

# Town of Mesilla, New Mexico

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION  
(PZHAC) WILL HOLD A WORK SESSION AND A REGULAR MEETING AT THE MESILLA TOWN HALL,  
2231 AVENIDA DE MESILLA.

TUESDAY-FEBRUARY 21, 2023, WORK SESSION 1:30 P.M.

REGULAR MEETING 2:30 P.M.

## AGENDA

### WORK SESSION

**Double Eagle Restaurant** - request submitted by C.W. Ritter to discuss expansion of his restaurant at 2355 Calle de Guadalupe, Mesilla NM.

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL AND DETERMINATION OF A QUORUM
3. CHANGES / APPROVAL OF AGENDA
4. PUBLIC INPUT

*The public is invited to address the commission regarding items listed on the agenda as allowed by the chair. You can also email your comments to [clerktreasurer@mesillanm.gov](mailto:clerktreasurer@mesillanm.gov) at least twenty-four (24) hours prior to the meeting.*

### 5. APPROVAL OF CONSENT AGENDA

*\*Note: Items on the Consent Agenda, indicated by an asterisk (\*), will be voted on with one motion unless a commissioner requests that a specific item be removed for discussion.*

- a. **PZHAC MINUTES:** January 17, 2023/February 6, 2023, Regular Meeting Minutes

### 6. NEW BUSINESS

- a. **PZHAC Case #061521** - 2592 Calle de Cura, submitted by Ralph Lucero to renovate by repairing stucco cracks and painting, same color to match existing one. Zone: Historical Residential (HR)
- b. **PZHAC Case #061526** – 2810/2820 Calle Principal, submitted by Larry Limon to renovate windows/back door by removing, painting (same color), and reinstalling. No changes to structure or windows. Change color of trim from light brown to blue on a detached structure in order to match rest of trim on primary home. Replacing screen door request was redacted. Zones: Historical Residential (HR)

- c. **PZHAC Case #061530** – 3200 McDowell Rd, submitted by James and Grace Arrowsmith, construction of prefabricated metal building for the purpose of storage on an existing concrete slab. Zoned: Residential (R-1)
- d. **PZHAC Case #061532** - 640 Ritter Rd, submitted by 640 Ritter Rd to install 17.55 kW PV system/Derate 150A. Zoned: Rural Farm (R-1)
- e. **PZHAC Case #061533** - 1583 Paisano Rd, submitted by Gabriel Garcia to install roof mounted solar panels on an accessory building. Zoned: Residential (RF)
- f. **PZHAC Case #061535** - 2590 Calle de Colon, submitted by Daniel Bustamantes to build a 15 x 30-foot pool on property. Zone: Historical Residential (HR)

7. COMMISSIONERS / STAFF COMMENTS

8. ADJOURNMENT

#### NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 2/17/2023 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristramnn - 2531 Avenida de Mesilla, and the U.S. Post Office - 2253 Calle de Parian.





January 31, 2022

Planning and Zoning  
The Town of Mesilla  
Mesilla, NM

Planning and Zoning Board

I am submitting the plans for an addition to the Double Eagle de Mesilla.

The addition will be located on my lot due South of the Double Eagle behind the Salopek Pecan and Chocolatier Shops on the Plaza.

The addition will enlarge the Isabella Ballroom to a capacity of 220 persons Thus allowing the Double Eagle to host large groups formally having to book at the Las Cruces hotels.

I am very hopeful that this addition will significantly increase the Sales Tax for Mesilla.

I would appreciate your review and approval of Mr. Ron Nims architectural drawings.

Sincerely,

C. W. Ritter, Owner  
The Double Eagle de Mesilla, Inc

Attachments:      Floor Plan of addition  
                         Elevation of addition  
                         Roof cross section

**TOWN OF MESILLA  
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # \_\_\_\_\_

Fee \$ \_\_\_\_\_

**PERMISSION TO CONDUCT WORK  
OR**

**OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

**FEB - 7 2022**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

C W Ritter  
Name of Property Owner  
P O Box 905  
Property Owner's Mailing Address  
Las Alamos  
City  
NM  
State  
88004  
Zip Code  
huddyritter@zianet.com  
Property Owner's E-mail Address

575 640 5957  
Property Owner's Telephone Number

S E L S  
Contractor's Name & Address (If none, indicate Self)  
NONE  
Contractor's Telephone Number  
Contractor's Tax ID Number  
Contractor's License Number

Address of Proposed Work: back of Double Eagle to South  
Description of Proposed Work: addition to back of Double Eagle  
in lot south of kitchen of Double Eagle

\$ 1,000,000  
Estimated Cost  
C W Ritter  
Signature of Applicant  
January 31, 2022  
Date

Signature of property owner: \_\_\_\_\_

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

**FOR OFFICIAL USE ONLY**

PZHAC ☐ Administrative Approval ☐ Approved Date: \_\_\_\_\_  
☐ Approved Date: \_\_\_\_\_ ☐ Disapproved Date: \_\_\_\_\_  
☐ Disapproved Date: \_\_\_\_\_ ☐ Approved with Conditions  
☐ Approved with conditions

BOT ☐ Approved Date: \_\_\_\_\_

☐ Disapproved Date: \_\_\_\_\_

☐ Approved with Conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

## **Chapter 18.40**

### **H-C – HISTORICAL COMMERCIAL ZONE**

Sections:

**18.40.010 Purpose.**

**18.40.020 Uses permitted.**

**18.40.030 Exterior appearance.**

**18.40.040 Yards.**

**18.40.050 Development standards.**

**18.40.010 Purpose.**

The purpose of this zone is to provide for those commercial sections of the town that are deemed worth preserving because of historical, cultural, or aesthetic or architectural interest. [Ord. 94-06 § 1; prior code § 11-2-11.5.A]

**18.40.020 Uses permitted.**

Uses permitted in the H-C zone are as follows:

Commercial uses allowed in C zone and residential uses subject to approval of the planning, zoning and historical appropriateness commission upon application and approval of a development plan. [Ord. 2001-04 § 1; Ord. 94-06 § 1; prior code § 11-2-11.5.B]

**18.40.030 Exterior appearance.**

An application for a permit for erection, construction, modification of, moving or destruction which would affect the exterior appearance of any structure, sign, or any other improvement affecting use or function must first be approved by the commission. [Ord. 94-06 § 1; prior code § 11-2-11.5.C]

**18.40.040 Yards.**

For all structures, the side and rear yard setbacks must be at least seven feet unless the structure meets current building code standards for fire-resistive requirements.



- A. Structures (buildings) constructed to the property line, "zero-lot-line," shall require a "right-of-entry" agreement signed by all property owners of all adjacent properties for construction and maintenance that is recorded in Dona Ana County records and filed with the town clerk; and
- B. This document must be acquired prior to board of trustees approval; and
- C. This document shall be permanent and remain with all properties regardless of ownership; and
- D. In the event that a mutual agreement cannot be acquired, the applicant may:

- 1. Meet the required setback of seven feet, or

- 2. Apply for a variance through Chapter 18.85 MTC to the board of adjustments. [Ord. 2006-03 § 2; Ord. 2004-7 § 7; Ord. 2001-04 § 2; prior code § 11-2-11.5.D]

#### **18.40.050 Development standards.**

- A. Utilities. All installations of utility lines shall be underground, wherever technically feasible. [Ord. 2004-7 § 8]

# Town of Mesilla, New Mexico

Phone (575) 524-3262

P.O. Box 10

2231 Avenida de Mesilla, Mesilla, NM 88046



## RIGHT OF ENTRY AGREEMENT

Applicant Name(s): Double Eagle / C. W. Ritter  
Property Address: 2357 Calle de Guadalupe Mesilla  
Adjacent property address: 2385 Calle de Guadalupe  
Adjacent property owner(s): Charles Rogers

**Right-of-Entry** – Permission is hereby granted to the applicant, or its authorized agents, to enter upon the adjacent property for the sole purpose of construction and/or maintenance of the structure(s).

C. W. Ritter 4/1/22  
Applicant/Owner (original signature) Date

[Signature] 4/15/2022  
Adjacent Owner (original signature) Date

# Town of Mesilla, New Mexico

Phone (575) 524-3262

P.O. Box 10

2231 Avenida de Mesilla, Mesilla, NM 88046



## RIGHT OF ENTRY AGREEMENT

Applicant Name(s): DOUBLE EAGLE de Mesilla / CLO PITZER  
Property Address: 2357 CALLE DE GUADALUPE, MESILLA  
Adjacent property address: 2000 CALLE DE PARRAN  
Adjacent property owner(s): JULIANE HATFIELD

**Right-of-Entry** – Permission is hereby granted to the applicant, or its authorized agents, to enter upon the adjacent property for the sole purpose of construction and/or maintenance of the structure(s).

CLO PITZER 03/22/2022  
Applicant/Owner (original signature) Date

JULIANE HATFIELD 3/22/22  
Adjacent Owner (original signature) Date



Untitled Map

Legend  
Mesilla Plaza

Calle De Perten







Michelle Lujan Grisham  
Governor

STATE OF NEW MEXICO  
DEPARTMENT OF CULTURAL AFFAIRS  
HISTORIC PRESERVATION DIVISION

BATAAN MEMORIAL BUILDING  
407 GALISTEO STREET, SUITE 236  
SANTA FE, NEW MEXICO 87501  
PHONE (505) 827-6320 FAX (505) 827-6338

March 30, 2022

C.W. Ritter  
Double Eagle Restaurant  
PO Box 905  
Las Cruces, NM 88004

VIA EMAIL ONLY

RE: State and National Register listing information

Dear Mr. Ritter:

Thank you for your inquiry regarding review requirements for properties listed in the NM State Register of Cultural Properties and the National Register of Historic Places.

Listing in the State/National Registers does not place any restrictions on the use of private property. As we discussed on the phone, unless state or federal funding, licensing, or permitting is involved or you are taking advantage of the state or federal income tax credit programs, there is no requirement for NM Historic Preservation Division to review changes or alterations to privately owned historic properties. I have included our *National Register Factsheet* for more information.

We are always available to provide technical assistance and additional information is available on our website at [nmhistoricpreservation.org](http://nmhistoricpreservation.org).

If you have any questions, please feel free to contact me at [gretchen.brock@state.nm.us](mailto:gretchen.brock@state.nm.us). Thank you for being a wonderful steward of the historic Double Eagle Restaurant and best wishes for its continued success.

Sincerely,

Gretchen Brock  
Historian, Architectural Review

cc: Steven Moffson, State and National Register Coordinator, HPD

**From:** Carrera, Omar S  
**Sent:** Tuesday, December 21, 2021 10:16 AM  
**To:** buddyritter@zianet.com  
**Cc:** Vejil, Frank H ; Rodriguez, Ricardo  
**Subject:** 2379 Calle de Guadalupe

Good morning Mr. Ritter,

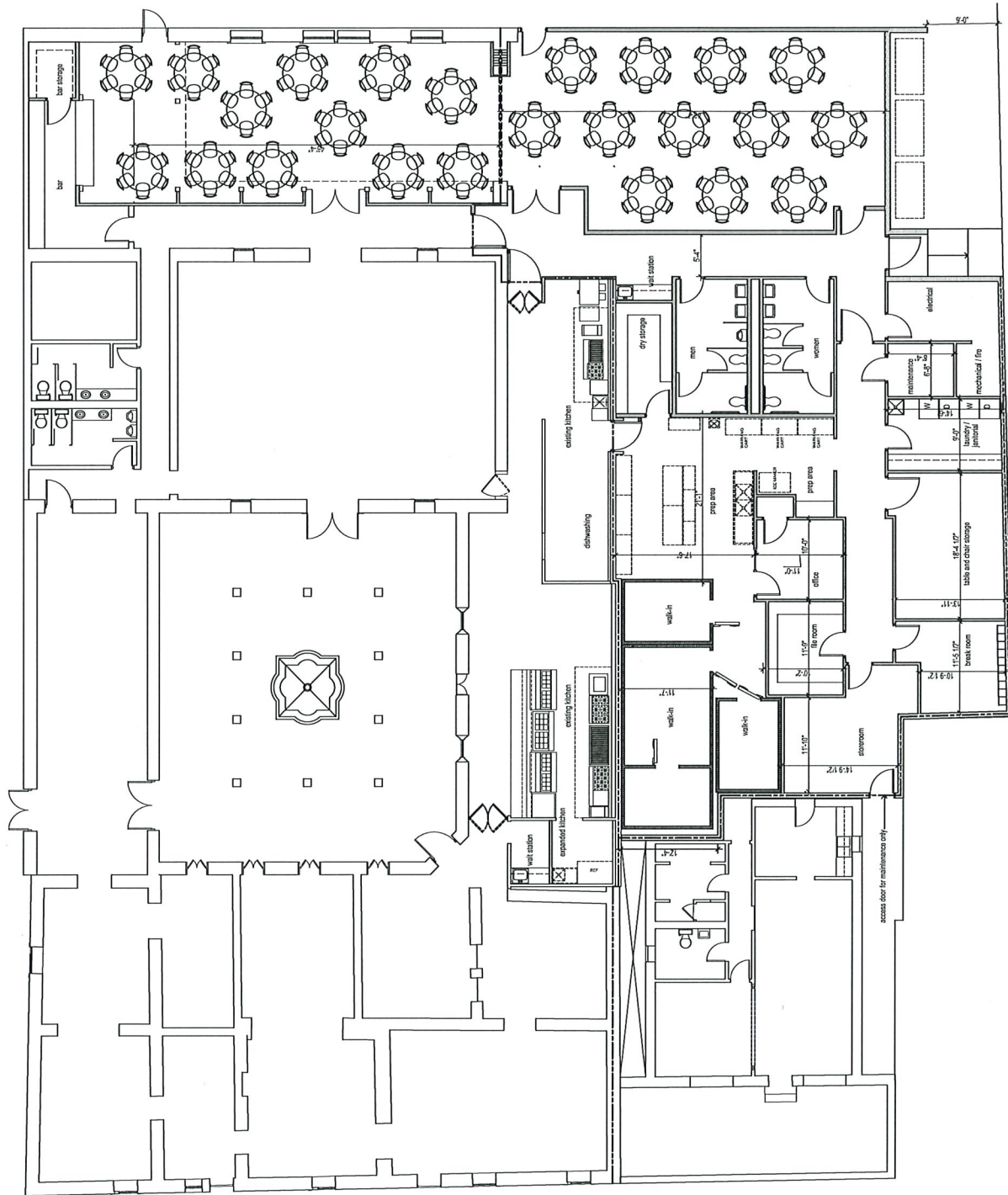
Just to recap the conversation we had in 12/09/2021 when we met at your property. You are requesting EPE to relocate or remove a pole and secondary cables located in your property, at 2379 Calle de Guadalupe, in order for you to develop it. Like I explained to you, if you enclose the area and build an structure, EPE is not going to have access with a line truck to maintain the existing pole and secondary cables. Proper access to our lines is required to be able to safely maintain them. EPE land management department was able to locate the easement that was acquired back in 1940 (attached). Over the years EPE has done a couple of upgrades. In 1959 the secondary cables were upgraded to a larger cable as requested by the property owner at that time. In 1992 the secondary cables were upgraded again to a larger cable. There are 4 service drops on the existing pole. If you would like EPE to completely remove it from your property all 4 services will need to be relocated to the street side on Calle de San Albino. There are 2 telecommunications providers (CenturyLink and Comcast) attached to our poles as well and they would have to relocate their lines and service drops in order for EPE to remove the pole. Please let me know how you would like to proceed and/or if you have any questions regarding this matter.

Thank you,

Omar Carrera | El Paso Electric Company  
Engineer-Sr.  
P.O. Box 982 | El Paso Texas, 79960  
T: (575) 523-3638 | C: (575) 649-7106  
Fax: (575) 523-3688  
[omar.carrera@epelectric.com](mailto:omar.carrera@epelectric.com)

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Proposed Additions and Renovations to the Double Eagle Restaurant  
2.15.23





# Town of Mesilla, New Mexico

## THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) MONDAY, FEBRUARY 6, 2023, 2:30 PM

### MINUTES

#### 1. PLEDGE OF ALLEGIANCE

Chairperson Lucero led the Pledge of Allegiance.

#### 2. ROLL CALL AND DETERMINATION OF QUORUM

Mayor Barraza: Madam Chair and Commissioners, we do have our community development coordinator on board. To get this meeting started, I am going to conduct this meeting. He has been with us for a week now,

Mayor Nora L. Barraza took roll call.

Commissioner Jones – Present  
Commissioner Walkinshaw – Present  
Chairperson Lucero – Present  
Commissioner Salas – Present

Mayor Barraza: Introduced new commissioner David Rockstraw.

Gloria Maya, deputy clerk, administered the oath to new appointed commissioners; David Rockstraw, Yolanda Lucero, Davie Salas, Eddie Salazar.

#### 3. CHANGES / APPROVAL OF AGENDA

**Motion to approve the agenda was made by Commissioner Rockstraw and seconded by Commissioner Jones.**

##### **Roll Call Vote:**

Commissioner Jones - Yes  
Commissioner Walkinshaw – Yes  
Chairperson Lucero - Yes  
Commissioner Salas – Yes  
Commissioner Rockstraw – Yes

**Motion passes.**



#### 4. PUBLIC INPUT

Susan Kruger asked the commission to review and amend case #061518, says zones Agricultural and then in parentheses, says "C1." Thank you

Katherine Walkinshaw, 2130 Calle Principal, requested meetings be moved back to the evenings, 6 PM, so more people can attend. Secondly, requesting a member of the commission be involved in the selection of new members and that it is standardized more transparent process for selection of commission members.

Tina Witter, to review the process of selection of new commission members and be more transparent and consistent. Sent trustees an email to suggest recommendations. One suggestion is extending PZHAC to 7 members. An important item is to add to agenda an item to recuse themselves if there is a conflict of interest. Lastly, seconds the suggestion from Mrs. Walkinshaw in moving meetings to 6 PM.

#### 5. APPROVAL OF CONSENT AGENDA

- a. **\*PZHAC MINUTES: minutes were tabled as Commissioner Jones stated they already approved the minutes as far as he recollects.**

Commissioner Walkinshaw: Stated minutes were missing every other page.

Community Development Coordinator Salazar: The minutes, what happened the original copy had double sided printed and when building the packets, failed to notice that and only copied one side, apologize.

**Motion to table the consent agenda was made by Commissioner Jones and seconded by Commissioner Walkinshaw.**

**Roll Call Vote:**

Commissioner Jones - Yes  
Commissioner Walkinshaw – Yes  
Chairperson Lucero – No  
Commissioner Salas – No  
Commissioner Rockstraw – Yes

**3 – 2, Motion passes.**

#### 6. NEW BUSINESS

**PZHAC Case #061517 –**

Mayor Barraza: 1010 Calle de El Paso, submitted by Kent Chen to remove and repair 5 windows. No changes to openings of windows. It is in the pool room, not in primary building.

Commissioner Walkinshaw: Helpful if we had pictures to help us see what you are intending to do.

Inspector Maese: No reason for tempered glass, style is up to the commission.

**Motion to approve the case was made by Commissioner Salas and seconded by Commissioner Jones.**



**Roll Call Vote:**

Commissioner Jones - Yes  
Commissioner Walkinshaw – Yes  
Chairperson Lucero – Yes  
Commissioner Salas – Yes  
Commissioner Rockstraw – Yes

**5-0, Motion passes.**

**PZHAC case#061518 –**

Mayor Barraza: this is zoned commercial, Mr. Salazar is getting the hang of it, it is commercial, cotton gin, 3385 Avenida de Mesilla, submitted by Pedro Jurado want to upgrade to the antenna. All documentation has been submitted and provided.

**Motion to approve the case was made by Commissioner Rockstraw and seconded by Commissioner Walkinshaw.**

Commissioner Walkinshaw: Asked for clarification on the zoning of the property in question. Zoning map on the comprehensive plan is confusing, map 2 on page 46, does show industrial and also map on page 49. Also on, 48, map 4 land use scenario trend.

Mayor Barraza: Explained we do not have industrial zone in the Town of Mesilla, the zoning Commissioner Walkinshaw mentioned was when we had annexed that area but it has been de-annexed. Since then, that area has been rezoned to commercial.

Commissioner Walkinshaw: At some point, we need to correct our maps.

Commissioner Salas: Commented on using too much paper and not needed for his benefit.

Mayor Barraza: Wouldn't want any case to be tabled due to lack of information, and CID office requires the same paperwork.

Inspector Maese: Redundant, is needed for approval in our office.

Commissioner Rockstraw: Electronically would be more convenient rather than use of paper.

Mayor Barraza: Due to different opinions of the commission, it will be emailed and same documents for purpose of consistency.

**Roll Call Vote:**

Commissioner Jones - Yes  
Commissioner Walkinshaw – Yes  
Chairperson Lucero – Yes  
Commissioner Salas – Yes  
Commissioner Rockstraw – Yes

**5-0, Motion passes.**

### **Election of Officers**

Mayor Barraza: Commission election of officers. I know it has not been done consistently in the past, but we are following our ordinance. I ask now that we have an election of officers.

Commissioner Salas: motion to nominate Commissioner Lucero as Chairperson

Commissioner Jones: second the motion to nominate Commissioner Lucero as Chairperson

Commissioner Walkinshaw: motion to nominate Commissioner Rockstraw as Chairperson

Mayor Barraza: No second on Commissioner Walkinshaw's motion, or no more nominations, voted on Commissioner Lucero as Chairperson.

#### **Roll Call Vote:**

Commissioner Jones - Yes

Commissioner Walkinshaw – No

Chairperson Lucero – Yes

Commissioner Salas – Yes

Commissioner Rockstraw – Yes

#### **4-1, Motion passes.**

Mayor Barraza: Next nomination is vice-chairperson. Open the floor to nominations.

Commissioner Walkinshaw: motion to nominate Commissioner Rockstraw

Chairperson Lucero: Second the motion to nominate Commissioner Rockstraw

Mayor Barraza: Any other nominations? I hear or see none, we will vote.

#### **Roll Call Vote:**

Commissioner Jones - Yes

Commissioner Walkinshaw – Yes

Chairperson Lucero – Yes

Commissioner Salas – Yes

Commissioner Rockstraw – Yes

#### **5-0, Motion passes.**

Mayor Barraza: Next position for nominations is for, secretary.

Commissioner Salas: motion to nominate Commissioner Jones

Chairperson Lucero; Second the motion to nominate Commissioner Jones

Mayor Barraza: Any other nominations (none)

#### **Roll Call Vote:**

Commissioner Rockstraw - Yes

Commissioner Salas – Yes

Chairperson Lucero – Yes

Commissioner Walkinshaw – Yes



Commissioner Jones – Yes

**5-0, Motion passes.**

Commissioner Jones: Asked what the responsibilities of a secretary are.

Mayor Barraza: Collaborate with Community Development Coordinator, Mr. Salazar

Mayor Barraza: Affirmed newly elected commissioners; Chairperson Lucero, Vice-Chairperson Commissioner Rockstraw, and Secretary Commissioner Jones. Congratulations!

Chairperson Lucero: Opened the floor on the next item for discussion, Roles of Commissioners

Mayor Barraza: Handed out a copy of Chapter 18 of our Municipal Code  
Asked if everyone had a copy of municipal code book. Mesilla Town Code book is the code book. Commissioner Walkinshaw will be getting a book soon.

Mayor Barraza: The purpose of knowing responsibilities, read Chapter 18.06 Planning, Zoning and Historical Appropriateness Commission, verbatim and out loud.

**7. COMMISSIONERS/STAFF COMMENTS**

Chairperson Lucero: Delivery of packets before meeting, review packet and contact Community Development Coordinator if there are any questions, to avoid tabling anything in our agenda.

Chairperson Lucero: Asked about the container case, Mr. Lara.

Mayor Barraza: Reached out to Mr. Lara last week and advised have not received documentation required by PZHAC. Code Enforcement to proceed and issue citation.

Chairperson Lucero: Stated glad we now have a community development coordinator.  
Requested Mr. Salazar to approach the podium and introduce himself and tell a little bit about himself.

Comm. Dev. Coordinator Salazar: Background, worked for the City of Anthony as Director of Neighborhood Services, strong background in law enforcement, familiar with packets and building cases. After that I had 13 years in processing engineering, married and 3 kids. Grew up in the area. Do my best to maintain the historical culture of this town. Apologize for any errors in the packets. Please let me know if there is any errors for me to fix.

Commissioner Walkinshaw: Coach applicants to submit all documents and information for better decisions.

Comm. Dev. Coordinator: Do my best to build packets to prevent aggravation on both sides.

Commissioner Rockstraw: Discussed meetings scheduled time at 230 pm versus before 6 pm.  
Requested an explanation on why that is

Mayor Barraza: Covid was the main culprit on moving the time. That is not to say it can't be changed. It is always a balancing act depending on residents, gave examples.

Chairperson Lucero: One of our ex-commissioners used to walk to the meetings and it was harsh for him to walk late in the evenings. I really don't see a difference in attendance between both times.

Commissioner Salas: Been a commissioner since covid, I am retired, so I can work around it.

Commissioner Walkinshaw: Asked since everyone is present, why can't we vote now.

Mayor Barraza: Advised, it will have to be discussed with the BOT. Asked by raise of hands, who would like to keep it at 230 pm and who would like to move it to 6 pm.

Chairperson Lucero: Encouraged commissioners to attend trainings to best serve our residents

Mayor Barraza: Town of Mesilla will pay for travel, hotel and allowance for meals. Meet new people from other municipalities, networking. Need direction from commission if you want the applicant to be present.

Commissioner Walkinshaw: Yes, I believe always best if possible to have applicants present

Chairperson Lucero: Yes, present will be better in case with have questions.

Chairperson Sala: both would work, present and documentation.

Inspector Maese: It's a new year, I will be working closely with development coordinator, and we can bring complete packets and start enforcement of non-compliances. CID and Town of Mesilla are working together to improve on enforcement.

Comm. Dev. Coord. Salazar: advised Mr. Lara had stopped by the office to speak to me on what he can do to comply with violation that was given. Was not familiar with case.

Mayor Barraza: Called last week, left a message. He has not submitted documents as the commission requested.

Commissioner Jones: I don't know about municipal league training schedule. I need time to schedule my person time with the training schedule.

Chairperson Lucero: recommended to log unto NM League website to check for upcoming training.

Mayor Barraza: Handed out certificates of appointment

Chairperson Lucero: If there is nothing else, I would like to make motion to adjourn the meeting.

Commissioner Jones: Second

**Roll Call Vote:**

Commissioner Rockstraw - Yes

Commissioner Salas - Yes

Chairperson Lucero - Yes

Commissioner Walkinshaw - Yes

Commissioner Jones - Yes

**5-0, Motion passes.**

**8. ADJOURNMENT**

**APPROVED THIS 6<sup>th</sup> DAY OF FEBRUARY 2023.**

\_\_\_\_\_  
**Yolanda Lucero**  
**Chairperson**

**ATTEST:**

\_\_\_\_\_  
**Rani Bush**  
**Town Clerk-Treasurer**

**DRAFT**





# Town of Mesilla, New Mexico

## THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) MONDAY, JANUARY 17, 2023, 2:30 PM

### MINUTES

#### 1. PLEDGE OF ALLEGIANCE

Commissioner Nevarez led the Pledge of Allegiance.

#### 2. ROLL CALL AND DETERMINATION OF QUORUM

Mayor Nora L. Barraza took roll call.

Commissioner Nevarez – Present  
Commissioner Walkinshaw – Present  
Commissioner Jones – Present  
Commissioner Sala – Not Present  
Chairperson Lucero - Absent

Mayor Barraza declared a quorum.

#### 3. CHANGES / APPROVAL OF AGENDA

**Motion to approve the agenda was made by Commissioner Walkinshaw and seconded by Commissioner Jones.**

##### **Roll Call Vote:**

Commissioner Jones - Yes  
Commissioner Walkinshaw – Yes  
Commissioner Nevarez – Yes

**Motion passes.**

#### 4. PUBLIC INPUT

Chris Toggart had a home on Calle Oeste, 20 yrs was present to discuss temporary shipping container(s) located on a neighbor's, yard (Mark). How much time does a temporary container can be on a property and who follows up on time? If you approve one, how do you not approve another?

Commissioner Nevarez: it appears there is an inspection requirement

Mayor Barraza: that is correct, according to Mr. Taylors email, they have been in contact with Greg, our Fire Marshall

**Motion to approve the business registration was made by Commissioner Jones and seconded by Commissioner Walkinshaw.**

Motion passed.

**Registration #1063-**

Mayor Barraza commented: short-term rentals 2214 Calle de Guadalupe, guest house B, submitted by Pat &

Wendy Taylor. The property does not have parking space for tenants and would require a parking fee \$150. The house is not completed at this time.

Commissioner Walkinshaw commented: since the property is not yet completed, are you going to get a parking permit now and save it for later?

Mayor Barraza commented: Commissioner Walkinshaw, the applicant has up to one year to finish the construction under the building permit and has an option to extend after a year. Mr. Taylor is here present to answer any questions.

Mr. Taylor commented: I was thinking the same thing, putting the cart before the horse,(laugh) just trying to get my ducks in a roll.

Commissioner Nevarez commented: I understand this is for a business registration and if there are additional fees, it will be done at a later date.

Mayor Barraza commented: Commissioner Nevarez that is correct, Mr. Taylor would pay for the \$35 for the business registration and the \$150 for the parking fee and will be due again on March 15<sup>th</sup>. I don't know if Mr. Taylor is ok with that or...

Mr. Taylor commented: you certainly got my attention, I just assume just to wait 'till March to pay just once instead of twice and the same thing with the previous once, (space A).

Mayor Barraza commented: Our recommendation for the applicant is to wait and not have to pay twice the business registration and parking fee. Also, wait on presenting it to the BOT. Of course, it is up to the applicant.

Mr. Taylor commented: I did not realize the timeline on it and would like to wait if that is possible.

Commissioner Nevarez commented: since we already passed the first business registration from Mr. Taylor, I ask for guidance from the staff.

Mayor Barraza commented: Since we already passed the first one, I suggest we allow it to go to the BOT and let it be place on hold for March. Then in March, bring this second application 1063 to the commissioners and if approved, then take both applications after to the Board of Trustees.

Commissioner Nevarez commented: For clarification, business registration 1062 will proceed to BOT and they will take appropriate action and the second one will be tabled until March.



## 7. NEW BUSINESS

### Case #061452 –

Mayor commented: 2261 Calle de Oeste submitted by Mark Lara, to place a temporary Conex storage box. This case has been open since September, no permit on file, Mr. Lara is present to answer any questions. Two Conex storage boxes on property. Mr. Lara is aware he could be fined for not having a permit for the boxes.

Mr. Lara: I applied for a permit but there were no decisions. My mother inherited both these homes that have not been maintained so I am working on the homes. I have no flammables in it. Asking a temporary time to have it there until I update the home. The small one, I bought for my daughter, permission for 2 weeks, we are going to paint it and move it to her home.

Commissioner Jones commented: Smaller container will be going soon, because it is your daughters. How soon will it be leaving?

Mr. Lara commented: 2 weeks

Commissioner Jones commented: The larger container, there is no guarantee when its leaving.

Mr. Lara commented: Give me a year, I have to home to renovate.

Commissioner Jones commented: If you move it out of view?

Mr. Lara commented: It's pretty hidden, most of the problem occurred when the second one showed up.

Commissioner Nevarez commented: What is the ordinance regarding containers in a historical residential zone

Mayor Barraza commented: We have had complaints about these boxes, and the setbacks are a concern.

Commissioner Nevarez commented: Like to have a more concrete date, is there a permit for both or one. There is only one permit since September.

Mayor Barraza commented: We can ask Mr. Lara to put in writing when the containers will be moved out.

Commissioner Nevarez commented: Are we treated this storage box as a shed? We need all this concrete dates and information before making a decision.

Mayor Barraza commented: I think Mr. Lara can assure us of setbacks if you wish regarding the setbacks. Second Conex, that will be moved, I suggest we hold him on his word on that time he mentioned. Mr. Lara what are the setbacks on that Conex?

Mr. Lara commented: From the drainage it is set back 15 feet, from the south property line, it is set back 4.9 inches. Sitting on railroad ties just to keep it out of the mud. It is 280 square feet, is more than willing to pay for permission.

Mayor Barraza: Mr. Maese stated this storage box being larger than 180 feet, does Mr. Lara have to have in writing how this unit is going to be anchored?

Commissioner Nevarez commented: Yes, I apologize to applicant as this permit application has been submitted since September.

**Motion to table the case was presented by Commissioner Jones and seconded by Commissioner Walkinshaw.**

**Roll Call Vote:**

Commissioner Jones - Yes

Commissioner Walkinshaw – Yes

Commissioner Nevarez – Yes

Motion passes.

**Case #016479 –**

Mayor Barraza commented: 2600 Avenida de Mesilla submitted by Gilbert Chavez, sign permit zoned, historical commercial. Would like to install an 11 x 17-inch parking sign. Applicant is present to answer any questions.

Commissioner Walkinshaw commented: I don't see as requested on the sign application, the type of material of the sign. Where the sign is being requested to be, will not be seen by everyone. It appears there needs to be 2 signs.

Mr. Chavez commented; The sign is across the street on a vacant parking lot. The purpose of the sign is for large vehicles that park there. Is to direct to parking lot. It is made of metal material.

**Motion to approve the case was presented by Commissioner Jones and seconded by Commissioner Walkinshaw.**

**Roll Call Vote:**

Commissioner Jones - Yes

Commissioner Walkinshaw – Yes

Commissioner Nevarez – Yes

Motion passes.

**Case #0611501 –**

Mayor Barraza commented: 2600 Avenida de Mesilla, submitted by Gilbert Chavez to apply elastomeric coating to entire building.

Commissioner Nevarez commented: is for entire building and same color. No further questions, (none).

**Motion to approve the case was presented by Commissioner Walkinshaw and seconded by Commissioner Jones.**

**Roll Call Vote:**

Commissioner Jones - Yes

Commissioner Walkinshaw – Yes

Commissioner Nevarez – Yes

Motion passes.



Commissioner Jones - Yes  
Commissioner Walkinshaw – Yes  
Commissioner Nevarez – Yes

Motion passes.

**Case #061507 –**

Mayor Barraza commented: 216 Capri Rd, submitted by Don Peterson to install framed shed, south east corner of the property.

Commissioner Walkinshaw commented: Currently has one shed and is replacing another, can u put a structure over an easement.

Inspector Maese commented; Are allowed to build over an easement at your own easement. You would have to remove if the utility company requests that.

Mayor Barraza commented: After current shed is knocked down, would like to request he keeps the 5 foot setback and not the 7 in our code.

**Motion to approve the case was presented by Commissioner Walkinshaw and seconded by Commissioner Jones.**

**Roll Call Vote:**

Commissioner Jones - Yes  
Commissioner Walkinshaw – Yes  
Commissioner Nevarez – Yes

Motion passes.

**Case #061508 –**

Mayor Barraza Commented: 2255 Camino del Rey, submitted by Adam Perez to raise rock wall by 2 feet to help children from jumping over the fence and for privacy. Mr. Perez is present.

Commissioner Walkinshaw commented: Currently the wall is going to be 6 foot maximum height. Securing fence to wall.

Commissioner Jones commented: Post will be going into the ground

Mr. Perez commented: yes, they will be going into the ground with concrete.

**Motion to approve the case was presented by Commissioner Walkinshaw and seconded by Commissioner Jones.**

**Roll Call Vote:**

Commissioner Jones - Yes  
Commissioner Walkinshaw – Yes  
Commissioner Nevarez – Yes

Motion passes.

**Case #061509 –**

Motion passes.

**Case #061512 –**

Mayor Barraza commented: 2483 Calle de San Albino, submitted by Alicia Diaz to remove exterior concrete collar and cement plaster, replace damaged adobe, lime plaster and lower brick sidewalk. No architectural changes. Historical Residential.

No questions or discussion

**Motion to approve the case was presented by Commissioner Jones and seconded by Commissioner Walkinshaw.**

**Roll Call Vote:**

Commissioner Jones - Yes

Commissioner Walkinshaw – Yes

Commissioner Nevarez – Yes

Motion passes.

**Case #061513 –**

Mayor Barraza commented: 2261 Calle de Santiago, submitted by Dorothy Barclay to patch roof parapet and touch up paint. No architectural or structural changes.

No questions or discussion

**Motion to approve the case was presented by Commissioner Jones and seconded by Commissioner Walkinshaw.**

**Roll Call Vote:**

Commissioner Jones - Yes

Commissioner Walkinshaw – Yes

Commissioner Nevarez – Yes

Motion passes.

**Case #061514 –**

Mayor Barraza commented: 2865 Teresita, submitted by Shirley Hitson to paint exterior walls of the house. Representative present.

No questions or discussion

**Motion to approve the case was presented by Commissioner Jones and seconded by Commissioner Walkinshaw.**

**Roll Call Vote:**

Commissioner Jones - Yes

Commissioner Walkinshaw – Yes

Commissioner Nevarez – Yes

Motion passes.



Commissioner Nevarez commented: he lives in same area and follows up with the same question as Commissioner Jones' question.

Mayor Barraza commented: Mr. Shannon is no longer with us, Mesilla does not enforce HOA covenants, according to our attorney. HOA still has to follow our ordinance.

Commissioner Nevarez commented: Question maybe for myself on voting in this committee. Do we follow Robert's Rules?

Mayor Barraza commented: We do not follow Robert's Rules. We have not adopted Robert's Rules. The chairperson on this votes on all cases. On the BOT, the Mayor only votes on ties.

Mayor Barraza commented: I know there are a lot of cases, I wanted to get caught up on all the cases. I was able to clear out most cases. I apologize for the long list. I look forward in working with Mr. Salazar and cleaning up that office.

We also have a new officer in codes and is doing an awesome job out there enforcing our codes.

Commissioner Walkinshaw commented: what is the process, in case I see something that I feel is a violation.

Mayor Barraza commented: You will call the Marshall, leave a message or call the non-emergency number.

## **9. ADJOURNMENT**

**Motion to adjourn was presented by Commissioner Walkinshaw and seconded by Commissioner Jones.**

**Roll Call Vote:**

Commissioner Nevarez - Yes  
Commissioner Walkinshaw - Yes  
Commissioner Jones - Yes

**Motion passed.**

**APPROVED THIS 17<sup>th</sup> DAY OF JANUARY 2023.**

---

**Yolanda Lucero**  
**Chairperson**

**ATTEST:**

---

**Rani Bush**  
**Town Clerk-Treasurer**

PAID

TOWN OF MESILLA

APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 45<sup>00</sup>  
Review Fee \$ 9<sup>00</sup>  
Total Fee \$ 54<sup>00</sup>

RECEIVED  
8/2/23

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061521 ZONE: HR CODE: LN APPLICATION DATE: 2/2/2023

Ralph Lucero 575-644-3254  
Name of Property Owner Property Owner's Telephone Number  
PO Box 753 Mesilla Park NM 880047  
Property Owner's Mailing Address City State Zip Code  
anthony@ase-nm.com  
Property Owner's E-mail Address  
Anthony Lucero 2001 E Lohman Ave Ste 110 #268 Las Cruces, NM 88001  
Contractor's Name & Address (If none, indicate Self)  
575-642-8384 03-529160-00-05 402552  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2592 Calle De Cura Mesilla, NM 88046

Description of Proposed Work: Repair stucco cracks and paint (no change in texture or color, repairs to match what is existing).

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. ☒ Other information as necessary or required by the Town Code or Community Development Department.

\$ 475.00

Estimated Cost

Signature of Applicant

2/2/2023

Date

**Application Fee is due at time of submittal.** Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval

☐ Approved Date: \_\_\_\_\_

☐ Disapproved Date: \_\_\_\_\_

☐ Approved with conditions

BOT ☐ Approved Date: \_\_\_\_\_

☐ Disapproved Date: \_\_\_\_\_

☐ Approved with Conditions

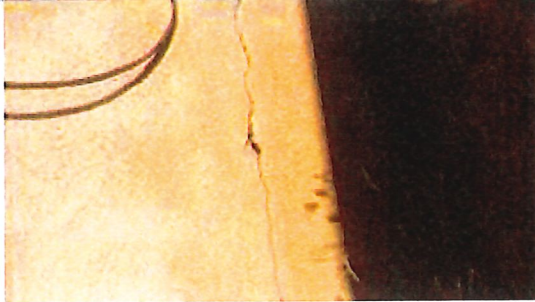
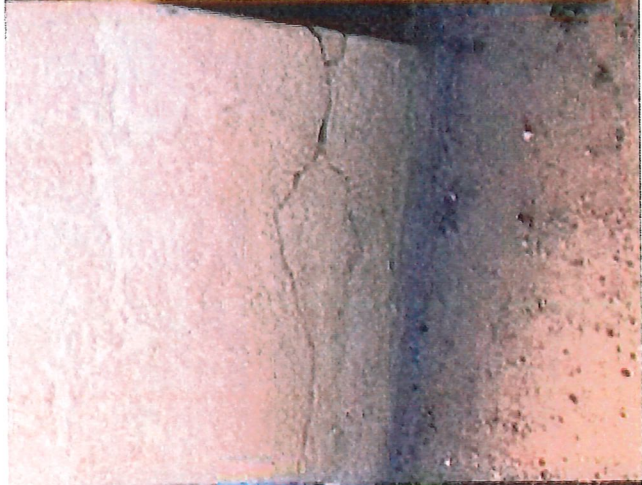
PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO BOT APPROVAL REQUIRED: ☒ YES ☐ NO

CID PERMIT/INSPECTION REQUIRED: ☐ YES ☒ NO ☐ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED / DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_





RECEIVED  
2/22/23

PAID

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # \_\_\_\_\_

Fee \$ 50.00

PERMISSION TO CONDUCT WORK  
OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061526 ZONE: HR CODE: RN APPLICATION DATE: \_\_\_\_\_

CARRY LIMON 575-636-5073  
Name of Property Owner Property Owner's Telephone Number

P.O. Box 593 MESILLA NM 88046  
Property Owner's Mailing Address City State Zip Code

larrystucco@gmail.com  
Property Owner's E-mail Address

SELF  
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number 2810 Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 2820 CALLE PRINCIPAL

Description of Proposed Work: PAINT WINDOWS/BACK DOOR SAME COLOR IT IS NOW. INSTALL SCREEN DOOR IN

BACK. CHANGE TRIM COLOR FROM DETACHED STORAGE SAME

\$ 225 FROM TAN TO BLUE TO MATCH WINDOW  
Estimated Cost Signature of Applicant Date 2/22/23

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval BOT ☐ Approved Date: \_\_\_\_\_

☐ Approved Date: \_\_\_\_\_ ☐ Disapproved Date: \_\_\_\_\_

☐ Disapproved Date: \_\_\_\_\_ ☐ Approved with Conditions

☐ Approved with conditions

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO BOT APPROVAL REQUIRED: ☒ YES ☐ NO

CID PERMIT/INSPECTION REQUIRED: ☐ YES ☐ NO ☐ SEE CONDITIONS

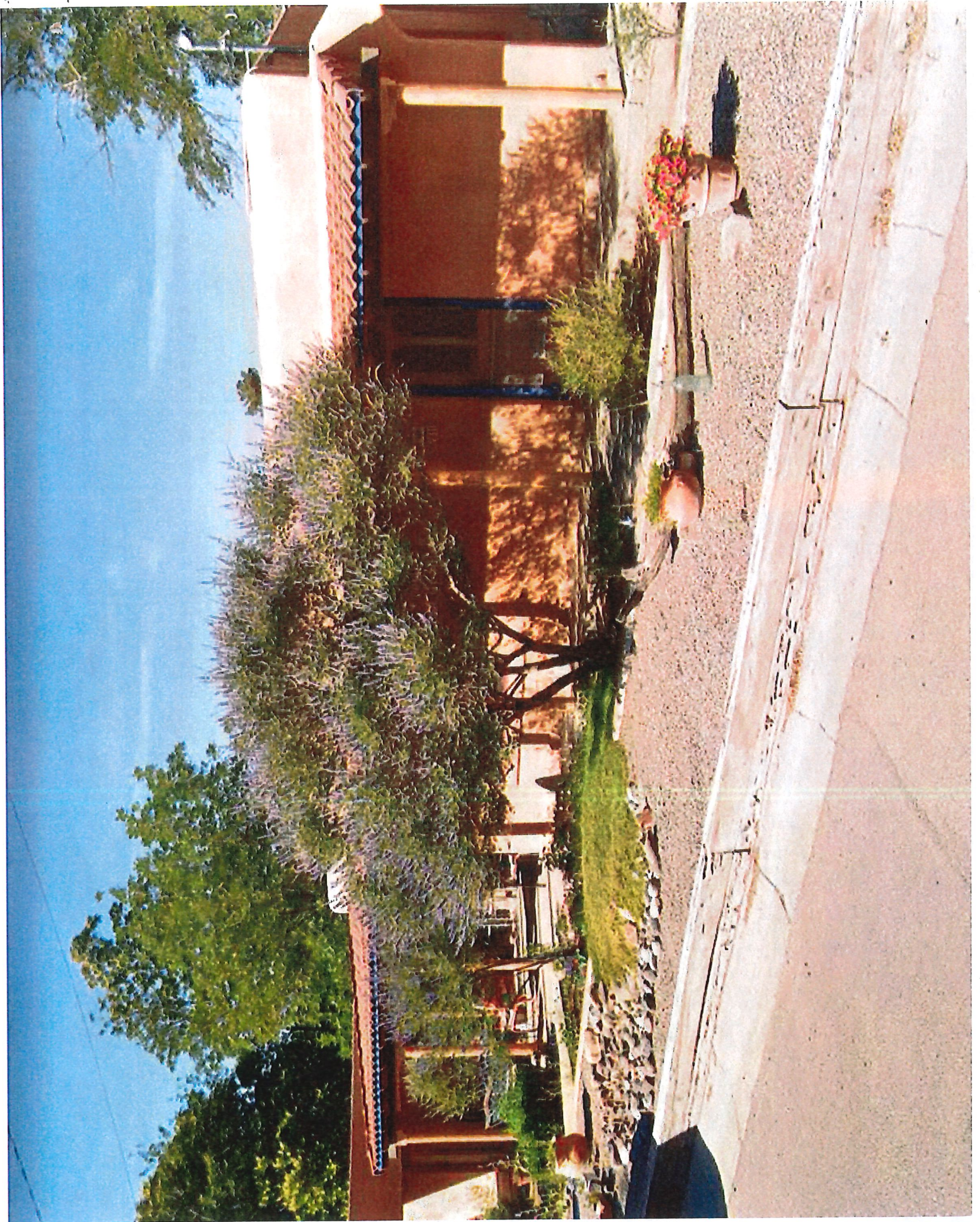
CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses and dimensions.
- Cross section of walls
- Roof and floor framing plan
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the City Code or Community Development Department (See other side.)



















**TOWN OF MESILLA**  
**APPLICATION FOR BUILDING PERMIT**

Permit Fee \$ 230<sup>00</sup>  
Review Fee \$ 3750  
Total Fee \$ 20750

RECEIVED  
2/1/23

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 06/530 ZONE: R1 CODE: NF APPLICATION DATE: \_\_\_\_\_

JAMES I. GRACE ARROWSMITH

505 235 7983

Name of Property Owner

Property Owner's Telephone Number

3200 McDOWELL RD LAS CRUCES

NM

88005

Property Owner's Mailing Address

City

State

Zip Code

arrow248@gmail.com

Property Owner's E-mail Address

SELF

Contractor's Name & Address (If none, indicate Self)

N/A

N/A

N/A

Contractor's Telephone Number

Contractor's Tax ID Number

Contractor's License Number

Address of Proposed Work: 3200 McDOWELL RD.

Description of Proposed Work: CONSTRUCTION OF A 20' X 30' STORAGE BUILDING  
(METAL) ON AN EXISTING CONCRETE SLAB

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. ☒ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☒ Site Plan with dimensions and details.
3. ☒ Foundation plan with details.
4. ☒ Floor plan showing rooms, their uses, and dimensions.
5. ☒ Cross section of walls.
6. ☒ Roof and floor framing plan.
7. ☒ Proof of legal access to the property. SEE PLAT OF SURVEY
8. ☒ Drainage plan. SEE SITE DETAIL
9. ☒ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☒ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☒ Proof of legal access to the property.
12. ☐ Other information as necessary or required by the Town Code or Community Development Department.

\$ 18,000.00

Estimated Cost

Signature of Applicant

Date

1/31/23

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

**FOR OFFICIAL USE ONLY**

PZHAC ☐ Administrative Approval

☐ Approved Date: \_\_\_\_\_

☐ Disapproved Date: \_\_\_\_\_

☐ Approved with conditions

BOT ☐ Approved Date: \_\_\_\_\_

☐ Disapproved Date: \_\_\_\_\_

☐ Approved with Conditions

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO

BOT APPROVAL REQUIRED: ☐ YES ☒ NO

CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED / DENIED BY: \_\_\_\_\_

ISSUE DATE: \_\_\_\_\_

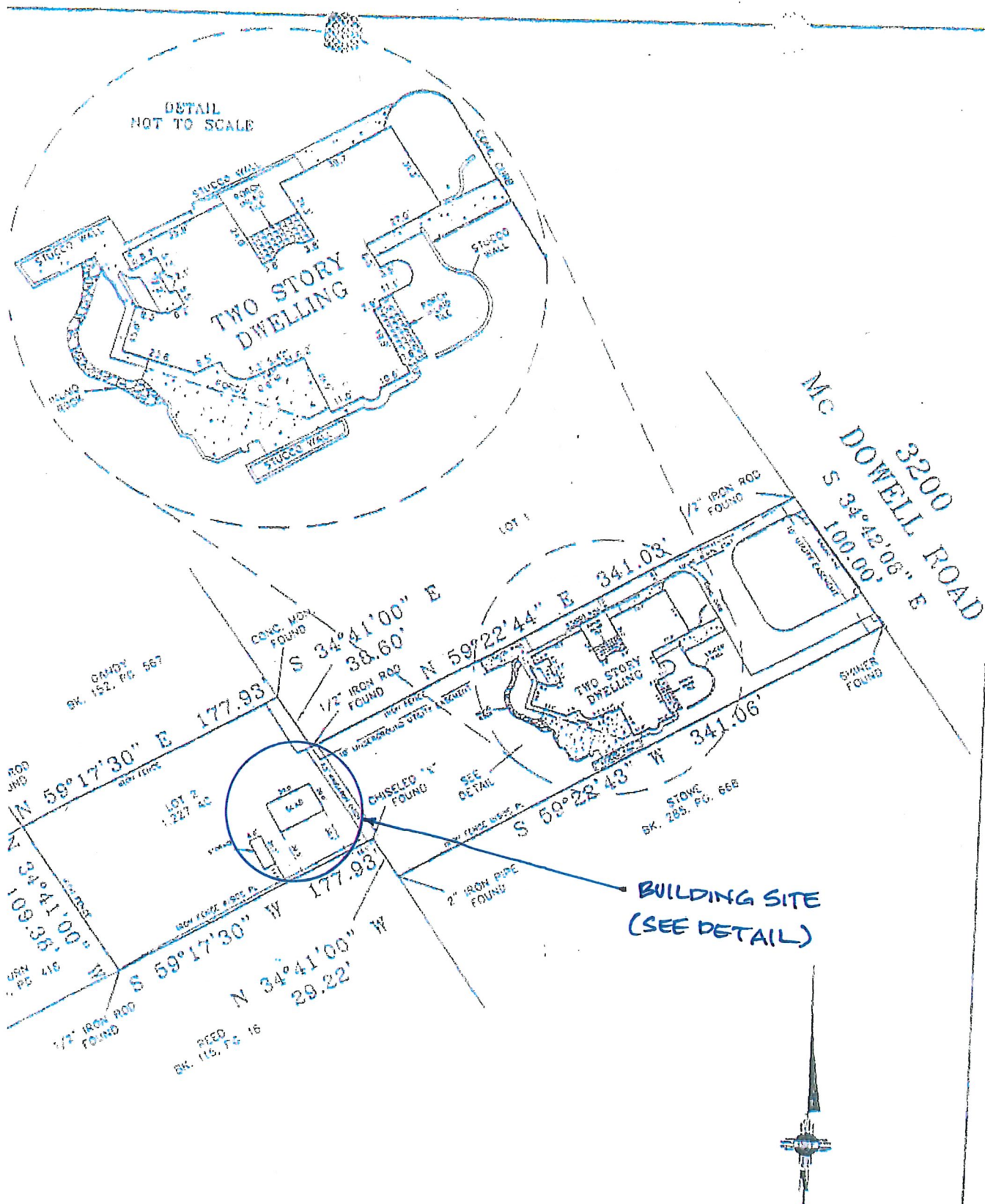












DIES:

LOOD ZONE "X": AREAS DETERMINED TO BE OUTSIDE  
 100-YEAR FLOOD PLAIN, IN MAP NO. 35013C0633 E,  
 EFFECTIVE SEPTEMBER 27, 1991.

PLAT OF SURVEY  
 SHOWING THE LOCATION OF IMPROVEMENTS  
 ON LOT 2  
 NIMS SUBDIVISION  
 FILED OCTOBER 11, 1990, IN BOOK 16  
 PAGES 343-344, DONA ANA COUNTY RECORDS

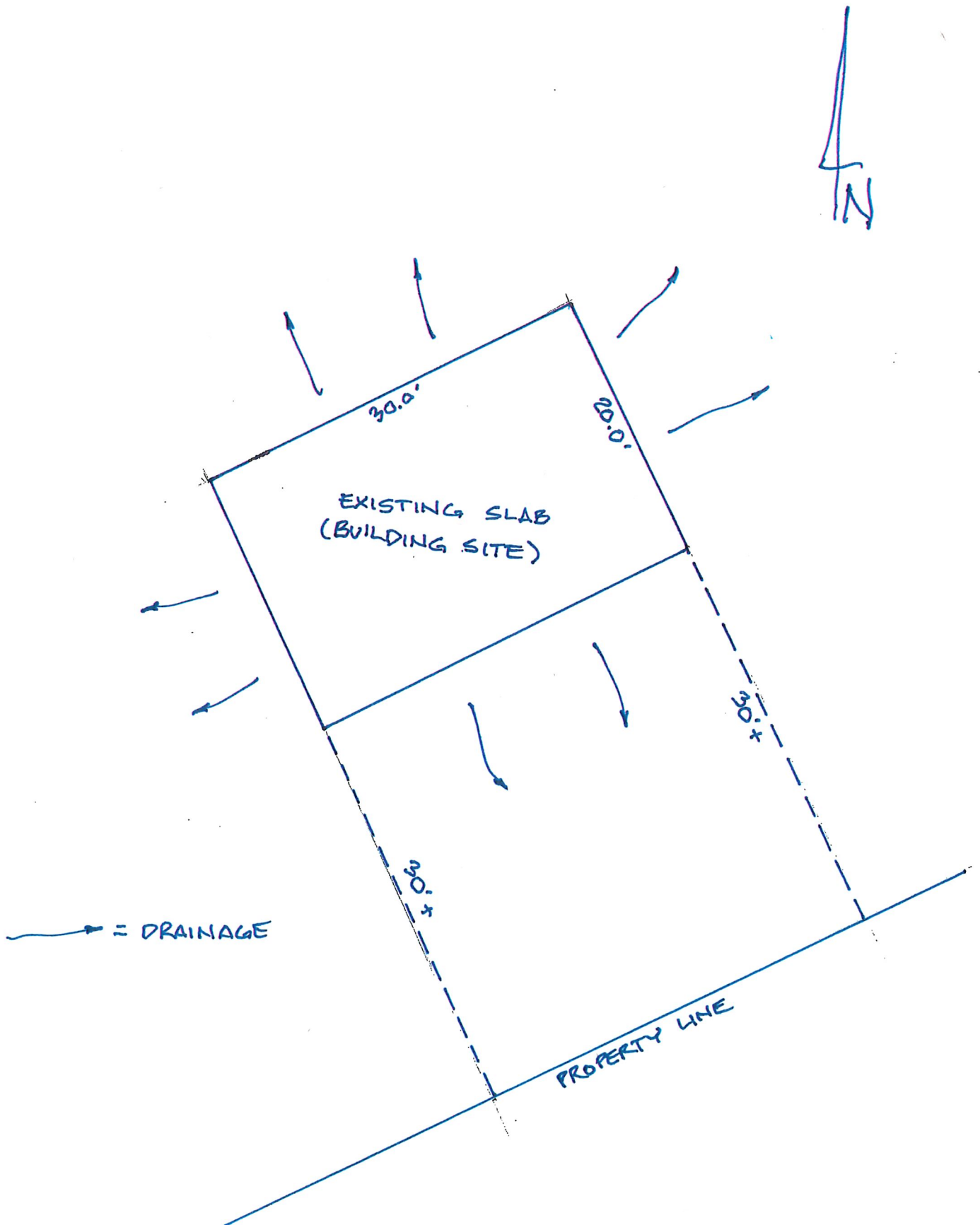


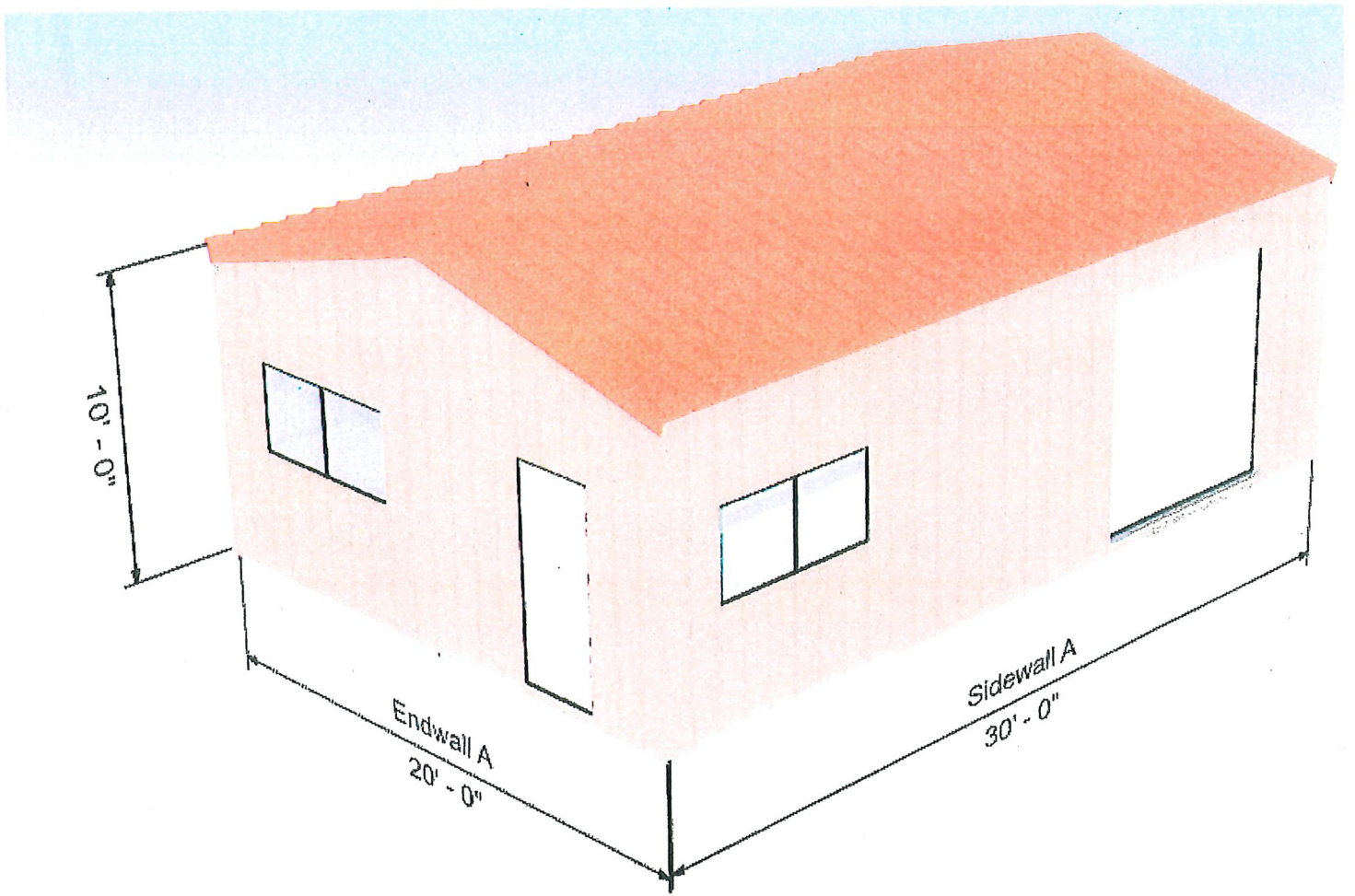
MOY SURVEYING INC.  
 414 N. DOWNTOWN MALL  
 LAS CRUCES, NEW MEXICO  
 88001

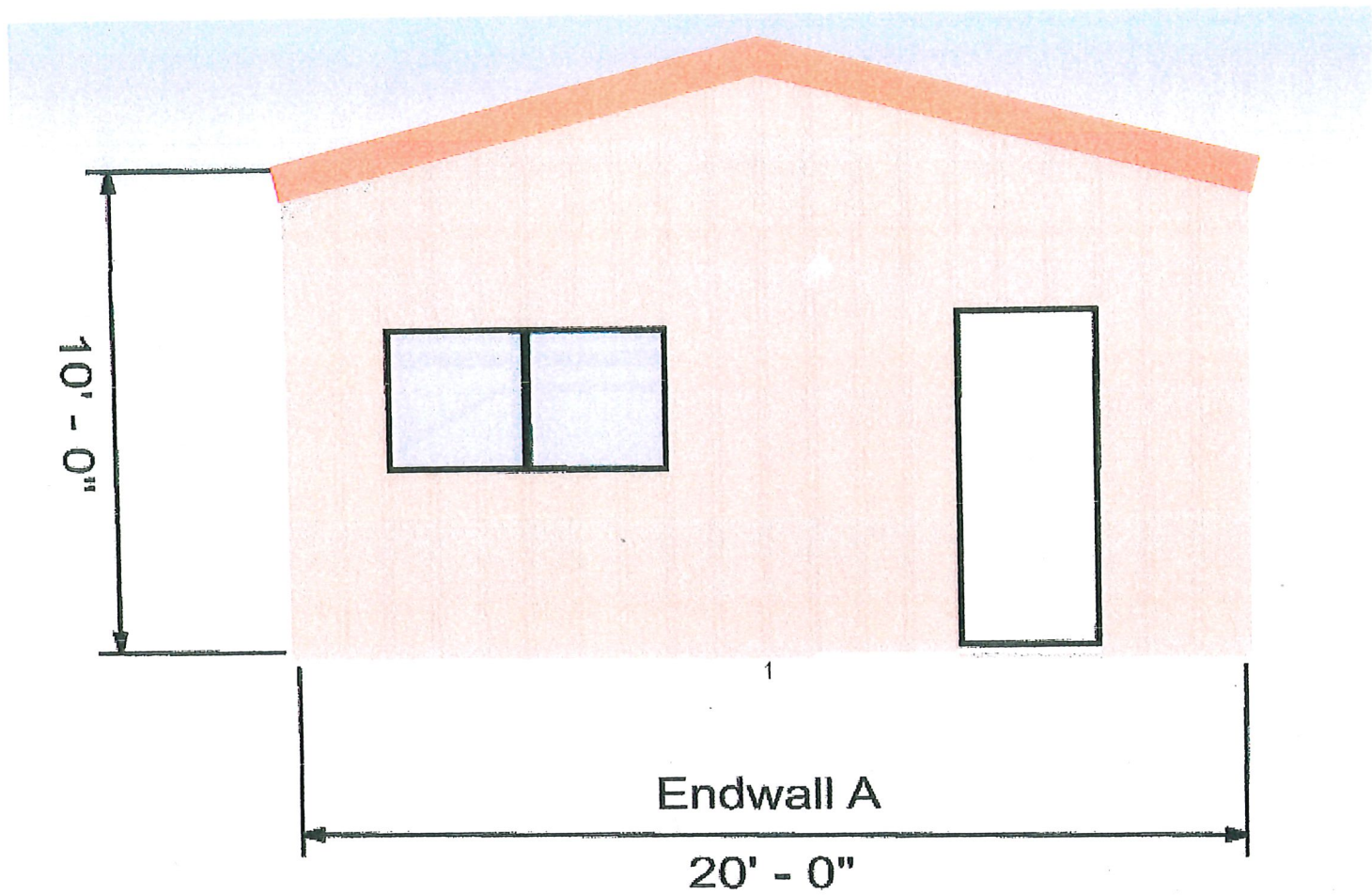
GEORGE MOY  
 NEW MEXICO



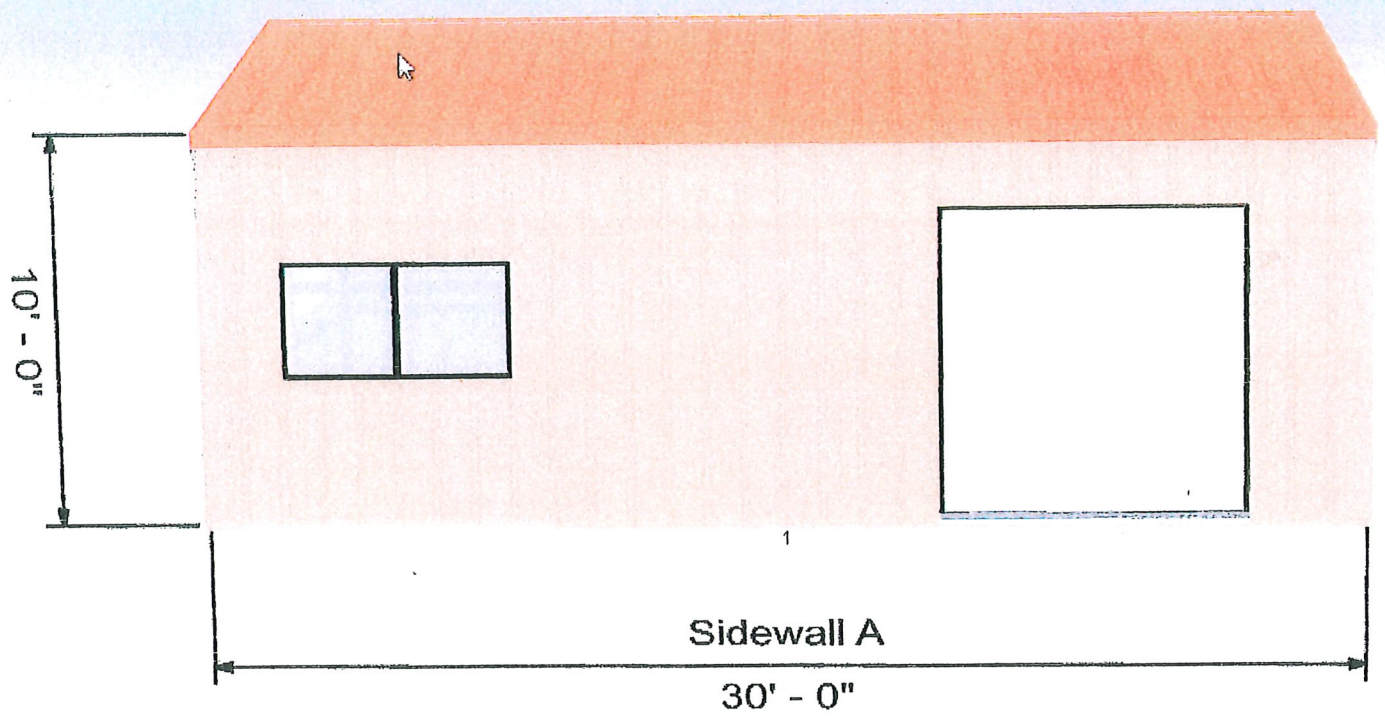
# BUILDING SITE DETAIL

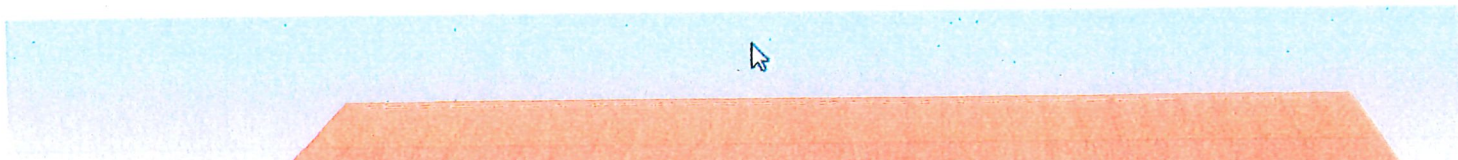






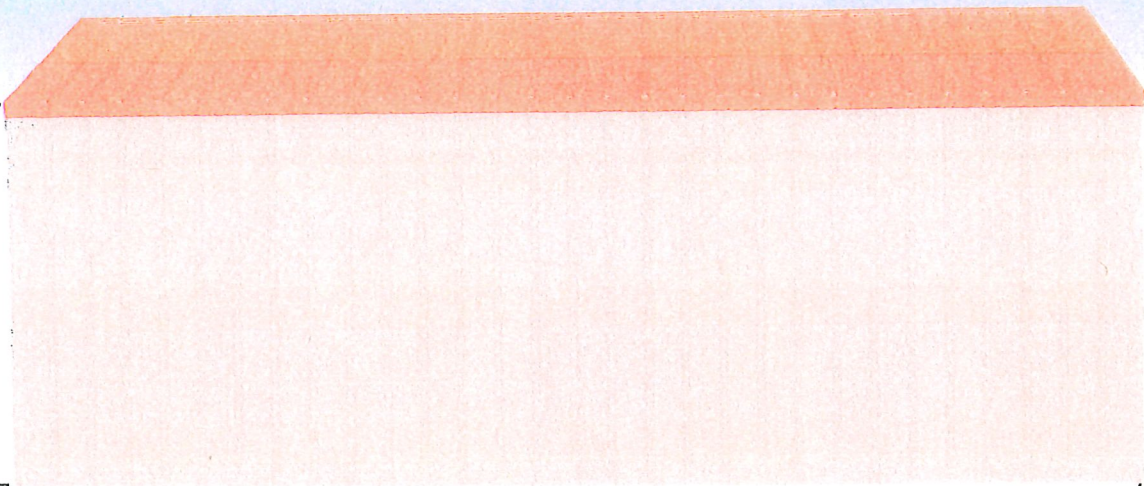






2

10' - 0"



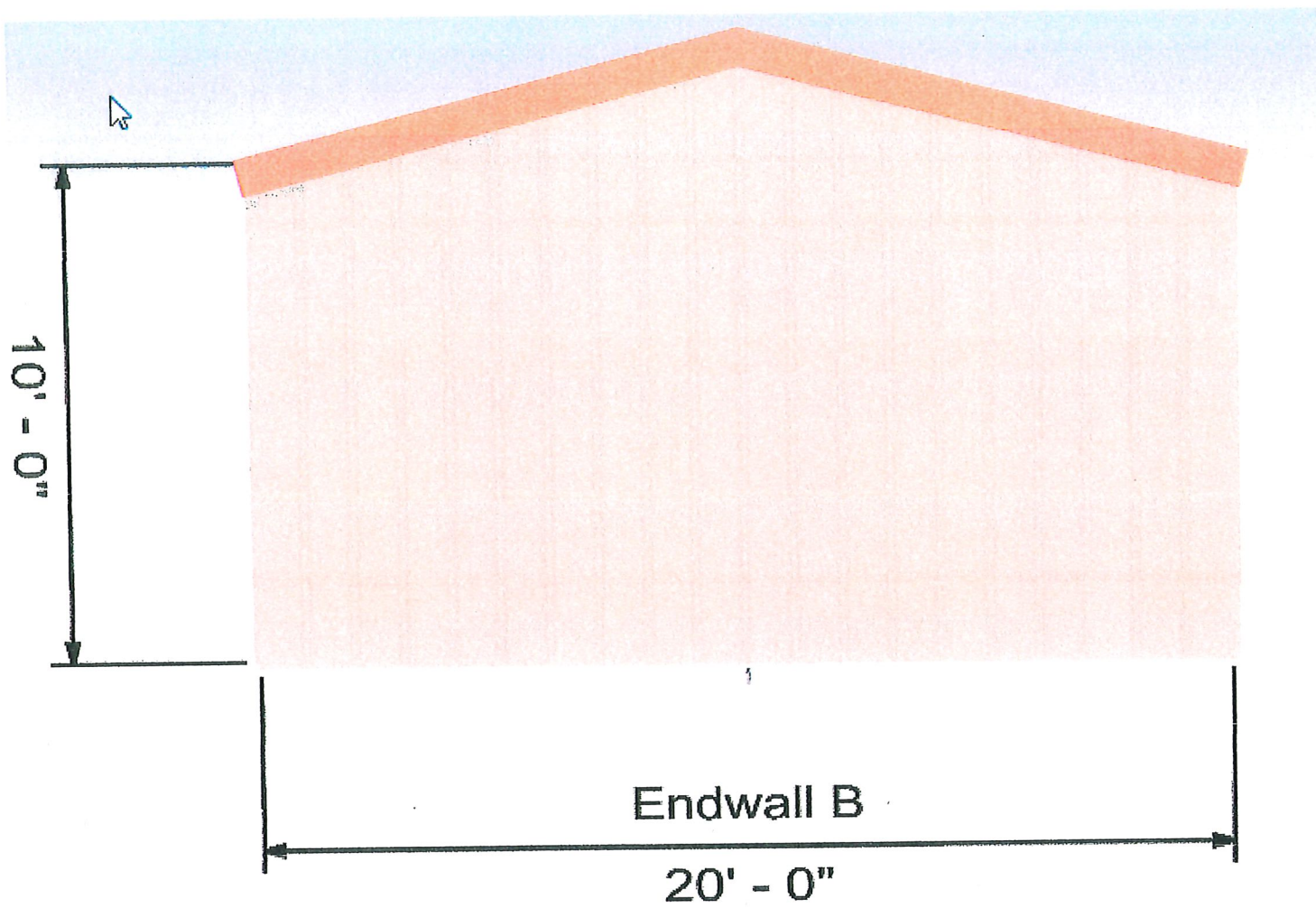
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Sidewall B

30' - 0"







**TOWN OF MESILLA**P.O. BOX 10  
MESILLA, NM 88046

RETURN POSTAGE GUARANTEED

FOR BILLING INFO CALL  
(575) 524-3262  
FOR WATER OR SEWER EMERGENCY  
CALL (575) 650-8230

ACCT. NO. 05-0760-03

|          | READING | CONSUMPTION |
|----------|---------|-------------|
| CURRENT  | 1424    | 10          |
| PREVIOUS | 1414    | 17          |

METER READ  
IN 1000 GALLONS  
PER MCF

| DATE     | SERVICE |
|----------|---------|
| 12/18/22 | SEWER   |
| 12/18/22 | TRASH   |
|          | TAX     |

| AMOUNT |
|--------|
| 36.90  |
| 15.61  |
| 2.63   |

02 1P

8000926787 DEC 27 2022

MAILED FROM ZIP CODE 88046

GRACE ARROWSMITH  
3200 MCDOWELL  
LAS CRUCES NM

88005

ACCT. NO. 05-0760-03

HAPPY NEW YEAR 2023

3200 MCDOWELL

DO NOT PAY - PAID BY DRAFT

AMOUNT DUE 55.14

AMOUNT DUE 55.14

PLEASE RETURN THIS STUB  
WITH YOUR PAYMENT.





PO Box 20000  
Las Cruces, NM 88004-9002  
(575) 541-2111

☐ Check this box for address correction. Print changes below.

| Billing Date | Enter Amount Paid |
|--------------|-------------------|
| 1/13/2023    |                   |



ARROWSMITH GRACE ANNE  
3200 MCDOWELL RD  
LAS CRUCES NM 88005-6409



310000094-000186108

Account Number- CID: 310000094-186108  
Bill Number: 24535829  
Current Amount Due By: 2/08/2023

Current Charges: \$18.61  
Total Amount Due: \$18.61

**YOUR BANK ACCOUNT WILL BE DRAFTED AUTOMATICALLY**



PO Box 20000  
Las Cruces, NM 88004-9002  
(575) 541-2111

Account Number: 310000094-186108  
Bill Number: 24535829  
Billing Date: Jan 13, 2023  
Due Date: Feb 08, 2023

Bill for service at:  
3200 MCDOWELL RD

232301

## Billing Summary

|                                  |                |
|----------------------------------|----------------|
| Previously Billed                | \$15.11        |
| Payments and Credits             | -15.11         |
| Adjustments                      | 0.00           |
| Late Fee                         | 0.00           |
| Unpaid Balance                   | 0.00           |
| Gas Service                      | 0.00           |
| Water Service                    | 18.61          |
| Wastewater Service               | 0.00           |
| Solid Waste Service              | 0.00           |
| Development Fees                 | 0.00           |
| Miscellaneous Fees               | 0.00           |
| <b>Deposit</b>                   | <b>0.00</b>    |
| <b>Current Charges</b>           | <b>\$18.61</b> |
| Unpaid Balance + Current Charges | \$18.61        |

## Payment Policy

### PAST DUE AMOUNTS ARE DUE NOW.

Payment received after the due date is considered delinquent.  
A late fee of 2.5% will be assessed on your balance before credits if a payment is not received by the due date.

### Payment options include:

- Checks payable to **City of Las Cruces**. Use return envelope or mail to ATTN: Cashiers PO Box 20000, Las Cruces, NM 88004-9002
- When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer from your account or to process the payment as a check transaction.
- Pay in person during business hours, Monday through Friday, 8:00 am to 5:00 pm at our office located at 700 N Main St., Las Cruces, NM
- Pay in person during business hours Monday through Friday, 9:00 AM to 6:00 PM at our office at 5195 Bataan Memorial West, Las Cruces, NM
- Deposit payment at after-hour drop box located between City Hall and Thomas Branigan Memorial Library
- Pay by phone at 1-575-541-2111
- Pay online at [www.las-cruces.org](http://www.las-cruces.org) and click on Online Bill Pay
- Pay at the following Las Cruces Western Union locations  
Mr. Payroll - 2240 East Missouri Ave  
Lowes Foods - 1410 East Missouri Ave, 2180 North Main St  
Quick Check - 5245 Porter Drive  
Check N Go - 400 North Telshor, Suite D  
- 1223 El Paseo Rd.

Safely and Securely request utility service at your convenience at:  
<https://externalforms.las-cruces.org/UtilityConnect/RequestService>

## Customer Service Information

Checks or bank drafts returned for insufficient or uncollectable funds will be charged a \$30 processing fee.

If you have any questions about this bill, please call Customer Services, Monday through Friday from 8:00am to 5:00pm at (575) 541-2111, or email [CustomerService@las-cruces.org](mailto:CustomerService@las-cruces.org).

For TTY Communications, please call NMRN at 1-800-659-8331 and ask them to place your call to (575) 541-2111.

For 24 hours **emergency service** please call (575) 526-0500.

## Special Announcement

Why is my gas bill higher this month?  
The cost of gas has increased to \$13.71 per dekatherm for January 2023.  
Please refer to the monthly bill insert for more information.

RECEIVED  
2/10/23

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case #

Fee \$ 1100.00

Rev \$ 129.00

\$1229.00

PERMISSION TO CONDUCT WORK  
OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 001532 ZONE: R1 CODE: 750 APPLICATION DATE:

Justin Castillo (575) 520-5425

Name of Property Owner Property Owner's Telephone Number

640 RITTER ROAD, LAS CRUCES, NM 88005

Property Owner's Mailing Address City State Zip Code

headquarters@maximumlascruces.com

Property Owner's E-mail Address

Iris Mcleod / Our World Energy

Contractor's Name & Address (If none, indicate Self)

505-526-5886 87-3404052 407014 ER01, GB02

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 640 RITTER ROAD, LAS CRUCES, NM 88005

Description of Proposed Work: Installation of a 17.55 kW PV System / Derate 150A

\$ 78,967 Estimated Cost

Iris McLeod

2/10/2023

Signature of Applicant Date

Signature of property owner: Justin Castillo

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval ☐ Approved Date: ☐ Disapproved Date: ☐ Approved with Conditions

BOT ☐ Approved Date: ☐ Disapproved Date: ☐ Approved with Conditions

PZHAC APPROVAL REQUIRED: X YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS:

PERMISSION ISSUED/DENIED BY: ISSUE DATE:

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses and dimensions.
- Cross section of walls
- Roof and floor framing plan
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other Information as necessary or required by the City Code or Community Development Department (See other side.)





Project #: 22-397

January 2, 2023

Our World Energy

Regarding: Engineering Verification for Solar Array on Existing Structure  
Justin Castillo Residence at 640 Ritter Road, Las Cruces, NM

**Design Criteria:**

- Applicable Codes: 2015 IEBC, IBC, and 2015 IRC w/ Local amendments and ASCE 7-10
- Risk Category: II
- Wind Speed = 115 mph; Exposure Category = C; Partially/Fully Enclosed Method
- Ground Snow Load = 20 psf; Roof Snow Load = 14 psf
- Flush-mounted Solar array (no more than 6" above the roof surface)

**To Whom It May Concern:**

I have reviewed the existing structure for the residence listed above to determine its adequacy to support the addition of solar panels according to the proposed installation and panel layout plan. Based upon my review, the existing structure meets/exceeds the requirements to support the proposed solar PV system.

**Flush Mount Installation:**

Install the rail racking system per manufacturer's recommendations ensuring that (1) lag screw is embedded into the framing at a max. 48" o.c. along rails for each row of panels, evenly spaced; panel length not to exceed 67 in. Rail cantilever lengths can be up to 33% of span length.

In the area of the solar array, other live loads will not be present or will be greatly reduced (2015 IBC, Section 1607.12). The member forces in the area of the solar panels are not increased by more than 5%. As such, the stresses of the structural elements are not increased by more than 5% thus meeting the requirements of section 1103.2 of the 2015 IEBC. The structure is permitted to remain unaltered.

**Limitations/Liability:**

Prior to commencement of work, the contractor shall verify the framing sizes, spacings, and spans noted in the stamped plans, calculations, and cert letter (where applicable) and notify the Engineer of Record of any discrepancies prior to starting construction including any damage to the framing that was not identified in the site survey or on the stamped plans.

Installation of the solar panels must be performed in accordance with manufacturer recommendations. All work performed must be in accordance with accepted industry-wide methods and applicable safety standards. Connections to existing framing must be fully staggered, except at array ends, to avoid overloading of existing structural members. The use of solar panel support span tables provided by



others is allowed only where the building type, site conditions, site specific design parameters, and solar panel configuration match the description of the span tables. The design of the solar panel racking (mounts, rails, etc.), and electrical engineering is the responsibility of others. Waterproofing around the roof penetrations is the responsibility of others. DB Designs assumes no responsibility for improper installation of the solar array.

The existing structure is assumed to be designed and built according to the appropriate codes at time of construction. The calculations included herein are limited to the evaluation of the existing roof framing for the purpose of the proposed PV system referenced in the stamped plan set. Calculations were performed according to generally recognized structural analysis standards and procedures, professional engineering and design experience, and opinions and judgements of industry professionals.

DB Designs



Darren Bunker, P.E  
NM License: 28145  
Expires: 31 Dec 2023

Enclosures



Job No. 22-397  
 Project: Justin Castillo  
 Project Address: 640 Ritter Road, Las Cruces, NM



## LOAD CALCULATION (ICC 2015)

### CALCULATE ESTIMATED GRAVITY LOADS

See IBC 1607.12 for Photovoltaic system requirements

| ROOF DEAD LOAD (D) |         | Increase due to pitch | Original loading |
|--------------------|---------|-----------------------|------------------|
| Roof Pitch/12      | 4.5     |                       |                  |
| Asphalt Shingle    | 2.1     | 1.07                  | 2                |
| 1/2" Plywood       | 1.1     | 1.07                  | 1                |
| Framing            | 3.0 psf |                       |                  |
| Insulation         | 0.5 psf |                       |                  |
| 1/2" Gypsum Cig.   | 2.0 psf |                       |                  |
| M, E & Misc        | 1.5 psf |                       |                  |
| DL                 | 10 psf  |                       |                  |
| PV Array DL        | 3 psf   |                       |                  |

### ROOF LIVE LOAD ( $L_r$ )

|                                      |    |   |
|--------------------------------------|----|---|
| Existing Design Roof Live Load [psf] | 20 | ASCE 7-10, Table 4-1 (Roofs, Ordinary flat, pitched and curved) |
| Roof Live Load with PV Array [psf]   | 0  | 2015 IBC, Section 1607.12.5                                     |

| SNOW LOAD (S):                       | Existing      | w/ Solar Panel Array |                           |
|--------------------------------------|---------------|----------------------|---------------------------|
| Roof Slope [x:12]                    | 4.5           | 4.5                  |                           |
| Roof Slope [°]                       | 20.56         | 20.56                |                           |
| Snow Ground Load, $p_g$ [psf]:       | 20            | 20                   | ASCE 7-10, Section 7.2    |
| Terrain Category:                    | C             | C                    | ASCE 7-10, Table 7-2      |
| Exposure of Roof:                    | Fully Exposed | Fully Exposed        | ASCE 7-10, Table 7-2      |
| Exposure Factor, $C_e$ :             | 0.9           | 0.9                  | ASCE 7-10, Table 7-2      |
| Thermal Factor, $C_t$ :              | 1.1           | 1.1                  | ASCE 7-16, Table 7.3-2    |
| Risk Category:                       | II            | II                   | ASCE 7-10, Table 1.5-1    |
| Importance Factor, $I_s$ :           | 1.0           | 1.0                  | ASCE 7-10, Table 1.5-2    |
| Flat Roof Snow Load, $p_f$ [psf]:    | 14            | 14                   | ASCE 7-10, Equation 7.3-1 |
| Minimum Roof Snow Load, $p_m$ [psf]: | NA            | NA                   | ASCE 7-16, Section 7.3.4  |
| Unobstructed Slippery Surface?       | No            | Yes                  | ASCE 7-10, Section 7.4    |
| Slope Factor Figure:                 | Figure 7-2b   | Figure 7-2b          | ASCE 7-10, Section 7.4    |
| Slope Factor, $C_s$ :                | 1.0           | 0.82                 | ASCE 7-10, Figure 7-2     |
| Sloped Roof Snow Load, $p_s$ [psf]:  | 14            | 11                   | ASCE 7-10, Equation 7.4-1 |
| Design Snow Load, $S$ [psf]          | 14            | 11                   |                           |

### Summary of Loads

|             | Existing | With PV Array |
|-------------|----------|---------------|
| D [psf]     | 10       | 13            |
| $L_r$ [psf] | 20       | 0             |
| S [psf]     | 14       | 11            |

### Maximum Gravity Loads:

|                             | Existing | With PV Array |
|-----------------------------|----------|---------------|
| D + $L_r$ [psf]             | 30       | 13            |
| D + S [psf]                 | 24       | 25            |
| Maximum Gravity Load [psf]: | 30       | 25            |

Ratio Proposed Loading to Current Loading:

82% PASS

The gravity loads in the area of the solar array are decreased; thus, the stresses of the structural elements are decreased. Therefore, the requirements of Section 1103.2 of the 2015 IEBC are met and the structure is permitted to remain unaltered.



[www.ourworldenergy.com](http://www.ourworldenergy.com)



# OWNERSHIP AGREEMENT

5244 2<sup>nd</sup> Street NW,  
Albuquerque, New Mexico, 87017 ROC # 407014  
[www.ourworldenergy.com](http://www.ourworldenergy.com) | 885.850.3357

Generated by : Justin Faria



## AGREEMENT DETAILS



### CUSTOMER INFORMATION

JUSTIN CASTILLO

(575) 520-5425

HOMEOWNER(S)

PHONE NUMBER

640 Ritter Road

Las Cruces NM 88005

STREET ADDRESS

CITY, STATE, ZIP CODE

headquarters@maximumlas Cruces - Generated Lead

El Paso Electric

EMAIL ADDRESS

LEAD SOURCE

UTILITY COMPANY

None

HOMEOWNER'S ASSOCIATION

PHONE NUMBER



### RESIDENTIAL PHOTOVOLTAIC SOLAR SYSTEM ("THE PRODUCTS")

Total Cost: \$ 78967

Down Payment: \$

DC KW SYSTEM SIZE

17.55

MODULE AND MODEL NUMBER

39 X UNIVERSAL-450-120M-BB

INVERTER AND MODEL NUMBER

39 X Enphase IQ8M-72-2-US

RACKING

K2 or Equivalent

ADDITIONAL MATERIALS

No Verbal Promises were made

BATTERY STORAGE

No



### MONETARY INFORMATION

PAYMENT OPTIONS:

Loan

FINANCE OPTIONS:

Dividend

## TERMS & CONDITIONS <sup>1/3</sup>

**(1) ARS 44-1763:** Our World Energy has provided a copy of ARS 44-1763 contract with regards to Financing, Sale or Lease Agreements for Distributed Energy Generation Systems.

**(2) Compliance with applicable Codes and Laws:** All work shall be performed in a workmanlike manner and in full compliance with all applicable building codes and other applicable laws Our World Energy shall at its own expense obtain and possess all necessary licenses, permits, and other things necessary and required for the proper performance of the work.

**(3) Use of Subcontractors:** Our World Energy may utilize subcontractors to perform portions of the work. If subcontractors are utilized Our World Energy shall fully pay for their services.

**(4) Liability Insurance:** At all times during the actual installation Our World Energy shall keep in force a Commercial General Liability Insurance policy with limits of not less than One Million Dollars, and excess insurance coverage of not less than Three Million Dollars, to insure for injury to Contractor's employees, and others, incurring loss or injury as a result of the acts of Our World Energy, its employees and subcontractors.

**(5) Taxes:** Our World Energy shall pay all taxes required by any taxing authority having jurisdiction over the project.

**(6) Delays:** Our World Energy shall not be liable for delays due to circumstances beyond its control. Any starting or completion dates provided by Our World Energy are its best estimates and subject to change. Our World Energy's performance is based upon the prompt, complete, and accurate fulfillment of all of Customer's obligations including payment.

**(7) Warranties:** Our World Energy warrants that all labor and materials will be free from defects for a period of twenty-five (25) years from the date of completion. Customer will be provided with the standard warranties from major equipment manufacturers.



## TERMS & CONDITIONS <sup>2/3</sup>

**(8) Disclaimer:** Our World Energy disclaims any liability for direct or indirect damages resulting from improper use, modifications, alterations, repairs, misuse, abuse, vandalism, damage caused by the serving utility company, fire, storm, flood or other acts of God. Our World Energy shall not be liable for any direct, indirect or consequential damages, losses, costs or other expenses, however arising, in contract or in tort, including without limitation any economic losses of any kind, losses or damage to property or personal injury. Our World Energy disclaims any responsibility for the systems use or its operation for any intended purpose.

**(9) Liens and Waivers of Liens:** Our World Energy shall furnish Customer releases or waivers of lien, from all companies that have provided Customer with a Pre- Lien Notice, through the date for which payment is being made. Customer shall promptly advise Our World Energy of its receipt of any Pre-Lien Notices.

**(10) Change Orders:** Our World Energy and the Customer recognize that unforeseen conditions or factors may become known subsequent to the time that this contract is signed. In addition, Customer may desire a change that would add time and cost to the work. If these or other events, within or beyond the control of the parties, require adjustment to this contract, the parties shall make a good faith attempt to agree on all particulars including cost. Such agreements shall be put in writing, signed by the parties and amended to this contract. Notwithstanding the foregoing, Customer hereby grants Our World Energy express authorization to unilaterally make changes to this contract when (1) a change of \$2.00 or less on the purchase price is required for purposes of completing any financing documents or (2) any other clerical changes such as Customer's address. (3) any AHJ and utility documents.

**(11) OUR WORLD ENERGY MAKES NO OTHER WARRANTIES, EXPRESSED OR IMPLIED, EXCEPT AS SPECIFICALLY PROVIDED IN THIS AGREEMENT AND OUR WORLD ENERGY WILL NOT BE RESPONSIBLE FOR ANY SPECIAL, INDIRECT OR CONSEQUENTIAL PROPERTY OR COMMERCIAL DAMAGE OF ANY NATURE WHATSOEVER.**

**(CUSTOMER INITIALS)** 

## TERMS & CONDITIONS <sup>3/3</sup>

**(12) Dispute Resolution:** ANY CONTROVERSY OR CLAIM ARISING OUT OF, OR RELATING TO, THIS CONTRACT, OR ANY BREACH THEREOF, SHALL BE SETTLED BY ARBITRATION ADMINISTERED BY THE AMERICAN ARBITRATION ASSOCIATION UNDER ITS CONSTRUCTION INDUSTRY ARBITRATION RULES. AND JUDGMENT ON THE AWARD RENDERED BY THE ARBITRATOR(S) MAY BE ENTERED IN ANY COURT HAVING JURISDICTION THEREOF. A COPY OF SUCH RULES CAN BE EXAMINED AT [WWW.ADR.ORG](http://WWW.ADR.ORG). IF THE CUSTOMER DOES NOT HAVE INTERNET ACCESS, OR UPON REQUEST, A COPY OF THE RULES HAVE BEEN PROVIDED TO THE CUSTOMER.

(CUSTOMER INITIALS)

<sup>DS</sup>  
[Signature]

**(13)** Actual utility rates may go up or down and actual savings may vary.

## I HAVE READ AND UNDERSTAND THE ABOVE

|  |                          |            |
|--|--------------------------|------------|
| <small>DocuSigned by:</small><br>[Signature]<br><small>8291DA99AF724F...</small> | JUSTIN CASTILLO          | 12/10/2022 |
| Customer(s) Signature  | Customer(s) Name Printed | Date       |
| <small>DocuSigned by:</small><br>[Signature]<br><small>0805318F339041...</small> |                          | 12/10/2022 |
| Sales Representative Signature   |                          | Date       |
| <small>DocuSigned by:</small><br>[Signature]<br><small>E42ADF027CB45C...</small> |                          | 12/10/2022 |
| Our World Energy Acceptance Signature  |                          | Date       |

All agreements regarding performance of the work are stated herein. All modifications to this agreement shall be in writing and signed by Our World Energy and the Customer. This Contract entered into as of the date indicated above is by and between Our World Energy and the undersigned Homeowner(s) hereinafter referred to as "Customer."



## ADDITIONAL DETAILS



### NOTICE TO BUYER

- (1) Do not sign this agreement if any of the spaces are left blank.
- (2) You are entitled to a copy of this contract at the time you sign it.
- (3) **TAX CREDITS AND REBATES:** Buyer understands that Our World Energy and its representatives are not tax professionals. Buyer understands that the tax credits offered by the Federal and State governments are credits against the buyer's income tax liability. Should you have any questions relating to or pertaining to your ability to acquire the above mentioned credits, you should seek counsel of a tax professional. Furthermore, buyer understands that rebates and credits are estimated at time of purchase.
- (4) OUR WORLD ENERGY AGREES TO PAINT CONDUIT, THE DAY OF THE INSTALLATION, ONLY WITH CUSTOMER SUPPLIED PAINT AND MATERIALS.



### ADDITIONAL TERMS AND CONDITIONS

- (1) The Customer shall afford access to the Customer's residence to Our World Energy or its designee (s) to install the Products.
- (2) Our World Energy assumes no responsibility or liability for payments made by Customer to any of Our World Energy's salesmen or employees unless any such payments is/are made by check payable to Our World Energy.
- (3) Customer agrees that he/she will sign a Contractors Completion Certificate, as well as any other documents deemed necessary by any financial institution which provides financing to Customer in order to acquire the Products.
- (4) Purchaser understands there is no written or implied warranty on Customer's existing Electrical System(s).
- (5) Actual production/reduction of usage and customer savings may vary based on size of the system, orientation, and rate plans. Utility rates and funding program levels are subject to change. Our World Energy has no control over Utility rates and/or fees associated with the energy devices or Product's sold.

## PAYMENT (CASH PURCHASE)

Payments on cash purchases are to be made as follows (payment terms with third parties vary depending on funding source):

The Down Payment, of \$ N/A is due at the time of Contract Execution. Drawings may not be prepared for Utility Company and Authority having Jurisdiction, if applicable, until this payment is received.

The Install Payment, in the amount of \$ N/A (equal to or greater than 80% of the contract amount minus the Down Payment) is due when the installation is complete, and the system is able to function in accordance with its intended purpose.

The Final Payment, in the amount of \$ N/A (equal to or greater than 20% of the contract amount) is due upon commissioning by the Utility Company.

All payments not received when due will be charged a 1.5% monthly service charge.

Credit card payments are a valid and acceptable form of payment. However, payments made with credit cards are subject to additional merchant fees.



## WARRANTIES <sup>1/2</sup>

Any person who manufactures, furnishes for installation or installs a solar energy device shall provide with such device a written statement of warranty, responsibilities assumed or disclaimed and performance data of the solar energy device and components of the solar energy device. The form of the statement required by this subsection is subject to approval by the registrar of contractors after consultation with the governor's energy office. The registrar of contractors shall adopt rules governing the readability and understandability of the statement. The statement shall specify the source of any performance data it contains. A copy of the statement shall be delivered to the registrar of contractors where it shall be kept on public file. C. A person who sells a solar energy device in this state shall furnish a certificate to the buyer that the solar energy device complies with the requirements of this section. D. A solar energy device that is sold or installed in this state shall comply with any consumer protection, rating, certification, performance, marking, installation and safety standards that have been adopted by the governor's energy office. E. An individual who installs a solar energy device in this state, in addition to being a licensed solar contractor under title 32, chapter 10, article 4, shall: 1. Possess the general license that is appropriate to the type of solar energy device that is installed. Installers of a solar water heater or a photovoltaic device shall possess an appropriate contractor's license. 2. Meet any education and training standards that have been adopted by the registrar of contractors after consultation with the governor's energy office. 3. Pass an examination on the installation of the type of device to be installed, if the registrar of contractors after consultation with the governor's energy office has adopted such an examination. Solar energy devices that are designed or installed by the final owner are exempt from the requirements of subsections A through E. G. The installation of a solar energy device shall meet the requirements of: 1. All applicable fire, safety and building codes. 2. Consumer protection standards, including freeze protection and temperature related damage standards adopted by the governor's energy office. 3. All other applicable federal, state and local laws. H. Solar energy devices are subject to random inspections by the registrar of contractors.



## WARRANTIES <sup>2/2</sup>

Installers who fail to meet safety, installation or other prescribed standards are subject to disciplinary action under title 32, chapter 10, Article 3. Statement of warranty coverage: The warranty requirements for the installation company will be as follows (this warranty supersedes all other warranties for the time periods stated): The installation company will provide a full parts and labor warranty for the entire system for twenty-five (25) years from the date of installation. Full parts and labor warranty includes, but is not limited to, any and all component failures(s), whether it is covered by the original manufacturer or not, and any and all installation-related malfunction(s). And manufacturer's warranty(ies) are in addition to, not in lieu of, the installation warranty. Warranty is not required to cover problems resulting from exposure to harmful materials and chemical, fire, flood, lighting, hurricane, tornado, hailstorm, earthquake, or other acts of God, vandalism, alteration of system by anyone not authorized by the installation company, or any other cause beyond the control of the installation company. Our World Energy guarantees that all labor associated with the application of this roof will be free from defects for a period of twenty-five (25) years following the date of completion, to include roof penetrations. Customer acknowledges and warrants that in executing this Agreement, it has not relied upon any inducements, promises or representations of whatever nature made by OWE or any individual representing OWE and that Customer is entering into this Agreement based solely on its own judgment, having conducted sufficient investigation to make an intelligent decision in deciding to become bound hereunder.



## NOTICE OF CANCELLATION

Customer may cancel this Contract within three **(3)** days after signing by notifying Our World Energy of such in writing. Our World Energy may cancel this agreement if existing conditions at the site of the work prohibit the work or add additional costs to the work that the Customer is unwilling to pay for under the change order provisions of this Contract.

To cancel this transaction, mail or deliver a signed and dated copy of this cancellation notice or any other written notice to: **20809 N 19th Ave, Suite #1, Phoenix, Arizona, 85027**

**Cancellation Fee:** Customer acknowledges that Our World Energy will incur substantial expenses on Customer's behalf prior to actual physical installation of Customer's solar system. Customer further understands that Our World Energy only provides these services at no upfront charge in exchange for performing and being paid for all its work on behalf of Customer at Customer's home. Customer agrees that the cancellation of the parties' Purchase Contract must first be accepted by Our World Energy, in writing, and that such cancellation shall only be valid under the following circumstances: a) written notice is provided to Our World Energy within ten (10) days of the Customer signing the Purchase Contract; and b) Customer has paid in full for all completed work to date. If Customer fails to comply with the above requirements, Customer will be obligated to pay ten percent (10%) of the total loan amount to Our World Energy, if Customer chooses to cancel the Purchase Contract with Our World Energy.

**----- I HEREBY CANCEL THIS TRANSACTION -----**

\_\_\_\_\_  
Customer(s) Signature

\_\_\_\_\_  
Date

# PHOTOVOLTAIC ROOF MOUNT SYSTEM

39 MODULES-ROOF MOUNTED - 17.550 kW DC, 12.675 kW AC  
640 RITTER ROAD, LAS CRUCES, NM 88005

## PHOTOVOLTAIC SYSTEM SPECIFICATIONS:

SYSTEM SIZE: 17.550 kW DC  
12.675 kW AC  
MODULE TYPE & AMOUNT: (39) UNIVERSAL SOLAR UNI-450-120M-BB  
MODULE DIMENSIONS: (L) 44" 75.35" 44" 81" 1.38"  
INVERTER: (39) ENPHASE ENERGY IQ8M-72-US  
INTERCONNECTION METHOD: LOAD BREAKER

## SHEET INDEX:

COVER SHEET  
PV 0.0:  
PV 1.0: SITE PLAN  
PV 1.1: ATTACHMENT & STRING LAYOUT  
S 1.0: MOUNT DETAILS  
E 1.1: 3-LINE DIAGRAM  
E 1.2: 1-LINE DIAGRAM  
E 1.3: WIRE CALCULATION  
E 1.4: WARNING LABELS  
E 1.5: EQUIPMENT SPEC SHEET  
D 1.1:\*

## GOVERNING CODES

ALL WORK SHALL CONFORM TO THE FOLLOWING CODES  
a. 2017 NATIONAL ELECTRICAL CODE  
b. 2015 NATIONAL BUILDING CODE  
c. 2015 INTERNATIONAL RESIDENTIAL CODE  
d. ANY OTHER LOCAL AMENDMENTS

1. Prior to commencement of work, Contractor shall verify the framing sizes, spacings, and spans noted in the stamped plans and accompanying calculations. Contractor shall notify the Engineer of Record (EOR) of any discrepancies prior to starting construction.
2. EOR stamp and seal pertain to structural code compliance of the roof framing supporting the proposed PV installation only. Stamp and seal do not cover water leakage. PV modules, racking, and attachment components must follow manufacturer guidelines and requirements.
3. See accompanying Structural Calculations report for details regarding calculations as well as limits of scope of work and liability.

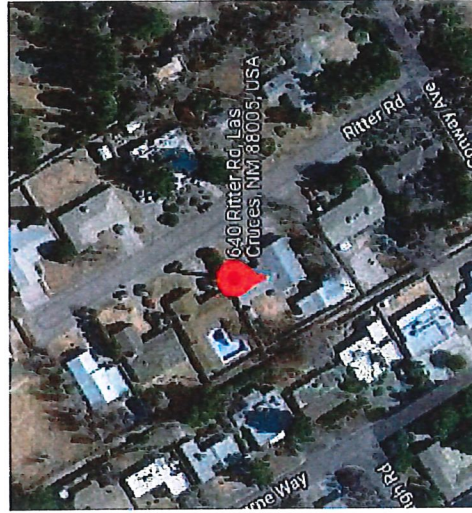
## GENERAL ELECTRIC NOTES:

1. ALL WIRING MUST BE PROPERLY SUPPORTED BY DEVICES OR MECHANICAL MEANS DESIGNED AND LISTED FOR SUCH USE. FOR ROOF-MOUNTED SYSTEMS, WIRING MUST BE PERMANENTLY AND COMPLETELY HELD OFF OF THE ROOF SURFACE.
2. ANY CODE VIOLATIONS EVIDENT IN THE INTERCONNECTION PANEL WILL BE CORRECTED ON INSTALLATION.
3. SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL RELEVANT CODE
4. RAPID SHUTDOWN INITIATION TAKES PLACE AT THE AC DISCONNECT. RAPID SHUTDOWN COMMENCES UPON LOSS OF UTILITY SOURCE VOLTAGE.

## GENERAL STRUCTURAL NOTES:

- a. THE SOLAR PANELS ARE TO BE MOUNTED TO THE ROOF FRAMING USING THE EVEREST SYSTEM. THE MOUNTING FEET ARE TO BE SPACED AS SHOWN IN THE DETAILS, AND MUST BE STAGGERED TO ADJACENT FRAMING MEMBERS TO SPREAD OUT THE ADDITIONAL LOAD.
- a. UNLESS NOTED OTHERWISE, MOUNTING ANCHORS SHALL BE  $\frac{5}{8}$ " LAG SCREWS WITH A MINIMUM OF  $2\frac{1}{2}$ " PENETRATION INTO ROOF FRAMING. THE PROPOSED PV SYSTEM ADDS 3.0 psf TO THE ROOF FRAMING SYSTEM. ROOF LIVE LOAD = 20 psf TYPICAL, 0 psf UNDER NEW PV SYSTEM.
1. GROUND SNOW LOAD = 20 psf
2. WIND SPEED = 115 mph
3. EXPOSURE CATEGORY = C
- 4.
- 5.

32.275309, -106.774902



## 1 SATELLITE VIEW

PV 0.0

SCALE: NTS

## 2 VICINITY MAP

PV 0.0

SCALE: NTS



OUR WORLD ENERGY  
Abingdon, MA 01707, USA  
PHONE: +1-253-955-5700

| REVISIONS      |           | Rev | Date |
|----------------|-----------|-----|------|
| Initial Design | 21-Dec-22 | 01  |      |
|                |           |     |      |
|                |           |     |      |
|                |           |     |      |
|                |           |     |      |

Signature with Seal

Project Name & Address

CASTILLO RESIDENCE  
640 RITTER ROAD  
LAS CRUCES, NM 88005  
UTILITY ACCOUNT # 2609210000

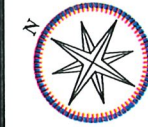
Service #  
P-0001243998

Sheet Name  
COVER SHEET

Sheet Size  
ANSI B  
11" X 17"

Sheet Number  
PV 0.0





SYSTEM



INVERTER: 39 x ENPHASE  
ENERGY IQ8M-72-2-US  
= 12.675 kW (AC)  
PANELS: 39 x UNIVERSAL  
SOLAR UNI-450-120M-BB  
= 17.550 kW (DC)

## ACCESS ISSUES

39 NEW UNIVERSAL SOLAR  
UNI-450-120M-BB MODULES  
NEW 39 - ENPHASE ENERGY  
IQBM-72-2-US INVERTERS, MOUNTED ON  
THE BACK OF EACH MODULE.

 = ROOF OBSTRUCTIONS  
 = EXTERIOR RUN  
 = CONDUIT ROOF TOP JUNCTION BOX

ROOF SECTIONS

- 
**ROOF-601** MODULE - 28  
 SLOPE - 20°  
 AZIMUTH - 151°  
 MATERIAL - COMP. SHINGLE  
 TRUSS SIZE & SPACING - 2"x4" @ 24" O.C.
- 
**ROOF-602** MODULE - 11  
 SLOPE - 20°  
 AZIMUTH - 241°  
 MATERIAL - COMP. SHINGLE  
 TRUSS SIZE & SPACING - 2"x4" @ 24" O.C.

CASTILLO RESIDENCE  
640 RITTER ROAD  
LAS CRUCES, NM 88005  
UTILITY ACCOUNT # 2609210000

Service #

Sheet Name  
SITE PLAN

Sheet Size  
ANSI B  
11" X 17"

Sheet Number

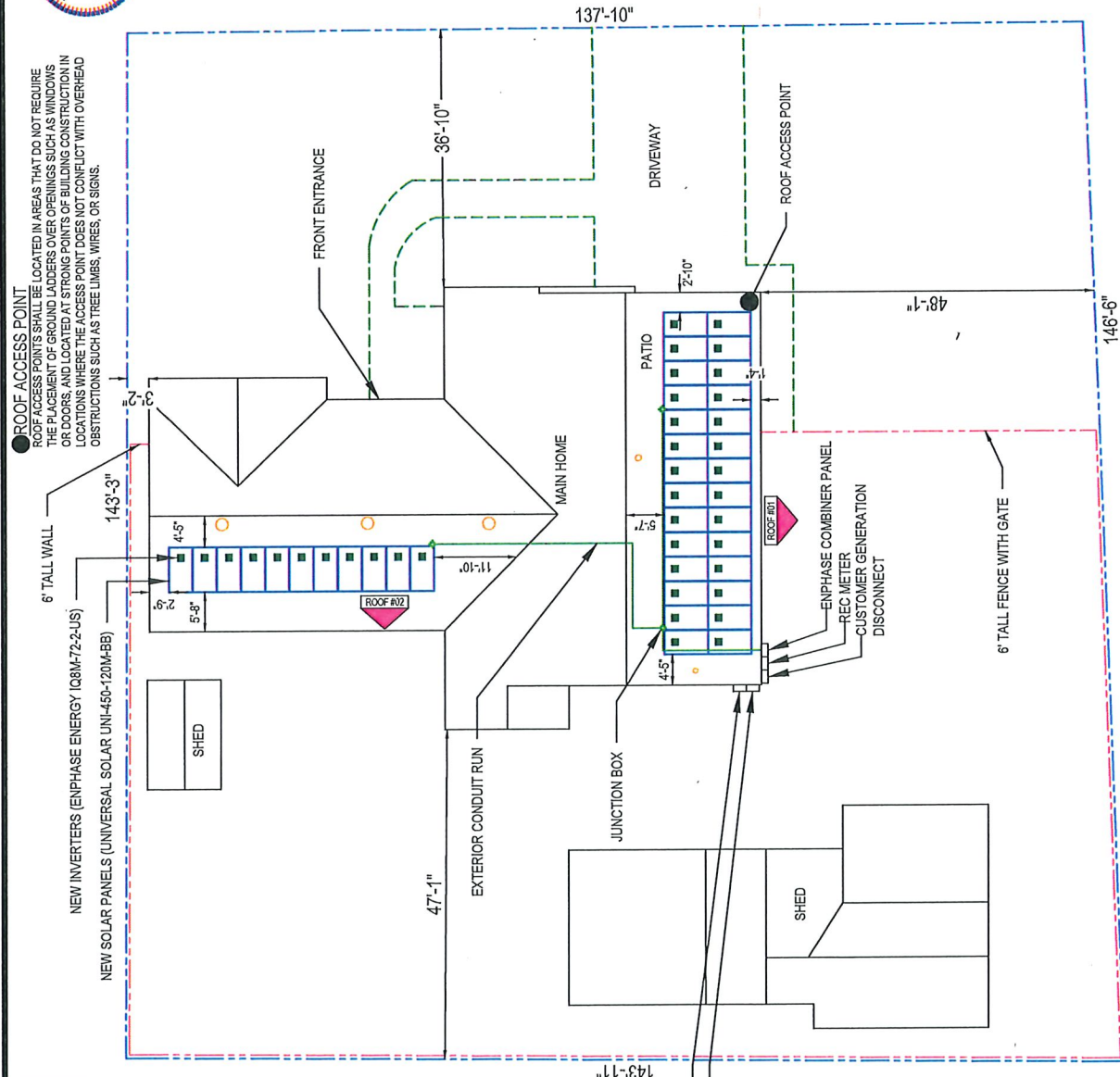
PV1.0

|                     |                     |
|---------------------|---------------------|
| TOTAL ROOF AREA:    | 1930ft <sup>2</sup> |
| TOTAL MODULE AREA:  | 910ft <sup>2</sup>  |
| TOTAL AREA COVERED: | 47.17%              |

SCALE: 1/16" = 1'-0"

## SITE PLAN

Modules:  $39 \times 450\text{W} = 17.550 \text{ kW}$   
Inverter(s):  $39 \times 325\text{W} = 12.675 \text{ kW}$





OUR WORLD ENERGY  
244 PARKWAY  
ALBUQUERQUE, NM 87102, USA  
PHONE: 505.450.5700

| REVISIONS      |           |
|----------------|-----------|
| Description    | Date      |
| Initial Design | 21-Dec-22 |
|                |           |
|                |           |
|                |           |
|                |           |
|                |           |

Signature with Seal

Project Name & Address

**CASTILLO RESIDENCE**  
640 RITTER ROAD  
LAS CRUCES, NM 88005  
UTILITY ACCOUNT #: 2609210000

Service #

P-0001243998

Sheet Name

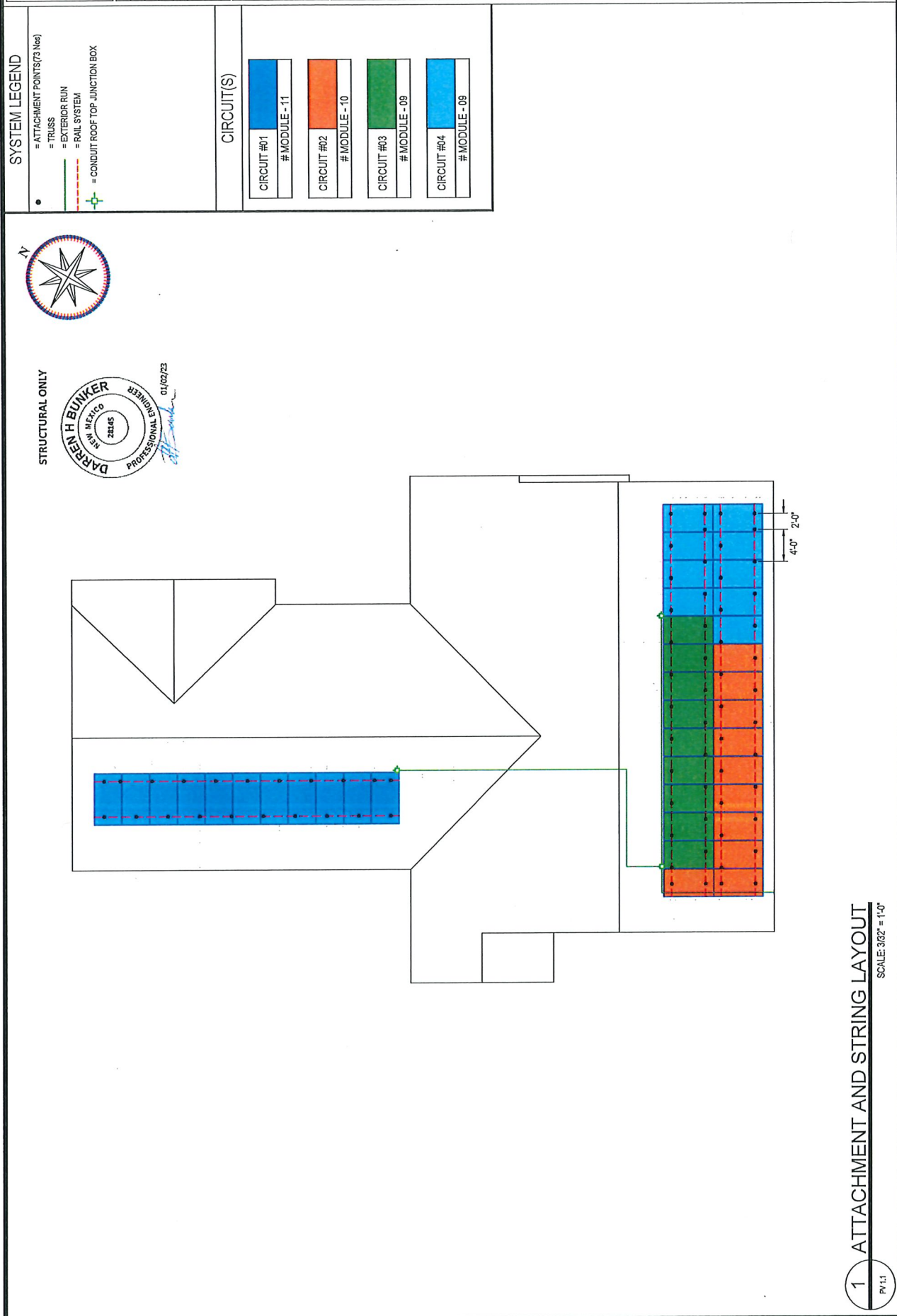
**ATTACHMENT & STRING LAYOUT**

Sheet Size

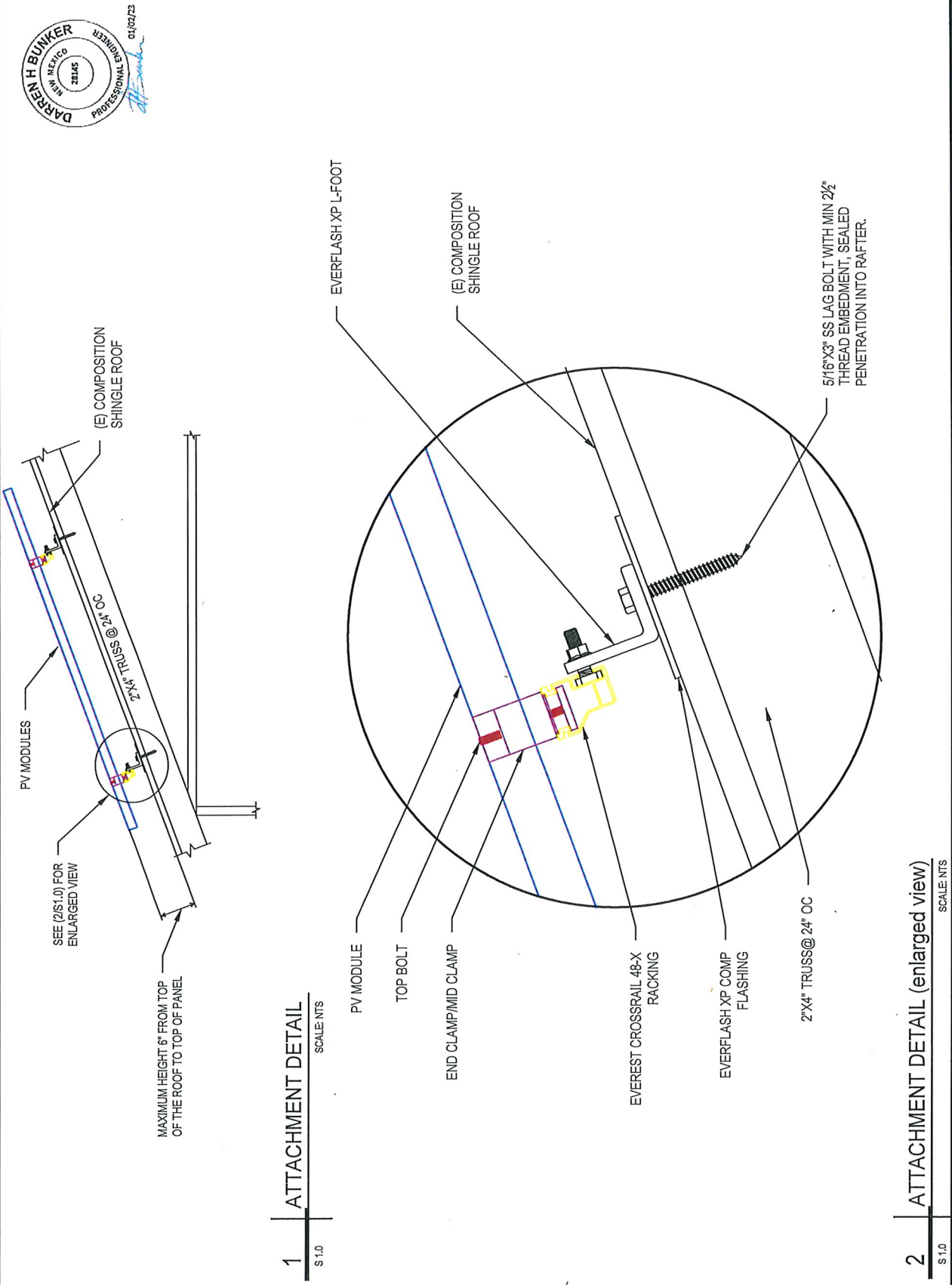
ANSI B  
11" X 17"

Sheet Number

PV 1.1





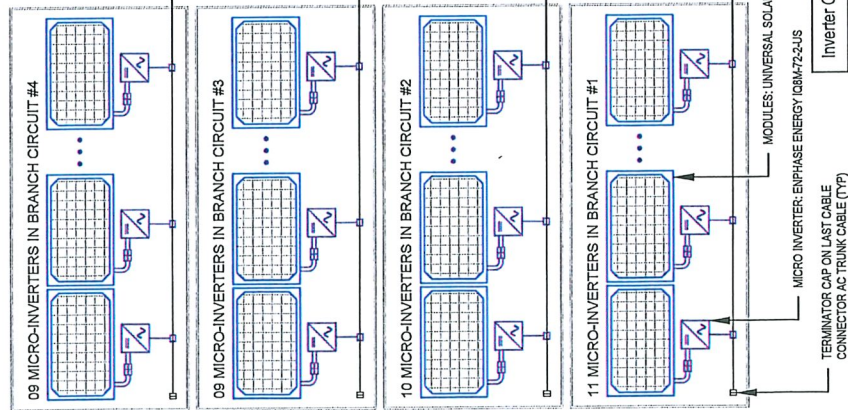




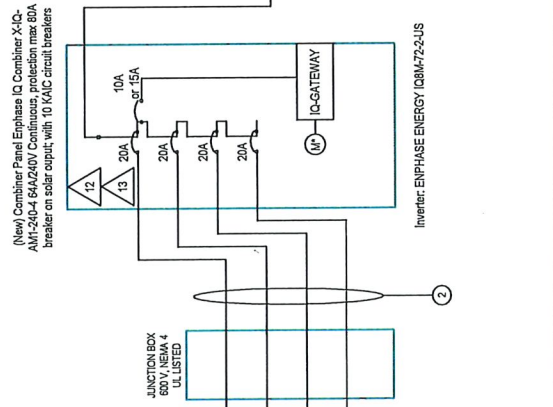


Warning Labels to be Installed:

- CAUTION: SOLAR ELECTRIC SYSTEM CONNECTED
- WARNING: INVERTER OUTPUT CONNECTION. DO NOT RELOCATE THIS OVERCURRENT DEVICE.
- PHOTOVOLTAIC SYSTEM EQUIPPED WITH RAPID SHUTDOWN
- WARNING: DUAL POWER SOURCE. SECOND SOURCE IS A PHOTOVOLTAIC SYSTEM. RATED AC OUTPUT: 52.65 A, NOM. OPERATING AC VOLTAGE: 240 V.
- BREAKERS ARE BACKED
- WARNING: ELECTRICAL SHOCK HAZARD. DO NOT TOUCH TERMINALS. TERMINALS ON BOTH THE LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION.
- PHOTOVOLTAIC AC DISCONNECT. RATED AC OUTPUT CURRENT: 52.65 A, NOM. OPERATING AC VOLTAGE: 240 V.
- PHOTOVOLTAIC RAPID SHUTDOWN DISCONNECT
- PHOTOVOLTAIC SYSTEM UTILITY DISCONNECT SWITCH
- SWITCH TO BE LOCKED PER ART. 690.7(D)
- PHOTOVOLTAIC SYSTEM METER (INSTALL ON ENCLOSURE)
- DEDICATED PHOTOVOLTAIC SYSTEM COMBINER PANEL
- DO NOT ADD LOADS TO THIS PANEL



Modules: 39 x 450W = 17,550 kW  
Inverter(s): 39 x 325W = 12,675 kW

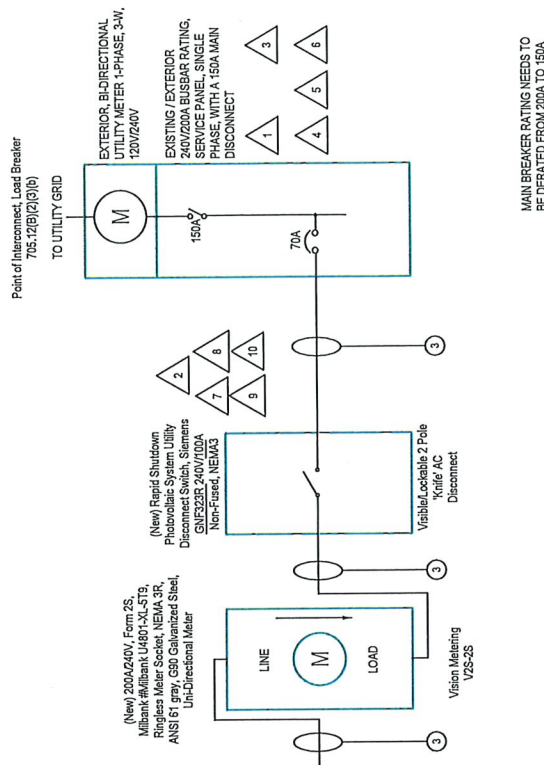


| Photovoltaic System    |       |
|------------------------|-------|
| DC System Size (Watts) | 17550 |
| AC System Size (Watts) | 12675 |
| Total Module Count     | 39    |

| Conduit Conductor Schedule (Unless Otherwise Specified Conductors Shall be Copper) |                                   |            |                       |              |
|--|-----------------------------------|------------|-----------------------|--------------|
| Tag #  | Description                       | Wire Gauge | # of Conductors/Color | Conduit Type |
| 1  | Inverter Output (Enphase C Cable) | 10 AWG     | 8(4L, 4L2)            | Free Air     |
| 1  | EGC (Bare Copper Ground)          | 6 AWG      | 1 BARE                | Free Air     |
| 2  | Inverter Output (THWN-2)          | 10 AWG     | 8(4L, 4L2)            | EMT          |
| 2  | EGC (THWN-2)                      | 6 AWG      | 1 (GRN)               | EMT          |
| 3  | Inverter Output (THWN-2)          | 4 AWG      | 3 (1L, 1L2, N) BRN    | EMT          |
| 3  | EGC (THWN-2)                      | 6 AWG      | 1 (GRN)               | EMT          |

| PV MODULE RATING @ STC         |                                 |
|--------------------------------|---------------------------------|
| MANUFACTURER                   | UNIVERSAL SOLAR UNI-450-120M-BB |
| MAX. POWER-POINT CURRENT (MPP) | 12.65 AMPS                      |
| MAX. POWER-POINT VOLTAGE (MPP) | 35.00 VOLTS                     |
| OPEN-CIRCUIT VOLTAGE (VOC)     | 42.10 VOLTS                     |
| SHORT-CIRCUIT CURRENT (ISC)    | 13.55 AMPS                      |
| MAX. SERIES FUSE (OPPD)        | 30 AMPS                         |
| NOM. MAX. POWER AT STC (PMAX)  | 450 WATTS                       |
| VOC TEMPERATURE COEFFICIENT    | -0.27%/°C                       |

| INVERTER SPECIFICATIONS |                            |
|-------------------------|----------------------------|
| MANUFACTURER            | ENPHASE ENERGY IQBM-72-2US |
| MAX. DC VOLT RATING     | 60 VOLTS                   |
| MAX. POWER AT 48°C      | 325 WATTS                  |
| NOMINAL AC VOLTAGE      | 240 VOLTS                  |
| MAX. AC CURRENT         | 1.35 AMPS                  |
| MAX. OPD RATING         | 20 AMPS                    |
| MAX. PANELS/CIRCUIT     | 11                         |
| SHORT CIRCUIT CURRENT   | 15 AMPS                    |



MAIN BREAKER RATING NEEDS TO BE DERATED FROM 200A TO 150A

OUR WORLD ENERGY  
Abilene, TX 79601 USA  
PHONE: 817-455-5700

DESCRIPTION

DATE

INITIALS

REVISIONS

Project Name & Address

CASTILLO RESIDENCE  
640 RITTER ROAD  
LAS CRUCES, NM 88005  
UTILITY ACCOUNT # 2609210000

Service #

P-0001243998

Sheet Name

1-LINE  
DIAGRAM

Sheet Size

ANSI B  
11" X 17"

Sheet Number

E 1.2

| PV MODULE RATINGS @ STC       |                                |
|-------------------------------|--------------------------------|
| MANUFACTURER                  | UNIVERSAL SOLAR UN-450-120M-BB |
| MAX. POWER-POINT CURRENT (MP) | 12.86 AMPS                     |
| MAX. POWER-POINT VOLTAGE (MP) | 35.80 VOLTS                    |
| OPEN-CIRCUIT VOLTAGE (VOC)    | 42.10 VOLTS                    |
| SHORT-CIRCUIT CURRENT (ISC)   | 13.56 AMPS                     |
| MAX. SERIES FUSE (OCPD)       | 30 AMPS                        |
| NOM. MAX. POWER AT STC (PMAX) | 450 WATTS                      |
| MAX. SYSTEM VOLTAGE           | 1500V (IEC) or 1500V (IEEE)    |
| VOC TEMPERATURE COEFFICIENT   | -0.27°/°C                      |

| INVERTER SPECIFICATIONS |                             |
|-------------------------|-----------------------------|
| MANUFACTURER            | ENPHASE ENERGY IQBM-72-2-US |
| MAX. DC VOLT RATING     | 60 VOLTS                    |
| MAX. POWER AT 40 C      | 325 WATTS                   |
| NOMINAL AC VOLTAGE      | 240 VOLTS                   |
| MAX. AC CURRENT         | 1.35 AMPS                   |
| MAX. OCPD RATING        | 20 AMPS                     |
| MAX. PANELS/CIRCUIT     | 11                          |
| SHORT CIRCUIT CURRENT   | 15 AMPS                     |

|   |        |
|---|--------|
| THIS PANEL IS FED BY MULTIPLE SOURCES (UTILITY AND SOLAR) |        |
| AC OUTPUT CURRENT ACCORDING TO ART. 690.8(B)(1)           | 52.65A |
| NOMINAL AC VOLTAGE  | 240V   |

Roof-top conductor ampacities designed in compliance with art. 690.8, Tables 310.15(B)(2)(a), 310.15(B)(3)(a), 310.15(B)(3)(c), 310.15(B)(16), Chapter 9 Table 4, 5, & 9. Location specific temperature obtained from ASHRAE 2017 data tables

|                                     |      |
|-------------------------------------|------|
| RECORD LOW TEMP                     | -1°  |
| AMBIENT TEMP (HIGH TEMP 2%)         | 43°  |
| CONDUIT HEIGHT                      | 0.5' |
| CONDUCTOR TEMPERATURE RATE ON ROOF  | 90°  |
| CONDUCTOR TEMPERATURE RATE OFF ROOF | 75°  |

| PERCENT OF VALUES | NUMBER OF CURRENT CARRYING CONDUCTORS IN CONDUIT |
|-------------------|--|
| .80               | 4-5  |
| .70               | 7-9  |
| .50               | 10-20  |

## OCPD Calculations

Breakers sized according to continuous duty output current. PV circuit nominal current based off #

of modules per Circuit X (1.25 art. 690.8(A)) X (1.35 Max AC current per micro-inverter)

Circuit #1 = 11 modules. Output Current w/ continuous duty = 18.56 <= 20A Breaker

Circuit #2 = 10 modules. Output Current w/ continuous duty = 18.88 <= 20A Breaker

Circuit #3 = 09 modules. Output Current w/ continuous duty = 15.19 <= 20A Breaker

Circuit #4 = 09 modules. Output Current w/ continuous duty = 15.19 <= 20A Breaker

system output current w/ continuous duty = 65.81 <= 70A (System OCPD)

## Conductor Calculations

Wire gauge calculated from code art. 310.15(B)(16) with ambient temperature calculations from art. 310.15(B)(2)(a).

For "On Roof" conductors we use the 90°C column ampacity, the relevant ambient temperature adjustment, and raceway fill adjustments from 310.15(B)(16). Conduit shall be installed at least 1" above the roof deck.

For "Off Roof" conductors we use the 75°C column ampacity, or the 90°C column ampacity with the relevant ambient temperature and raceway fill adjustments, whichever is less. The rating of the conductor after adjustments MUST be

greater than, or equal to, the continuous duty uprated output current.

Calculation Example - Wire Rating (90°C) x Ambient Temperature Adjustment x Conduit Fill Adjustment >= Continuous

Duty Output Current

(Tag 2 On Roof):


10 gauge wire rated for 40 A, 40 A x 0.87 x 0.7 (8 Conductors) = 24.38 > 18.56A

(Tag 3 Off Roof):

4 gauge wire rated for 85A, 85A x 0.82 = 69.7A > 65.81A (System OCPD)

## ELECTRICAL NOTES

- Designed according to and all code citations are relevant to the 2017 National Electrical Code.
- Tag 2-Use 85% temperature derate for conditions of use (direct sunlight on roof)
- Tag 3 - Use 82% temperature derate for conditions of use (adjusted ambient)
- Refer to Fault Current Mitigation Table
- Bottom of conduit to be installed min. 7/8" above roof surface.
- Photovoltaic utility meter and photovoltaic utility disconnect switch to be installed and labeled as required by ESS
- PAGE 11-43
- System grounding & bonding designed in compliance with 690.47(C)3 and 250.64(E)
- Equipment shall be listed, tested, and marked to withstand the available short circuit current



OUR WORLD ENERGY  
2424 W. 10TH ST.  
ALBUQUERQUE, NM 87102, USA  
PHONE - 505-455-5700

| REVISIONS      |           |
|----------------|-----------|
| Description    | Rev       |
| Initial Design | 21-Dec-22 |
|                |           |
|                |           |
|                |           |
|                |           |
|                |           |
|                |           |
|                |           |

Signature with Seal

Project Name & Address

CASTILLO RESIDENCE  
640 RITTER ROAD  
LAS CRUCES, NM 88005  
UTILITY ACCOUNT #: 2609210000

Service #  
P-0001243998

Sheet Name  
WIRE  
CALCS

Sheet Size  
ANSI B  
11" X 17"

Sheet Number  
E 1.3



## WARNING

**ELECTRIC SHOCK HAZARD**  
DO NOT TOUCH TERMINALS  
TERMINALS ON BOTH LINE AND  
LOAD SIDES MAY BE ENERGIZED  
IN THE OPEN POSITION

LABEL LOCATION:  
AC DISCONNECT, POINT OF INTERCONNECTION  
PER CODE: NEC 690.17(E), CB

## WARNING- PHOTOVOLTAIC POWER SOURCE

LABEL LOCATION:  
CONDUIT, COMBINER BOX  
(PER CODE: NEC 690.31(G)(3)(4) & NEC 690.13(G)(4))

## WARNING DUAL POWER SOURCE

SECOND SOURCE IS PHOTOVOLTAIC SYSTEM  
LABEL LOCATION:  
POINT OF INTERCONNECTION  
(PER CODE: NEC 705.12(D)(4))

- THE LABEL SHALL BE SUITABLE FOR THE ENVIRONMENT WHERE IT IS INSTALLED.
- WHERE REQUIRED ELSEWHERE IN THIS CODE, ALL FIELD APPLICABLE LABELS, WARNINGS, AND INSTRUCTIONS SHOULD COMPLY WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 704 LABELING SYSTEM.
- ADHESIVE FASTENED SIGNS MAY BE ACCEPTABLE IF PROPERLY ADHERED. VINYL SIGNS SHALL BE WEATHER RESISTANT [IF 690.11.1.3]

## PHOTOVOLTAIC SYSTEM AC DISCONNECT RATED AC OPERATING CURRENT 52.65 AMPS AC NOMINAL OPERATING VOLTAGE 240 VOLTS

LABEL LOCATION:  
AC DISCONNECT, POINT OF INTERCONNECTION  
(PER CODE: NEC 690.54)

## WARNING INVERTER OUTPUT CONNECTION DO NOT RELOCATE THIS OVERCURRENT DEVICE

LABEL LOCATION:  
POINT OF INTERCONNECTION  
(PER CODE: NEC 705.12(D)(7))  
(Not required if panelboard is rated not less than sum of ampere ratings of all overcurrent devices supplying it)

## Rapid Shutdown Switch per 690.56(C)(3)

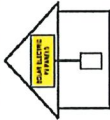
## RAPID SHUTDOWN SWITCH FOR SOLAR PV SYSTEM

## PHOTOVOLTAIC SYSTEM EQUIPPED WITH RAPID SHUTDOWN

LABEL LOCATION:  
AC DISCONNECT, DC DISCONNECT, POINT OF  
INTERCONNECTION  
(PER CODE: NEC 690.56(C))  
PV With Rapid Shutdown, Installed Within 3 ft. of the  
Service Disconnecting Means per 690.56(C)(15a)

## SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN  
SWITCH TO "OFF" POSITION TO  
SHUTDOWN PV SYSTEM  
AND REDUCE  
SHOCK HAZARD  
IN ARRAY



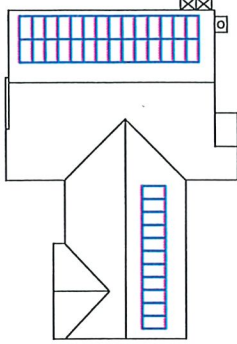
## BREAKER HAS BEEN DE-RATED PER NEC 205.12(D)(2)

## CAUTION:

POWER TO THIS BUILDING IS ALSO SUPPLIED FROM THE  
FOLLOWING SOURCES WITH DISCONNECTS LOCATED AS  
SHOWN

- AT: ☒ METER AND MAIN SERVICE PANEL  
☒ NON-FUSED AC DISCONNECT  
☒ ENPHASE IQ COMBINER BOX

640 RITTER ROAD



CASTILLO RESIDENCE  
640 RITTER ROAD  
LAS CRUCES, NM 88005  
UTILITY ACCOUNT # 2609210000

Project Name &  
Address

Signature with Seal



OUR WORLD ENERGY  
NETWORK  
Abiquiu, NM 87107, USA  
PHONE: 1-800-595-2700

| REVISIONS      | Date      | Rev |
|----------------|-----------|-----|
| Initial Design | 21-Dec-21 | 00  |
|                |           |     |
|                |           |     |
|                |           |     |
|                |           |     |

## ELECTRICAL NOTES:

- 1). UTILITY HAS 24-HR UNRESTRICTED ACCESS TO ALL PHOTOVOLTAIC SYSTEM COMPONENTS LOCATED AT THE SERVICE ENTRANCE
- 2). WORKING CLEARANCES AROUND THE EXISTING AND NEW ELECTRICAL EQUIPMENT WILL BE MAINTAINED IN ACCORDANCE WITH NEC ARTICLE 110.26
- 3). ALL EQUIPMENT INSTALLED SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY (NRTL) PER NEC ARTICLE 110.3.
- 4). RACKING CONFORMS TO AND IS LISTED UNDER UL 2703.
- 5). ALL LABELS OR MARKINGS SHALL BE VISIBLE AFTER INSTALLATION. THE LABELS SHALL BE REFLECTIVE, AND ALL LETTERS SHALL BE CAPITALIZED AND SHALL BE A MINIMUM HEIGHT OF 9.5 MM (3/8 IN) IN WHITE ON A RED BACKGROUND.
- 6). CONDUCTORS EXPOSED TO SUNLIGHT SHALL BE LISTED AS SUNLIGHT RESISTANT PER NEC ARTICLE 300.6 (C) (1) AND ARTICLE 310.8 (D).
- 7). CONDUCTORS EXPOSED TO WET LOCATIONS SHALL BE SUITABLE FOR USE IN WET LOCATIONS PER NEC ARTICLE 310.8 (C).

Service #

P-0001243998

Sheet Name

WARNING  
LABELS

Sheet Size

ANSI B  
11" X 17"

Sheet Number

E 1.4







# UNI-450-120M-BB

450W

Highest power output

21.46%

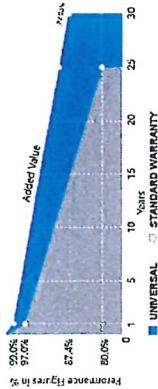
Module Efficiency

25 years

Material & Workmanship warranty

30 years

Linear power output warranty



- PERC cell technology
- Higher output power
- Lower risk of micro-crack
- Positive tolerance offer
- Lower risk of hot spot
- Better shading tolerance
- Certified for salt/ ammonia corrosion resistance
- Load certificates: Wind to 2400Pa and snow to 5400Pa
- Lower LCOE

Universal Solar is committed to providing readily available, high-quality, renewable energy products and services at competitive prices. This includes modules made in Panama, which are manufactured to the highest standards with all Tier 1 BOM, utilizing fully automated high-tech manufacturing lines and surpassing Tier 1 processes. Universal's modules are tariff-free, use WRO-compliant silicon, and can be delivered to any U.S. port in 5 days.



## Electrical Characteristics at Standard Test Conditions (STC)

| Module Type                     | UNI-450-120M-BB | UNI-455-120M-BB | UNI-450-120M-BB | UNI-445-120M-BB |
|---------------------------------|-----------------|-----------------|-----------------|-----------------|
| Maximum Power - Pmax (W)        | 450             | 455             | 450             | 445             |
| Open Circuit Voltage - Voc (V)  | 42.5            | 42.3            | 42.1            | 41.9            |
| Short Circuit Current - Isc (A) | 13.71           | 13.63           | 13.56           | 13.48           |
| Maximum Power Voltage - Vmp (V) | 35.4            | 35.2            | 35              | 34.8            |
| Maximum Power Current - Imp (A) | 13              | 12.87           | 12.66           | 12.79           |
| Module Efficiency               | 21.46%          | 21.23%          | 20.89%          | 20.75%          |

Standard Test Conditions (STC): irradiance 1,000W/m<sup>2</sup>, module temperature 25°C, Pmax Sorting: 0-5W, Measuring Tolerance: 3%.  
Remark: Electrical data do not refer to a single module and they are not part of the offer. They only serve for comparison among different module types.

## Electrical Characteristics at Normal Operating Cell Temperature (NOCT)

| Module Type                     | UNI-450-120M-BB | UNI-455-120M-BB | UNI-450-120M-BB | UNI-445-120M-BB |
|---------------------------------|-----------------|-----------------|-----------------|-----------------|
| Maximum Power - Pmax (W)        | 339.5           | 335.8           | 332.1           | 328.4           |
| Open Circuit Voltage - Voc (V)  | 39.7            | 39.5            | 39.4            | 39.2            |
| Short Circuit Current - Isc (A) | 11.07           | 11.01           | 10.95           | 10.88           |
| Maximum Power Voltage - Vmp (V) | 33              | 32.8            | 32.7            | 32.5            |
| Maximum Power Current - Imp (A) | 10.29           | 10.23           | 10.17           | 10.11           |

Normal Operating Cell Temperature (NOCT): irradiance 800W/m<sup>2</sup>, wind speed 1m/s, ambient temperature 20°C, Measuring Tolerance: 3%.

## Temperature Characteristics

| NOCT                            | 45°C (123°F) |
|---------------------------------|--------------|
| Voltage Temperature Coefficient | -0.27%/°C    |
| Current Temperature Coefficient | +0.04%/°C    |
| Power Temperature Coefficient   | -0.32%/°C    |

## Material Characteristics

- Dimensions: 1914 x 1133 x 35mm (L x W x H)
- Weight: 24.0kg
- Frame: Black anodized aluminum profile
- Front Glass: White toughened safety glass, 3.2mm
- Cell Encapsulation: EVA (Ethylene-Vinyl-Acetate)
- Back Sheet: Composite film
- Cells: 12x10 pieces monocrystalline solar cells series strings
- Junction Box: IP65, 3 diodes
- Cable & Connector: Permat: 500mm (cable length can be customized), 1x4 mm<sup>2</sup> compatible with MC4

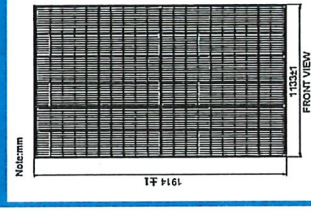
## Packaging

|                    |                 |
|--------------------|-----------------|
| Dimensions (LxWxH) | 1820x1125x123mm |
| Container 20'      | 155             |
| Container 40'      | 372             |
| Container 40'HC    | 744             |

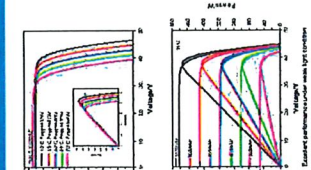
## System Design

|                      |  |
|----------------------|--|
| Temperature Range    | -40°C to +85°C   |
| Withstanding Hal     | Maximum diameter of 25mm with impact speed of 23 m/s-1 |
| Maximum Surface Load | 5,400 Pa   |
| Application Class    | class A  |

## Dimensions



## IV-Curves



OUR WORLD ENERGY  
Abu Dhabi, UAE  
PHONE: +971 2 455 5710

Project Name & Address

CASTILLO RESIDENCE  
640 RITTER ROAD  
LAS CRUCES, NM 88005  
UTILITY ACCOUNT #: 2609210000

Service #

P-0001243998

Sheet Name

MODULE  
SPEC SHEET

Sheet Size

ANSI B  
11" X 17"

Sheet Number

D 1.1



- **Easy to Install**
- Lightweight and compact with plug-n-play connectors
- Power Line Communication (PLC) between components
- Faster installation with simple two-wire cabling

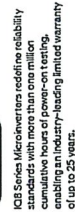
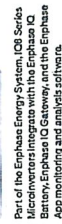
### High productivity and reliability

- Produce power even when the grid is down
- More than one million cumulative hours of testing
- Class II double-insulated enclosure
- Optimized for the latest high-powered PV modules

- Complies with the latest advanced grid support

- Remote automatic updates for the latest grid requirements
- Configurable to support a wide range of grid profiles

- Meets CA Rule 21 (UL 1741-SA) requirements



Connect PV modules quickly and easily to IQB Series MicroInverters using the included Q-DCC-2 adaptor cable with plug-n-play MC4 connectors.

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108SE-DS-0001-01-EN-US-2022-03-01

## IQ8 Series Microinverters

| I/O Pin Data [DC]                         | (0-6)0-5 | (7)PUS-2-3-4-5                    | (8)MPS-2-3-4-5                             | (9)A-7-2-3-4-5  | (10)B-2-3-4-5 | (11)C-2-3-4-5                                       |
|---|----------|-----------------------------------|--|---|---------------|---|
| Commonly used module pinings <sup>2</sup> | W        | 235 - 350                         | 235 - 440                                  | 260 - 460   | 295 - 500     | 320 - 540+  |
| Module compatibility                      |          | 60-cell / 120 half-cell           |  | 60-cell / 120 half-cell and 72-cell / 144 half-cell       |               | 60-cell / 120 half-cell and 72-cell / 144 half-cell |
| MPT voltage range                         | V        | 27 - 37                           | 20 - 45                                    | 33 - 45   | 38 - 45       | 38 - 45   |
| Operating range                           | V        | 23 - 48                           |  | 25 - 58   |               |   |
| Mfr/max start voltage                     | V        | 30 / 48                           |  | 30 / 58   |               |   |
| Max input DC voltage                      | V        | 50                                |  | 60  |               |   |
| Max DC current <sup>3</sup> [module ldc]  | A        |                                   |  | 15  |               |   |
| Overvoltage class DC part                 |          |                                   |  | I   |               |   |
| DC port backfeed current                  |          |                                   |  | O   |               |   |
| PV array configuration                    |          |                                   |  |   |               |   |
|   |          | 1x1 Ungrounded array <sup>4</sup> | No additional DC side protection required: | AC side protection requires max 20kVA per branch circuit. |               |   |

1x11 Ungrounded arm: No additional DC side protection required: AC side protection requires max 20A per branch circuit

| Parameter  | VA | 245  | 300  | 330                         | 368  | 364  | 366         |
|--|----|------|------|-----------------------------|------|------|-------------|
| Peak output power                                    | VA | 240  | 250  | 325                         | 349  | 380  | 360         |
| Max continuous output power                          | V  |      |      | 240/211–264                 |      |      | 208/183–250 |
| Nominal (L-L) voltage range <sup>a</sup>             | A  | 1.0  | 1.21 | 1.35                        | 1.45 | 1.58 | 1.73        |
| Max continuous output current                        | Hz |      |      | 60                          |      |      |             |
| Nominal frequency                                    | Hz |      |      | 50–68                       |      |      |             |
| Extended frequency range                             | Hz |      | 15   | 11                          | 11   | 10   | 9           |
| Max units per 20 A (L-L) branch circuit <sup>a</sup> |    |      |      | <5%                         |      |      |             |
| Total harmonic distortion                            |    |      |      | III                         |      |      |             |
| Overvoltage class AC port                            | mA |      |      | 30                          |      |      |             |
| AC port back feed current                            |    |      |      | 10                          |      |      |             |
| Power factor setting                                 |    |      |      | 0.85 leading – 0.85 lagging |      |      |             |
| Grid-tied power factor (adjustable)                  | %  | 97.5 | 97.6 | 97.6                        | 97.6 | 97.6 | 97.4        |
| Peak efficiency                                      | %  | 97   | 97   | 97                          | 97.5 | 97   | 97          |
| CEC weighted efficiency                              | mW |      |      | 60                          |      |      |             |
| Night-time power consumption                         |    |      |      |                             |      |      |             |


|   |  |     |  |  |
|---|--|-----|--|--|
| MECHANICAL DATA                           |  |     |  |  |
| Operating temperature range               | -40°C to +60°C (-40°F to +140°F)                                   |     |  |  |
| Ambient humidity range                    | 4% to 100% (condensing)  |     |  |  |
| Relative humidity range                   |  | MC4 |  |  |
| DC Connector type                         |  |     |  |  |
| Dimensions (HxWxD)                        | 212 mm (8.3") x 175 mm (6.9") x 302 mm (12")                       |     |  |  |
| Weight                                    | 1.08 kg (2.38 lbs)   |     |  |  |
| Cooling                                   | Natural convection - no fans                                       |     |  |  |
| Approved Envert locations                 | Yes  |     |  |  |
| Acoustic noise at 1m                      | <60 dBA  |     |  |  |
| Pollution degree                          | PD3  |     |  |  |
| Enclosure                                 | Class II double-insulated, corrosion resistant polymeric enclosure |     |  |  |
| Environment category / UV exposure rating | NEVA Type B / outdoor  |     |  |  |
| CONNECTION                                |  |     |  |  |

**Caution:** This product is UL Listed as PVP Rated Shut Down Equipment and conforms with NEC 2014, NEC 2017, and NEC 2020 section 690.12 and C22.1-2018 Rule 64-B Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer's instructions.

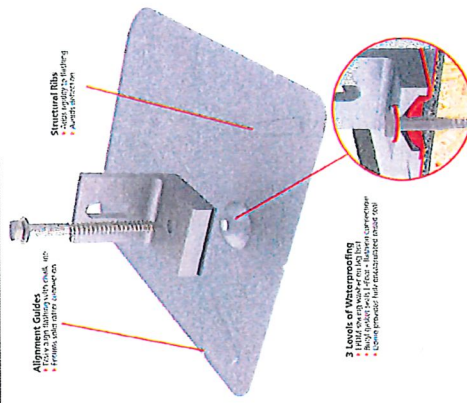
(1) The IQB1-208 variant will be operating in grid-tied mode only at 208V AC. (2) No enforced DC/AC ratio. See the compatibility calculator at <https://link.ephase.com/module-compatibility>. (3) Maximum continuous input DC current is 10.6A. (4) Nominal voltage range can be extended beyond nominal if required by the utility. (5) Limits may vary. Refer to local regulations to define the number of microinverters per branch in your area.

1QBSE-DS-0001-01-EN-US-2022-03-01





EverFlash XP Comp

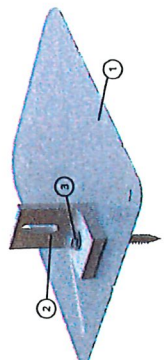


**Alignment Guides**

- Align with 3/8" drilling alignment
- Align with 3/8" drilling alignment
- Align with 3/8" drilling alignment

**3 Levels of Waterprooing**

- First level: 3/8" drilling alignment
- Second level: 3/8" drilling alignment
- Third level: 3/8" drilling alignment



**Alignment Guides**


- Align with 3/8" drilling alignment
- Align with 3/8" drilling alignment
- Align with 3/8" drilling alignment

**3 Levels of Waterprooing**

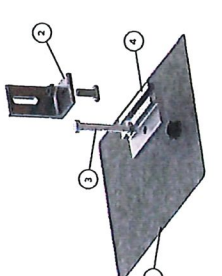
- First level: 3/8" drilling alignment
- Second level: 3/8" drilling alignment
- Third level: 3/8" drilling alignment

**Specifications and Testing**

| Item | Specification              |
|------|----------------------------|
| 1    | EverFlash XP Comp Mounting |
| 2    | EverFlash XP Comp Mounting |
| 3    | EverFlash XP Comp Mounting |



EverFlash eComp + SR Slide Kit



**Alignment Guides**

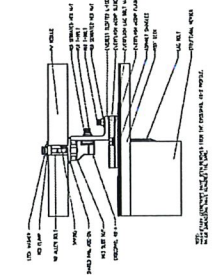
- Align with 3/8" drilling alignment
- Align with 3/8" drilling alignment
- Align with 3/8" drilling alignment

**3 Levels of Waterprooing**

- First level: 3/8" drilling alignment
- Second level: 3/8" drilling alignment
- Third level: 3/8" drilling alignment

**Technical data**

| Item | Specification            |
|------|--------------------------|
| 1    | EverFlash eComp Mounting |
| 2    | EverFlash eComp Mounting |
| 3    | EverFlash eComp Mounting |
| 4    | EverFlash eComp Mounting |




**Alignment Guides**

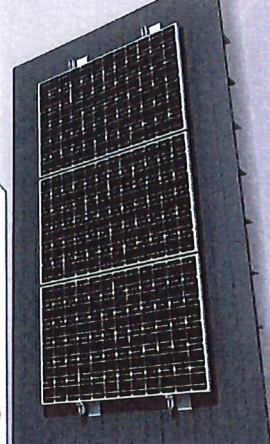
- Align with 3/8" drilling alignment
- Align with 3/8" drilling alignment
- Align with 3/8" drilling alignment

**3 Levels of Waterprooing**

- First level: 3/8" drilling alignment
- Second level: 3/8" drilling alignment
- Third level: 3/8" drilling alignment



CrossRail System



**Alignment Guides**

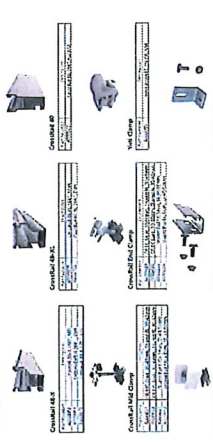
- Align with 3/8" drilling alignment
- Align with 3/8" drilling alignment
- Align with 3/8" drilling alignment

**3 Levels of Waterprooing**

- First level: 3/8" drilling alignment
- Second level: 3/8" drilling alignment
- Third level: 3/8" drilling alignment

**Components**

| Item | Specification             |
|------|---------------------------|
| 1    | CrossRail System Mounting |
| 2    | CrossRail System Mounting |
| 3    | CrossRail System Mounting |
| 4    | CrossRail System Mounting |



**Alignment Guides**

- Align with 3/8" drilling alignment
- Align with 3/8" drilling alignment
- Align with 3/8" drilling alignment

**3 Levels of Waterprooing**

- First level: 3/8" drilling alignment
- Second level: 3/8" drilling alignment
- Third level: 3/8" drilling alignment

|  |      |                         |
|--|------|-------------------------|
| <b>Article 220 - Service/Feeder calculation for (address):</b> |      |                         |
| 640 Ritter Road Las Cruces, NM, 88005                          | Main | Service<br>P-0001243998 |

**Section 220.83 Existing Dwelling Unit**

**Part #1 - Section 220.83 (B)(1) General Lighting/Receptacles @ 3 VA per sq ft:**

|                    |                |            |                          |
|--------------------|----------------|------------|--------------------------|
| Building           | Square Footage | VA (watts) | Amps                     |
| House              | 1930           | 5790       | 24.125                   |
| Total for Part #1: |                |            | Box A (VA)<br>24.13 5790 |

**Part #2 - Section 220.83 (B)(2),(3)a, b, c, d - Appliances and Dedicated Circuits:**

| Dedicated circuit    | Size in VA | Dedicated circuit   | Size in VA                 |
|----------------------|------------|---------------------|----------------------------|
| Laundry              | 1500       | EV Charging System  | N/A                        |
| Appliance Circuit(s) | 3000       | Sub-Panel           | 19200                      |
| Dishwasher(s)        | 1000       |                     | N/A                        |
| Disposal(s)          | 600        |                     | N/A                        |
| Refrigerator(s)      | 1000       |                     | N/A                        |
| Microwave(s)         | 1600       |                     | N/A                        |
| Dryer                | 5760       |                     | N/A                        |
| Range                | 11520      |                     | N/A                        |
| Oven                 | N/A        |                     | N/A                        |
| Cooktop              | N/A        |                     | N/A                        |
| Sub-Panel            | 9600       | Totals for Part #2: | Box B (VA)<br>228.25 54780 |

**Total VA from Parts #1 and #2 combined:**

|   |       |                      |          |
|---|-------|----------------------|----------|
| Total VA  | 60570 | Box A + Box B =      | 60570    |
| First 8,000 VA @ 100%   | 8000  |                      |          |
| Remaining VA =  | 52570 |                      |          |
|   |       | Remaining VA @ 40%   | 21028 VA |
|   |       | Adding First 8000 VA | 8000 VA  |
| Total VA for Gen. Lights/Recep. Appliances & Dedicated circuits:  |       | 29028 VA             |          |
| Total AMP for Gen. Lights/Recep. Appliances & Dedicated circuits: |       | 120.95 Amps          |          |

**Part #3 - Section 220.83 (B) Heating and A/C loads:**

|   |       |    |  |
|---|-------|----|--|
| *Combine the larger loads of either the Heating or the A/C loads together |       |    |  |
| 100% of all the Heating or A/C loads in VA:                               | 4,536 | VA |  |
| 100% of all the Heating or A/C loads in Amps:                             | 18.90 | A  |  |

**Totals from all Parts**

| Parts #1 & #2              | VA    | Volts  | Amps  |
|----------------------------|-------|--------|-------|
| 29028                      | 240   | 120.95 |       |
| Part #3                    | 4,536 | 240    | 18.90 |
| Total VA for all Parts:    |       | 33,564 |       |
| Totals Service/Feeder Load |       | 139.85 |       |



| REVISIONS      |           |     |
|----------------|-----------|-----|
| Description    | Date      | Rev |
| Initial Design | 21-Dec-22 | 00  |
|                |           |     |
|                |           |     |
|                |           |     |

Signature with Seal

Project Name & Address

CASTILLO RESIDENCE  
640 RITTER ROAD  
LAS CRUCES, NM 88005  
UTILITY ACCOUNT #: 2609210000

Service #  
P-0001243998

Sheet Name  
LOAD  
CALCULATION

Sheet Size

ANSI B  
11" X 17"

Sheet Number  
D 1.4



RECEIVED  
2/10/23

TOWN OF MESILLA  
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 740<sup>00</sup>  
Review Fee \$ 93<sup>00</sup>  
Total Fee \$ 833<sup>00</sup>

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061533 ZONE: RF CODE: 150 APPLICATION DATE: 2/10/23

Gabriel Garcia

(575) 642-4286

Name of Property Owner

Property Owner's Telephone Number

1583 Paisano Rd

Las Cruces

NM

88046

Property Owner's Mailing Address

City

State

Zip Code

lovegabrielhate@yahoo.com

Property Owner's E-mail Address

Solar Smart Living, LLC

Contractor's Name & Address (If none, indicate Self)

(915) 400-2995 Ext 702

3-20375-4488-2

361818

Contractor's Telephone Number

Contractor's Tax ID Number

Contractor's License Number

Address of Proposed Work: 1583 Paisano Rd, Las Cruces NM 88046

Description of Proposed Work:

Installation of roofmounted Photovoltaic System, 52 modules to be installed on the roof of accesory building.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses, and dimensions.
- Cross section of walls.
- Roof and floor framing plan.
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the Town Code or Community Development Department.

\$54,366.00

Estimated Cost

Signature of Applicant

2/10/2023

Date

**Application Fee is due at time of submittal.** Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval

☐ Approved Date: \_\_\_\_\_

☐ Disapproved Date: \_\_\_\_\_

☐ Approved with conditions

BOT ☐ Approved Date: \_\_\_\_\_

☐ Disapproved Date: \_\_\_\_\_

☐ Approved with Conditions

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO

BOT APPROVAL REQUIRED: ☐ YES ☐ NO

CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS

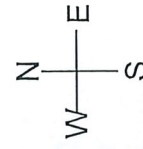
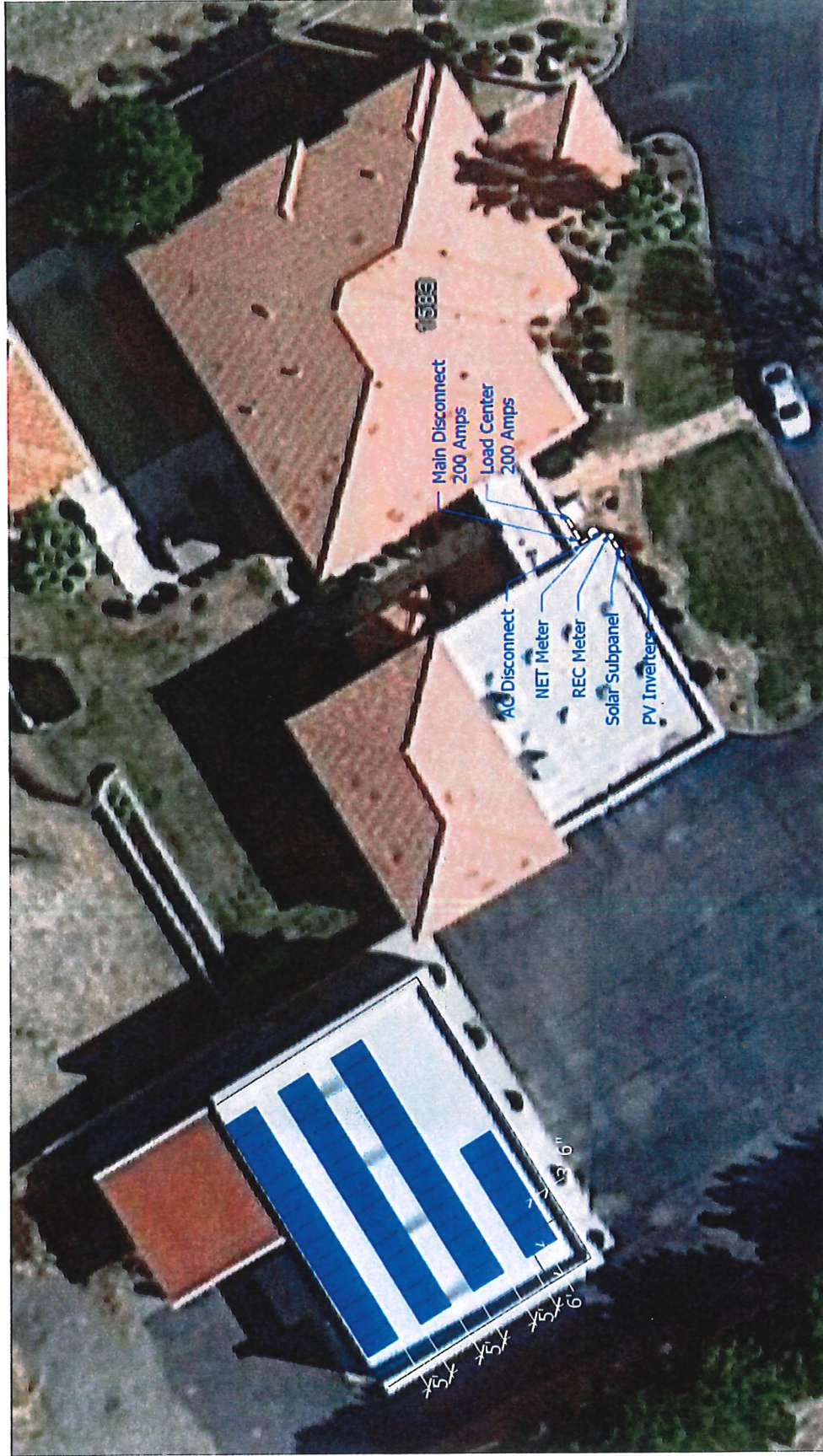
CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED / DENIED BY: \_\_\_\_\_

ISSUE DATE: \_\_\_\_\_



# Site Map



Customer Name: Cynthia Perry (Gabriel Garcia)  
 (575) 642-4286  
 Total System Size: 22.8 kW AC / 21.32 kW DC @ STC  
 52 Solar Panels  
 Install Address: 1583 Paisano Rd  
 Las Cruces NM 88005  
 Date: Jan 19, 2023

Installer Name: Solar Smart Living, LLC  
 108 Ray Ward Place  
 Santa Teresa, NM 88008  
 (915) 400-2995  
 Contact: Javier Perea (915) 474-5824  
 Email: jperea@SolarSmartLiving.com





## Equipment Locations



Solar Panels

Main Disconnect

AC Disconnect

Solar Inverters



Customer Name: Cynthia Perry (Gabriel Garcia)

(575) 642-4286

Total System Size: 22.8 kW AC / 21.32 kW DC @ STC

52 Solar Panels

Install Address: 1583 Paisano Rd

Las Cruces NM 88005

Date: Jan 19, 2023

Installer Name: Solar Smart Living, LLC  
Installer Address: 108 Ray Ward Place  
Santa Teresa, NM 88008  
Phone: (915) 400-2995  
Contact: Javier Perea (915) 474-5824  
Email: jperea@SolarSmartLiving.com

ENGINEERING REPORT

Plan review

|                                |                       |
|--------------------------------|-----------------------|
| * Distributed Dead Load        | 2.96 psf              |
| * Average Roof Point Dead Load | 32.22 lbs             |
| TOTAL NUMBER OF MODULES        | 52                    |
| TOTAL KW                       | 21.32 KW              |
| TOTAL MODULE AREA              | ~1154 ft <sup>2</sup> |

Loads Used for Design

|                          |            |
|--------------------------|------------|
| BUILDING CODE            | ASCE 7-10  |
| BASIC WIND SPEED         | 115.00 mph |
| GROUND SNOW LOAD         | 0.00 psf   |
| SEISMIC (S5)             | 0.287      |
| ELEVATION                | 4187.00 ft |
| WIND EXPOSURE            | B          |
| TOPOGRAPHICAL FACTOR KZT | 1.00       |
| VELOCITY PRESSURE, QZ    | 14.64 psf  |

\* Calculated based on suggested quantity given on part list.

Inspection

|                          |                     |
|--------------------------|---------------------|
| PRODUCT                  | SOLARMOUNT          |
| MODULE MANUFACTURER      | ET Solar            |
| MODEL                    | 52 - ET-M672BH410GL |
| MODULE WATTS             | 410 watts           |
| MODULE LENGTH            | 80.51"              |
| MODULE WIDTH             | 39.69"              |
| MODULE THICKNESS         | 1.18"               |
| MODULE WEIGHT            | 58.42 lbs           |
| EXPANSION JOINTS         | Every 40'           |
| RAILS DIRECTION          | CROSS-SLOPE         |
| BUILDING HEIGHT          | 25.00 ft            |
| SHORTEST BUILDING LENGTH | 44.00 ft            |
| ROOF TYPE                | Shingle             |
| ATTACHMENT TYPE          | Flashkit Pro        |
| RAFTER SPACING           | 24.00"              |
| * TOTAL WEIGHT           | 3415.00 lbs         |
| MID CLAMP                | Pro Clamp           |
| END CLAMP                | Pro Clamp           |



Clamp Checks

| ZONES           |       | ZONE 1  |         |         | ZONE 2  |         |         | ZONE 3  |         |         |
|-----------------|-------|---------|---------|---------|---------|---------|---------|---------|---------|---------|
| CONNECTION-TYPE |       | End-End | End-Mid | Mid-Mid | End-End | End-Mid | Mid-Mid | End-End | End-Mid | Mid-Mid |
| Up              | Load  | N/A     | 240     | 240     | N/A     | N/A     | N/A     | N/A     | N/A     | N/A     |
|                 | Check | OK      | OK      | OK      | OK      | OK      | OK      | OK      | OK      | OK      |
| Side            | Load  | N/A     | 22      | 22      | N/A     | N/A     | N/A     | N/A     | N/A     | N/A     |
|                 | Check | OK      | OK      | OK      | OK      | OK      | OK      | OK      | OK      | OK      |
| Lateral         | Load  | N/A     | 16      | 16      | N/A     | N/A     | N/A     | N/A     | N/A     | N/A     |
|                 | Check | OK      | OK      | OK      | OK      | OK      | OK      | OK      | OK      | OK      |

N/A stands for not applicable



#### Components and Cladding Roof Zones:

The Components and Cladding Roof Zones shall be determined based on ASCE 7-05, ASCE 7-10 & 7-16 Component and Cladding design.

- Notes:
- 1) U-builder Online tool analysis is only for Unirac SM SOLARMOUNT Rail Flush systems only and do not include roof capacity check.
  - 2) Risk Category II per ASCE 7-16.
  - 3) Topographic factor,  $k_{zt}$  is 1.0.
  - 4) Array Edge Factor  $Y_E = 1.5$
  - 5) Average parapet height is 0.0 ft.
  - 6) Wind speeds are LRFD values.
  - 7) Attachment spacing(s) apply to a seismic design category E or less.

#### Design Responsibility:

The U-Builder design software is intended to be used under the responsible charge of a registered design professional where required by the authority having jurisdiction. In all cases, this U-builder software should be used under the direction of a design professional with sufficient structural engineering knowledge and experience to be able to:

- Evaluate whether the U-Builder Software is applicable to the project, and
- Understand and determine the appropriate values for all input parameters of the U-Builder software.

This letter certifies that the Unirac SM SOLARMOUNT Rails Flush, when installed according to the U-Builder engineering report and the manufacture specifications, is in compliance with the above codes and loading criteria.

This certification excludes evaluation of the following components:

- 1) The structure to support the loads imposed on the building by the array; including, but not limited to: strength and deflection of structural framing members, fastening and/or strength of roofing materials, and/or the effects of snow accumulation on the structure.
- 2) The attachment of the SM SOLARMOUNT Rails to the existing structure.
- 3) The capacity of the solar module frame to resist the loads.

This requires additional knowledge of the building and is outside the scope of the certification of this racking system.

If you have any questions on the above, do not hesitate to call.

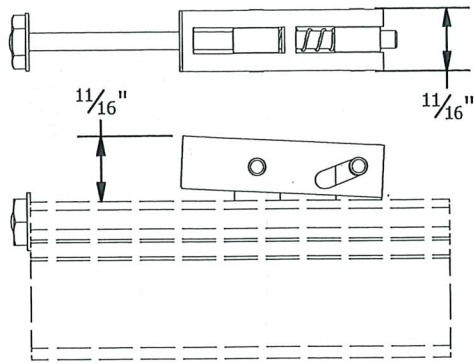
Prepared by:  
PZSE, Inc. – Structural Engineers  
Roseville, CA

DIGITAL SIGNATURE

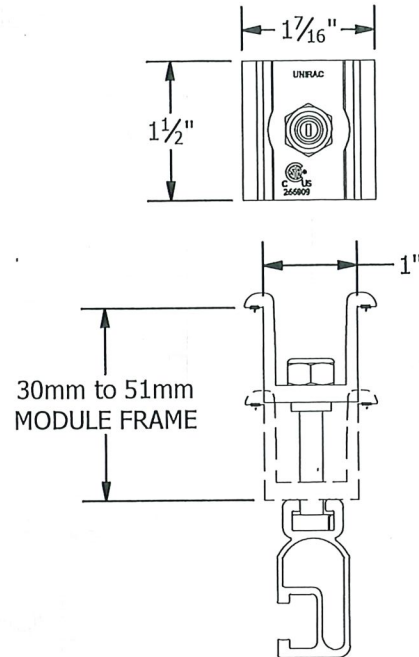




## PRO SERIES END CLAMP

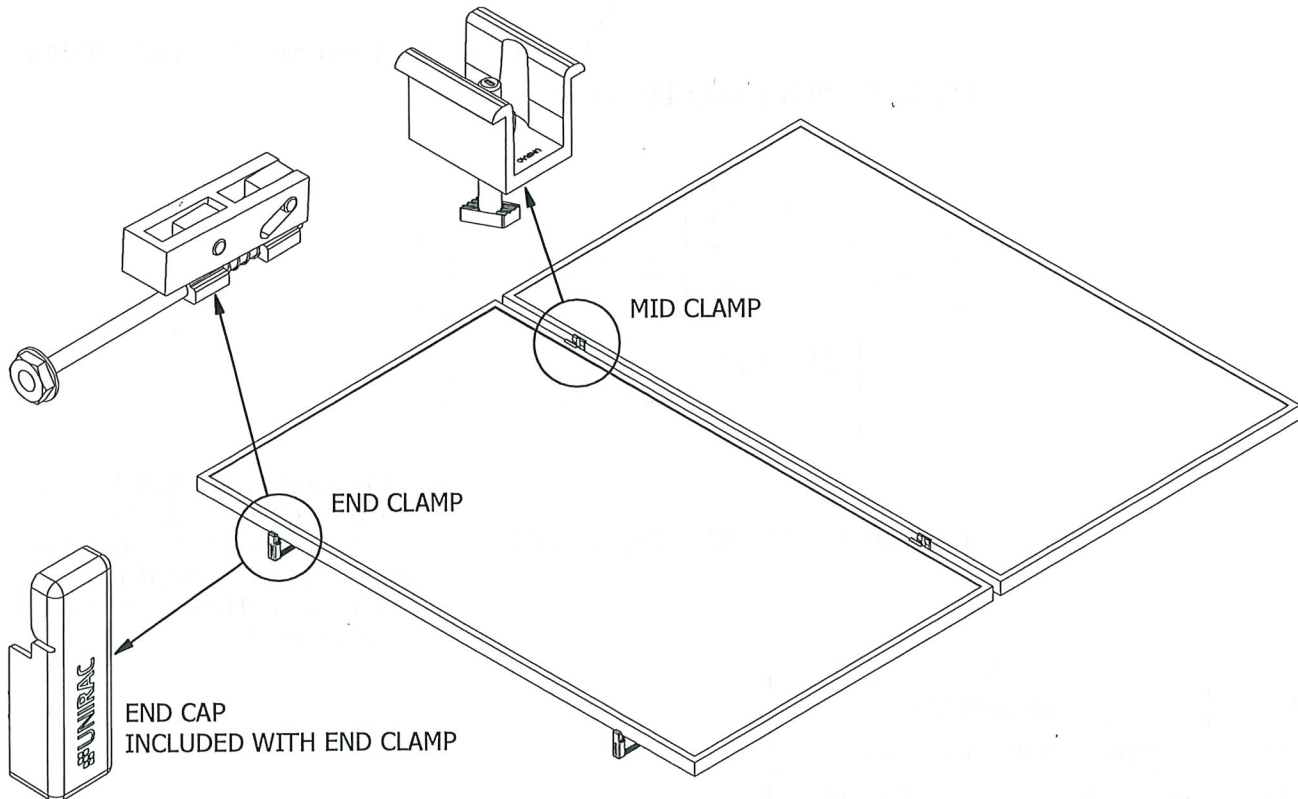


## PRO SERIES MID CLAMP



PART # TABLE

| P/N     | DESCRIPTION         |
|---------|---------------------|
| 302035M | ENDCLAMP PRO        |
| 302030M | MIDCLAMP PRO - MILL |
| 302030D | MIDCLAMP PRO - DRK  |



1411 BROADWAY BLVD. NE  
ALBUQUERQUE, NM 87102 USA  
PHONE: 505.242.6411  
WWW.UNIRAC.COM

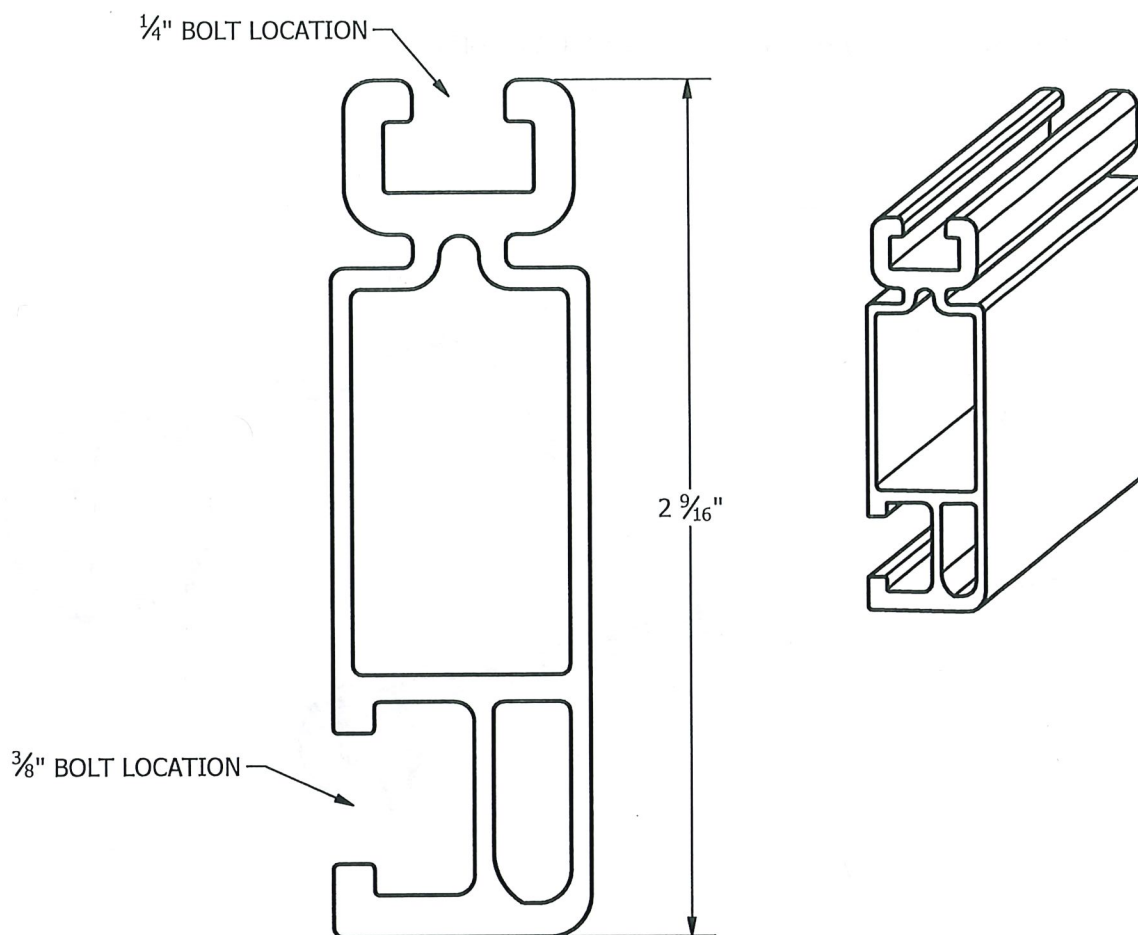
|                |                              |
|----------------|------------------------------|
| PRODUCT LINE:  | SOLARMOUNT                   |
| DRAWING TYPE:  | PART & ASSEMBLY              |
| DESCRIPTION:   | PRO SERIES<br>BONDING CLAMPS |
| REVISION DATE: | 10/26/2017                   |

DRAWING NOT TO SCALE  
ALL DIMENSIONS ARE  
NOMINAL

PRODUCT PROTECTED BY  
ONE OR MORE US PATENTS  
LEGAL NOTICE

SM-A01

SHEET



| PART # TABLE |                   |        |
|--------------|-------------------|--------|
| P/N          | DESCRIPTION       | LENGTH |
| 320132M      | SM RAIL 132" MILL | 132"   |
| 310132C      | SM RAIL 132" CLR  | 132"   |
| 320168M      | SM RAIL 168" MILL | 168"   |
| 310168C      | SM RAIL 168" CLR  | 168"   |
| 320168D      | SM RAIL 168" DRK  | 168"   |
| 320208M      | SM RAIL 208" MILL | 208"   |
| 310208C      | SM RAIL 208" CLR  | 208"   |
| 320240M      | SM RAIL 240" MILL | 240"   |
| 310240C      | SM RAIL 240" CLR  | 240"   |
| 310240D      | SM RAIL 240" DRK  | 240"   |



1411 BROADWAY BLVD. NE  
ALBUQUERQUE, NM 87102 USA  
PHONE: 505.242.6411  
WWW.UNIRAC.COM

|                |               |
|----------------|---------------|
| PRODUCT LINE:  | SOLARMOUNT    |
| DRAWING TYPE:  | PART DETAIL   |
| DESCRIPTION:   | STANDARD RAIL |
| REVISION DATE: | 9/11/2017     |

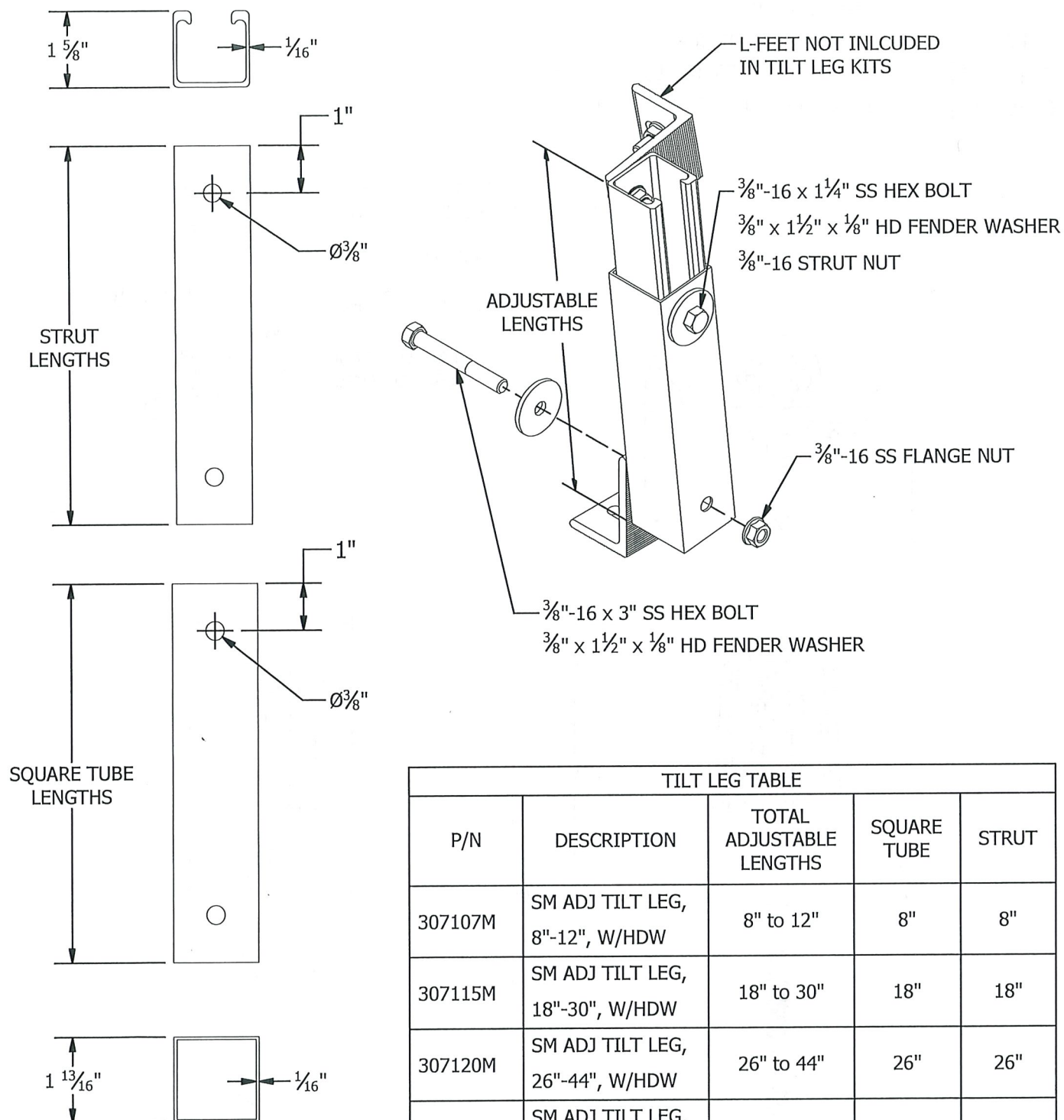
DRAWING NOT TO SCALE  
ALL DIMENSIONS ARE  
NOMINAL

PRODUCT PROTECTED BY  
ONE OR MORE US PATENTS  
LEGAL NOTICE

SM-P01

SHEET





| TILT LEG TABLE |                                 |                          |             |       |
|----------------|---------------------------------|--------------------------|-------------|-------|
| P/N            | DESCRIPTION                     | TOTAL ADJUSTABLE LENGTHS | SQUARE TUBE | STRUT |
| 307107M        | SM ADJ TILT LEG, 8"-12", W/HDW  | 8" to 12"                | 8"          | 8"    |
| 307115M        | SM ADJ TILT LEG, 18"-30", W/HDW | 18" to 30"               | 18"         | 18"   |
| 307120M        | SM ADJ TILT LEG, 26"-44", W/HDW | 26" to 44"               | 26"         | 26"   |
| 307134M        | SM ADJ TILT LEG, 40"-72", W/HDW | 40" to 72"               | 40"         | 40"   |



1411 BROADWAY BLVD. NE  
ALBUQUERQUE, NM 87102 USA  
PHONE: 505.242.6411  
WWW.UNIRAC.COM

|                |                     |
|----------------|---------------------|
| PRODUCT LINE:  | SOLARMOUNT TILT     |
| DRAWING TYPE:  | ASSEMBLY            |
| DESCRIPTION:   | ADJUSTABLE TILT LEG |
| REVISION DATE: | 9/27/2017           |

DRAWING NOT TO SCALE  
ALL DIMENSIONS ARE  
NOMINAL

PRODUCT PROTECTED BY  
ONE OR MORE US PATENTS  
LEGAL NOTICE

SM-A09

SHEET

RECEIVED  
2/13/23

TOWN OF MESILLA  
ZONING APPROVAL



PAID

OFFICIAL USE ONLY:

Use #

Fee \$

815.00  
100.50  
\$915.50

PERMISSION TO CONDUCT WORK  
OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061555 ZONE: HP CODE: APPLICATION DATE:

DANIEL BUSTAMANTES 575-635-1549  
Name of Property Owner Property Owner's Telephone Number

2590 CALLE DE COLON  
Property Owner's Mailing Address City State Zip Code

Property Owner's E-mail Address

MANUEL DAVID PADILLA  
Contractor's Name & Address (If none, indicate Self)

505-303-2415 408950  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2590 CALLE DE COLON

Description of Proposed Work: INSTALL 15X30 CONCRET POOL & SPA

\$65,000 \$  
Estimated Cost Signature of Applicant Date 2/14/23

Signature of property owner: Daniel Bustamantes

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval ☐ Approved Date: ☐ Disapproved Date: ☐ Approved with Conditions  
☐ Approved Date: ☐ Disapproved Date: ☐ Approved with conditions  
BOT ☐ Approved Date: ☐ Disapproved Date: ☐ Approved with Conditions

PZHAC APPROVAL REQUIRED: X YES \_\_\_ NO BOT APPROVAL REQUIRED: X YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS:

PERMISSION ISSUED/DENIED BY: ISSUE DATE:

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses and dimensions.
- Cross section of walls
- Roof and floor framing plan
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the City Code or Community Development Department (See other side.)

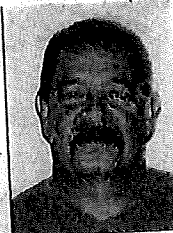







**NEW MEXICO**

**DRIVER'S LICENSE**



License # **030502086** ISSUED **10/29/2018**  
Date of Birth **01/19/1962** EXPIRES **01/19/2026**  
**PADILLA**  
**MANUEL DAVID**  
1601 BUCHANAN AVE  
LAS CRUCES, NM 88001

WEIGHT **230** SEX **M** CLASS **D**  
HEIGHT **5'11"** EYES **BRO** ENDORSEMENTS **NONE**  
RESTRICTIONS **NONE**

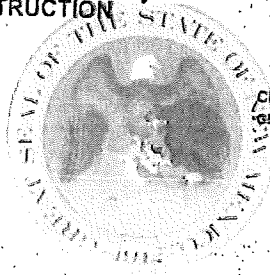


**STATE OF NEW MEXICO**  
CONSTRUCTION INDUSTRIES DIVISION

**D W P CONSTRUCTION**

LICENSE NUMBER  
**408950**

Qualifying Party(S)  
**PADILLA MANUEL**



EXPIRES  
**06/30/2025**

CLASSIFICATION(S)  
**6502**

*Clara De la Cruz*  
DIRECTOR

This card is the property of the CID and shall be surrendered upon demand



Tract: 1  
0.584 Acres

N47° 29' 41" E 147.18'

S38° 06' 06" E 42.81'

S40° 38' 40" E 138.74'

S50° 32' 21" W 140.73'

IRON ROD FOUND

WOOD FENCE JUST OUTSIDE PL

ROCKWALL JUST OUTSIDE PL

CARPORT

DWELLING

SWIMMING POOL

2.7' PARKWAY

EL PASO ELECTRIC COMPANY

Swimming pool approved with respect to minimum horizontal clearance of electric lines.

2590 CALLE DE COLON

EL PASO ELECTRIC COMPANY

Swimming pool approved with respect to minimum horizontal clearance of electric lines

Approved by:

01-06-23

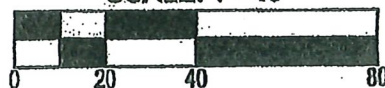
Date:

NOTES:

NOTES:  
FLOOD ZONE "X"; AREA DETERMINED TO BE WITHIN 0.2% ANNUAL  
CHANCE FLOOD HAZARD AS PER MAP NO. 35013C1093 G, REVISED  
JULY 6, 2016.

FIELD NOTES BY MOY SURVEYING INC., LICENSE #18078.  
ALL CORNERS SET ARE 1/2" IRON RODS WITH 1" PLASTIC

**SCALE: 1"=40'**



**PROPERTY OWNER:**  
**PROPERTY LOCATION: MESILLA**

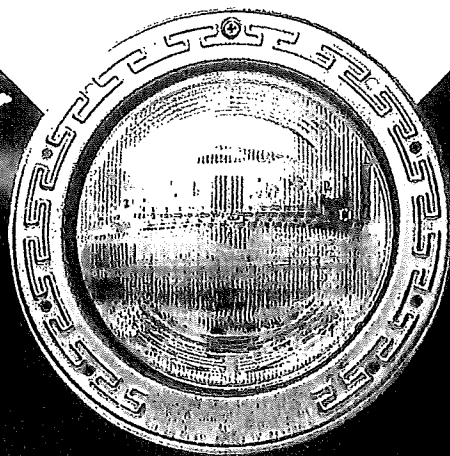


INTELLIBRITE® 5G

# INTELLIBRITE® 5G

UNDERWATER LED LIGHTS

The most efficient underwater LED lighting available.



PENTAIR.COM

eco select®

TRADEGRADE



## Standard light shows



**SAm Mode:**  
Cycles through the color spectrum of the SAm Light



**Party Mode:**  
Rapid color changing builds energy and excitement



**Romance Mode:**  
Slow transition for a mesmerizing and calming routine



**California Sunset Mode:**  
Dramatic transitions of orange, red and magenta tones



**American Mode:**  
Patriotic red, white and blue transition



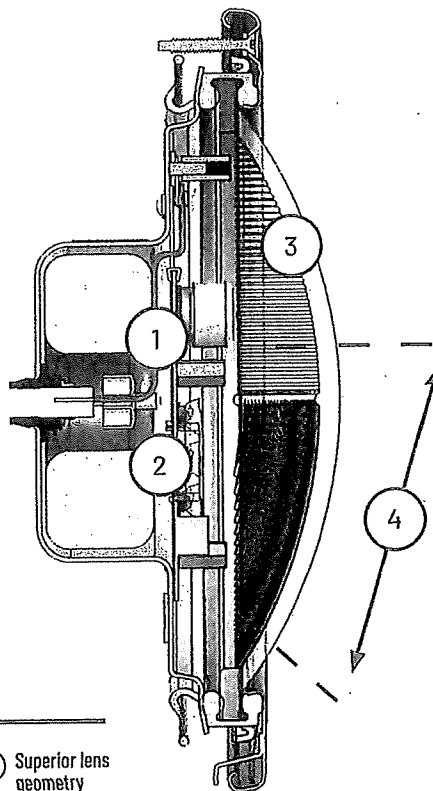
**Caribbean Mode:**  
Transitions between a variety of blues and greens



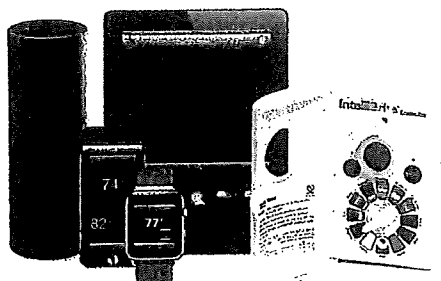
**Royal Mode:**  
Cycle that selects only rich, deep tones of color

## BETTER LIGHT DISPERSION.

The innovative lens geometry and reflector design of the IntelliBrite 5g Lights provide a choice in positioning based on a pool's shape and layout. The default wide mode is used for lights in the side of pools, while the narrow mode is used for lighting under diving boards and can illuminate the length of the pool. Plus, the IntelliBrite 5g's light beam distribution eliminates "hot spots" and glare.

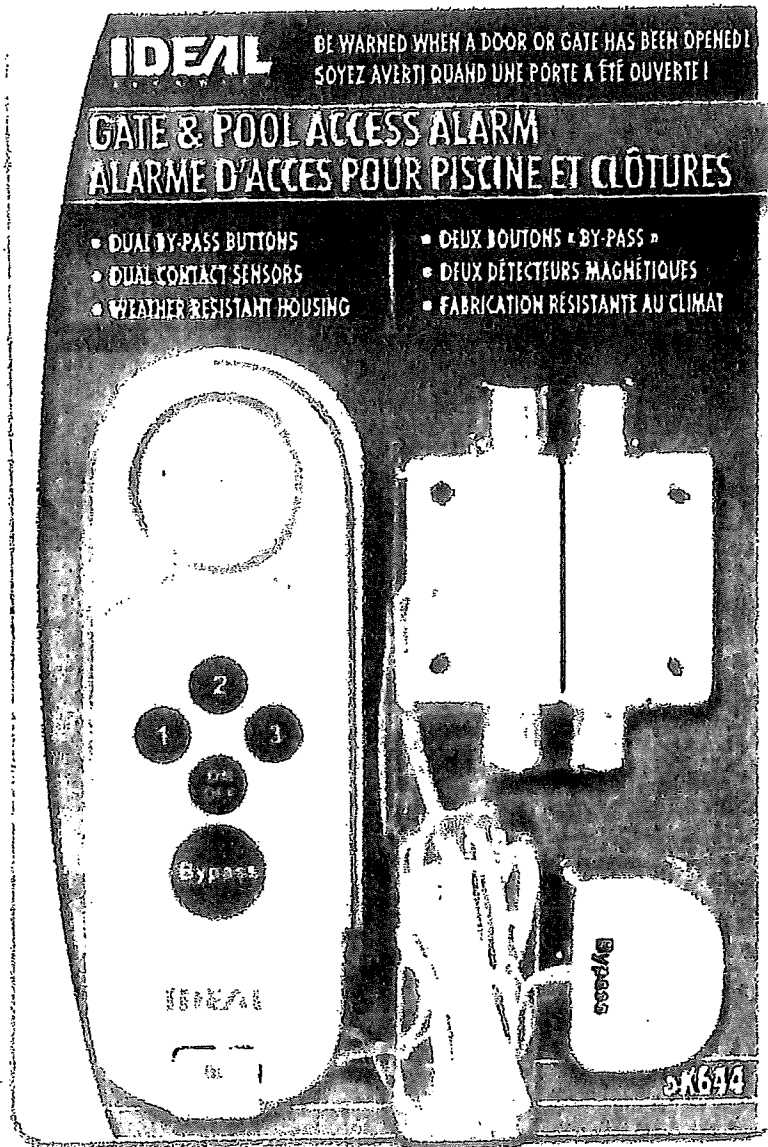


- ① Reflector    ② LED lights    ③ Light beam distribution    ④ Superior lens geometry



## SYNCHRONIZES SEAMLESSLY WITH CONTROL SYSTEMS.

IntelliBrite 5g Lights easily pair with Pentair Control Systems for superior pool, spa and poolscape equipment automation. In addition, the IntelliBrite Controller offers pool and spa owners without an automation system fast and easy switching to their favorite color modes.



*access gates to pool will be self closing & lockable*





# FNS PLUS

## FIBERGLASS D.E. FILTER

[illegible]

the 1950s, the U. S. Navy was the only one to have a fleet of aircraft carriers. The Navy's fleet of aircraft carriers was the largest in the world, and it was the only one to have a fleet of aircraft carriers. The Navy's fleet of aircraft carriers was the largest in the world, and it was the only one to have a fleet of aircraft carriers.



1. The first step in the process of identifying a problem is to determine the nature of the problem. This involves gathering information about the problem and its context.

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- How does a given variable measure the two dimensions of the construct it is intended to measure?
- How does a given variable measure the public's view of the government's performance?
- How does a given variable measure the public's view of the government's performance?
- How does a given variable measure the public's view of the government's performance?
- How does a given variable measure the public's view of the government's performance?

Automatic, push button  
operation & control

Easy to see window  
for heat & gas  
analysis

Control panel  
with digital readout  
& pressure control

Designed for low  
temperature  
operation

Control panel  
with digital readout  
& pressure control



CMP Galaxy 8" VGB Cove

\$24.88



4905

25531-000-000



8 49640 00799 0

## Gunite Pool Main Drain Frame and 8in Galaxy Lid (Anti-Vortex)White

Proposition 65 Warning

WARNING: Cancer and Reproductive Harm.  
AVERTISSEMENT: Peut Causer le Cancer et des  
Dommages au Système Reproducteur.  
ADVERTENCIA: Cáncer y Daño Reproductivo  
[www.P65Warnings.ca.gov](http://www.P65Warnings.ca.gov)

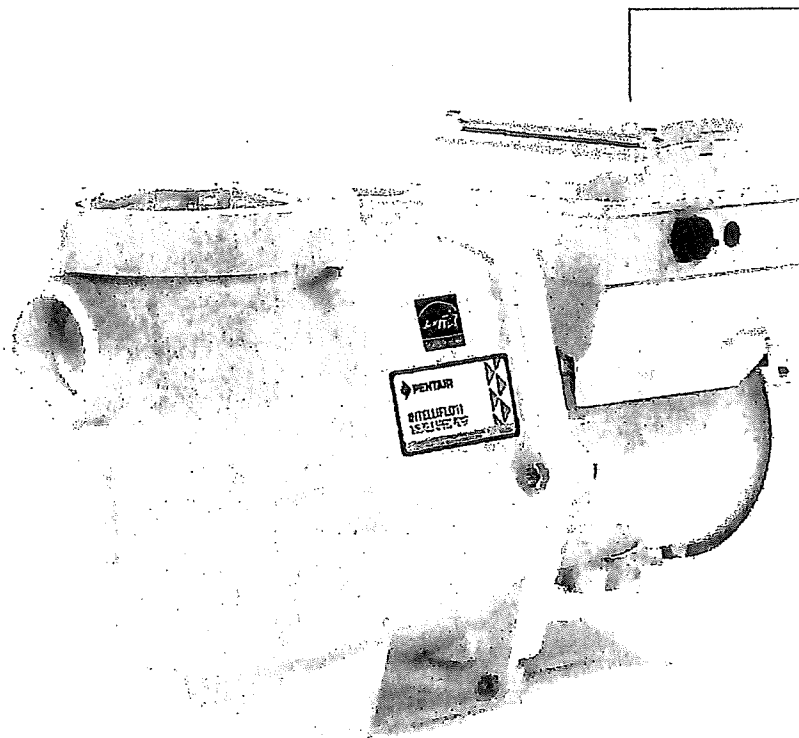
WWW.CMP.COM

©2015 CMP, ALL RIGHTS RESERVED. DESIGNED IN CHINA, MANUFACTURED IN GERMANY. MADE IN CHINA.



## INTELLIFLO® PUMPS ARE INSTALLED IN MORE POOLS WORLDWIDE THAN ANY OTHER VARIABLE SPEED PUMP.

Reliability and savings, that's why pool builders, retailers and service professionals count on Pentair.



The keypad is rotatable for easy access and has an optional wall mount kit (356904Z) that's sold separately.

i1

### THE WORLD'S MOST POPULAR VARIABLE SPEED PUMP IS ALSO MORE VERSATILE.

If your pool is in an area that restricts the rate of flow on replacement pumps, the IntelliFlo i1 Pump may be your ideal choice. Its hydraulic design reduces flow rates while providing the significant energy savings you'd expect from a Pentair variable speed pump. The i1 pump also has a maximum rating of 7 amps, which helps make retrofits easier in applications that are limited by existing wire gauge size. Plus, it's just as quiet and reliable as ever.

i2

### THE PUMP GIVES YOU ALL THE FEATURES YOU WANT AND THE SMARTER CHOICES YOU NEED.

The IntelliFlo i2 pump provides all the great features that have made our flagship IntelliFlo pumps the best-selling industry standard. But, the IntelliFlo i2 pump is hydraulically engineered to provide maximum performance on a 15-amp breaker. It has a maximum rating of 11.8 amps, which makes retrofits easier in applications that are limited by existing wire gauge size. Energy efficient, automation ready and technologically advanced—now that's a smart choice.







# 3200 McDowell Las Cruces NM

## NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify areas subject to flooding, particularly for local drainage purposes of small areas. The community map repository should be consulted for possible updates or additional flood hazard information.

In obtaining more detailed information in areas where Base Flood Elevations (BFEs) and/or floodways have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stream Elevation Tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only to landward of 0.6' North American Vertical Datum of 1928 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stream Elevation Tables in the Flood Insurance Study Report for this jurisdiction. Elevations shown in the Summary of Stream Elevation Tables should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydrologic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures in this jurisdiction.

The projection used in the preparation of this map was New Mexico State Plane, Central Zone (FIPS 3602). The horizontal datum was NAD 83, GRS80 spheroid. D. Formosa, Inc., a subsidiary of State Plane, Inc., was used in the production of this map. For purposes of this map, any positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1928. These flood elevations must be compared to structure and ground elevations referenced in the same vertical datum. For information regarding conversion from the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

National Geodetic Survey  
NAD 83, GRS80  
National Geodetic Survey, SSMC-3, #5202  
1315 West Highway  
Silver Spring, Maryland 20910-3282  
(301) 713-3242

To obtain current elevation, description, and/or location information for bench marks shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit their website at <http://www.ngs.noaa.gov>.

Base map information shown on this FIRM was provided by the Dona Ana County Flood Commission, 2004 and 2010; Bureau of Land Management, 2004; U.S. Geological Survey, 1989 and 2005; NGS, 2004; and U.S. Census Bureau, 2000. Additional information was compiled from U.S. Department of Agriculture aerial photography, 2000 at a scale of 1:12,000.

Based on updated topographic information, this map reflects more detailed and up-to-date stream channel configurations and floodplain delineations than those shown on the previous FIRM for this jurisdiction. As a result, the Flood Profiles and Floodway Data tables for the Flood Insurance Study report may reflect stream channel distances that differ from what is shown on the map. Also, the road to floodplain relationships for a revised stream may differ from what is shown on previous maps.

Corporate limits shown on this map are based on the last data available at the time of publication. Because changes due to annexation or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed Map Index for an overview map of the county showing the layout of map panels; community map repository addresses; and a listing of community limits regarding National Flood Insurance Program rates for each community as well as a listing of the panels on which each community is located.

For information on available products associated with this FIRM visit the Map Service Center (MSC) website at: <http://msc.fema.gov>. Available products may include previously issued editions of Map Groups, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the MSC website.

If you have questions about this map, how to order products or the National Flood Insurance Program in general, please call the FEMA Map Information eXchange (FMIX) at 1-877-FEMA-MAP (1-877-355-2627) or visit the FEMA website at <http://fema.gov>.



## LEGEND

**SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**

The 1% annual chance flood (100-year flood) also known as the base flood is the flood that has a 1% chance of being equaled or exceeded in any given year. The 100-year flood hazard areas are the areas subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, X, and VE. The Risk Rating Factor (RRF) is a measure of the relative risk of damage to property and contents of buildings.

**Zone A:** Areas of shallow water, less than 1.5 feet deep, caused by the 1% annual chance flood. These areas are subject to flooding by the 1% annual chance flood. The RRF for Zone A is 1.0.

**Zone AE:** Areas of shallow water, less than 1.5 feet deep, caused by the 1% annual chance flood. These areas are subject to flooding by the 1% annual chance flood. The RRF for Zone AE is 1.0.

**Zone AH:** Areas of shallow water, less than 1.5 feet deep, caused by the 1% annual chance flood. These areas are subject to flooding by the 1% annual chance flood. The RRF for Zone AH is 1.0.

**Zone AO:** Areas of shallow water, less than 1.5 feet deep, caused by the 1% annual chance flood. These areas are subject to flooding by the 1% annual chance flood. The RRF for Zone AO is 1.0.

**Zone AR:** Areas of shallow water, less than 1.5 feet deep, caused by the 1% annual chance flood. These areas are subject to flooding by the 1% annual chance flood. The RRF for Zone AR is 1.0.

**Zone X:** Areas of shallow water, less than 1.5 feet deep, caused by the 1% annual chance flood. These areas are subject to flooding by the 1% annual chance flood. The RRF for Zone X is 1.0.

**Zone VE:** Areas of shallow water, less than 1.5 feet deep, caused by the 1% annual chance flood. These areas are subject to flooding by the 1% annual chance flood. The RRF for Zone VE is 1.0.

**Other Flood Areas:** Areas of shallow water, less than 1.5 feet deep, caused by the 1% annual chance flood. These areas are subject to flooding by the 1% annual chance flood. The RRF for Other Flood Areas is 1.0.

**Other Areas:** Areas of shallow water, less than 1.5 feet deep, caused by the 1% annual chance flood. These areas are subject to flooding by the 1% annual chance flood. The RRF for Other Areas is 1.0.

**Coastal Barrier Resources System (CBRS) Areas:** Areas of shallow water, less than 1.5 feet deep, caused by the 1% annual chance flood. These areas are subject to flooding by the 1% annual chance flood. The RRF for Coastal Barrier Resources System (CBRS) Areas is 1.0.

**Otherwise Protected Areas (OPAs):** Areas of shallow water, less than 1.5 feet deep, caused by the 1% annual chance flood. These areas are subject to flooding by the 1% annual chance flood. The RRF for Otherwise Protected Areas (OPAs) is 1.0.

**Map Scale:** 1" = 500'

**Map Scale:** 1" = 500'

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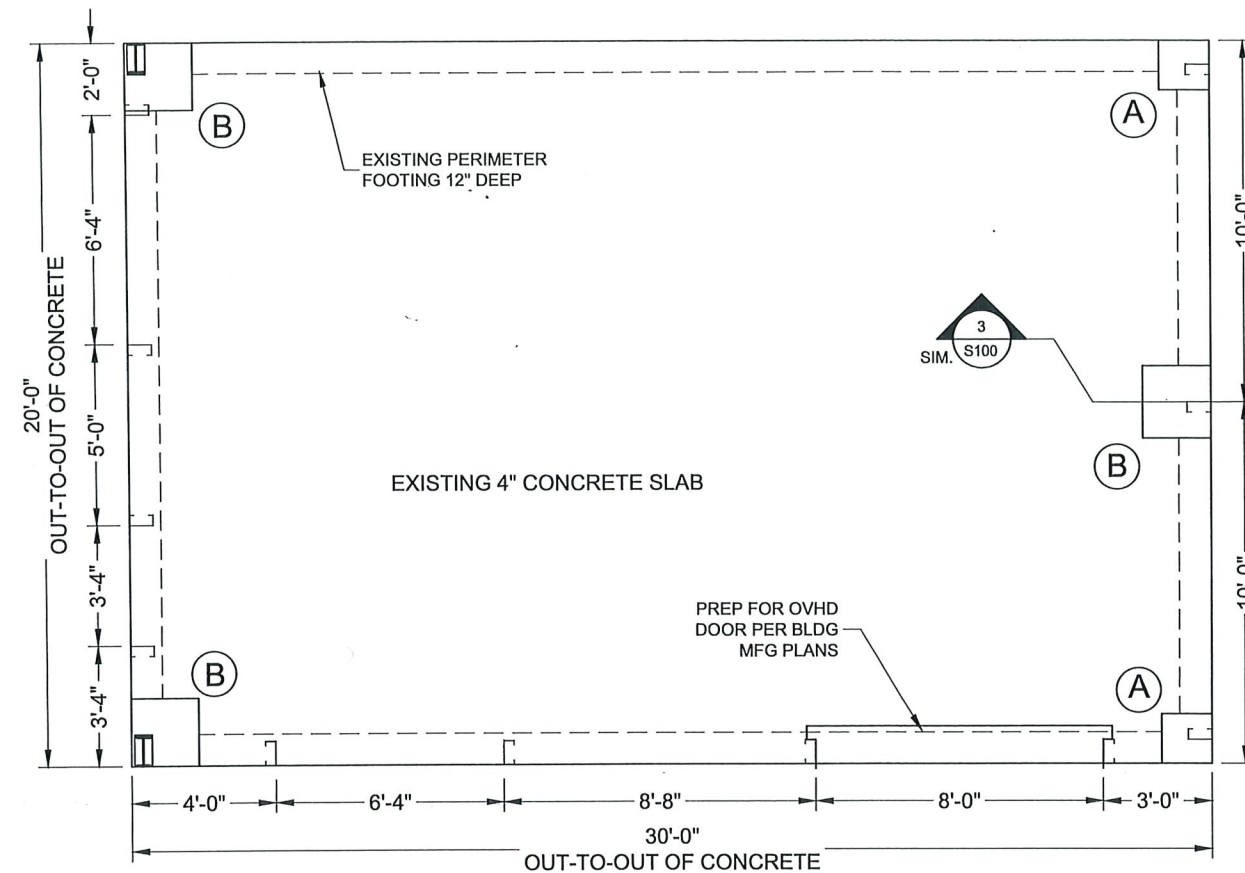
**Map Scale:** 1" = 500'

**Map Scale:** 1" = 500'

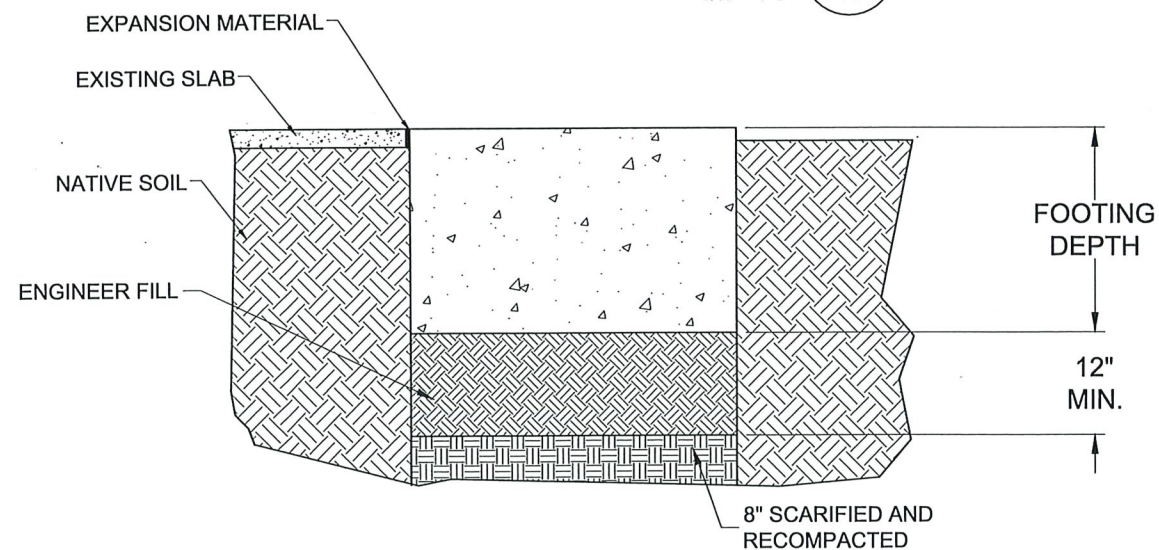
**Map Scale:** 1" = 500'

**Map Scale:** 1" = 500'





FOUNDATION PLAN **1**  
3/16" = 1'-0" S100



**SUBGRADE NOTES:**

1. USE THIS DETAIL IF A GEOTECHNICAL REPORT IS NOT AVAILABLE FOR THIS SITE.
2. CONTRACTOR/OWNER SHALL REMOVE EXISTING SOIL NECESSARY TO PROVIDE 12" MIN. OF ENGINEERED FILL BELOW BOTTOM OF CONCRETE, USING 6" MAX. LIFTS.

SUBGRADE PREPARATION **2**  
NOT TO SCALE S100

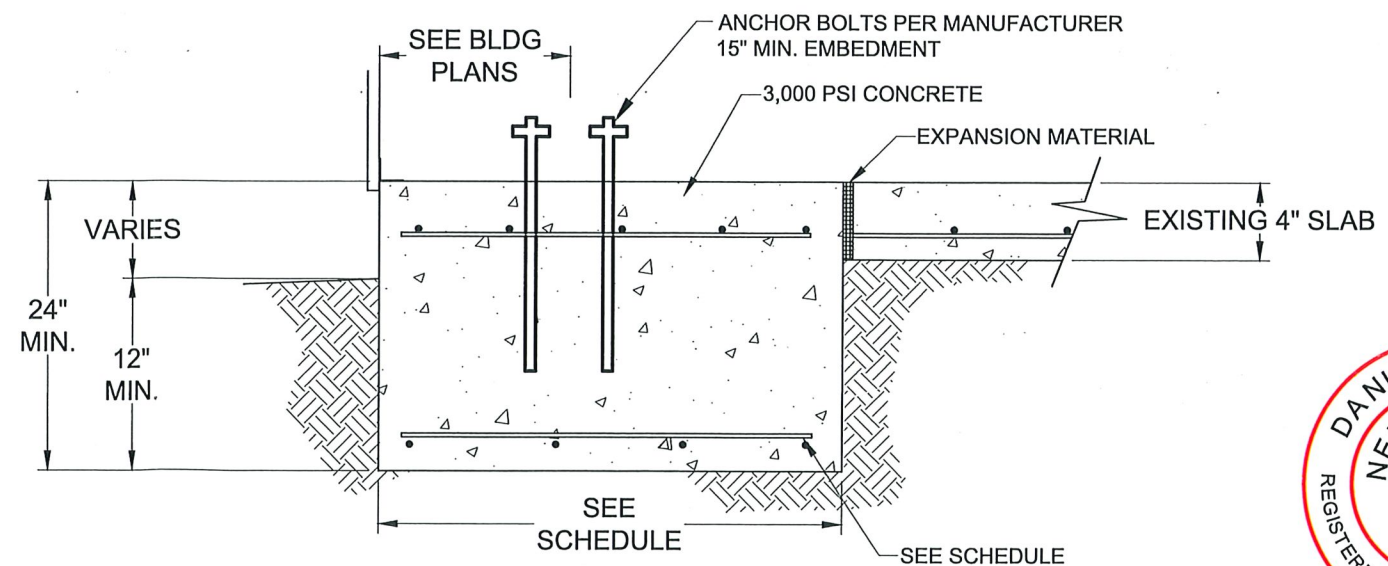
**GENERAL NOTES**

1. CONCRETE SHALL HAVE 28-DAY COMPRESSIVE STRENGTH ( $f'_c$ ) OF 3,000 PSI MIN.
2. REINFORCING STEEL SHALL CONFORM WITH ACI 318, ASTM A 615, GRADE 40 FOR #3 AND #4, GRADE 60 FOR #5 AND LARGER.
3. PROVIDE CORNER BARS OF SAME SIZE AS LONGITUDINAL REINFORCEMENT AND LAP 24 INCHES. REINFORCING STEEL SHALL HAVE THE FOLLOWING CLEAR CONCRETE COVER:  
 PLACED AGAINST EARTH: 3 INCHES  
 PLACED AGAINST FORM: 1½ INCHES  
 SLAB-ON-GRADE: 1½ INCHES FROM TOP
4. RECOMMEND SUPPORT ALL REINFORCING STEEL WITH INTERSECTIONAL CHAIRS MANUFACTURED WITH CONTINUOUS RUNNERS, CONCRETE CUBES OR SAND PLATES.
5. RECOMMEND CONSOLIDATION OF ALL CONCRETE FOOTINGS WITH MECHANICAL VIBRATORS.
6. CONTROL JOINTS SHALL BE SAW CUT INTO THE SLAB AFTER CONCRETE PLACEMENT.
7. OVEREXCAVATE AND RECOMPACT PER SUBGRADE PREP DETAIL.
8. CONTRACTOR SHALL VERIFY COLUMN AND BASE PLATE LOCATIONS WITH MANUFACTURER'S DRAWINGS. BASE PLATES MAY ALL BE EMBEDDED AS DIRECTED BY END USER.

**FOOTING SCHEDULE**

2000 PSF (SUBGRADE PREP PER THIS SHEET OR SITE GEOTECH)

| MARK | QTY | SIZE                  | REINFORCEMENT       | BEARING PLATE |
|------|-----|-----------------------|---------------------|---------------|
| A    | 2   | 1'-6" x 1'-6" x 2'-0" | #5 @ 12" O.C., E.W. | PER BLDG MFG  |
| B    | 3   | 2'-0" x 2'-0" x 2'-0" | #5 @ 12" O.C., E.W. | PER BLDG MFG  |



COLUMN FOOTING **3**  
NOT TO SCALE S100



01/13/23

CLIENT: ARROWSMITH

PROJECT: STORAGE

**LILLEY ENGINEERING INC.**

5160 CALLE BELLISIMA LAS CRUCES, NM 88011 (575) 521-0006

STORAGE FOUNDATION

3200 MCDOWELL, LAS CRUCES, NM

PROJECT NUMBER  
230103

DRAWING NUMBER  
ARROWSMITH 20x30

REV  
0

SHEET **S100**

| NO | DATE     | DESCRIPTION            | EGR |
|----|----------|------------------------|-----|
| 0  | 01/13/23 | ISSUE FOR CONSTRUCTION | DL  |

GENERAL NOTES

THE STRUCTURE UNDER THIS CONTRACT HAS BEEN DESIGNED AND DETAILED FOR THE LOADS AND CONDITIONS STIPULATED IN THE CONTRACT AND SHOWN ON THESE DRAWINGS. ANY ALTERATIONS TO THE STRUCTURAL SYSTEM, REMOVAL OF ANY COMPONENT PARTS, OR THE ADDITION OF OTHER CONSTRUCTION MATERIALS OR LOADS MUST BE DONE UNDER THE ADVICE AND DIRECTION OF A REGISTERED ARCHITECT, CIVIL OR STRUCTURAL ENGINEER. THE BUILDING MANUFACTURER WILL ASSUME NO RESPONSIBILITY FOR ANY LOADS NOT INDICATED.

THIS METAL BUILDING IS DESIGNED WITH THE BUILDING MANUFACTURER'S STANDARD PRACTICES WHICH ARE BASED ON PERTINENT PROCEDURES AND RECOMMENDATIONS OF THE FOLLOWING ORGANIZATIONS AND CODES AS APPLICABLE.

1. AMERICAN INSTITUTE OF STEEL CONSTRUCTION, SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS
2. AMERICAN IRON AND STEEL INSTITUTE, SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS.
3. AMERICAN WELDING SOCIETY, STRUCTURAL WELDING CODE' AWS D1.1
4. METAL BUILDING MANUFACTURER'S ASSOCIATION , LOW RISE BUILDING SYSTEMS MANUAL
5. INTERNATIONAL CODE COUNCIL: INTERNATIONAL BUILDING CODE

ALL WELDING ELECTRODES SHALL BE A233 CLASS E-70 SERIES. MINIMUM WELDS ON PRIMARY STRUCTURAL MEMBERS SHALL BE 3/16 FILLET WELDS UNLESS SHOWN OTHERWISE ON SHOP FABRICATION DRAWINGS.

ALL STRUCTURAL STEEL SHALL BE SHOP FABRICATED UNLESS NOTED.

MATERIAL PROPERTIES OF STEEL PLATE AND SHEET USED IN THE FABRICATION OF PRIMARY RIGID FRAMES AND ALL PRIMARY STRUCTURAL FRAMING MEMBERS (OTHER THAN COLD-FORMED SECTIONS) CONFORM TO THE CHEMISTRY REQUIREMENTS OF ASTM-A36 WITH MINIMUM YIELD POINT OF 50,000 P.S.I. OR 36,000 P.S.I. AS REQUIRED BY DESIGN.

MATERIAL PROPERTIES OF COLD FORMED LIGHT GAGE STEEL MEMBERS CONFORM TO THE REQUIREMENTS OF A.S.T.M. A-570, GRADE 55, WITH A MINIMUM YIELD POINT OF 57,000 P.S.I.

ALL PIPE SHALL BE MINIMUM SCHEDULE 40 AND 36,000 P.S.I. UNLESS OTHERWISE NOTED.

CABLE BRACING TO BE "BRACE GRIP" SYSTEM AS MANUFACTURED BY FLORIDA WIRE AND CABLE COMPANY, EHS CABLE OR EQUAL. BRACING IN FLUSH GIRT SIDEWALL / ENDWALL BAYS MAY REQUIRE THE FIELD CUTTING OF SLOTS SO THAT CABLE IS INSTALLED WITHIN GIRTS.

STRUCTURAL JOINTS WITH A.S.T.M. A-325 HIGH STRENGTH BOLTS, WHERE INDICATED ON THE DRAWINGS, SHALL BE ASSEMBLED AND THE FASTENERS TIGHTENED IN ACCORDANCE WITH 'SNUG-TIGHT' METHOD AS DESCRIBED IN THE SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM F-3125 GRADE A325 OR GRADE A490 BOLTS (2020 EDITION), UNLESS OTHERWISE NOTED. ALL JOINTS WILL BE ASSEMBLED WITHOUT WASHERS UNLESS OTHERWISE NOTED.

ALL STEEL MEMBERS EXCEPT BOLTS AND FASTENERS SHALL RECEIVE ONE SHOP COAT OF IRON OXIDE CORROSION INHIBITIVE PRIMER.

SHOP AND FIELD INSPECTIONS AND ASSOCIATED FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

UNLESS OTHERWISE NOTED, ALL SCREWED-DOWN ROOF AND WALL PANELS ARE TO BE INSTALLED USING A MINIMUM OF ONE SCREW PER FOOT AT EACH PURLIN / GIRT AND ONE STITCH SCREW EVERY 20 INCHES ALONG THE PANEL LAPS AND ENDS AS DESCRIBED IN THE INSTALLATION MANUAL. SINCE BEARING FRAME ENDWALLS DEPEND ON DIAPHRAGM STRENGTH TO PROVIDE LATERAL SUPPORT, THE NUMBER AND SIZE OF FIELD INSTALLED OPENINGS IN THESE WALLS MAY BE LIMITED. SEE THE APPLICABLE WALL DRAWING OR CONTACT YOUR SALES REPRESENTATIVE FOR MORE INFORMATION.

BUILDING DESCRIPTION

| BLDG | WIDTH  |   | LENGTH |   | HEIGHT |        | ROOF PITCH |         |
|------|--------|---|--------|---|--------|--------|------------|---------|
|      |        |   |        |   |        |        |            |         |
|      |        |   |        |   | BACK   | FRONT  | BACK       | FRONT   |
| 1    | 20'-0" | X | 30'-0" | X | 10'-0" | 10'-0" | 3.00:12    | 3.00:12 |

INSTALLATION NOTE

For videos and manuals to help you with the erection of your building, visit our website: [www.muellerinc.com](http://www.muellerinc.com)

Go to the "Downloads" tab near the top of the page and click on "Videos" or "Manuals". These will help you with topics from site planning and safety through erection and installation of accessories.

WARRANTY NOTE

ENGINEERING CALCULATIONS AND DESIGN ARE BASED ON PRE-FABRICATED METAL BUILDING(S) AS SHOWN IN THESE DRAWINGS AND SUPPLIED BY MUELLER, INC. AND ANY FIELD FABRICATION AND/OR MODIFICATION OF SAID BUILDING(S) IS THE SOLE RESPONSIBILITY OF THE CUSTOMER AND MAY VOID ALL ENGINEERING AND WARRANTY.

PRODUCT CERTIFICATIONS

THIS IS TO CERTIFY THE ABOVE REFERENCED BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH A.I.S.C. AND A.I.S.I. DESIGN PROCEDURES AND GOOD ENGINEERING PRACTICE AND FOR THE FOLLOWING LOADS. ALL WELDING IS PER THE A.W.S. D1.1 & D1.3 CODES. LOADS ARE APPLIED IN ACCORDANCE WITH THE M.B.M.A. LOW RISE BUILDING SYSTEMS MANUAL, AND THE DESIGN SATISFIES THE REQUIREMENTS OF IBC'15

DEAD LOAD: METAL BLDG STRUCTURE ONLY AS FURNISHED BY MUELLER, INC.

LIVE LOAD (ROOF): 20.0 (psf) GROUND SNOW LOAD:  $P_g = 5.0$  (psf)

LIVE LOAD REDUCED PER CODE? YES ROOF SNOW LOAD (Flat):  $P_r = 5.0$  (psf)

WIND EXPOSURE: C  $C_e = 1.0$   $I_s = 1.0$

RISK CATEGORY: II - Normal WIND LOAD:  $V_{ULT} = 115.0$  MPH

$V_{ASD} = 90.0$  MPH

SEISMIC LOADS

$I_e = 1.0$  SEISMIC DESIGN CATEGORY: C

$S_s = 0.282$   $S_{DS} = 0.296$  SITE CLASS: D

$S_1 = 0.088$   $S_{D1} = 0.141$  ANALYSIS PROCEDURE: Equivalent Lateral Force Method

BUILDING-SPECIFIC LOADING INFORMATION

| BLDG | Collateral Load (psf) | $C_t$ | SNOW  |  | Roof (Sloped) $P_s$ (psf) | WIND Enclosure    | GC <sub>Pi</sub> | R    | SEISMIC |            |
|------|-----------------------|-------|-------|--|---------------------------|-------------------|------------------|------|---------|------------|
|      |                       |       | $C_s$ |  |                           |                   |                  |      | $C_s$   | $V$ (kips) |
| 1    | 2.0                   | 1.0   | 1.0   |  | 5.00                      | PartiallyEnclosed | ± 0.55           | 3.00 | 0.099   | 0.49       |

THIS LETTER OF CERTIFICATION APPLIES SOLELY TO THIS BUILDING AND ITS COMPONENT PARTS AS FURNISHED AND/OR FABRICATED BY MUELLER, INC. AND SPECIFICALLY EXCLUDES FOUNDATION, MASONRY OR GENERAL CONTRACT WORK INCLUDING ERECTION CERTIFICATION. THE DESIGN AND CERTIFICATION FOR THIS PROJECT IS IN ACCORDANCE WITH THE PROVISIONS AND LOADS SPECIFIED ON THE CONTRACT DOCUMENTS. THE CUSTOMER IS TO INSURE ALL LOADS ARE IN COMPLIANCE WITH LOCAL REGULATORY AUTHORITIES. ALL COMPONENTS AND PARTS MUST WITHSTAND THE WIND LOAD AND DESIGN SPECIFICATIONS MENTIONED ABOVE.

PANEL ACCESSORY INFORMATION

|             | PANEL TYPE | PANEL COLOR  | TRIM COLOR   |
|-------------|------------|--------------|--------------|
| WALL SHEETS | 126_R      | LST Lt Stone | LST Lt Stone |
| ROOF SHEETS | 126_PBR    | COP Copper   | COP Copper   |

WARNING: IN NO CASE SHOULD GALVALUME STEEL PANELS BE USED IN CONJUNCTION WITH LEAD OR COPPER. BOTH LEAD AND COPPER HAVE HARMFUL CORROSION EFFECTS ON THE ALUMINUM ZINC ALLOY COATING WHEN THEY ARE USED IN CONTACT WITH GALVALUME STEEL PANELS. EVEN RUN-OFF FROM COPPER FLASHING, WIRING, OR TUBING ONTO GALVALUME SHOULD BE AVOIDED.

DEFLECTION LIMIT TABLE

|                     |         |
|---------------------|---------|
| EW Column           | L / 110 |
| EW Rafter (Live)    | L / 180 |
| EW Rafter (Wind)    | L / 180 |
| Wall Girt           | L / 90  |
| Roof Purlin (Live)  | L / 150 |
| Roof Purlin (Wind)  | L / 150 |
| Rigid Frame (Horiz) | H / 60  |
| Rigid Frame (Vert)  | L / 180 |
| Wind Framing        | H / 60  |

DRAWING INDEX

| PAGE | DESCRIPTION               |
|------|---------------------------|
| C1   | COVERSHEET                |
| AB1  | ANCHOR BOLT PLAN          |
| AB2  | ANCHOR BOLT DETAILS       |
| AB3  | ANCHOR BOLT DETAILS       |
| AB4  | REACTIONS                 |
| E1   | ROOF PLAN                 |
| E2   | WALL ELEVATION AT GRID C  |
| E3   | WALL ELEVATION AT GRID A  |
| E4   | WALL ELEVATION AT GRID 1  |
| E5   | WALL ELEVATION AT GRID 2  |
| E6   | FRAME ELEVATION ON GRID 1 |
| E101 | ERECTION DETAILS          |
| E102 | ERECTION DETAILS          |
| E103 | ERECTION DETAILS          |
| S101 | SHEETING DETAILS          |
| T101 | TRIM DETAILS              |
| T102 | TRIM DETAILS              |

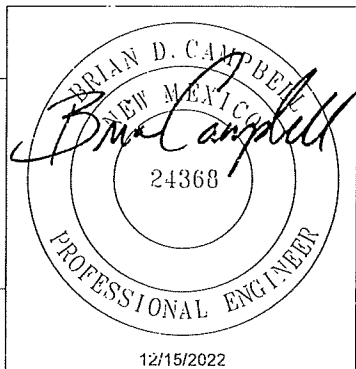
FOR CONSTRUCTION

For help with installation of your building, please visit our website:



[www.muellerinc.com/downloads/download-manuals](http://www.muellerinc.com/downloads/download-manuals)

NOTE: THE ENGINEER LISTED ON THESE DRAWINGS IS NOT THE "REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE" NOR "ENGINEER OF RECORD" FOR THE OVERALL PROJECT.

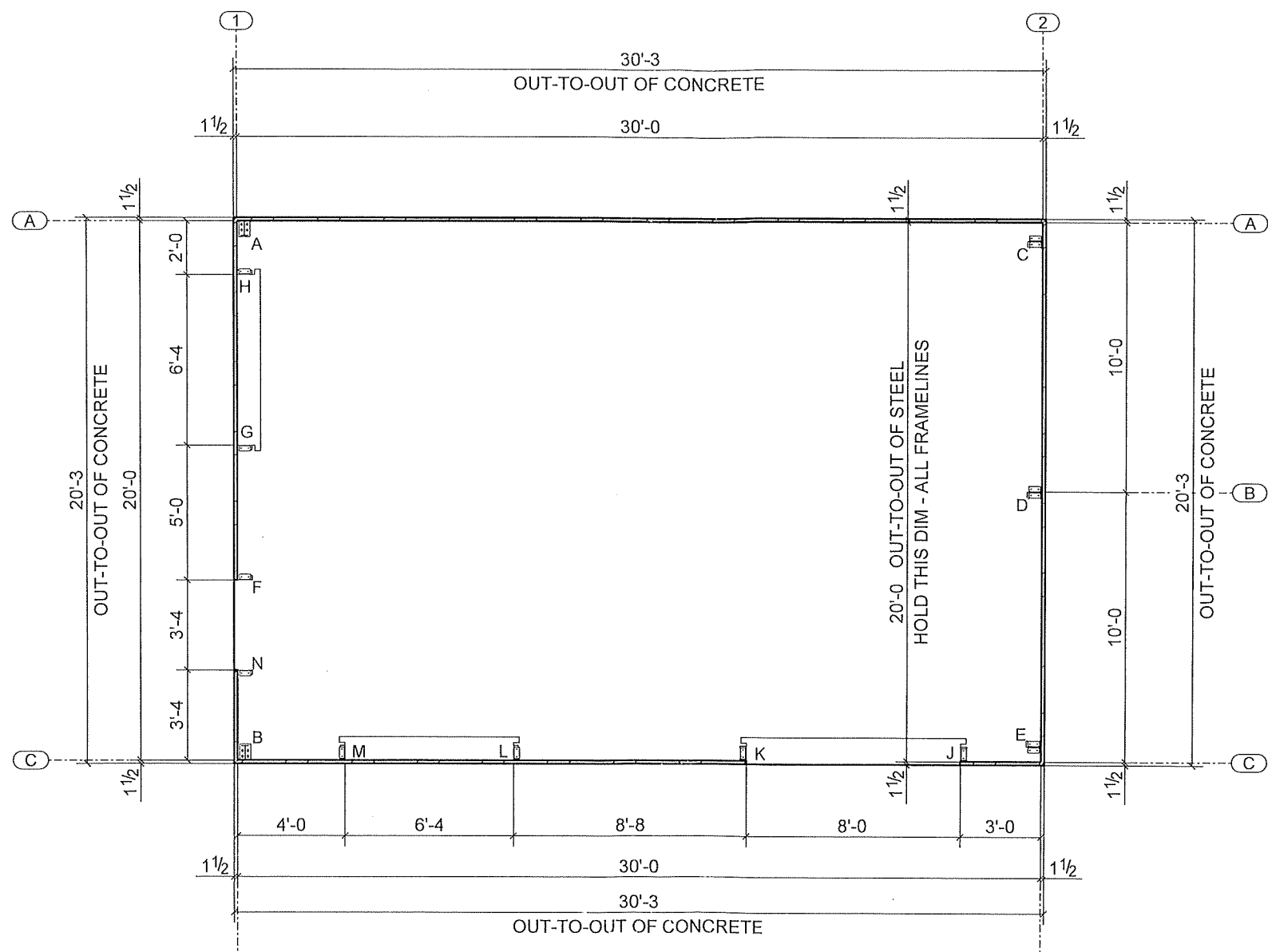


| 0   | 12/15/2022    | For Construction |
|---|---------------|------------------|
| REV   | DATE          | DESCRIPTION      |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |               |                  |
| DRAWING DESCRIPTION: COVERSHEET   |               |                  |
| CUSTOMER NAME: Jim Arrowsmith   |               | END USER: Jim    |
| SALESMAN: Juan Gomez  |               | SCALE: NONE      |
| JOB SITE ADDRESS: 3200 McDowell Las Cruces, NM 88005  |               |                  |
| DATE: 12/15/2022  | JOB # 6521157 | DWG # C1         |
| DETAILER: NSS   | CHECKER: JDZ  | REV. 0           |

Legend

PART MARK = Part001

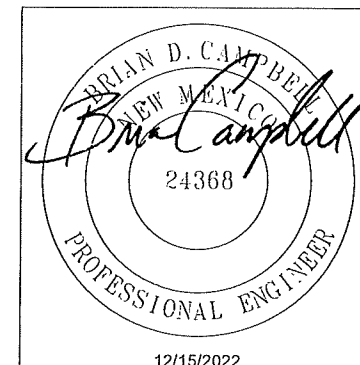




ANCHOR BOLT PLAN  
NOTE: Base Plates @ 100'-0" (U.N.)

| ANCHOR BOLT SUMMARY |           |      |  |
|---------------------|-----------|------|--|
| QTY                 | LOCATION  | DIA  |  |
| 12                  | ENDWALL   | 5/8" |  |
| 16                  | JAMB      | 5/8" |  |
| 8                   | MAINFRAME | 3/4" |  |

For Visual Purposes, Base Plate Views  
may be Exaggerated Beyond Dwg Scale



|   |            |                      |
|---|------------|----------------------|
| 0   | 12/15/2022 | For Construction     |
| REV   | DATE       | DESCRIPTION          |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |            |                      |
| DRAWING DESCRIPTION: ANCHOR BOLT PLAN   |            |                      |
| CUSTOMER NAME: Jim Arrowsmith   |            | END USER: Jim        |
| SALESMAN: Juan Gomez  |            | SCALE: 1:36          |
| DETAILER: NSS   |            | CHECKER: JDZ         |
| DATE: 12/15/2022  |            | JOB # 6521157        |
| JOB SITE ADDRESS: 3200 McDowell   |            | Las Cruces, NM 88005 |
| DWG # AB1   |            | REV. 0               |



**Total: 511.0**

w

Foundation design and construction is the responsibility of MUELLER, INC. The building reaction data reports in which this building places on the anchor Bolts shall be accurately stated to an tolerance of  $\pm 1/8"$  in both elevation and location.

Column base plates are designed to exceed a bearing pressure of 11250 psi or square inch.

Anchor Bolt sizes are based on the design strength being a minimum of 10000 lbs. The anchor bolts and anchor plate anchorage (including nuts, drive pins, or any other hardware) shall be provided by MUELLER, INC. It is the responsibility of the foundation designer and / or customer.

3. Another toll road
4. Co-existence
5. Another deal

PRO

|        |
|--------|
| N      |
| 1913   |
| (800   |
| DRAW   |
| AN     |
| CUSTO  |
| Jim    |
| SALES  |
| Jua    |
| DETAIL |
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C.  
ENTS  
6821

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Las Cru  
52114

**Total: 511.0**

w

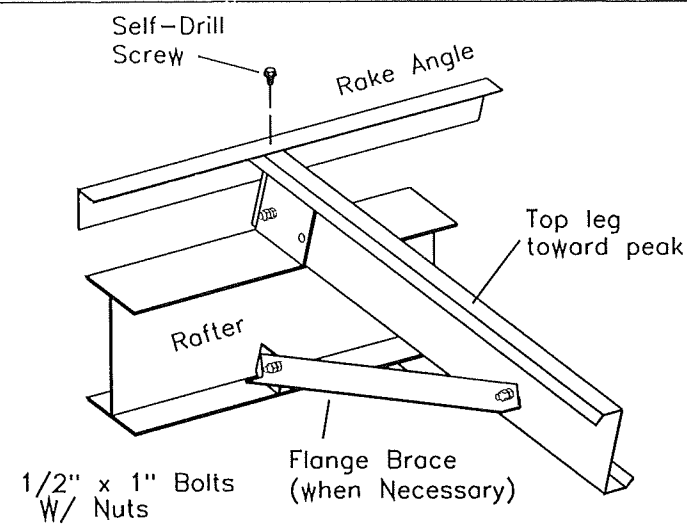
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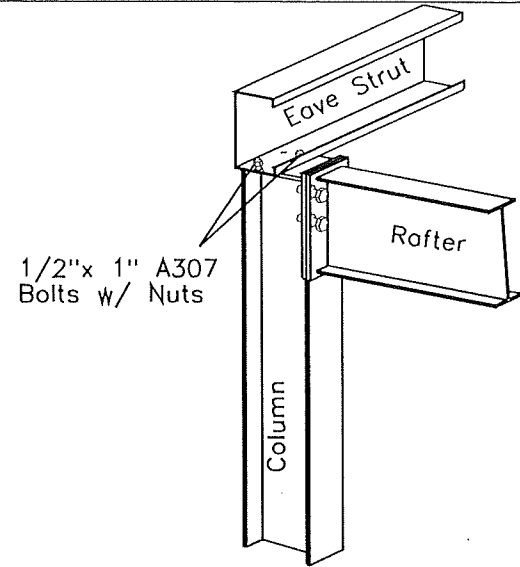
|         |       |
|---------|-------|
| SALES   | Juan  |
| DETAILS | Maria |

Las Cruces 52114

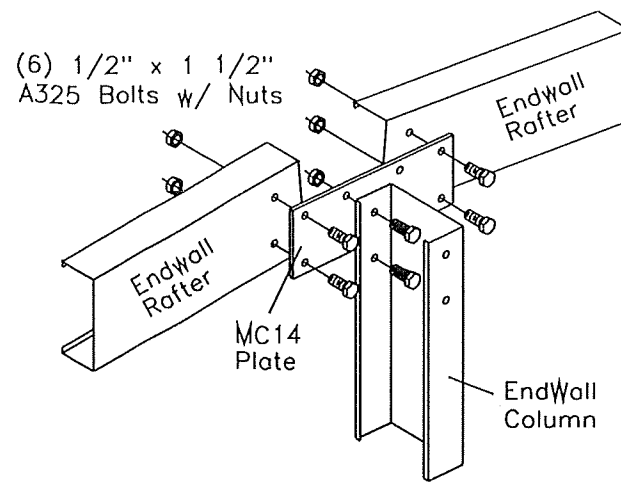




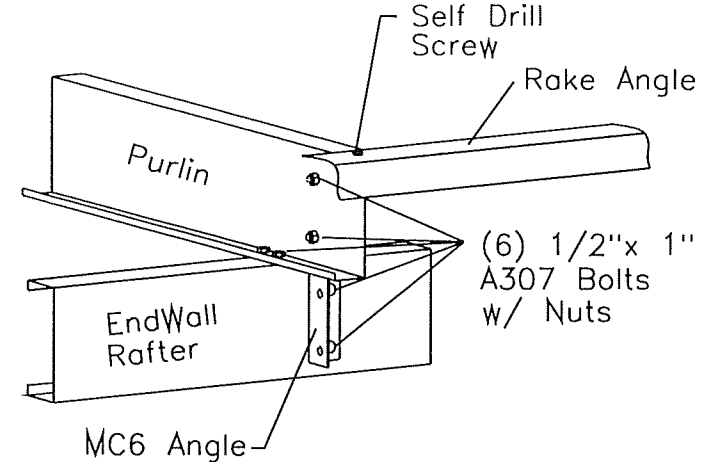
PC001 ENDWALL RAFTER TO ROOF PURLIN



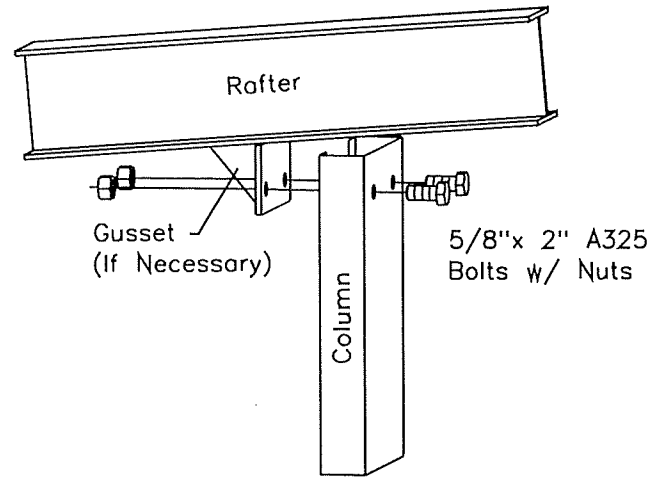
PC015 ENDWALL CORNER COLUMN TO EAVE STRUT



PCWC RAFTER SPLICE AT PEAK WITH CENTER COLUMN

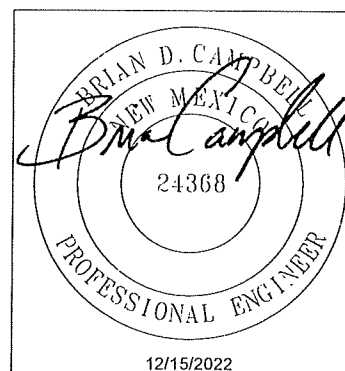


PURAGL ENDWALL RAFTER TO ROOF PURLIN

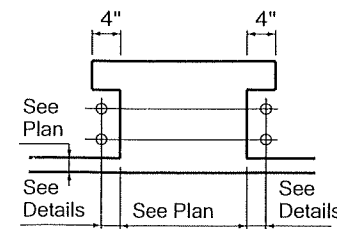
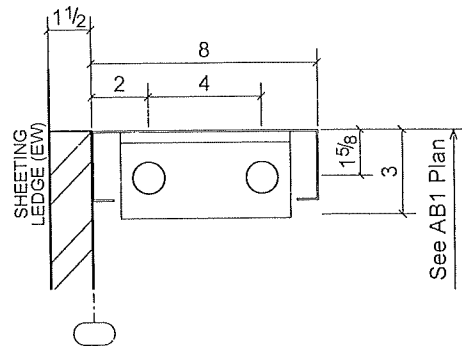


RC001 ENDWALL RAFTER TO COLUMN

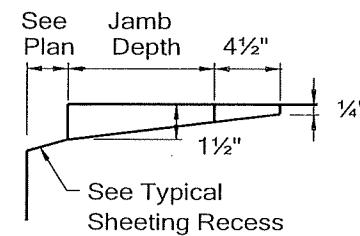
ALL A325 STRUCTURAL BOLT CONNECTIONS SHOWN IN THESE DETAILS HAVE STANDARD MINIMUM BOLT INFORMATION. FOR SPECIFIC BOLT QUANTITIES AND SIZES, REFER TO COMPONENT BOLT TABLES LOCATED ON FRAME AND WALL ELEVATION DWGS.



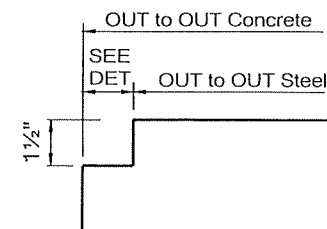
| 0   | 12/15/2022 | For Construction |
|---|------------|------------------|
| REV   | DATE       | DESCRIPTION      |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |            |                  |
| DRAWING DESCRIPTION: ERECTION DETAILS   |            |                  |
| CUSTOMER NAME: Jim Arrowsmith   |            | END USER: Jim    |
| SALESMAN: Juan Gomez  |            | SCALE: NONE      |
| DETAILER: NSS   |            | JDS              |
| CHECKER: JDS  |            |                  |
| DATE: 12/15/2022  |            | JOB # 6521157    |
|   |            | DWG # E103       |
|   |            | REV 0            |



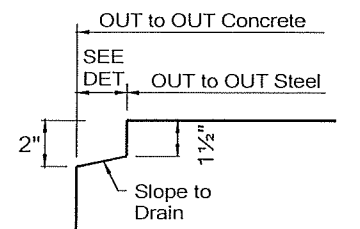
TYP. OVERHEAD  
DOOR BOLT LAYOUT



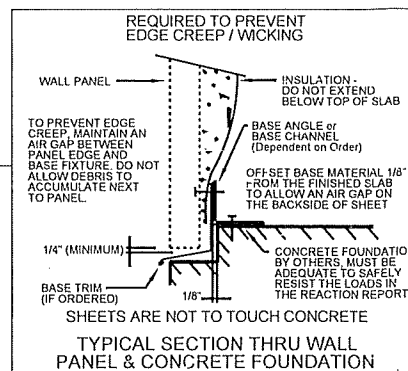
TYP. OVERHEAD  
DOOR RECESS



TYP. SHEETING RECESS  
WITH BASE DRIP EDGE TRIM  
BASE DRIP EDGE TRIM MUST BE  
USED TO PREVENT EDGE CREEP.

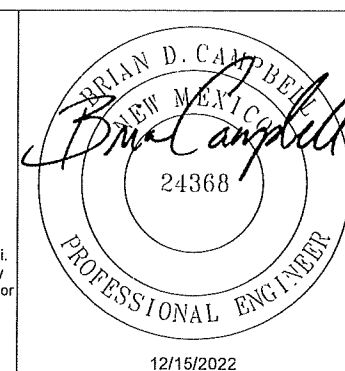


TYP. SHEETING RECESS  
W/O BASE DRIP EDGE TRIM  
BASE DRIP EDGE TRIM NOT REQUIRED  
TO BE USED TO PREVENT EDGE CREEP.



#### GENERAL NOTES

1. Foundation design and construction are not the responsibility of MUELLER, INC.
2. The building reaction data reports the loads which this building places on the foundation.
3. Anchor Bolts shall be accurately set to a tolerance of  $\pm 1/8$ " in both elevation and location.
4. Column base plates are designed not to exceed a bearing pressure of 1125 pounds per square inch.
5. Anchor Bolt sizes are based on the concrete design strength being a minimum of 3000 psi. Anchorage of the anchor bolts and adequacy of any foundation anchorage (including anchor bolts, drive pins, or any other foundation anchorage provided by MUELLER, INC.) is solely the responsibility of the foundation designer and / or customer.



| 0   | 12/15/2022       | For Construction    |
|---|------------------|---------------------|
| REV   | DATE             | DESCRIPTION         |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |                  |                     |
| DRAWING DESCRIPTION:<br>ANCHOR BOLT DETAILS   |                  |                     |
| CUSTOMER NAME:<br>Jim Arrowsmith  |                  | END USER:<br>Jim    |
| SALESMAN:<br>Juan Gomez   |                  | SCALE<br>NONE       |
| JOBSITE ADDRESS:<br>3200 McDowell Las Cruces, NM 88005  |                  |                     |
| DETAILER:<br>NSS  | CHECKER:<br>JDZ  | DATE:<br>12/15/2022 |
|   | JOB #<br>6521157 | DWG #<br>AB3        |
|   |                  | REV.<br>0           |

If you ordered  
Anchor Bolt Templates  
on your building, please  
visit our website:



[www.muellerinc.com/downloads/videos/anchor-bolt-template-videos](http://www.muellerinc.com/downloads/videos/anchor-bolt-template-videos)

○ DIA = 5/8"



LOAD COMBINATIONS

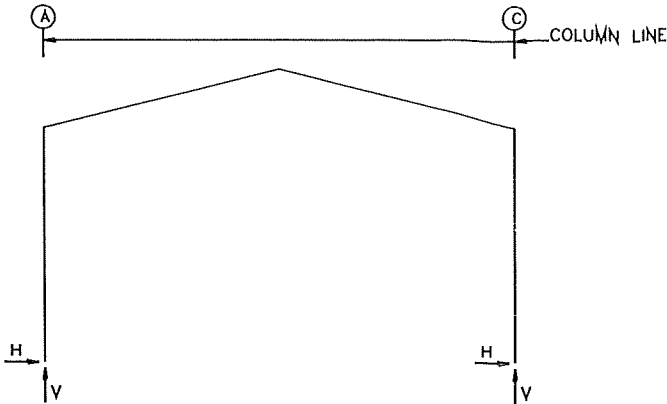
| ID | Description                              |
|----|--|
| 1  | Dead+Collateral+Live                     |
| 2  | Dead+Collateral+0.75Live+0.45Wind_Left1  |
| 3  | Dead+Collateral+0.75Live+0.45Wind_Right1 |
| 4  | 0.6Dead+0.6Wind_Left1                    |
| 5  | 0.6Dead+0.6Wind_Right1                   |
| 6  | 0.6Dead+0.6Wind_Left2                    |
| 7  | 0.6Dead+0.6Wind_Right2                   |
| 8  | 0.6Dead+0.6Wind_Suction+0.6Wind_Long1L   |
| 9  | 0.6Dead+0.6Wind_Pressure+0.6Wind_Long1L  |
| 10 | 0.6Dead+0.6Wind_Left1+0.6Wind_Suction    |
| 11 | 0.6Dead+0.6Wind_Suction+0.6Wind_Long2L   |
| 12 | 0.6Dead+0.6Wind_Pressure+0.6Wind_Long2L  |

BUILDING BRACING REACTIONS

|          |          | Reactions(k ) |           |               |              | Panel Shear (lb/ft) |      | Note |
|----------|----------|---------------|-----------|---------------|--------------|---------------------|------|------|
| Wall Loc | Col Line | Wind Horiz    | Wind Vert | Seismic Horiz | Seismic Vert | Wind                | Seis |      |
| L_EW     | 1        |               |           |               |              |                     |      | (h)  |
| F_SW     | C        |               |           |               |              | 69                  | 16   |      |
| R_EW     | 2        |               |           |               |              | 78                  | 37   |      |
| B_SW     | A        |               |           |               |              | 36                  | 8    |      |

(h) Rigid frame at end wall

FRAME LINES: 1



RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

| Frm Line | Col Line | Column Reactions(k ) |        |        |         |        |        | Bolt(in) Qty | Dia   | Base Plate(in) |        |       | Grout (in) |
|----------|----------|----------------------|--------|--------|---------|--------|--------|--------------|-------|----------------|--------|-------|------------|
|          |          | Load Id              | Hmax H | V Vmax | Load Id | Hmin H | V Vmin |              |       | Width          | Length | Thick |            |
| 1        | A        | 3                    | 1.4    | 1.4    | 6       | -1.6   | -0.6   | 4            | 0.750 | 6.000          | 8.500  | 0.500 | 0.0        |
|          |          | 1                    | 0.8    | 3.6    | 4       | -1.1   | -3.0   |              |       |                |        |       |            |
| 1        | C        | 7                    | 1.6    | -0.6   | 2       | -1.4   | 1.4    | 4            | 0.750 | 6.000          | 8.500  | 0.500 | 0.0        |
|          |          | 1                    | -0.8   | 3.6    | 5       | 1.1    | -3.0   |              |       |                |        |       |            |

RIGID FRAME: BASIC COLUMN REACTIONS (k )

| Frame Line | Column Line | Dead       |      | Collateral  |      | Live       |      | Snow       |      | Wind_Left1   |      | Wind_Right1   |      |
|------------|-------------|------------|------|-------------|------|------------|------|------------|------|--------------|------|---------------|------|
|            |             | Horiz      | Vert | Horiz       | Vert | Horiz      | Vert | Horiz      | Vert | Horiz        | Vert | Horiz         | Vert |
| 1          | A           | 0.1        | 0.6  | 0.1         | 0.3  | 0.7        | 2.7  | 0.2        | 0.8  | -1.9         | -5.6 | 1.5           | -3.4 |
| 1          | C           | -0.1       | 0.6  | -0.1        | 0.3  | -0.7       | 2.7  | -0.2       | 0.8  | -1.5         | -3.4 | 1.9           | -5.6 |
| Frame Line | Column Line | Wind_Left2 |      | Wind_Right2 |      | Wind_Long1 |      | Wind_Long2 |      | Seismic_Left |      | Seismic_Right |      |
|            |             | Horiz      | Vert | Horiz       | Vert | Horiz      | Vert | Horiz      | Vert | Horiz        | Vert | Horiz         | Vert |
| 1          | A           | -2.8       | -1.5 | 0.6         | 0.7  | 0.9        | -4.1 | 0.6        | -3.9 | -0.1         | -0.1 | 0.1           | 0.1  |
| 1          | C           | -0.6       | 0.7  | 2.8         | -1.5 | -0.6       | -3.9 | -0.9       | -4.1 | -0.1         | 0.1  | 0.1           | -0.1 |
| Frame Line | Column Line | MIN_SNOW   |      | F1UNB_SL_L  |      | F1UNB_SL_R |      |            |      |              |      |               |      |
|            |             | Horiz      | Vert | Horiz       | Vert | Horiz      | Vert |            |      |              |      |               |      |
| 1          | A           | 0.2        | 0.8  | 0.2         | 0.8  | 0.2        | 0.5  |            |      |              |      |               |      |
| 1          | C           | -0.2       | 0.8  | -0.2        | 0.5  | -0.2       | 0.8  |            |      |              |      |               |      |

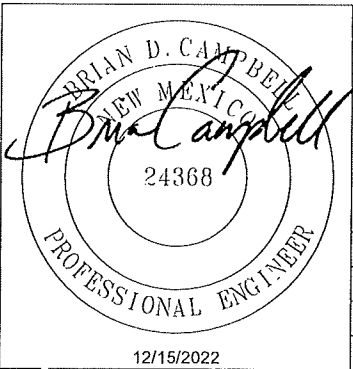
ENDWALL COLUMN: BASIC COLUMN REACTIONS (k )

| Frm Line | Col Line | Dead Vert | Collat Vert | Live Vert | Snow Vert | Wind Left1 Vert | Wind Right1 Vert | Wind Left2 Vert | Wind Right2 Vert | Wind Press Horiz | Wind Suct Horiz | Wind Long1 Vert | Wind Long2 Vert |
|----------|----------|-----------|-------------|-----------|-----------|-----------------|------------------|-----------------|------------------|------------------|-----------------|-----------------|-----------------|
| 2        | C        | 0.3       | 0.2         | 1.6       | 0.4       | -2.8            | -2.2             | -0.1            | 0.5              | -0.8             | 0.9             | -3.2            | -2.5            |
| 2        | B        | 0.5       | 0.3         | 2.9       | 0.7       | -3.9            | -3.9             | -1.3            | -1.3             | -1.7             | 1.8             | -3.1            | -3.1            |
| 2        | A        | 0.3       | 0.2         | 1.6       | 0.4       | -2.2            | -2.8             | 0.5             | -0.1             | -0.8             | 0.9             | -2.5            | -3.2            |

| Frm Line | Col Line | Seis Left Vert | Seis Right Vert | -MIN_SNOW- Horiz | -E2UNB_SL_L- Vert | -E2UNB_SL_R- Horiz | -E2UNB_SL_R- Vert |
|----------|----------|----------------|-----------------|------------------|-------------------|--------------------|-------------------|
| 2        | C        | 0.0            | 0.1             | 0.0              | 0.4               | 0.0                | 0.5               |
| 2        | B        | -0.1           | -0.1            | 0.0              | 0.7               | 0.0                | 0.8               |
| 2        | A        | 0.1            | 0.0             | 0.0              | 0.4               | 0.0                | 0.1               |

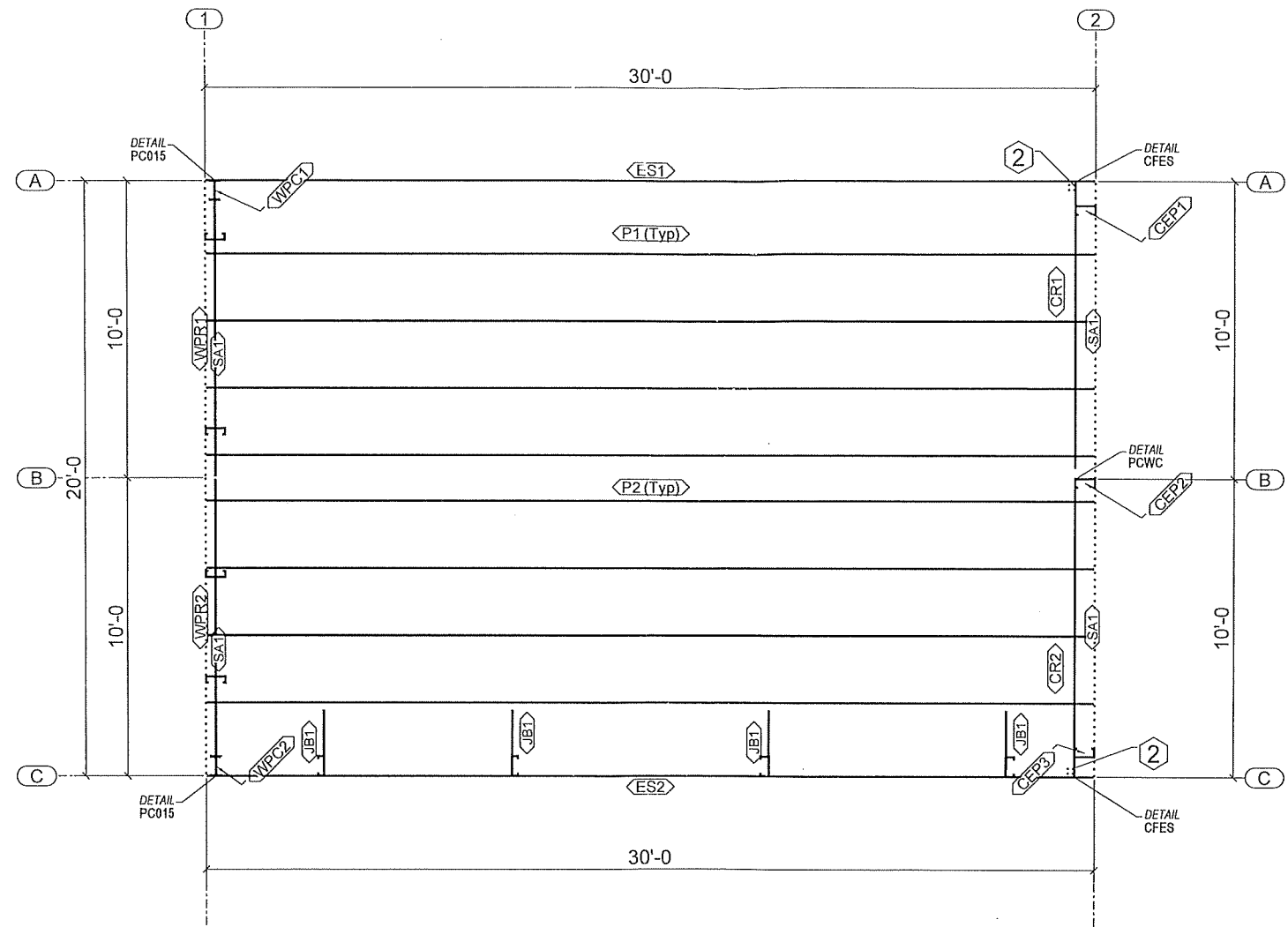
ENDWALL COLUMN: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

| Frm Line | Col Line | Column Reactions(k ) |        |        |         |        |        | Bolt(in) Qty | Dia   | Base Plate(in) |        |       | Grout (in) |
|----------|----------|----------------------|--------|--------|---------|--------|--------|--------------|-------|----------------|--------|-------|------------|
|          |          | Load Id              | Hmax H | V Vmax | Load Id | Hmin H | V Vmin |              |       | Width          | Length | Thick |            |
| 2        | C        | 8                    | 0.5    | -1.8   | 9       | -0.5   | -1.8   | 4            | 0.625 | 5.750          | 6.000  | 0.375 | 0.0        |
|          |          | 1                    | 0.0    | 2.0    | 8       | 0.5    | -1.8   |              |       |                |        |       |            |
| 2        | B        | 10                   | 1.1    | -2.1   | 9       | -1.0   | -1.6   | 4            | 0.625 | 5.750          | 6.000  | 0.375 | 0.0        |
|          |          | 1                    | 0.0    | 3.7    | 10      | 1.1    | -2.1   |              |       |                |        |       |            |
| 2        | A        | 11                   | 0.5    | -1.8   | 12      | -0.5   | -1.8   | 4            | 0.625 | 5.750          | 6.000  | 0.375 | 0.0        |
|          |          | 1                    | 0.0    | 2.0    | 11      | 0.5    | -1.8   |              |       |                |        |       |            |



| 0                                      | 12/15/2022 | For Construction |
|--|------------|------------------|
| REV                                    | DATE       | DESCRIPTION      |
| MUELLER, INC.                          |            |                  |
| STEEL BUILDING SYSTEMS & COMPONENTS    |            |                  |
| 1913 Hutchins Ave. Ballinger, TX 76821 |            |                  |
| (800) 527-1087                         |            |                  |
| DRAWING DESCRIPTION: REACTIONS         |            |                  |
| CUSTOMER NAME: Jim Arrowsmith          |            | END USER: Jim    |
| SALESMAN: Juan Gomez                   |            | SCALE: NONE      |
| DETAILER: NSS                          |            | JOB # 6521157    |
| CHECKER: JDZ                           |            | DWG # AB4        |
| DATE: 12/15/2022                       |            | REV: 0           |

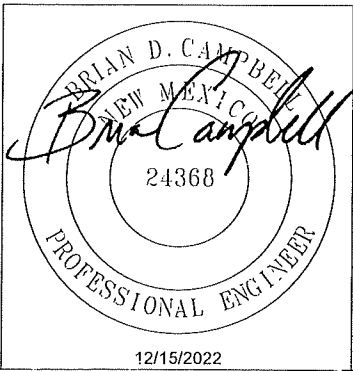
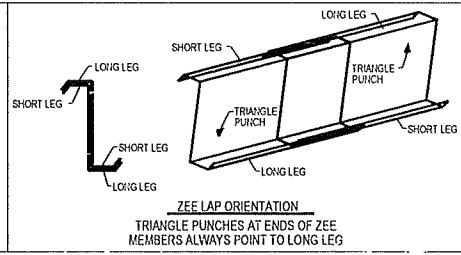
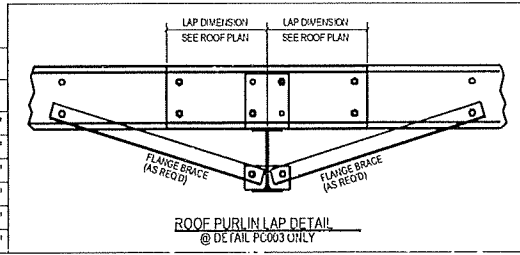
| Special Bolts - Roof Plan |     |      |      |        |
|---------------------------|-----|------|------|--------|
| O ID                      | Qty | Type | Dia  | Length |
| 2                         | 4   | A307 | 1/2" | 1"     |



ROOF PLAN

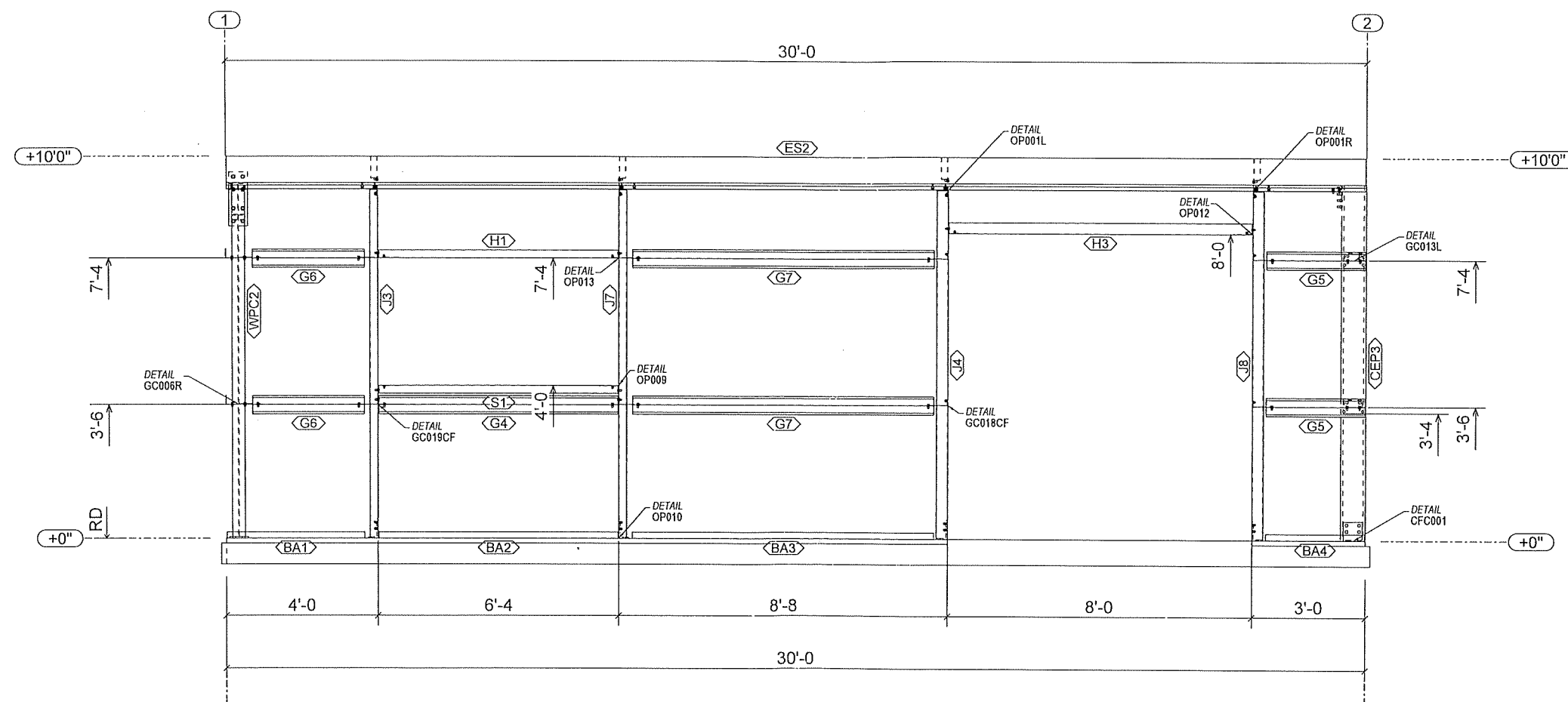
NOTE:  
DIAPHRAGM BRACING IS UTILIZED.  
DO NOT REMOVE ANY PANELS  
FOR ACCESSORIES OR OPENINGS.

| Bill of Materials |      |            |        |             |
|-------------------|------|------------|--------|-------------|
| Qty               | Mark | Profile    | Finish | Length      |
| 1                 | ES1  | 103E12DU-3 | RO     | 29'-11 1/2" |
| 1                 | ES2  | 103E14DU-3 | RO     | 29'-11 1/2" |
| 4                 | JB1  | 2X2L12     | RO     | 2'-3 7/8"   |
| 4                 | P1   | 10X35Z12   | RO     | 29'-11 1/2" |
| 4                 | P2   | 10X35Z12   | RO     | 29'-11 1/2" |
| 4                 | SA1  | L4X2x14GA  | RO     | 10'-3 3/16" |

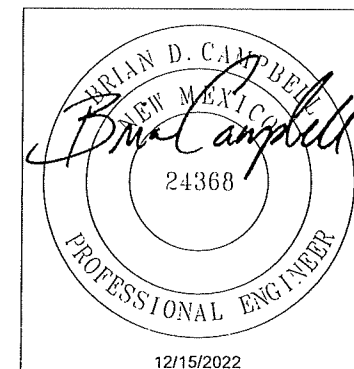


| 0   | 12/15/2022      | For Construction     |
|---|-----------------|----------------------|
| REV   | DATE            | DESCRIPTION          |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |                 |                      |
| DRAWING DESCRIPTION:<br><b>ROOF PLAN</b>  |                 |                      |
| CUSTOMER NAME:<br>Jim Arrowsmith  |                 | SCALE<br>1:30        |
| SALESMAN:<br>Juan Gomez   |                 | END USER:<br>Jim     |
| JOB SITE ADDRESS:<br>3200 McDowell  |                 | Las Cruces, NM 88005 |
| DETAILER:<br>NSS  | CHECKER:<br>JDZ | DATE:<br>12/15/2022  |
| JOB #<br>6521157  | DWG #<br>E1     | REV.<br>0            |

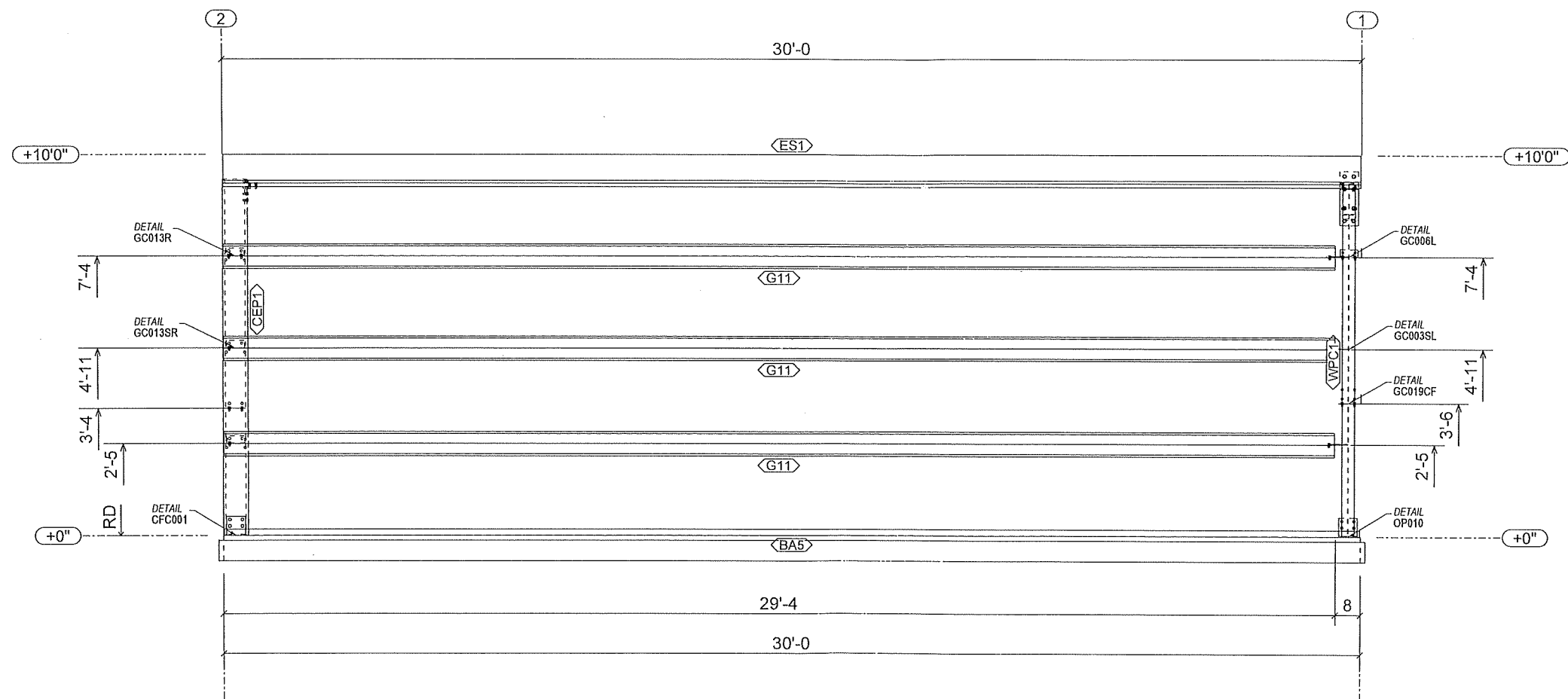




| Bill of Materials |      |           |        |             |
|-------------------|------|-----------|--------|-------------|
| Qty               | Mark | Profile   | Finish | Length      |
| 1                 | BA1  | L4X2x14GA | RO     | 3'-7 1/2"   |
| 1                 | BA2  | L4X2x14GA | RO     | 6'-3 1/2"   |
| 1                 | BA3  | L4X2x14GA | RO     | 7'-11 1/2"  |
| 1                 | BA4  | L4X2x14GA | RO     | 2'-7 1/2"   |
| 1                 | G4   | 8X25Z14   | RO     | 6'-3 1/2"   |
| 2                 | G5   | 8X25Z16   | RO     | 2'-7 3/8"   |
| 2                 | G6   | 8X25Z16   | RO     | 2'-11 3/8"  |
| 2                 | G7   | 8X25Z16   | RO     | 7'-11 5/16" |
| 1                 | H1   | 8X25C16   | RO     | 6'-3 1/2"   |
| 1                 | H3   | 8X35C14   | RO     | 7'-11 1/2"  |
| 1                 | J3   | 8X25C16   | RO     | 9'-1 7/16"  |
| 1                 | J4   | 8X35C12   | RO     | 9'-1 7/16"  |
| 1                 | J7   | 8X25C16   | RO     | 9'-1 7/16"  |
| 1                 | J8   | 8X35C12   | RO     | 9'-1 7/16"  |
| 1                 | S1   | 8X25C16   | RO     | 6'-3 1/2"   |

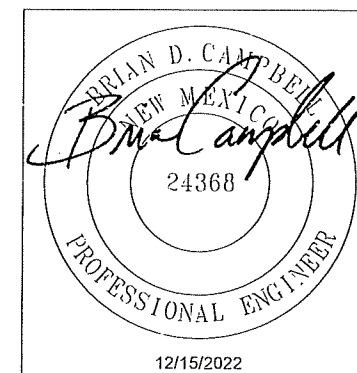


|  |            |                                    |         |
|--|------------|------------------------------------|---------|
| 0  | 12/15/2022 | For Construction                   |         |
| REV  | DATE       | DESCRIPTION                        |         |
|  |            |                                    |         |
| 1913 Hutchins Ave.      Ballinger, TX    76821<br>(800) 527-1087 |            |                                    |         |
| DRAWING DESCRIPTION:   |            |                                    |         |
| WALL ELEVATION AT GRID C   |            |                                    |         |
| CUSTOMER NAME:   |            | END USER:                          | SCALE   |
| Jim Arrowsmith   |            | Jim                                | 1:20    |
| SALES MAN:   |            | JOBSITE ADDRESS                    |         |
| Juan Gomez   |            | 3200 McDowell Las Cruces, NM 88005 |         |
| DETAILER:  | CHECKER:   | DATE:                              | JOB #   |
| NSS  | JDS        | 12/15/2022                         | 6521157 |
|  |            | DWG #                              | REV.    |
|  |            | E2                                 | 0       |



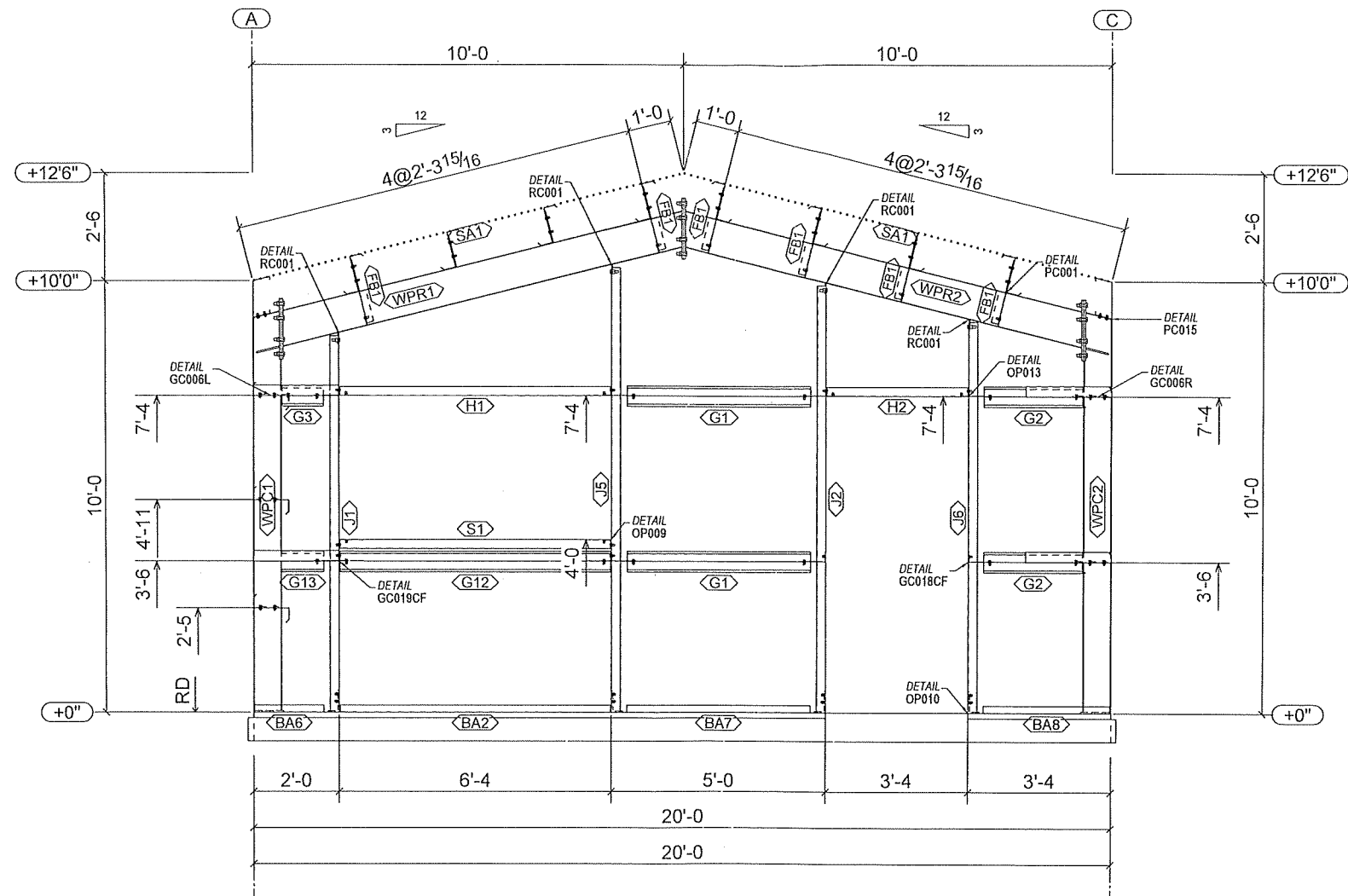
WALL ELEVATION AT GRID A

| Bill of Materials |      |           |        |             |
|-------------------|------|-----------|--------|-------------|
| Qty               | Mark | Profile   | Finish | Length      |
| 1                 | BA5  | L4X2x14GA | RO     | 29'-11 1/2" |
| 3                 | G11  | 10X35Z12  | RO     | 29'-3 7/16" |



| 0   | 12/15/2022      | For Construction                                       |
|---|-----------------|--|
| REV   | DATE            | DESCRIPTION  |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |                 |  |
| DRAWING DESCRIPTION:<br><b>WALL ELEVATION AT GRID A</b>   |                 |  |
| CUSTOMER NAME:<br>Jim Arrowsmith  |                 | END USER:<br>Jim                                       |
| SALESMAN:<br>Juan Gomez   |                 | JOBSITE ADDRESS:<br>3200 McDowell Las Cruces, NM 88005 |
| DETAILER:<br>NSS  | CHECKER:<br>JDZ | DATE:<br>12/15/2022                                    |
| JOB #:<br>6521157   |                 | DWG #:<br>E3   |
| REV. 0  |                 | SCALE:<br>1:20   |





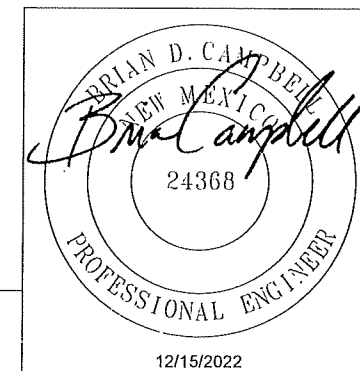
WALL ELEVATION AT GRID 1

THIS ENDWALL FRAME IS NOT EXPANDABLE

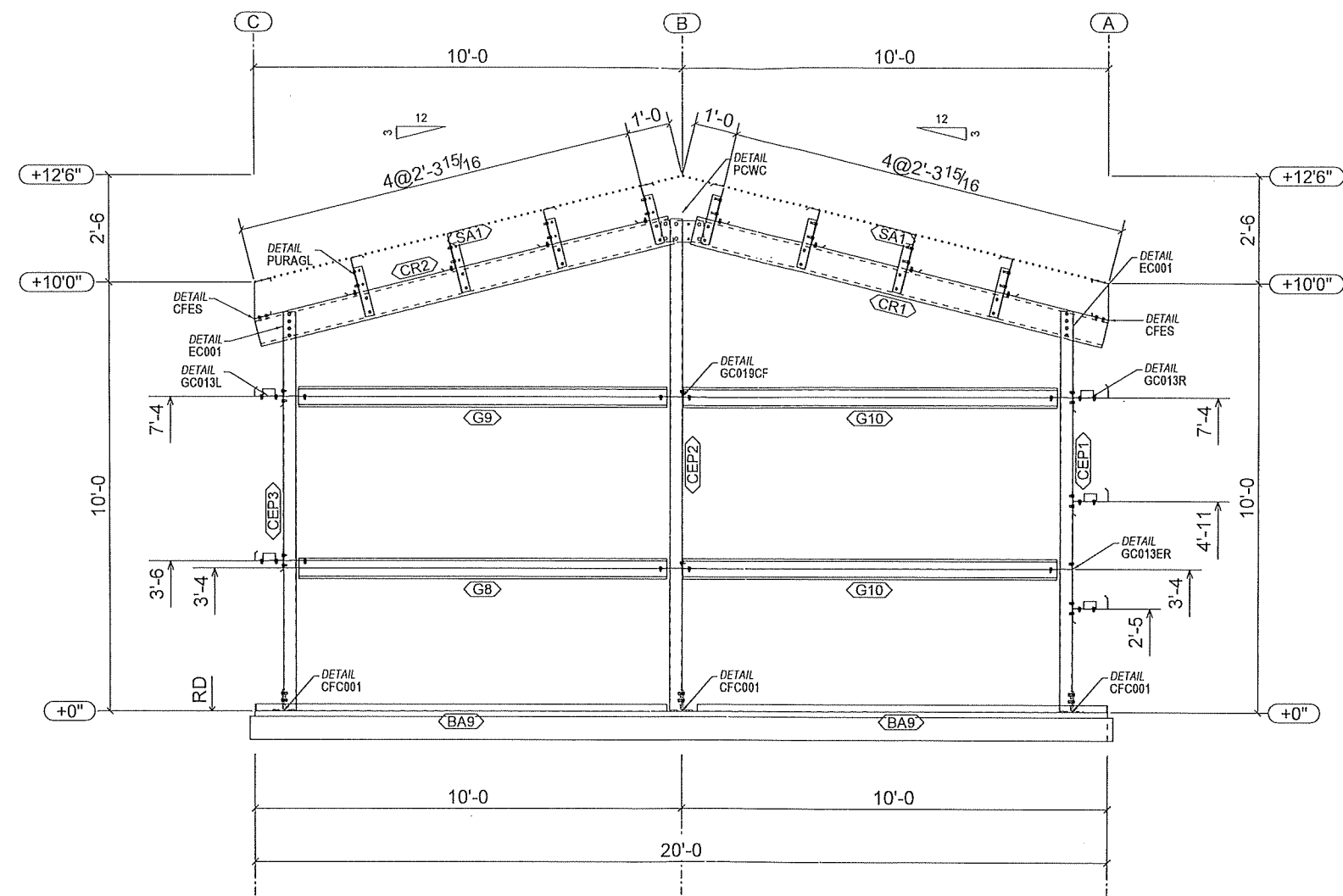
| Bill of Materials |      |           |        |              |
|-------------------|------|-----------|--------|--------------|
| Qty               | Mark | Profile   | Finish | Length       |
| 1                 | WPC1 | W8X10     | RO     |              |
| 1                 | WPC2 | W8X10     | RO     |              |
| 1                 | WPR1 | W10X12    | RO     |              |
| 1                 | WPR2 | W10X12    | RO     |              |
| 1                 | BA2  | L4X2X14GA | RO     | 6'-3 1/2"    |
| 1                 | BA6  | L4X2X14GA | RO     | 1'-7 1/2"    |
| 1                 | BA7  | L4X2X14GA | RO     | 4'-3 1/2"    |
| 1                 | BA8  | L4X2X14GA | RO     | 2'-11 1/2"   |
| 6                 | FB1  | 2X2L12    | RO     | 2'-7"        |
| 2                 | G1   | 8X25Z16   | RO     | 4'-3 3/8"    |
| 2                 | G2   | 8X25Z16   | RO     | 2'-3 9/16"   |
| 1                 | G3   | 8X25Z16   | RO     | 0'-11 9/16"  |
| 1                 | G12  | 8X25Z16   | RO     | 6'-3 1/2"    |
| 1                 | G13  | 8X25Z16   | RO     | 0'-11 13/16" |
| 1                 | H1   | 8X25C16   | RO     | 6'-3 1/2"    |
| 1                 | H2   | 8X25C16   | RO     | 3'-3 1/2"    |
| 1                 | J1   | 8X25C16   | RO     | 8'-8 5/8"    |
| 1                 | J2   | 8X25C16   | RO     | 9'-10 3/4"   |
| 1                 | J5   | 8X25C16   | RO     | 10'-3 3/4"   |
| 1                 | J6   | 8X25C16   | RO     | 9'-0 5/8"    |
| 1                 | S1   | 8X25C16   | RO     | 6'-3 1/2"    |

| Component Bolt Table |              |                  |       |
|----------------------|--------------|------------------|-------|
| Detail ID            | Bolted Parts | Bolt Description |       |
| RC001                | ↓ ↓          |                  |       |
|                      | WPR1 → J1    | 2 ~ 5/8" x 2"    | A325N |
|                      | WPR1 → J5    | 2 ~ 5/8" x 2"    | A325N |
|                      | WPR2 → J2    | 2 ~ 5/8" x 2"    | A325N |
|                      | WPR2 → J6    | 2 ~ 5/8" x 2"    | A325N |

ALL ENDWALL COLUMNS AND JAMBS ARE DESIGNED AS "POSTS" AS DEFINED BY OSHA AND ARE NOT INTENDED TO BE CLIMBED ON UNTIL FULLY BRACED.



| 0   | 12/15/2022 | For Construction                   |
|---|------------|------------------------------------|
| REV   | DATE       | DESCRIPTION                        |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |            |                                    |
| DRAWING DESCRIPTION:  |            | SCALE                              |
| WALL ELEVATION AT GRID 1  |            | 1:20                               |
| CUSTOMER NAME:  |            | END USER:                          |
| Jim Arrowsmith  |            | Jim                                |
| SALESMAN:   |            | JOB SITE ADDRESS                   |
| Juan Gomez  |            | 3200 McDowell Las Cruces, NM 88005 |
| DETAILER:   | CHECKER:   | DATE:                              |
| NSS   | JDZ        | 12/15/2022                         |
| JOB #   |            | DWG #                              |
| 6521157   |            | E4                                 |
| REV   |            | 0                                  |



WALL ELEVATION AT GRID 2

| Bill of Materials |      |           |        |              |
|-------------------|------|-----------|--------|--------------|
| Qty               | Mark | Profile   | Finish | Length       |
| 2                 | BA9  | L4X2X14GA | RO     | 9'-7 1/2"    |
| 1                 | CEP1 | 8X35C14   | RO     | 9'-4 3/16"   |
| 1                 | CEP2 | 8X35C14   | RO     | 11'-5 15/16" |
| 1                 | CEP3 | 8X35C14   | RO     | 9'-3 11/16"  |
| 1                 | CR1  | 8X35C14   | RO     | 9'-11 3/8"   |
| 1                 | CR2  | 8X35C14   | RO     | 9'-11 3/8"   |
| 1                 | G8   | 8X25Z16   | RO     | 8'-7 3/8"    |
| 1                 | G9   | 8X25Z16   | RO     | 8'-7 3/8"    |
| 2                 | G10  | 8X25Z16   | RO     | 8'-9 7/16"   |

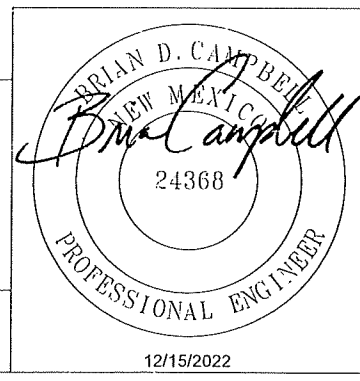
| Component Bolt Table |              |                         |
|----------------------|--------------|-------------------------|
| Detail ID            | Bolted Parts | Bolt Description        |
| CFC001               | ↓ ↓          |                         |
|                      | MC5 → CEP1   | 4 ~ 1/2" x 1 1/2" A325N |
|                      | MC5 → CEP2   | 4 ~ 1/2" x 1 1/2" A325N |
|                      | MC5 → CEP3   | 4 ~ 1/2" x 1 1/2" A325N |
| EC001                | ↓ ↓          |                         |
|                      | CR1 → 0      | 4 ~ 1/2" x 1 1/2" A325N |
|                      | CR2 → 0      | 4 ~ 1/2" x 1 1/2" A325N |
| PCWC                 | ↓ ↓          |                         |
|                      | CEP2 → MC14  | 2 ~ 1/2" x 1 1/2" A325N |
|                      | MC14 → CR1   | 2 ~ 1/2" x 1 1/2" A325N |
|                      | MC14 → CR2   | 2 ~ 1/2" x 1 1/2" A325N |

For help with Coldform  
Endwall installation of  
your building, please  
visit our website:



www.muellerinc.com/downloads/download-manuals

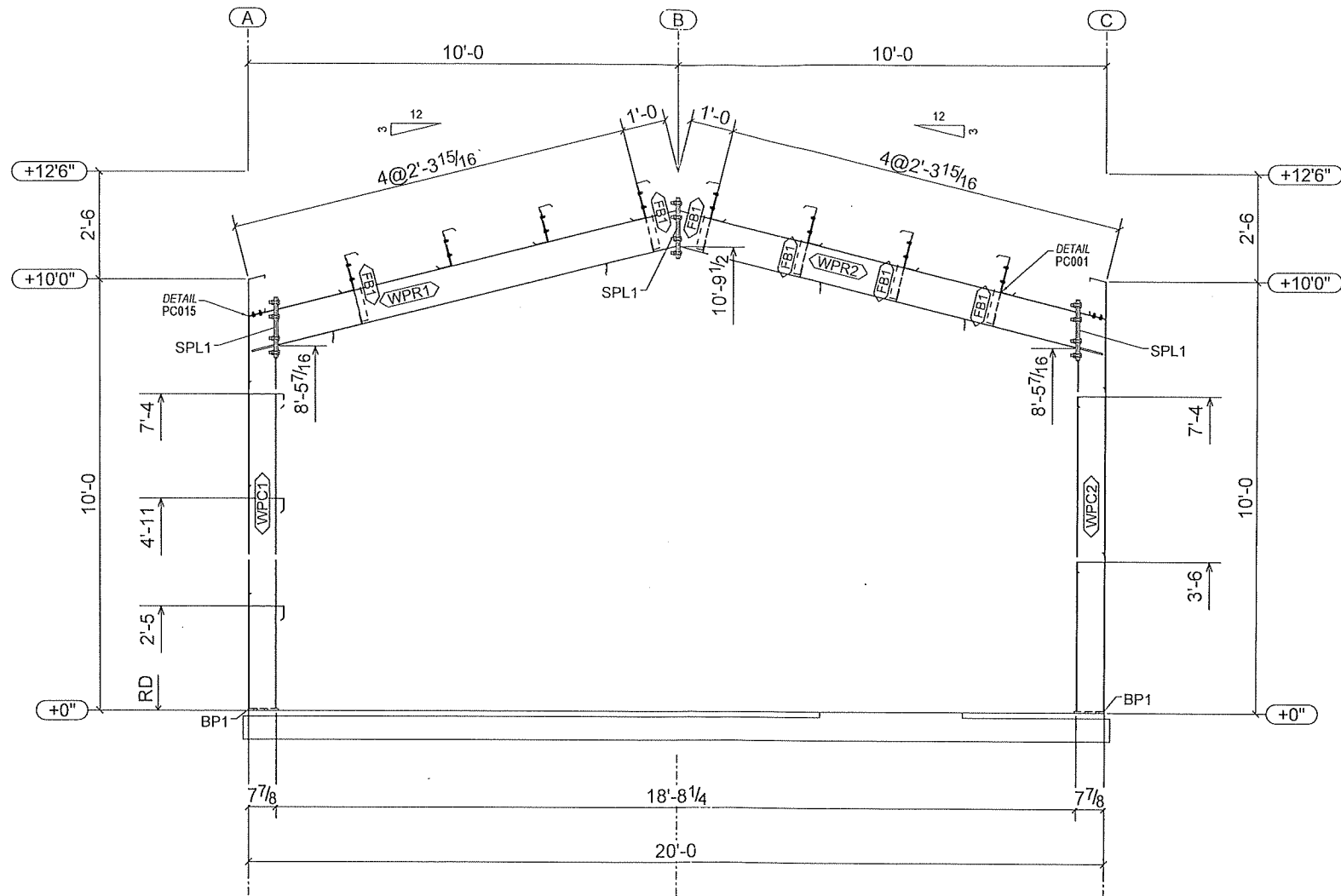
ALL ENDWALL COLUMNS AND JAMBS ARE DESIGNED AS "POSTS" AS DEFINED BY OSHA AND ARE NOT INTENDED TO BE CLIMBED ON UNTIL FULLY BRACED.



| 0   | 12/15/2022      | For Construction  |
|---|-----------------|---|
| REV   | DATE            | DESCRIPTION   |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |                 |   |
| DRAWING DESCRIPTION:<br>WALL ELEVATION AT GRID 2  |                 |   |
| CUSTOMER NAME:<br>Jim Arrowsmith  |                 | END USER:<br>Jim  |
| SALESMAN:<br>Juan Gomez   |                 | JOB SITE ADDRESS:<br>3200 McDowell Las Cruces, NM 88005 |
| DETAILER:<br>NSS  | CHECKER:<br>JDZ | DATE:<br>12/15/2022                                     |
|   | JOB #           | 6521157   |
|   | DWG #           | E5  |
|   | REV.            | 0   |





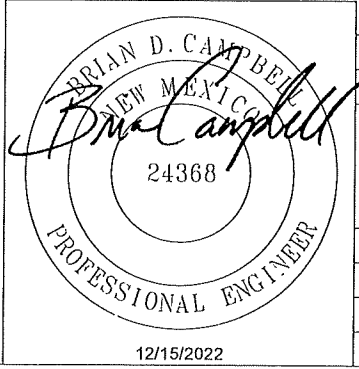


FRAME ELEVATION ON GRID 1

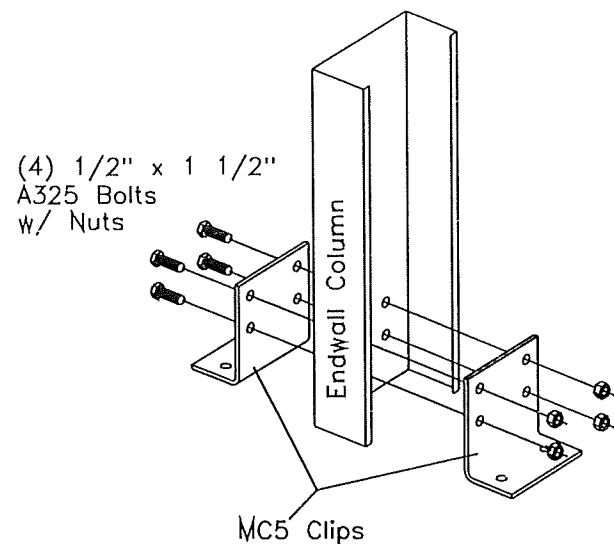
THIS ENDWALL FRAME IS NOT EXPANDABLE

| Bill of Materials |      |         |        |        |
|-------------------|------|---------|--------|--------|
| Qty               | Mark | Profile | Finish | Length |
| 1                 | WPC1 | W8X10   | RO     |        |
| 1                 | WPC2 | W8X10   | RO     |        |
| 1                 | WPR1 | W10X12  | RO     |        |
| 1                 | WPR2 | W10X12  | RO     |        |
| 6                 | FB1  | 2X2L12  | RO     | 2'-7"  |

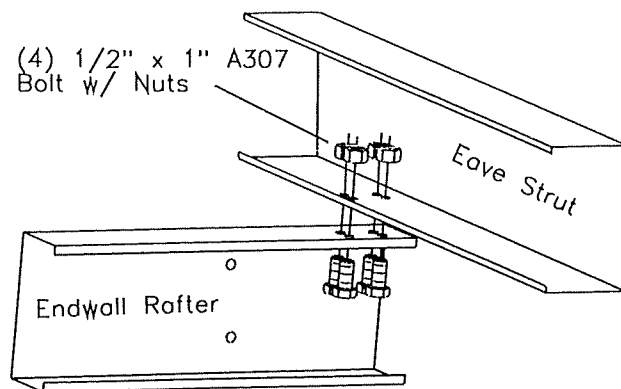
| Connection Plate and Bolt Table |                    |                         |
|---------------------------------|--------------------|-------------------------|
| Mark                            | Plate Profile      | Bolt Description        |
| BP1                             | PL1/2"X6" x 8 1/2" | REF. AB PLAN            |
| SPL1                            | PL1/2"X6" x 17"    | 8 ~ 3/4" x 2 1/2" A325N |
| SPL1                            | PL1/2"X6" x 17"    | 8 ~ 3/4" x 2 1/2" A325N |



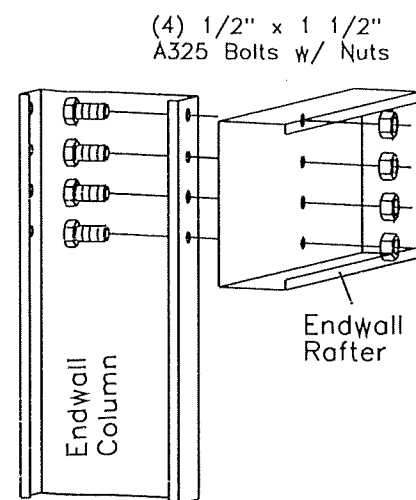
|   |                                 |                      |
|---|---------------------------------|----------------------|
| 0   | 12/15/2022                      | For Construction     |
| REV   | DATE                            | DESCRIPTION          |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |                                 |                      |
| DRAWING DESCRIPTION: FRAME ELEVATION ON GRID 1  |                                 |                      |
| CUSTOMER NAME: Jim Arrowsmith   | END USER: Jim                   | SCALE: 1:20          |
| SALESMAN: Juan Gomez  | JOB SITE ADDRESS: 3200 McDowell | Las Cruces, NM 88005 |
| DETAILER: NSS   | CHECKER: JDZ                    | DATE: 12/15/2022     |
| JOB #: 6521157  | DWG #: E6                       | REV: 0               |



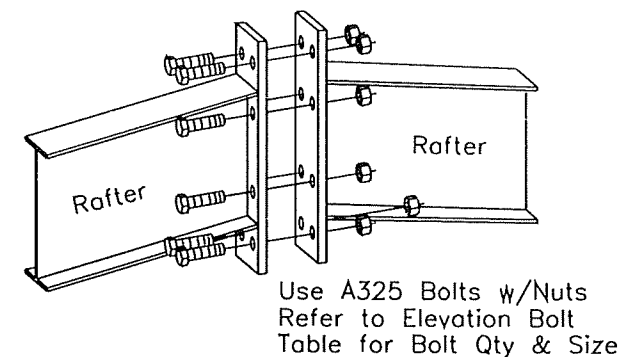
**CFC001** BASE CLIP FOR  
ENDWALL COLUMN



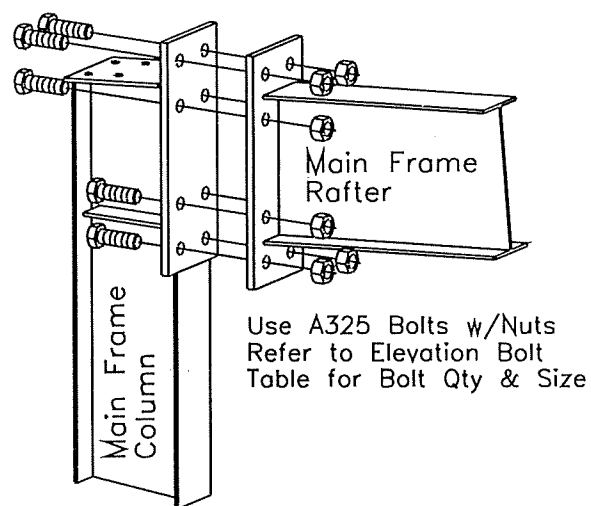
**CFES** EAVE STRUT TO  
ENDWALL RAFTER



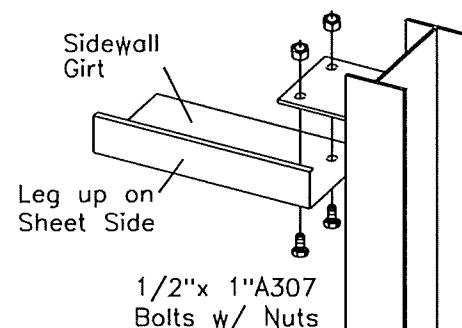
**EC001** COLDFORM ENDWALL RAFTER  
TO COLDFORM COLUMN



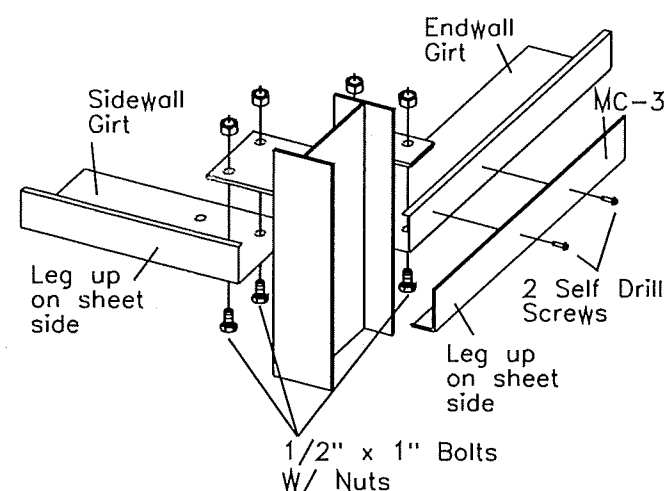
TYPICAL RAFTER SPLICE  
CONNECTION AT PEAK



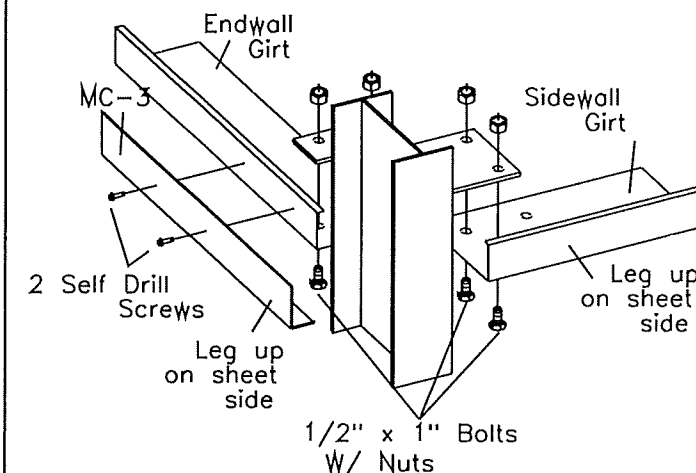
TYPICAL FLUSH COLUMN  
TO MAINFRAME RAFTER



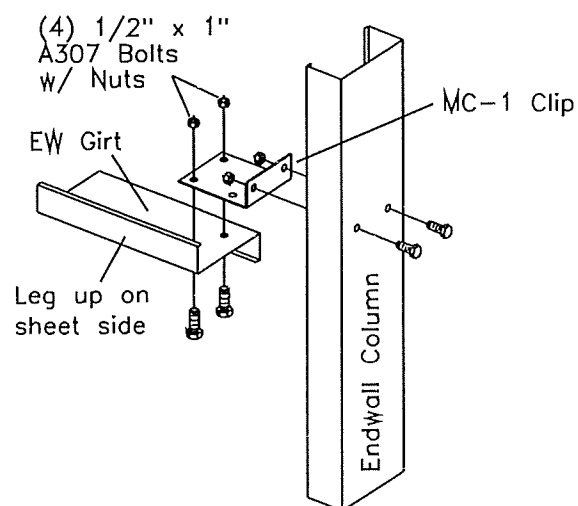
**GC003SL** CORNER COLUMN  
TO SIDEWALL GIRT



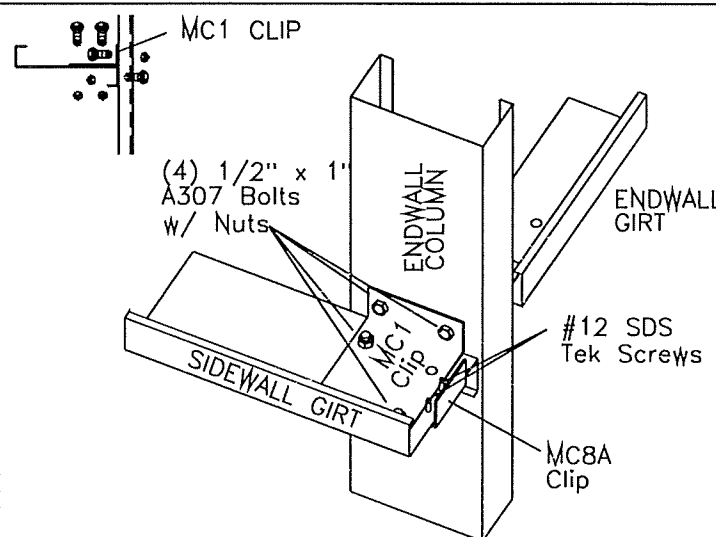
**GC006L** CORNER COLUMN  
TO WALL GIRTS



**GC006R** CORNER COLUMN  
TO WALL GIRTS

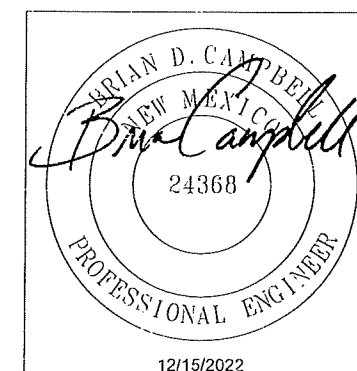


**GC013ER** CORNER COLUMN  
TO ENDWALL GIRT



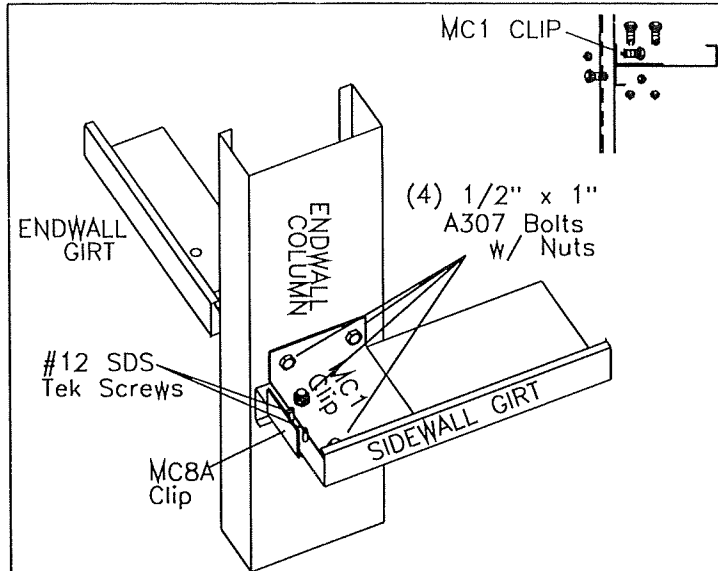
**GC013L** CORNER COLUMN  
TO WALL GIRTS

ALL A325 STRUCTURAL BOLT CONNECTIONS SHOWN  
IN THESE DETAILS HAVE STANDARD MINIMUM BOLT  
INFORMATION. FOR SPECIFIC BOLT QUANTITIES  
AND SIZES, REFER TO COMPONENT BOLT TABLES  
LOCATED ON FRAME AND WALL ELEVATION DWGS.

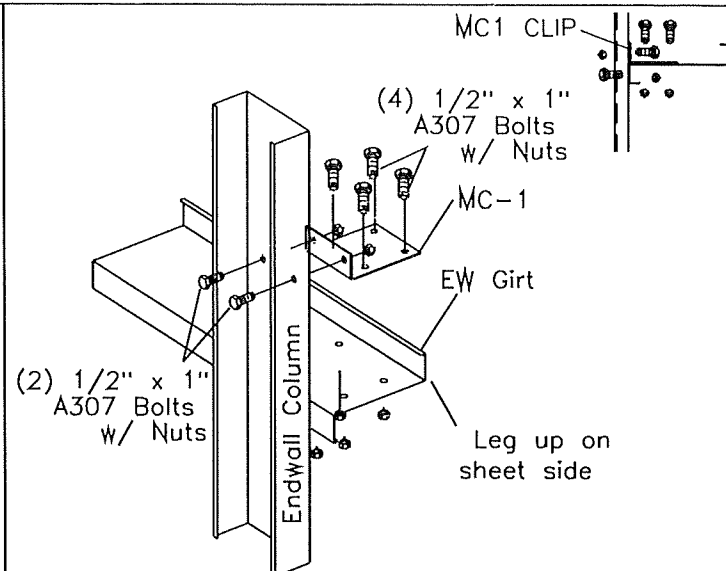


| 0   | 12/15/2022  | For Construction    |
|---|---|---------------------|
| REV   | DATE  | DESCRIPTION         |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |   |                     |
| DRAWING DESCRIPTION:<br>ERECTION DETAILS  |   |                     |
| CUSTOMER NAME:<br>Jim Arrowsmith  | END USER:<br>Jim  | SCALE<br>NONE       |
| SALESMAN:<br>Juan Gomez   | JOB SITE ADDRESS:<br>3200 McDowell Las Cruces, NM 88005 |                     |
| DETAILER:<br>NSS  | CHECKER:<br>JDZ   | DATE:<br>12/15/2022 |
|   | JOB #:<br>6521157                                       | DWG #:<br>E101      |
|   |   | REV:<br>0           |

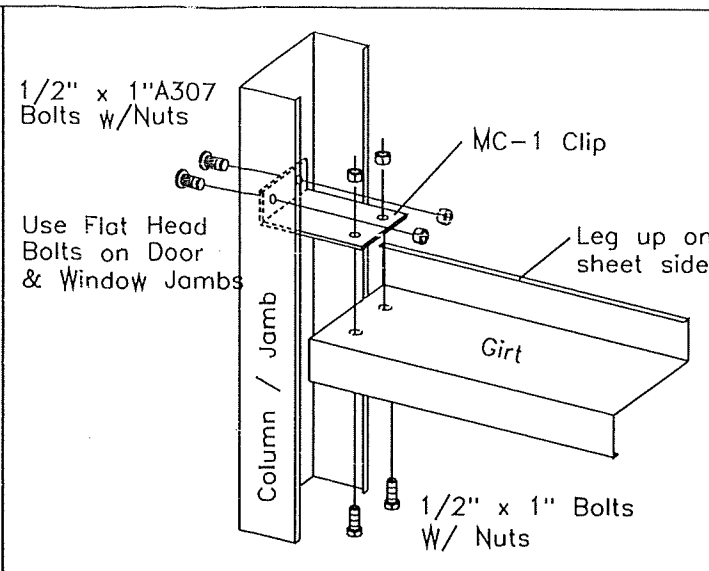




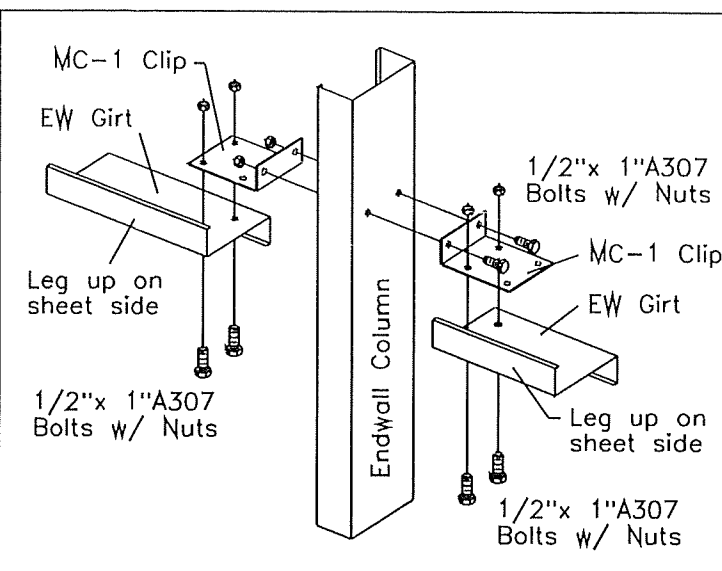
GC013R CORNER COLUMN TO WALL GIRTS



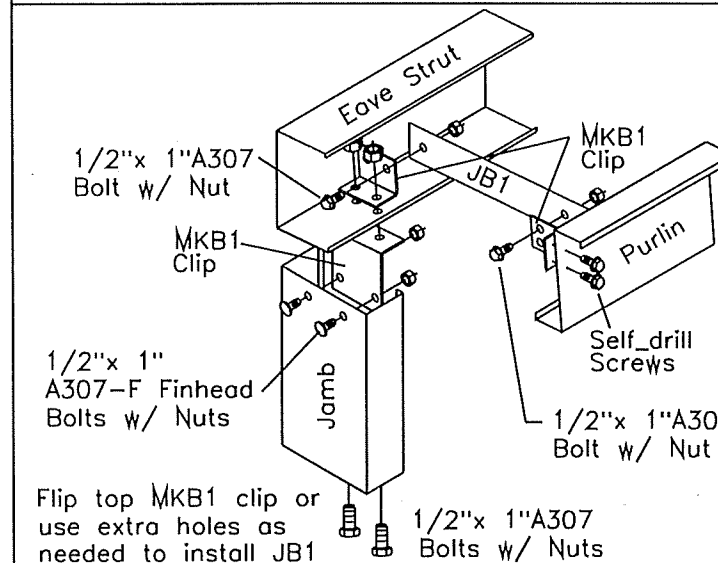
GC013SR CORNER COLUMN TO SIDEWALL GIRT



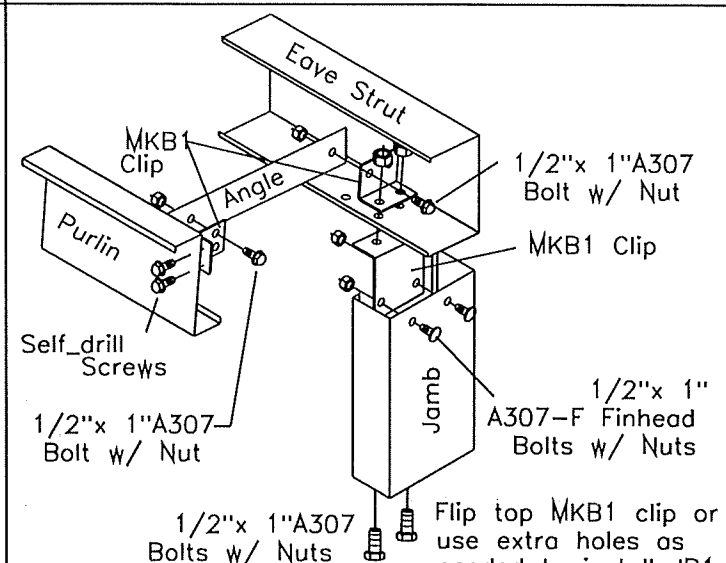
GC018CF JAMB / COLUMN TO WALL GIRT



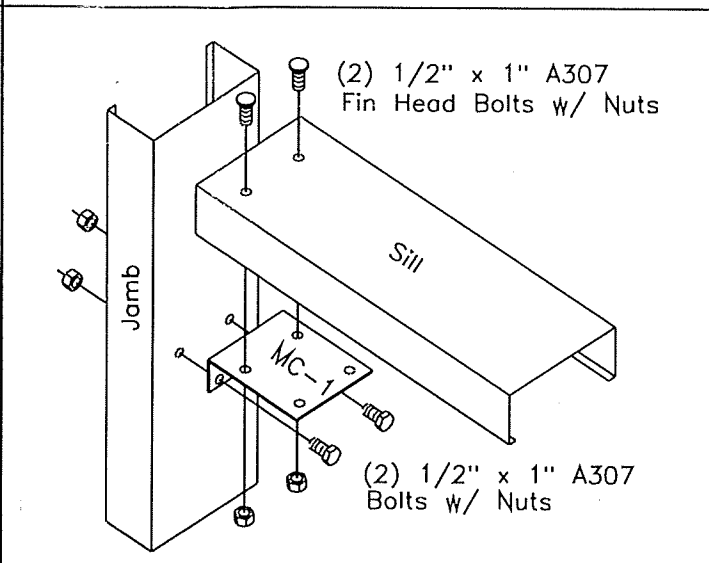
GC019CF INTERIOR ENDWALL COLUMN TO WALL GIRTS



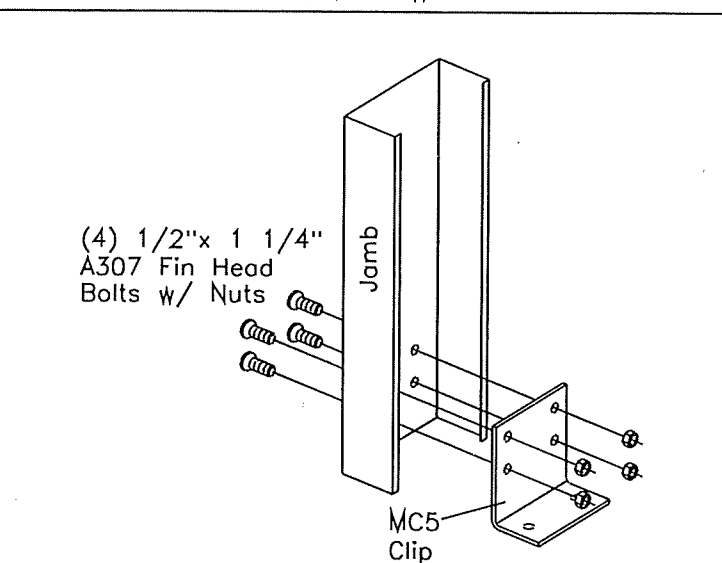
OP001L JAMB TO EAVE STRUT WITH ANGLE BRACE



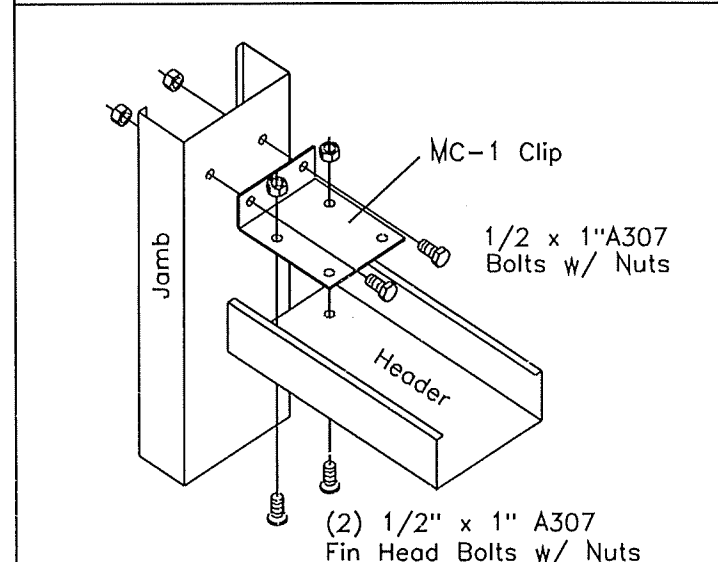
OP001R JAMB TO EAVE STRUT WITH ANGLE BRACE



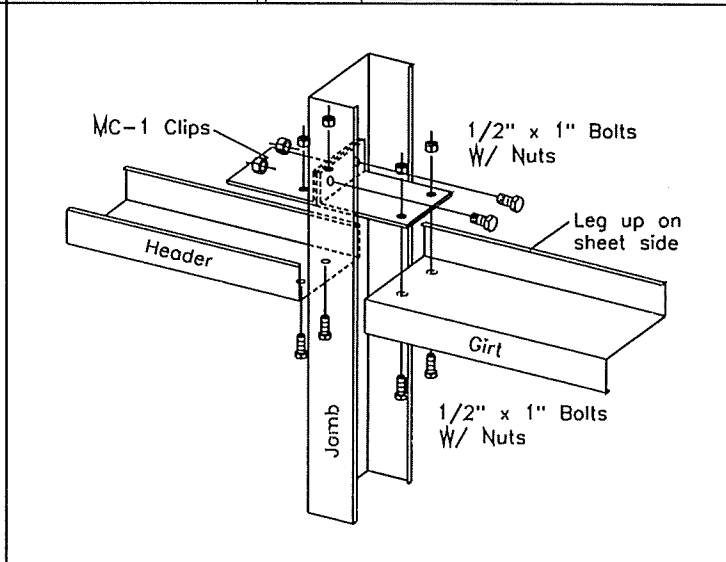
OP009 SILL TO JAMB



OP010 BASE TO JAMB

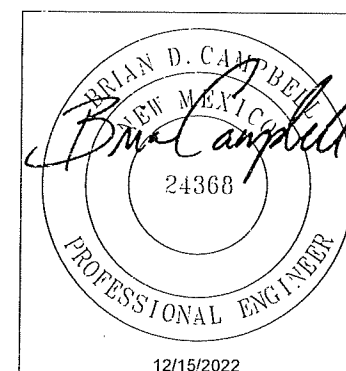


OP012 HEADER TO JAMB

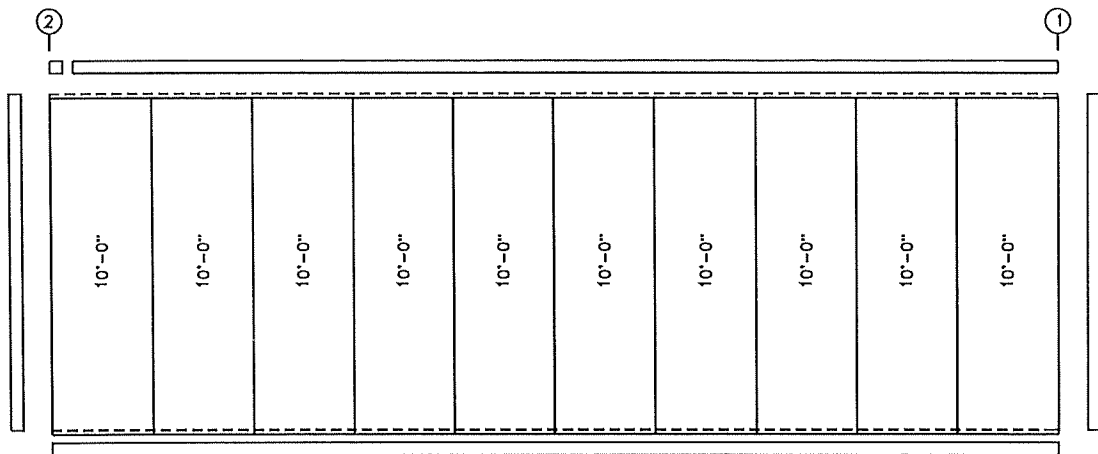


OP013 JAMB TO HEADER & JAMB TO WALL GIRT

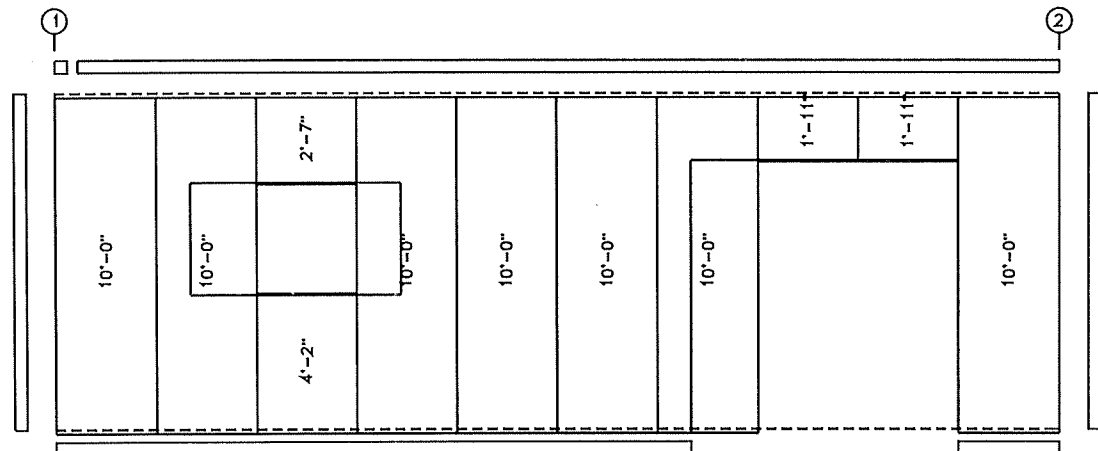
ALL A325 STRUCTURAL BOLT CONNECTIONS SHOWN IN THESE DETAILS HAVE STANDARD MINIMUM BOLT INFORMATION. FOR SPECIFIC BOLT QUANTITIES AND SIZES, REFER TO COMPONENT BOLT TABLES LOCATED ON FRAME AND WALL ELEVATION DWGS.



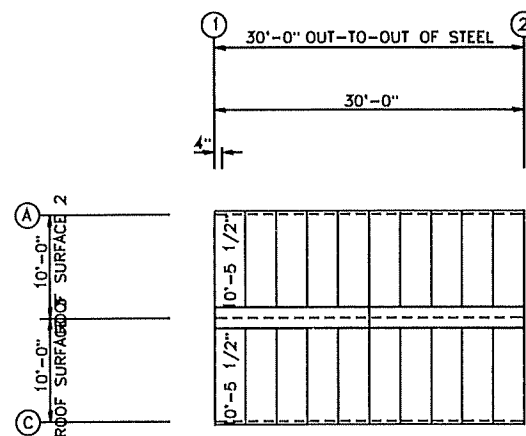
| 0   | 12/15/2022                         | For Construction |
|---|------------------------------------|------------------|
| REV   | DATE                               | DESCRIPTION      |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |                                    |                  |
| DRAWING DESCRIPTION: ERECTION DETAILS   |                                    |                  |
| CUSTOMER NAME:  | END USER:                          | SCALE:           |
| Jim Arrowsmith  | Jim                                | NONE             |
| SALESMAN:   | JOB SITE ADDRESS:                  |                  |
| Juan Gomez  | 3200 McDowell Las Cruces, NM 88005 |                  |
| DATE:   | JOB #                              | DWG #            |
| 12/15/2022  | 6521157                            | E102             |
| DETAILER: NSS   | CHECKER: JDZ                       | REV: 0           |



SIDEWALL SHEETING & TRIM: FRAME LINE A  
PANELS: 26 Ga. R - LST Lt Stone



SIDEWALL SHEETING & TRIM: FRAME LINE C  
PANELS: 26 Ga. R - LST Lt Stone



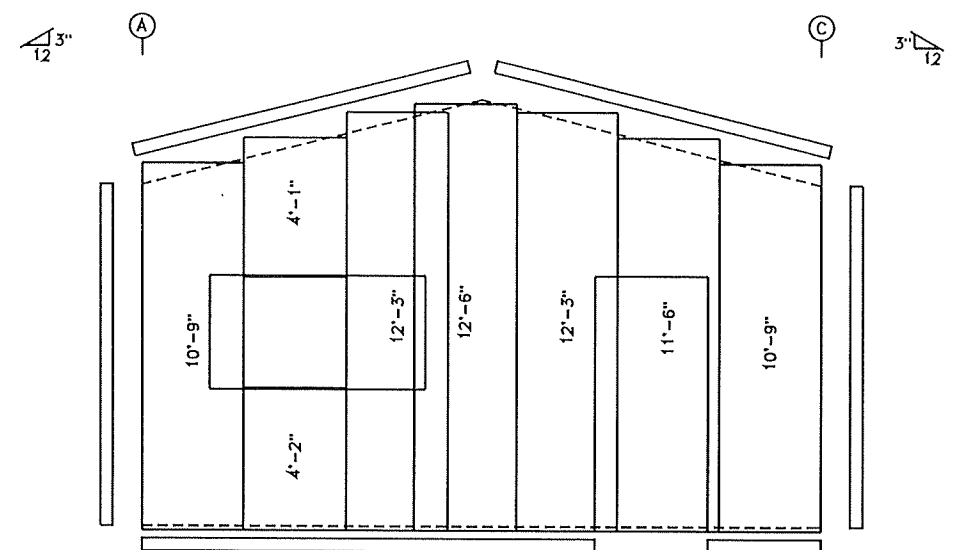
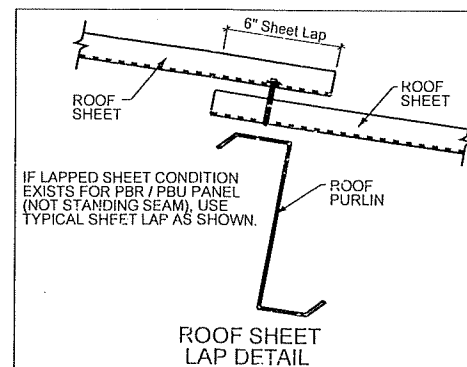
ROOF SHEETING PLAN  
PANELS: 26 Ga. PBR - COP Copper

GENERAL NOTES:

**\*\*CAUTION\*\***  
THE FOLLOWING MAXIMUM ADDITIONAL LINEAR FOOTAGE MEASURED (HORIZONTALLY) OF PANELS MAY BE REMOVED FOR FIELD LOCATED FRAMED OPENINGS WITHOUT AFFECTING THE DIAPHRAGM STRENGTH OF THE PANELS.

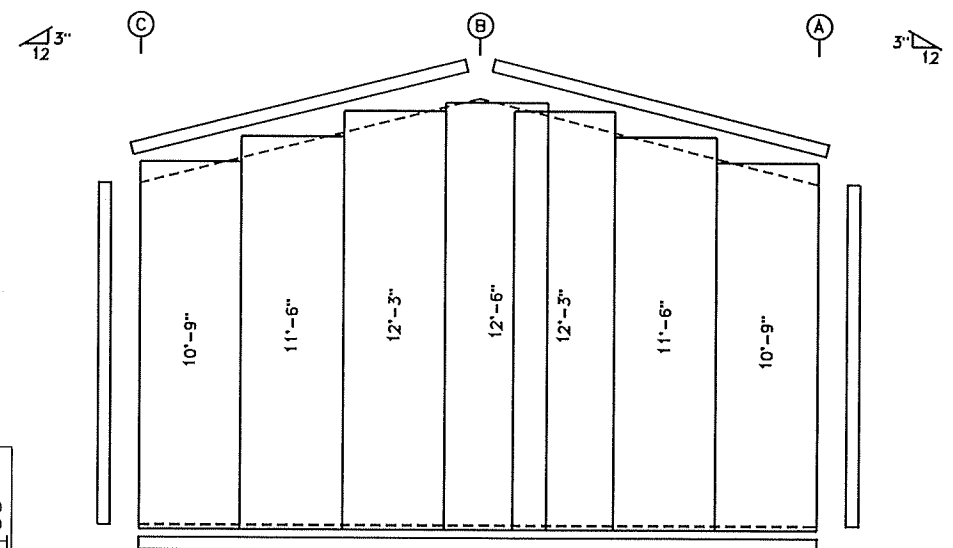
BACK SIDEWALL: 0  
FRONT SIDEWALL: 0  
RIGHT ENDWALL: 0

ROOF SLOPES GREATER THAN 1:12 REQUIRE ENDWALL PANELS BE FIELD CUT TO MATCH ROOF SLOPE.

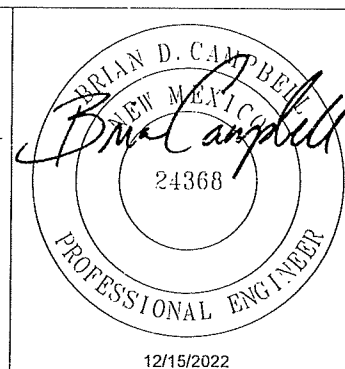


ENDWALL SHEETING & TRIM: FRAME LINE 1  
PANELS: 26 Ga. R - LST Lt Stone

**\*\*THIS ENDWALL FRAME IS NOT EXPANDABLE\*\***

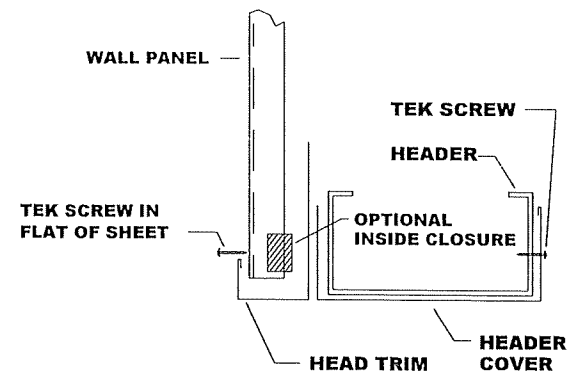


ENDWALL SHEETING & TRIM: FRAME LINE 2  
PANELS: 26 Ga. R - LST Lt Stone

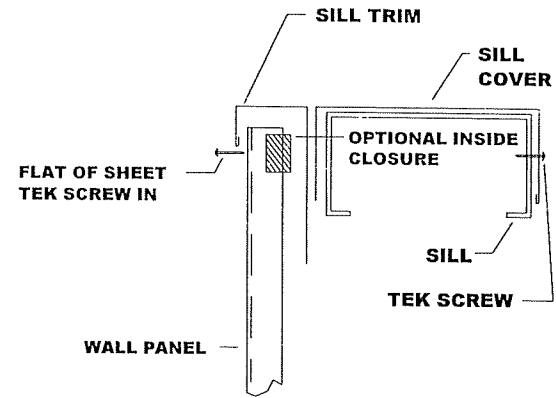


| 0   | 12/15/2022 | For Construction                   |
|---|------------|------------------------------------|
| REV   | DATE       | DESCRIPTION                        |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |            |                                    |
| DRAWING DESCRIPTION:  |            |                                    |
| SHEETING DETAILS  |            |                                    |
| CUSTOMER NAME:  |            | END USER:                          |
| Jim Arrowsmith  |            | Jim                                |
| SALESMAN:   |            | SCALE                              |
| Juan Gomez  |            | NONE                               |
| DETAILER:   |            | JOB SITE ADDRESS                   |
| HSS   |            | 3200 McDowell Las Cruces, NM 88005 |
| CHECKER:  | DATE:      | JOB #                              |
| JDZ   | 12/15/2022 | 6521157                            |
| DWG #   |            | REV.                               |
| S101  |            | 0                                  |

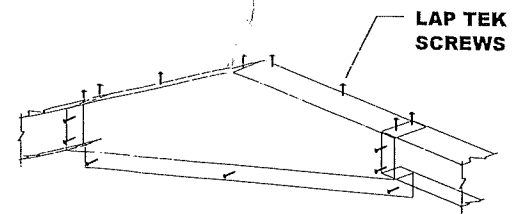




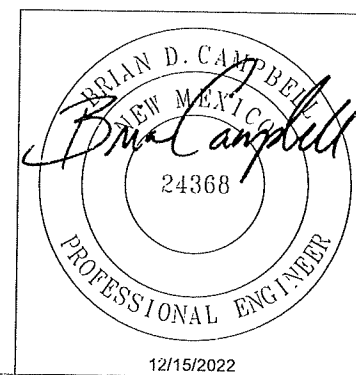
**Head Cover - Door**



**Sill Cover**



**Peak Box**



| 0   | 12/15/2022       | For Construction |
|---|------------------|------------------|
| REV   | DATE             | DESCRIPTION      |
| <b>MUELLER, INC.</b><br>STEEL BUILDING SYSTEMS & COMPONENTS<br>1913 Hutchins Ave. Ballinger, TX 76821<br>(800) 527-1087 |                  |                  |
| DRAWING DESCRIPTION:<br>TRIM DETAILS  |                  |                  |
| CUSTOMER NAME:<br>Jim Arrowsmith  |                  | END USER:<br>Jim |
| SALESMAN:<br>Juan Gomez   |                  | SCALE<br>NONE    |
| DETAILER:<br>NSS  | CHECKER:<br>JDZ  | JOB #<br>6521157 |
| DATE:<br>12/15/2022   | JOB #<br>6521157 | DWG #<br>T102    |
|   |                  | REV.<br>0        |

# Meeting Sign-In

Town of Mesilla PZHAC Meeting

Date: 2/21/2023

Facilitator: Town of Mesilla

Time: 1:30 PM

Place/Room: Mesilla Board Room

| Print Name            | Address or Organization | Email or Phone Number  |
|-----------------------|-------------------------|------------------------|
| 1. Daniel Bustamantes | 2590 Calle de Colon     | (575) 435-1549         |
| 2. <del>Melissa</del> | 2282 Calle de Oeste     | (575) 496-8041         |
| 3. Andrea Bryan       | 2557 Calle de Pomin     | 503.975.7436           |
| 4. Greg Lester        | "                       | 208.859.0592           |
| 5. Jim Arrowsmith     | 3200 McDowell           | arrows248@gmail.com    |
| 6. Tron Witter        | 3200 Estrada            | 575-650-8057           |
| 7. Susan Krueger      | Mesilla                 |                        |
| 8. Joe Foster         | 2691 Principac          | 850-502-9237           |
| 9. Paulina Olivas     | Solar Smart Living      | (915) 400-2995 ext 702 |
| 10. Charlene Albano   | 2134 Calle Principal    | 575 932 8313           |
| 11. Brenda Brown      |                         |                        |
| 12.                   |                         |                        |
| 13.                   |                         |                        |
| 14.                   |                         |                        |
| 15.                   |                         |                        |
| 16.                   |                         |                        |
| 17.                   |                         |                        |
| 18.                   |                         |                        |