	RESTITUTION	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	10-46060	REFUNDS/REIMBURSEMENTS	3,000.00	0.00	0.00	627.00	0.00	2,373.00	20.90
	10-46090	MISCELLANEOUS INCOME	15,000.00	0.00	0.00	2,549.86	0.00	12,450.14	17.00
	10-46095	VISITOR CENTER REVENUES	1,000.00	0.00	0.00	150.67	0.00	849.33	15.07
		TOTAL MISCELLANEOUS REVENUES	20,000.00	0.00	0.00	6,129.08	0.00	13,870.92	30.65



TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

10 -GENERAL FUND  
 FINANCE  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	10-501-1001	SALARIES	138,542.00	3,392.32	0.00	78,620.10	0.00	59,921.90	56.75
	10-501-1003	FICA/MEDICARE	21,197.00	247.27	0.00	5,765.61	0.00	15,431.39	27.20
	10-501-1004	PERA/ICMA	8,620.00	123.60	0.00	3,769.51	0.00	4,850.49	43.73
	10-501-1005	HEALTH & LIFE INSURANCE	14,365.00	0.00	0.00	10,698.18	0.00	3,666.82	74.47
	10-501-1006	WORKERS' COMPENSATION	1,949.00	0.00	0.00	390.68	0.00	1,558.32	20.05
	10-501-1007	UNEMPLOYMENT INSURANCE	2,972.00	0.00	0.00	0.00	0.00	2,972.00	0.00
	TOTAL PERSONNEL EXPENSES		187,645.00	3,763.19	0.00	99,244.08	0.00	88,400.92	52.89
OPERATING EXPENSES									
	10-501-2110	TRAVEL/CONF/PER DIEM	6,000.00	0.00	0.00	4,779.81	1,000.00	220.19	96.33
	10-501-2240	VEHICLE R & M	500.00	0.00	0.00	413.38	0.00	86.62	82.68
	10-501-2241	EQUIPMENT R & M	2,737.00	0.00	0.00	0.00	0.00	2,737.00	0.00
	10-501-2242	MEDICAL/DRUG ADMIN	3,650.00	0.00	0.00	0.00	0.00	3,650.00	0.00
	10-501-2305	AUDIT FEES	15,710.00	5,090.19	0.00	15,927.33	0.00 (	217.33)	101.38
	10-501-2315	PROFESSIONAL SERVICES	1,500.00	0.00	0.00	116.23	0.00	1,383.77	7.75
	10-501-2320	AGREEMENTS/CONTRACTS	145,000.00	297.94	0.00	121,025.27	0.00	23,974.73	83.47
	10-501-2405	OFFICE SUPPLIES	5,000.00	0.00	0.00	4,253.63	0.00	746.37	85.07
	10-501-2520	EMPLOYEE TRAINING	1,000.00	0.00	0.00	0.00	0.00	1,000.00	0.00
	10-501-2530	INSURANCE	16,100.00	0.00	0.00	0.00	0.00	16,100.00	0.00
	10-501-2535	POSTAGE	2,720.00	262.88	0.00	4,101.23	0.00 (	1,381.23)	150.78
	10-501-2540	PRINT/PUBLISH/ADVERTISE	4,700.00	0.00	0.00	1,147.24	0.00	3,552.76	24.41
	10-501-2570	DUES & SUBSCRIPTIONS	5,502.00	288.00	0.00	3,670.04	0.00	1,831.96	66.70
	10-501-2575	TELEPHONE	6,750.00	428.33	0.00	7,187.84	0.00 (	437.84)	106.49
	10-501-2580	UTILITIES	33,971.00	0.00	0.00	34,670.92	0.00 (	699.92)	102.06
	10-501-2585	FUEL	2,000.00	0.00	0.00	104.81	0.00	1,895.19	5.24
	10-501-2590	ELECTIONS	250.00	0.00	0.00	0.00	0.00	250.00	0.00
	10-501-2597	OTHER EXPENSES	3,500.00	0.00	0.00	360.16	0.00	3,139.84	10.29
	10-501-2599	DEPRECIATION EXPENSE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OPERATING EXPENSES		256,590.00	6,367.34	0.00	197,757.89	1,000.00	57,832.11	77.46
CAPITAL OUTLAY									
	10-501-3000	STATE INVESTMENT FUND LOS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	10-501-3050	CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL CAPITAL OUTLAY		0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL FINANCE			444,235.00	10,130.53	0.00	297,001.97	1,000.00	146,233.03	67.08

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

10 -GENERAL FUND  
 COURT  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	10-502-1001	SALARIES	50,944.00	1,920.96	0.00	38,109.96	0.00	12,834.04	74.81
	10-502-1003	FICA/MEDICARE	7,942.00	146.96	0.00	2,861.03	0.00	5,080.97	36.02
	10-502-1004	PERA/ICMA	5,144.00	197.86	0.00	3,843.11	0.00	1,300.89	74.71
	10-502-1005	HEALTH & LIFE INSURANCE	119.00	0.00	0.00	89.46	0.00	29.54	75.18
	10-502-1006	WORKERS' COMPENSATION	396.00	0.00	0.00	390.68	0.00	5.32	98.66
	10-502-1007	UNEMPLOYMENT INSURANCE	1,006.00	0.00	0.00	0.00	0.00	1,006.00	0.00
	10-502-1008	OVERTIME	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL PERSONNEL EXPENSES		65,551.00	2,265.78	0.00	45,294.24	0.00	20,256.76	69.10
OPERATING EXPENSES									
	10-502-2110	TRAVEL/CONF/TRAINING	700.00	0.00	0.00	0.00	0.00	700.00	0.00
	10-502-2241	EQUIPMENT R & M	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	10-502-2320	AGREEMENTS/CONTRACTS	7,700.00	94.50	0.00	5,479.61	0.00	2,220.39	71.16
	10-502-2403	OFFICE SUPPLIES	3,000.00	238.35	0.00	1,674.28	0.00	1,325.72	55.81
	10-502-2535	POSTAGE	1,000.00	0.00	0.00	749.55	0.00	250.45	74.96
	10-502-2570	DUES & SUBSCRIPTIONS	500.00	0.00	0.00	135.16	0.00	364.84	27.03
	10-502-2575	TELEPHONE	3,000.00	85.64	0.00	2,181.94	0.00	818.06	72.73
	10-502-2596	INDIGENT FEES	4,800.00	0.00	0.00	9,337.10	0.00	4,537.10	194.52
	10-502-2597	OTHER EXPENSES	1,315.00	0.00	0.00	19.72	0.00	1,334.72	1.50-
	TOTAL OPERATING EXPENSES		22,015.00	418.49	0.00	19,537.92	0.00	2,477.08	88.75
CAPITAL OUTLAY									
	10-502-3050	CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL CAPITAL OUTLAY		0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL COURT			87,566.00	2,684.27	0.00	64,832.16	0.00	22,733.84	74.04

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

10 -GENERAL FUND  
 MARSHAL  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	10-503-1001	SALARIES	280,925.00	12,356.28	0.00	209,581.80	0.00	71,343.20	74.60
	10-503-1003	FICA/MEDICARE	47,572.00	1,161.92	0.00	18,725.56	0.00	28,846.44	39.36
	10-503-1004	PERA/ICMA	45,650.00	2,358.40	0.00	38,897.74	0.00	6,752.26	85.21
	10-503-1005	HEALTH & LIFE INSURANCE	17,852.00	0.00	0.00	14,103.24	0.00	3,748.76	79.00
	10-503-1006	WORKERS' COMPENSATION	10,844.00	0.00	0.00	6,300.63	0.00	4,543.37	58.10
	10-503-1007	UNEMPLOYMENT INSURANCE	8,232.00	0.00	0.00	918.46	0.00	7,313.54	11.16
	10-503-1008	OVERTIME ALLOTMENT	30,000.00	3,037.95	0.00	30,177.96	0.00	(177.96)	100.59
	TOTAL PERSONNEL EXPENSES		441,075.00	18,914.55	0.00	318,705.39	0.00	122,369.61	72.26
OPERATING EXPENSES									
	10-503-2110	TRAVEL/CONF/TRAINING	10,000.00	0.00	0.00	9,498.89	920.00	(418.89)	104.19
	10-503-2240	VEHICLE R & M	24,500.00	1,324.98	0.00	13,280.95	0.00	11,219.05	54.21
	10-503-2241	EQUIPMENT R & M	10,000.00	0.00	0.00	3,916.58	0.00	6,083.42	39.17
	10-503-2320	AGREEMENTS/CONTRACTS	17,400.00	515.04	0.00	8,353.37	6,501.81	2,544.82	85.37
	10-503-2324	ANIMAL CONTROL	6,000.00	0.00	0.00	3,614.21	1,247.20	1,138.59	81.02
	10-503-2405	OFFICE SUPPLIES	1,000.00	0.00	0.00	587.74	0.00	412.26	58.77
	10-503-2420	UNIFORM ALLOWANCE	15,000.00	0.00	0.00	6,106.89	415.00	8,478.11	43.48
	10-503-2421	INTERN UNIFORMS	1,000.00	0.00	0.00	0.00	0.00	1,000.00	0.00
	10-503-2450	COMM/DISPATCH	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	10-503-2505	PETCO GRANT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	10-503-2530	INSURANCE	36,500.00	0.00	0.00	0.00	0.00	36,500.00	0.00
	10-503-2535	POSTAGE	100.00	0.00	0.00	36.72	0.00	63.28	36.72
	10-503-2540	PRINT/PUBLISH/ADVERTISE	750.00	0.00	0.00	0.00	0.00	750.00	0.00
	10-503-2570	DUES & SUBSCRIPTIONS	150.00	0.00	0.00	0.00	0.00	150.00	0.00
	10-503-2575	TELEPHONE/GPS	4,500.00	127.25	0.00	3,390.48	0.00	1,109.52	75.34
	10-503-2585	FUEL	26,000.00	0.00	0.00	21,450.80	0.00	4,549.20	82.50
	10-503-2597	DWI SEIZURES TOWING	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OPERATING EXPENSES		152,900.00	1,967.27	0.00	70,236.63	9,084.01	73,579.36	51.88
CAPITAL OUTLAY									
	10-503-3050	AMMO FOR QUALS	5,000.00	0.00	0.00	5,000.00	0.00	0.00	100.00
	TOTAL CAPITAL OUTLAY		5,000.00	0.00	0.00	5,000.00	0.00	0.00	100.00
TOTAL MARSHAL			598,975.00	20,881.82	0.00	393,942.02	9,084.01	195,948.97	67.29

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

10 -GENERAL FUND

FIRE

DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	10-504-1001	SALARIES	68,600.00	634.63	0.00	42,697.07	0.00	25,902.93	62.24
	10-504-1002	STIPENDS	34,009.00	0.00	0.00	30,746.17	0.00	3,262.83	90.41
	10-504-1003	FICA/MEDICARE	16,639.00	48.55	0.00	5,554.60	0.00	11,084.40	33.38
	10-504-1004	PERA/ICMA	15,367.00	142.16	0.00	8,096.47	0.00	7,270.53	52.69
	10-504-1005	HEALTH & LIFE INSURANCE	23,753.00	0.00	0.00	16,875.31	0.00	6,877.69	71.04
	10-504-1006	WORKERS' COMPENSATION	3,729.00	0.00	0.00	2,595.37	0.00	1,133.63	69.60
	10-504-1007	UNEMPLOYMENT INSURANCE	1,098.00	0.00	0.00	0.00	0.00	1,098.00	0.00
	TOTAL PERSONNEL EXPENSES		163,195.00	825.34	0.00	106,564.99	0.00	56,630.01	65.30
OPERATING EXPENSES									
	10-504-2315	MEDICAL DIRECTOR	0.00	0.00	0.00	250.00	0.00 (	250.00)	0.00
	10-504-2320	AGREEMENTS/CONTRACTS	6,600.00	0.00	0.00	2,499.00	0.00	4,101.00	37.86
	10-504-2420	EQUIPMENT	172,000.00	0.00	0.00	172,000.00	0.00	0.00	100.00
	10-504-2444	FIRE TRUCK LOAN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	10-504-2597	OTHER EXPENSES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OPERATING EXPENSES		178,600.00	0.00	0.00	174,749.00	0.00	3,851.00	97.84
CAPITAL OUTLAY									
	10-504-3050	CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL CAPITAL OUTLAY		0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL FIRE			341,795.00	825.34	0.00	281,313.99	0.00	60,481.01	82.30

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

10 -GENERAL FUND  
 MAINTENANCE  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	10-505-1001	SALARIES	72,613.00	2,792.80	0.00	55,475.85	0.00	17,137.15	76.40
	10-505-1003	FICA/MEDICARE	11,416.00	207.29	0.00	4,149.02	0.00	7,266.98	36.34
	10-505-1004	PERA/ICMA	7,479.00	287.66	0.00	5,699.86	0.00	1,779.14	76.21
	10-505-1005	HEALTH & LIFE INSURANCE	3,195.00	0.00	0.00	2,396.88	0.00	798.12	75.02
	10-505-1006	WORKERS' COMPENSATION	2,576.00	0.00	0.00	387.24	0.00	2,188.76	15.03
	10-505-1007	UNEMPLOYMENT INSURANCE	1,494.00	0.00	0.00	0.00	0.00	1,494.00	0.00
	10-505-1008	OVERTIME ALLOTMENT	2,000.00	0.00	0.00	454.35	0.00	1,545.65	22.72
	TOTAL PERSONNEL EXPENSES		100,773.00	3,287.75	0.00	68,563.20	0.00	32,209.80	68.04
OPERATING EXPENSES									
	10-505-2110	TRAVEL/CONF/PER DIEM	3,500.00	0.00	0.00	919.42	0.00	2,580.58	26.27
	10-505-2205	BUILDING MAINTENANCE	26,800.00	0.00	0.00	23,617.38	0.00	3,182.62	88.12
	10-505-2230	MAINT/GROUNDS/ROADS	20,449.00	317.56	0.00	18,811.79	0.00	1,637.21	91.99
	10-505-2231	DOH ZIKA FUNDING	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	10-505-2232	STREET SIGNS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	10-505-2300	INSURANCE CLAIMS	1,000.00	0.00	0.00	0.00	0.00	1,000.00	0.00
	10-505-2303	AGREEMENTS/CONTRACTS	2,070.00	0.00	0.00	536.02	0.00	1,533.98	25.89
	10-505-2321	VECTOR CONTROL	19,700.00	0.00	0.00	12,654.39	0.00	7,045.61	64.24
	10-505-2413	EQUIPMENT/SUPPLIES	5,000.00	0.00	0.00	1,227.53	0.00	3,772.47	24.55
	10-505-2545	EBID TAXES	1,117.00	0.00	0.00	0.00	0.00	1,117.00	0.00
	10-505-2597	OTHER EXPENSES	3,042.00	0.00	0.00	439.03	0.00	2,602.97	14.43
	TOTAL OPERATING EXPENSES		82,678.00	317.56	0.00	58,205.56	0.00	24,472.44	70.40
CAPITAL OUTLAY									
	10-505-3050	CAPITAL PURCHASES	15,000.00	0.00	0.00	0.00	0.00	15,000.00	0.00
	TOTAL CAPITAL OUTLAY		15,000.00	0.00	0.00	0.00	0.00	15,000.00	0.00
TOTAL MAINTENANCE			198,451.00	3,605.31	0.00	126,768.76	0.00	71,682.24	63.88

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

10 -GENERAL FUND  
 EXECUTIVE/LEGISLATIVE  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	10-506-1001	SALARIES	62,000.00	2,384.56	0.00	47,691.20	0.00	14,308.80	76.92
	10-506-1003	FICA/MEDICARE	9,486.00	182.43	0.00	3,648.60	0.00	5,837.40	38.46
	10-506-1004	PERA/ICMA	1,568.00	63.38	0.00	1,264.52	0.00	303.48	80.65
	10-506-1006	WORKER'S COMPENSATION	335.00	0.00	0.00	329.25	0.00	5.75	98.28
	10-506-1007	UNEMPLOYMENT INSURANCE	440.00	0.00	0.00	0.00	0.00	440.00	0.00
		TOTAL PERSONNEL EXPENSES	73,829.00	2,630.37	0.00	52,933.57	0.00	20,895.43	71.70
OPERATING EXPENSES									
	10-506-2110	TRAVEL/CONF/TRAINING	16,000.00	107.64	0.00	13,647.09	0.00	2,352.91	85.29
	10-506-2310	LEGAL FEES - GM	37,065.00	0.00	0.00	3,859.72	0.00	33,205.28	10.41
	10-506-2311	LEGAL FEES - COURT	67,550.00	0.00	0.00	66,722.93	0.00	827.07	98.78
	10-506-2315	PROFESSIONAL SERVICES	3,104.00	0.00	0.00	0.00	0.00	3,104.00	0.00
	10-506-2405	OFFICE SUPPLIES	500.00	0.00	0.00	232.75	0.00	267.25	46.55
	10-506-2530	INSURANCE	2,500.00	0.00	0.00	6,362.67	0.00	( 3,862.67)	254.51
	10-506-2540	PRINT/PUBLISH/ADVERTISE	15,000.00	0.00	0.00	0.00	0.00	15,000.00	0.00
	10-506-2570	DUES & SUBSCRIPTIONS	4,000.00	0.00	0.00	2,669.38	0.00	1,330.62	66.73
	10-506-2575	TELEPHONE	1,600.00	94.19	0.00	970.76	0.00	629.24	60.67
	10-506-2597	OTHER EXPENSES	8,666.00	0.00	0.00	1,979.96	0.00	6,686.04	22.85
		TOTAL OPERATING EXPENSES	155,985.00	201.83	0.00	96,445.26	0.00	59,539.74	61.83
CAPITAL OUTLAY									
	10-506-3050	CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL EXECUTIVE/LEGISLATIVE			229,814.00	2,832.20	0.00	149,378.83	0.00	80,435.17	65.00



TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

10 -GENERAL FUND  
 COMMUNITY PROGRAMS  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	10-507-1001	SALARIES	37,482.00	1,441.60	0.00	28,804.61	0.00	8,677.39	76.85
	10-507-1003	FICA/MEDICARE	5,385.00	104.51	0.00	1,990.79	0.00	3,394.21	36.97
	10-507-1004	PERA/ICMA	3,862.00	148.48	0.00	2,959.71	0.00	902.29	76.64
	10-507-1005	HEALTH & LIFE INSURANCE	16,373.00	0.00	0.00	9,584.46	0.00	6,788.54	58.54
	10-507-1006	WORKER'S COMPENSATION	587.00	0.00	0.00	579.18	0.00	7.82	98.67
	10-507-1007	UNEMPLOYMENT INSURANCE	997.00	0.00	0.00	0.00	0.00	997.00	0.00
	TOTAL PERSONNEL EXPENSES		64,686.00	1,694.59	0.00	43,918.75	0.00	20,767.25	67.90
OPERATING EXPENSES									
	10-507-2110	TRAVEL/CONF/TRAINING	1,000.00	0.00	0.00	175.00	0.00	825.00	17.50
	10-507-2405	OFFICE SUPPLIES	2,250.00	0.00	0.00	2,106.92	0.00	143.08	93.64
	10-507-2411	COMMUNITY PROGRAMS	19,300.00	0.00	0.00	16,783.03	0.00	2,516.97	86.96
	10-507-2516	COMM/PLAZA REFUNDS	2,000.00	0.00	0.00	600.00	0.00	1,400.00	30.00
	10-507-2535	POSTAGE	890.00	0.00	0.00	0.00	0.00	890.00	0.00
	10-507-2540	PRINT/PUBLISH/ADVERTISE	10,764.00	0.00	0.00	3,694.84	0.00	7,069.16	34.33
	10-507-2570	DUES & SUBSCRIPTIONS	2,500.00	675.00	0.00	2,298.17	0.00	201.83	91.93
	10-507-2575	TELEPHONE	1,604.00	0.00	0.00	0.00	0.00	1,604.00	0.00
	10-507-2597	CLEAN & BEAUTIFUL GRANT	14,400.00	0.00	0.00	6,365.03	0.00	8,034.97	44.20
	TOTAL OPERATING EXPENSES		54,708.00	675.00	0.00	32,022.99	0.00	22,685.01	58.53
CAPITAL OUTLAY									
	10-507-3050	CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL CAPITAL OUTLAY		0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL COMMUNITY PROGRAMS			119,394.00	2,369.59	0.00	75,941.74	0.00	43,452.26	63.61

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

10 -GENERAL FUND  
 COMM CNTR/PLAZA  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
OPERATING EXPENSES									
	10-508-2205	BUILDING MAINTENANCE	26,642.00	54.95	0.00	26,219.38	0.00	422.62	98.41
	10-508-2210	BUILDING R&M	19,000.00	826.03	0.00	2,822.93	0.00	16,177.07	14.86
	10-508-2252	ELECTRICAL R & M	5,500.00	0.00	0.00	629.66	0.00	4,870.34	11.45
	10-508-2410	R & M SUPPLIES	1,300.00	0.00	0.00	177.13	0.00	1,122.87	13.63
	10-508-2580	UTILITIES	20,000.00	0.00	0.00	10,539.14	0.00	9,460.86	52.70
	10-508-2597	OTHER EXPENSES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OPERATING EXPENSES		72,442.00	880.98	0.00	40,388.24	0.00	32,053.76	55.75
CAPITAL OUTLAY									
	10-508-3050	CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL CAPITAL OUTLAY		0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL COMM CNTR/PLAZA			72,442.00	880.98	0.00	40,388.24	0.00	32,053.76	55.75





TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

12 -FIRE PROTECTION FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		MISCELLANEOUS REVENUES	5,000.00	0.00	0.00	3,314.00	0.00	1,686.00	66.28
		INTER-GOV/GRANTS	554,535.00	0.00	0.00	572,049.04	0.00	( 17,514.04)	103.16
		TOTAL REVENUES	559,535.00	0.00	0.00	575,363.04	0.00	( 15,828.04)	0.00
EXPENDITURE SUMMARY									
		FIRE DEPARTMENT	602,933.43	1,966.08	0.00	260,555.64	309,911.15	32,466.64	94.62
		TOTAL EXPENDITURES	602,933.43	1,966.08	0.00	260,555.64	309,911.15	32,466.64	94.62
		EXCESS REVENUES/EXPENDITURES	( 43,398.43)	( 1,966.08)	0.00	314,807.40	( 309,911.15)	( 48,294.68)	11.28-
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	30,105.00	0.00	0.00	0.00	0.00	30,105.00	0.00
		NET TRANSFERS	( 30,105.00)	0.00	0.00	0.00	0.00	( 30,105.00)	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	( 73,503.43)	( 1,966.08)	0.00	314,807.40	( 309,911.15)	( 78,399.68)	6.66-



TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

12 -FIRE PROTECTION FUND  
 FIRE DEPARTMENT  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	12-504-1001	STIPENDS	21,176.00	0.00	0.00	367.00	0.00	20,809.00	1.73
	12-504-1002	STIPENDS - DONATION	5,000.00	0.00	0.00	1,400.00	0.00	3,600.00	28.00
	12-504-1003	FICA/MEDICARE	4,235.00	0.00	0.00	135.17	0.00	4,099.83	3.19
	12-504-1006	WORKER'S COMPENSATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL PERSONNEL EXPENSES		30,411.00	0.00	0.00	1,902.17	0.00	28,508.83	6.25
OPERATING EXPENSES									
	12-504-2110	TRAVEL/CONF/TRAINING	4,564.00	0.00	0.00	5,975.68	0.00 (	1,411.68)	130.93
	12-504-2205	BUILDING R & M	10,000.00	0.00	0.00	1,208.15	0.00	8,791.85	12.08
	12-504-2240	VEHICLE R & M	36,043.43	0.00	0.00	22,123.14 (	701.40)	14,621.69	59.43
	12-504-2241	EQUIPMENT R & M	20,000.00	0.00	0.00	20,690.15	5,266.80 (	5,956.95)	129.78
	12-504-2320	AGREEMENTS/CONTRACTS	5,000.00	0.00	0.00	2,406.33	0.00	2,593.67	48.13
	12-504-2405	OFFICE SUPPLIES	2,000.00	0.00	0.00	303.82	0.00	1,696.18	15.19
	12-504-2407	MAINTENANCE SUPPLIES	5,000.00	0.00	0.00	1,904.79	0.00	3,095.21	38.10
	12-504-2410	EQUIPMENT PURCHASES	15,200.00	1,482.50	0.00	23,482.18	0.00 (	8,282.18)	154.49
	12-504-2412	DEMO SUPPLIES	3,000.00	0.00	0.00	1,128.17	0.00	1,871.83	37.61
	12-504-2420	UNIFORM ALLOWANCE	12,500.00	0.00	0.00	11,128.44	0.00	1,371.56	89.03
	12-504-2530	INSURANCE	6,000.00	0.00	0.00	0.00	0.00	6,000.00	0.00
	12-504-2540	PRINT/PUBLISH/ADVERTISE	1,700.00	0.00	0.00	1,192.69	0.00	507.31	70.16
	12-504-2570	DUES/SUBSCRIPTIONS	4,000.00	0.00	0.00	3,728.09	0.00	271.91	93.20
	12-504-2575	TELEPHONE/PAGERS	10,000.00	328.46	0.00	8,501.14	0.00	1,498.86	85.01
	12-504-2580	UTILITIES	20,000.00	155.12	0.00	16,241.55	0.00	3,758.45	81.21
	12-504-2585	FUEL	20,000.00	0.00	0.00	7,490.57	0.00	12,509.43	37.45
	12-504-2598	MISCELLANEOUS	4,971.00	0.00	0.00	427.38	0.00	4,543.62	8.60
	TOTAL OPERATING EXPENSES		179,978.43	1,966.08	0.00	127,932.27	4,565.40	47,480.76	73.62
CAPITAL OUTLAY									
	12-504-3050	CAPITAL PURCHASES	73,958.00	0.00	0.00	130,721.20 (	5,550.25) (	51,212.95)	169.25
	12-504-3051	STATE FIRE GRANT	318,586.00	0.00	0.00	0.00	310,896.00	7,690.00	97.59
	TOTAL CAPITAL OUTLAY		392,544.00	0.00	0.00	130,721.20	305,345.75 (	43,522.95)	111.09
TOTAL FIRE DEPARTMENT									
			602,933.43	1,966.08	0.00	260,555.64	309,911.15	32,466.64	94.62
TOTAL EXPENDITURES									
			602,933.43	1,966.08	0.00	260,555.64	309,911.15	32,466.64	94.62
EXCESS REVENUES/EXPENDITURES									
			( 43,398.43) (	1,966.08)	0.00	314,807.40 (	309,911.15) (	48,294.68)	11.28-





TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

13 -RECREATION FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		TAXES - STATE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		MISCELLANEOUS REVENUES	1,250.00	0.00	0.00	0.00	0.00	1,250.00	0.00
		INTER-GOV/GRANTS	4,500.00	0.00	0.00	0.00	0.00	4,500.00	0.00
		TOTAL REVENUES	5,750.00	0.00	0.00	0.00	0.00	5,750.00	0.00
			=====	=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY									
		RECREATION	14,043.00	0.00	0.00	4,706.41	0.00	9,336.59	33.51
		TOTAL EXPENDITURES	14,043.00	0.00	0.00	4,706.41	0.00	9,336.59	33.51
			=====	=====	=====	=====	=====	=====	=====
		EXCESS REVENUES/EXPENDITURES	( 8,293.00)	0.00	0.00	( 4,706.41)	0.00	( 3,586.59)	56.75
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	( 8,293.00)	0.00	0.00	( 4,706.41)	0.00	( 3,586.59)	56.75



TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

13 -RECREATION FUND  
 RECREATION  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	13-513-1001	SALARIES	5,673.00	0.00	0.00	1,650.50	0.00	4,022.50	29.09
	13-513-1003	FICA/MEDICARE	870.00	0.00	0.00	126.28	0.00	743.72	14.51
	13-513-1006	WORKER'S COMPENSATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL PERSONNEL EXPENSES		6,543.00	0.00	0.00	1,776.78	0.00	4,766.22	27.16
OPERATING EXPENSES									
	13-513-2598	SUPPLIES	7,500.00	0.00	0.00	2,929.63	0.00	4,570.37	39.06
	TOTAL OPERATING EXPENSES		7,500.00	0.00	0.00	2,929.63	0.00	4,570.37	39.06
TOTAL RECREATION			14,043.00	0.00	0.00	4,706.41	0.00	9,336.59	33.51
TOTAL EXPENDITURES			14,043.00	0.00	0.00	4,706.41	0.00	9,336.59	33.51
EXCESS REVENUES/EXPENDITURES			( 8,293.00)	0.00	0.00	( 4,706.41)	0.00	( 3,586.59)	56.75
TRANSFERS IN									
	13-48888	TRANSFER IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL TRANSFERS IN		0.00	0.00	0.00	0.00	0.00	0.00	0.00
TRANSFERS OUT									
	13-513-4444	TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL TRANSFERS OUT		0.00	0.00	0.00	0.00	0.00	0.00	0.00
NET TRANSFERS			0.00	0.00	0.00	0.00	0.00	0.00	0.00
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT			( 8,293.00)	0.00	0.00	( 4,706.41)	0.00	( 3,586.59)	56.75

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

14 -EMS FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		MISCELLANEOUS REVENUES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		INTER-GOV/GRANTS	9,641.00	0.00	0.00	9,641.00	0.00	0.00	100.00
		TOTAL REVENUES	9,641.00	0.00	0.00	9,641.00	0.00	0.00	0.00
			=====	=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY									
		EMS	22,210.00	0.00	0.00	11,525.94	0.00	10,684.06	51.90
		TOTAL EXPENDITURES	22,210.00	0.00	0.00	11,525.94	0.00	10,684.06	51.90
			=====	=====	=====	=====	=====	=====	=====
		EXCESS REVENUES/EXPENDITURES	( 12,569.00)	0.00	0.00	( 1,884.94)	0.00	( 10,684.06)	15.00
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	( 12,569.00)	0.00	0.00	( 1,884.94)	0.00	( 10,684.06)	15.00



TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

14 -EMS FUND

EMS

DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
OPERATING EXPENSES									
	14-514-2110	TRAVEL/CONF/TRAINING	999.00	0.00	0.00	400.00	0.00	599.00	40.04
	14-514-2241	EQUIPMENT R & M	400.00	0.00	0.00	0.00	0.00	400.00	0.00
	14-514-2320	AGREEMENTS/CONTRACTS	2,142.00	0.00	0.00	1,790.33	0.00	351.67	83.58
	14-514-2410	EQUIPMENT/SUPPLIES	6,100.00	0.00	0.00	6,845.20	0.00 (	745.20)	112.22
	14-514-2545	LOCAL SYSTEM IMP GRANT	12,569.00	0.00	0.00	2,490.41	0.00	10,078.59	19.81
		TOTAL OPERATING EXPENSES	22,210.00	0.00	0.00	11,525.94	0.00	10,684.06	51.90
CAPITAL OUTLAY									
	14-514-3050	CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL EMS			22,210.00	0.00	0.00	11,525.94	0.00	10,684.06	51.90
TOTAL EXPENDITURES			22,210.00	0.00	0.00	11,525.94	0.00	10,684.06	51.90
EXCESS REVENUES/EXPENDITURES			( 12,569.00)	0.00	0.00	( 1,884.94)	0.00	( 10,684.06)	15.00
TRANSFERS IN									
	14-48888	TRANSFER IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TRANSFERS OUT									
	14-514-4444	TRANSFER OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
NET TRANSFERS			0.00	0.00	0.00	0.00	0.00	0.00	0.00
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT									
			( 12,569.00)	0.00	0.00	( 1,884.94)	0.00	( 10,684.06)	15.00

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

15 -AMERICAN RECOVERY FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		CHARGES FOR SERVICES	226,961.00	0.00	0.00	226,960.50	0.00	0.50	100.00
		MISCELLANEOUS REVENUES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL REVENUES	226,961.00	0.00	0.00	226,960.50	0.00	0.50	0.00
			=====	=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY									
		COVID 19	397,617.00	0.00	0.00	79,269.04	88,559.93	229,788.03	42.21
		TOTAL EXPENDITURES	397,617.00	0.00	0.00	79,269.04	88,559.93	229,788.03	42.21
			=====	=====	=====	=====	=====	=====	=====
		EXCESS REVENUES/EXPENDITURES	( 170,656.00)	0.00	0.00	147,691.46	( 88,559.93)	( 229,787.53)	34.65-
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	( 170,656.00)	0.00	0.00	147,691.46	( 88,559.93)	( 229,787.53)	34.65-

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

15 -AMERICAN RECOVERY FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
CHARGES FOR SERVICES									
	15-44083	ARFA DEPOSITS	226,961.00	0.00	0.00	226,960.50	0.00	0.50	100.00
	TOTAL CHARGES FOR SERVICES		226,961.00	0.00	0.00	226,960.50	0.00	0.50	100.00
MISCELLANEOUS REVENUES									
	15-46030	INTEREST	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	15-46090	MISCELLANEOUS INCOME	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL MISCELLANEOUS REVENUES		0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL REVENUES			226,961.00	0.00	0.00	226,960.50	0.00	0.50	100.00



TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

15 -AMERICAN RECOVERY FUND  
 COVID 19  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	15-515-1003	FICA/MEDICARE	1,610.00	0.00	0.00	1,609.74	0.00	0.26	99.98
	15-515-1008	COVID PAY ENHANCEMENTS	21,045.00	0.00	0.00	21,040.50	0.00	4.50	99.98
	TOTAL PERSONNEL EXPENSES		22,655.00	0.00	0.00	22,650.24	0.00	4.76	99.98
OPERATING EXPENSES									
	15-515-2241	EQUIPMENT	128,574.00	0.00	0.00	56,618.80	88,559.93 (	16,604.73)	112.91
	15-515-2597	OTHER EXPENSES	246,388.00	0.00	0.00	0.00	0.00	246,388.00	0.00
	TOTAL OPERATING EXPENSES		374,962.00	0.00	0.00	56,618.80	88,559.93	229,783.27	38.72
TOTAL COVID 19			397,617.00	0.00	0.00	79,269.04	88,559.93	229,788.03	42.21
TOTAL EXPENDITURES			397,617.00	0.00	0.00	79,269.04	88,559.93	229,788.03	42.21
EXCESS REVENUES/EXPENDITURES			( 170,656.00)	0.00	0.00	147,691.46	( 88,559.93)	( 229,787.53)	34.65-
TRANSFERS IN									
	15-48888	TRANSFER IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL TRANSFERS IN		0.00	0.00	0.00	0.00	0.00	0.00	0.00
TRANSFERS OUT									
	TOTAL TRANSFERS OUT		0.00	0.00	0.00	0.00	0.00	0.00	0.00
NET TRANSFERS			0.00	0.00	0.00	0.00	0.00	0.00	0.00
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT			( 170,656.00)	0.00	0.00	147,691.46	( 88,559.93)	( 229,787.53)	34.65-

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

16 -CORRECTIONS FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		FINES & FORFEITS	77,577.00	326.00	0.00	12,383.59	0.00	65,193.41	15.96
		MISCELLANEOUS REVENUES	200.00	0.00	0.00	994.95	0.00	( 794.95)	497.48
		TOTAL REVENUES	77,777.00	326.00	0.00	13,378.54	0.00	64,398.46	0.00
EXPENDITURE SUMMARY									
		CORRECTIONS	77,777.00	811.87	0.00	33,958.23	0.00	43,818.77	43.66
		TOTAL EXPENDITURES	77,777.00	811.87	0.00	33,958.23	0.00	43,818.77	43.66
		EXCESS REVENUES/EXPENDITURES	0.00	( 485.87)	0.00	( 20,579.69)	0.00	20,579.69	0.00
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	0.00	( 485.87)	0.00	( 20,579.69)	0.00	20,579.69	0.00



TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

16 -CORRECTIONS FUND  
 CORRECTIONS  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
OPERATING EXPENSES									
	16-516-2510	PRISONER CARE	37,777.00	0.00	0.00	30,288.58	0.00	7,488.42	80.18
	16-516-2515	AUTO/LAB/DWI/JUD ED	15,000.00	811.87	0.00	3,670.53	0.00	11,329.47	24.47
	16-516-2520	TRANSPORT FEES - COURT	2,025.00	0.00	0.00	0.00	0.00	2,025.00	0.00
	16-516-2598	MISCELLANEOUS	22,975.00	0.00	0.00	( 0.88)	0.00	22,975.88	0.00
	TOTAL OPERATING EXPENSES		77,777.00	811.87	0.00	33,958.23	0.00	43,818.77	43.66
CAPITAL OUTLAY									
	16-516-3000	STATE INVESTMENT LOSS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL CAPITAL OUTLAY		0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL CORRECTIONS			77,777.00	811.87	0.00	33,958.23	0.00	43,818.77	43.66
TOTAL EXPENDITURES			77,777.00	811.87	0.00	33,958.23	0.00	43,818.77	43.66
EXCESS REVENUES/EXPENDITURES			0.00	( 485.87)	0.00	( 20,579.69)	0.00	20,579.69	0.00
TRANSFERS IN									
	16-48889	TRANSFER IN/INVESTMENTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL TRANSFERS IN		0.00	0.00	0.00	0.00	0.00	0.00	0.00
TRANSFERS OUT									
	16-516-4444	TRANSFER OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL TRANSFERS OUT		0.00	0.00	0.00	0.00	0.00	0.00	0.00
NET TRANSFERS			0.00	0.00	0.00	0.00	0.00	0.00	0.00
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT			0.00	( 485.87)	0.00	( 20,579.69)	0.00	20,579.69	0.00

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

18 -LAW ENFORCEMENT FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		TAXES - STATE	1,000.00	0.00	0.00	0.00	0.00	1,000.00	0.00
		MISCELLANEOUS REVENUES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		INTER-GOV/GRANTS	52,000.00	0.00	0.00	32,377.00	0.00	19,623.00	62.26
		TOTAL REVENUES	53,000.00	0.00	0.00	32,377.00	0.00	20,623.00	0.00
			=====	=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY									
		LAW ENFORCEMENT	53,000.00	69.61	0.00	23,236.84	1,575.13	28,188.03	46.82
		TOTAL EXPENDITURES	53,000.00	69.61	0.00	23,236.84	1,575.13	28,188.03	46.82
			=====	=====	=====	=====	=====	=====	=====
		EXCESS REVENUES/EXPENDITURES	0.00 (	69.61)	0.00	9,140.16 (	1,575.13) (	7,565.03)	0.00
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	0.00 (	69.61)	0.00	9,140.16 (	1,575.13) (	7,565.03)	0.00



TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

18 -LAW ENFORCEMENT FUND  
 LAW ENFORCEMENT  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
OPERATING EXPENSES									
	18-518-2240	VEHICLE R&M	10,000.00	69.61	0.00	2,555.34	975.13	6,469.53	35.30
	18-518-2241	EQUIPMENT R & M	0.00	0.00	0.00	15,824.18	0.00	15,824.18	0.00
	18-518-2410	EQUIPMENT PURCHASES	18,377.00	0.00	0.00	1,900.50	0.00	16,476.50	10.34
	18-518-2520	EMPLOYEE TRAINING	5,000.00	0.00	0.00	2,956.82	600.00	1,443.18	71.14
	18-518-2597	OTHER EXPENSES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL OPERATING EXPENSES	33,377.00	69.61	0.00	23,236.84	1,575.13	8,565.03	74.34
CAPITAL OUTLAY									
	18-518-3050	CAPITOL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	18-518-3052	NMFA DEBT	19,623.00	0.00	0.00	0.00	0.00	19,623.00	0.00
		TOTAL CAPITAL OUTLAY	19,623.00	0.00	0.00	0.00	0.00	19,623.00	0.00
TOTAL LAW ENFORCEMENT									
			53,000.00	69.61	0.00	23,236.84	1,575.13	28,188.03	46.82
TOTAL EXPENDITURES									
			53,000.00	69.61	0.00	23,236.84	1,575.13	28,188.03	46.82
EXCESS REVENUES/EXPENDITURES									
			0.00	( 69.61)	0.00	9,140.16	( 1,575.13)	( 7,565.03)	0.00
TRANSFERS IN									
	18-48888	TRANSFER IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TRANSFERS OUT									
	18-518-4002	DEBT SERVICE INTEREST	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	18-518-4444	TRANSFER OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
NET TRANSFERS									
			0.00	0.00	0.00	0.00	0.00	0.00	0.00
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT									
			0.00	( 69.61)	0.00	9,140.16	( 1,575.13)	( 7,565.03)	0.00

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

20 -COURT AUTOMATION FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		MISCELLANEOUS REVENUES	6,000.00	0.00	0.00	0.00	0.00	6,000.00	0.00
		TOTAL REVENUES	6,000.00	0.00	0.00	0.00	0.00	6,000.00	0.00
EXPENDITURE SUMMARY									
		COURT AUTOMATION	6,000.00	0.00	0.00	905.56	0.00	5,094.44	15.09
		TOTAL EXPENDITURES	6,000.00	0.00	0.00	905.56	0.00	5,094.44	15.09
		EXCESS REVENUES/EXPENDITURES	0.00	0.00	0.00	(905.56)	0.00	905.56	0.00
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	0.00	0.00	0.00	(905.56)	0.00	905.56	0.00







TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

21 -TOWN HALL PROJECT  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		TAXES - LOCAL	40,000.00	0.00	0.00	0.00	0.00	40,000.00	0.00
		MISCELLANEOUS REVENUES	200.00	0.00	0.00	1,706.50	0.00	( 1,506.50)	853.25
		TOTAL REVENUES	40,200.00	0.00	0.00	1,706.50	0.00	38,493.50	0.00
EXPENDITURE SUMMARY									
		TOWN HALL PROJECT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL EXPENDITURES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		EXCESS REVENUES/EXPENDITURES	40,200.00	0.00	0.00	1,706.50	0.00	38,493.50	4.25
		TRANSFERS IN	40,000.00	0.00	0.00	0.00	0.00	40,000.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	40,000.00	0.00	0.00	0.00	0.00	40,000.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	80,200.00	0.00	0.00	1,706.50	0.00	78,493.50	2.13





TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

23 -WATER SERVICES FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		CHARGES FOR SERVICES	411,200.00	0.00	0.00	281,522.61	0.00	129,677.39	68.46
		MISCELLANEOUS REVENUES	4,585.00	368.24	0.00	10,122.76	0.00	( 5,537.76)	220.78
		INTER-GOV/GRANTS	2,500.00	0.00	0.00	900.00	0.00	1,600.00	36.00
		TOTAL REVENUES	418,285.00	368.24	0.00	292,545.37	0.00	125,739.63	0.00
EXPENDITURE SUMMARY									
		WATER OPERATIONS	340,723.00	6,432.02	0.00	237,666.87	2,970.68	100,085.45	70.63
		TOTAL EXPENDITURES	340,723.00	6,432.02	0.00	237,666.87	2,970.68	100,085.45	70.63
		EXCESS REVENUES/EXPENDITURES	77,562.00	( 6,063.78)	0.00	54,878.50	( 2,970.68)	25,654.18	66.92
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	77,562.00	( 6,063.78)	0.00	54,878.50	( 2,970.68)	25,654.18	66.92

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

23 -WATER SERVICES FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
CHARGES FOR SERVICES									
	23-44080	WATER SERVICES	400,000.00	0.00	0.00	280,163.77	0.00	119,836.23	70.04
	23-44081	WATER CONNECTIONS FEES	8,500.00	0.00	0.00	1,000.00	0.00	7,500.00	11.76
	23-44082	WATER SERVICES PENALTY	2,700.00	0.00	0.00	358.84	0.00	2,341.16	13.29
	23-44083	UTILITY DEPOSITS RECEIVED	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL CHARGES FOR SERVICES	411,200.00	0.00	0.00	281,522.61	0.00	129,677.39	68.46
MISCELLANEOUS REVENUES									
	23-46030	INTEREST	209.00	0.00	0.00	500.66	0.00 (	291.66)	239.55
	23-46090	MISCELLANEOUS INCOME	2,376.00	0.00	0.00	363.27	0.00	2,012.73	15.29
	23-46100	UNAPPLIED CREDITS	2,000.00	368.24	0.00	9,258.83	0.00 (	7,258.83)	462.94
		TOTAL MISCELLANEOUS REVENUES	4,585.00	368.24	0.00	10,122.76	0.00 (	5,537.76)	220.78
INTER-GOV/GRANTS									
	23-47030	EXCAVATION/BORING PERMIT	2,500.00	0.00	0.00	900.00	0.00	1,600.00	36.00
		TOTAL INTER-GOV/GRANTS	2,500.00	0.00	0.00	900.00	0.00	1,600.00	36.00
		TOTAL REVENUES	418,285.00	368.24	0.00	292,545.37	0.00	125,739.63	69.94

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

23 -WATER SERVICES FUND  
 WATER OPERATIONS  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	23-510-1001	SALARIES	105,293.00	3,803.88	0.00	68,202.36	1,741.24	35,349.40	66.43
	23-510-1003	FICA/MEDICARE	16,493.00	286.66	0.00	5,128.66	0.00	11,364.34	31.10
	23-510-1004	PERA/ICMA	10,845.00	391.81	0.00	6,944.93	0.00	3,900.07	64.04
	23-510-1005	HEALTH & LIFE INSURANCE	8,477.00	0.00	0.00	6,382.09	0.00	2,094.91	75.29
	23-510-1006	WORKERS' COMPENSATION	3,750.00	0.00	0.00	2,883.10	0.00	866.90	76.88
	23-510-1007	UNEMPLOYMENT INSURANCE	3,486.00	0.00	0.00	0.00	0.00	3,486.00	0.00
	23-510-1008	OVERTIME ALLOTMENT	2,500.00	56.03	0.00	3,128.83	0.00	(628.83)	125.15
	TOTAL PERSONNEL EXPENSES		150,844.00	4,538.38	0.00	92,669.97	1,741.24	56,432.79	62.59
OPERATING EXPENSES									
	23-510-2110	OVERTIME ALLOTMENT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	23-510-2240	VEHICLE R & M	4,589.00	507.61	0.00	3,455.12	0.00	1,133.88	75.29
	23-510-2241	EQUIPMENT R & M	9,800.00	0.00	0.00	4,314.61	730.00	4,755.39	51.48
	23-510-2253	WATER LINE R & M	11,050.00	0.00	0.00	7,891.64	0.00	3,158.36	71.42
	23-510-2320	AGREEMENTS/CONTRACTS	24,300.00	297.93	0.00	11,479.24	0.00	12,820.76	47.24
	23-510-2405	OFFICE SUPPLIES	3,190.00	243.12	0.00	2,444.57	499.44	245.99	92.29
	23-510-2410	EQUIPMENT/SUPPLIES	9,500.00	0.00	0.00	6,521.63	0.00	2,978.37	68.65
	23-510-2415	SAFETY EQUIPMENT	1,800.00	0.00	0.00	1,769.86	0.00	30.14	98.33
	23-510-2420	UNIFORM ALLOWANCE	1,500.00	0.00	0.00	1,500.00	0.00	0.00	100.00
	23-510-2430	CHEMICALS	3,275.00	0.00	0.00	3,242.79	0.00	32.21	99.02
	23-510-2530	INSURANCE	24,700.00	0.00	0.00	0.00	0.00	24,700.00	0.00
	23-510-2535	POSTAGE	3,100.00	262.87	0.00	3,362.87	0.00	(262.87)	108.48
	23-510-2540	PRINT/PUBLISH/ADVERTISE	2,300.00	0.00	0.00	1,113.67	0.00	1,186.33	48.42
	23-510-2545	GRT TO NM	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	23-510-2546	CONSERVATION FEES TO NM	3,200.00	180.15	0.00	2,687.01	0.00	512.99	83.97
	23-510-2560	EQUIPMENT RENTAL	500.00	0.00	0.00	500.00	0.00	0.00	100.00
	23-510-2570	DUES/SUBSCRIPTIONS	1,400.00	0.00	0.00	1,245.81	0.00	154.19	88.99
	23-510-2575	TELEPHONE	6,100.00	401.96	0.00	7,347.56	0.00	(1,247.56)	120.45
	23-510-2580	UTILITIES	24,500.00	0.00	0.00	24,833.76	0.00	(333.76)	101.36
	23-510-2581	METER REPLACEMENT PROGRAM	4,400.00	0.00	0.00	4,240.00	0.00	160.00	96.36
	23-510-2585	FUEL	4,000.00	0.00	0.00	4,000.00	0.00	0.00	100.00
	23-510-2598	MISCELLANEOUS	1,500.00	0.00	0.00	1,035.34	0.00	464.66	69.02
	23-510-2599	DEPRECIATION EXPENSE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OPERATING EXPENSES		144,704.00	1,893.64	0.00	92,985.48	1,229.44	50,489.08	65.11
CAPITAL OUTLAY									
	23-510-3050	CAPITAL OUTLAY	45,175.00	0.00	0.00	52,011.42	0.00	(6,836.42)	115.13
	TOTAL CAPITAL OUTLAY		45,175.00	0.00	0.00	52,011.42	0.00	(6,836.42)	115.13
TOTAL WATER OPERATIONS									
			340,723.00	6,432.02	0.00	237,666.87	2,970.68	100,085.45	70.63
TOTAL EXPENDITURES									
			340,723.00	6,432.02	0.00	237,666.87	2,970.68	100,085.45	70.63
EXCESS REVENUES/EXPENDITURES									
			77,562.00	(6,063.78)	0.00	54,878.50	(2,970.68)	25,654.18	66.92





TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

24 -WASTEWATER SERVICES FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		CHARGES FOR SERVICES	230,220.00	0.00	0.00	157,373.65	0.00	72,846.35	68.36
		MISCELLANEOUS REVENUES	9,000.00	0.00	0.00	1,943.00	0.00	7,057.00	21.59
		TOTAL REVENUES	239,220.00	0.00	0.00	159,316.65	0.00	79,903.35	0.00
EXPENDITURE SUMMARY									
		WASTEWATER OPERATIONS	237,314.00	2,935.21	0.00	179,693.57	6,349.66	51,270.77	78.40
		TOTAL EXPENDITURES	237,314.00	2,935.21	0.00	179,693.57	6,349.66	51,270.77	78.40
		EXCESS REVENUES/EXPENDITURES	1,906.00	( 2,935.21)	0.00	( 20,376.92)	( 6,349.66)	28,632.58	402.23-
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	1,906.00	( 2,935.21)	0.00	( 20,376.92)	( 6,349.66)	28,632.58	402.23-

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

24 -WASTEWATER SERVICES FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
CHARGES FOR SERVICES									
	24-44080	WASTEWATER SERVICES	210,000.00	0.00	0.00	156,404.61	0.00	53,595.39	74.48
	24-44081	WASTEWATER CONNECTIONS FEES	18,200.00	0.00	0.00	750.00	0.00	17,450.00	4.12
	24-44082	SEWER SERVICES PENALTY	2,020.00	0.00	0.00	219.04	0.00	1,800.96	10.84
		TOTAL CHARGES FOR SERVICES	230,220.00	0.00	0.00	157,373.65	0.00	72,846.35	68.36
MISCELLANEOUS REVENUES									
	24-46030	INTEREST	300.00	0.00	0.00	0.00	0.00	300.00	0.00
	24-46090	MISCELLANEOUS INCOME	8,700.00	0.00	0.00	1,943.00	0.00	6,757.00	22.33
		TOTAL MISCELLANEOUS REVENUES	9,000.00	0.00	0.00	1,943.00	0.00	7,057.00	21.59
		TOTAL REVENUES	239,220.00	0.00	0.00	159,316.65	0.00	79,903.35	66.60

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

24 -WASTEWATER SERVICES FUND  
 WASTEWATER OPERATIONS  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	24-510-1001	SALARIES	42,034.00	2,489.65	0.00	47,245.59	6,138.66 (	11,350.25)	127.00
	24-510-1003	FICA/MEDICARE	6,890.00	136.01	0.00	2,667.87	0.00	4,222.13	38.72
	24-510-1004	PERA/ICMA	4,330.00	170.16	0.00	3,095.62	0.00	1,234.38	71.49
	24-510-1005	HEALTH & LIFE INSURANCE	66.00	0.00	0.00	49.68	0.00	16.32	75.27
	24-510-1006	WORKERS' COMPENSATION	1,100.00	0.00	0.00	1,151.40	0.00 (	51.40)	104.67
	24-510-1007	UNEMPLOYMENT INSURANCE	996.00	0.00	0.00	0.00	0.00	996.00	0.00
	24-510-1008	OVERTIME ALLOTMENT	3,000.00	139.39	0.00	2,903.66	0.00	96.34	96.79
	TOTAL PERSONNEL EXPENSES		58,416.00	2,935.21	0.00	57,113.82	6,138.66 (	4,836.48)	108.28
OPERATING EXPENSES									
	24-510-2240	VEHICLE R & M	5,500.00	0.00	0.00	1,067.57	0.00	4,432.43	19.41
	24-510-2242	EQUIPMENT R&M	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	24-510-2251	PUMP R & M	10,000.00	0.00	0.00	3,678.35	0.00	6,321.65	36.78
	24-510-2253	SEWER LINE R & M	11,989.00	0.00	0.00	14,508.74	0.00 (	2,519.74)	121.02
	24-510-2322	SEWER LINE CLEANING	27,000.00	0.00	0.00	13,376.64	211.00	13,412.36	50.32
	24-510-2325	CLC FEES	96,840.00	0.00	0.00	72,633.90	0.00	24,206.10	75.00
	24-510-2326	CLC CONNECTION FEES	4,000.00	0.00	0.00	0.00	0.00	4,000.00	0.00
	24-510-2415	SAFETY EQUIPMENT	1,800.00	0.00	0.00	1,177.20	0.00	622.80	65.40
	24-510-2420	UNIFORM ALLOWANCE	1,600.00	0.00	0.00	1,787.51	0.00 (	187.51)	111.72
	24-510-2430	CHEMICALS	11,569.00	0.00	0.00	8,210.68	0.00	3,358.32	70.97
	24-510-2540	PRINT/PUBLISH/ADVERTISE	1,600.00	0.00	0.00	999.77	0.00	600.23	62.49
	24-510-2575	TELEPHONE	2,100.00	0.00	0.00	478.19	0.00	1,621.81	22.77
	24-510-2580	UTILITIES	900.00	0.00	0.00	876.55	0.00	23.45	97.39
	24-510-2585	FUEL	4,000.00	0.00	0.00	3,784.65	0.00	215.35	94.62
	TOTAL OPERATING EXPENSES		178,898.00	0.00	0.00	122,579.75	211.00	56,107.25	68.64
CAPITAL OUTLAY									
	24-510-3050	CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL CAPITAL OUTLAY		0.00	0.00	0.00	0.00	0.00	0.00	0.00
<hr/>									
	TOTAL WASTEWATER OPERATIONS		237,314.00	2,935.21	0.00	179,693.57	6,349.66	51,270.77	78.40
	TOTAL EXPENDITURES		237,314.00	2,935.21	0.00	179,693.57	6,349.66	51,270.77	78.40
	EXCESS REVENUES/EXPENDITURES		1,906.00	( 2,935.21)	0.00	( 20,376.92)	( 6,349.66)	28,632.58	402.23-



TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

25 -DEBT SERVICE FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		TAXES - LOCAL	32,532.00	0.00	0.00	0.00	0.00	32,532.00	0.00
		MISCELLANEOUS REVENUES	200.00	0.00	0.00	0.00	0.00	200.00	0.00
		TOTAL REVENUES	32,732.00	0.00	0.00	0.00	0.00	32,732.00	0.00
EXPENDITURE SUMMARY									
		FIRE TRUCK LOAN - NMFA	32,532.00	0.00	0.00	0.00	0.00	32,532.00	0.00
		TOTAL EXPENDITURES	32,532.00	0.00	0.00	0.00	0.00	32,532.00	0.00
		EXCESS REVENUES/EXPENDITURES	200.00	0.00	0.00	0.00	0.00	200.00	0.00
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	200.00	0.00	0.00	0.00	0.00	200.00	0.00

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

25 -DEBT SERVICE FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
TAXES - LOCAL									
	25-41020	ADMIN FEES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	25-41040	MUNICIPAL GRT	32,532.00	0.00	0.00	0.00	0.00	32,532.00	0.00
		TOTAL TAXES - LOCAL	32,532.00	0.00	0.00	0.00	0.00	32,532.00	0.00
MISCELLANEOUS REVENUES									
	25-46030	INTEREST	200.00	0.00	0.00	0.00	0.00	200.00	0.00
	25-46060	MESILLA 9 MARSHAL CARS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	25-46090	MISC LOAN REVENUE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL MISCELLANEOUS REVENUES	200.00	0.00	0.00	0.00	0.00	200.00	0.00
		TOTAL REVENUES	32,732.00	0.00	0.00	0.00	0.00	32,732.00	0.00





TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

26 -LODGER'S TAX FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		TAXES - LOCAL	20,000.00	0.00	0.00	19,570.92	0.00	429.08	97.85
		TOTAL REVENUES	20,000.00	0.00	0.00	19,570.92	0.00	429.08	0.00
EXPENDITURE SUMMARY									
		LODGER'S TAX	21,709.00	0.00	0.00	17,606.24	0.00	4,102.76	81.10
		TOTAL EXPENDITURES	21,709.00	0.00	0.00	17,606.24	0.00	4,102.76	81.10
		EXCESS REVENUES/EXPENDITURES	( 1,709.00)	0.00	0.00	1,964.68	0.00	( 3,673.68)	114.96-
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	( 1,709.00)	0.00	0.00	1,964.68	0.00	( 3,673.68)	114.96-





TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

27 -ROAD FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		TAXES - STATE	5,500.00	0.00	0.00	3,799.64	0.00	1,700.36	69.08
		MISCELLANEOUS REVENUES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		INTER-GOV/GRANTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL REVENUES	5,500.00	0.00	0.00	3,799.64	0.00	1,700.36	0.00
			=====	=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY									
		ROAD FUND	27,500.00	0.00	0.00	183,457.80	35,014.55 (	190,972.35)	794.44
		TOTAL EXPENDITURES	27,500.00	0.00	0.00	183,457.80	35,014.55 (	190,972.35)	794.44
			=====	=====	=====	=====	=====	=====	=====
		EXCESS REVENUES/EXPENDITURES	( 22,000.00)	0.00	0.00	( 179,658.16)	( 35,014.55)	192,672.71	975.79
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT (	22,000.00)	0.00	0.00	( 179,658.16)	( 35,014.55)	192,672.71	975.79







TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

28 -SOLID WASTE FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		TAXES - LOCAL	24,117.00	0.00	0.00	146.31	0.00	23,970.69	0.61
		CHARGES FOR SERVICES	271,400.00	0.00	0.00	198,778.91	0.00	72,621.09	73.24
		MISCELLANEOUS REVENUES	3,100.00	0.00	0.00	763.64	0.00	2,336.36	24.63
		TOTAL REVENUES	298,617.00	0.00	0.00	199,688.86	0.00	98,928.14	0.00
			=====	=====	=====	=====	=====	=====	=====
EXPENDITURE SUMMARY									
		OPERATING EXPENSES	307,719.00	2,557.45	0.00	207,986.72	4,268.58	95,463.70	68.98
		TOTAL EXPENDITURES	307,719.00	2,557.45	0.00	207,986.72	4,268.58	95,463.70	68.98
			=====	=====	=====	=====	=====	=====	=====
		EXCESS REVENUES/EXPENDITURES	( 9,102.00)	( 2,557.45)	0.00	( 8,297.86)	( 4,268.58)	3,464.44	138.06
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	( 9,102.00)	( 2,557.45)	0.00	( 8,297.86)	( 4,268.58)	3,464.44	138.06





TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

28 -SOLID WASTE FUND  
 OPERATING EXPENSES  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	28-510-1001	SALARIES	55,120.00	2,160.00	0.00	29,753.60	0.00	25,366.40	53.98
	28-510-1003	FICA/MEDICARE	8,892.00	164.84	0.00	2,324.98	0.00	6,567.02	26.15
	28-510-1004	PERA/ICMA	5,678.00	222.48	0.00	3,022.61	0.00	2,655.39	53.23
	28-510-1005	HEALTH & LIFE INSURANCE	5,535.00	0.00	0.00	2,796.05	0.00	2,738.95	50.52
	28-510-1006	WORKERS' COMPENSATION	2,200.00	0.00	0.00	1,156.00	0.00	1,044.00	52.55
	28-510-1007	UNEMPLOYMENT INSURANCE	1,992.00	0.00	0.00	0.00	0.00	1,992.00	0.00
	28-510-1008	OVERTIME ALLOTMENT	3,000.00	10.13	0.00	1,616.02	0.00	1,383.98	53.87
	TOTAL PERSONNEL EXPENSES		82,417.00	2,557.45	0.00	40,669.26	0.00	41,747.74	49.35
OPERATING EXPENSES									
	28-510-2110	TRAVEL/CONF/TRAINING	1,500.00	0.00	0.00	1,366.11	0.00	133.89	91.07
	28-510-2205	OVERTIME ALLOTMENT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	28-510-2240	VEHCILE R&M	5,500.00	0.00	0.00	5,382.93	0.00	117.07	97.87
	28-510-2241	EQUIPMENT R&M	10,791.00	0.00	0.00	6,498.91	4,268.58	23.51	99.78
	28-510-2320	AGREEMENTS/CONTRACTS	190,000.00	0.00	0.00	143,085.95	0.00	46,914.05	75.31
	28-510-2323	SPEC EVENTS TRASH SVC	800.00	0.00	0.00	525.23	0.00	274.77	65.65
	28-510-2324	CLC LANDFILL	711.00	0.00	0.00	195.05	0.00	515.95	27.43
	28-510-2405	MAINTENANCE SUPPLIES	2,000.00	0.00	0.00	1,951.96	0.00	48.04	97.60
	28-510-2415	SAFETY EQUIPMENT	1,000.00	0.00	0.00	75.79	0.00	924.21	7.58
	28-510-2420	UNIFORM ALLOWANCE	2,000.00	0.00	0.00	1,967.27	0.00	32.73	98.36
	28-510-2425	CLEANING SUPPLIES	3,000.00	0.00	0.00	2,334.98	0.00	665.02	77.83
	28-510-2430	CHEMICALS	1,000.00	0.00	0.00	32.98	0.00	967.02	3.30
	28-510-2535	POSTAGE	500.00	0.00	0.00	0.00	0.00	500.00	0.00
	28-510-2540	PRINT/PUBLISH/ADVERTISE	500.00	0.00	0.00	500.00	0.00	0.00	100.00
	28-510-2545	GRT TO NM	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	28-510-2575	TELEPHONE	1,000.00	0.00	0.00	340.00	0.00	660.00	34.00
	28-510-2585	FUEL	5,000.00	0.00	0.00	3,045.05	0.00	1,954.95	60.90
	28-510-2598	MISCELLANEOUS	0.00	0.00	0.00	15.25	0.00 (	15.25)	0.00
	TOTAL OPERATING EXPENSES		225,302.00	0.00	0.00	167,317.46	4,268.58	53,715.96	76.16
CAPITAL OUTLAY									
	28-510-3050	CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL CAPITAL OUTLAY		0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL OPERATING EXPENSES			307,719.00	2,557.45	0.00	207,986.72	4,268.58	95,463.70	68.98
TOTAL EXPENDITURES			307,719.00	2,557.45	0.00	207,986.72	4,268.58	95,463.70	68.98
EXCESS REVENUES/EXPENDITURES			( 9,102.00)	( 2,557.45)	0.00	( 8,297.86)	( 4,268.58)	3,464.44	138.06



TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

29 -SCHOOL RESOURCE OFFICER  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		INTER-GOV/GRANTS	106,469.00	0.00	0.00	0.00	0.00	106,469.00	0.00
		TOTAL REVENUES	106,469.00	0.00	0.00	0.00	0.00	106,469.00	0.00
EXPENDITURE SUMMARY									
		SCHOOL RESOURCE OFFICER	142,850.00	4,692.08	0.00	111,352.99	0.00	31,497.01	77.95
		TOTAL EXPENDITURES	142,850.00	4,692.08	0.00	111,352.99	0.00	31,497.01	77.95
		EXCESS REVENUES/EXPENDITURES	( 36,381.00)	( 4,692.08)	0.00	( 111,352.99)	0.00	74,971.99	306.07
		TRANSFERS IN	36,422.00	0.00	0.00	36,422.00	0.00	0.00	100.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	36,422.00	0.00	0.00	36,422.00	0.00	0.00	100.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	41.00	( 4,692.08)	0.00	( 74,930.99)	0.00	74,971.99	758.51-





TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

30 -EVENTS FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		CHARGES FOR SERVICES	20,300.00	655.00	0.00	9,395.00	0.00	10,905.00	46.28
		MISCELLANEOUS REVENUES	0.00	0.00	0.00	1,893.00	0.00	( 1,893.00)	0.00
		TOTAL REVENUES	20,300.00	655.00	0.00	11,288.00	0.00	9,012.00	0.00
EXPENDITURE SUMMARY									
		EVENTS FUND	20,300.00	0.00	0.00	9,476.02	0.00	10,823.98	46.68
		TOTAL EXPENDITURES	20,300.00	0.00	0.00	9,476.02	0.00	10,823.98	46.68
		EXCESS REVENUES/EXPENDITURES	0.00	655.00	0.00	1,811.98	0.00	( 1,811.98)	0.00
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	0.00	655.00	0.00	1,811.98	0.00	( 1,811.98)	0.00





TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

30 -EVENTS FUND  
 EVENTS FUND  
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
OPERATING EXPENSES									
	30-530-2530	FIESTA REFUNDS	500.00	0.00	0.00	0.00	0.00	500.00	0.00
	TOTAL OPERATING EXPENSES		500.00	0.00	0.00	0.00	0.00	500.00	0.00
CAPITAL OUTLAY									
	30-530-3062	VENDOR AGREE/CONTRACTS	10,000.00	0.00	0.00	4,725.00	0.00	5,275.00	47.25
	30-530-3082	MISCELLANEOUS	9,800.00	0.00	0.00	4,751.02	0.00	5,048.98	48.48
	TOTAL CAPITAL OUTLAY		19,800.00	0.00	0.00	9,476.02	0.00	10,323.98	47.86
TOTAL EVENTS FUND			20,300.00	0.00	0.00	9,476.02	0.00	10,823.98	46.68
TOTAL EXPENDITURES			20,300.00	0.00	0.00	9,476.02	0.00	10,823.98	46.68
EXCESS REVENUES/EXPENDITURES			0.00	655.00	0.00	1,811.98	0.00 (	1,811.98)	0.00
TRANSFERS IN									
	30-48888	TRANSFER IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL TRANSFERS IN		0.00	0.00	0.00	0.00	0.00	0.00	0.00
TRANSFERS OUT									
	TOTAL TRANSFERS OUT		0.00	0.00	0.00	0.00	0.00	0.00	0.00
NET TRANSFERS			0.00	0.00	0.00	0.00	0.00	0.00	0.00
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT			0.00	655.00	0.00	1,811.98	0.00 (	1,811.98)	0.00

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

32 -PARKING FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		MISCELLANEOUS REVENUES	7,200.00	0.00	0.00	4,465.00	0.00	2,735.00	62.01
		TOTAL REVENUES	7,200.00	0.00	0.00	4,465.00	0.00	2,735.00	0.00
EXPENDITURE SUMMARY									
		TOTAL EXPENDITURES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		EXCESS REVENUES/EXPENDITURES	7,200.00	0.00	0.00	4,465.00	0.00	2,735.00	62.01
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	7,200.00	0.00	0.00	4,465.00	0.00	2,735.00	62.01

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

32 -PARKING FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
MISCELLANEOUS REVENUES									
	32-46020	PARKING FEE DEPOSITS	7,200.00	0.00	0.00	4,465.00	0.00	2,735.00	62.01
	32-46090	MISCELLANEOUS DEPOSITS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		TOTAL MISCELLANEOUS REVENUES	7,200.00	0.00	0.00	4,465.00	0.00	2,735.00	62.01
TOTAL REVENUES			7,200.00	0.00	0.00	4,465.00	0.00	2,735.00	62.01
TOTAL EXPENDITURES			0.00	0.00	0.00	0.00	0.00	0.00	0.00
EXCESS REVENUES/EXPENDITURES			7,200.00	0.00	0.00	4,465.00	0.00	2,735.00	62.01
TRANSFERS OUT									
		TOTAL TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
NET TRANSFERS			0.00	0.00	0.00	0.00	0.00	0.00	0.00
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT			7,200.00	0.00	0.00	4,465.00	0.00	2,735.00	62.01

TOWN OF MESILLA  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: APRIL 30TH, 2023

35 -CAPITAL IMPROVEMENTS FUND  
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET	
REVENUE SUMMARY										
		FINES & FORFEITS	495,000.00	0.00	0.00	0.00	0.00	495,000.00	0.00	
		MISCELLANEOUS REVENUES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
		INTER-GOV/GRANTS	0.00	0.00	0.00	65,400.00	0.00 (	65,400.00)	0.00	
		TOTAL REVENUES	495,000.00	0.00	0.00	65,400.00	0.00	429,600.00	0.00	
			=====	=====	=====	=====	=====	=====	=====	
EXPENDITURE SUMMARY										
		CAPITAL IMPROVEMENTS	495,000.00	17,901.42	0.00	747,714.94	329,686.52 (	582,401.46)	217.66	
		TOTAL EXPENDITURES	495,000.00	17,901.42	0.00	747,714.94	329,686.52 (	582,401.46)	217.66	
			=====	=====	=====	=====	=====	=====	=====	
		EXCESS REVENUES/EXPENDITURES	0.00 (	17,901.42)	0.00 (	682,314.94)	(	329,686.52)	1,012,001.46	0.00
		TRANSFERS IN	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
		TRANSFERS OUT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
		NET TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	0.00 (	17,901.42)	0.00 (	682,314.94)	(	329,686.52)	1,012,001.46	0.00









# TOWN OF MESILLA

## Public Works Department

P.O. Box 10, Mesilla, New Mexico 88046


Office: (575) 524-3262

Fax: (575) 541-6327

### MEMORANDUM

Date: April 1, 2023

TO: Mayor Barraza and Board of Trustees

FROM: Rodney J. McGillivray, Public Works Director 

RE: **Public Works Department Activity Report – March 2023**

#### **On-going maintenance, custodial and operations:**

Meter reading continues

Monthly water sampling and reporting is up-to-date

Monitoring of lift stations, review and reporting

On-call/standby for emergency repairs or assistance

Utility location services

New water services and water shut-offs (ownership change/nonpayment)

Monitoring of water tank, wells, and pumps

Custodial responsibilities on-going

Trail Maintenance on-going

Grounds maintenance on-going

Valve exercise program continues

Vehicle maintenance on-going

#### **Miscellaneous items/work orders/accomplishments:**

Sign installation at Plaza

Flood public safety park

Repairs to exterior lights at PSB

PSB roof maintenance and repairs

Tree trimming all trees Town Hall

Irrigation start-up all parks and buildings



Painted interior office(s) Town Hall  
Fire Hydrant maintenance  
Repainted Veterans monument  
Deep cleaned and painted Veterans fountain  
Replaced HVAC filters  
Thatched Plaza lawn  
Painted and replaced glass on message board  
New water service on Calle de Cura  
New valve installation at Buena Tierra  
New meter installation at Zia Elementary  
Repainted Plaza benches and light poles  
Re-stained Plaza monuments  
Re-stained Plaza gazebo poles and floor  
Installed pots and flowers at the Plaza  
Plaza stucco repair and paint seat walls  
Silverado repairs complete returned from shop

**Project update:**

**Calle de Picacho Roadway (FY22 TPF)** - Survey Complete. Roadway design is 95% complete. Clearances and approvals underway.

**Calle de Picacho Drainage** - Project clearances and approvals are underway. Drainage study is complete. Project design is 95% complete. Design review is underway.

**Calle de Picacho Utility Replacement** – Contract for utility design has been executed. Design is underway. Utility replacement will be included in the plan set for the drainage and roadway projects.

**2022-2023 LGRF** – Project underway. Project anticipated to be complete by mid-May 2023.

**LGTPF Calle del Norte Multi-Use Path Phase II** – Substantial completion issued on March 30, 2023. Project closeout underway.

**SCADA** – Project NTP issued for April 17, 2023.

**Mesilla Water System Booster Replacement** – Project NTP scheduled for mid-June.

**Plaza Sidewalk Refurbishment** – Plaza sidewalk project awarded to A-Mountain Construction. Project underway.

**Colonias - University Waterline Improvements** – Bid Opening occurred on March 28, 2023. Bohannon Huston reviewing bids and preparing Recommendation to Award.

**Calle de Santiago Bridge Improvements and Active Transportation Corridor (FY23 TPF)** – Survey Complete. Project design is 30% complete.

**Public Safety Building Renovations** – RFP for design services is underway.

**Admin Vehicle Purchase** – No activity. Waiting on ordered vehicles to arrive.

**Fire Hydrant Replacement** – Executed contract with Molzen Corbin for design services. Identified thirteen hydrants for replacement and scheduled design locates.

MESILLA MUNICIPAL COURT  
 Monthly Activity Report  
 March 2023

	Last Month	This Month	Change	Last YTD	This YTD	Change
<b>Citations</b>						
CRIMINAL	3	3	0	11	7	-4
DWI	0	1	1	1	1	0
MISC	0	0	0	0	0	0
TRAFFIC	42	120	78	120	211	91
Totals	45	124	79	132	219	87

<b>Financial</b>						
Cash Bond	0.00	0.00	0.00	200.00	0.00	-200.00
Correction Fee	760.00	2380.00	1,620.00	2173.19	3,800.00	1626.21
Court Automation Fee/State	228.00	714.00	486.00	652.14	1,140.00	487.86
Court Fines	0.00	1000.00	1000.00	1000.00	1,000.00	0.00
FINE	5,127.00	11,098.00	5,971.00	21,333.00	21,895.00	562.00
Totals:	6,115.00	15,192.00	9,077.00	25,358.33	27,835.00	2,476.07