



# Town of Mesilla, New Mexico

THE BOARD OF TRUSTEES (BOT) OF THE TOWN OF MESILLA WILL HOLD A REGULAR MEETING AT THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

MONDAY, FEBRUARY 27, 2023 – 6:00 PM

## AGENDA

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL & DETERMINATION OF A QUORUM
3. CHANGES TO THE AGENDA & APPROVAL
4. PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.
5. APPROVAL OF CONSENT AGENDA: (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk \*)
  - a) \*BOT MINUTES - Minutes of Regular Meeting, January 26, 2023  
Minutes of Regular Meeting, February 13, 2023
6. STAFF REPORTS
  - a) Colonias University Avenue – Bohannon Huston Amendment #1 for engineering services – Rod McGillivray
  - b) 21-G2841 Plaza Sidewalk Improvements recommendation to awarded project to A-Mountain Construction – Rod McGillivray
7. NEW BUSINESS
  - a) **PZHAC Case #061521** - 2592 Calle de Cura, submitted by Ralph Lucero to renovate by repairing stucco cracks and painting, same color to match existing one. Zone: **Historical Residential (HR)**
  - b) **PZHAC Case #061526** – 2810/2820 Calle Principal, submitted by Larry Limon to renovate windows/back door by removing, painting (same color), and reinstalling. No changes to structure or windows. Change color of trim from light brown to blue on a detached structure in order to match rest of trim on primary home. Replacing screen door request was redacted. Zones: **Historical Residential (HR)**
  - c) **Approval:** Colonias University Avenue – Bohannon Huston Amendment #1 for engineering services
  - d) **Approval:** 21-G2841 Plaza Sidewalk Improvements recommendation to awarded project to A-Mountain Construction
8. Old Business
  - a) **APPROVAL:** PZHAC Case #061518 – 2285 Avenida de Mesilla, submitted by Pedro Jurado for new Cingular Wireless PCS, LLC by Crown Castle USA Inc. for a minor modification for an antenna per sector (total of 3), and 3/50 AMP breakers for AIR B77D ground equipment as per plans for an existing carrier on an existing wireless communication facility. Zoned: Commercial (C)
9. BOARD OF TRUSTEE COMMITTEE REPORTS

**10. BOARD OF TRUSTEE/STAFF COMMENTS**

**11. ADJOURNMENT**

**NOTICE**

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least one week prior to the meeting. The Mayor and Trustees request that all cell phones be turned off or set to vibrate. Members of the audience are requested to step outside the Board Room to respond to or to conduct a phone conversation. A copy of the agenda packet can be found online at [www.mesillanm.gov](http://www.mesillanm.gov).

locations: Town Posted 02.23.2023 online and at the following Clerk's Office 2231 Avenida de Mesilla, Public Safety Building 2670 Calle de Parian, Mesilla Community Center 2251 Calle de Santiago, Shorty's Food Mart 2290 Avenida de Mesilla, Ristramn Chile Co., 2531 Avenida de Mesilla and the U.S. Post Office 2253 Calle de Parian.

Mayor Barraza, Trustee Johnson-Burick, Trustee Garcia, Trustee Cadena,  
and Trustee Merrick,

Thank you for allowing my comments to be read at the February 13, 2023,  
Board of Trustees meeting. I request these comments be included in the  
official record of this meeting.

My comments are regarding the P&Z meetings and the time of day they are  
held. Residents who work are unable to attend the meetings at 2:00 in the  
afternoon. Working individuals who wish to apply for the P&Z are required to  
take time away from work to not only be interviewed, but to attend  
meetings. This limits the number of individuals who wish to be involved in  
local government. Working residents who have pending permits must also  
take time off work to answer any questions. If they cannot attend, their  
application could be potentially be postponed or tabled until the next meeting  
2 weeks later, therefore delaying their permit.

I understand that at one time the P&Z did meet in the evening. Is it possible  
go back to that and make it more convenient for the residents?

Thank you,  
Andrea Bryan  
2557 Calle de Parian



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**BOARD OF TRUSTEES (BOT)**  
**TOWN OF MESILLA**  
**REGULAR MEETING**  
**THURSDAY, JANUARY 26, 2023 – 6:00 PM**  
**MINUTES**

**TRUSTEES:** Nora Barraza, Mayor  
Stephanie Johnson-Burick, Mayor Pro Tem  
Biviana Cadena, Trustee  
Veronica Garcia, Trustee (left at 7:33 p.m.)  
Adrianna Merrick, Trustee

**STAFF:** Rod McGillivray, Public Works Director  
Enrique Salas, Marshal  
Gloria Maya, Recorder  
Ben Azcarate, Lieutenant

**PUBLIC:** Jacquie Porter                      Andrea Bryan  
Greg Lester                                William McIlvaine  
Stephan McIlvaine                      Teresa Tudury  
Becky King                                Catherine Walkinshaw  
Trina Witter                                Andrew Embury  
Cecilia Quintana                        Pat Taylor  
Crystal Davis-Whited                    Greg Whited  
Mary H. Ratje                              Jasha Zapien

**1. PLEDGE OF ALLEGIANCE**

Mayor Barraza led the Pledge of Allegiance.

**2. ROLL CALL & DETERMINATION OF A QUORUM**

**Roll Call.**

**Present:** Mayor Barraza, Mayor Pro-Tem Johnson-Burick, Trustee Cadena, Trustee Garcia, Trustee Merrick.

**3. CHANGES TO THE AGENDA & APPROVAL**

**Motion: To approve agenda, Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee Garcia.**

**Roll Call Vote:** Motion passed (summary: Yes =4).

Mayor Pro Tem Johnson-Burick    Yes

Trustee Cadena                      Yes

1 Trustee Garcia Yes  
2 Trustee Merrick Yes  
3

4 **4. PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.**

5 Trustee Garcia stated she keeps the time for the mayor.

6  
7 Ms. Bryan see attached correspondence

8  
9 Ms. Witter requested a written copy of the PZHAC and BOT application process and requirements. Earth  
10 Builders was touring Mesilla looking at the buildings. Mr. Taylor is an amazing resource encourages the town  
11 to use him.

12  
13 Ms. Walkinshaw see attached correspondence from Ms. Telgard

14  
15 Mr. McIlvaine see attached correspondence

16  
17 Ms. McIlvaine see attached correspondence

18  
19 Ms. Tudury see attached correspondence

20  
21 **5. APPROVAL OF CONSENT AGENDA:** (The Board will be asked to approve by one motion  
22 the following items of recurring or routine business. The Consent Agenda is marked with an  
23 asterisk \*)

24 a) **\*BOT MINUTES** - Minutes of Regular Meeting, January 9, 2023 *Approved by consent*  
25 *agenda*

26 **Motion: To approve consent agenda, Moved by Trustee Merrick, Seconded by Mayor Pro Tem**  
27 **Johnson-Burick.**

28  
29 Trustee Garcia asked if voting can be done individually on the PZHAC appointments.

30  
31 Mayor Barraza responded it is not listed that way on the agenda; will leave as is.  
32

33 **Roll Call Vote:** Motion passed (summary: Yes =4).

34 Mayor Pro Tem Johnson-Burick Yes

35 Trustee Cadena Yes

36 Trustee Garcia Yes

37 Trustee Merrick Yes

38

39 **6. STAFF REPORTS**

40 a) Update Current Fire Code – Greg Whited  
41 Mr. Whited gave an update on the current Fire Code. See attached correspondence  
42

43 b) Bid Awards for the SCADA System and Calle de Cura Reconstruction projects – Rod  
44 McGillivray  
45 Mr. McGillivray stated the SCADA System was awarded to Alterman, Inc. and Calle de Cura  
46 Reconstruction was awarded to A-Mountain Construction. Project came in \$12,000 over budget which  
47 will be absorbed by his budget.

1  
2 Mayor Barraza stated PZHAC cases in the Historical Residential (HR), Historical Commercial (HC) and  
3 Commercial are the only cases that come to the Board of Trustees for approval.  
4

5 **NEW BUSINESS**

- 6 c) **Business Registration STR#1062** – 2214 Calle de Guadalupe Main House “A” submitted by  
7 Pat & Wendy Taylor – Short Term Rental. **Zoned: Historical Commercial (HC)**

8 Mayor Barraza stated Mr. Taylor will come for his license in March.  
9

10 **Motion: To approve Business Registration STR#1062 – 2214 Calle de Guadalupe Main House “A”**  
11 **submitted by Pat & Wendy Taylor – Short Term Rental. Zoned: Historical Commercial (HC), Moved**  
12 **by Trustee Garcia, Seconded by Mayor Pro Tem Johnson-Burick.**

13  
14 **Roll Call Vote:** Motion passed (summary: Yes =4).

15 Mayor Pro Tem Johnson-Burick Yes

16 Trustee Cadena Yes

17 Trustee Garcia Yes

18 Trustee Merrick Yes  
19

- 20 d) **PZHAC Case #061479** – 2600 Avenida de Mesilla, submitted by Gilbert Chavez for a sign  
21 permit. **Zoned: Historical Commercial (HC)**

22 **Motion: To approve PZHAC Case #061479 – 2600 Avenida de Mesilla, submitted by Gilbert Chavez for**  
23 **a sign permit. Zoned: Historical Commercial (HC), Moved by Trustee Garcia, Seconded by Trustee**  
24 **Merrick.**

25  
26 **Roll Call Vote:** Motion passed (summary: Yes =4).

27 Mayor Pro Tem Johnson-Burick Yes

28 Trustee Cadena Yes

29 Trustee Garcia Yes

30 Trustee Merrick Yes  
31

- 32 e) **PZHAC Case #061501** – 2600 Avenida de Mesilla, submitted by Gilbert Chavez to apply  
33 elastomeric coating to entire building. **Zoned: Historical Commercial (HC)**

34 **Motion: To approve PZHAC Case #061501 – 2600 Avenida de Mesilla, submitted by Gilbert Chavez to**  
35 **apply elastomeric coating to entire building. Zoned: Historical Commercial (HC), Moved by Trustee**  
36 **Garcia, Seconded by Trustee Merrick.**

37  
38 **Roll Call Vote:** Motion passed (summary: Yes =4).

39 Mayor Pro Tem Johnson-Burick Yes

40 Trustee Cadena Yes

41 Trustee Garcia Yes

42 Trustee Merrick Yes  
43

- 44 f) **PZHAC Case #061502** – 2116 & 2118 Calle De San Albino, submitted by Jade Bossert  
45 Trustee, to install a 6’ tall dog ear cedar fence and two 4’ wide dog ear cedar gates. **Zoned:**  
46 **Historical Residential (HR)**

47 Mayor Barraza stated the backyard extension is not part of Case #061502.  
48

49 **Motion: To approve PZHAC Case #061502 – 2116 & 2118 Calle de San Albino, submitted by Jade**  
50 **Bossert Trustee, to install a 6’ tall dog ear cedar fence and two 4’ wide dog ear cedar gates; *front gate***  
51 ***and fence only.* Zoned: Historical Residential (HR), Moved by Trustee Garcia, Seconded by Trustee**

1 **Merrick.**

2  
3 Trustee Garcia stated the Contractor number needs to be provided.

4  
5 Mayor Barraza responded the permit will not be issued until that information is provided.

6  
7 Mayor Pro Tem Johnson-Burick stated the divider between the two properties has already been added.

8  
9 Mayor Barraza responded she will send Codes to follow up.

10  
11 **Roll Call Vote:** Motion passed (summary: Yes =4).

12 Mayor Pro Tem Johnson-Burick Yes

13 Trustee Cadena Yes

14 Trustee Garcia Yes

15 Trustee Merrick Yes

16  
17 g) **PZHAC Case #061505** – 2840 Teresita, submitted by Jacquie Porter, to repair stucco, add  
18 color coat, trim paint, replace windows on back porch, and rain gutters under canals. **Zoned:**  
19 **Historical Residential (HR)**

20 **Motion: To approve PZHAC Case #061505 – 2840 Teresita, submitted by Jacquie Porter, to repair**  
21 **stucco, add color coat, trim paint, replace windows on back porch, and rain gutters under canals.**

22 **Zoned: Historical Residential (HR), Moved by Trustee Garcia, Seconded by Trustee Merrick.**

23  
24 Trustee Garcia asked if the rain gutters will direct the water on to their property.

25  
26 Mayor Barraza responded that is correct.

27  
28 **Roll Call Vote:** Motion passed (summary: Yes =4).

29 Mayor Pro Tem Johnson-Burick Yes

30 Trustee Cadena Yes

31 Trustee Garcia Yes

32 Trustee Merrick Yes

33  
34 h) **PZHAC Case #061509** – 2293 Calle de Santa Ana, submitted by Adam/Josephine Perez to  
35 reroof house. **Zoned: Historical Residential (HR)**

36 **Motion: To approve PZHAC Case #061509 – 2293 Calle de Santa Ana, submitted by Adam/Josephine**  
37 **Perez to reroof house. Zoned: Historical Residential (HR), Moved by Mayor Pro Tem Johnson-Burick,**  
38 **Seconded by Trustee Garcia.**

39  
40 **Roll Call Vote:** Motion passed (summary: Yes =4).

41 Mayor Pro Tem Johnson-Burick Yes

42 Trustee Cadena Yes

43 Trustee Garcia Yes

44 Trustee Merrick Yes

45  
46 i) **PZHAC Case #061510** – 2184 Calle de Arroyo, submitted by Cheryll Blevins to repair and  
47 repaint soffit and fascia on house. **Zoned: Historical Residential (HR)**

48 **Motion: To approve PZHAC Case #061510 – 2184 Calle de Arroyo, submitted by Cheryll Blevins to**  
49 **repair and repaint soffit and fascia on house. Zoned: Historical Residential (HR), Moved by Mayor Pro**  
50 **Tem Johnson-Burick, Seconded by Trustee Merrick.**

51  
52 **Roll Call Vote:** Motion passed (summary: Yes =4).

53 Mayor Pro Tem Johnson-Burick Yes

1 Trustee Cadena Yes  
2 Trustee Garcia Yes  
3 Trustee Merrick Yes  
4

5 **j) PZHAC Case #061511** – 2649 Calle Primera, submitted by Paul & Cheryll Blevins to repair  
6 and replace fascia and repaint trim and windows. **Zoned: Historical Residential (HR)**  
7 **Motion: To approve PZHAC Case #061511 – 2649 Calle Primera, submitted by Paul & Cheryll Blevins**  
8 **to repair and replace fascia and repaint trim and windows. Zoned: Historical Residential (HR), Moved**  
9 **by Trustee Merrick, Seconded by Trustee Garcia.**

10  
11 Trustee Garcia asked if the color would remain the same.  
12  
13 Mayor Barraza responded they will be matching the same color.  
14

15 **Roll Call Vote:** Motion passed (summary: Yes =4).  
16 Mayor Pro Tem Johnson-Burick Yes  
17 Trustee Cadena Yes  
18 Trustee Garcia Yes  
19 Trustee Merrick Yes  
20

21 **k) PZHAC Case #061512** – 2483 Calle de San Albino, submitted by Alicia Diaz to remove  
22 exterior concrete collar and cement plaster, replace damaged adobe, lime plaster and lower  
23 brick sidewalk. **Zoned: Historical Commercial (HC)**  
24 **Motion: To approve PZHAC Case #061512 – 2483 Calle de San Albino, submitted by Alicia Diaz to**  
25 **remove exterior concrete collar and cement plaster, replace damaged adobe, lime plaster and lower brick**  
26 **sidewalk. Zoned: Historical Commercial (HC), Moved by Trustee Merrick, Seconded by Trustee Garcia.**

27  
28 **Roll Call Vote:** Motion passed (summary: Yes =4).  
29 Mayor Pro Tem Johnson-Burick Yes  
30 Trustee Cadena Yes  
31 Trustee Garcia Yes  
32 Trustee Merrick Yes  
33

34 **l) PZHAC Case #061513** – 2261 Calle de Santiago, submitted by Dorothy Barclay to patch roof  
35 parapet and touch up paint. **Zoned: Historical Residential (HR)**  
36 **Motion: To approve PZHAC Case #061513 – 2261 Calle de Santiago, submitted by Dorothy Barclay to**  
37 **patch roof parapet and touch up paint. Zoned: Historical Residential (HR), Moved by Mayor Pro Tem**  
38 **Johnson-Burick, Seconded by Trustee Merrick.**

39  
40 **Roll Call Vote:** Motion passed (summary: Yes =4).  
41 Mayor Pro Tem Johnson-Burick Yes  
42 Trustee Cadena Yes  
43 Trustee Garcia Yes  
44 Trustee Merrick Yes  
45

46 **m) PZHAC Case #061514** – 2865 Teresita, submitted by Shirley Hitson to paint exterior walls of  
47 the house. **Zoned: Historical Residential (HR)**  
48 **Motion: To approve PZHAC Case #061514 – 2865 Teresita, submitted by Shirley Hitson to paint**  
49 **exterior walls of the house. Zoned: Historical Residential (HR), Moved by Trustee Merrick, Seconded**  
50 **by Trustee Garcia.**

51



1 **Roll Call Vote:** Motion passed (**summary:** Yes =4).  
2 Mayor Pro Tem Johnson-Burick Yes  
3 Trustee Cadena Yes  
4 Trustee Garcia Yes  
5 Trustee Merrick Yes  
6

7 n) **PZHAC Case #061515** – 2316 Calle de Colon, submitted by Steve Martinez to enclose garage,  
8 install doors, construct no-load bearing wall/stucco. **Zoned: Historical Residential (HR)**  
9 **Motion: To approve PZHAC Case #061515 – 2316 Calle de Colon, submitted by Steve Martinez to**  
10 **enclose garage, install doors, construct no-load bearing wall/stucco. Zoned: Historical Residential**  
11 **(HR), Moved by Trustee Merrick, Seconded by Trustee Garcia.**  
12

13 **Roll Call Vote:** Motion passed (**summary:** Yes =4).  
14 Mayor Pro Tem Johnson-Burick Yes  
15 Trustee Cadena Yes  
16 Trustee Garcia Yes  
17 Trustee Merrick Yes  
18

19 o) **For Approval:** Mayor Pro-Tem Election  
20 Trustee Garcia nominated Trustee Merrick as Mayor Pro Tem.  
21

22 **Motion: To approve nomination of Trustee Merrick for Mayor Pro Tem, Moved by Trustee Garcia,**  
23 **Seconded by Mayor Pro Tem Johnson-Burick.**  
24

25 **Roll Call Vote:** Motion passed (**summary:** Yes =4).  
26 Mayor Pro Tem Johnson-Burick Yes  
27 Trustee Cadena Yes  
28 Trustee Garcia Yes  
29 Trustee Merrick Yes  
30

31 p) **For Approval:** PZHAC Commissioners Appointment

32 Mayor Barraza: we did get seven letters of interest in the P&Z position. We do have three open positions  
33 on the P&Z at the time. We did extend them for a month due to the fact the Board of Trustees did not have  
34 a meeting at the end of December due to some of the staff having COVID, I was out sick and we were not  
35 able to proceed but we needed to clear all the cases. As you heard we had a lot of cases to move forth. So,  
36 the Planning and Zoning will serve until January 31<sup>st</sup>. We did have seven applicants, Trustee Merrick and  
37 myself visited with six of these applicants or letters of interest. One was a no show that's why we did not  
38 talk to that person. We did have a form; we were consistent in asking the same questions. We used the  
39 same form in asking all the applicants the same questions. We were very consistent on that. Based on the  
40 way the ordinance is written, the mayor makes a recommendation to the Board of Trustees for appointments.  
41 And Trustee Merrick and myself after talking to the candidates we did come up with three appointments.  
42 At this time, I will present those three to the Board of Trustees. We will have a motion, a second, just like  
43 we do everything else. So at this time the three that are being recommended are David Rockstraw, Davie  
44 Salas and Yolanda Lucero. So those were the three top people we spoke to. So, I stand...need a motion  
45 before we have a discussion.  
46

47 **Motion: To approve PZHAC Commissioners Appointment, Moved by Mayor Pro Tem Merrick,**  
48 Mayor Pro Tem Merrick: I do have some comments. We ....  
49

50 Mayor Barraza: you will have to wait. **Seconded by Trustee Johnson-Burick.**  
51

52 Mayor Barraza: we are open for discussion.

1  
2 Mayor Pro Tem Merrick: we did go through all these applications very diligently, there was a lot of back and  
3 forth. There was a lot of discussion. And as I talk to the mayor these are the people that I that had the most  
4 experience but I did encourage her to contact the other applicants to continue being a part of any other  
5 committees we may have so they can gain the knowledge and the experience. That way we have, we do have  
6 elections every two years, she would like to see them continue to be a part of the community, to learn more and  
7 have that experience with us.

8  
9 Mayor Barraza: thank you Mayor Pro Tem Merrick.

10  
11 Trustee Johnson-Burick: I thought Commissioner Lucero was wanting to get off after all these years.

12  
13 Mayor Barraza: she had thought of that, I guess she had received some calls encouraging her. That was a  
14 discussion item we had.

15  
16 Trustee Johnson-Burick: oh, so I'm just like ok.

17  
18 Trustee Garcia: I have a question. So, Mayor Pro Tem and the mayor you both agreed to these three.

19  
20 Mayor Barraza: yes.

21  
22 Trustee Garcia: I'm gonna let the cat out of the bag, I know they were asking about the mayor's sister she's  
23 on there. I'm gonna let it out so everybody will know. Yes, it is her sister on it. It was the mayor and  
24 Mayor Pro Tem Merrick on the board, as you heard they both agreed to it. We are supported with the board,  
25 with one another so it wasn't just the mayor recommend it, but she had support from another Board of  
26 Trustees. So, I just letting that know, being aware of it. So, because I see you guys shaking your heads.

27  
28 Mayor Barraza: she is my sister. That was a discussion we did have. About nepotism, this is a non-paid  
29 position, so it is not considered nepotism. She is not an employee of the town. And that's in our ordinance  
30 book, if they are employees and I would supervise, it would be nepotism.

31  
32 Mayor Barraza: Gloria, oh I'm sorry. Trustee Cadena

33  
34 Trustee Cadena: I did understand from Ms. Lucero that she was kind of tired of it. So, I'm just surprised that  
35 she put her hat back in. And I just really feel like there is a lot of reason to put experience people in but the  
36 only way to gain experience and the only way to get new blood into the system is to pick up other people. Can  
37 you tell me how long Mr. Salas has been now?

38  
39 Mayor Barraza: this is his second term.

40  
41 Trustee Cadena: this is only his second term?

42  
43 Trustee Garcia: it is his third.

44  
45 Mayor Barraza: it would be his third. Thank you, Trustee Garcia.

46  
47 Trustee Cadena: this is his third, starting his third consecutive term. I know there is a learning curve to all of  
48 these positions more complicated than they seem. So, okay I think it is important that we have a lot of  
49 transparency about the way this is done. Cause the ordinances could be cleaned up a little bit because it was  
50 vague for everybody and when people don't hear that, I mean, I'm glad to hear, mayor, you know that I called  
51 you about interviewing everybody that applied. Cause we wanted to ensure that that was done. She is happy  
52 to hear that.

53  
54 Mayor Barraza: Thank you, Trustee Cadena.

1  
2 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

3 Mayor Pro Tem Johnson-Burick Yes

4 Trustee Cadena Yes

5 Trustee Garcia Yes

6 Trustee Merrick Yes

7  
8 Mayor Barraza: Thank you, Mayor Pro Tem Merrick for taking that full day from your schedule to sit down  
9 with me to do these, visit with these applicants. And I sincerely agree with you that we have Lodger's Tax  
10 Committee that we're going to be appointing here soon, so we can include these other applicants or letters of  
11 interest in those and we can see what other committees are coming up so we can most definitely start involving  
12 community members to get involved. Thank you  
13

14 **q) For Approval:** Resolution 2023-03 Adoption of the 2021 International Fire Code

15 **Motion: To approve Resolution 2023-03 Adoption of the 2021 International Fire Code, Moved by**  
16 **Trustee Garcia, Seconded by Mayor Pro Tem Merrick.**

17  
18 Mayor Barraza asked if there are deadlines to comply with if Resolution 2023-03 is approved.

19  
20 Fire Marshal Whited responded the deadlines would be up to him. He will work with the businesses.

21  
22 Mayor Barraza asked if Short-Term Rentals need to follow the same fire codes.

23  
24 Fire Marshal responded yes as they are considered a business. All dwellings should have alarms and carbon  
25 monoxide systems. Bars and restaurants will be required to have sprinkler systems.

26  
27 Trustee Garcia asked how businesses will be notified.

28  
29 Fire Marshal responded he will send out notifications as well as visiting the business.

30  
31 Trustee Garcia recommended meeting with the Experience Mesilla committee. Now she understands why he  
32 was pushing for sprinklers.

33  
34 Fire Marshal Whited stated this will be coming forth by the state. We have \$1,000 left in the grant for smoke  
35 alarms. Residents can call the station requesting a smoke alarm.

36  
37 Mayor Barraza recommended posting the information at the normal places. Information can also be added to  
38 the business renewal application. Numbers are available for the residents to post their house addresses on their  
39 dwelling.

40  
41 Trustee Johnson-Burick stated historical buildings that may not have vigas will have an issue adding sprinkler  
42 systems.

43  
44 Fire Marshal Whited gave example of what is needed if a dwelling does not have a sprinkler system. This is  
45 our way of preserving the town.

46  
47 Trustee Cadena stated she feels it is an advantage to the town if he takes control of the situation before the  
48 state. Asked what happens if we do not adopt a timeline.

49  
50 Fire Marshal Whited responded we have control on fire safety in the Town of Mesilla. If not adopted the ISO  
51 will go up. CID will ask about sprinkler systems when submitting a permit. He is available to answer  
52 questions.

53  
54 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

1 Mayor Pro Tem Johnson-Burick Yes  
2 Trustee Cadena Yes  
3 Trustee Garcia Yes  
4 Trustee Merrick Yes  
5

6 **r) For Approval:** SCADA System Project Award - Alterman, Inc.

7 **Motion: To approve SCADA System Project Award – Alterman, Inc, Moved by Trustee Johnson-**  
8 **Burick, Seconded by Mayor Pro Tem Merrick.**

9  
10 Trustee Cadena asked what is causing the shortage.

11  
12 Mr. McGillivray responded the original request was \$140,000; and received \$100,000. Project needed to be  
13 scaled back without additional funding.

14  
15 Mayor Barraza stated this is for \$72,900.

16  
17 Mr. McGillivray stated \$72,900 plus \$13,500 for engineering, \$13,600 for construction and administration; not  
18 including GRT. This will allow us to monitor the tank from here.

19  
20 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

21 Mayor Pro Tem Johnson-Burick Yes  
22 Trustee Cadena Yes  
23 Trustee Garcia Yes  
24 Trustee Merrick Yes  
25

26 **s) For Approval:** Calle de Cura Reconstruction Project Award - A-Mountain

27 **Motion: To approve Calle de Cura Reconstruction Project Award – A-Mountain, Moved by Trustee**  
28 **Johnson-Burick, Seconded by Mayor Pro Tem Merrick.**

29  
30 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

31 Mayor Pro Tem Johnson-Burick Yes  
32 Trustee Cadena Yes  
33 Trustee Garcia Yes  
34 Trustee Merrick Yes  
35

## 36 7. EXECUTIVE SESSION

37 **a)** Discussion concerning attorney/client privilege matters pertaining to threatened or pending  
38 litigation in which the public body is or may become a participant pursuant to NMSA 1978, Section  
39 10-15-1(H)(7)

40 **Motion: To approve entering Executive Session – discussion concerning attorney/client privilege matters**  
41 **pertaining to threatened or pending litigation in which the public body is or may become a participant**  
42 **pursuant to NMSA 1978, Section 10-15-1(H)(7), Moved by Trustee Johnson-Burick, Seconded by Mayor**  
43 **Pro Tem Merrick.**

44  
45 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

46 Mayor Pro Tem Johnson-Burick Yes  
47 Trustee Cadena Yes  
48 Trustee Garcia Yes  
49 Trustee Merrick Yes  
50

51 Entered Executive Session at 7:11 p.m.

52  
53 **Motion: To approve enter Regular Meeting after limited discussion concerning attorney/client privilege**

1 **matters pertaining to threatened or pending litigation in which the public body is or may become a**  
2 **participant pursuant to NMSA 1978, Section 10-15-1(H)(7) – no action taken, Moved by Trustee**  
3 **Johnson-Burick, Seconded by Mayor Pro Tem Merrick.**

4  
5 **Roll Call Vote:** Motion passed (summary: Yes =4).

6 Mayor Pro Tem Johnson-Burick Yes

7 Trustee Cadena Yes

8 Trustee Garcia Yes

9 Trustee Merrick Yes

10  
11 Entered Regular Meeting at 7:33 p.m.

12  
13 **8. BOARD OF TRUSTEE COMMITTEE REPORTS**

14 Trustee Johnson-Burick: MPO meeting January 11<sup>th</sup>; next meeting Wednesday, February 8<sup>th</sup>

15  
16 Mayor Pro Tem Merrick: MPO meeting January 11<sup>th</sup>; next meeting Wednesday, February 8<sup>th</sup>

17  
18 Mayor Barraza: MPO meeting, STRD meeting. Thanked Acting Fire Chief Evans, Fire Marshal Whited, Ms.  
19 Davis-Whited, Mr. Embry and Mr. Klebansky for all they are doing to keep the department running smoothly.

20  
21 **9. BOARD OF TRUSTEE/STAFF COMMENTS**

22 Trustee Cadena stated she always welcome the Public Input.

23  
24 Mayor Pro Tem Merrick stated we are looking at PZHAC Administrative Approvals. Thanked the Department  
25 Heads for their input on the ICIP. Thanked Mr. Taylor for his expertise. Her door is always open if anyone  
26 has questions.

27  
28 Trustee Johnson-Burick thanked everyone for their thoughts on the loss of her loved one.

29  
30 Mayor Barraza thanked Trustee Johnson-Burick for serving as Mayor Pro Tem. We will look into the Earth  
31 Builders Built. We have the resources in the Town of Mesilla, i.e., Mr. Taylor, Mr. Limon and Mr. Leifeld.  
32 We received the correspondence from Ms. Telgard. This case cannot be discussed at this time since it is going  
33 through the PZHAC process. Ordinance is clear on the roles of the town staff and PZHAC of what can be by  
34 Administrative Approval. She met with NMDOT regarding the University Ave. project which will begin in  
35 2023-2024. This project, when first brought forward was at \$4 million, it is now at \$20 million. Ms. Bush is  
36 working on the weekends finishing up certain projects. Fire Chief, Town Clerk/Treasurer, Public Works  
37 Maintenance and Administrative Clerk are the positions that are open. Interviewing for the Administrative  
38 Clerk next Friday. Staff, trustees, and she will be in Santa Fe from Monday through Wednesday speaking to  
39 legislators looking at getting some of our projects funded and on February 17<sup>th</sup> which is Municipal Day.  
40 Interviews will be set up for the Fire Chief and Town Clerk positions. The Codes Enforcement Officer is  
41 addressing the sign situation. Read ordinance We will be looking at modifying the Sandwich Signs as well  
42 as other ordinances. Thanked everyone for all their hard work.

43  
44 **10. ADJOURNMENT**

45 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-4).**

46  
47 **MEETING ADJOURNED AT 8:03 P.M.**

48  
49 **APPROVED THIS 27<sup>th</sup> DAY OF FEBRUARY, 2023.**

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**Nora L. Barraza**  
**Mayor**

**ATTEST:**

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**Town Clerk/Treasurer**

DRAFT



# Town of Mesilla, New Mexico

## BOARD OF TRUSTEES (BOT)

### TOWN OF MESILLA

### REGULAR MEETING

MONDAY, FEBRUARY 13, 2023 – 6:00 PM

### MINUTES

#### TRUSTEES:

Nora Barraza, Mayor  
Adrianna Merrick, Mayor Pro Tem  
Biviana Cadena, Trustee  
Veronica Garcia, Trustee  
Stephanie Johnson-Burick, Trustee

#### STAFF:

Rod McGillivray, Public Works Director  
Enrique Salas, Marshal  
Gloria Maya, Recorder

#### PUBLIC:

Richard Moreno	Ruben Quintana
Crystal Davis-Whited	Greg Whited
Mary F Lucero	Greg Lester
Andrea Bryan	Kathy Telgard
William McIlvaine	Stephan McIlvaine
Joe Foster	Jill Kerr
Trina Witter	Pat Taylor
Mary H. Ratje	Jasha Zapien
Susan Krueger	Lori Miller
Guillermo Acosta	Stewart & Karena Oberman
Andy Embury	

#### 1. PLEDGE OF ALLEGIANCE

Mayor Barraza led the Pledge of Allegiance.

#### 2. ROLL CALL & DETERMINATION OF A QUORUM

##### Roll Call.

**Present:** Mayor Barraza, Mayor Pro-Tem Merrick, Trustee Cadena, Trustee Garcia, Trustee Johnson-Burick.

#### 3. CHANGES TO THE AGENDA & APPROVAL

Trustee Cadena requested placing item n, from the last Board of Trustees meeting, on the agenda for reconsideration per rules and procedures that were adopted by the board.

Mayor Barraza responded the item under Old Business for discussion only; no action to be taken. She has conferred with the Attorney General's office and the New Mexico Municipal League attorney and was advised that appointments are not to be brought back.

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Trustee Garcia asked if we got attorney’s opinion.

Mayor Barraza responded yes.

Trustee Garcia stated there is not a letter in the packet.

Mayor Barraza responded that is correct; call was made from my phone.

Trustee Garcia stated she wants to make a motion to adjourn due to information not being in the packet.

**Motion: To adjourn meeting, Moved by Trustee Garcia, Seconded by Trustee Cadena.**

**Roll Call Vote:** Motion failed (summary: Yes =2; No=3).

- Mayor Pro Tem Merrick No
- Trustee Cadena Yes
- Trustee Garcia Yes
- Trustee Merrick No
- Mayor Barraza No

Trustee Garcia requested removing the minutes of January 23<sup>rd</sup> as she requested the minutes be verbatim.

Mayor Barraza responded action will be taken under the consent agenda.

**Motion: To approve agenda, Moved by Trustee Johnson-Burick, Seconded by Mayor Pro Tem Merrick.**

**Roll Call Vote:** Motion passed (summary: Yes =3; No=2).

- Mayor Pro Tem Merrick Yes
- Trustee Cadena No
- Trustee Garcia No
- Trustee Johnson-Burick Yes

**4. PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.**

Mayor Barraza stated due to the size of the group, there will be a 2 minute limit and Public Input will be allowed for 30 minutes.

Ms. Krueger invited everyone to read the minutes regarding Mr. John Paul Taylor who served this town with adversary and persistence.

Ms. Bryan read correspondence

Ms. Wittern stated as she reviewed the minutes she found no record of Board of Trustee’s PZHAC appointment approvals from 2018-2022 except for Mr. Walkinshaw, Mr. Jones and Mr. Salas. She found where Ms. Lucero was appointed in 2012 and appointments are made every two years. After carefully reviewing the minutes, she did not find where Ms. Lucero was recommended and approved for reappointment. She has a problem with that; is the town not following their ordinances. This gives a perception of a conflict of interest. Mr. Salas also was not reappointed when term was over. Understands it is difficult to fill the positions and made the recommendation of changing the code to expand the number to seven commissioners.



1  
2 Mr. Taylor stated family is very important and encourages everyone to have an open mind and open heart. Be  
3 kind to each other so we can move forward.

4  
5 Ms. Lucero stated she was happy to see that the board approved the most qualified persons for the PZHAC.  
6 Family and what is best for the town is most important. If you are no happy here, feel free to leave. Those of  
7 us that are from Mesilla will remain here. We will continue to make our town safe and honorable. Do not let  
8 your political ties influence your decisions on what is important to the town and its residents.

9  
10 Ms. Ratje stated we welcome all people to Mesilla. We have wonderful new residents that love and care about  
11 our town which it has always been. The Taylor family was not born here. Our parents loved the cultural, the  
12 community and were accepted. We cannot consider people outsiders; we can't keep them out of Mesilla.  
13 They want to set roots here; let's let them have their say.

14  
15 Ms. Duffy stated there was discussion regarding changing the PZHAC meeting time. She has not seen it on  
16 the agenda as Mayor Barraza stated it would be.

17  
18 Mr. Foster stated he has been working with PZHAC. He has been treated with respect and the commission has  
19 always worked to meet his needs.

20  
21 Mayor Barraza held a Moment of Silence for Mr. Taylor.

22  
23 **5. APPROVAL OF CONSENT AGENDA:** (The Board will be asked to approve by one motion  
24 the following items of recurring or routine business. The Consent Agenda is marked with an  
25 asterisk \*)

26 **a) \*BOT MINUTES - Minutes of Regular Meeting, January 23, 2023**

27 Mayor Barraza stated Trustee Garcia requested that a portion of the minutes be verbatim. The minutes had  
28 already been done when the request came in. The board can choose to table the minutes.

29  
30 **Motion: To approve agenda as amended, Moved by Trustee Garcia, Seconded by Mayor Pro Tem**  
31 **Merrick.**

32  
33 **Roll Call Vote:** Motion passed (summary: Yes =4).

34 Mayor Pro Tem Johnson-Burick Yes

35 Trustee Cadena Yes

36 Trustee Garcia Yes

37 Trustee Merrick Yes

38  
39 Trustee Garcia corrected Ms. Maya that it is four yes; the mayor cannot vote.

40  
41 Mayor Barraza stated the roll call is four yes.

42  
43 **6. EXECUTIVE SESSION**

44 **a) Discussion of limited personnel matters pursuant to NMSA 1978, Section 10-15-1(H)(2) –**  
45 **Finance and Public Works Departments**

46 **Motion: To enter Executive Session: discussion of limited personnel matters pursuant to NMSA 1978,**  
47 **Section 10-15-(H)(2) – Finance and Public Works Departments, Moved by Trustee Johnson-Burick,**  
48 **Seconded by Trustee Garcia.**

1  
2 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

3 Mayor Pro Tem Johnson-Burick Yes

4 Trustee Cadena Yes

5 Trustee Garcia Yes

6 Trustee Merrick Yes

7  
8 **Entered Executive Session at 6:27 p.m.**

9  
10 **Motion: To enter Regular Meeting: discussion of limited personnel matters pursuant to NMSA 1978,**  
11 **Section 10-15-(H)(2) – Finance and Public Works Departments – no action taken, Moved by Trustee**  
12 **Johnson-Burick, Seconded by Trustee Garcia.**

13  
14 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

15 Mayor Pro Tem Johnson-Burick Yes

16 Trustee Cadena Yes

17 Trustee Garcia Yes

18 Trustee Merrick Yes

19  
20 **Entered Regular Meeting at 6:47 p.m.**

21  
22 **7. STAFF REPORTS**

23 a) Colonias Infrastructure Loan/Grant Agreement – Rod McGillivray

24 Mr. McGillivray gave an update on the Colonias Infrastructure Loan/Grant Agreement.

25 b) 2023 TPF-LP10037 Calle de Santiago Match Waiver Program - Rod McGillivray

26 Mr. McGillivray stated the town was not successful in getting the match waiver of \$23,432.00 for 202-  
27 TPF-LP10037 project. The monies will be taken from the Enterprise Fund.

28  
29  
30 **8. NEW BUSINESS**

31 a) **PZHAC Case #061518** – 2285 Avenida de Mesilla, submitted by Pedro Jurado to add an  
32 antenna per sector (total of 3), and 3/50 AMP breakers for AIR 6449 B77D ground equipment  
33 as per plans for an existing carrier on an existing wireless communication facility. **Zoned:**  
34 **Commercial (C)**

35 **Motion: To approve PZHAC Case #061518 – 2285 Avenida de Mesilla, submitted by Pedro Jurado to**  
36 **add an antenna per sector (total of 3), and 3/50 AMP breakers for AIR 6449 B77D ground equipment as**  
37 **per plans for an existing carrier on an existing wireless communication facility, Moved by Mayor Pro**  
38 **Tem Merrick, Seconded by Trustee Johnson-Burick.**

39  
40 Trustee Cadena asked if anyone was present to discuss the case.

41  
42 Mayor Barraza responded no one is present.

43  
44 Trustee Cadena stated she read the report but would like it explained in layman's terms.

45  
46 Mayor Barraza stated Mr. Maese did look at all the documentation and indicated it was all in place. This is an  
47 application for upgrading one of the towers. PZHAC wanted to ensure that everything was in compliance.

48  
49 Mayor Pro Tem Merrick stated there is not a Board Action Form in the packet, asked what the roll call vote  
50 was.

51  
52 Mayor Barraza responded it was left out. The roll call was 5-0 in favor.

1  
2 Trustee Garcia asked if the residents are going to be notified of the work.  
3  
4 Mayor Barraza responded she is not aware of that. Read the ordinances  
5  
6 Trustee Cadena stated we need to be assured things are in compliance. Feels someone should be present to  
7 answer questions.  
8

9 Mayor Barraza asked what the information is the board is looking for.

10  
11 Trustee Cadena stated if she had more time to look at the agenda so she would be able to come up with the  
12 questions.

13  
14 Mayor Barraza asked the Board of Trustees to submit their questions by Friday, February 17<sup>th</sup>, so she can  
15 forward them to the applicant.

16  
17 **Amended Motion: To table PZHAC Case #061518 – 2285 Avenida de Mesilla, submitted by Pedro**  
18 **Jurado to add an antenna per sector (total of 3), and 3/50 AMP breakers for AIR 6449 B77D ground**  
19 **equipment as per plans for an existing carrier on an existing wireless communication facility until more**  
20 **information is provided. BOT is to provide mayor the information being requested by Friday, February**  
21 **17th, Moved by Mayor Pro Tem Merrick, Seconded by Trustee Johnson-Burick.**

22  
23 **Amended Roll Call Vote:** Motion passed (summary: Yes =4).

24 Mayor Pro Tem Merrick Yes

25 Trustee Cadena Yes

26 Trustee Garcia Yes

27 Trustee Johnson-Burick Yes

28  
29  
30 **b) Approval: Colonias Infrastructure Loan/Grant Agreement**  
31 **Motion: To approve Colonias Infrastructure Loan/Grant Agreement, Moved by Mayor Pro Tem**  
32 **Merrick, Seconded by Trustee Johnson-Burick.**

33  
34 Trustee Garcia asked about an expiration date.

35  
36 Mr. McGillivray responded believes we have two years.

37  
38 Trustee Garcia asked Mr. McGillivray to provide that information at the next meeting.

39  
40 **Roll Call Vote:** Motion passed (summary: Yes =4).

41 Mayor Pro Tem Johnson-Burick Yes

42 Trustee Cadena Yes

43 Trustee Garcia Yes

44 Trustee Merrick Yes

45  
46 **c) Approval: Appointment of Town Clerk/Treasurer**

47 Mayor Barraza recommended the appointment of Ms. Maya as Town Clerk/Treasurer; starting salary is  
48 \$57,000.00

49  
50 **Motion: To approve the appointment of Town Clerk/Treasurer, Moved by Trustee Garcia, Seconded by**  
51 **Trustee Merrick.**

52  
53 **Roll Call Vote:** Motion passed (summary: Yes =4).

54 Mayor Pro Tem Johnson-Burick Yes

1 Trustee Cadena Yes  
2 Trustee Garcia Yes  
3 Trustee Merrick Yes  
4

5 **d) Approval:** Hire of Administrative File Clerk

6 Mayor Barraza recommended Ms. Briana Gomez as Administrative File Clerk; starting salary is \$15.00  
7 an hour.  
8

9 **Motion: To approve hiring of Administrative File Clerk, Moved by Mayor Pro Tem Merrick, Seconded**  
10 **by Trustee Garcia.**

11  
12 **Roll Call Vote:** Motion passed (summary: Yes =4).

13 Mayor Pro Tem Johnson-Burick Yes

14 Trustee Cadena Yes

15 Trustee Garcia Yes

16 Trustee Merrick Yes  
17

18 **e) Approval:** Hire of Maintenance Grounds/Facility Worker

19 Mayor Barraza recommended Mr. Christopher Garcia as Maintenance Grounds/Facility Worker; starting  
20 salary is \$13.00 an hour.  
21

22 **Motion: To approve hiring of Maintenance Grounds/Facility Worker, Moved by Mayor Pro Tem**  
23 **Merrick, Seconded by Trustee Garcia.**

24  
25 **Roll Call Vote:** Motion passed (summary: Yes =4).

26 Mayor Pro Tem Johnson-Burick Yes

27 Trustee Cadena Yes

28 Trustee Garcia Yes

29 Trustee Merrick Yes  
30

31 **9. Old Business**

32 **a) Discussion: PZHAC Commissioners Appointments**

33 Trustee Cadena stated she understands that in the past each appointee was voted on separately.  
34

35 Mayor Barraza responded she believes that the last appointments were voted together.  
36

37 Trustee Cadena stated these are important volunteer positions and need to be voted on separately; change the  
38 ordinance if needed. A position with high responsibility for the town. She also did not see any criteria,  
39 experience needed for these positions. There are all of attributes that can be helpful. Everyone has to start  
40 somewhere. There needs to be transparency, fairness and continuity so people can get familiar with the  
41 ordinances. We need new and fresh people that are willing to be open minded. Recommended looking at  
42 length of terms, vote separately, having alternates giving more versatility.  
43

44 Trustee Garcia stated the interview committee should include a trustee and a resident. The statement made is  
45 we recommended the most qualified; existing members would have the most experience. The ordinance does  
46 need to be worked on. The mayor only votes when there is a tie; the PZHAC chairperson should vote when  
47 there is a tie as well. PZHAC should be paid. She asked for a re-vote because what's right is right; what's  
48 wrong is wrong that's why she asked for the District Attorney's letter; she wants to see it in writing. She does  
49 not want to hear "she said, he said", she wants proof. She asked to separate the votes.  
50

1 Trustee Johnson-Burick stated she is proponent of transparency; people need to know what is going on. Need  
2 to be consistent on how we do things. She did additional research as to what the State Statute reads. Even a  
3 precede of conflict of interest can be problematic. She will be more involved in attendance and in reviewing  
4 the minutes. She reviewed the interview questions and scores for transparency. She was comfortable with the  
5 interview scores.

6  
7 Mayor Pro Tem Merrick stated she agreed with the residents' comments and concerns. We followed the  
8 ordinances and protocol. We may not agree but we did it respect and hold each other accountable in what we  
9 are doing.

10  
11 Mayor Barraza stated we are trying to accommodate everyone's needs/requests. Sometimes you do not get it  
12 on a timely manner. This is taking up more time than she ever expected; unable to do her mayoral duties.  
13 Trustees have the responsibility and obligation to research concerns. Ms. Maya was in my office when she  
14 spoke to the District Attorney's office and the New Mexico Municipal League. She encourages the trustees to  
15 make the phone call to get information. Don't criticize her when you don't do your homework. A lot of these  
16 are personal attacks. People are upset with her because of the cell tower. Shame on you for trying to crucify  
17 her by using the commissioners. She has an open-door policy; call or come to her office. She is aware of  
18 trustees calling other trustees criticizing them for their vote. She is aware of the text that are going on; this is  
19 going to stop. Concerns should be discussed during the open meeting not when you leave. She is asking the  
20 trustees to stop all the communication. The trustees and commissioners need to become familiar with the  
21 ordinances. She has an issue when a commissioner does not know what the ordinance book is. She offers and  
22 provides training to help them become familiar with the rules and regulations. Mr. Salas was approached by a  
23 trustee asking him why he was on the PZHAC. Ms. Lucero was voted, by the commissioners, to be the  
24 chairperson; she did not vote. The District Attorney stated when it comes to Ms. Lucero, there is no violation  
25 or nepotism since there is no money involved. She does her homework to the best of her ability. Read section  
26 18.06.020. Trustees have the right to amend ordinances. Right now, this is how it is. She is trying to get  
27 things back on track and processes are being followed. Trustees need to learn the ordinances. She is trying to  
28 do the right thing for this community. We are all a part of this community, we need to work together instead  
29 of backstabbing each other. Employees are getting caught in the middle. Trustees are entitled to their  
30 opinions, let's share them here as a board so we can work together.

31  
32 Trustee Cadena stated she follows the ordinances, rules and procedures exactly. She did not know they could  
33 contact the Attorney General. PZHAC had not been done on a regular basis and were out of compliance. She  
34 would have appreciated the mayor, not do the work for her, but inform her that she could make contacts. She  
35 does not want to be scolded; she is not guilty of texting. What she is doing, she is doing for the Town of  
36 Mesilla and doing the job she was elected to do. She wants her to know she is doing the best she can in  
37 following the rules. She was surprised on the PZHAC vote. Recommended having worksessions so they can  
38 talk. The Open Meetings Act limits us to what we can discuss. She cannot get answers from the New Mexico  
39 Municipal League and would appreciate getting contact numbers. Rules and Regulations were not in my  
40 packet.

41  
42 Mayor Pro Tem Merrick responded Ms. Stoechner-Hernandez included them in our notebooks. Ms. Bush gave  
43 us the updated ordinance.

44  
45 Trustee Cadena responded she did not get Rules of Order and Rules and Procedure. Read section 02.15.090

46  
47 Mayor Barraza stated the Rules and Procedure was created by Mayor Cadena and should be updated.

48  
49 Mayor Pro Tem Merrick called for Point of Order.

50  
51 Trustee Cadena stated she followed the Rules and Procedures.

1 Mayor Barraza stated the trustees do not need my permission to contact other entities. She needed answers so  
2 she called the Attorney General and New Mexico Municipal League.

3  
4 Trustee Garcia stated Mayor Barraza is an advocate for training. She encourages the PZHAC to attend  
5 training. A person can make a second on their own nomination.

6  
7 Mayor Barraza stated she believes in training and transparency.

8  
9 Mayor Pro Tem Merrick stated Trustee Cadena did follow procedure in asking for reconsideration. Even  
10 though we may not agree she has no problem with it.

## 11 12 13 **10. BOARD OF TRUSTEE COMMITTEE REPORTS**

14 Trustees Johnson-Burick: MPO Meeting – February 8<sup>th</sup>

15  
16 Mayor Pro Tem Merrick: MPO Meeting – did not attend

17  
18 Mayor Barraza: Mayor Caucus Meeting, MPO, RTD Meeting – February 22<sup>nd</sup>, Municipal Day – February  
19 17<sup>th</sup>. Senator Hamlin has committed \$75,000 from her junior money for the radios.

## 20 21 **11. BOARD OF TRUSTEE/STAFF COMMENTS**

22 *(Written staff reports included in packet)*

23 Mayor Pro Tem Merrick stated she and the mayor don't always agree but we do have respect for each other.  
24 She asked that the people respect the positions. Public Input is important, she will listen to anyone who wants  
25 to call me. Comments are not ignored. Encourages to the public to speak to the PZHAC. Mayor Barraza does  
26 not have full power. We are boards with different opinions and voices which help us make the right decisions.  
27 Mr. Taylor was a kind person and appreciates all he did.

28  
29 Trustee Johnson-Burick stated the New Mexico Municipal League holds training for newly elected officials.  
30 They make it clear that they are always accessible. She does research to ensure that the information she has is  
31 accurate and she is making the right decision for the town and the residents. The board may not agree but we  
32 are here doing what we feel is the best for our community now and for future generations.

33  
34 Trustee Garcia stated family is important to all of us. We do the best for the town. It doesn't matter where we  
35 came from or how we got here. We appreciate the staff and what they do. She will be leaving to Santa Fe on  
36 Wednesday, February 15<sup>th</sup>.

37  
38 Trustee Cadena stated Public Input is important. Grateful for Mr. Taylor's kindness and leadership. Her  
39 brother Michael was mayor and died of COVID. He was a good source for her in learning how government  
40 works. She appreciates the staff for all they do.

41  
42 Mayor Barraza apologized if she offended anyone. Staff is dedicated to their jobs and continue to provide  
43 services and safety to our residents. Many of the committee meetings are during the day making it difficult for  
44 the trustees to attend. Mesilla wants to be a part of what is happening and funding is needed for different  
45 projects. She asked the trustees to give us time to get the information they may need. She is trying to get  
46 everything back on track once we are completely staffed. The trustees are a Policy and Finance Board and are  
47 not to get involved in the day-to-day operations.

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**12. ADJOURNMENT**  
**The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-4).**  
**MEETING ADJOURNED AT 8:20 P.M.**  
**APPROVED THIS 27th DAY OF FEBRUARY, 2023.**

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**Nora L. Barraza**  
**Mayor**

**ATTEST:**

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**Gloria S. Maya**  
**Town Clerk/Treasurer**

DRAFT

## **BOARD ACTION FORM**

**ITEM:**

PWD Requests Authorization to Execute Contract with Bohannan Huston (BHI) for Engineering Services for the University Ave. Waterline Replacement Project (Colonias CIF-5786). Total amount \$22,500.00

**BACKGROUND:**

BHI contract awarded February 16, 2022 for \$55,900 (excluding GRT's) did not include construction bidding, construction administration, construction observations or record drawings.

**SUPPORTING INFORMATION:**

CIF-5786 \$742,621.00

BHI design development contract awarded February 16, 2022 (\$60,477.00)

Copy of funding analysis attached.

Copy of BHI amendment No. 1 attached.

BHI amendment No. 1 does not include construction observation \$34,000.00

**BOT OPTIONS:**

1. Approve the application.
2. Modify the application with conditions.
3. Reject the application.



# Bohannon Huston

FUNDING ANALYSIS  
TOWN OF MESILLA  
UNIVERSITY AVENUE WATERLINE REPLACEMENT  
February 23, 2023

PREDEVELOPMENT FEES	
Permit Fees (EBID)	\$ 650
<b>PREDEVELOPMENT TOTAL</b>	<b>\$ 650</b>

ENGINEERING SERVICES	
<b>Engineering Design Services</b>	<b>\$ 55,900</b>
001 - Project Communication and Management	\$ 5,000
002 - Right of Way Permits	\$ 7,500
003 - 60% Draft Design	\$ 22,200
004 - 95% Draft and Final Design	\$ 21,200
<b>Construction Engineering Services</b>	<b>\$ 56,500</b>
005 - Bid Administration Support	\$ 7,500
006 - Construction Administration	\$ 12,500
007 - Construction Observation - NOT CONTRACTED	\$ 34,000
008 - Record Drawings	\$ 2,500
<b>Engineering Services Subtotal</b>	<b>\$ 112,400</b>
<b>Engineering Services NMGRT</b>	<b>\$ 9,247</b>
<b>ENGINEERING SERVICES TOTAL</b>	<b>\$ 121,647</b>

CONSTRUCTION	
Base Bid	\$ 610,050
Construction	\$ 512,620
Contingencies (10%)	\$ 51,262
NMGRT (8.1875%)	\$ 46,168
<b>Bid Alternate #1</b>	<b>\$ 13,388</b>
Construction	\$ 11,250
Contingencies (10%)	\$ 1,125
NMGRT (8.1875%)	\$ 1,013
<b>CONSTRUCTION TOTAL</b>	<b>\$ 623,438</b>

FUNDING AVAILABLE	
CIF-5566 Loan	\$ 67,503
CIF-5566 Grant	\$ 607,531
CIF-5566 Match	\$ 67,587
<b>TOTAL FUNDING AVAILABLE</b>	<b>742,621</b>

<b>FUNDING AVAILABLE FOR CONSTRUCTION</b>	<b>620,324</b>
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<b>REMAINING FUNDS W/ BASE BID</b>	<b>10,274</b>
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<b>REMAINING FUNDS W/ BASE BID &amp; BID ALT 1</b>	<b>(3,114)</b>
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**ATTACHMENT VI – AMENDMENT TO AGREEMENTS FOR ENGINEERING  
SERVICES  
Amendment No. 1**

1. As set forth in the AGREEMENT FOR ENGINEERING SERVICES dated the 16<sup>th</sup> day of February, 2022 (effective date of Agreement) by and between the Town of Mesilla, the OWNER, and Bohannon Huston, Inc., the ENGINEER, the OWNER and ENGINEER agree this \_\_\_\_\_ day of \_\_\_\_\_, 2023 (effective date of Amendment) that ENGINEER shall modify the Agreement and furnish ENGINEERING SERVICES in accordance with the GENERAL PROVISIONS of the Agreement and OWNER shall compensate the ENGINEER for services described as set forth below:

A. Description of Modifications:

Additional engineering services for bidding administration, construction administration, construction observation, record drawings and closeout.

B. Perform or provide the following tasks and/or deliverables:

Task 1 – Bid Administration

Objective: Conduct bid administration tasks to solicit bids for the construction of the Project through a competitive design-bid-build process in conformance with current state and local procurement procedures.

Approach: ENGINEER will provide the following services throughout the bid phase of the project.

1. Request wage rates from NM Dept. of Workforce Solutions
2. Conduct pre-bid meeting at the OWNER's office.
3. Provide clarification of the contract document's intent during the bidding process and determine the need for issuance of addenda.
4. Establish a web portal for all document distribution and handling.
5. Prepare addenda when required. Provide addenda for distribution to contractors and suppliers on Plan holder's List.
6. Attend a Bid Opening at OWNER's or ENGINEER's offices.
7. Provide a certified tabulation of bids and assist OWNER in evaluating the bids.

8. Verify contractor compliance with bidding procedures, license requirements, and use of subcontractors.
9. Check Contractor qualifications and past experience references.
10. Advise OWNER as to any irregularities in the bidder's bid proposal, if necessary.
11. Prepare a recommendation of award letter to the OWNER for review by OWNER counsel and approval.
12. Prepare a Notice of Award to be issued by the OWNER to the selected Contractor.
13. Compile as-awarded documents for execution by the contractor and the OWNER

Assumptions:

1. One paper copy will be provided to the contractor upon award.
2. No federal wage rates or specifications for construction are required.
3. Costs associated with responding to Contractor protests during the bidding phase, if any, are not included in the scope of work.

Deliverables:

1. Wage Rates
2. Addenda, as required
3. Recommendation for Award and Certified Bid Tabulation to OWNER staff
4. Notice of Award for execution
5. As-awarded contract documents for execution

## Task 2 – Construction Administration

Objective: Document project compliance with the contract documents, specifications and plans as the work progresses. Provide effective communications and coordination between the OWNER, the ENGINEER, and the CONTRACTOR during construction of the Project.

Approach: ENGINEER will provide construction administration of the construction contract on behalf of the OWNER to include the following:

1. Provide administration of the construction contract as required and defined in the Conditions of the Contract for Construction. The extent of the ENGINEER'S duties and responsibilities and the limitations of his authority thereunder shall not be modified without the OWNER'S written consent.
2. Be the representative of the OWNER during the construction phase and shall advise and consult the OWNER. Instructions to the CONTRACTOR shall be forwarded only through the ENGINEER. The ENGINEER shall have authority to act on behalf of the OWNER only to the extent provided in the Contract Documents and any amendments thereto.
3. Organize and conduct a pre-construction conference with the key stakeholders, including OWNER operations staff, CONTRACTOR and their subcontractors. The pre-construction meeting will allow all stakeholders in the project to meet and understand how the CONTRACTOR will approach the project and provide a schedule of events. Attendees will be allowed to raise concerns, and protocols will be established. As part of this meeting, attendees will provide contact information that will be copied and provided to all stakeholders. Meeting minutes will be documented and distributed.
4. Create an online project management documentation system to develop store, maintain, and update all pertinent project information during construction and

commissioning. The ENGINEER will an internally developed website used for construction management called BHITracker. This website will track Requests for Information (RFIs), Design Revisions, Submittals/Shop Drawings, Pay Requests, Change Orders and Field Reports. Field reports will be generated weekly based on daily inspection reports of the Resident Project Representative. All key personnel and agencies will be provided access to the website using a username and password. Once access is established, BHITracker will allow the user access to the documentation so that they have the latest information available to them at all times. ENGINEER'S assigned "gatekeeper" will monitor and facilitate the flow of information and maintain the website. Email notifications will keep each party responsible aware if they have any outstanding items pending. The website will automatically log all information in summary format, which will be used during construction progress meetings.

5. Make bi-monthly visits to the site or at such other times as appropriate during the progress of the Work, for the purposes of notifying the OWNER on the progress and condition of the Work and to adequately represent the OWNER. On the basis of on-site observations, the ENGINEER will endeavor to guard the OWNER against defects and deficiencies in the construction. ENGINEER will determine if any portion of the Work varies from the requirements of the Contract Documents, and immediately notify the CONTRACTOR and the OWNER of the nature of the work required to correct such non-compliance.

6. Render interpretations of the documents necessary for the proper execution or progress of the Work with reasonable promptness on written request of either the OWNER or the CONTRACTOR and provide written decisions within a reasonable time on all claims, disputes, and other matters in question between the OWNER and the CONTRACTOR relating to the execution or progress of the Work or the interpretation of the Contract Documents.

Review the CONTRACTOR'S submittals, such as shop drawings, product data, and samples, for the conformance with the information given in the Contract Documents.

8. Review and determine the acceptability of all schedules that CONTRACTOR is required to submit to ENGINEER, including the Work Progress Schedules, Schedule of Submittals, and Schedule of Values.

9. Determine, certify, and make recommendations to the OWNER for payment of the amounts owed to the CONTRACTOR subject to the OWNER'S approval, based on observations at the site and on evaluations of the CONTRACTOR'S Applications for Payment.

10. Prepare all Change Orders, as necessary, as defined in the Conditions of the Contract for Construction.

11. Continuously monitor overall project funding including change orders, bid alternates additional work directives, and funding contingencies. Provide written updates on the overall project budget and "estimates to finish" at monthly.

12. Conduct observations to determine the Dates of Substantial Completion and Final Completion. The ENGINEER will obtain and forward to the OWNER for the OWNER'S review all closeout documents including written warranties, occupancy certificates, maintenance and operating instructions, schedules, guarantees, bonds, evidence of insurance required by the Contract Documents, and other related documents required by the Contract Documents and assembled by the CONTRACTOR.

Assumptions:

1. The Construction Phase will commence with the execution of the Contract for Construction and ends with the final payment to the CONTRACTOR.

2. The extent of the duties, responsibilities, and limitations of authority of the ENGINEER as the OWNER'S representative during construction shall not be modified or extended without written consent of the OWNER and the ENGINEER.

3. The ENGINEER shall have access, at all times, to the project work site, whether it be in preparation or progress.

4. The ENGINEER shall have authority to reject any work which does not conform to the Contract Documents. Where rejected work is not promptly corrected, the ENGINEER shall recommend to the OWNER that all project work shall stop. Whenever, in the ENGINEER'S professional opinion, it is necessary or advisable for the implementation of the intent of the Contract Documents, the ENGINEER will have authority to require special inspection or testing of all project work in accordance with the provisions of the Contract Documents.

Deliverables:

1. Pre-construction conference meeting agenda and minutes

2. One (1) USB drive of a final Windows file tree, including a log of all submittals, notations, RFI's, interpretations of documents, and field directives.

3. Certification of CONTRACTOR pay requests and change orders

Task 3 - Closeout Documents and Record Drawings

Objective: To prepare and gather close out documentation from Contractor. To prepare a permanent record of the as built conditions of the Project upon completion.

Approach: The Engineer will provide the following services to prepare the record drawings for the project:

1. Ensure the Contractor maintains an up-to-date set of project construction drawings as the Work progresses until final completion.
2. Using the Contractor field mark-ups, the Engineer shall modify the original reproducible drawings, delineating recorded built conditions of the Project showing changes in the Work from the as advertised condition.
3. Transfer red-line mark ups to a CAD based electronic file and provide both PDF and CAD files to the OWNER.
4. Gather proper close out documentation.
5. Schedule and conduct an 11-month warranty inspection for compliance with 1 year contractor warranty requirements.

Assumptions:

1. Only those sheets that have actual changes will be modified.

Deliverables:

1. Final close out documentation in (PDF) format.
2. Final record drawings in both paper and electronic (PDF & CAD) format.

C. Cost Proposal – Include hourly breakdown for each task

<u>Task</u>	<u>Description</u>	<u>Type</u>	<u>Fee Amount</u>
1	Bid Administration	Lump Sum	\$7,500
2	Construction Administration	Lump Sum	\$12,500
3	Closeout Documents and Record Drawings	Lump Sum	\$2,500

Construction Phase Services Subtotal: \$22,500

D. Reimbursable Expense Schedule

E. Agreement Summary:

Original agreement amount:	<u>\$ 55,900</u>
Net change for prior amendments:	<u>\$0</u>
This amendment amount:	<u>\$22,500</u>
Adjusted Agreement amount:	<u>\$78,400</u>




F. Contract Time shall be 260 calendar days from the date of the OWNERS signature on Attachment VI. The services described in this amendment shall be completed and accepted by the OWNER by \_\_\_\_ (DATE). If these services have not been completed and accepted by \_\_\_\_ the ENGINEER shall pay the OWNER liquidated damages as outlined in the contract.

2. Signatures

**IN WITNESS WHEREOF, the Parties have executed this Agreement as of the date of the signature by the required approval authorities below.**

By: \_\_\_\_\_ Date: \_\_\_\_\_  
OWNER  
Type Name Nora L. Barraza  
Title Mayor

By:  \_\_\_\_\_ Date: 02/13/2023  
ENGINEER  
Type Name Tyler Hopkins  
Title Vice President  
Address 425 S. Telshor Blvd.  
Suite C-103  
Las Cruces, NM 88011

REVIEWED AND APPROVED: FUNDING AGENCY

AGENCY NAME: \_\_\_\_\_

By \_\_\_\_\_

Type Name \_\_\_\_\_

Date \_\_\_\_\_

## BOARD ACTION FORM

### ITEM:

PWD Requests Authorization to Execute Contract through CES for the Plaza Sidewalk Refurbishment and Replacement Project. Contract amount including GRT's \$96,046.65

### BACKGROUND:

A-Mountain Professional Construction, LLC has provided a bid through CES to construct this project based on bidding documents provided by Molzen Corbin.

### SUPPORTING INFORMATION:

Grant Agreement for Plaza ADA Sidewalk Refurbishment & Replacement – Control Number 21-F2741

Consideration to award letter from Molzen Corbin attached.

Project estimate attached.

A-Mountain bid based on CES procurement analysis attached.

### BOT OPTIONS:

1. Approve the application.
2. Modify the application with conditions.
3. Reject the application.

# MOLZENCORBIN

February 22, 2023

Rod McGillivray  
Town of Mesilla  
2231 Avenida de Mesilla  
Mesilla, NM 88046

**RE: Plaza ADA Sidewalk Refurbishment & Replacement – Control Number 21-F2741**  
*Consideration of Award*

Dear Mr. McGillivray,

The Town of Mesilla received a bid through Cooperative Educational Service (CES) for the above referenced project. The engineer's estimate is provided as a comparison to the RS Means method use by CES contracts. This comparison will provide a unit cost analysis so that we can provide an opinion based on industry average unit prices.

A- Mountain Professional Construction, LLC has provided a proposal (bid) through CES to construct the improvements on this project based on our bidding documents. CES takes care of the procurement evaluation for all its registered contractors. Therefore, this consideration of award does not check license status or bonding limits. We have done several projects with A- Mountain Construction, and we consider them to be a reputable contractor and qualified to do this project. Based on our analysis (attached), the bid received from CES/A Mountain Professional Construction in the amount of \$96,046.00, excluding NMGR, is within 6% of the Engineers Estimate and is a fair cost for this project.


The construction market costs have escalated significantly in the past couple of years and we are observing a significant increase in cement costs, which is a large component in this project. We feel that public bidding of this project would not yield a better price than what has been provided to the town by CES/A-Mountain Professional Construction.

Based on the information before us, CES/A Mountain Professional Construction has submitted a responsive and fair bid through CES. Therefore, we recommend that the Town of Mesilla consider awarding a contract (purchase order) for this work to CES/A Mountain Professional Construction for the amount remaining in the grant of \$96,046.00.

Should you have any questions or concerns, please do not hesitate to call.

Sincerely,

MOLZEN-CORBIN



John T. Montoya, PE, PS, PTOE  
Vice President

ITEM NO.	ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY	Engineer's Estimate		A-MTN / CES	
				UNIT COST	ESTIMATED COST	UNIT COST	ESTIMATED COST
1	Mobilization, submittals, general contract requirements, bonds	LS	1	\$3,840.00	\$3,840.00	\$1,866.45	\$1,866.45
2	Unclassified Excavation, including removals & salvaging of existing brick sidewalk and header curb, salvaged brick to be returned to owner, placement of 4" base course and 2" of sand bed	CY	17	\$2,200.00	\$37,400.00	\$2,905.48	\$49,393.16
3	Subgrade Preparation, complete in place	SF	750	\$2.00	\$1,500.00	\$0.92	\$690.00
4	Sawcut, complete in place	LF	800	\$4.00	\$3,200.00	\$1.70	\$1,360.00
5	Install brick in 2" sand bed, complete in place	SF	750	\$5.00	\$3,750.00	\$2.10	\$1,575.00
6	6" Thick Concrete sidewalk extension to include ADA ramp, complete in place	SF	750	\$8.00	\$6,000.00	\$5.74	\$4,305.00
7	6" x 18" header curb, complete in place	LF	130	\$55.00	\$7,150.00	\$66.72	\$8,673.60
8	Mountable curb, complete in place	LF	24	\$45.00	\$1,080.00	\$66.72	\$1,601.28
9	Railing, complete in place	LF	34	\$150.00	\$5,100.00	\$196.16	\$6,669.44
10	Traffic Sign, include base, post & sign, complete in place	EA	3	\$350.00	\$1,050.00	\$482.27	\$1,446.81
11	Laboratory Testing Allowance	ALLOW	1	\$2,500.00	\$2,500.00	\$2,500.00	\$2,500.00
12	Traffic Control including, plan, devices and management/maintained	LS	1	\$10,000.00	\$10,000.00	\$8,000.00	\$8,000.00
13	Demobilization, record drawings, close out documents	LS	1	\$1,920.00	\$1,920.00	\$799.91	\$799.91
	<b>CONSTRUCTION SUBTOTAL</b>				\$84,490.00		\$88,880.65
14	NM Gross Receipts Tax		8.0625%		\$6,812.01		\$7,166.00
	<b>CONSTRUCTION TOTAL</b>				\$91,302.01	Diff is rounding	\$96,046.65

## ESTIMATED SUMMARY OF COSTS AND QUANTITIES

ENTITY: Town of Mesilla DO: \_\_\_\_\_ CN: CAP 21-F2741  
 PROJECT \_\_\_\_\_  
 No.: \_\_\_\_\_  
 TERMINI: Plaza Sidewalk Refurbishment and Replacement  
Capital Appropriation  
 SCOPE OF \_\_\_\_\_  
 WORK: Construction, design, construction management, reconstruction and Improvements of Town sidewalks

ITEM NO.	ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY	UNIT COST	ESTIMATED COST
1	Install brick in 2" sand bed, complete in place, provide 4" base course, brick to match existing brick, to include removal & disposal of existing	SF	750	\$45.00	\$33,750.00
2	6" Thick Concrete sidewalk extension to include ADA ramp and subgrade preparation, to include removal & disposal of existing, complete in place	SF	750	\$44.00	\$33,000.00
3	6" x 18" header curb, to include removal & disposal of existing, complete in place	LF	130	\$55.00	\$7,150.00
4	Mountable curb, to include removal & disposal of existing, complete in place	LF	24	\$65.00	\$1,560.00
5	Railing, complete in place	LF	34	\$55.00	\$1,870.00
6	Traffic Sign, include base, post & sign, to include removal & disposal of existing, complete in place	EA	3	\$350.00	\$1,050.00
7	Laboratory Testing Allowance	ALLOW	1	\$2,500.00	\$2,500.00
8	Traffic Control including, plan, devices and management/maintained	LS	1	\$8,000.00	\$8,000.00
	CONSTRUCTION SUBTOTAL				\$88,880.00
9	NM Gross Receipts Tax		8.0625%		\$7,166.00
	<b>CONSTRUCTION TOTAL</b>				<b>\$96,046.00</b>
10	Engineering - Design, Survey				\$14,526.84
11	Environmental - Coordination with SHPO				\$5,263.16
	ENGINEERING, & PRE-DESIGN SUBTOTAL				\$19,790.00
12	NM Gross Receipts Tax		8.1875%		\$1,620.40
	ENGINEERING, & PRE-DESIGN SUBTOTAL				\$21,410.40
	<b>Total Project Cost</b>				<b>\$117,456.40</b>

## Job Order Package

*This proposal was prepared exclusively for Cooperative Educational Services*

**Job Name:** Plaza Sidewalk Refurbishment & Replacement  
**Contract Name:** Cooperative Educational Services JOC for General Construction - 2023-05-R1262-ALL  
**Contractor Name:** A Mountain Professional Construction  
**Created On:** 02/13/2023  
**Generated By:** using Gordian Job Order Contracting Core for Cooperative Educational Services

## Job Order Details - Plaza Sidewalk Refurbishment & Replacement

*This proposal was prepared exclusively for Cooperative Educational Services*

**Job Number:** 001

**Job Name:** Plaza Sidewalk Refurbishment & Replacement

Price Proposal - Cooperative Educational Services JOC for General Construction - 2023-05-R1262-ALL

*This proposal was prepared exclusively for Cooperative Educational Services*

Job Number: 001  
 Job Name: Plaza Sidewalk Returfishment & Replacement  
 Contractor: A Mountain Professional Construction  
 Date Created: 02/09/2023  
 Last Update: 02/13/2023  
 Proposal Value: \$95,046.00  
 Construction Procurement Catalog: Year 2023 Quarter 1 - LAS CRUCES, NM

**Summary By Division**

Division	Line Total
01 General Requirements	\$20,332.35
01 General Requirements	\$1,446.81
03 Concrete	\$15,939.99
04 Masonry	\$736.41
05 Metals	\$8,669.60
31 Earthwork	\$50,080.12
32 Exterior Improvements	\$940.72

**Non-Prepriced Items**

Item Name	Division	QTY	Unit Price	Factor	Line Total
Payment and Performance Bond	01 General Requirements	2566.350000	\$1.00	1.0000	\$2,666.35
New Mexico GRT	01 General Requirements	7166.000000	\$1.00	1.0000	\$7,166.00
Testing Allowance	01 General Requirements	2500.000000	\$1.00	1.0000	\$2,500.00
Traffic Control - Includes plan, devices, management & maintenance	01 General Requirements	8000.000000	\$1.00	1.0000	\$8,000.00

**Detailed Price Proposal**

Sr.#	Division	Line Item #	Mod	UOM	Description	Line Total
Price Proposal Report						



Item #	Description	Code	Unit	QTY	Unit Price	Factor	Total
1	General Requirements	Non-Prepiced	EA				\$2,666.35
				2666.350000	\$1.00	1.0000	\$2,666.35
							Total
2	Non-Prepiced	EA	New Mexico SRT				\$7,166.00
				7166.000000	\$1.00	1.0000	\$7,166.00
							Total
3	Non-Prepiced	EA	Testing Allowance				\$2,500.00
				2500.000000	\$1.00	1.0000	\$2,500.00
							Total
4	Non-Prepiced	EA	Traffic Control - Includes plan, devise, management & maintenance				\$8,000.00
				8000.000000	\$1.00	1.0000	\$8,000.00
							Total
5	General Requirements	01581350020	EA				\$1,446.81
				60.000000	\$16.63	1.4500	\$1,446.81
							Total
6	Concrete	03811350030	L.F.				\$1,360.59
				802.000000	\$1.17	1.4500	\$1,360.59
							Total
7		033113350300	C.Y.				\$10,275.80
				46.000000	\$154.06	1.4500	\$10,275.80
							Total
8		033053405010	S.F.				\$4,303.60
				800.000000	\$3.71	1.4500	\$4,303.60
							Total
9	Masonry	040120700012	S.F.				\$736.41
				891.000000	\$.87	1.4500	\$736.41
							Total

Price Proposal Report

Item No.	Material Description	QTY	Unit Price	Factor	Total
10	Meals 055213500160 L.F. Railing, pipe, aluminum, dark anodized finish, 3 rails, 3'-6" high, posts @ 5' OC, 1-1/4" diameter, shop fabricated Dark anodized				\$6,669.60
		40,000,000	\$19.10	1,4000	\$6,669.60
11	Earthwork 310516100400 L.C.Y. Aggregate for earthwork, sand, washed, for concrete, spread with 200 HP dozer, includes load at pit and haul, 2 miles round trip, excludes compaction Sand, washed, concrete				\$49,393.16
		825,000,000	\$41.29	1,4500	\$49,393.16
12	312216100200 S.Y. Fine grading, grade subgrade for base course, roadways Grade subgrade for base course, roadways				\$479.78
		752,000,000	\$44	1,4500	\$479.78
13	312323252400 S.Y. Compaction, airports, subgrade, cohesive soils, 90% proctor, 6" depth 90% proctor, 6" depth				\$207.18
		752,000,000	\$19	1,4500	\$207.18
14	Exterior Improvements 320510100130 S.F. Sidewalks, driveways, and patios, bedding for brick or stone, sand, 2" thick, excludes base Sand, 2" thick				\$840.72
		753,000,000	\$1.77	1,4500	\$840.72

## BOARD ACTION FORM

### AGENDA DATE

PZHAC: February 21, 2023

BOT: February 27, 2023

**ITEM:** PZHAC CASE #061521 – 2592 Calle de Curra, submitted by Ralph Lucero to renovate by repairing stucco cracks and painting, same color to match existing one. Zone: **Historical Residential (HR)**

**BACKGROUND AND ANALYSIS:** The applicant would like to repair cracks in his stucco and repaint, over the repair with the same color as the existing paint on his residence.

### IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

### ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

### DEPARTMENT RECOMMENDATIONS:

Staff approves of repairs. Colors must match existing color on residence.

### SUPPORTING INFORMATION:

- Application
- Photos
- PZHAC approved 5-0 vote

**PAID**

**RECEIVED**  
2/2/23

**TOWN OF MESILLA**  
**APPLICATION FOR BUILDING PERMIT**

Permit Fee \$ 45<sup>00</sup>  
Review Fee \$ 9<sup>00</sup>  
Total Fee \$ 54<sup>00</sup>

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 06/521 ZONE: HR CODE: RN APPLICATION DATE: 2/2/2023

Ralph Lucero		575-644-3254	
Name of Property Owner		Property Owner's Telephone Number	
PO Box 753	Mesilla Park	NM	880047
Property Owner's Mailing Address	City	State	Zip Code
Property Owner's E-mail Address anthony@ase-nm.com			
Property Owner's E-mail Address Anthony Lucero 2001 E Lohman Ave Ste 110 #268 Las Cruces, NM 88001			
Contractor's Name & Address (If none, indicate Self)			
575-642-8384	03-529160-00-05	402552	
Contractor's Telephone Number	Contractor's Tax ID Number	Contractor's License Number	

Address of Proposed Work: 2592 Calle De Cura Mesilla, NM 88046  
Description of Proposed Work: Repair stucco cracks and paint (no change in texture or color, repairs to match what is existing).

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses, and dimensions.
- Cross section of walls.
- Roof and floor framing plan.
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the Town Code or Community Development Department.

\$ 475.00      [Signature]      2/2/2023  
Estimated Cost      Signature of Applicant      Date

**Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.**

**FOR OFFICIAL USE ONLY**

<b>PZHAC</b>	<input type="checkbox"/> Administrative Approval	<b>BOT</b>	<input type="checkbox"/> Approved Date: _____
	<input checked="" type="checkbox"/> Approved Date: <u>2/21/23</u>		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED:  YES  NO      BOT APPROVAL REQUIRED:  YES  NO

CID PERMIT/INSPECTION REQUIRED:  YES  NO  SEE CONDITIONS

CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED / DENIED BY: \_\_\_\_\_      ISSUE DATE: \_\_\_\_\_



## BOARD ACTION FORM

### AGENDA DATE

PZHAC: February 21, 2023

BOT: February 27, 2023

**ITEM:** PZHAC CASE #061526 – 2810/2820 Calle Principal, submitted by Larry Limon to renovate windows/back door by removing, painting (same color), and reinstalling. No changes to structure or windows. Change color of trim from light brown to blue on a detached structure in order to match rest of trim on primary home. Replacing screen door request was redacted. Zones: **Historical Residential (HR)**

**BACKGROUND AND ANALYSIS:** The applicant would like to remove existing windows and back screen door repaint and reinstall. Applicant also would like to paint the trim of a detached structure to match the trim of the primary residence.

### IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

### Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

### ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

### DEPARTMENT RECOMMENDATIONS:

Staff approves of repairs. Colors must match existing color on windows. Trim must match color primary residence as requested.

### SUPPORTING INFORMATION:

- Application
- Photos
- PZHAC approved 5-0 vote

RECEIVED  
2/22/23

PAID

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:  
Case # \_\_\_\_\_  
Fee \$ 50.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061526 ZONE: HR CODE: RN APPLICATION DATE: \_\_\_\_\_

Name of Property Owner CARRY LIMON Property Owner's Telephone Number 575-636-5073

Property Owner's Mailing Address P.O. BOX 593 City MESILLA State NM Zip Code 88046

Property Owner's E-mail Address larrystucco@gmail.com

Contractor's Name & Address (If none, indicate Self) SELF

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 2820 CALLE PRINCIPAL

Description of Proposed Work: PAINT WINDOWS/BACK DOOR SAME COLOR IT IS NOW. INSTALL SCREEN DOOR IN BACK. CHANGE TRIM COLOR FROM DETACHED STORAGE HOME

Estimated Cost \$ 225 Signature of Applicant \_\_\_\_\_ Date 2/22/23

Signature of property owner: \_\_\_\_\_

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval  Approved Date: 2/21/23 BOT  Approved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Approved with conditions  Approved with Conditions

PZHAC APPROVAL REQUIRED:  YES \_\_\_ NO BOT APPROVAL REQUIRED:  YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

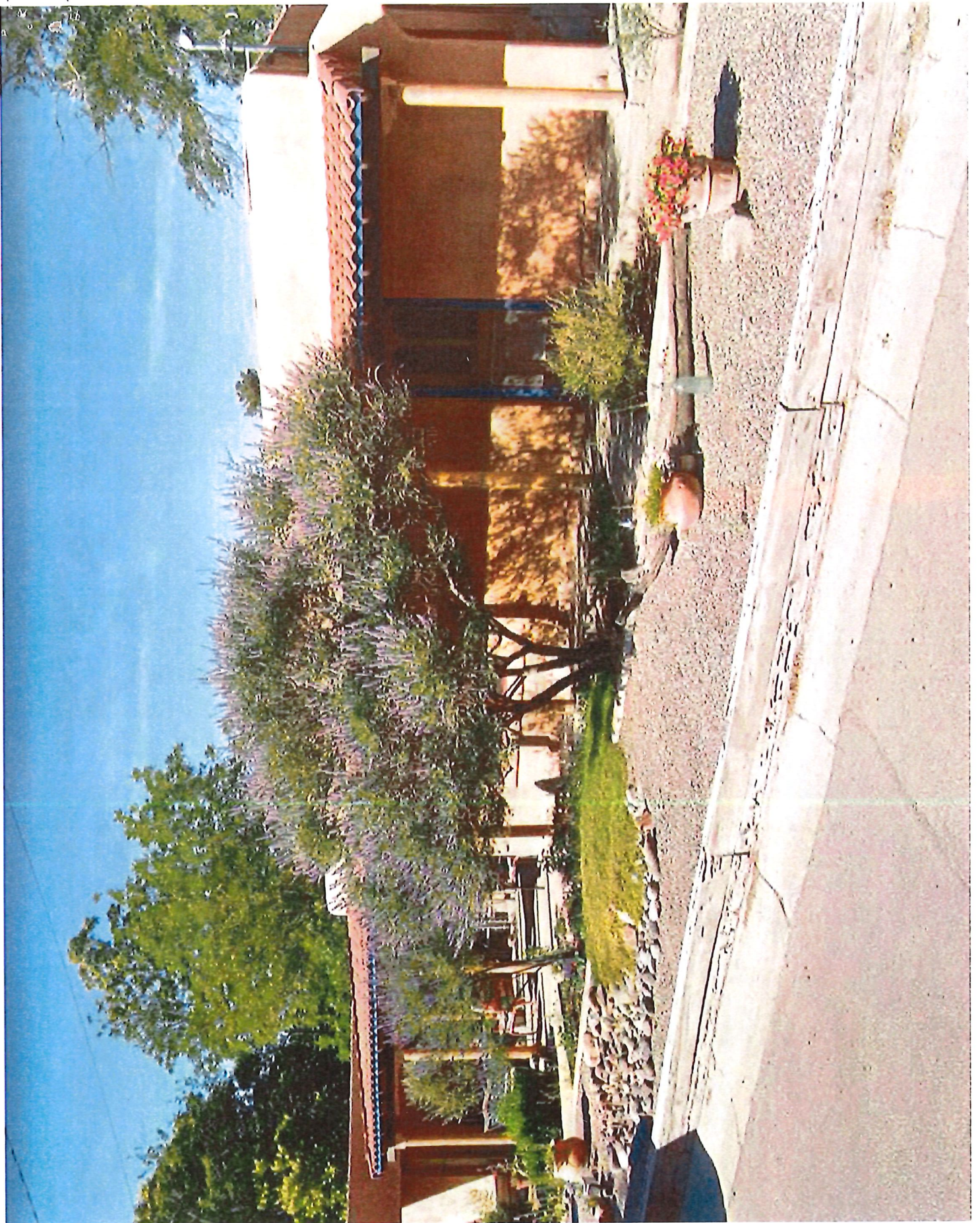
CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  - Site Plan with dimensions and details.
  - Foundation plan with details.
  - Floor plan showing rooms, their uses and dimensions.
  - Cross section of walls
  - Roof and floor framing plan
  - Proof of legal access to the property.
  - Drainage plan.
  - Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  - Proof of legal access to the property.
  - Other information as necessary or required by the City Code or Community Development Department (See other side.)













## BOARD ACTION FORM

### AGENDA DATE

PZHAC: February 21, 2023

BOT: February 27, 2023

**ITEM:** PZHAC CASE #061518 – 3385 Avenida de Mesilla, submitted by Pedro D Jurado/New Cingular Wireless PCS, LLC by Crown Castle USA Inc, to add an extra antenna per sector (total of 3) and 3/50-amp breakers for AIR 6449 B77D ground equipment as per plans for an existing carrier on an existing wireless communication facility. Zoned: **Commercial (C)**

**BACKGROUND AND ANALYSIS:** Mr. Pedro Jurado was approved for a special use permit and variance to allow his second cell tower antennas on 1/16/2004 (case#2014-033). AT&T applied for upgrading existing equipment on 6/13/2017 and was approved. Application for rezone request was filed August 10, 2017. Request to rezone then property address 1971 Union Ave, from Rural Farm (RF) to Commercial (C). PZHAC meetings held on 8/21/2017, 9/5/2017 & 3/5/2018 to hear public comments. PZHAC voted to approve rezone recommendation 3-0. (Resolution 2018-01) Board of Trustees approved rezone on 3/26/18, with 3-2 vote.

### IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

### ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

### DEPARTMENT RECOMMENDATIONS:

- The PZHAC has jurisdiction to review this request.
- The zoning code allows this type of zone change request.
- The application meets the requirements of the code for zone change.
- Cell towers are already in place, upgrades are necessary as with any equipment/technology
- Maintenance are necessary to keep equipment running efficiently and safely.

### SUPPORTING INFORMATION:

- Application
- Photos
- Cellular schematics
- Engineering plans
- Property case files to determine history of events
- PZHAC approved 5-0 vote



PAID

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$370.00
Review Fee \$55.00
Total Fee \$425.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 0615146 ZONE: EA CODE: ACC APPLICATION DATE: 1.17.2023

JURADO, PEDRO D New Cingular Wireless PCS, LLC by Crown Castle USA Inc. 602.690.7252
Name of Property Owner Property Owner's Telephone Number

300 S MOTEL BLVD LAS CRUCES NM 88007
Property Owner's Mailing Address City State Zip Code

franla.stapleton@crowncastle.com
Property Owner's E-mail Address

Velex (Nexus) 4455 E. Nunneley Rd. Gilbert, AZ 85296
Contractor's Name & Address (if none, Indicate Self)

945 213-2559 Contractor's Telephone Number
Contractor's Tax ID Number
ROC # 320391 Contractor's License Number

Address of Proposed Work: 3385 AVENIDA DE MESILLA (HIGHWAY 28)

Description of Proposed Work: Add an antenna per sector (total of 3), and 3 50 AMP breakers for AIR 6449 B77D ground equipment as per plans for an existing carrier on an existing wireless communication facility.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

- 1. X Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. X Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. X Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

\$30,000.00 Estimated Cost
Signature of Applicant
Date 1.17.2023

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: Disapproved Date: Approved with conditions
BOT Approved Date: Disapproved Date: Approved with Conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO
CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS:

PERMISSION ISSUED / DENIED BY: ISSUE DATE:



2055 S Stearman Dr  
Chandler, AZ 85206

Phone: (602) 590-7252  
www.crowncastle.com

Project Data Sheet	
Business Unit (BU)	858163
Application/Order Number	624467
Crown Castle Site Name	ZOD_ALLTEL_NMLC_ELP_PICACHO
Customer Site Number	WTEN005668
Site Address	3385 AVENIDA DE MESILLA (HIGHWAY 28)
Site City, State, Zip	LAS CRUCES, NM 88005
Parcel Tax ID	04-00872
Applicant / Agent	New Cingular Wireless PCS, LLC by Crown Castle USA Inc.
Agent Address	2055 S Stearman Dr
Agent phone number	(602) 598-7252
Carrier	AT&T Mobility
Scope of work	Add or replace antennas, ancillary equipment and ground equipment as per plans for an existing carrier on an existing wireless communication facility.
Property Owner	JURADO, PEDRO D
Property Owner Address	300 S MOTEL BLVD, LAS CRUCES, NM 88007
Structure Type	MONOPOLE
Structure Height	63.5 FT
Antenna Equipment Height	65
Size of Compound Sq. Ft.	836 sq ft
Latitude	32° 15' 58.7"
Longitude	-106° 47' 7.2"
Zoning Jurisdiction	COUNTY OF DONA ANA, NM
Zoning Jurisdiction Address	845 N. MOTEL BLVD., LAS CRUCES, NM 88007
Permitting Jurisdiction	COUNTY OF DONA ANA, NM
Permitting Jurisdiction Address	845 N. MOTEL BLVD., LAS CRUCES, NM 88007



2055 S Stearman Dr  
Chandler, AZ 85286

Phone: (602) 600-7262  
www.crowncastle.com

January 17, 2023

COUNTY OF DONA ANA, NM  
Community Development/Building Services  
845 N. MOTEL BLVD.  
LAS CRUCES, NM 88007

Via Electronic Delivery

\*\*\*\*\*NOTICE OF ELIGIBLE FACILITIES REQUEST\*\*\*\*\*

RE: Request for Minor Modification to Existing Wireless Facility – Section 6409  
Site Address: 3385 AVENIDA DE MESILLA (HIGHWAY 28), LAS CRUCES, NM 88005  
Crown Site Number: 858163 / Crown Site Name: ZOD\_ALLTEL\_NMLC\_ELP\_PICACHO  
Customer Site Number: WTEN005668 / Application Number: 624467

Attention Community Development/Building Services:

On behalf of New Cingular Wireless PCS, LLC (“AT&T Mobility” or “Applicant”), Crown Castle USA Inc. (“Crown Castle”) is pleased to submit this request to modify the existing wireless facility noted above through the collocation, replacement and/or removal of the Applicant’s equipment as an eligible facilities request for a minor modification under Section 6409<sup>1</sup> and the rules of the Federal Communications Commission (“FCC”).<sup>2</sup>

Section 6409 mandates that state and local governments must approve any eligible facilities request for the modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station. Under Section 6409, to toll the review period, if the reviewing authority determines that the application is incomplete, it must provide written notice to the applicant within 30 days, which clearly and specifically delineates all missing documents or information reasonably related to whether the request meets the federal requirements.<sup>3</sup> Additionally, if a state or local government, fails to issue any approvals required for this request within 60 days, these approvals are deemed granted. The FCC has clarified that the 30-day and 60-day deadlines begins when an applicant: (1) takes the first step required under state or local law; and (2) submits information sufficient to inform the jurisdiction that this modification qualifies under the federal law<sup>4</sup>. Please note that with the submission of this letter and enclosed items, the thirty and sixty-day review periods have started. Based on this filing, the deadline for written notice of incomplete application is February 16, 2023, and the deadline for issuance of approval is March 18, 2023.

<sup>1</sup> Middle Class Tax Relief and Job Creation Act of 2012, Pub. L. No. 112-96, § 6409 (2012) (codified at 47 U.S.C. § 1455).

<sup>2</sup> *Acceleration of Broadband Deployment by Improving Wireless Facility Siting Policies*, 29 FCC Rcd. 12865 (2014) (codified at 47 CFR § 1.6100); and *Implementation of State & Local Governments’ Obligation to Approve Certain Wireless Facility Modification Requests Under Section 6409(a) of the Spectrum Act of 2012*, WT Docket No. 19-250 (June 10, 2020).

<sup>3</sup> See 47 CFR § 1.6100 (c)(3). <sup>4</sup> See 2020 Upgrade Order at paragraph 16.

The Foundation for a Wireless World

CrownCastle.com





2055 S Stearman Dr  
Chandler, AZ 85206

Phone: (602) 600-7252  
www.crowncastle.com

The proposed scope of work for this project includes:

Add or replace antennas, ancillary equipment and ground equipment as per plans for an existing carrier on an existing wireless communication facility.

At the end of this letter is a checklist of the applicable substantial change criteria under Section 6409. Additionally, please find enclosed the following information in support of this request:

- (1) Building Permit;
- (2) Construction Drawings;
- (3) Structural Analysis; and
- (4) Section 6409 Substantial Change Checklist.

As these documents indicate, (i) the modification involves the collocation, removal or replacement of transmission equipment; and (ii) such modification will not substantially change the physical dimensions of such tower or base station. As such, it is an "eligible facilities request" as defined in the FCC's rules to which the 60-day deadline for approval applies. Accordingly, Applicant requests all authorization necessary for this proposed minor modification under Section 6409.

Deployment of AT&T upgraded technologies in the subject area will improve public safety by putting advanced wireless technologies into the hands of public safety agencies and first responders.

Due to the public safety benefits associated with this EFR, AT&T respectfully requests that the requisite approvals and building permit be issued within 15 days but no later than 60 days from the date of this letter, so that AT&T can proceed with this important modification expeditiously thereafter. If you have any questions regarding this application, please contact me.

Our goal is to work with you to obtain approvals earlier than the deadline. We will respond promptly to any request for related information you may have in connection with this request. Please let us know how we can work with you to expedite the approval process. We look forward to working with you on this important project, which will improve wireless telecommunication services in your community using collocation on existing infrastructure. If you have any questions, please do not hesitate to contact me.

Regards,

*FraNita Stapleton*

FraNita Stapleton  
Site Acquisition Specialist  
Crown Castle, Agent for Applicant  
(602) 598-7252  
Franita.Stapleton@crowncastle.com



2055 S Stearman Dr  
Chandler, AZ 85286

Phone: (602) 500-7252  
www.crowncastle.com

**Section 6409 Substantial Change Checklist  
Towers Outside of the Public Right of Way**

The Federal Communications Commission has determined that a modification substantially changes the physical dimension of a wireless tower or base station under 47 U.S.C. § 1455(a) if it meets one of six enumerated criteria under 47 C.F.R. § 1.6100.

**Criteria for Towers Outside the Public Rights of Way**

YES/NO NO	Does the modification increase the height of the tower by more than the greater of: (a) 10% (b) or, the height of an additional antenna array plus separation of up to 20 feet from the top of the nearest existing antenna?
YES/NO NO	Does the modification add an appurtenance to the body of the tower that would protrude from the edge of the tower more than 20 feet or more than the width of the tower structure at the level of the appurtenance, whichever is greater?
YES/NO NO	Does the modification involve the installation of more than the standard number of new equipment cabinets for the technology involved or add more than four new equipment cabinets?
YES/NO NO	Does the modification entail any excavation or deployment outside the current site by more than 30 feet in any direction, not including any access or utility easements?
YES/NO NO	Does the modification defeat the concealment elements of the eligible support structure?
YES/NO NO	Does the modification violate conditions associated with the siting approval with the prior approval the tower or base station other than as specified in 47 C.F.R. § 1.6100(e)(7)(i) – (iv)?

If all questions in the above section are answered "NO," then the modification does not constitute a substantial change to the existing tower under 47 C.F.R. § 1.6100.

Date: October 11, 2022



Crown Castle  
2000 Corporate Drive  
Canonsburg, PA 15317  
(724) 416-2000

**Subject:** Structural Analysis Report

**Carrier Designation:** AT&T Mobility Co-Locate  
**Site Number:** WTEN005668  
**Site Name:** NMLC ELP PICACHO  
**FA Number:** 10139214

**Crown Castle Designation:** **BU Number:** 858163  
**Site Name:** ZOD\_ALLTEL\_NMLC\_ELP\_PICACHO  
**JDE Job Number:** 723925  
**Work Order Number:** 2163798  
**Order Number:** 624467 Rev. 0

**Engineering Firm Designation:** Crown Castle Project Number: 2163798

**Site Data:** 3385 AVENIDA DE MESILLA (HIGHWAY 28)  
LAS CRUCES, DONA ANA County, NM  
Latitude 32° 15' 58.7", Longitude -106° 47' 7.2"  
63.5 Foot - Monopole Tower

Crown Castle is pleased to submit this "Structural Analysis Report" to determine the structural integrity of the above-mentioned tower.

The purpose of the analysis is to determine acceptability of the tower stress level. Based on our analysis we have determined the tower stress level for the structure and foundation, under the following load case, to be:

LC5: Proposed Equipment Configuration

Sufficient Capacity

This analysis utilizes an ultimate 3-second gust wind speed of 115 mph as required by the 2015 International Building Code. Applicable Standard references and design criteria are listed in Section 2 - "Analysis Criteria".

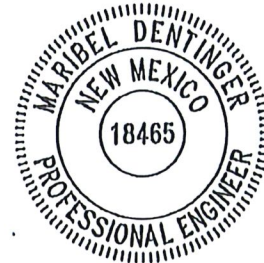
Structural analysis prepared by: Nicholas Cvetic

Respectfully submitted by:

*Maribel Dentinger*  
Maribel Dentinger, P.E.  
Senior Project Engineer

Maribel  
Dentinger

Digitally signed by  
Maribel Dentinger  
Date: 2022.10.11  
17:56:31 -04'00'



## TABLE OF CONTENTS

- 1) INTRODUCTION
- 2) ANALYSIS CRITERIA
  - Table 1 - Proposed Equipment Configuration
- 3) ANALYSIS PROCEDURE
  - Table 2 - Documents Provided
  - 3.1) Analysis Method
  - 3.2) Assumptions
- 4) ANALYSIS RESULTS
  - Table 3 - Section Capacity (Summary)
  - Table 4 - Tower Component Stresses vs. Capacity - LC5
  - 4.1) Recommendations
- 5) APPENDIX A
  - tnxTower Output
- 6) APPENDIX B
  - Base Level Drawing
- 7) APPENDIX C
  - Additional Calculations

1) INTRODUCTION

This tower is a 63.5 ft monopole tower designed by Engineered Endeavors, Inc.

2) ANALYSIS CRITERIA

TIA-222 Revision: TIA-222-H  
 Risk Category: II  
 Wind Speed: 115 mph  
 Exposure Category: C  
 Topographic Factor: 1  
 Service Wind Speed: 60 mph

Table 1 - Proposed Equipment Configuration

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)
62.0	65.0	3	andrew	SBNHH-1D65B w/ Mount Pipe	3 4 3	7/8 13/16 3/8
		6	commscope	NNHH-65B-R4_CCIV2 w/ Mount Pipe		
		3	ericsson	AIR 6449 B77D_CCIV3 w/ Mount Pipe		
		3	ericsson	RRUS 32 B66A		
		3	ericsson	RRUS 4449 B5/B12		
		3	ericsson	RRUS 4478 B14_CCIV2		
		1	raycap	DC6-48-60-18-8F		
		1	raycap	DC6-48-60-18-8F_CCIV2		
	62.0	1	site pro 1	RMQP-40126-HK		

3) ANALYSIS PROCEDURE

Table 2 - Documents Provided

Document	Reference	Source
4-GEOTECHNICAL REPORTS	4575413	CCISITES
4-TOWER FOUNDATION DRAWINGS/DESIGN/SPECS	6702257	CCISITES
4-TOWER MANUFACTURER DRAWINGS	6702238	CCISITES

3.1) Analysis Method

tnxTower (version 8.1.1.0), a commercially available analysis software package, was used to create a three-dimensional model of the tower and calculate member stresses for various loading cases. Selected output from the analysis is included in Appendix A. When applicable, Crown Castle has calculated and provided the effective area for panel antennas using approved methods following the intent of the TIA-222 standard.

3.2) Assumptions

- 1) Tower and structures were maintained in accordance with the TIA-222 Standard.
- 2) The configuration of antennas, transmission cables, mounts and other appurtenances are as specified in Table 1 and the referenced drawings.

This analysis may be affected if any assumptions are not valid or have been made in error. Crown Castle should be notified to determine the effect on the structural integrity of the tower.

#### 4) ANALYSIS RESULTS

**Table 3 - Section Capacity (Summary)**

Section No.	Elevation (ft)	Component Type	Size	Critical Element	P (K)	SF*P_allow (K)	% Capacity	Pass / Fail
L1	63.5 - 37.83	Pole	TP25.52x22.69x0.1875	1	-5.7580	913.1871	19.6	Pass
L2	37.83 - 0	Pole	TP32.61x24.7933x0.25	2	-10.1069	1577.2469	28.4	Pass
							Summary	
						Pole (L2)	28.4	Pass
						Rating =	28.4	Pass

**Table 4 - Tower Component Stresses vs. Capacity - LC5**

Notes	Component	Elevation (ft)	% Capacity	Pass / Fail
1	Anchor Rods	0	24.4	Pass
1	Base Plate	0	20.6	Pass
1	Base Foundation (Structure)	0	19.7	Pass
1	Base Foundation (Soil Interaction)	0	33.2	Pass

<b>Structure Rating (max from all components) =</b>	<b>33.2%</b>
---	--------------

**Notes:**

- 1) See additional documentation in "Appendix C - Additional Calculations" for calculations supporting the % capacity consumed.

#### 4.1) Recommendations

The tower and its foundation have sufficient capacity to carry the proposed load configuration. No modifications are required at this time.

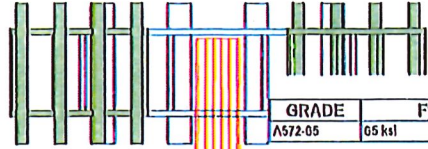
APPENDIX A  
TNXTOWER OUTPUT

Section	1	2
Length (ft)	25.5700	41.0200
Number of Sides	18	18
Thickness (in)	0.1875	0.2500
Socket Length (ft)	3.1500	24.7923
Top Dia (in)	22.6500	32.6100
Bot Dia (in)	25.5200	
Grade		A572-65
Weight (K)	1.2	3.2

03.5 ft

37.0 ft

0.0 ft



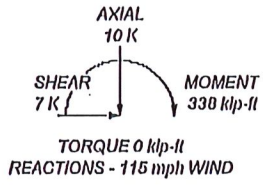
MATERIAL STRENGTH					
GRADE	Fy	Fu	GRADE	Fy	Fu
A572-65	65 ksi	80 ksi			

**TOWER DESIGN NOTES**

1. Tower is located in Dona Ana County, New Mexico.
2. Tower designed for Exposure C to the TIA-222-H Standard.
3. Tower designed for a 115 mph basic wind in accordance with the TIA-222-H Standard.
4. Deflections are based upon a 60 mph wind.
5. Tower Risk Category II.
6. Topographic Category 1 with Crest Height of 0.0000 ft
7. TOWER RATING: 20.4%



ALL REACTIONS ARE FACTORED



<b>CROWN CASTLE</b> The Pathway to Possible		<b>Crown Castle</b> 2000 Corporate Drive Canonsburg, PA 15317 Phone: (724) 416-2000 FAX:		Job: <b>BU# 050163</b> Project: Client: <b>Crown Castle</b> Code: <b>TIA-222-H</b> Path:		Drawn by: <b>NCVetic</b> Date: <b>10/11/22</b> Scale: <b>NTS</b> Dwg No. <b>E-1</b>	
				<small>Industries Eastern Wood Area 450290 45222241111 VSP 1163713 - EAD of 8331101</small>			



## Tower Input Data

The tower is a monopole.  
 This tower is designed using the TIA-222-H standard.  
 The following design criteria apply:

- Tower is located in Dona Ana County, New Mexico.
- Tower base elevation above sea level: 3882.0000 ft.
- Basic wind speed of 115 mph.
- Risk Category II.
- Exposure Category C.
- Simplified Topographic Factor Procedure for wind speed-up calculations is used.
- Topographic Category: 1.
- Crest Height: 0.0000 ft.
- Deflections calculated using a wind speed of 60 mph.
- A non-linear (P-delta) analysis was used.
- Pressures are calculated at each section.
- Stress ratio used in pole design is 1.
- Tower analysis based on target reliabilities in accordance with Annex S.
- Load Modification Factors used:  $K_{res}(F_w) = 0.95$ .
- Maximum demand-capacity ratio is: 1.05.
- Local bending stresses due to climbing loads, feed line supports, and appurtenance mounts are not considered.

## Options

- |  |   |   |
|--|---|---|
| Consider Moments - Legs<br>Consider Moments - Horizontals<br>Consider Moments - Diagonals<br>Use Moment Magnification<br>✓ Use Code Stress Ratios<br>✓ Use Code Safety Factors - Guys<br>Escalate Ice<br>Always Use Max Kz<br>Use Special Wind Profile<br><br>Include Bolts In Member Capacity<br><br>Leg Bolts Are At Top Of Section<br>Secondary Horizontal Braces Leg<br>Use Diamond Inner Bracing (4 Sided)<br>SR Members Have Cut Ends<br>SR Members Are Concentric | Distribute Leg Loads As Uniform<br>Assume Legs Pinned<br>✓ Assume Rigid Index Plate<br>✓ Use Clear Spans For Wind Area<br>Use Clear Spans For KL/r<br>Retension Guys To Initial Tension<br>✓ Bypass Mast Stability Checks<br>✓ Use Azimuth Dish Coefficients<br>✓ Project Wind Area of Appur.<br><br>Autocalc Torque Arm Areas<br><br>Add IBC .6D+W Combination<br>✓ Sort Capacity Reports By Component<br>Triangulate Diamond Inner Bracing<br>Treat Feed Line Bundles As Cylinder<br>Ignore KL/r For 60 Deg. Angle Legs | Use ASCE 10 X-Brace Ly Rules<br>Calculate Redundant Bracing Forces<br>Ignore Redundant Members In FEA<br>SR Leg Bolts Resist Compression<br>All Leg Panels Have Same Allowable<br>Offset Girt At Foundation<br>✓ Consider Feed Line Torque<br>Include Angle Block Shear Check<br>Use TIA-222-H Bracing Resist.<br>Exemption<br>Use TIA-222-H Tension Splice<br>Exemption<br>Poles<br>✓ Include Shear-Torsion Interaction<br>Always Use Sub-Critical Flow<br>Use Top Mounted Sockets<br>✓ Pole Without Linear Attachments<br>Pole With Shroud Or No<br>Appurtenances<br>Outside and Inside Corner Radil Are<br>Known |
|--|---|---|

## Tapered Pole Section Geometry

Section	Elevation ft	Section Length ft	Splice Length ft	Number of Sides	Top Diameter in	Bottom Diameter in	Wall Thickness in	Bend Radius in	Pole Grade
L1	63.5000- 37.8300	25.6700	3.1900	18	22.6900	25.5200	0.1875	0.7500	A572-65 (65 ksi)
L2	37.8300- 0.0000	41.0200		18	24.7933	32.6100	0.2500	1.0000	A572-65 (65 ksi)

**Tapered Pole Properties**

Section	Tip Dia. In	Area In <sup>2</sup>	I In <sup>4</sup>	r In	C In	I/C In <sup>3</sup>	J In <sup>4</sup>	I/Q In <sup>2</sup>	w In	w/I
L1	23.0111	13.3918	856.7181	7.9884	11.5265	74.3258	1714.5635	6.6972	3.6634	19.538
	25.8848	15.0760	1222.3056	8.9930	12.9642	84.2834	2446.2195	7.5394	4.1615	22.195
L2	25.7545	19.4761	1482.1227	8.7129	12.5950	117.6754	2966.1956	9.7394	3.9236	15.694
	33.0745	25.6777	3397.1124	11.4878	16.5659	205.0668	6798.6949	12.8413	5.2994	21.197

Tower Elevation	Gusset Area (per face)	Gusset Thickness	Gusset Grade	Adjust. Factor A <sub>r</sub>	Adjust. Factor A <sub>t</sub>	Weight Mult.	Double Angle Slitch Bolt Spacing Diagonals	Double Angle Slitch Bolt Spacing Horizontals	Double Angle Slitch Bolt Spacing Redundants
ft	ft <sup>2</sup>	In					In	In	In
L1 63.5000-37.8300				1	1	1			
L2 37.8300-0.0000				1	1	1			

**Feed Line/Linear Appurtenances - Entered As Round Or Flat**

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Total Number	Number Per Row	Clear Spacing In	Width or Diameter r In	Perimeter r In	Weight plf
**											

**Feed Line/Linear Appurtenances - Entered As Area**

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Total Number	C <sub>A</sub> A <sub>A</sub> ft <sup>2</sup> /ft	Weight plf
Safety Line 3/8	C	No	No	CaAa (Out Of Face)	63.5000 - 0.0000	1	No Ice 0.0375	0.2200
5/8 rod/step	C	No	No	CaAa (Out Of Face)	63.5000 - 0.0000	1	No Ice 0.0200	0.2740
**								
PWRT-608-S(7/8)	C	No	No	Inside Pole	62.0000 - 0.0000	3	No Ice 0.0000	0.8900
PWRT-608-S(13/16)	C	No	No	Inside Pole	62.0000 - 0.0000	2	No Ice 0.0000	0.6200
RFFT-36SM-001-XXM(3/8)	C	No	No	Inside Pole	62.0000 - 0.0000	2	No Ice 0.0000	0.0910
PWRT-608-S(13/16)	C	No	No	Inside Pole	62.0000 - 0.0000	2	No Ice 0.0000	0.6200
RFFT-48SM-001-XXX(3/8)	C	No	No	Inside Pole	62.0000 - 0.0000	1	No Ice 0.0000	0.0600
**								

**Feed Line/Linear Appurtenances Section Areas**

Tower Section	Tower Elevation	Face	A <sub>R</sub> ft <sup>2</sup>	A <sub>F</sub> ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> In Face ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> Out Face ft <sup>2</sup>	Weight K
L1	63.5000-37.8300	A	0.000	0.000	0.000	0.000	0.0000

Tower Section	Tower Elevation	Face	$A_R$	$A_F$	$C_A A_A$ In Face	$C_A A_A$ Out Face	Weight
n	ft		ft <sup>2</sup>	ft <sup>2</sup>	ft <sup>2</sup>	ft <sup>2</sup>	K
L2	37,8300-0.0000	B	0.000	0.000	0.000	0.000	0.0000
		C	0.000	0.000	0.000	1.476	0.1430
		A	0.000	0.000	0.000	0.000	0.0000
		B	0.000	0.000	0.000	0.000	0.0000
		C	0.000	0.000	0.000	2.175	0.2227

### Feed Line Center of Pressure

Section	Elevation	$CP_x$	$CP_z$	$CP_x$ Ice	$CP_z$ Ice
	ft	in	in	in	in
L1	63,5000-37,8300	-0.4476	0.2584	-0.2611	0.1508
L2	37,8300-0.0000	-0.4509	0.2603	-0.2622	0.1514

Note: For pole sections, center of pressure calculations do not consider feed line shielding.

### Discrete Tower Loads

Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft	Azimuth Adjustment	Placement ft
AIR 6449 B77D_CCIV3 w/ Mount Pipe	A	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
AIR 6449 B77D_CCIV3 w/ Mount Pipe	B	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
AIR 6449 B77D_CCIV3 w/ Mount Pipe	C	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
DC9-48-60-24-8C-EV_CCIV2	A	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
SBNHH-1D65B w/ Mount Pipe	A	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
SBNHH-1D65B w/ Mount Pipe	B	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
SBNHH-1D65B w/ Mount Pipe	C	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
(2) NNHH-65B-R4_CCIV2 w/ Mount Pipe	A	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
(2) NNHH-65B-R4_CCIV2 w/ Mount Pipe	B	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
(2) NNHH-65B-R4_CCIV2 w/ Mount Pipe	C	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
RRUS 32 B66A	A	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
RRUS 32 B66A	B	From Leg	4.0000 0.0000	0.0000	62.0000

Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustment °	Placement ft
RRUS 32 B66A	C	From Leg	3.0000 4.0000 0.0000 3.0000	0.0000	62.0000
RRUS 4449 B5/B12	A	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
RRUS 4449 B5/B12	B	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
RRUS 4449 B5/B12	C	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
RRUS 4478 B14_CCIV2	A	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
RRUS 4478 B14_CCIV2	B	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
RRUS 4478 B14_CCIV2	C	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
DC6-48-60-18-8F	A	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
DC6-48-60-18-8F_CCIV2	B	From Leg	4.0000 0.0000 3.0000	0.0000	62.0000
Platform Mount [LP 301-1_KCKR] **	C	None		0.0000	62.0000

### Load Combinations

Comb. No.	Description
1	Dead Only
2	1.2 Dead+1.0 Wind 0 deg - No Ice
3	0.9 Dead+1.0 Wind 0 deg - No Ice
4	1.2 Dead+1.0 Wind 30 deg - No Ice
5	0.9 Dead+1.0 Wind 30 deg - No Ice
6	1.2 Dead+1.0 Wind 60 deg - No Ice
7	0.9 Dead+1.0 Wind 60 deg - No Ice
8	1.2 Dead+1.0 Wind 90 deg - No Ice
9	0.9 Dead+1.0 Wind 90 deg - No Ice
10	1.2 Dead+1.0 Wind 120 deg - No Ice
11	0.9 Dead+1.0 Wind 120 deg - No Ice
12	1.2 Dead+1.0 Wind 150 deg - No Ice
13	0.9 Dead+1.0 Wind 150 deg - No Ice
14	1.2 Dead+1.0 Wind 180 deg - No Ice
15	0.9 Dead+1.0 Wind 180 deg - No Ice
16	1.2 Dead+1.0 Wind 210 deg - No Ice
17	0.9 Dead+1.0 Wind 210 deg - No Ice
18	1.2 Dead+1.0 Wind 240 deg - No Ice
19	0.9 Dead+1.0 Wind 240 deg - No Ice
20	1.2 Dead+1.0 Wind 270 deg - No Ice
21	0.9 Dead+1.0 Wind 270 deg - No Ice
22	1.2 Dead+1.0 Wind 300 deg - No Ice
23	0.9 Dead+1.0 Wind 300 deg - No Ice
24	1.2 Dead+1.0 Wind 330 deg - No Ice

Comb. No.	Description
25	0.9 Dead+1.0 Wind 330 deg - No Ice
26	Dead+Wind 0 deg - Service
27	Dead+Wind 30 deg - Service
28	Dead+Wind 60 deg - Service
29	Dead+Wind 90 deg - Service
30	Dead+Wind 120 deg - Service
31	Dead+Wind 150 deg - Service
32	Dead+Wind 180 deg - Service
33	Dead+Wind 210 deg - Service
34	Dead+Wind 240 deg - Service
35	Dead+Wind 270 deg - Service
36	Dead+Wind 300 deg - Service
37	Dead+Wind 330 deg - Service

### Maximum Member Forces

Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Axial K	Major Axis Moment klp-ft	Minor Axis Moment klp-ft
L1	63.5 - 37.83	Pole	Max. Tension	8	0.0000	0.0000	-0.0000
			Max. Compression	16	-5.7582	50.7360	-87.8720
			Max. Mx	8	-5.7581	-101.7302	0.1508
			Max. My	2	-5.7580	-0.0840	101.7966
			Max. Vy	8	4.9124	-101.7302	0.1508
			Max. Vx	2	-4.9124	-0.0840	101.7966
			Max. Torque	13			0.5374
			Max. Tension	1	0.0000	0.0000	0.0000
			Max. Compression	16	-10.1069	168.6768	-292.1246
			Max. Mx	8	-10.1069	-337.5410	0.1402
L2	37.83 - 0	Pole	Max. Tension	1	0.0000	0.0000	0.0000
			Max. Compression	16	-10.1069	168.6768	-292.1246
			Max. Mx	8	-10.1069	-337.5410	0.1402
			Max. My	2	-10.1069	-0.0623	337.6189
			Max. Vy	8	6.5606	-337.5410	0.1402
			Max. Vx	2	-6.5606	-0.0623	337.6189
			Max. Torque	13			0.4941

### Maximum Reactions

Location	Condition	Gov. Load Comb.	Vertical K	Horizontal, X K	Horizontal, Z K
Pole	Max. Vert	2	10.1101	0.0000	6.5556
	Max. H <sub>x</sub>	21	7.5826	6.5556	0.0000
	Max. H <sub>z</sub>	2	10.1101	0.0000	6.5556
	Max. M <sub>x</sub>	2	337.6189	0.0000	6.5556
	Max. M <sub>z</sub>	8	337.5410	-6.5556	0.0000
	Max. Torsion	13	0.4244	-3.2778	-5.6773
	Min. Vert	17	7.5826	3.2778	-5.6773
	Min. H <sub>x</sub>	8	10.1101	-6.5556	0.0000
	Min. H <sub>z</sub>	14	10.1101	0.0000	-6.5556
	Min. M <sub>x</sub>	14	-337.3382	0.0000	-6.5556
	Min. M <sub>z</sub>	20	-337.4160	6.5556	0.0000
	Min. Torsion	25	-0.4244	3.2778	5.6773

### Tower Mast Reaction Summary

Load Combination	Vertical K	Shear <sub>x</sub> K	Shear <sub>z</sub> K	Overturning Moment, M <sub>x</sub> klp-ft	Overturning Moment, M <sub>z</sub> klp-ft	Torque klp-ft
Dead Only	8.4251	0.0000	0.0000	-0.1138	-0.0605	0.0000
1.2 Dead+1.0 Wind 0 deg -	10.1101	0.0000	-6.5556	-337.6189	-0.0623	0.3180

Load Combination	Vertical K	Shear <sub>x</sub> K	Shear <sub>z</sub> K	Overturning Moment, M <sub>x</sub> klp-ft	Overturning Moment, M <sub>z</sub> klp-ft	Torque klp-ft
No Ice						
0.9 Dead+1.0 Wind 0 deg - No Ice	7.5826	0.0000	-6.5556	-336.2842	-0.0463	0.3181
1.2 Dead+1.0 Wind 30 deg - No Ice	10.1101	3.2778	-5.6773	-292.4054	-168.8017	0.1266
0.9 Dead+1.0 Wind 30 deg - No Ice	7.5826	3.2778	-5.6773	-291.2447	-168.1363	0.1266
1.2 Dead+1.0 Wind 60 deg - No Ice	10.1101	5.6773	-3.2778	-168.8796	-292.3275	-0.0987
0.9 Dead+1.0 Wind 60 deg - No Ice	7.5826	5.6773	-3.2778	-168.1944	-291.1867	-0.0988
1.2 Dead+1.0 Wind 90 deg - No Ice	10.1101	6.5556	0.0000	-0.1401	-337.5410	-0.2976
0.9 Dead+1.0 Wind 90 deg - No Ice	7.5826	6.5556	0.0000	-0.1044	-336.2262	-0.2978
1.2 Dead+1.0 Wind 120 deg - No Ice	10.1101	5.6773	3.2778	168.5992	-292.3273	-0.4168
0.9 Dead+1.0 Wind 120 deg - No Ice	7.5826	5.6773	3.2778	167.9855	-291.1866	-0.4169
1.2 Dead+1.0 Wind 150 deg - No Ice	10.1101	3.2778	5.6773	292.1248	-168.8015	-0.4242
0.9 Dead+1.0 Wind 150 deg - No Ice	7.5826	3.2778	5.6773	291.0358	-168.1362	-0.4244
1.2 Dead+1.0 Wind 180 deg - No Ice	10.1101	0.0000	6.5556	337.3382	-0.0623	-0.3180
0.9 Dead+1.0 Wind 180 deg - No Ice	7.5826	0.0000	6.5556	336.0752	-0.0463	-0.3181
1.2 Dead+1.0 Wind 210 deg - No Ice	10.1101	-3.2778	5.6773	292.1246	168.6769	-0.1266
0.9 Dead+1.0 Wind 210 deg - No Ice	7.5826	-3.2778	5.6773	291.0356	168.0434	-0.1266
1.2 Dead+1.0 Wind 240 deg - No Ice	10.1101	-5.6773	3.2778	168.5989	292.2024	0.0987
0.9 Dead+1.0 Wind 240 deg - No Ice	7.5826	-5.6773	3.2778	167.9854	291.0937	0.0988
1.2 Dead+1.0 Wind 270 deg - No Ice	10.1101	-6.5556	0.0000	-0.1402	337.4160	0.2976
0.9 Dead+1.0 Wind 270 deg - No Ice	7.5826	-6.5556	0.0000	-0.1044	336.1332	0.2978
1.2 Dead+1.0 Wind 300 deg - No Ice	10.1101	-5.6773	-3.2778	-168.8793	292.2026	0.4168
0.9 Dead+1.0 Wind 300 deg - No Ice	7.5826	-5.6773	-3.2778	-168.1942	291.0938	0.4169
1.2 Dead+1.0 Wind 330 deg - No Ice	10.1101	-3.2778	-5.6773	-292.4051	168.6770	0.4242
0.9 Dead+1.0 Wind 330 deg - No Ice	7.5826	-3.2778	-5.6773	-291.2446	168.0436	0.4244
Dead+Wind 0 deg - Service	8.4251	0.0000	-1.6821	-86.5152	-0.0518	0.0816
Dead+Wind 30 deg - Service	8.4251	0.8410	-1.4567	-74.9399	-43.2512	0.0291
Dead+Wind 60 deg - Service	8.4251	1.4567	-0.8410	-43.3158	-74.8753	-0.0313
Dead+Wind 90 deg - Service	8.4251	1.6821	0.0000	-0.1165	-86.4505	-0.0832
Dead+Wind 120 deg - Service	8.4251	1.4567	0.8410	43.0829	-74.8753	-0.1129
Dead+Wind 150 deg - Service	8.4251	0.8410	1.4567	74.7070	-43.2512	-0.1123
Dead+Wind 180 deg - Service	8.4251	0.0000	1.6821	86.2822	-0.0518	-0.0816
Dead+Wind 210 deg - Service	8.4251	-0.8410	1.4567	74.7069	43.1475	-0.0291
Dead+Wind 240 deg - Service	8.4251	-1.4567	0.8410	43.0828	74.7716	0.0313
Dead+Wind 270 deg - Service	8.4251	-1.6821	0.0000	-0.1165	86.3468	0.0832
Dead+Wind 300 deg - Service	8.4251	-1.4567	-0.8410	-43.3158	74.7716	0.1129
Dead+Wind 330 deg - Service	8.4251	-0.8410	-1.4567	-74.9399	43.1475	0.1123

### Solution Summary

Load Comb.	Sum of Applied Forces			Sum of Reactions			% Error
	PX K	PY K	PZ K	PX K	PY K	PZ K	
1	0.0000	-8.4251	0.0000	0.0000	8.4251	0.0000	0.000%
2	0.0000	-10.1101	-6.5556	0.0000	10.1101	6.5556	0.000%
3	0.0000	-7.5826	-6.5556	0.0000	7.5826	6.5556	0.000%
4	3.2778	-10.1101	-5.6773	-3.2778	10.1101	5.6773	0.000%
5	3.2778	-7.5826	-5.6773	-3.2778	7.5826	5.6773	0.000%
6	5.6773	-10.1101	-3.2778	-5.6773	10.1101	3.2778	0.000%
7	5.6773	-7.5826	-3.2778	-5.6773	7.5826	3.2778	0.000%
8	6.5556	-10.1101	0.0000	-6.5556	10.1101	0.0000	0.000%
9	6.5556	-7.5826	0.0000	-6.5556	7.5826	0.0000	0.000%
10	5.6773	-10.1101	3.2778	-5.6773	10.1101	-3.2778	0.000%
11	5.6773	-7.5826	3.2778	-5.6773	7.5826	-3.2778	0.000%
12	3.2778	-10.1101	5.6773	-3.2778	10.1101	-5.6773	0.000%
13	3.2778	-7.5826	5.6773	-3.2778	7.5826	-5.6773	0.000%
14	0.0000	-10.1101	6.5556	0.0000	10.1101	-6.5556	0.000%
15	0.0000	-7.5826	6.5556	0.0000	7.5826	-6.5556	0.000%
16	-3.2778	-10.1101	5.6773	3.2778	10.1101	-5.6773	0.000%
17	-3.2778	-7.5826	5.6773	3.2778	7.5826	-5.6773	0.000%
18	-5.6773	-10.1101	3.2778	5.6773	10.1101	-3.2778	0.000%
19	-5.6773	-7.5826	3.2778	5.6773	7.5826	-3.2778	0.000%
20	-6.5556	-10.1101	0.0000	6.5556	10.1101	0.0000	0.000%
21	-6.5556	-7.5826	0.0000	6.5556	7.5826	0.0000	0.000%
22	-5.6773	-10.1101	-3.2778	5.6773	10.1101	3.2778	0.000%
23	-5.6773	-7.5826	-3.2778	5.6773	7.5826	3.2778	0.000%
24	-3.2778	-10.1101	-5.6773	3.2778	10.1101	5.6773	0.000%
25	-3.2778	-7.5826	-5.6773	3.2778	7.5826	5.6773	0.000%
26	0.0000	-8.4251	-1.6821	0.0000	8.4251	1.6821	0.000%
27	0.8410	-8.4251	-1.4567	-0.8410	8.4251	1.4567	0.000%
28	1.4567	-8.4251	-0.8410	-1.4567	8.4251	0.8410	0.000%
29	1.6821	-8.4251	0.0000	-1.6821	8.4251	0.0000	0.000%
30	1.4567	-8.4251	0.8410	-1.4567	8.4251	-0.8410	0.000%
31	0.8410	-8.4251	1.4567	-0.8410	8.4251	-1.4567	0.000%
32	0.0000	-8.4251	1.6821	0.0000	8.4251	-1.6821	0.000%
33	-0.8410	-8.4251	1.4567	0.8410	8.4251	-1.4567	0.000%
34	-1.4567	-8.4251	0.8410	1.4567	8.4251	-0.8410	0.000%
35	-1.6821	-8.4251	0.0000	1.6821	8.4251	0.0000	0.000%
36	-1.4567	-8.4251	-0.8410	1.4567	8.4251	0.8410	0.000%
37	-0.8410	-8.4251	-1.4567	0.8410	8.4251	1.4567	0.000%

### Non-Linear Convergence Results

Load Combination	Converged?	Number of Cycles	Displacement Tolerance	Force Tolerance
1	Yes	4	0.00000001	0.00000001
2	Yes	4	0.00000001	0.00007612
3	Yes	4	0.00000001	0.00005024
4	Yes	4	0.00000001	0.00023806
5	Yes	4	0.00000001	0.00015453
6	Yes	4	0.00000001	0.00023132
7	Yes	4	0.00000001	0.00015000
8	Yes	4	0.00000001	0.00006767
9	Yes	4	0.00000001	0.00004460
10	Yes	4	0.00000001	0.00019346
11	Yes	4	0.00000001	0.00012505
12	Yes	4	0.00000001	0.00028154
13	Yes	4	0.00000001	0.00018398
14	Yes	4	0.00000001	0.00007600
15	Yes	4	0.00000001	0.00005018
16	Yes	4	0.00000001	0.00020620
17	Yes	4	0.00000001	0.00013339
18	Yes	4	0.00000001	0.00021064

19	Yes	4	0,00000001	0,00013636
20	Yes	4	0,00000001	0,00006762
21	Yes	4	0,00000001	0,00004457
22	Yes	4	0,00000001	0,00027962
23	Yes	4	0,00000001	0,00018281
24	Yes	4	0,00000001	0,00019375
25	Yes	4	0,00000001	0,00012519
26	Yes	4	0,00000001	0,00000001
27	Yes	4	0,00000001	0,00000001
28	Yes	4	0,00000001	0,00000001
29	Yes	4	0,00000001	0,00000001
30	Yes	4	0,00000001	0,00000001
31	Yes	4	0,00000001	0,00000001
32	Yes	4	0,00000001	0,00000001
33	Yes	4	0,00000001	0,00000001
34	Yes	4	0,00000001	0,00000001
35	Yes	4	0,00000001	0,00000001
36	Yes	4	0,00000001	0,00000001
37	Yes	4	0,00000001	0,00000001

**Maximum Tower Deflections - Service Wind**

Section No.	Elevation ft	Horz. Deflection In	Gov. Load Comb.	Tilt °	Twist °
L1	63,5 - 37,83	2,6643	27	0,3372	0,0018
L2	41,02 - 0	1,2049	27	0,2593	0,0008

**Critical Deflections and Radius of Curvature - Service Wind**

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection In	Tilt °	Twist °	Radius of Curvature ft
62,0000	AIR 6449 B77D_CCIIV3 w/ Mount Pipe	27	2,5576	0,3327	0,0018	32126

**Maximum Tower Deflections - Design Wind**

Section No.	Elevation ft	Horz. Deflection In	Gov. Load Comb.	Tilt °	Twist °
L1	63,5 - 37,83	10,3900	4	1,3136	0,0070
L2	41,02 - 0	4,7012	4	1,0115	0,0030

**Critical Deflections and Radius of Curvature - Design Wind**

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection In	Tilt °	Twist °	Radius of Curvature ft
62,0000	AIR 6449 B77D_CCIIV3 w/ Mount Pipe	4	9,9738	1,2964	0,0067	8254



### Compression Checks

### Pole Design Data

Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	K/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio P <sub>u</sub> / φP <sub>n</sub>
L1	63.5 - 37.83 (1)	TP25.52x22.69x0.1875	25.670 0	0.0000	0.0	14.866 7	-5.7580	869.7020	0.007
L2	37.83 - 0 (2)	TP32.61x24.7933x0.25	41.020 0	0.0000	0.0	25.677 7	-10.1069	1502.1400	0.007

### Pole Bending Design Data

Section No.	Elevation ft	Size	M <sub>ux</sub> kip-ft	φM <sub>ux</sub> kip-ft	Ratio M <sub>ux</sub> / φM <sub>ux</sub>	M <sub>uy</sub> kip-ft	φM <sub>uy</sub> kip-ft	Ratio M <sub>uy</sub> / φM <sub>uy</sub>
L1	63.5 - 37.83 (1)	TP25.52x22.69x0.1875	101.8192	513.2542	0.198	0.0000	513.2542	0.000
L2	37.83 - 0 (2)	TP32.61x24.7933x0.25	337.6317	1160.1750	0.291	0.0000	1160.1750	0.000

### Pole Shear Design Data

Section No.	Elevation ft	Size	Actual V <sub>u</sub> K	φV <sub>n</sub> K	Ratio V <sub>u</sub> / φV <sub>n</sub>	Actual T <sub>u</sub> kip-ft	φT <sub>n</sub> kip-ft	Ratio T <sub>u</sub> / φT <sub>n</sub>
L1	63.5 - 37.83 (1)	TP25.52x22.69x0.1875	4.9125	260.9110	0.019	0.1657	570.7933	0.000
L2	37.83 - 0 (2)	TP32.61x24.7933x0.25	6.5606	450.6430	0.015	0.1285	1277.0917	0.000

### Pole Interaction Design Data

Section No.	Elevation ft	Ratio P <sub>u</sub> / φP <sub>n</sub>	Ratio M <sub>ux</sub> / φM <sub>ux</sub>	Ratio M <sub>uy</sub> / φM <sub>uy</sub>	Ratio V <sub>u</sub> / φV <sub>n</sub>	Ratio T <sub>u</sub> / φT <sub>n</sub>	Comb. Stress Ratio	Allow. Stress Ratio	Criteria
L1	63.5 - 37.83 (1)	0.007	0.198	0.000	0.019	0.000	0.205	1.050	4.8,2
L2	37.83 - 0 (2)	0.007	0.291	0.000	0.015	0.000	0.298	1.050	4.8,2

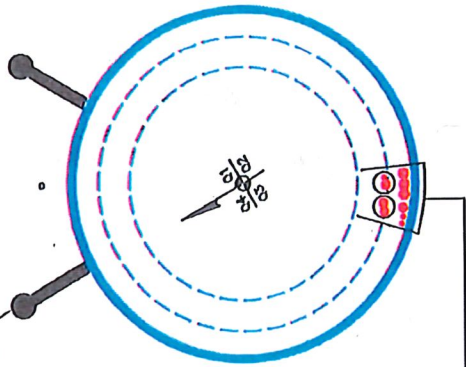
### Section Capacity Table

Section No.	Elevation ft	Component Type	Size	Critical Element	P K	φP <sub>allow</sub> K	% Capacity	Pass Fail
L1	63.5 - 37.83	Pole	TP25.52x22.69x0.1875	1	-5.7580	913.1871	19.6	Pass
L2	37.83 - 0	Pole	TP32.61x24.7933x0.25	2	-10.1069	1577.2469	28.4	Pass
Summary								
Pole (L2)							28.4	Pass
RATING =							28.4	Pass

**APPENDIX B**  
**BASE LEVEL DRAWING**



CLIMBING FEES  
W/ SAFETY CLIMB



- (PROPOSED)
- (1) 3/8" TO 62 FT LEVEL
  - (2) 15/16" TO 62 FT LEVEL
  - (3) 3/8" TO 62 FT LEVEL
  - (1) 15/16" TO 62 FT LEVEL
  - (3) 7/8" TO 62 FT LEVEL

APPENDIX C  
ADDITIONAL CALCULATIONS

# Monopole Base Plate Connection

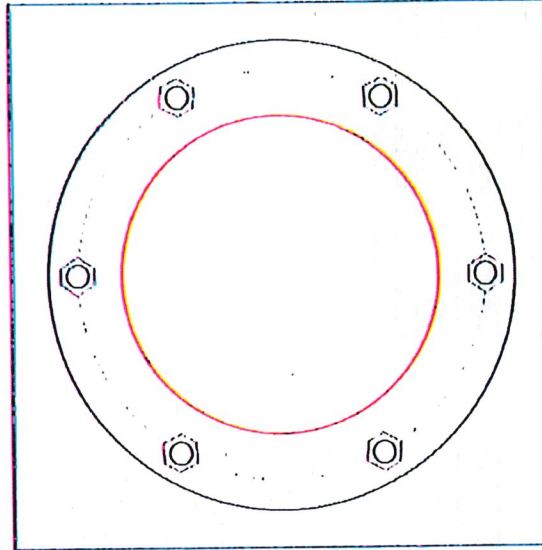


Site Info	
BU #	858163
Site Name	ALLTEL_NMLC_ELP_PIC
Order #	624467 Rev. 0

Analysis Considerations	
TIA-222 Revision	H
Grout Considered:	No
$I_{gr}$ (in)	0.25

Applied Loads	
Moment (kip-ft)	337.63
Axial Force (klps)	10.11
Shear Force (klps)	6.56

\*TIA-222-II Section 15.5 Applied



Connection Properties	Analysis Results		
<b>Anchor Rod Data</b>	<i>(units of klps, kip-in)</i>		
(6) 2-1/4" $\phi$ bolts (A615-75 N; Fy=75 ksi, Fu=100 ksi) on 42" BC	<b>Anchor Rod Summary</b>	$Pu_t = 62.55$	$\phi Pn_t = 243.75$ Stress Rating
<b>Base Plate Data</b>	$Vu = 1.09$	$\phi Vn = 149.1$	24.4%
48" OD x 2" Plate (A572-60; Fy=60 ksi, Fu=75 ksi)	$Mu = n/a$	$\phi Mn = n/a$	Pass
<b>Stiffener Data</b>	<b>Base Plate Summary</b>	<b>Max Stress (ksi):</b>	11.69    (Flexural)
N/A	<b>Allowable Stress (ksi):</b>	54	
<b>Pole Data</b>	<b>Stress Rating:</b>	20.6%	Pass
32.61" x 0.25" 18-sided pole (A572-65; Fy=65 ksi, Fu=80 ksi)			

# Drilled Pier Foundation

BU #: 8368163  
 Site Name: ZOD\_ALLTEL\_NMLC\_ELP  
 Order Number: 624467 Rev. 0  
 TIA-222 Revision: H  
 Tower Type: Monopole



Check Limitation	
Apply TIA-222-H Section 15.5:	<input checked="" type="checkbox"/> N/A <input type="checkbox"/>
Additional Longitudinal Rebar	
Input Effective Depths (else Actual):	<input checked="" type="checkbox"/>
Shear Design Options	
Check Shear along Depth of Pier:	<input checked="" type="checkbox"/>
Utilize Shear-Friction Methodology:	<input type="checkbox"/>
Override Critical Depth:	<input type="checkbox"/>

[Go to Soil Calculations](#)

Analysis Results		
Soil Lateral Check	Compression	Uplift
D <sub>50</sub> (ft from TOC)	4.89	-
Soil Safety Factor	3.81	-
Max Moment (kip-ft)	363.04	-
Rating*	33.2%	-
Soil Vertical Check		
Skin Friction (kips)	52.28	-
End Bearing (kips)	333.84	-
Weight of Concrete (kips)	81.29	-
Total Capacity (kips)	386.12	-
Axial (kips)	91.40	-
Rating*	22.8%	-
Reinforced Concrete Flexure		
Critical Depth (ft from TOC)	4.24	-
Critical Moment (kip-ft)	363.00	-
Critical Moment Capacity	1750.71	-
Rating*	19.7%	-
Reinforced Concrete Shear		
Critical Depth (ft from TOC)	13.70	-
Critical Shear (kip)	39.02	-
Critical Shear Capacity	234.59	-
Rating*	75.8%	-
Structural Foundation Rating*	19.7%	-
Soil Interaction Rating*	33.2%	-

\*Rating per TIA-222-H Section 15.5

### Rebar & Pier Options

### Embedded Pole Inputs

### Rebar Pier Inputs

Applied Loads		
	Comp.	Uplift
Moment (kip-ft)	337.63	
Axial Force (kips)	10.11	
Shear Force (kips)	6.56	
Material Properties		
Concrete Strength, f <sub>c</sub>	3 ksi	
Rebar Strength, F <sub>y</sub>	60 ksi	
Tie Yield Strength, F <sub>yT</sub>	ksi	
Pier Design Data		
Depth	22.67 ft	
Ext. Above Grade	0.33 ft	
Pier Section 1		
From 0.33' above grade to 22.67' below grade		
Pier Diameter	5 ft	
Rebar Quantity	20	
Rebar Size	8	
Clear Cover to Ties	4 in	
Tie Size	3	
Tie Spacing	in	

### Soil Profile

# of Layers: 2

Layer	Top (ft)	Bottom (ft)	Thickness (ft)	Y <sub>sat</sub> (pcf)	Y <sub>corrected</sub> (pcf)	Cohesion (ksf)	Angle of Friction (degrees)	Calculated Ultimate Skin Friction Comp (ksf)	Calculated Ultimate Skin Friction Uplift (ksf)	Ultimate Skin Friction Comp Override (ksf)	Ultimate Skin Friction Uplift Override (ksf)	Ult. Gross Bearing Capacity (ksf)	SPT Blow Count	Soil Type
1	0	2.5	2.5	110	150	0	0	0.000	0.000					Cohesionless
2	2.5	22.67	20.17	110	150	0.4	0	0.220	0.220			22.67		Cohesive

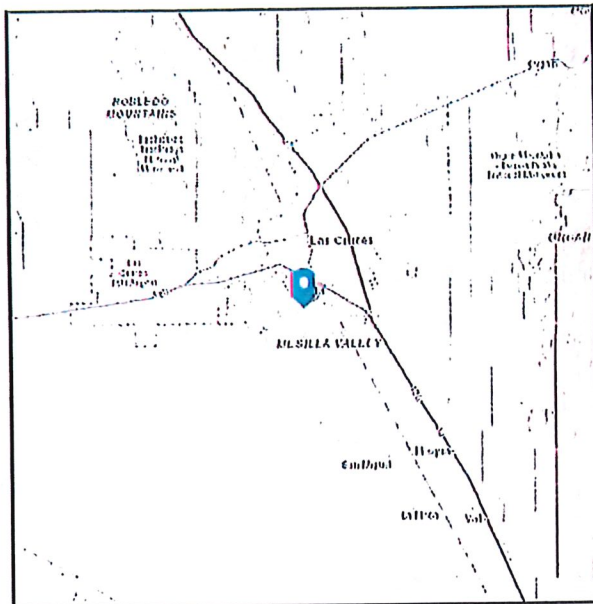
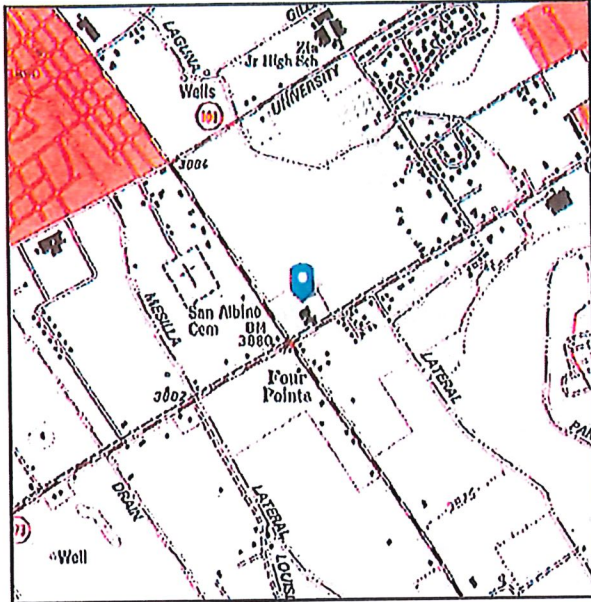


# ASCE 7 Hazards Report

**Address:**  
No Address at This  
Location

**Standard:** ASCE/SEI 7-10  
**Risk Category:** II  
**Soil Class:** D - Stiff Soil

**Elevation:** 3881.76 ft (NAVD 88)  
**Latitude:** 32.266306  
**Longitude:** -106.785333



## Wind

### Results:

Wind Speed:	115 Vmph
10-year MRI	76 Vmph
25-year MRI	84 Vmph
50-year MRI	90 Vmph
100-year MRI	96 Vmph

**Data Source:** ASCE/SEI 7-10, Fig. 26.5-1A and Figs. CC-1–CC-4, Incorporating errata of March 12, 2014

**Date Accessed:** Mon Aug 10 2020

Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-10 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years).

Site is not in a hurricane-prone region as defined in ASCE/SEI 7-10 Section 26.2.

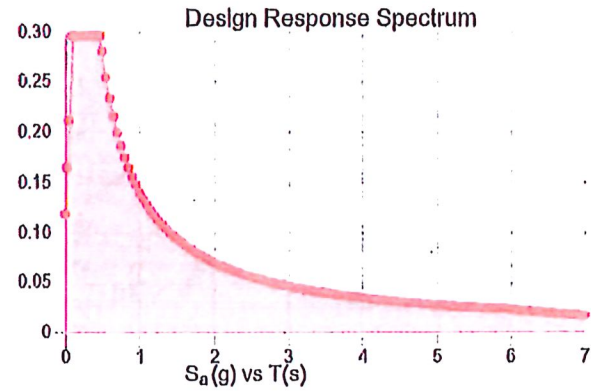
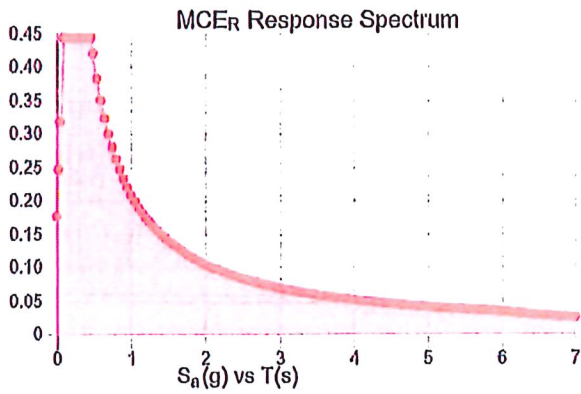
Mountainous terrain, gorges, ocean promontories, and special wind regions should be examined for unusual wind conditions.

Site Soil Class: D - Stiff Soil

Results:

$S_s$ :	0.282	$S_{DS}$ :	0.296
$S_1$ :	0.088	$S_{D1}$ :	0.14
$F_a$ :	1.574	$T_L$ :	6
$F_v$ :	2.4	PGA :	0.118
$S_{MS}$ :	0.444	PGA <sub>M</sub> :	0.185
$S_{M1}$ :	0.21	$F_{PGA}$ :	1.564
		$I_o$ :	1

Seismic Design Category C



Data Accessed:

Mon Aug 10 2020

Date Source:

USGS Seismic Design Maps based on ASCE/SEI 7-10, Incorporating Supplement 1 and errata of March 31, 2013, and ASCE/SEI 7-10 Table 1.5-2. Additional data for site-specific ground motion procedures in accordance with ASCE/SEI 7-10 Ch. 21 are available from USGS.





## Ice

---

### Results:

Ice Thickness: 0.00 in.  
Concurrent Temperature: 25 F  
Gust Speed: 30 mph

**Data Source:** Standard ASCE/SEI 7-10, Figs. 10-2 through 10-8

**Date Accessed:** Mon Aug 10 2020

Ice thicknesses on structures in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

Values provided are equivalent radial ice thicknesses due to freezing rain with concurrent 3-second gust speeds, for a 50-year mean recurrence interval, and temperatures concurrent with ice thicknesses due to freezing rain. Thicknesses for ice accretions caused by other sources shall be obtained from local meteorological studies. Ice thicknesses in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

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The ASCE 7 Hazard Tool is provided for your convenience, for informational purposes only, and is provided "as is" and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE 7 standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

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**AT&T SITE NUMBER:**  
**AT&T SITE NAME:**  
**AT&T FA CODE:**  
**AT&T PACE NUMBER:**  
**SITE TYPE:**

**WTEN005668**  
**NM/C ELP PICACHO**  
**10139214**  
**MRNTX083279**  
**MONOPOLE**

**BUSINESS UNIT #:** 858163  
**SITE ADDRESS:** 3585 AVENIDA DE MESSILLA (HIGHWAY 29)  
**COUNTY:** DONA ANA  
**TOWER HEIGHT:** 63'-6"

**PROJECT: AT&T PRIORITY**

**SITE INFORMATION**

**OWNER:** CROWN CASTLE USA, INC.  
**SITE NAME:** 3585 AVENIDA DE MESSILLA (HIGHWAY 29)  
**SITE ADDRESS:** LAS CRUCES, NM 89005  
**COUNTY:** DONA ANA  
**DATE/PROJECT:** 4-28-2009  
**AREA OF CONSTRUCTION:** ELECTRICAL  
**LONGITUDE:** 106° 57' 52.50"  
**LATITUDE:** 32° 17' 28.00"  
**HEIGHT:** 63' 6"  
**CONSTRUCTION:** MONOPOLE  
**CONSTRUCTION ZONE:** COUNTY OF DONA ANA, USA  
**JUSTIFICATION:** U  
**OCCUPANCY CLASSIFICATION:** III  
**TYPE OF CONSTRUCTION:** CELL TOWER IS UNPLANNED AND NOT FOR AEA CONFORMANCE  
**PROJECT OWNER:** HOLLAND INVESTMENT MANAGEMENT, INC.  
 1501 VALLEY VIEW LANE  
 FARMERSBURGH, TX 75741  
 LAS CRUCES, NM 89001

**PROJECT TEAM**

**CLIENT:** CROWN CASTLE USA, INC.  
 3585 AVENIDA DE MESSILLA (HIGHWAY 29)  
 LAS CRUCES, NM 89005  
**CONTRACT APPROVAL:** CROWN@CASTLE.COM  
**DESIGNER:** 1220 AVICOLA DRIVE, SUITE 200  
 HOUSTON, TX 77057  
**ARCHITECT:** PROJECT MANAGER  
 6142 352-6244  
**INSTALLER:** CONSTRUCTION MANAGER  
 16115 WILSONTON, CONSTRUCTION MANAGER  
 HILLSBORO, NM 87015

**DRAWING INDEX**

SHEET #	TITLE/SUBJECT	SHEET DESCRIPTION
T-1	UTILITY SCHEDULE	
T-2	GENERAL NOTES	
C-1	SITE PLAN	
C-1.1	PUBLISHING DIAGRAM	
C-2	TOWER ELEVATION & ANTENNA PLANS	
C-3	EQUIPMENT DISCUSSION TABLE	
C-4	DETAILS	
C-5	EQUIPMENT SPECIFICATIONS	
C-6	GROUNDING SCHEMATIC	
C-7	GROUNDING DETAILS	

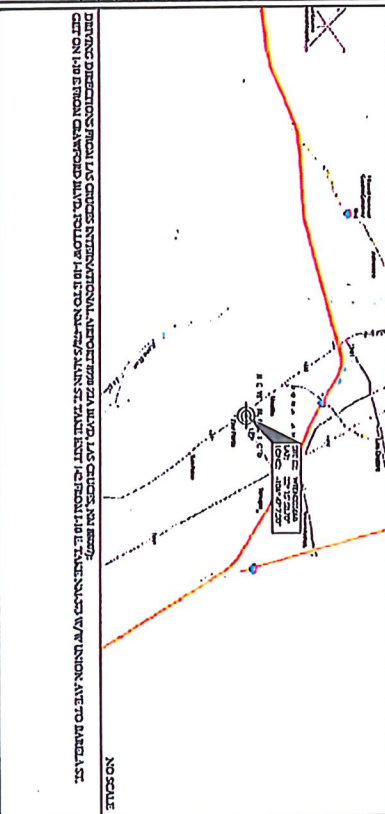
**PROJECT DESCRIPTION**

ALL DRAWINGS CONTAINED HEREIN ARE FOR INFORMATION ONLY. FINAL CONTRACTS SHALL BE THE BASIS FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL PLANS AND SPECIFICATIONS AND CONSULT WITH THE JOB SITE AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK ON BE RESPONSIBLE FOR SAME.

THE PURPOSE OF THIS PROJECT IS TO PROVIDE AN ANTENNA INSTALLATION ON AN EXISTING TOWER. THE PROJECT IS TO PROVIDE AN ANTENNA INSTALLATION ON AN EXISTING TOWER. THE PROJECT IS TO PROVIDE AN ANTENNA INSTALLATION ON AN EXISTING TOWER.

DESIGN PROVIDED BASED ON THE INFO PROVIDED BY THE CLIENT. DESIGN PROVIDED BASED ON THE APPLICATION BY CLIENT.

**LOCATION MAP**



**APPLICABLE CODES**

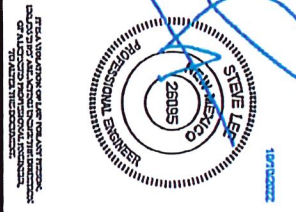
ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE LOCAL GOVERNING AGENCIES OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE APPLICABLE CODES TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE APPLICABLE CODES TO THE PROJECT.

CODE TYPE	CODE	BY OTHERS
STRUCTURAL	IBC	BY OTHERS
ELECTRICAL	NFPA 70	BY OTHERS
MECHANICAL	ASME	BY OTHERS
PLUMBING	UPES	BY OTHERS
TELEPHONE	TEL	BY OTHERS
WIRELESS	WIRELESS	BY OTHERS
TELEVISION	TV	BY OTHERS
RADIO	RADIO	BY OTHERS
TELEPHONE	TEL	BY OTHERS
TELEVISION	TV	BY OTHERS
RADIO	RADIO	BY OTHERS



**AT&T SITE NUMBER:**  
 WTEN005668  
**SU #:** 858163  
**ZOD:** AT/TEL, NM/C, ELP  
**PICACHO**  
**3585 AVENIDA DE MESSILLA (HIGHWAY 29)**  
**LAS CRUCES, NM 89005**  
**EXISTING 63'-6" MONOPOLE**

ISSUED FOR:	DATE	BY	PROJECT	SCALE

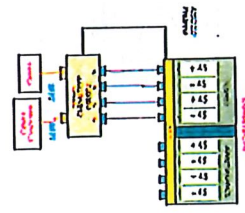
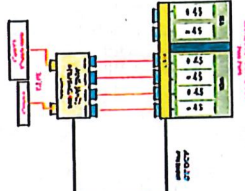
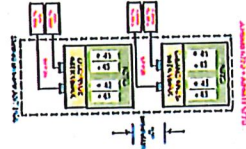
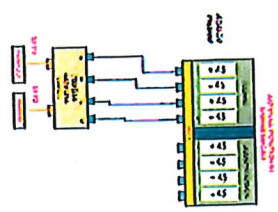
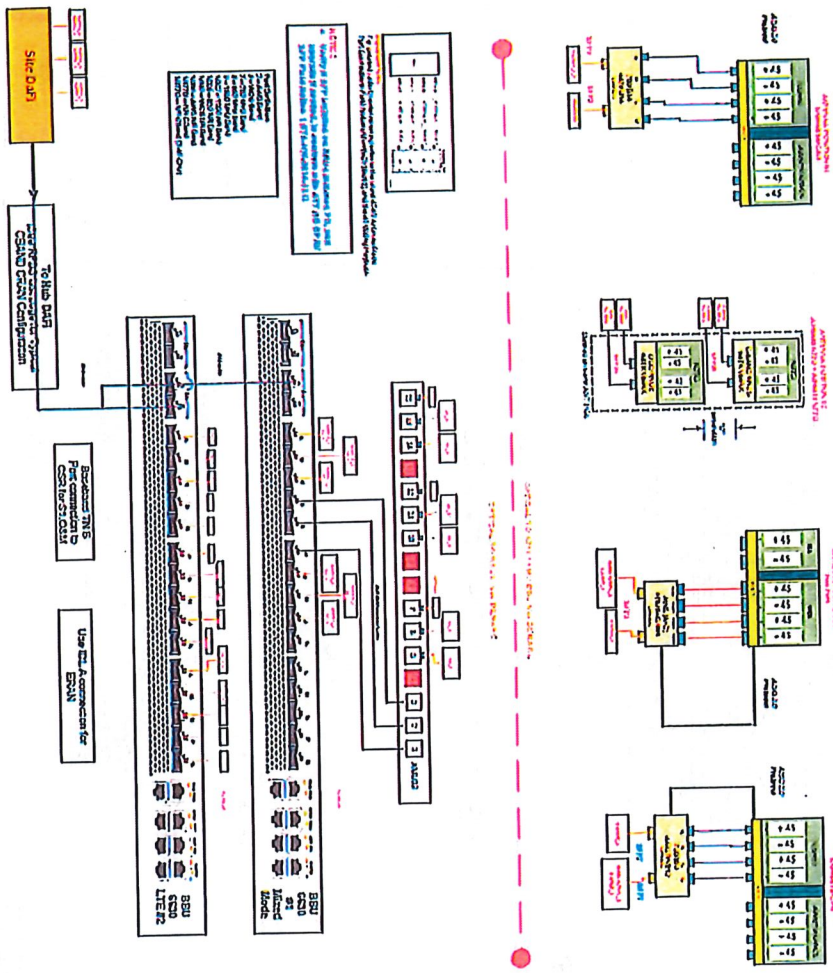





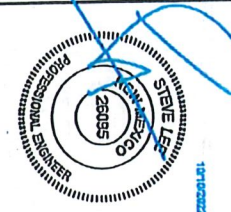
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**REVISION:** 0









 <p>1811 VALLIEST VENT LANE FARMERS BLANCHETT TNSA MEMPHIS, TN 38114</p>	 <p>3845 RIVER ROAD, SUITE C5 MEMPHIS, TN 38114</p>	 <p>1111 S. MAIN ST. SUITE 100 MEMPHIS, TN 38103 OFFICE: 901-727-7294</p>	<p>AT&amp;T SITE NUMBER: WTENN005668</p> <p>BU #: 88816 ZOD_ATTTEL_NMPL_C_SITE PICOCHO</p> <p>3885 AVENIDA DE MEXILLA (HIGHWAY 29) LAS CRUCES, NM 88005</p> <p>EXISTING 60" MONOPOLE</p>	<p>ISSUED FOR:</p> <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>BY</th> <th>REVISION</th> <th>RECORD</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>11/11/2014</td> <td>VS</td> <td>ISSUED FOR</td> <td>11</td> </tr> </tbody> </table>	REV	DATE	BY	REVISION	RECORD	1	11/11/2014	VS	ISSUED FOR	11	 <p>22CA06-257</p> <p>SHEET NUMBER: 100/100</p> <p>C-1.1 0</p>
REV	DATE	BY	REVISION	RECORD											
1	11/11/2014	VS	ISSUED FOR	11											

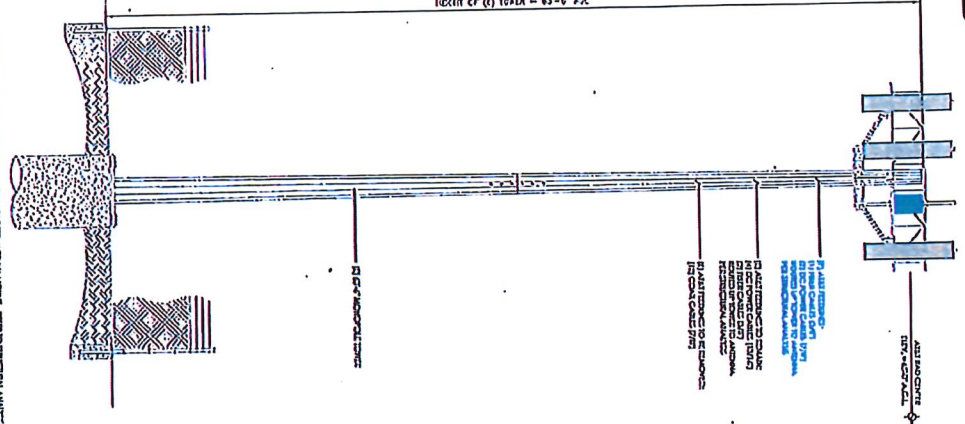
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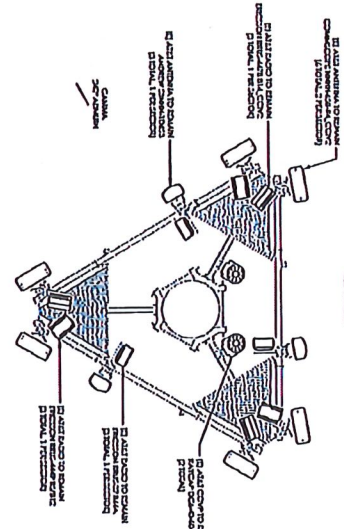
HEIGHT OF TOWER - 83'-6" PL.



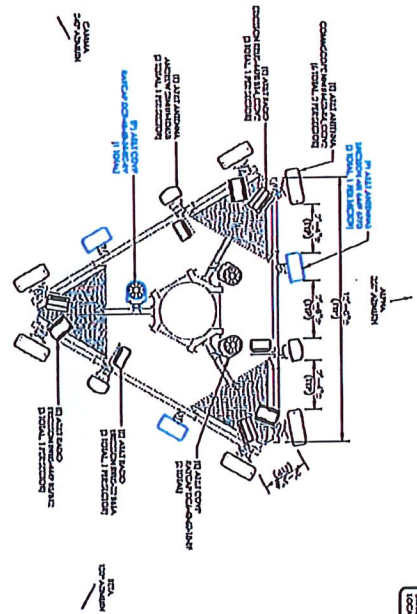
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1 TOWER ELEVATION  
SCALE: NOT TO SCALE

2 EXISTING ANTENNA PLAN  
SCALE: 3/8" = 1'-0"



3 FINAL ANTENNA PLAN  
SCALE: 3/8" = 1'-0"



INTERNATIONAL STANDARDS  
ANTENNA PLAN VIEW SHOULD BE USED FOR ALL PROJECTS UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. CONTACT CROWN CASTLE FOR MORE INFORMATION.

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THE VALLEY VERTICAL LINE  
ENGINEERS ARCHITECTS INC.

CROWN CASTLE  
505 BAYVIEW BLVD, SUITE 450  
DALLAS, TX 75205

PM&A  
F. J. MARSHALL & ASSOCIATES  
6211 WOODBRIDGE DRIVE, SUITE 100  
DALLAS, TX 75248  
OFFICE: 214-677-4200

PROJECT SITE NUMBER:  
W12N005668

SU # 883165

ZOD ATITTEL, NM/C, ELP  
PICACHEO

5355 AVENIDA DE MEXILLA  
(HIGHWAY 29)  
LAS CRUCES, NM 89005

EXISTING 63'-6" MONOPOLE

REV	DATE	BY	DESCRIPTION	APP'D
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

10/10/2022

22CAGM-257

SHEET NUMBER: 0

REVISIONS: C-2

ANOMALY ID	ANOMALY LOCATION	ANOMALY NUMBER	DESCRIPTION	PROPOSED CORRECTION	QTY
V011	G01	301	CONCRETE	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
V012	G01	302	CONCRETE	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1
			ANOMALY	CONCRETE/REINFORCEMENT	1

1 EQUIPMENT DESCRIPTION TABLE  
 1 SCALE NOT TO SCALE



1801 VALLEY VIEW LANE  
 FARMERS BRANCH TX 75344



3815 RIVER ROAD, SUITE 400  
 HOUSTON, TX 77056



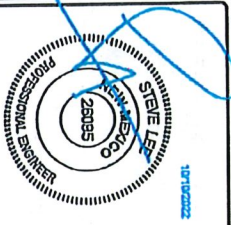
11000 WEST LOOP SOUTH, SUITE 100  
 HOUSTON, TX 77042  
 OFFICE: 713-477-0704

AT&T SITE NUMBER:  
 WTEEN005668

BU #: 88816  
 ZOD\_ATTTEL\_NWDT\_C\_ELP  
 P/CACHEO

3885 AVENIDA DE MESTILA  
 (HIGHWAY 29)  
 LAS CRUCES, NM 88005  
 EXISTING 63'-6" MONOPOLE

ISSUED FOR:	DATE	BY	DESCRIPTION	SCALE



IT'S A REQUIREMENT OF THE STATE OF TEXAS THAT ALL PROFESSIONAL ENGINEERS MAINTAIN A CURRENT AND VALID LICENSE TO PRACTICE ENGINEERING IN THE STATE OF TEXAS.

22CAGM-257

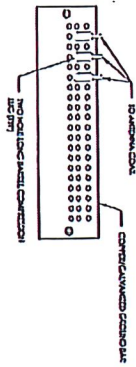
SHEET NUMBER: 0

C-3



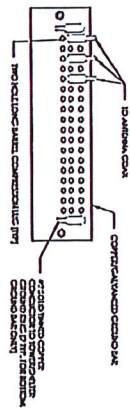






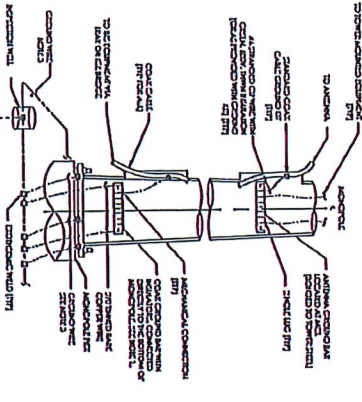
- NOTE:
1. GROUND BAR SHALL BE 2\"/>
  - 2. GROUND BAR SHALL BE 2\"/>
  - 3. GROUND BAR SHALL BE 2\"/>

1 ANTENNA GROUND BAR DETAIL  
SCALE: NOT TO SCALE



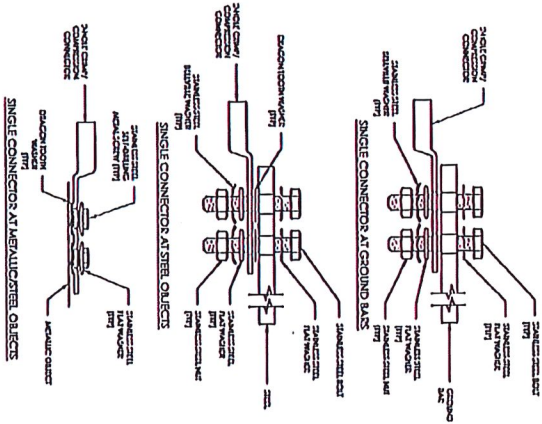
- NOTE:
1. TOWER/SHELTER GROUND BAR SHALL BE 2\"/>
  - 2. GROUND BAR SHALL BE 2\"/>
  - 3. GROUND BAR SHALL BE 2\"/>

2 TOWER/SHELTER GROUND BAR DETAIL  
SCALE: NOT TO SCALE

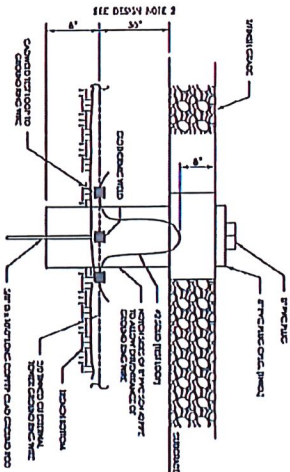


- NOTE:
1. GROUND BAR SHALL BE 2\"/>
  - 2. GROUND BAR SHALL BE 2\"/>
  - 3. GROUND BAR SHALL BE 2\"/>

3 TYPICAL ANTENNA CABLE GROUNDING  
SCALE: NOT TO SCALE

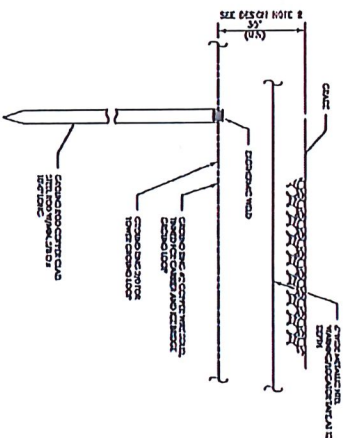


4 HARDWARE DETAIL FOR EXTERIOR CONNECTIONS  
SCALE: NOT TO SCALE



- NOTE:
1. GROUND ROD SHALL BE 2\"/>
  - 2. GROUND ROD SHALL BE 2\"/>
  - 3. GROUND ROD SHALL BE 2\"/>

5 INSPECTION WELL DETAIL  
SCALE: NOT TO SCALE



- NOTE:
1. GROUND ROD SHALL BE 2\"/>
  - 2. GROUND ROD SHALL BE 2\"/>
  - 3. GROUND ROD SHALL BE 2\"/>

6 GROUND ROD DETAIL  
SCALE: NOT TO SCALE



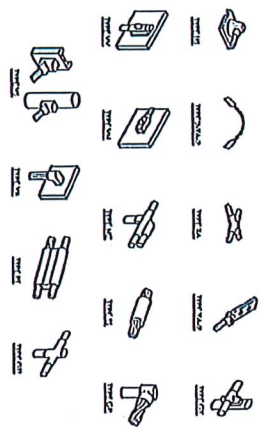
AT&T SITE NUMBER:  
W12N005685

BU # 883163  
ZOD ALLTEL, NMFLC, ELP  
PICACEO  
3885 AVENIDA DE MESSILLA  
(HIGHWAY 29)  
LAS CRUCES, NM 88005  
EXISTING 63' 6\"/>

REV	DATE	BY	DESCRIPTION	PROJECT
1	08/20/22	MM	ISSUED FOR PERMITS	W12N005685
2	08/20/22	MM	REVISED PER COMMENTS	W12N005685
3	08/20/22	MM	REVISED PER COMMENTS	W12N005685
4	08/20/22	MM	REVISED PER COMMENTS	W12N005685
5	08/20/22	MM	REVISED PER COMMENTS	W12N005685

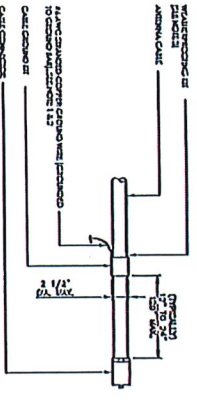


Z2CA042-257  
SHEET NUMBER: DIVISION:  
G-1 0



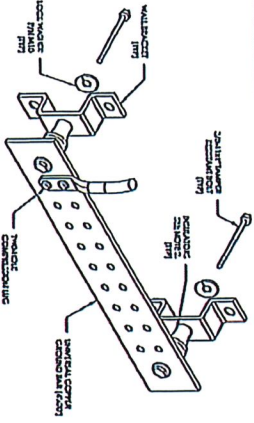
NOTE:  
 1. FOR THE PROPOSED MONOPOLE SYSTEM, THE ELECTRICAL CONTRACTOR SHALL VERIFY THAT ALL ELECTRICAL CONNECTIONS TO BE USED  
 2. SHALL BE OF THE FOLLOWING TYPES:

1. CABLED GROUNDING CONNECTIONS  
 SCALE: NOT TO SCALE

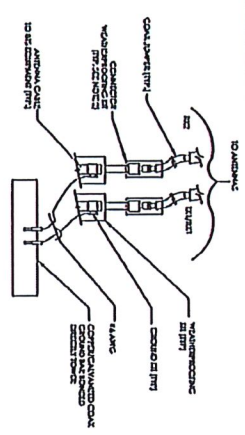


NOTE:  
 1. FOR THE PROPOSED MONOPOLE SYSTEM, THE ELECTRICAL CONTRACTOR SHALL VERIFY THAT ALL ELECTRICAL CONNECTIONS TO BE USED  
 2. SHALL BE OF THE FOLLOWING TYPES:

3. CABLE GROUND KIT CONNECTION  
 SCALE: NOT TO SCALE

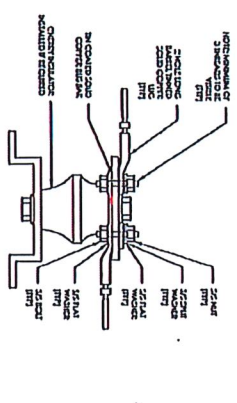


6. GROUND BAR DETAIL  
 SCALE: NOT TO SCALE



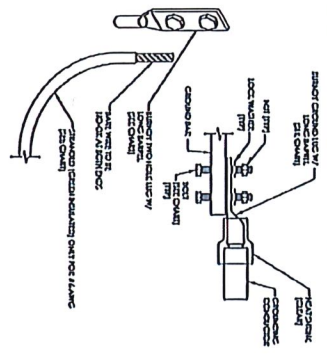
NOTE:  
 1. FOR THE PROPOSED MONOPOLE SYSTEM, THE ELECTRICAL CONTRACTOR SHALL VERIFY THAT ALL ELECTRICAL CONNECTIONS TO BE USED  
 2. SHALL BE OF THE FOLLOWING TYPES:

4. GROUND CABLE CONNECTION  
 SCALE: NOT TO SCALE



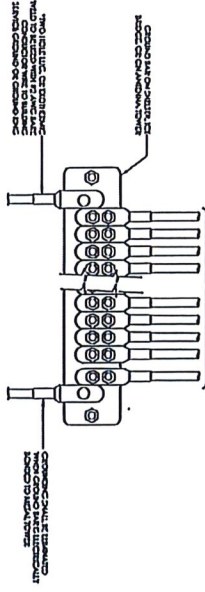
7. LUG DETAIL  
 SCALE: NOT TO SCALE

WIRE SIZE	MINIMUM LUG	MAXIMUM
1/4" AWG CABLE	3/8" x 1/4" x 2 1/2"	3/8"
3/8" AWG CABLE	3/8" x 1/4" x 2 1/2"	3/8"
1/2" AWG CABLE	3/8" x 1/4" x 2 1/2"	3/8"
3/4" AWG CABLE	3/8" x 1/4" x 2 1/2"	3/8"
1" AWG CABLE	3/8" x 1/4" x 2 1/2"	3/8"

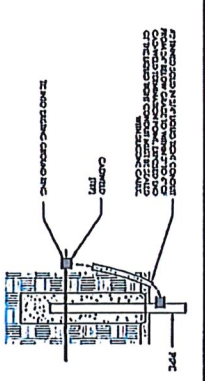


NOTE:  
 1. FOR THE PROPOSED MONOPOLE SYSTEM, THE ELECTRICAL CONTRACTOR SHALL VERIFY THAT ALL ELECTRICAL CONNECTIONS TO BE USED  
 2. SHALL BE OF THE FOLLOWING TYPES:

2. MECHANICAL LUG CONNECTION  
 SCALE: NOT TO SCALE



5. GROUNDWIRE INSTALLATION  
 SCALE: NOT TO SCALE



8. TRANSITIONING GROUND DETAIL  
 SCALE: NOT TO SCALE

**atet**  
 1811 W. L. L. VENTURA  
 PHOENIX, ARIZONA 85024

**CROWN CASTLE**  
 1005 S. RIVER ROAD, SUITE 400  
 PHOENIX, ARIZONA 85024

**PM&A**  
 P. J. MARSHALL & ASSOCIATES  
 6041 FORT WORTH AVENUE, SUITE 100  
 PHOENIX, ARIZONA 85024  
 OFFICE: 602-955-0044

AT&T SITE NUMBER:  
 W7EN005665  
 BU #: 881815  
 ZOD: ALTEL, NMLC, ELP  
 PICAZO  
 3385 AVENIDA DE MESSILLA  
 (HIGHWAY 28)  
 LAS CRUCES, NM 88005  
 EXISTING 65'-6" MONOPOLE

DATE	BY	REVISION	DESCRIPTION
12/15/22	TR	1	ISSUED FOR PERMITS

**PROFESSIONAL ENGINEER**  
 STATE OF ARIZONA  
 LICENSE NO. 28035  
 TRISTAN R. TORRES

22CA04-257  
 SHEET NUMBER: 257 OF 257  
 G-2 0