



THE BOARD OF TRUSTEES (BOT) OF THE TOWN OF MESILLA WILL HOLD A REGULAR MEETING AT THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

MONDAY, JANUARY 9, 2023 – 6:00 PM

AGENDA

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL & DETERMINATION OF A QUORUM
3. CHANGES TO THE AGENDA & APPROVAL
4. PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.
5. PRESENTATION
 - a) Chief Kevin Hoban
6. PUBLIC HEARING
APPEAL CASE
 - a) **STR #1036** - 2832 Erminda, submitted by Cesareo Contreras for a short-term rental, Zoned: **Historical Residential (HR)**
7. APPROVAL OF CONSENT AGENDA: (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk *)
 - a) ***BOT MINUTES** - Minutes of Regular Meeting, December 12, 2022
8. EXECUTIVE SESSION
 - a) Discussion of limited personnel matters pursuant to NMSA 1978, Section 10-15-1(H)(2) – Community Development Department
9. STAFF REPORTS
 - a) Local Government Planning Fund Application – Mayor Barraza
 - b) Molzen Corbin Design Services/Amendment and Highland Enterprises Bid Award – Rod McGillivray
10. NEW BUSINESS
 - a) **PZHAC Case #061493** – 2500 Calle de Colon, submitted by Maria Avalos, on SE side of property to remove dead tree, remove chain link fence, place culvert in ditch, and lay 4” base course on existing material (24’ wide x 50’ length on). **Zoned: Historical Residential (HR)**
 - b) **PZHAC Case #061497** – 2214 Calle de Guadalupe, submitted by Pat & Wendy Taylor for a 360 square foot addition of a kitchen and bath where there is an existing storage shed. **Zoned: Historical Commercial (HC)**
 - c) **PZHAC Case #061499** - 2571 Calle de Guadalupe, submitted by Jeff McBride & Jane Mercer to raise the height of courtyard wall to 10 feet to match height of connected house. **Zoned: Historical Residential (HR)**

- d) **PZHAC Case #061500** - 2571 Calle de Guadalupe, submitted by Jeff McBride & Jane Mercer to replace evaporative cooler and gas furnace with ducted mini split HVAC unit. **Zoned: Historical Residential (HR)**
- e) **PZHAC Case #061503** -- 2525 Calle de Parian A, submitted by Renee Beltran, to install a residential PV Solar System (8 Panels, 4 Inverters, 2.96 Kw. Main panel Upgrade: 200A Bus/200A Main). **Zoned: Historical Residential (HR)**
- f) **For Approval:** Community Development Coordinator Hire
- g) **For Approval:** Resolution 2023-01 Local Government Planning Fund Application
- h) **For Approval:** Molzen Corbin Professional Engineering Services Proposal for the Design Phase and Construction Phase for the Calle de Santiago Bridge Improvements and Active Transportation Corridor in the Amount of \$63,110.00 (HW 2LP10037)
- i) **For Approval:** Molzen Corbin Amendment #1 in the amount of \$9,501.25 for additional design services required by the International Boundary and Water Commission (IBWC) for the Calle del Norte multi-use path phase II project.
- j) **For Approval:** Award to Highland Enterprises, Inc. the Mesilla Water System Booster Pump Replacement Project

11. BOARD OF TRUSTEE COMMITTEE REPORTS

12. BOARD OF TRUSTEE/STAFF COMMENTS

(Written staff reports included in packet)

13. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least one week prior to the meeting. The Mayor and Trustees request that all cell phones be turned off or set to vibrate. Members of the audience are requested to step outside the Board Room to respond to or to conduct a phone conversation. A copy of the agenda packet can be found online at www.mesillanm.gov.

Posted 01.06.2023 online and at the following locations: Town Clerk's Office 2231 Avenida de Mesilla, Public Safety Building 2670 Calle de Parian, Mesilla Community Center 2251 Calle de Santiago, Shorty's Food Mart 2290 Avenida de Mesilla, Ristramn Chile Co., 2531 Avenida de Mesilla and the U.S. Post Office 2253 Calle de Parian.

BOARD ACTION FORM

AGENDA DATE:

PZHAC: December 19, 2022

BOT: January 9, 2023

ITEM:

STR #1036 - 2832 Erminda, submitted by Cesareo Contreras for a short-term rental, Zoned: Historical Residential (HR)

BACKGROUND AND ANALYSIS:

The applicant proposes the property at above address as a Short-Term Rental (STR). It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter 18.35.

SUPPORTING INFORMATION:

- Application
- Letter from Mesilla Farm Home Owner's Association
- Letter from Cesareo Contreras
- Letter from Marcy Toomey to PZHAC
- Relevant Pages for PZHAC December 19 Minutes
- MTC Chapter 5.05.060 Penalties

PZHAC ACTION:

Motion failed.

Commissioner Jones – No because it sets a precedent of going against an HOA covenant which he doesn't agree with.

Commissioner Walkinshaw – No because he is upset because they started renting without a permit.

Chairperson Lucero – Yes because of the Town's ordinances. She doesn't like going against the HOA, but it is her job to go by the Town's ordinances.

Commissioner Salas – Yes because it meets the Town's ordinances. The HOA regulations have nothing to do with this Board or the Town.

Commissioner Nevarez – No because he still sees some uncertainties and wants to make sure the Commission is not setting precedent.

BOT OPTIONS:

1. Recommend approval of this appeal with findings stated above.
2. Recommend approval of this appeal with findings stated above and conditions.
3. Deny the appeal.



Date: _____

2231 Avenida de Mesilla

P.O. Box 10

Mesilla, NM 88046

Phone: (575) 524-3262 Fax: (575) 541-6327

Reg. No.: 1036

SHORT TERM RENTAL (STR) REGISTRATION

Note: Any changes to property owner information; additions or alterations to rental units; changes in number or type of rental units; parking; or any other changes to information listed on this form will require a change to the information on file with the Town.

New _____ Renewal _____

PLEASE PRINT

RENTAL INFORMATION

Name of Rental: Casa de Mesilla

Street Address of Unit: 2832 Erminda St.

Zone: Res DAC Parcel #: 04- DAC Parcel #: 4-006-137-386-500

Square Footage of Rental Unit: 2,278 No. of Bedrooms: 3 No. of Bathrooms: 2

Number of Off-street Parking Spaces: 4

Current New Mexico Revenue Division ID #: 03606161001

(The location code for reporting earnings received in the Town of Mesilla is 07-303.)

All Short-Term-Rentals in Mesilla are also subject to Mesilla Lodger's Tax payable monthly directly to the Town.

PROPERTY OWNER INFORMATION

Name of Owner/Applicant: Cesareo Contreras

Mailing Address: 2832 Erminda St.

City: Las Cruces State: NM Zip Code: 88005

E-Mail Address: cesareo.contrerasnm@gmail.com

Phone #1: 575-652-2553 Phone #2: 575-652-2554

Emergency Phone #: 575-652-2553

Property Owner's Physical Address:

Street 2832 Erminda St.

City: Las Cruces State: NM Zip Code: 88005

PROPERTY MANAGEMENT/AUTHORIZED RENTAL AGENT

Authorized Rental Agent: N/A

Contact/Phone #: N/A E-mail: N/A

(Please complete other side.)

EMERGENCY CONTACT INFORMATION

Responsible party to be called in case of emergency. Enter name in order of contact (please print):

24 HOUR EMERGENCY PHONE #: 575-652-2553

Name	Address	Telephone #
1. Cesareo Contreras,	4218 Cymbelina Ct. Las Cruces NM 88011,	575-652-2553
2. Ryan Hefley,	2508 Candlewood Cir. Las Cruces NM 88011,	575-312-6371
3.		

Do you have an alarm system? Yes^X No

What Type? Home security system

Which Company, if any, Responds to Alarms? ADT

Compliance with Fire Codes and Occupancy Requirements: All residential short-term rentals are subject to the applicable fire codes, and occupancy must be reviewed and approved for compliance with the Codes by the Town Fire Chief. An on-site inspection may be required.

APPLICANT HEREBY STATES UNDER OATH THAT ALL STATEMENTS AND REPRESENTATIONS MADE IN THIS APPLICATION ARE TRUE AND VALID.



Signature of Rental Owner

12/05/2022
Date

Cesareo Contreras
Name (Printed)

Office Use
FOR NEW OR MODIFIED RENTALS

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

NOTES/ISSUES:

CONDITIONS:

Reg. Number: _____

Zone: _____

Renewal Date: _____

Date of Payment: _____

Mesilla Farms Home Owner's Association
P.O. Box 1245
Mesilla, New Mexico 88046

November 26, 2022

Mayor Nora Barraza
Mesilla Board of Trustees
Mesilla Planning and Zoning Commission
2231 Avenida de Mesilla
Mesilla, New Mexico, 88046

RE: Cesar Contreras 575-652-2553
Ary Contreras 575-652-2554
Ryan Hefley 575-312-6371
4218 Cymbeline Court
Las Cruces, New Mexico 88011

Dear Madam and Sirs,

Recently a home at 2832 Erminda Street was purchased by the individuals listed above. We anticipated welcoming this young family to our neighborhood, but instead were shocked to see they had listed the home as "Casa de Mesilla" on the Airbnb website. After a phone call to Cesar on November 11, we sent a certified letter to them stating this is not approved in Mesilla Farms, but yesterday, November 25, the first paying guest arrived at the house. Short term vacation rental business is not wanted here, and to our knowledge there are no permits or licensing of any kind from the town of Mesilla, Dona Ana County, or the state of New Mexico which clearly violates code restrictions.

Please intervene on behalf of Mesilla Farms and the town to prevent this unauthorized activity.

Sincerely,



Board of Directors, Mesilla Farms HOA
Marcy Toomey, President

Marcy Toomey & Mesilla Farms Home Owner's Association
P.O. Box 1245
Mesilla, New Mexico 88046

Dear Marcy & MFHOA,

In response to the letter sent November 23, 2022 by MFHOA. We appreciate MFHOA looking into the matter of property rentals. Prior to purchasing our home we read through the "General Declaration of Covenants and Restrictions" – Final Copy Feb. 11, 2014 document and we did not find restrictions pertaining to short term or long term rentals. Furthermore, we do not own Airbnb, Inc., it is the third-party platform we use to manage potential short term or long term tenants. Nor do we operate a business out of our home, rental request are managed from a different location and the home is only for tenants to stay in.

Sincerely,


Cesareo Contreras 12/14/22
2832 Erminda St.
Las Cruces, New Mexico 88005

December 19,2022

Mesilla Planning and Zoning

RE: agenda item STA 1036, 2832 Ermindia, application for Airbnb

My name is Marcy Toomey. I am the president of the Mesilla Farms HOA where this property is located and here to comment on this case. Our board is not in favor of Airbnbs, VRBOs, Bed and Breakfasts, or short term vacation rental businesses of any kind in our community. This violates our covenants and restrictions, and we are strongly opposed to a permit for this business enterprise in our neighborhood. The folks in Mesilla Farms are good neighbors and the town has always been considerate and supportive of our position on items such as this.

We thank you.

Respectfully,

Marcy Toomey

*Have rentals in Dec./January
on Airbnb calendar*

Covenants and Restrictions:

P5. Article IV, General Restrictions, Section 1, Land use and building type

P6. Section 4, Prohibitions, A, Business use

Roll Call Vote:

Commissioner Walkinshaw – Yes
Chairperson Lucero – Yes
Commissioner Salas- Yes
Commissioner Nevarez - Yes
Commissioner Jones – Yes

Motion passed.

- d. **PZHAC Case #061499** - 2571 Calle de Guadalupe, submitted by Jeff McBride & Jane Mercer to raise the height of courtyard wall to 10 feet to match height of connected house. **Zoned: Historical Residential (HR)**

Staff presented facts of the case.

Motion to approve was presented by Commissioner Nevarez and seconded by Commissioner Walkinshaw.

Discussion followed. Commissioner Nevarez asked about the shed and a need for a right-of-entry letter. Mayor Barraza explained that the Marshall's department is following up about the shed and other issues with the adjoining property.

Motion to amend the motion by adding the condition of obtaining a right-of-entry letter before issuing the permit was made by Commissioner Nevarez.

Roll Call Vote on the amendment:

Commissioner Jones – Yes
Commissioner Walkinshaw – Yes
Chairperson Lucero – Yes
Commissioner Salas- Yes
Commissioner Nevarez - Yes

Motion passed.

Roll Call Vote on the amended motion:

Commissioner Nevarez - Yes with the condition
Commissioner Salas- Yes with the condition
Chairperson Lucero – Yes with the condition
Commissioner Walkinshaw – Yes with the condition
Commissioner Jones – Yes with the condition

Motion passed.

- e. **STR #1036** - 2832 Erminda, submitted by Cesareo Contreras for a short-term rental, **Zoned: Historical Residential (HR)**

Staff presented facts of the case.

Motion to approve was presented by Commissioner Salas and seconded by Commissioner Walkinshaw.

Discussion followed. Mayor Barraza and Clerk-Treasurer Bush met with the town attorney regarding this issue. He explained to them that if short-term rentals are allowed in Mesilla Town Code, then the application should be approved. The Town should not get involved with covenants between HOA's and homeowners. Further disagreement between the two would have to be brought to civil court.

Roll Call Vote:

Commissioner Jones – No because it sets a precedent of going against an HOA covenant which he doesn't agree with.

Commissioner Walkinshaw – No because he is upset because they started renting without a permit.

Chairperson Lucero – Yes because of the Town's ordinances. She doesn't like going against the HOA, but it is her job to go by the Town's ordinances.

Commissioner Salas – Yes because it meets the Town's ordinances. The HOA regulations have nothing to do with this Board or the Town.

Commissioner Nevarez – No because he still sees some uncertainties and wants to make sure the Commission is not setting precedent.

Motion failed.

Mayor Barraza explained that the applicant has a right to appeal to the Board of Trustees.

8. COMMISSIONERS / STAFF COMMENTS

Commissioner Nevarez wished his fellow commissioners, the mayor, and staff a very happy holiday. Chairperson Lucero welcomed by Commissioner Salas back and wished all a merry Christmas.

Mayor Barraza explained that there are two applicants for the community development coordinator positions currently and interviews will be conducted soon.

Chairperson Lucero and Commissioner Nevarez asked about the number of short-term rentals allowed in Mesilla. Mayor Barraza noted that the Commission can review and recommend changes to the ordinances regarding short-term rentals to the Board of Trustees.

Chairperson Lucero is also concerned about the condition of the Butler house and the blacksmith shop. The Mayor is following up and will get the new Codes Enforcement officer involved as well.

Mayor Barraza mentioned that letters of interest for new commissioners have been extended until the end of this week. She is looking to extend term of the commissioners who service ends on December 31 until after the holidays so that she will have time to interview new commissioners in January. She thanked each commissioner for their commitment and dedication to the Commission. Chairperson Lucero thanked everyone for giving her the privilege to be on the Commission.

9. ADJOURNMENT

Roll Call Vote:

Commissioner Jones - Yes

Commissioner Walkinshaw - Yes

Chairperson Lucero - Yes

Commissioner Salas- Yes

5.05.030 Application to do business.

Any person or entity proposing to do business within the limits of the town of Mesilla shall apply to the town clerk-treasurer and pay a business registration fee for each place of business within the town prior to engaging in business. It is presumed that all businesses within the limits of the town of Mesilla are subject to the business registration fee, unless specifically exempt under provisions of state law or under the provisions of this chapter. Each application shall be made on forms supplied by the town clerk-treasurer for that purpose. The town clerk-treasurer shall refer each application to the planning, zoning and historical appropriateness commission of the town for approval that the proposed business conforms to the applicable zoning ordinance or historical appropriateness. The town clerk-treasurer shall inform each applicant of the time and place of the next succeeding meeting of the planning commission. At that meeting, the planning commission shall hear the matter and determine whether to approve the proposed business as a conforming use under the zoning ordinances of the town. [Ord. 2005-04 § 1; Ord. 90-06 § 2; prior code § 7-6-3]

5.05.060 Penalties.

If any person shall engage in business within the limits of the town of Mesilla without paying the business registration fee required by this chapter when the same shall become due and payable, such person shall, in addition to the required fee, pay a penalty of \$10.00 per annum. If the required business registration fee and any penalty are not paid within 30 days of the date due, the amount of such business registration fee and any penalty shall become a lien upon all personal property of the person or entity engaging in business, located within the limits of the town of Mesilla, in favor of the town of Mesilla, which lien may be foreclosed in the manner provided by law for the foreclosure of municipal liens. In addition to the foregoing, the town of Mesilla may bring an appropriate action in any court of competent jurisdiction for an order enjoining such person or entity from engaging in business within the limits of the town until such person or entity has paid the entire amount of business registration fees and penalties due and owing. [Ord. 90-06 § 2; prior code § 7-6-6]

5.05.070 Remedies.

Nothing in this chapter shall prevent the institution of a criminal action to prosecute for any violation of the provisions of this title. The conviction and punishment of any person for a violation of this chapter shall not operate to excuse or exempt such person or entity from payment of any fee due or unpaid at the time of such conviction. All remedies prescribed or liens created hereunder or under the provisions of any state laws for collection and enforcement of the business registration fee shall be cumulative and the use of one or more remedies by the town shall not bar the use of any other remedy for the purpose of enforcing the provisions of this chapter or any liens created by any laws of the state of New Mexico. [Ord. 90-06 § 2; prior code § 7-6-7]

1 **Present:** Mayor Barraza, Trustee Cadena, Trustee Garcia, Trustee Merrick.

2

3 Mayor Barraza introduced Ms. Jennifer Ortiz, El Paso Electric representative.

4

5 Ms. Ortiz stated she is available to serve the community in here new capacity.

6

7 **3. CHANGES TO THE AGENDA & APPROVAL**

8 **Motion: To approve agenda, Moved by Trustee Merrick, Seconded by Trustee Garcia.**

9

10 **Roll Call Vote:** Motion passed (summary: Yes =3).

11 Trustee Cadena Yes

12 Trustee Garcia Yes

13 Trustee Merrick Yes

14

15 **4. PUBLIC INPUT – The public is invited to address the Board as allowed by the chair.**

16 Mr. Schaefer stated his concern with the burglaries that are happening in Mesilla and the lack of patrol being done.

17

18 Mayor Barraza asked Mr. Schaefer to submit his concerns in writing to her. She can schedule a meeting to discuss these concerns further.

19

20 Mr. C Schaefer stated the officers are not patrolling regularly. Are the marshal's responding to other calls for other entities.

21

22 Mr. Hernandez stated in 2019 he submitted the application and fees required to have a VRBO in the rural area. STR are not allowed in the rural area, but the applicant can submit for a Special Use Permit. Recommends revisiting the code which is outdated.

23

24 Ms. Krueger recommended that the town attorney be present during the Executive Sessions.

25

26 Ms. Randell stated it would be inappropriate to have a tower in the park. She asked that they reconsider and find a more appropriate location.

27

28 Mr. Born stated he opposes the proposed location of the cell tower. We need to preserve Mesilla's history.

29

30 Mr. Robinson read correspondence

31

32 Mr. Lester read correspondence

33

34 Mr. Magoon read correspondence

35

36 Ms. Walkinshaw reviewed articles provided to the board and asked that they consider a better location.

37

38 Ms. Witter stated we were told that the process would be followed. Asked about an exception to following the code.

39

40 Mr. Blevins stated there needs to be a better place for the cell tower. His wife submitted correspondence to the board.

41

42

43

44

45

46

47

48

49

1 Ms. Lucero stated the tower is needed. She will continue to use the park. She has done research and the
2 statements are exaggerated and false advertising. She is more concerned with the pesticides which no one
3 complains about. People have had concerns due to the lack of service in the area which is why this is being
4 discussed.

5
6 Ms. Ratje stated she respects what Ms. Lucero, who is the mayor's sister, has said. She and her friend have
7 concerns with the towers. The historic preservation will be affected. The tower is ugly and in appropriate.
8

9 5. PUBLIC HEARING

10 Mayor Barraza asked that they postpone the Public Hearing and Appeal Cases until the next meeting.
11

12 **Motion: To postpone the Public Hearing until Mr. Mitchell can be present, Moved by Trustee Merrick,**
13 **Seconded by Trustee Garcia.**

14 Trustee Garcia asked if we would meet the time limit.
15

16 Mayor Barraza responded we have given him the opportunity to present his case.
17
18

19 **Roll Call Vote:** Motion passed (summary: Yes =3).

20 Trustee Cadena Yes

21 Trustee Garcia Yes

22 Trustee Merrick Yes
23

24 APPEAL CASES

25
26 a. **STR #1034** – 1365 Snow Rd submitted by Mitchell Enterprises LLC for a Short-Term Rental
27 at this address, **Zoned: Rural Farm (RF) Postponed**

28 b. **STR #1035** – 1363 Snow Rd submitted by Mitchell Enterprises LLC for a Short-Term Rental
29 at this address, **Zoned: Rural Farm (RF) Postponed**

30
31 **6. APPROVAL OF CONSENT AGENDA:** (The Board will be asked to approve by one motion
32 the following items of recurring or routine business. The Consent Agenda is marked with an
33 asterisk *)

34 **Motion: To approve consent agenda, Moved by Trustee Garcia, Seconded by Trustee Merrick.**
35

36 **Roll Call Vote:** Motion passed (summary: Yes =3).

37 Trustee Cadena Yes

38 Trustee Garcia Yes

39 Trustee Merrick Yes
40

41 a) ***BOT MINUTES** - Minutes of Regular Meeting, November 28, 2022. *Approved by consent*
42 *agenda*

43 b) ***Resolution 2021-30** - A resolution establishing dates for holiday observance for the Town
44 of Mesilla in 2023. *Approved by consent agenda*
45

46 7. EXECUTIVE SESSION

47 **Motion: To enter Executive Session, Moved by Trustee Merrick, Seconded by Trustee Garcia.**
48

49 **Roll Call Vote:** Motion passed (summary: Yes =3).

50 Trustee Cadena Yes

51 Trustee Garcia Yes

1 Trustee Merrick Yes

2

3 **Entered Executive Session at 6:26 p.m.**

4

5 a) Discussion of limited personnel matters pursuant to NMSA 1978, Section 10-15-1(H)(2) –
6 Admin/Finance Department & Fire Department.

7 **Motion: To enter Regular Meeting; no action taken, Moved by Trustee Merrick, Seconded by Trustee**
8 **Garcia.**

9

10 **Roll Call Vote:** Motion passed (summary: Yes =3).

11 Trustee Cadena Yes

12 Trustee Garcia Yes

13 Trustee Merrick Yes

14

15 **Entered Regular Meeting at 6:28 p.m.**

16

17 **8. NEW BUSINESS**

18 a) **Approval:** Administrative File Clerk Hire

19 Mayor Barraza recommended Ms. Summer Estrada Godfrey.

20

21 **Motion: To approve Administrative File Clerk, Moved by Trustee Garcia, Seconded by Trustee**
22 **Merrick.**

23

24 **Roll Call Vote:** Motion passed (summary: Yes =3).

25 Trustee Cadena Yes

26 Trustee Garcia Yes

27 Trustee Merrick Yes

28

29 b) **Approval:** Job Description – Fire Chief

30 **Motion: To approve Job Description – Fire Chief, Moved by Trustee Merrick, Seconded by Trustee**
31 **Garcia.**

32

33 **Roll Call Vote:** Motion passed (summary: Yes =3).

34 Trustee Cadena Yes

35 Trustee Garcia Yes

36 Trustee Merrick Yes

37

38 c) **Approval:** FY23 Volunteer Fire Assistance Program Fiscal High Risk Acceptance Letter

39 Fire Chief Hoban stated we were award \$20,000 for protective clothing, fire gear, weather station, and
40 tools. The \$2,000 match will be through the Fire Fund.

41

42 **Motion: To approve agenda, Moved by Trustee Garcia, Seconded by Trustee Merrick.**

43 **Roll Call Vote:** Motion passed (summary: Yes =3).

44 Trustee Cadena Yes

45 Trustee Garcia Yes

46 Trustee Merrick Yes

47

48 **9. Approval:** Town Match for LGRF Control No.# HWL 100525 for Calle de Cura

49 Mr. McGillivray stated there is a chance that the match amount may not be waived. There is a \$28,000 short fall:
50 no way of getting out of it.

1
2 Mayor Barraza stated the town does have the money for the match; documentation is in the packet.

3
4 Trustee Merrick asked why it would be denied.

5
6 Mayor Barraza responded DOT had over a million dollars in requests. DOT has been very generous to Mesilla
7 in past years. We do not want to risk our credibility and residents are looking forward to the project being
8 completed.

9
10 Trustee Garcia asked if the project has been started.

11
12 Mr. McGillivray responded we are agreeing to the match, 25%, and the design is started when we get the
13 agreement.

14
15 **Motion: To approve agenda, Moved by Trustee Garcia, Seconded by Trustee Merrick**

16
17 **Roll Call Vote:** Motion passed (summary: Yes =3).

18 Trustee Cadena Yes

19 Trustee Garcia Yes

20 Trustee Merrick Yes

21
22 **10. BOARD OF TRUSTEE COMMITTEE REPORTS**

23 Trustee Garcia: meeting was postponed due to lack of quorum. Zoom meeting Friday, 3:00 p.m.

24
25 Trustee Merrick: MPO Wednesday, December 14th

26
27 Mayor Barraza: SCCOG meeting; MPO Wednesday, December 14th

28
29 **11. BOARD OF TRUSTEE/STAFF COMMENTS**

30 *(Written staff reports included in packet)*

31 Marshal Salas stated Shop by the Cop helped 230 children, participated in the Toy Run, shield came in. It has
32 been an honor to work side by side with Fire Chief Hoban.

33
34 Ms. Bush stated the court report is included in their packet. Thanked Ms. Sellers for the great job on tree
35 lighting event and the Thanksgiving Food Drive. Reviewed the plan to appoint new Planning and Zoning
36 commissioners and asked that interested individuals submit a letter of interest by December 15th.

37
38 Trustee Garcia stated the town attorney participated by Zoom at the previous Executive Session. The lights are
39 beautiful and bright. She would like to hold off on applying for La Colonias funding due to making the match
40 amount and the number of projects there currently are. She has received the emails; she understands they are
41 trying to preserve Mesilla. She will not be threatened by residents. The board cannot talk about it as we are in
42 litigation. If they meet the ordinance we need to move forward.

43
44 Trustee Cadena stated she appreciates the interest the residents have expressed. Litigation makes things
45 difficult for us. She is available to the residents. Thanked staff for the nice events. We must work together to
46 make things move forward.

47
48 Trustee Merrick stated the events have been very nice. She is here to help the residents, will continue to due
49 her due diligence in educating herself as well as the residents. Her obligation is to follow the ordinances. She
50 enjoys talking with everyone to find an understanding, correct errors. Encourages everyone to attend the
51 meetings, look at the agenda, read the minutes. Apologized to the residents due to the change in trash days.
52 We are here to help you and ensure transparency.

1 Mayor Barraza congratulated Ms. Bush who participated in an International 10K Run. Fire Chief Hoban is
2 retiring on December 31st. She is trying to find a source to update our ordinances especially Chapter 18.
3 Wilson and Company informed her that they would submit an application for the Town of Mesilla as there is
4 \$50,000 available for updates. The events have been very successful. She understands how Trustee Garcia
5 feels. People are being given false information. Please share the correct information. The Public Meeting was
6 advertised. We are transparent as we have nothing to hide. She appreciates everyone's comments. There are
7 currently ten projects. They are looking at holding off on La Colonias funding. It is at her discretion to have
8 an attorney present at the Executive Sessions. Ms. Lucero is her sister and lives close to the Public Safety
9 Building, and she has every right to comment.
10

11 **12. ADJOURNMENT**

12 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-4).**

13
14 **MEETING ADJOURNED AT 7:03 P.M.**

15
16 **APPROVED THIS 27th DAY OF DECEMBER, 2022.**
17
18
19
20

21 _____
22 **Nora L. Barraza**
23 **Mayor**

24 **ATTEST:**
25
26
27

28 _____
29 **Rani Bush**
30 **Town Clerk/Treasurer**
31
32
33
34
35
36

BOARD ACTION FORM

AGENDA DATE:

PZHAC: December 19, 2022

BOT: January 9, 2023

ITEM:

PZHAC Case #061493 – 2500 Calle de Colon, submitted by Maria Avalos, on SE side of property to remove dead tree, remove chain link fence, place culvert in ditch, and lay 4” base course on existing material (24’ wide x 50’ length on). Zoned: Historical Residential (HR)

BACKGROUND AND ANALYSIS:

It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below. Additional documents were added after the December 5, 2022 PZHAC meeting.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter 18.35.

SUPPORTING INFORMATION:

- Application
- Site Plan w/ Dimensions
- Pictures

PZHAC ACTION:

PZHAC approved this case 5-0. No conditions.

BOT OPTIONS:

The BOT may:

1. Approve this case with findings stated above.
2. Approve this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 100⁰⁰
 Review Fee \$ 18⁰⁰
 Total Fee \$ 118⁰⁰

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061493 ZONE: HR CODE: _____ APPLICATION DATE: 11/16/22

Maria Avalos _____ (575) 404-6006
 Name of Property Owner Property Owner's Telephone Number

2500 Calle de Colon Mesilla NM 88046
 Property Owner's Mailing Address City State Zip Code

a.salas1792@yahoo.com
 Property Owner's E-mail Address

Boyd Welch, Welch Dirt Work, Inc.
 Contractor's Name & Address (if none, indicate Self)

575 524-4711 02-435378-00-7 89930
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

575 650-4201 (cell)
 Address of Proposed Work: 2500 Calle de Colon, Mesilla, NM 88046

Description of Proposed Work: Take out one tree, Tear down Chainlink fence. Place Culvert in ditch. Shape and compact existing Material. Lay 4 inches of base course. Shape and Compact Approximately 24ft wide x 50ft Long

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

\$ 4,600.00 _____ Boyd Welch _____ 11/16/22
 Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: 12/09/22 Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

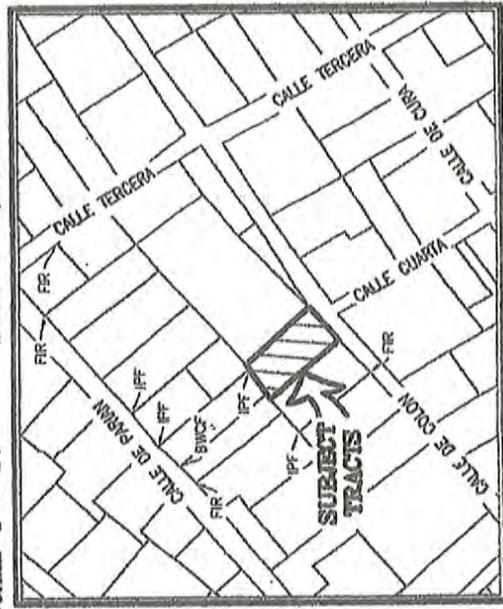
PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO
 CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

BOUNDARY SURVEY

FOR PART OF USRS TRACT 11A-167C;
 A TRACT OF LAND LOCATED IN
 SECTION 36, T23S, R1E, WITHIN THE TOWN OF MESILLA,
 DOÑA ANA COUNTY, NEW MEXICO
 SCALE 1" = 30' AUGUST 18, 2022



VICINITY MAP

PF FOUND IRON PIPE
 FR FOUND IRON ROD
 BRG FOUND BR WITH CAP

SURVEYOR'S CERTIFICATION

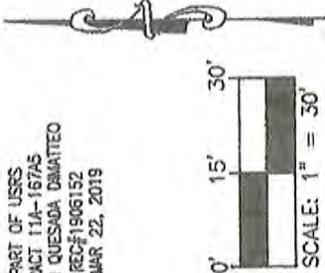
I, LARRY O. UNDERWOOD, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF NEW MEXICO, THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION FROM FIELD NOTES OF AN ACTUAL SURVEY, AND THAT IT MEETS THE MINIMUM STANDARDS FOR SURVEYING IN THE STATE OF NEW MEXICO AND THAT THE SAME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS PLAT AND SURVEY IS NOT A SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT.

Larry O. Underwood

LARRY O. UNDERWOOD | NIMPEPS NO. 5983 | DATE 08/18/22



UNDERWOOD ENGINEERING
 1430 W. AMADOR AVENUE
 LAS CRUCES, NM 88005
 P.E. (575) 647-4329
 PROJECT: 2244
 DRAWN BY: CRF



PART OF USRS
 TRACT 11A-167AS
 JOHANNI QUESADA GARCATEO
 REC#1906152
 MAR 22, 2019

PART OF USRS
 TRACT 11A-171C
 RAFAEL L. GONZALEZ, ET AL
 REC#1813612
 JUNE 5, 2018

PART OF USRS
 TRACT 11A-190
 OSCAR C. FRETZE
 REC#860769
 APRIL 26, 1986

PART OF USRS
 TRACT 11A-168A
 STEVE I. DELGADO
 REC#1300505
 JAN 8, 2013

PART OF USRS
 TRACT 11A-168B
 MARTIN SEDILLO
 & LYDIA T. SEDILLO
 BK 238, PG 524

PART OF USRS
 TRACT 11A-168B
 EDUARDO R. LOPEZ
 & NATALIA G. LOPEZ
 BK 166, PG 340

PART OF USRS
 TRACT 11A-167B
 EDWARD APODACA
 REC#0733639
 OCT 1, 2007

OWNER:
 MARIA A. AVAJOS
 INSTRUMENTS OF OWNERSHIP: REC#2110772
 APRIL 6, 2021

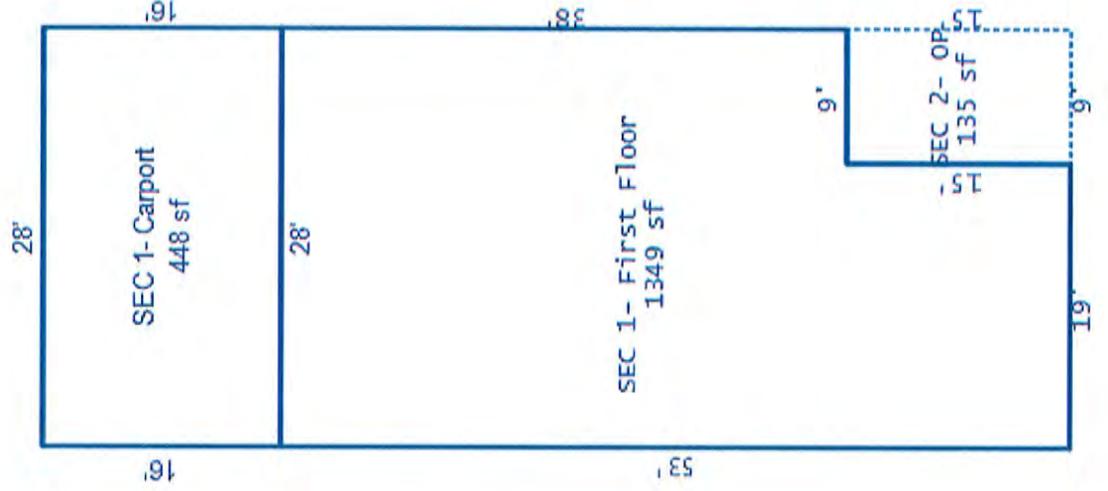
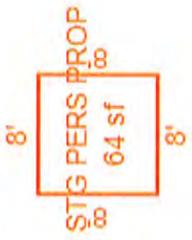


LEGEND

- SUBJECT TRACT BOUNDARY LINES & CORNER MONUMENTS ARE SET #5 REBAR W/ PLASTIC YELLOW CAP (NIMPLS#5983) UNLESS OTHERWISE NOTED
- FOUND IRON ROD W/ CAP TAGGED WITH BRASS TAG (NIMPLS #5983)
- EXISTING OVERHEAD POWERLINE
- EXISTING WOODEN FENCE
- EXISTING CHAINLINK FENCE

DESCRIPTION:

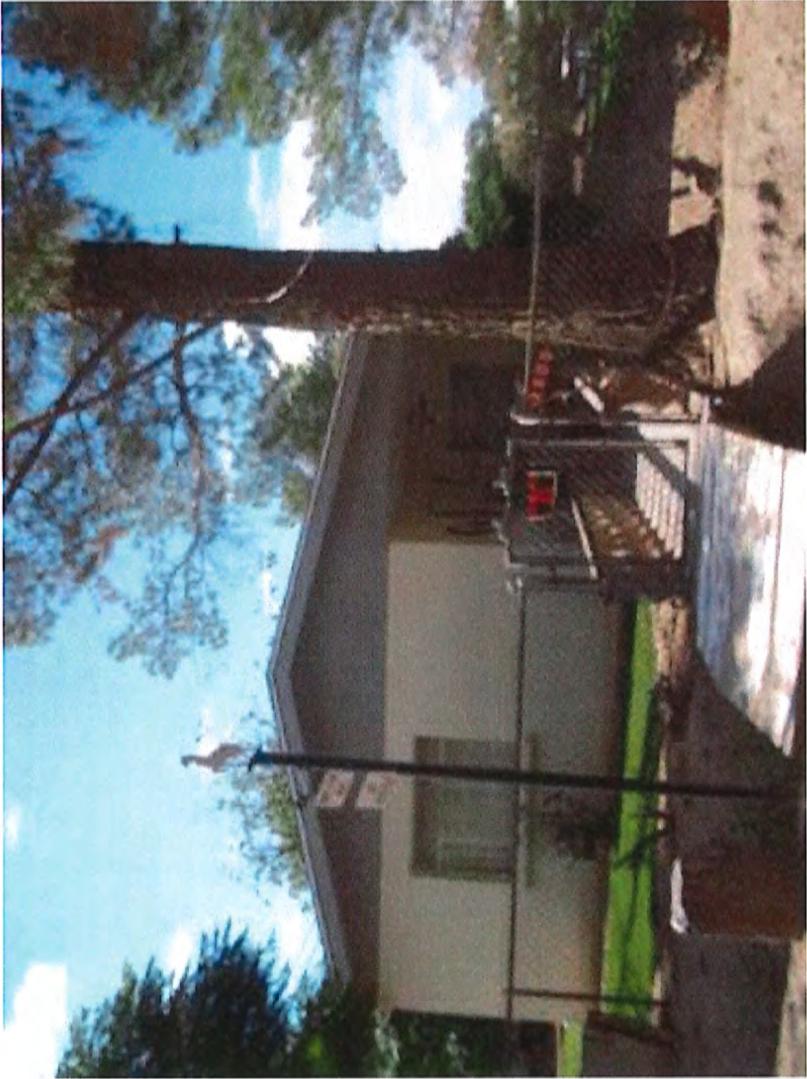
A 0.21 ACRE TRACT OF LAND BEING PART OF USRS TRACT 11A-167C, AS SHOWN IN WARRANTY DEED REC#2110772, AS FILED APRIL 6, 2021 IN THE RECORDS OF THE DOÑA ANA COUNTY CLERK'S OFFICE, LAS CRUCES, DOÑA ANA COUNTY, NEW MEXICO.





0 20 40ft

-106.798 32.271 Degrees











BOARD ACTION FORM

AGENDA DATE:

PZHAC: December 19, 2022

BOT: January 9, 2023

ITEM:

PZHAC Case #061497 – 2214 Calle de Guadalupe, submitted by Pat & Wendy Taylor for a 360 square foot addition of a kitchen and bath where there is an existing storage shed. Zoned: Historical Commercial (HC)

BACKGROUND AND ANALYSIS:

The existing storage shed to be demolished. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter 18.40. Also must meet parking requirements.

SUPPORTING INFORMATION:

- Application
- Letter requiring resubmittal of Case # 061324
- Site Plans
- Right of Entry form

PZHAC ACTION:

PZHAC approved this case 5-0 with the condition of a parking fee of \$150 per unit.

BOT OPTIONS:

The BOT may:

1. Approve this case with findings stated above.
2. Approve this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 250
 Review Fee \$ 40.50
 Total Fee \$ 290.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061497 ZONE: HC CODE: _____ APPLICATION DATE: 11/21/22

PAT WEDDY TAYLOR 575 526 7995
 Name of Property Owner Property Owner's Telephone Number

PO Box 673 Mesilla, NM 88006
 Property Owner's Mailing Address City State Zip Code

aprtaylor@comcast.net
 Property Owner's E-mail Address

PAT TAYLOR INC.
 Contractor's Name & Address (if none, indicate Self)

575 526 7995 02 131095 005 #365860
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2214 Calle Guadalupe

Description of Proposed Work: 360 square foot addition of a kitchen & bath where an existing storage shed is. Existing storage shed to be demolished.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING *Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.*

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

\$20,000.00 Pat Weddy Taylor 11/21/2022
 Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: 12/19/22
 Disapproved Date: _____
 Approved with conditions

BOT Approved Date: _____
 Disapproved Date: _____
 Approved with Conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO
 CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: #150 parking fee per unit.

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

Pat and Wendy Taylor
PO Box 673
Mesilla, NM 88046
November 21, 2022

Yolanda Lucero, Chair
Planning, Zoning and Historical Appropriateness Commission
Town of Mesilla

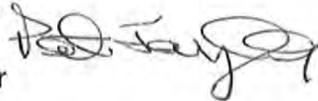
Re: Resubmittal of Case #061324

I am resubmitting case #061324 that had been tabled by the PZAHC on January 18, 2022. The case had been tabled citing that we couldn't have a second rental on our property at 2214 Calle de Guadalupe. I checked the ordinances and could find no reference to this. I also took an inventory of properties within the HC zone that had multiple rentals. They were several including my family's property on the west side of the plaza, the Double Eagle, La Posta and the Tafoya's on the east side of the plaza. There may be others but these are the ones that came to mind.

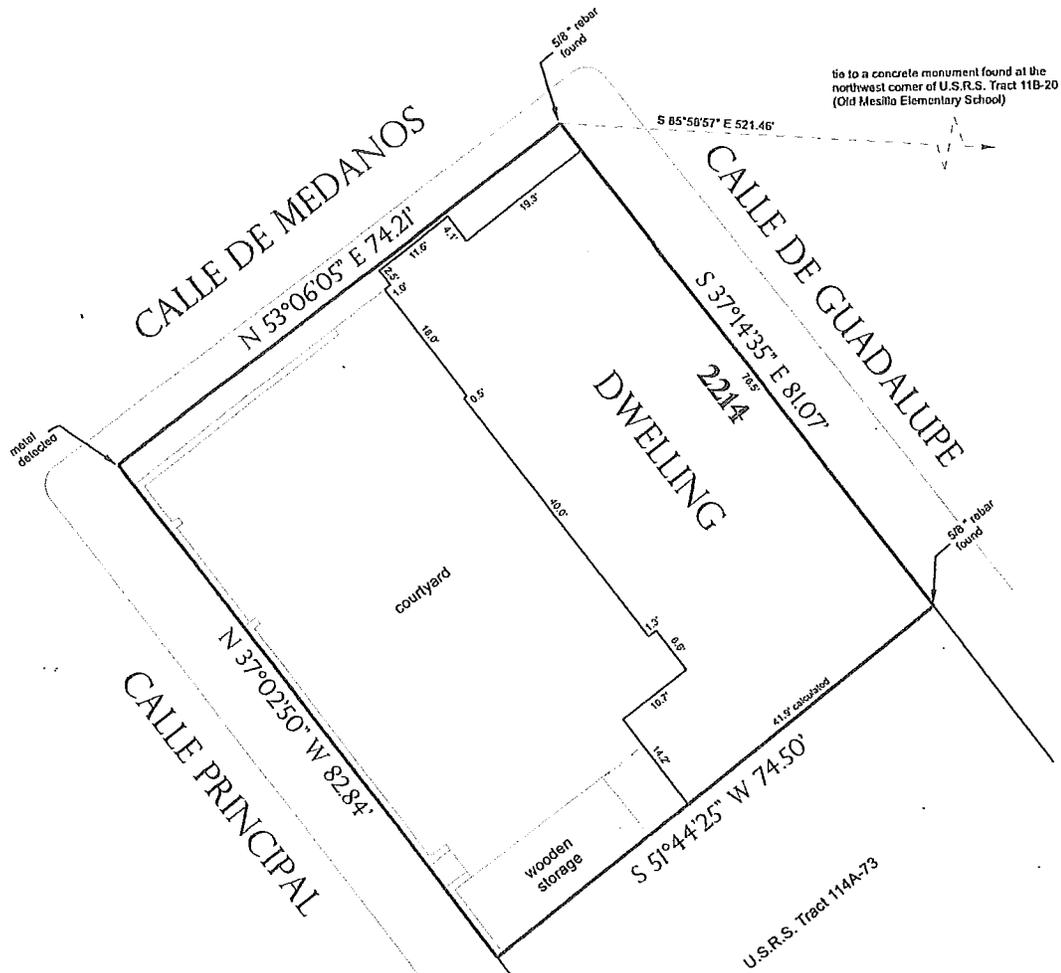
When my case is reviewed by the Architectural Styles Committee please let me know so I can attend, I would appreciate it.

Sincerely,

Pat Taylor

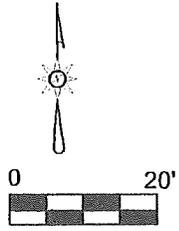


PLAT OF SURVEY 0.1399 ACRE PARCEL, BEING U.S.R.S. TRACT 11A-74,
 IN THE SW 1/4, SECTION 25, T.23S., R.1E., N.M.P.M., U.S.R.S. SURVEYS IN THE
 TOWN OF MESILLA, DOÑA ANA COUNTY, NEW MEXICO, AS THE SAME IS SHOWN
 AND DESIGNATED ON INSTRUMENT NO. 9116675 THEREOF, FILED OF RECORD IN THE
 OFFICE OF THE COUNTY CLERK OF SAID COUNTY ON SEPTEMBER 24, 1991 AND
 RECORDED IN BOOK 353, PAGE 74, CLERK'S RECORDS.



tie to a concrete monument found at the
 northwest corner of U.S.R.S. Tract 11B-20
 (Old Mesilla Elementary School)

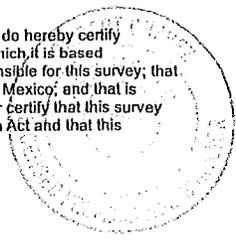
1. Date of Survey: September 14, 2016
2. Basis of Bearing: property corners found in place for Warranty Deed filed September 24, 1991 in Clerk's Record 353 page 74 of the records of Doña Ana County, New Mexico.
3. Distances are ground in U.S. Feet.
4. Record or platted information, where it differs from that found in the field, is shown in brackets [].
5. Property lies within Flood Zone "X"; area is determined to be outside the 500-year flood plain as designated in Flood Insurance Rate Map No. 35013C1093 G effective date: July 6, 2016.



I, Gilbert Chavez, New Mexico Professional Surveyor No. 6832, do hereby certify that this Plat of Survey and actual survey on the ground upon which, if it is based were performed by me on September 14, 2016; that I am responsible for this survey; that this survey meets the Minimum Standards for Surveying in New Mexico; and that is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the Subdivision Act and that this instrument is a Plat of Survey of an existing lot.

Gilbert Chavez
 Gilbert Chavez, PS 6832

September 15, 2016

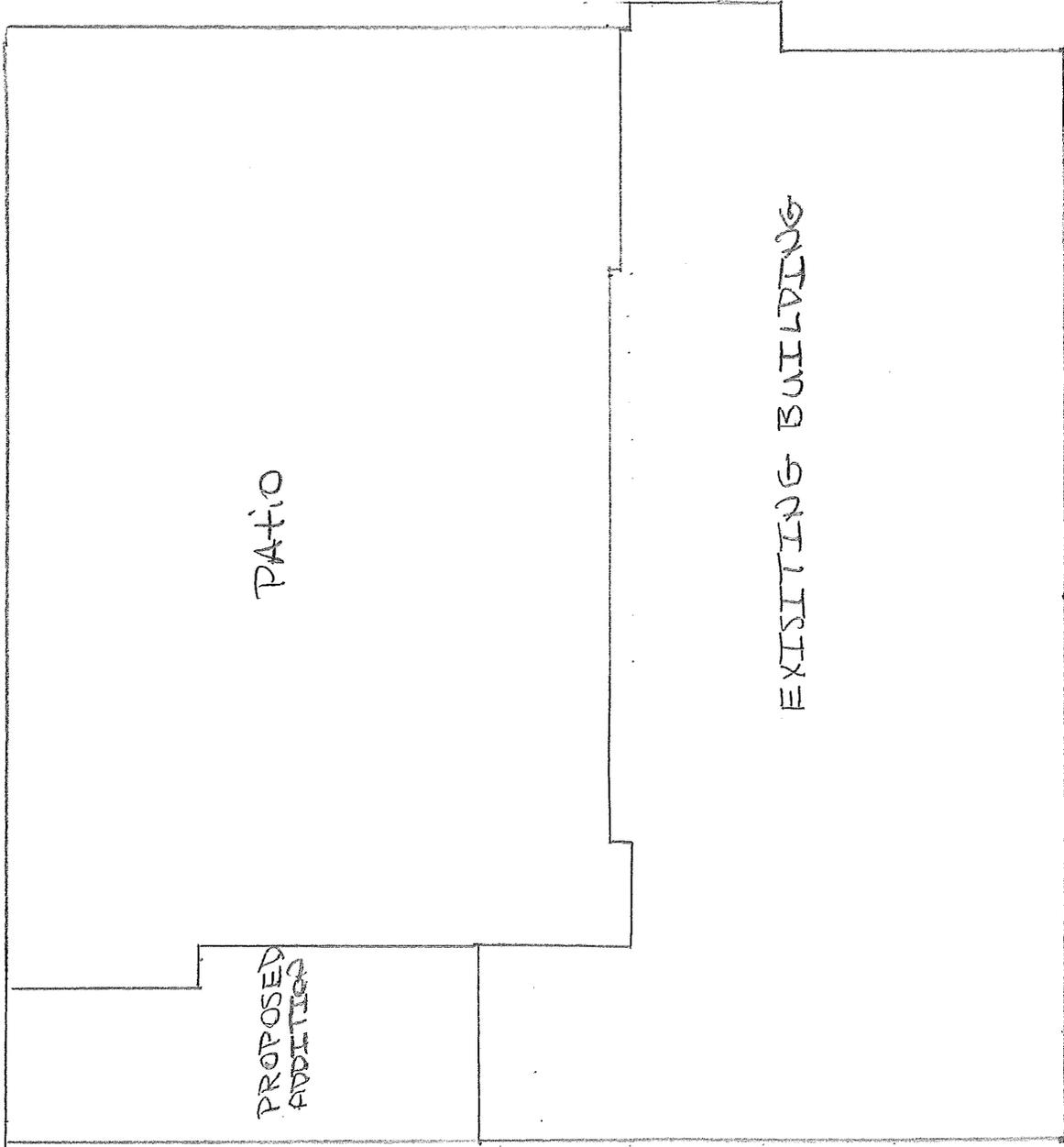


Gilbert Chavez
 Professional Surveyor
 Vista Grande Surveys
 P.O. Box 882
 Mesilla, NM 88046-0882
 Phone (575) 527-9280
 E-mail: gilchvz@q.com VG 16-079

2014 Calle Guadalupe

W

3



S

N

E

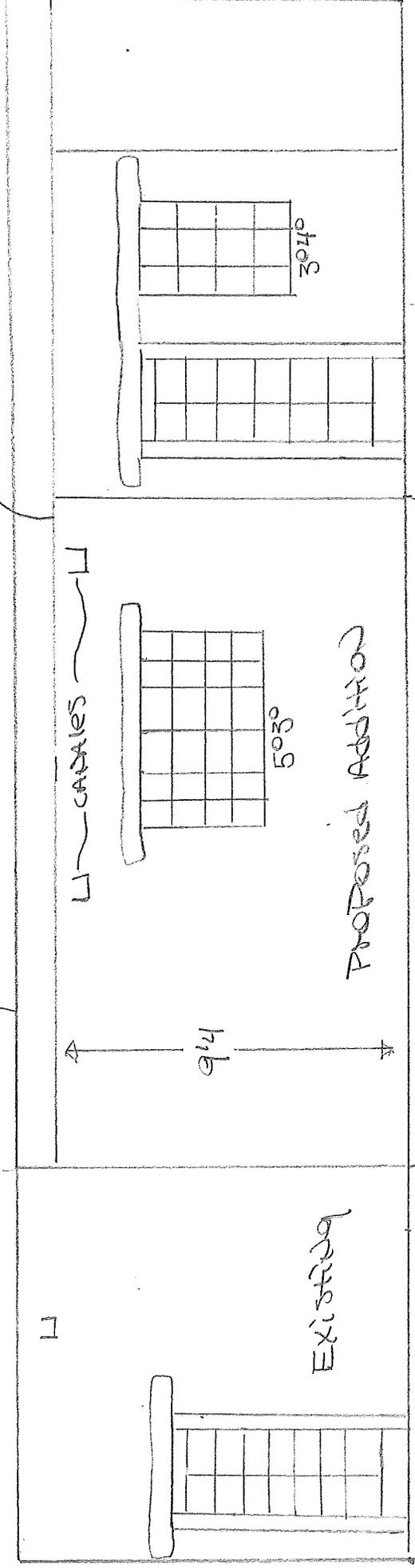
2214 CALLE GUADALUPE

PAT & WENDY TAYLOR

1200

TOP OF NEIGHBORS PARAPET

TOP OF PROPOSED PARAPETS



— EXISTING — |

— PROPOSED —

| - EXISTING

NORTH ELEVATION

- Exterior Plaster will be a Buckskin color

- Lintels will be painted brown

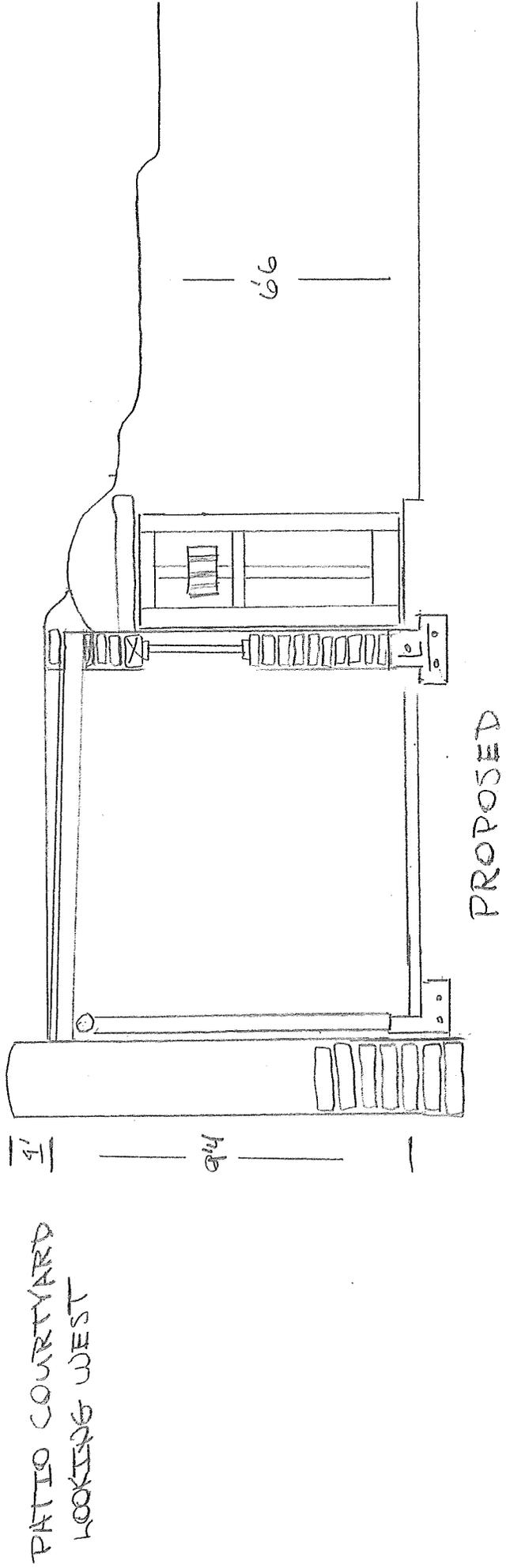
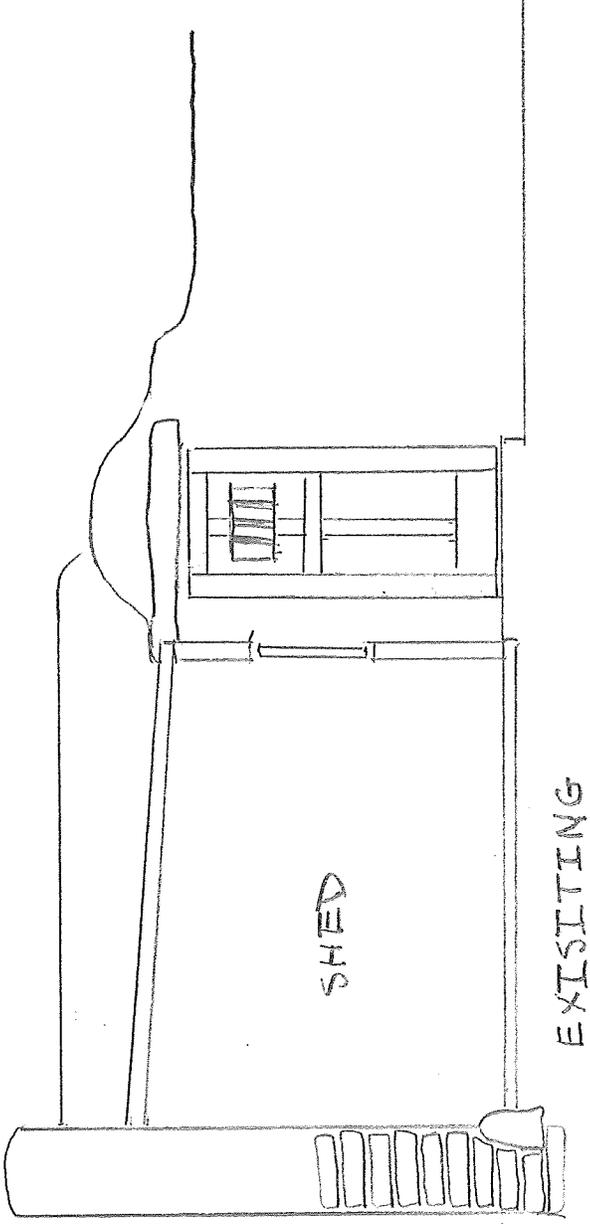
- Window / Door schedule
- 1- 5'0" divided lite wood window (painted white)
- 1- 3'4" divided lite wood window (painted white)
- 1- 3'6" divided lite wood door (painted white)

2214 CALLE COUTADAHUPE

PAT & WENDY TAYLOR

1

UPDATED 02/03/20

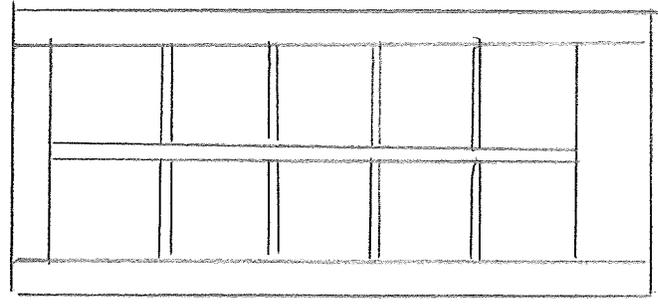


2214 Calle Guadalupe

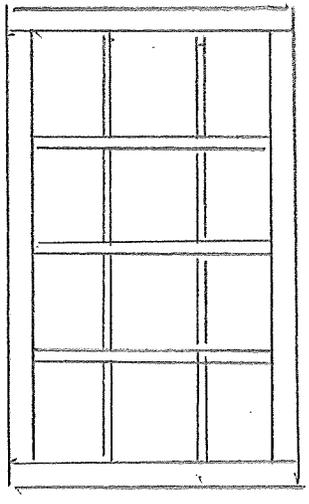
Pat & Wendy Tucker

updated 2/03/22

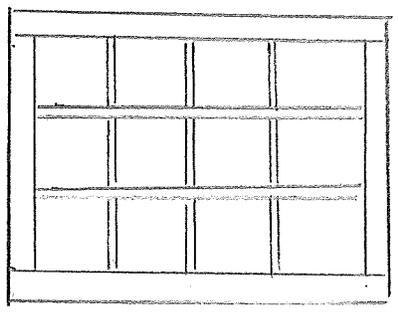
addition - window & door schedule



1-1 3/4 36" true divided
lite wood door
insulated glass
painted white



1-1 3/4 53" true divided
lite wood window
insulated glass
painted white



1-1 3/4 34" true divided
lite wood window
insulated glass
painted white

Windows & Door will be
re-posed and for custom made

2214 Calle Guadalupe

Pat & Wendy Taylor

1

UPDATED 02/03/22

YARD WALL
1" Decking / 2" R 17.4 POLY URETHANE
w/COATING

0.9A

Vertical/horizontal 0.94's
SUPPORTING ROOF

Existing
Height
SOUTH WALL

4" STAND

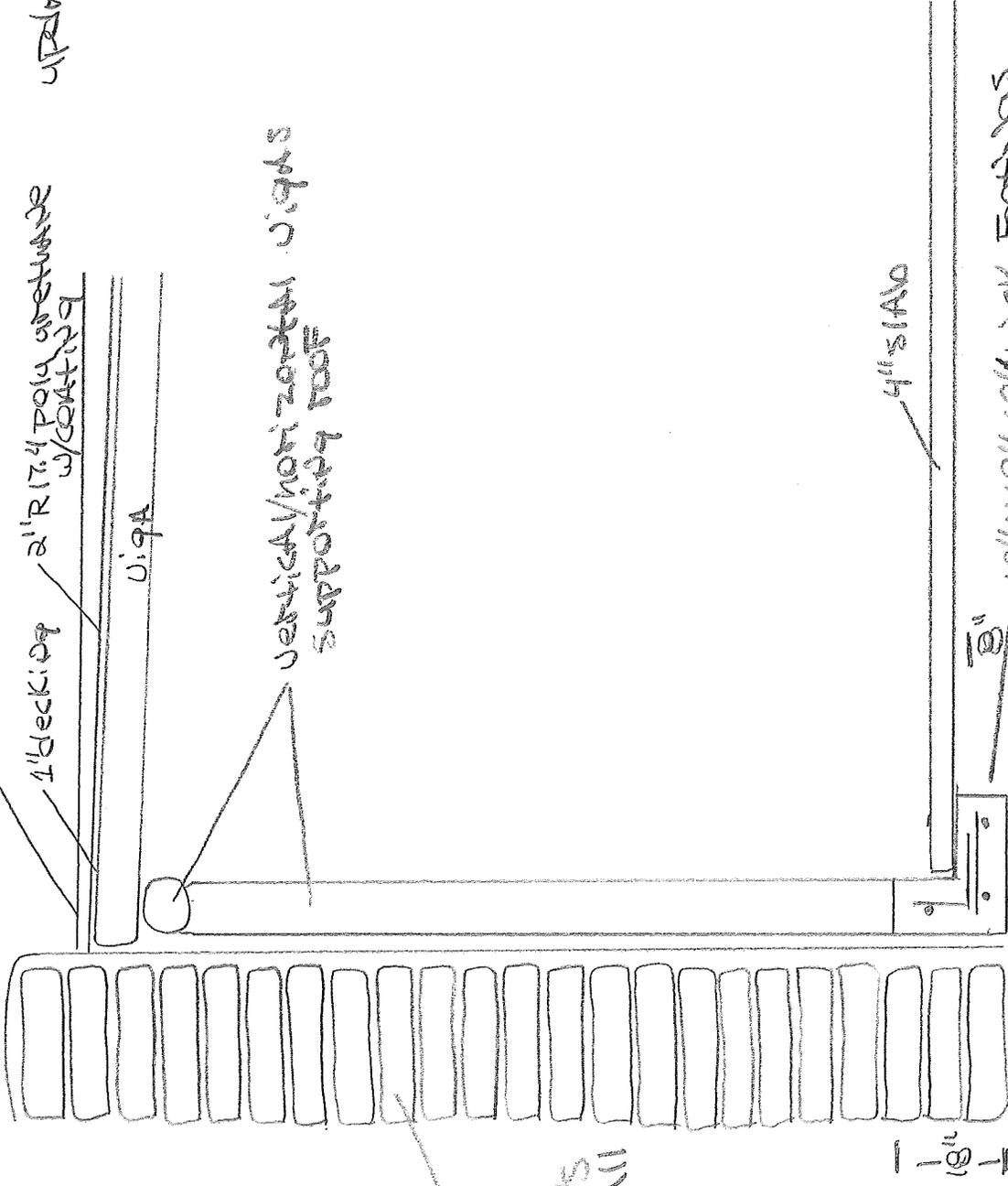
18"

10"

10" X 18" X 6" TWICK FOOTINGS

10" T WITH 8"
VERTICAL STEM
#4 REBAR COATS
3000 PSI CONCRETE

1-10" - 1



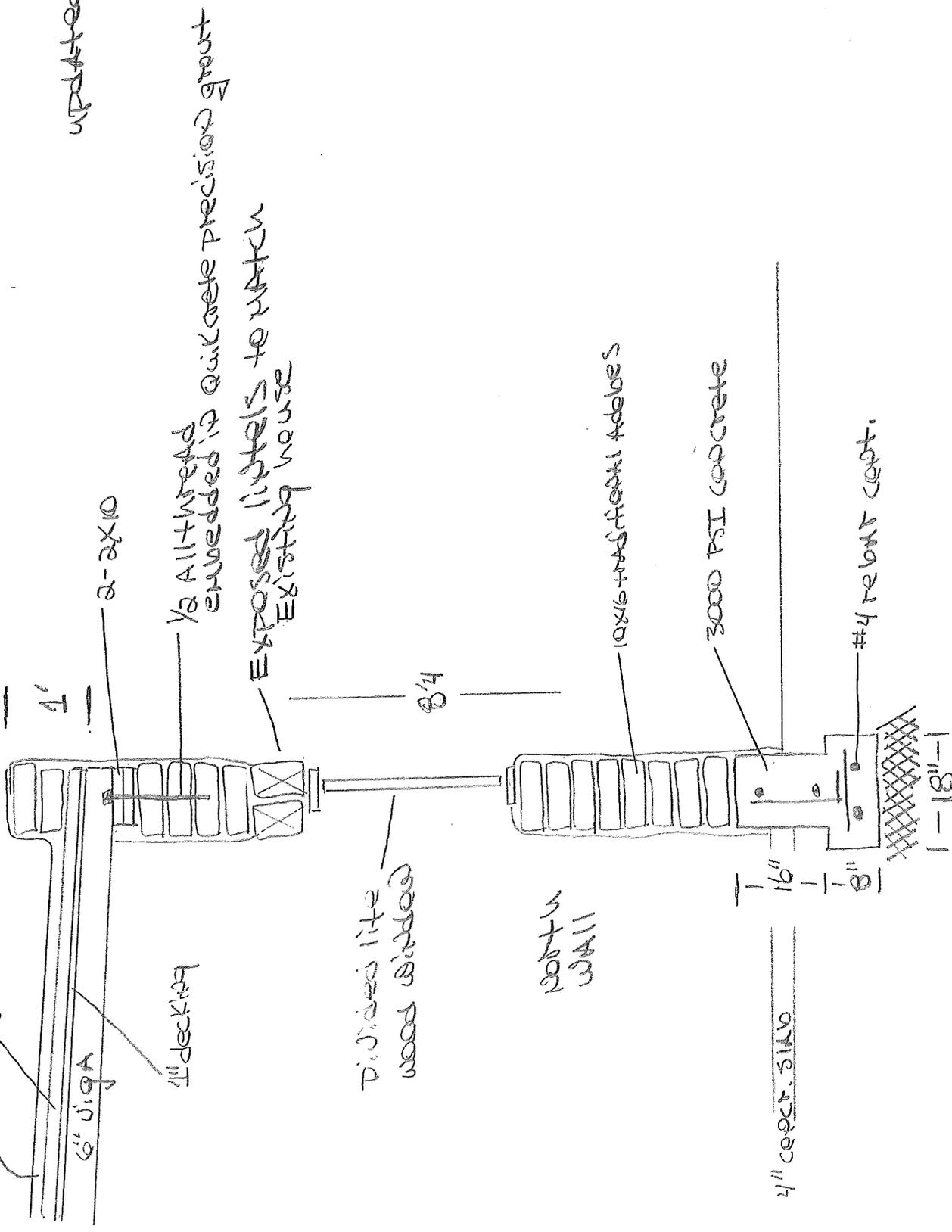
2214 Calle Guadalupe

Rat Eddy Taylor

1

STRAINED URETHANE ROOF

2" R17.4 POLY URETHANE w/COATING



UPDATED 2/03/22

EXPOSED LITELS TO MATCH EXISTING HOUSE

Divided lite wood window

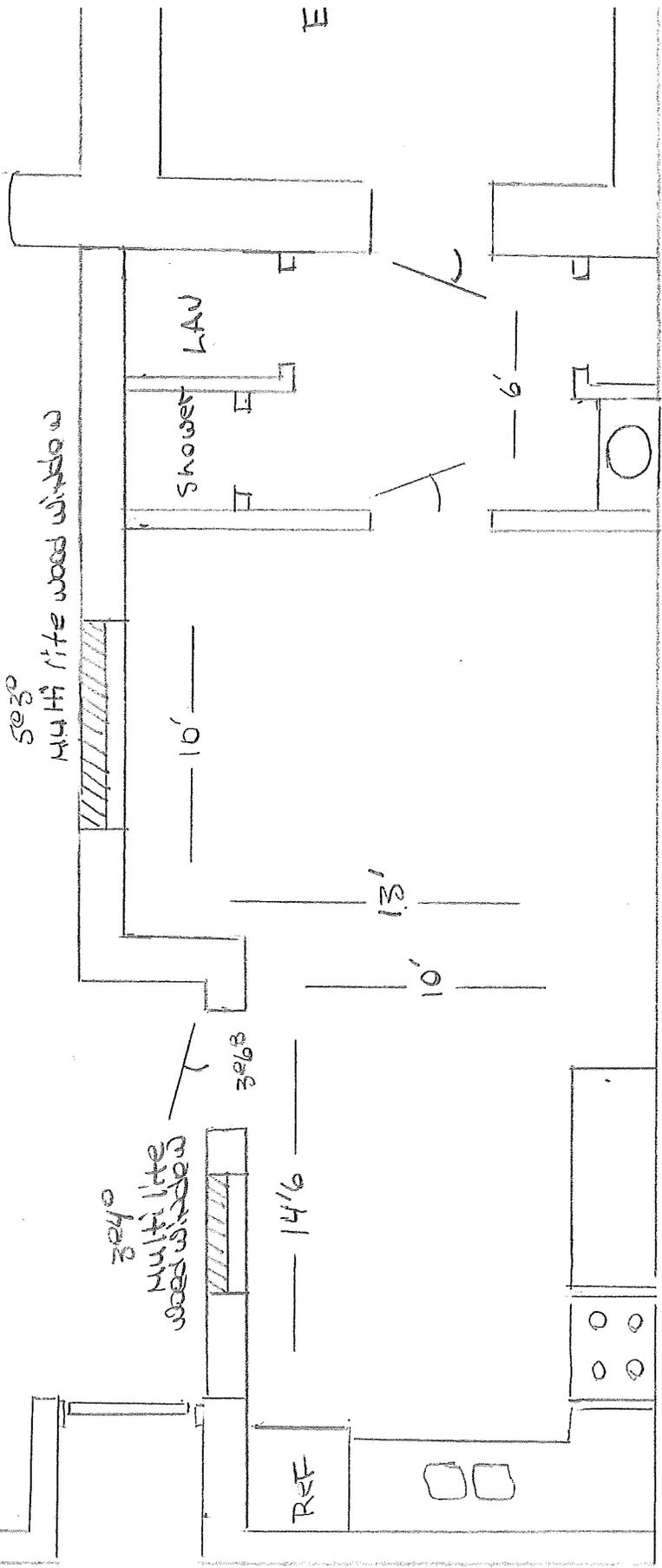
3/4
16
8

4" CEPT. SINK

#4 REBAR CAP.

1-18"-1

2



360 Square Feet

S

2214 CALLE GUADALUPE PAT & WENDY TAYLOR [1]

3

PAT & WENDY TAYLOR
2214 CALLE GUADALUPE

1/30/22

MAYOR BARRAZA

PLEASE see below the 3 things you had asked
for to complete the building permit application.

- Right of Entry Form (Attached)
- Window & Door schedule
 - 1- 5'0" x 3'0" divided lite wood window (Painted white)
 - 1- 3'0" x 4'0" divided lite wood window (Painted white)
 - 1- 3'0" x 6'8" divided lite wood door (Painted white)Windows will be the same style as existing.
Liners will be painted brown to match existing.
- Existing storage shed will be demolished. The Adobe Addition will match approximately the same footprint. The proposed addition roof will not be higher than existing west yard wall.

Please let me know if there are any other questions.

Thank you

PAT TAYLOR

MAYOR BARRAZA

DATE: Wendy Taylor
2/03/22

Below are the items on my "To Do" list that complete our packet for the building application for the demolition of the storage shed & the building of an addition.

Let me know if there is anything else you might need.

- RE-ENAL building application for the main residence (attached)
- PAINT COLOR & HOWE'S PAINT LABEL MATCHING THE EXISTING COLOR (attached)
- NOTES ON PLANS INDICATING THE R VALUE OF THE POLY URETHANE ROOF. I will be working with CID on the Energy code to meet requirements (attached)
- NOTES ON THE WINDOWS & DOOR (attached)
- 3 updated sheets showing dimensions of footings.

Town of Mesilla, New Mexico

Phone (575) 524-3262

P.O. Box 10

2231 Avenida de Mesilla, Mesilla, NM 88046



RIGHT OF ENTRY AGREEMENT

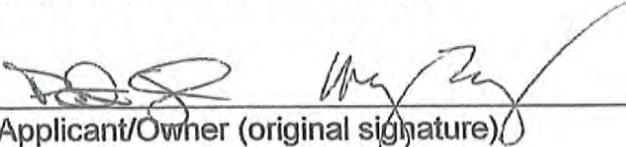
Applicant Name(s): Pat Taylor

Property Address: 2214 Calle Guadalupe

Adjacent property address: 2226 Calle de Guadalupe

Adjacent property owner(s): Nathan Smith

Right-of-Entry – Permission is hereby granted to the applicant, or its authorized agents, to enter upon the adjacent property for the sole purpose of construction and/or maintenance of the structure(s).

 1-30-22
Applicant/Owner (original signature) Date

 1-30-22
Adjacent Owner (original signature) Date

BOARD ACTION FORM

AGENDA DATE:

PZHAC: December 19, 2022

BOT: January 9, 2023

ITEM:

PZHAC Case #061499 – 2571 Calle de Guadalupe, submitted by Jeff McBride & Jane Mercer to raise the height of courtyard wall to 10 feet to match height of connected house. Zoned: Historical Residential (HR)

BACKGROUND AND ANALYSIS:

It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter 18.35 & 18.60.340, Wall, fence or hedge, Section H.

SUPPORTING INFORMATION:

- Application
- Property Summary
- Site Plans
- Pictures

PZHAC ACTION:

PZHAC approved this case 5-0 with the condition of obtaining a right-of-entry letter before issuing the permit.

BOT OPTIONS:

The BOT may:

1. Approve this case with findings stated above.
2. Approve this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 58
 Review Fee \$ 10.50
 Total Fee \$ 68.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061499 **ZONE:** HR **CODE:** HR **APPLICATION DATE:** 12/2/22

McMercer LLC (Jeff McBride and Jane Mercer) Jeff 727-512-6299 Jane 727-410-1895
 Name of Property Owner Property Owner's Telephone Number
2001 E Lohman Ave, Ste 110, Box 147 Las Cruces New Mexico 88001
 Property Owner's Mailing Address City State Zip Code
owners@mcmercerc.com
 Property Owner's E-mail Address
Self
 Contractor's Name & Address (If none, indicate Self)
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number
 Address of Proposed Work: 2571 Calle de Guadalupe, Mesilla, New Mexico, 88046
 Description of Proposed Work: Raise height of courtyard wall to 10 feet to match height of connected house. This is in keeping with Town of Mesilla code 18.60.340 Wall, fence, or hedge Section H. See attached document for details.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Foundation plan with details.
4. ___ Floor plan showing rooms, their uses, and dimensions.
5. ___ Cross section of walls.
6. ___ Roof and floor framing plan.
7. ___ Proof of legal access to the property.
8. ___ Drainage plan.
9. ___ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ___ Proof of legal access to the property.
12. ___ Other information as necessary or required by the Town Code or Community Development Department.

\$ 1,000 Kdm Jma December 2nd, 2022
 Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: 12/19/22 Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions
 PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO
 CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS
 CONDITIONS: RIGHT-OF-ENTRY LETTER

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

Raise Courtyard Wall Permit

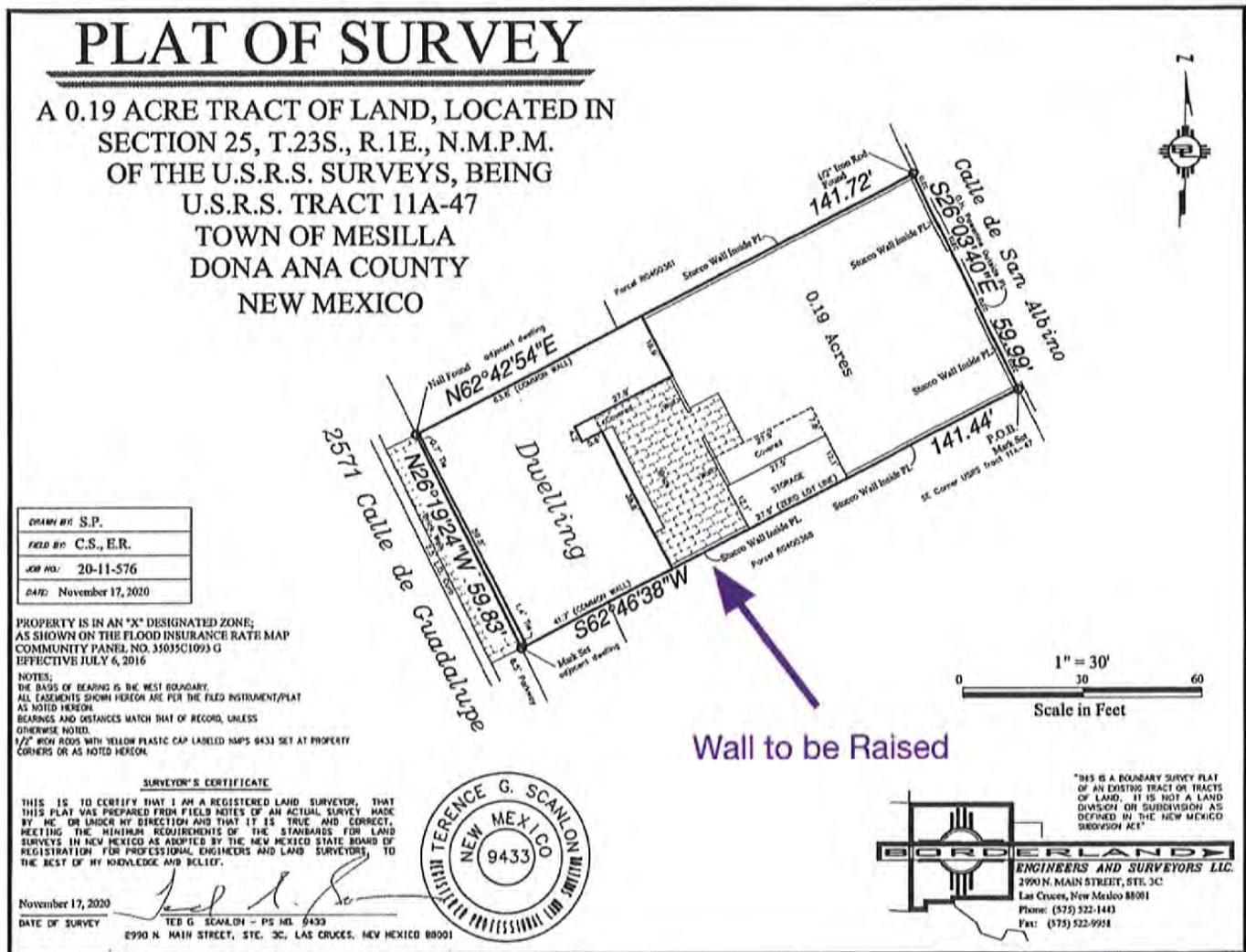
Scope and Objective of the Project

The scope of this project is limited to the wall of the exterior courtyard. This stucco wall is on the southern border of the property and separates the courtyard from the adjacent property owned by Ruben Rivera. It is 22 feet long, 6 feet tall, 12 inches thick and connects the house which is 10 feet in height to the workshop which is 12 feet in height. The objective of this project is to raise the height of the wall to match the lower building height of 10 feet according to the following Mesilla Town Code:

18.60.340 Wall, fence, or hedge

H. A wall may exceed six feet if it is compatible with the development zone, as defined in the Guidelines and Criteria for Preservation and Development manual (YGUADO Plan), and is connected to the building where it surrounds a courtyard, patio, or open room and the height of the wall is to provide privacy and/or environmental protection. The wall shall not exceed the height of the corresponding building nor at any time exceed 10 feet. This criterion shall not be considered for a perimeter wall (property line fence). [Ord. 2006-10 § 1; Ord. 2001-09 § 1; Ord. 94-06 § 1; Ord. 93-08; prior code § 11-2-5.34]

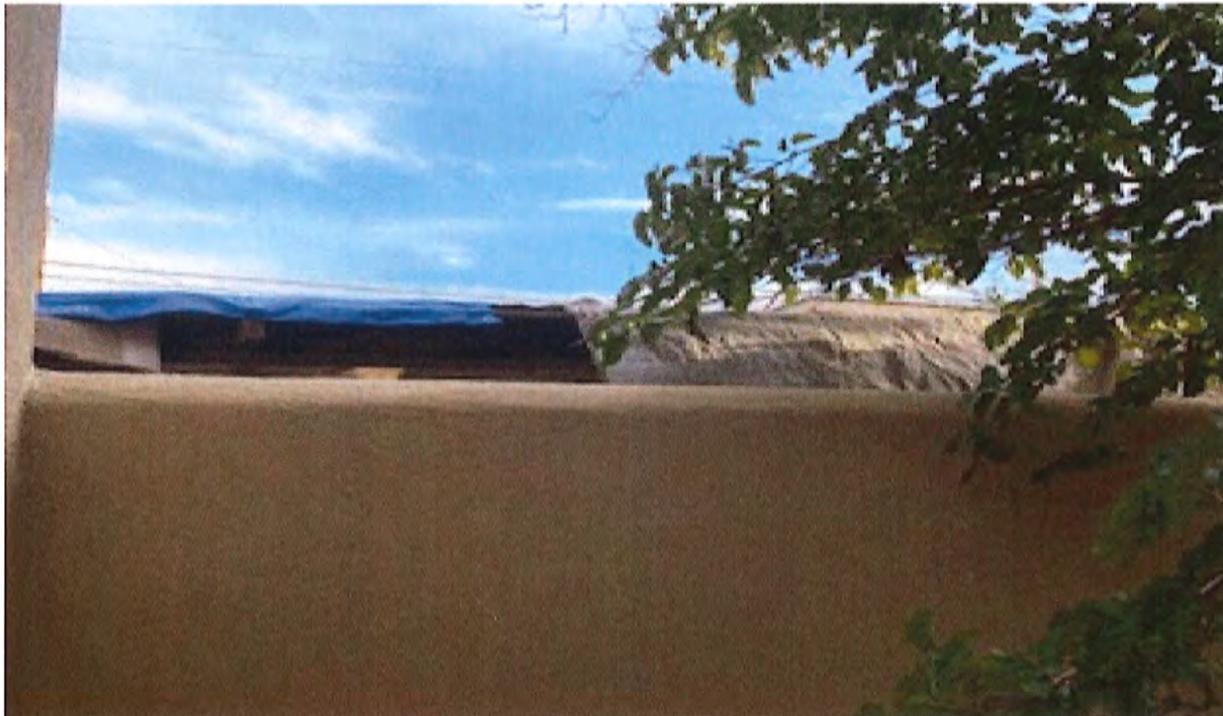
Survey of Property



Pictures of the Wall to be Raised



The adjacent Rivera property has a shed built up against the wall which is unsightly. Below is a photo of the shed as seen from the interior of the courtyard:



Project Labor and Cost

The work will be completed by ourselves with the help of a handyman. The cost estimate of this project is approximately \$1,000.

BOARD ACTION FORM

AGENDA DATE:

PZHAC: December 19, 2022

BOT: January 9, 2023

ITEM:

PZHAC Case #061500 – 2571 Calle de Guadalupe, submitted by Jeff McBride & Jane Mercer to replace evaporative cooler and gas furnace with ducted mini split HVAC unit. Zoned: Historical Residential (HR)

BACKGROUND AND ANALYSIS:

The evaporative cooler will be replaced with the condensing unit. The gas furnace is located in a metal box which will remain and house the new air handler units. All duct work for this project is located inside the ceiling, and none will be added to the roof. A new upgraded electrical run to the units will be installed.

It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter 18.35.

SUPPORTING INFORMATION:

- Application
- Property Summary
- Site Plans
- Pictures

PZHAC ACTION:

PZHAC approved this case 5-0. No conditions.

BOT OPTIONS:

The BOT may:

1. Approve this case with findings stated above.
2. Approve this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 150
 Review Fee \$ 25.50
 Total Fee \$ 175.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 06/500 **ZONE:** HR **CODE:** _____ **APPLICATION DATE:** 12/2/22

McMercer LLC (Jeff McBride and Jane Mercer) Jeff 727-512-6299 Jane 727-410-1895
 Name of Property Owner Property Owner's Telephone Number
2001 E Lohman Ave, Ste 110, Box 147 Las Cruces New Mexico 88001
 Property Owner's Mailing Address City State Zip Code
owners@mcmercercor.com
 Property Owner's E-mail Address
Mayer Custom Fab - 4320 Bogart Lane Las Cruces, NM 88007
 Contractor's Name & Address (If none, indicate Self)
(575) 639-6433 47-5077630 387071
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2571 Calle de Guadalupe, Mesilla, New Mexico, 88046

Description of Proposed Work: Replace evaporative cooler and gas furnace with ducted mini split HVAC unit. The evaporative cooler will be replaced with the condensing unit. The gas furnace is located in a metal box which will remain and house the new air handler units. All duct work for this project is located inside the ceiling, and none will be added to the roof. A new upgraded electrical run to the units will be installed. See attached images for details.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

\$ 10,000 Kdm Jma December 2nd, 2022
 Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: 12/19/22 Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO
 CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

The Medina House

2571 Calle De Guadalupe, Mesilla, New Mexico
For McMercer LLC, Owners Jeff McBride and Jane Mercer
December 1st, 2022

History of Property

The subject property is known as the Medina House. The Medina House was designated a "building of significance designated worthy of preservation" by the Dona Ana County Historical Society in 1977. It is an 1865 Adobe, restored by the Medina family in the mid-late 20th Century prior to architectural oversight by the Town of Mesilla. However, the property still retains its original 3 foot adobe walls, interior vigas and kiva, and many other authentic features. We believe there may have been a zaguan which is now walled-in that led to an enclosed rear courtyard that exists today. The property is a single family home and is located several blocks south of the plaza and sits between the Calle de Colon, Calle de Correo, Calle de Guadalupe, and the Calle de San Albino. It is one block from the Fountain Theatre and the restored Vintage Wine building.

About Us

We are retired real-estate entrepreneurs with twenty five years of professional experience. Jane was born in the UK and is a naturalized US Citizen. She holds a BA from London University and an MBA from Pennsylvania State University. Jeff was born in California and holds a BA in History and a BS in Economics from UC San Diego. We retired in 2019 and now travel extensively while restoring historical properties. We have a passion for history and nature. We expect that this property will become our primary residence.

Property Objective

Our objective is to beautify this property and to continue the restoration started by the Medina family fifty+ years ago. We believe this property is representative of Mesilla's period of historic significance between 1849 and 1885 and should be preserved and restored as such. We also want to add to the cultural identity and architectural history of the Town of Mesilla. The block that the property sits on is generally run-down in appearance and we would like to lead local efforts to improve its overall appeal and restore its appearance to support the historical character of much of the rest of Mesilla.

Location of Property



Dona Ana County Historical Society Designation



Replace Evap Cooler / Furnace with HVAC Permit

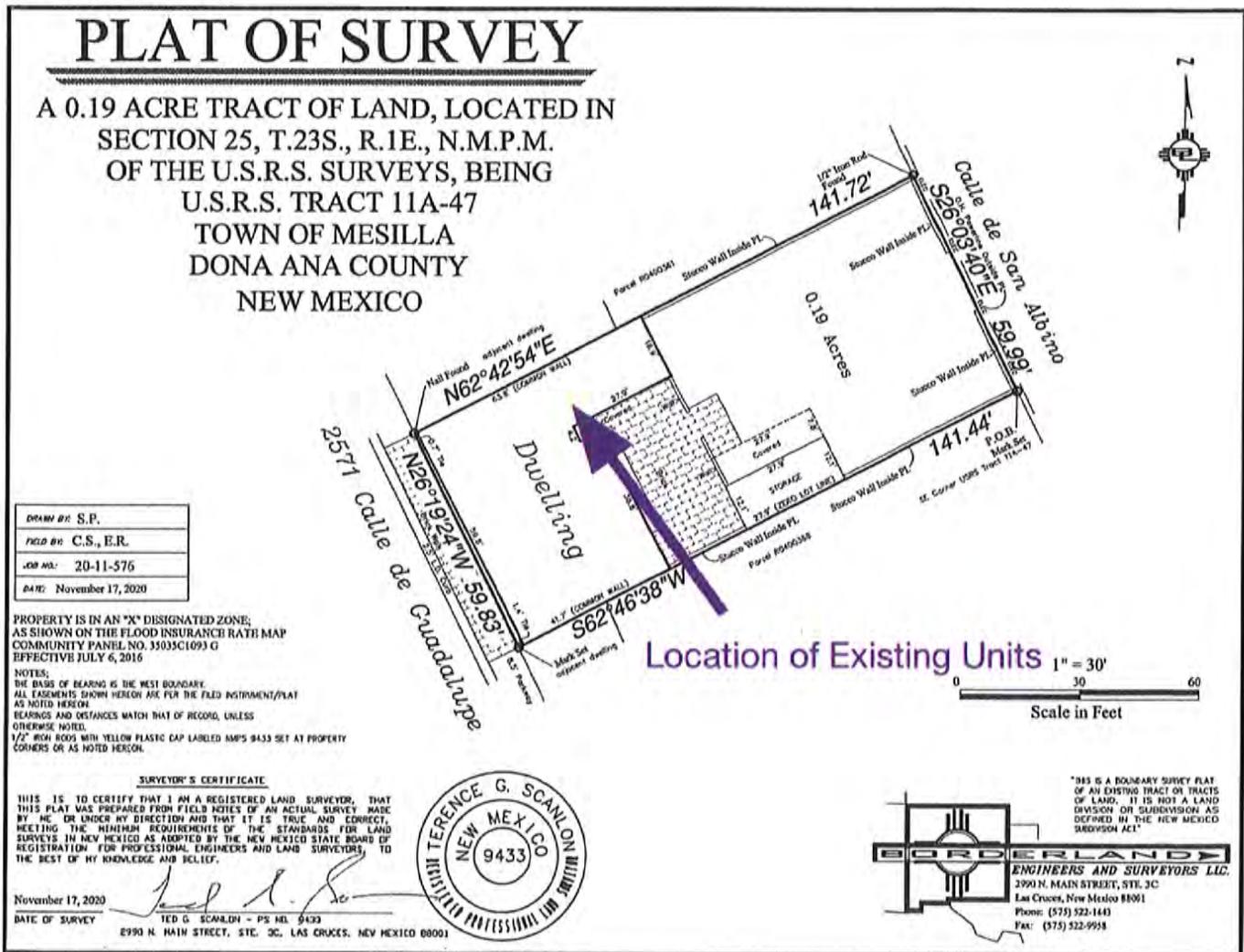
Objective of the Project

The objective of this project is to replace an evaporative cooler and gas furnace with a new ducted mini split HVAC unit. Both are located on the roof and the furnace is in a metal box. The new condensing unit will replace the existing evaporative cooler but is smaller in size overall and the same height. The evaporative cooler is 35 inches in height, 42 inches long and 43 inches wide. The new condensing unit is 35 inches in height, 38 inches long and 15 inches wide. The air handling units will replace the furnace in the metal box, so will not change exterior appearance. All ductwork is located in the ceiling, not on the roof, and no new ductwork will be installed on the roof. A new electrical circuit will need to be installed to handle the increased load.

Project Labor and Cost

The work will be completed by Mayer Custom Fab LLC with Federal Tax ID 47-5077630 and Contractor License Number 387071. The cost estimate of this project is approximately \$10,000.

Survey of Property



Picture of the Existing Evaporative Cooler and Metal Box Containing the Furnace



Picture of the Existing Furnace



Picture of the Roof Line from Ground Level on Calle de San Albino

Existing Evaporative Cooler



Picture of the Roof Line from Ground Level on Calle de Guadalupe



BOARD ACTION FORM

AGENDA DATE:

PZHAC: January 3, 2023

BOT: January 9, 2023

ITEM:

PZHAC Case #061503 - 2525 Calle de Parian A, submitted by Renee Beltran, to install a residential PV Solar System (8 Panels, 4 Inverters, 2.96 Kw. Main panel Upgrade: 200A Bus/200A Main). Zoned: Historical Residential (HR)

BACKGROUND AND ANALYSIS:

It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter 18.35.060.

SUPPORTING INFORMATION:

- Application
- Correction Letters
- Site Plans w/ Dimensions
- Picture
- Residential Agreement
- Structural Analysis Report

PZHAC ACTION:

PZHAC approved this case 5-0. No conditions.

BOT OPTIONS:

The BOT may:

1. Approve this case with findings stated above.
2. Approve this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA

APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 260
Review Fee \$ 42
Total Fee \$ 302

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 06/503 ZONE: HR CODE: APPLICATION DATE: 11/28/22

Renee Beltran (575) 635-6683
Name of Property Owner Property Owner's Telephone Number
2525 Calle De Parian A Mesilla NM 88046
Property Owner's Mailing Address City State Zip Code
reneebeltran94@gmail.com
Property Owner's E-mail Address

Solcius LLC / 1555 N Freedom Blvd, Provo, UT 84604
Contractor's Name & Address (If none, indicate Self)
844-37-2258 Contractor's Telephone Number
Contractor's Tax ID Number 32880
Contractor's License Number

Address of Proposed Work: 2525 Calle De Parian A, Mesilla, NM 88046

Description of Proposed Work: Residential PV Solar Installation: 8 Panels, 4 Inverters, 2.96 Kw.
Main Panel Upgrade: 200A Bus/200A Main

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

- 1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) -- diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

\$ Estimated Cost Signature of Applicant Renee Beltran Date 11/28/22

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC [] Administrative Approval [X] Approved Date: 1/3/23 [] Disapproved Date: [] Approved with conditions
BOT [] Approved Date: [] Disapproved Date: [] Approved with Conditions

PZHAC APPROVAL REQUIRED: [X] YES [] NO BOT APPROVAL REQUIRED: [X] YES [] NO
CID PERMIT/INSPECTION REQUIRED: [X] YES [] NO [] SEE CONDITIONS

CONDITIONS:

PERMISSION ISSUED / DENIED BY: ISSUE DATE:



1555 North Freedom Blvd
Provo, UT 84604
844-357-2258

Date
22-12-22

2525 Calle De Parian A,
Mesilla, NM 88046

To whom it may concern,

The following corrections have been made to the Beltran2 Residence Permit:

1. The field service has changed the wall conduit on site to SCH 80 in accordance with Code Section: 14.10.4.11 L , 2017 NMEC. Roof top conduits are still EMT.
2. The project address has been updated to meet state CID guidelines.
3. The site plan on PV02 has been updated with additional dimension linear measurements which include ballast tray valley-parapet wall and width/length of arrays that span ballast tray valleys end to end. The parapet wall and array heights are approximately nine inches high.

Thank you,
Richard Velasquez
solarpermits@solcius.com
844-357-2258



AZIMUTH AND TILT TABLE					
ROOF AZIMUTH	TILT ANGLE OF PANEL	TILT ANGLE OF ROOF	MODULE COUNT	SOLAR ACCESS	ROOF TYPE
A	138	8	0	100%	Membrane
B	318	8	0	100%	Membrane
C					
D					
E					
F					
G					
H					
I					
ZONING ZONING-NH120-370/1M TOTAL: 8					
NEP SOL-300X2					

3' VENTILATION LOCATION ON THE RIDGE SHALL NOT BE REQUIRED TO BE FREE OF OBSTACLES.

STC CALCULATION BOX
 NEW INVERTERS: 4 NEP BDM-300X2 = 2 KW-AC
 NEW PANELS: 8 ZONING ZONING-NH120-370/1M X 370W = 2.96 KW-DC

TOTAL ROOF AREA: 0
 PROPOSED SOLAR AREA: 156.87 sqft
 PROPOSED SOLAR WEIGHT: 254.9210
 PROPOSED % COVERAGE: 0%

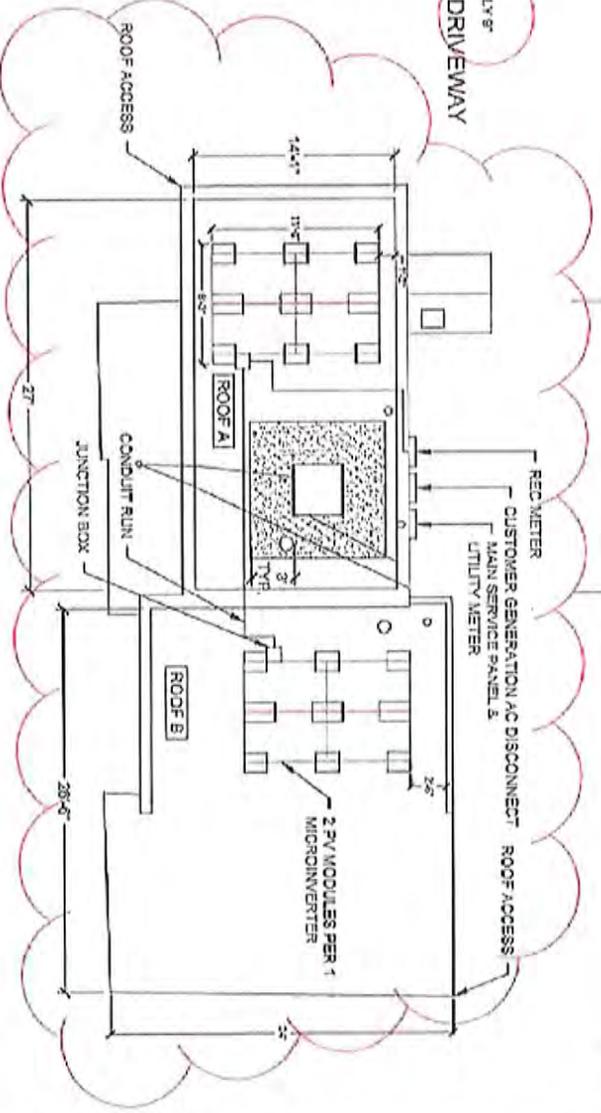


Digitally signed by Arlo Hellick, P.E., on 11/23/22 10:53:23 AM

THE PAVEMENT WALL HEIGHT IS APPROXIMATELY 8'
 UTILITY ACCESS THROUGH DRIVEWAY

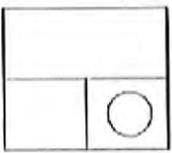


2525 Calle De Parian A/B



solcius	REGIONAL OFFICE: SOLCIUS, LLC 1530 GOODYEAR DR, STE G EL PASO, TX 79936 (844) 357-2258
CUSTOMER:	Eddie Reagan 2525 Calle De Parian Apt. A Mesilla NM 88046 (575) 655-5683
UTILITY:	El Paso Electric Co (NEM)
DESIGNER:	Richard Velasquez
DATE:	22-12-22
PROJECT #:	P-245555-22
Financier:	Mosaic
JURISDICTION:	Mesilla
SYSTEM SIZE:	2.96 KW-DC
SHEET TITLE:	2 KW-AC SITE PLAN
VERSION:	3.3.6
SHEET #:	PV02

Main Service Panel



FOR ILLUSTRATION ONLY
(NOT ACTUAL MSP)

SOLAR BY SYSTEM EQUIPPED WITH RAPID SHUTDOWN

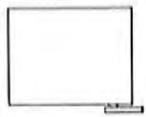
WARNING: THE RATED DC VOLTAGE OF THE SYSTEM MAY EXCEED THE RATED VOLTAGE OF THE MAIN SERVICE PANEL. THE MAIN SERVICE PANEL MUST BE RATED FOR THE SYSTEM VOLTAGE.

WARNING: ONLY POWER SOURCE SECOND SOURCE IS PHOTOVOLTAIC SYSTEM

WARNING

POWER SOURCE OUTPUT CONNECTION, DO NOT REDUCATE THIS OVERCURRENT DEVICE.

AC Disconnect (If Used)



FOR ILLUSTRATION ONLY
(NOT ACTUAL DISCONNECT)

PHOTOVOLTAIC AC DISCONNECT

BATTERY OUTPUT CURRENT: 5.36
NOMINAL OPERATING AC VOLTAGE: 240V

WARNING

ELECTRICAL CODE VIOLATION: TERMINALS ON BOTH LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

WARNING: PHOTOVOLTAIC POWER SOURCE

LOCATION: EVERY 4' ALONG ANY CONDUITS OR MC CABLE THAT CONTAIN DC CIRCUITS, AT EVERY ENCLOSURE AND AT EACH SIDE OF WHERE THE CONDUIT OR CABLE PASSES THROUGH A WALL, FLOOR, OR ANY OTHER PARTITION.

NOTES: DC CONDUIT MUST BE A REFLECTIVE STICKER

NOTES:

PRODUCTION METER (If Used)

REC METER

FOR ILLUSTRATION ONLY
(NOT ACTUAL METER)

ALL SIGNAGE MUST BE PERMANENTLY ATTACHED AND BE ABLE TO WITHSTAND THE ENVIRONMENT THEY ARE INSTALLED. SIGNAGE ALSO CANNOT BE HAND WRITTEN. NEC 110.21(B)



REGIONAL OFFICE:

SOLCIBUS, LLC
1580 GOODYEAR DR, STE G EL PASO, TX 79936
(844) 357-2258

CUSTOMER:

Eddie Reagan 2525 Calle De Perlan Apt. A Mesilla NM 88045 (575) 635-5683

UTILITY:

El Paso Electric Co (NMI)

DESIGNER:

Richard Velazquez

DATE:

22-12-22

PROJECT #:

P-245555-22

Firmname:

Mosaic

JURISDICTION:

Mesilla

SYSTEM SIZE:

296 KW-DC
2 KW-AC

SHEET TITLE:
EQUIPMENT LABELS

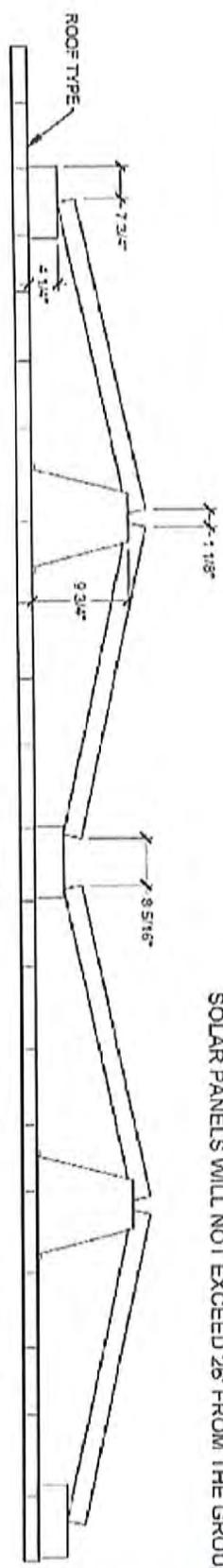
VERSION:

3.3.6

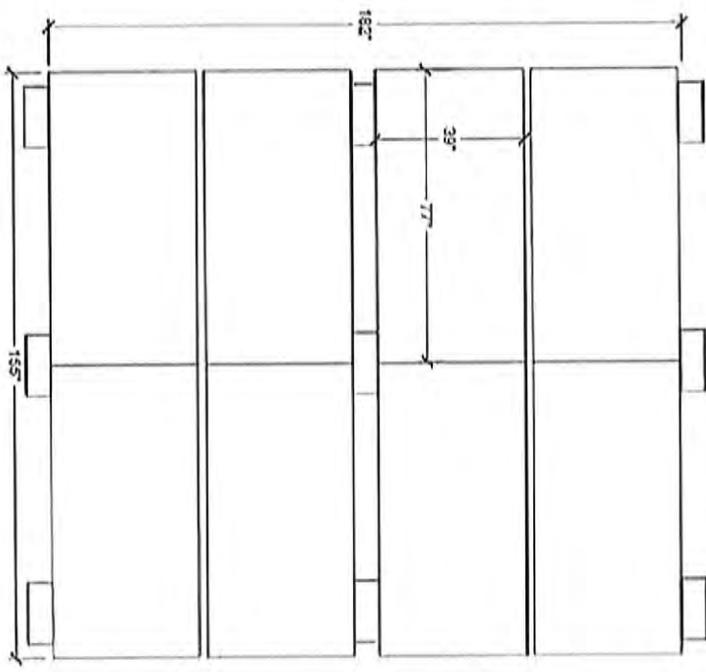
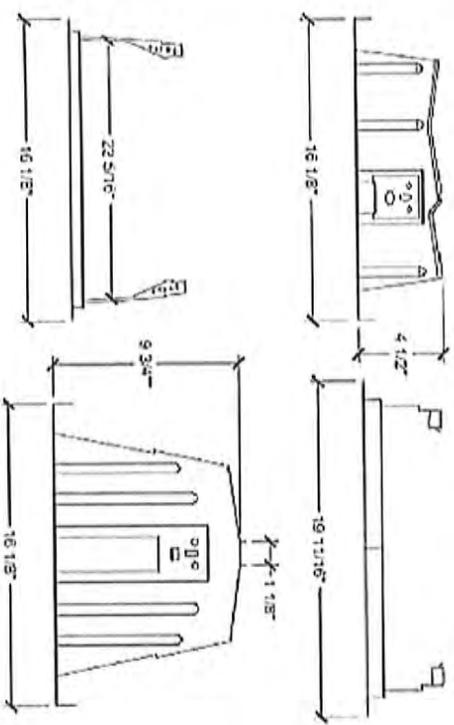
SHEET #:

PV04

SOLAR PANELS WILL NOT EXCEED 26' FROM THE GROUND



NOTE: ARRAY DIMENSIONS WILL VARY BASED ON MODULE WIDTH AND LENGTH



REGIONAL OFFICE:
 SOLCIBUS, LLC
 1530 GOODFEAR
 DR, STE G EL PASO,
 TX 79956
 (844) 357-2258

CUSTOMER:

Eddie Reagan 2525
 Calle De Panam
 Apt. A Mesilla NM
 88045 (575) 655-
 6683

UTILITY:

El Paso Electric Co
 (NMI)

DESIGNER:

Richard Velasquez

DATE:

22-12-22

PROJECT #:

P-245555-22

Financier:

Mosaic

JURISDICTION:

Mesilla

SYSTEM SIZE:

2.95 KW-DC
 2 KW-AC

SHEET TITLE:

BACK & RAIL
 DIAGRAM

VERSION:

3-3.6

SHEET #:

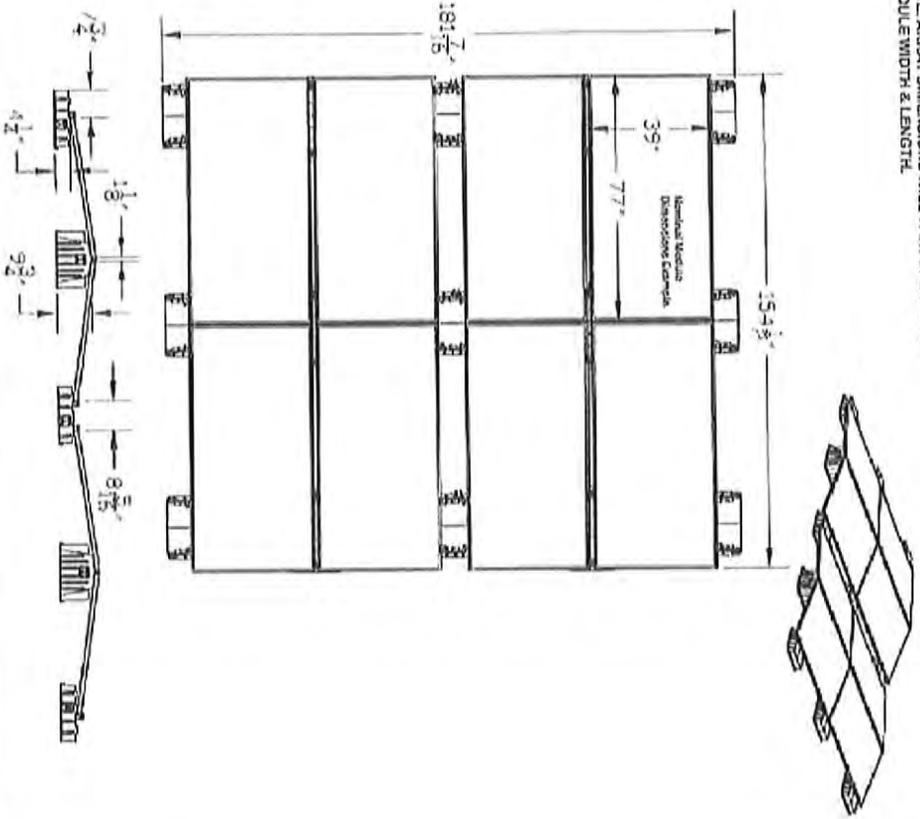
P105

PROJECT SPECS	
RAFTER SIZE:	2X4"
RAFTER SPACING:	24" O.C.
ROOF TYPE:	Membrane
ATTACHMENT SPACING:	N/A
RAILS / RACKING:	RA01
MOUNTING:	EAST WEST BALUAST

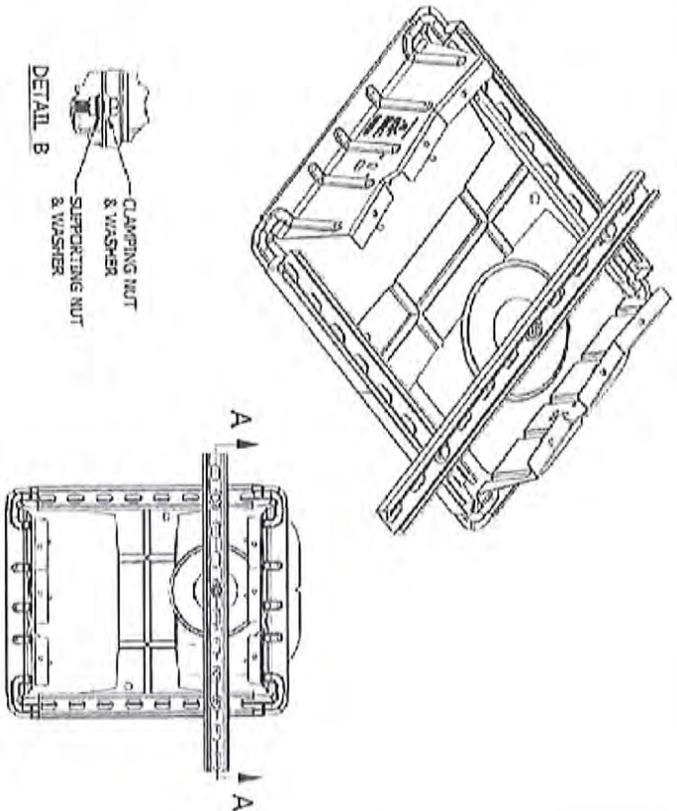


Digitally signed by
 Arlo Hultock, P.E. 09
 DN: cn=Arlo Hultock, o=Professional Engineer, ou=New Mexico, email=arlohultock@earthlink.net, c=US

NOTE: ARRAY DIMENSIONS WILL VARY BASED ON MODULE WIDTH & LENGTH.



		1411 BROOKHAY BLVD, NE ALBUQUERQUE, NM 87102 USA WWW.UNIRAC.COM	
PRODUCT LINE:	RMDT	DRAWING NOT TO SCALE	ALL DIMENSIONS ARE NOMINAL. PRODUCT PROTECTED BY ONE OR MORE US PATENTS LEGAL NOTICE
DRAWING TYPE:	ASSEMBLY	DRAWING NOT TO SCALE	
DESCRIPTION:	2x4 LAYOUT	PRODUCT PROTECTED BY ONE OR MORE US PATENTS	
REVISION DATE:	October 2016	LEGAL NOTICE	
RMDT-A01		SHEET	



		1411 BROOKHAY BLVD, NE ALBUQUERQUE, NM 87102 USA PHONE: 505.242.6411 WWW.UNIRAC.COM	
PRODUCT LINE:	RMDT ROOFMOUNT	DRAWING NOT TO SCALE	ALL DIMENSIONS ARE NOMINAL. PRODUCT PROTECTED BY ONE OR MORE US PATENTS LEGAL NOTICE
DRAWING TYPE:	ASSEMBLY	DRAWING NOT TO SCALE	
DESCRIPTION:	VALLEY BAY WITH H-ATTACHMENT	PRODUCT PROTECTED BY ONE OR MORE US PATENTS	
REVISION DATE:	5/12/2020	LEGAL NOTICE	
RMDT-A04		SHEET	



REGIONAL OFFICE:

SOLCIUS, LLC
1530 GOODYEAR
DR, STE G EL PASO,
TX 79936
(844) 357-2258

CUSTOMER:

Eddie Reagan P.O
BOX 774 Mesilla
NM 88046 (575)
635-6983

UTILITY:

El Paso Electric Co
(NM)

DESIGNER:

Altra Energy/

DATE:

8/3/2022

PROJECT #:

P-245555-22

Financier:

Mosaic

JURISDICTION:

Mesilla

SYSTEM SIZE:

2.96 KW-DC
2 KW-AC

SHEET TITLE:

PROPERTY PLAN

VERSION:

3.3.6

SHEET #:

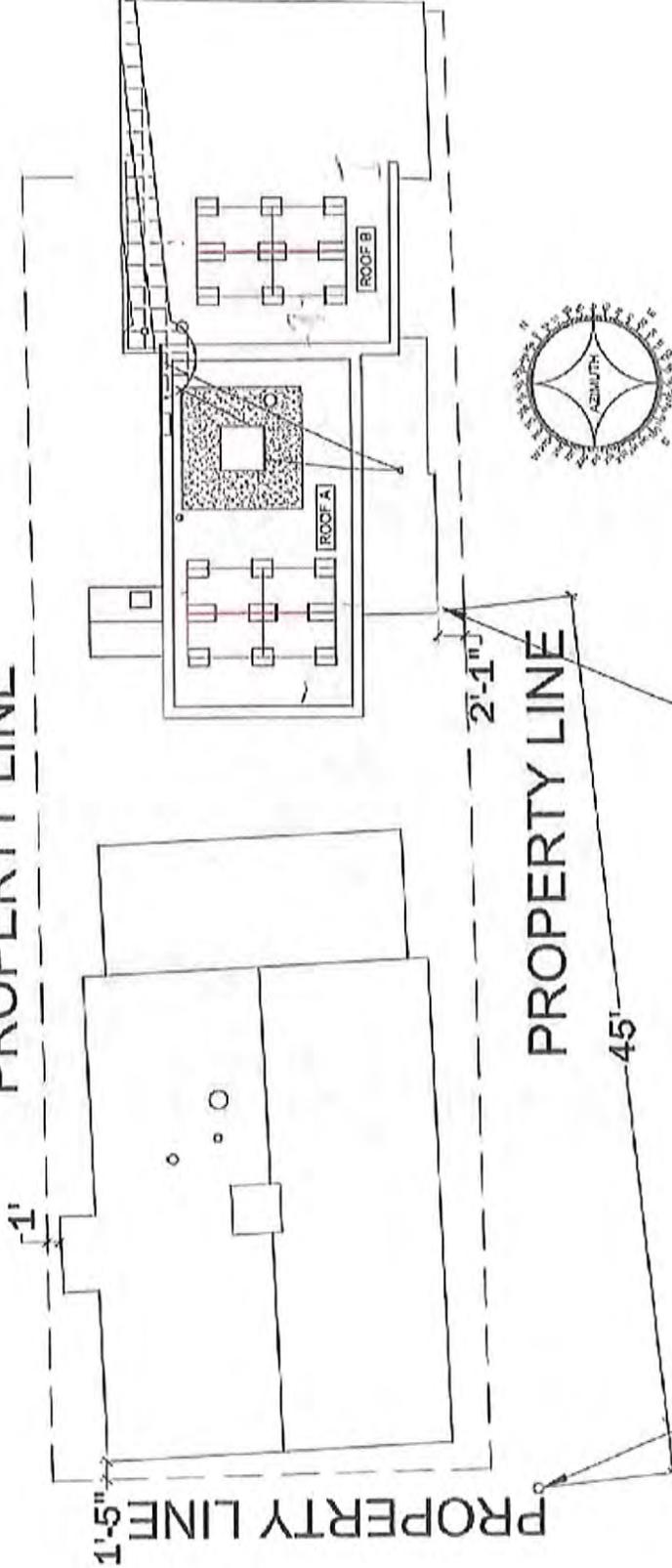
PV08

PROPERTY LINE

PROPERTY LINE

MAIN SERVICE PANEL

UTILITY POLE



STAMP!

RESIDENTIAL SOLAR INSTALLATION AGREEMENT

This Residential Solar Installation Agreement ("Agreement") is entered effective as of the later date this Agreement is executed by both Buyer and Seller ("Effective Date"). Solcius, LLC (referred to herein as Contractor) is hereby authorized by the undersigned owner(s) of the premises described below (referred to herein as Buyer) to furnish all necessary materials, labor and workmanship to install and construct the Solar System described below, and Buyer hereby agrees to buy the Solar System for the Contract Price described below.

Home Owner Name: Renee Beltran2
Phone Number: (575) 635-6683
Job Address: 2525 Calle De Parian A Mesilla, NM 88046

Date Buyer Signed this Agreement: 7/20/2022

YOU ARE ENTITLED TO A COMPLETELY FILLED IN COPY OF THIS AGREEMENT, SIGNED BY BOTH YOU AND THE CONTRACTOR, BEFORE ANY WORK MAY BE STARTED.

Notice of Cancellation may be sent to Contractor at the following address:

Solcius, LLC
1555 North Freedom Boulevard
Provo, UT 84604
(800) 960-4150
NM Contractor's License No. 396621

Description of the Project and Description of the Significant Materials to be Used and Equipment to be Installed (Scope of Work). Your Solar System includes the installation of all modules/panels, inverters, and racking set forth in the Materials & Equipment List, referenced herein as Exhibit 1, along with all labor associated with property analysis and system design, system engineering, application for building permits and other city and state approvals, and connection to the power grid, all of which is included in the Contract Price described below.

Estimates of annual production levels, availability of tax rebates or credits, and energy offsets provided by Solcius or its dealers or representatives are estimates and may vary from actual results. Soiling, weather and module degradation and other factors will affect annual production. Refer to manufacturer's warranty(s) for warranted system performance/production. Rebates and tax credits are estimated and may change. For a more detailed description of the basis for any estimates of savings provided to Buyer, please reference Exhibit 5.

BUYER INITIAL: RB BUYER INITIAL: _____

Contract Price: \$ 20,732.00

Down Payment: \$.00

Schedule of Progress Payments: Buyer agrees to pay the entire Contract Price, according to the schedule of progress payments below. All progress payment amounts are due immediately upon completion of associated Milestone by Contractor.

BUYER INITIAL: RB BUYER INITIAL: _____

Expressed Limited Warranty: Subject to the limitations set forth herein, Contractor hereby gives Buyer an expressed limited 10-year warranty from the date of substantial completion of the installation of the system covering defective workmanship by the Contractor in connection with the installation work of Contractor concerning the Solar System. Separate manufacturer warranties will be provided concerning the components of the system. Buyer shall pursue any warranty claims or other claim, concerning system components with the appropriate manufacturer.

The foregoing expressed limited warranty does not warrant any specific electrical performance of the System, nor does it cover a Solar System defect for any other reason and does not extend past the 10-year limited warranty term. No other warranty is being provided by the Contractor. Any and all implied warranties are excluded.

Specific to roof penetrating System installations, Contractor provides a limited five (5) year warranty for damages to roof structure caused by Contractor during installation for areas within a (3) inch radius of any roof penetrations. The period for this limited warranty for roof damage is only to the extent of the remaining period of any existing warranties at the time of Solar System installation provided by the contractor(s) who installed or built the roof.

Contractor will not remedy, replace or pay for any work done on warranted labor or materials by any parties other than the Contractor. Warranty claims must be filed in writing within the applicable warranty period and can only be made by or on the behalf of the original property owner or person to whom title to the real estate where the system was installed has been transferred.

Further, this Warranty shall not apply to any defect, damage, malfunction, or degradation of the Solar System or the roof of the property arising from: (i) Buyer's or subsequent homeowner's failure to follow Contractor's oral or written instructions as to the storage, commissioning, use or maintenance of the Solar System; (ii) any repair, alteration, or replacement of the Solar System or a component thereof without the prior written approval of Contractor; (iii) the acts or omissions of any person other than Contractor; (iv) unknown defects at the property or residence where the installation occurred; (v) normal wear and tear, including expected degradation of electrical output and foreseen and unforeseen weather events (e.g. falling tree limbs or hail or snow damage); or (vi) a force majeure event (including direct and incidental weather damage).

In addition to Contractor's expressed limited warranty, manufacturer's warranties may be available from the manufacturers of solar modules (Up to 25 years) and inverters (Up to 25 years).

Additional Work: Contractor shall only be responsible for the design of solar power generation system and installation of related solar power generation equipment, as well as any necessary configuration of, improvement to and connection with the home's electrical systems (collectively, the "Contractor Work"). If the Buyer finances the Contractor's Work with a third-party financing company, and wishes to purchase additional products or services to be included in the financing package, (such as a new roof, roof repairs, etc.) ("Additional Work"), then solely as a courtesy to Buyer, such Additional Work may by Change Order be added to this Agreement as follows: (1)

due, for bankruptcy or financial distress of Buyer, or for any hindrance to Contractor in the installation process. If Buyer attempts to cancel this Agreement after the cancellation described in Exhibit 2 and more than five (5) business days after Contractor emails Buyer final design of the Solar System (the "Final Design Acceptance Date"), Contractor will suffer harm that is difficult or impossible to estimate. Therefore, in the event of any default or cancellation by Buyer after the Final Design Acceptance Date, but before installation, Buyer shall pay Contractor a cancellation fee of 15% of the Contract Price. Buyer and Contractor agree that this amount is a reasonable forecast of the damages Contractor will suffer as a result of Buyer's breach. Contractor shall have the right to offset any such amounts against the down payment in addition to any and all other remedies available. Buyer cannot cancel this Agreement after installation has commenced.

BUYER INITIAL:  **BUYER INITIAL:** _____

Privacy/Publicity: Buyer grants Contractor the full rights and permission to publicly use, display, share, and advertise the photographic images, Solar System details, price and any other non-personally identifying information of the Solar System. Contractor shall not knowingly release any personal data about Buyer or, besides the above, any data associating Buyer with the property on which the Solar System is installed. The Buyer shall have the right to opt-out of these publicity rights by communicating such wishes with the Contractor in writing prior to project completion.

Contractor's Right to Stop Work: If any dispute shall arise between Contractor and Buyer regarding performance of the Work, or payment of any amount due, then upon giving 5 days written notice to Buyer, Contractor may stop work until payment is timely received.

ARBITRATION OF DISPUTES: If any dispute, controversy, or claim arising out of, relating to, or in connection with this Agreement should arise it is agreed that Contractor and Buyer shall meet first to review and negotiate in a peaceful manner all disputes per terms and conditions of this Agreement and any approved change orders. If the parties cannot resolve their dispute informally within 15 days of onset of the dispute, either party may initiate arbitration proceedings and the dispute shall be determined by binding arbitration administered pursuant to the American Arbitration Association's Construction Industry Arbitration Rules, including any streamlined Rules and Procedures as determined pursuant to those rules according to the amount in controversy. The parties agree to arbitrate solely on an individual basis, and that this agreement does not permit class arbitration. The determination by the arbitrator(s) shall be final and binding on the Contractor and the Buyer. Judgment on the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.

NOTICE: BY INITIALING IN THE SPACE BELOW YOU ARE AGREEING TO HAVE ANY DISPUTE ARISING OUT OF THE MATTERS INCLUDED IN THE 'ARBITRATION OF DISPUTES' PROVISION DECIDED BY NEUTRAL ARBITRATION YOU ARE GIVING UP ANY RIGHTS YOU MIGHT POSSESS TO HAVE THE DISPUTE LITIGATED IN A COURT OR JURY TRIAL. BY INITIALING IN THE SPACE BELOW YOU ARE GIVING UP YOUR JUDICIAL RIGHTS TO DISCOVERY AND APPEAL, UNLESS THOSE RIGHTS ARE SPECIFICALLY INCLUDED IN THE 'ARBITRATION OF DISPUTES' PROVISION. IF YOU REFUSE TO SUBMIT TO ARBITRATION AFTER AGREEING TO THIS PROVISION, YOU MAY BE COMPELLED TO ARBITRATE UNDER APPLICABLE LAWS. YOUR

THE LAW REQUIRES THAT THE CONTRACTOR GIVE YOU A NOTICE EXPLAINING YOUR RIGHT TO CANCEL. INITIAL THE CHECKBOX IF THE CONTRACTOR HAS GIVEN YOU A "NOTICE OF THE THREE-DAY RIGHT TO CANCEL."

BUYER INITIAL: BUYER INITIAL: _____

If you elect to Cancel this Agreement, and fail to promptly return or make available to Contractor any goods, equipment, etc. Contractor provided, then Buyer is liable for the cost and value thereof plus any expenses or legal costs Contractor incurs to collect on such matters.

CONTRACTOR: *Amyleen Pedregon*

Date: 7/20/2022

BUYER: *Renee Beltran* Renee Beltran2

Date: 7/20/2022

BUYER: _____

Date: _____

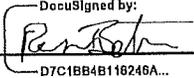
Exhibit 2
Three-Day Right to Cancel

You, the Buyer, have the right to cancel this Agreement within three business days. You may cancel by e-mailing, mailing, faxing, or delivering a written notice to the Contractor at the Contractor's place of business by midnight of the third business day after you received a signed and dated copy of the Agreement that includes this notice. Include your name, your address, and the date you received the signed copy of the Agreement and this notice.

If you cancel, the Contractor must return to you anything you paid within 10 days of receiving the notice of cancellation. For your part, you must make available to the Contractor at your residence, in substantially as good condition as you received them, goods delivered to you under this Agreement or sale. Or, you may, if you wish, comply with the Contractor's instructions on how to return the goods at the Contractor's expense and risk. If you do make the goods available to the Contractor and the Contractor does not pick them up within 20 days of the date of your notice of cancellation, you may keep them without any further obligation.

Buyer's Acknowledgment: By Buyer's signature below, Buyer acknowledges receipt of this notice of Three-Day Right to Cancel.

Date: 7/20/2022

Buyer:  _____
D7C1BB4B116246A...

This notice is accompanied by a completed form in duplicate, captioned "Notice of Cancellation," which is attached to this Agreement as Exhibit 3.

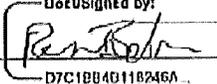
Exhibit 4

NM GROSS RECEIPTS TAX: ENERGY CONSERVATION EQUIPMENT DEDUCTION

Customer Written Statement & Acknowledgement

I HEREBY CONFIRM THAT THE SERVICE AND EQUIPMENT COVERED BY THIS AGREEMENT

- 1. WILL BE USED AS A QUALIFIED SOLAR ENERGY SYSTEM;**
- 2. ARE ESSENTIAL MACHINES, MECHANISMS, OR COMPONENTS OR FITTINGS, USED DIRECTLY AND EXCLUSIVELY IN THE INSTALLATION OR OPERATION OF THE SOLAR ENERGY SYSTEM; AND**
- 3. CAN BE INCLUDED IN THE BASIS OF THE QUALIFIED SOLAR ENERGY SYSTEM**

BUYER:  BUYER: _____

The above Statement & Acknowledgement is intended to meet the requirements of NMAC 3.2.247.8, allowing receipts from the sale and installation of Customer's solar energy system to be deducted from Contractor's gross receipts when calculating its NM Gross Receipts Tax. (NM Stat Ann Sec. 7-9-112) For purposes of the deduction, "solar energy system" means an installation that is used to provide space heat, hot water, or electricity to the property in which it is installed and is:

1. an installation that utilizes solar panels that are not also windows, including the solar panels and all equipment necessary for the installation and operation of the solar panels;
2. a dark-colored water tank exposed to sunlight, including all equipment necessary for the installation and operation of the water tank as a part of the overall water system of the property; or
3. a non-vented trombe wall, including all equipment necessary for the installation and operation of the trombe wall.

"Solar energy system" includes components or systems for collecting and storing energy, but does not include components or systems related to the use of energy. (3.2.247.7, NMAC).

Contractor does not guarantee that Buyer will be able to benefit from any Potential Incentives, as many Potential Incentives are subject to sufficient taxable income, or other qualifying factors. Additionally, Potential Incentives are subject to change or termination by the state or federal government or other third-party entities. Buyer is advised to consult with their tax and/or legal professional(s) to determine the amount of the Potential Incentives that will be available to Buyer.

- 1.5. **Forecasted Electrical Production by Solar System:** Forecasted electrical production data provided in Proposal was generated based on the forecasting tools of PVWatts, a service of the National Renewable Energy Laboratory (NREL) of the U.S. Department of Energy (www.pvwatts.nrel.gov).

Soiling, weather, module degradation, and other factors will affect annual production. Refer to manufacturer's warranty(s) for warranted system performance/production. The forecasted production data provided is an estimate and does not represent a binding agreement or obligation. Solar System production estimates assume the annual degradation listed above. Buyer is responsible for the ongoing operations and maintenance of the Solar System, which is not included in the purchase of the Solar System. Buyer is solely responsible for any operating and maintenance costs associated with the Solar System.

BUYER INITIAL:  BUYER INITIAL: _____



Job # P-245555-22
Beltran (Project 2) Residence
September 15, 2022

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The following reference sheets are attached and inserted behind construction plans.

- Solar Panel Characteristics
- Mounting System Specifications

Drawings

Roof Plan	PV- 02
Attachment Spacing	PV- 05
Racking Elevation	PV- 08



Project Data

Project Location Mesilla, NM

Design Criteria:

Building code: 2015 NMRBC & 2015 NMEBC

Design Specifications: ASCE 7-10, NDS 2015, AISC 2010

Roof snow load on solar panel	8.9	psf	See snow load calcs supplement
Roof snow without solar panel	8.9	psf	
Risk category	II		
Basic wind speed V	115	mph	
Wind exposure	C		
Roof angle θ	0.1	deg.	
Roof zone	2		
Interior component GC_{pi}	+/- 0.18		

Seismic design criteria

Lateral analysis is based on percentage of weight added to main force resisting system and is independent of seismic force parameters. Per IEBC §1103.3 existing design does not require retrofitting if added weight is less than 10% of original weight.

Existing residence

Roof area	1000.0	sf	Eave to ridge distance	24	ft
Roof rise	0.0	:12	Ridge height	12.0	ft
Eave height	12	ft	Mean roof height h_r	12.0	ft

Roof structure: Stick / Conventional
 Roof material: Membrane

Proposed PV system

Solar panels: ZNShine ZXM6-NH120-370/M
 Solar panel rail system: None (rail-less system)
 Mounting System: Unirac Ballast System
 Attachment screws: Ballast system design per mfr.



Live Loads

Balanced roof snow load S	8.9 psf	See snow load calculations
Roof live load L_r	20.0 psf	$C_d = 1.25$
Governing load	20.0 psf	Live load governs, based on max (load/ C_d)
Snow load on panel	8.9 psf	See snow load calculations

Gravity Load Increase

Rafters

Rafter length	24 ft.	
Rafter spacing	24 in. on center	
Roof area trib to rafter	48.0 sf	
Original roof load	206 lbs	Dead load only
Panel trib width to rafter	36 in.	
# Panels on rafter (portrait)	2	
# Panels on rafter (landscape)	0	
Panel area trib to rafter	34.5 sf	
Added weight	252 lbs	
% Load increase	122.0%	

FURTHER ANALYSIS REQUIRED (see page 8)

IEBC §1103.2

Lateral Force Increase

Roof trib area to MFRS	500 sf	Interior wall trib to MFRS	0 sf
Floor trib area to MFRS	0 sf	Interior wall weight	8 psf
Wall trib area to MFRS	289 sf	Interior wall wt to MFRS	0.0 kips
Roof wt tributary to MFRS	3.6 kips		
Floor wt tributary to MFRS	0.0 kips		
Wall wt tributary to MFRS	5.3 kips		
Original wt to MFRS	8.9 kips		
# PV panels trib to MFRS	8.00 panels		
PV system weight	0.5 kips	Added load adjusted by 0.30 coefficient of friction	
% weight increase	5.7%		

Lateral force increase <10%, existing MFRS is O.K.

IEBC §1103.3

Existing Rafter Analysis

Beam properties, size, spacing and span

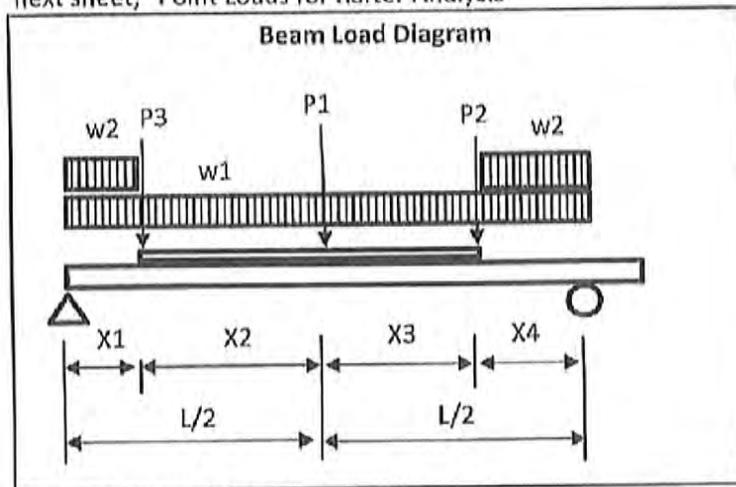
Douglas fir-larch #1 & BTR assumed

Rafter span L	15.00	feet
Rafter spacing	24	inches
Rafter size	2 x 6	
Section modulus	7.56	in ³
Allowable stress F _b	1200	psi
Size factor C _F	1.30	
Repetitive use factor C _r	1.15	
C _d shown for individual load cases below		
All other adjustment factors = 1		

Loads on roof and solar panels

Roof dead load	4.3	psf
Panel dead load	7.29	psf
Roof live load	20.0	psf
Wind uplift	-46.5	psf
Wind downforce	16.0	psf
Snow load on panels	8.9	psf
Snow load on roof, no panels	8.9	psf

Additional point loads may be considered - see next sheet, "Point Loads for Rafter Analysis"



Assumes slippery panels
 Assumes non-slippery roof (except metal roofs)

Loads prior to installation:	w (plf)	C _d	w/C _d	Point loads from solar not applied prior to install
D + Lr	48.6	1.25	38.9	
0.6 D + 0.6 W up	-50.6	1.60	-31.7	
D + 0.6 W dn	27.8	1.60	17.4	
D + S	26.3	1.15	22.9	
D + Lr	48.6	1.25	38.9	Governing load case is determined by max w/C _d
Total load before install:	729	lbs	=wL	
Rafter end conditions	Continuous at one end			
Moment at center span	1094	ft lbs	= wL ² / 10	

Check member for adequacy prior to install:

Stress $(= (M/S) * 12"/ft)$:	1735	psi	O.K.
Adjusted allowable stress F' _b	2243	psi	= F _b * adjustment factors given above

Loads after install

Point loads applied from solar panels - where the point load is outside the span, load = 0



Roof Snow Load Calculations

Ground Snow Load P_g	5.0 psf	
Thermal factor C_t	1.1	
Flat Roof Snow Load $P_f = 0.7 P_g C_e C_t I_s$	3.9 psf	
$P_s = C_s P_f$		
Solar panels are assumed cold and slippery:		
C_s (slippery) =	1.00	ASCE 7-10 fig. 7.2b
P_s (solar panels, slippery) =	3.9 psf	$P_s = C_s P_f$
Non-metal roof without solar panels is assumed NOT slippery:		
C_s (not slippery) =	1.00	ASCE 7-10 fig. 7.2b
P_s (roof, not slippery) =	3.9 psf	$P_s = C_s P_f$
Unbalanced snow load		
Pitch:	0:12	
Is pitch < 1/2:12 or > 7:12?	Yes	Unbal. snow load not applied per ASCE 7-10 7.6.1
W (horizontal projection of eave to ridge)	24.0 ft	
Is rafter simply supported?	No	
Snow density γ	14.7 pcf	ASCE 7-10, Eqn. 7.7-1
Unbal. drift ht h_d	0.0 ft	ASCE 7-10 fig. 7-9
Unbalanced drift surcharge	0.0 psf	ASCE 7-10 7.6.1
Length of drift surcharge	0.0 ft	ASCE 7-10 7.6.1
Solar array distance from ridge	3.0 ft	
Unbalanced snow load on rafters	0.0 psf	Unbalanced snow = balanced snow (due to pitch)
Unbalanced snow load on solar panels	0.0 psf	Unbalanced snow = balanced snow (due to pitch)
Drifting/sliding snow on low roof		
Balanced snow height h_b	0.3 ft	= balanced snow load / density
Clear ht from bal. snow to high roof h_c	0.0 ft	
Upper roof length l_u		
Lower roof width w_{lower}		
Lower roof drift height h_d	0.0 ft	
Lower roof drift max surcharge p_d	0.0 psf	
Lower roof drift length	0.0 ft	
Solar array distance from upper roof	0.0 ft	
Lower roof drift surcharge $P_{low\ drift}$	0.0 psf	not combined with sliding or rain surcharges
Sliding snow surcharge $P_{sliding}$	0.0 psf	combined with balanced snow only (ASCE 7-10 7.9)
Rain on snow surcharge P_{rain}	5.0 psf	combined with balanced snow only (ASCE 7-10 7.10)
Snow loads used for design, considering unbalanced and/or drifting/sliding snow as needed:		
P_s design (solar panels)	8.9 psf	
P_s design (roof without solar panels)	8.9 psf	

ENGINEERING REPORT

Plan review

AVERAGE PSF	7.29 psf
TOTAL NUMBER OF MODULES	8
TOTAL KW	2.96 KW
TOTAL MODULE AREA	~203 ft ²
TOTAL WEIGHT ON ROOF	1476 lbs
RACKING WEIGHT	119 lbs
MODULE WEIGHT	397 lbs
BALLAST WEIGHT	960 lbs
MAX BAY LOAD (DEAD)	97 lbs

Loads Used for Design

BUILDING CODE	ASCE 7-10
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	0.00 psf
SEISMIC (SS)	0.287
ELEVATION	3889.00 ft
WIND EXPOSURE	B
MRI	25
RISK CATEGORY	II
VELOCITY PRESSURE, QZ	12.93 psf

Inspection

PRODUCT	ROOFMOUNT RMD1
MODULE MANUFACTURER	Znshinesolar
MODEL	ZXM6-72 370W
MODULE WATTS	370 watts
MODULE LENGTH	77.17"
MODULE WIDTH	39.56"
MODULE THICKNESS	1.57"
MODULE WEIGHT	49.60 lbs
BALLAST BLOCK (CMU) WEIGHT	32.0 lbs
BUILDING HEIGHT	15.00 ft
LONGEST BUILDING LENGTH	24.00 ft
ROOF TYPE	MINERAL_CAP
LONGEST BUILDING LENGTH	24.00 ft
PARAPET HEIGHT	<= 1/2 Array Height (<= 5 inches)

RMDT U-BUILDER PRODUCT ASSUMPTIONS

RMDT – Ballasted Flat Roof Systems

Limitations of Responsibility: It is the user's responsibility to ensure that inputs are correct for your specific project. Unirac is not the solar, electrical, or building engineer of record and is not responsible for the solar, electrical, or building design for this project.

Building Assumptions

1. Risk Category III
2. Building Height \leq 50 ft
3. Building Height $>$ 50 ft: only where (longest length of building x building height)^{0.5} \leq 100 ft
4. Roof Slope \geq 0° (0:12) and \leq 3° (5/8:12) for Seismic Design Category C, D, E and F. For low seismic regions Seismic Design Category A and B (provided Array Importance factor = 1.0), Roof Slope \geq 0° (0:12) and \leq 7° (1 1/2:12).
5. Roofing Material Types: EDPM, PVC, TPO, or Mineral Cap
6. Surrounding Building Grade: Level

Ballast Blocks

The installer is responsible for procuring the ballast blocks (Concrete Masonry Units – CMU) and verifying the required minimum weight needed for this design. CMU should comply with ASTM standard specification for concrete roof pavers designation C1491 or C90 with an integral water repellent suitable for the climate it is placed. It is recommended that the blocks are inspected periodically for any signs of degradation. If degradation of the block is observed, the block should immediately be replaced.

The CMU ballast block should have nominal dimensions of 4"x8"x16". The actual block dimensions are 3/8" less than the nominal dimensions. Ballast blocks should have a weight as specified for the project in the "Inspection" section of this report.

Design Parameters

1. Risk Category I to III
2. Wind Design
 - a. Basic Wind Speed: 110-150 mph (ASCE 7-10)/90-180 mph (ASCE 7-16)
 - b. Exposure: B or C (ASCE 7-10/ASCE 7-16)
 - c. 25 year Design Life/50 year Design Life for ASCE 7-16
 - d. Elevation: Insertion of the project at - grade elevation can result in a reduction of wind pressure. If your project is in a special case study region or in an area where wind studies have been performed, please verify with your jurisdiction to ensure that elevation effects have not already been factored into the wind speed. If elevation effects have been included in your wind speed, please select 0 ft as the project site elevation.
 - e. Wind Tunnel Testing: Wind tunnel testing coefficients have been utilized for design of the system.
3. Snow Design
 - a. Ground Snow Load: 0-80 psf (ASCE 7-10/ASCE 7-16)
 - b. Exposure Factor: 0.9
 - c. Thermal Factor: 1.2
 - d. Roof Snow Load: Calculation per Section 7.3 (ASCE 7-10/ASCE 7-16)
 - e. Unbalanced/Drifting/Sliding: Results are based on the uniform snow loading and do not consider unbalanced, drifting, and sliding conditions
4. Seismic Design
 - a. Report SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 – Structural Seismic Requirements and Commentary for Rooftop Solar Photovoltaic Arrays
 - b. Seismic Site Class: A, B, C, or D (ASCE 7-10/ASCE 7-16)
 - c. Importance Factor Array (Ip): 1.0
 - d. Importance Factor Building (Ie): 1.0
 - e. Site Class: D

Properties

1. Ridge Bay Weight: ~7.7 lbs
2. Valley Bay Weight: ~5.6 lbs
3. Module Gaps (N/S) = 0.25 in
4. Bays: East and west column bays overhang the module by ~7.9 inches.

Testing

1. Coefficient of Friction
2. Wind Tunnel
3. UL 2703
4. Component Testing (Bay and Clamp)

PROJECT TITLE

ROOFMOUNT RMDT

PROJECT ID

22DAA46B

CREATED

Sept. 15, 2022, 10:51 a.m.

NAME

Renee Beltran

Designed by structuralstamps@solcius.com

ADDRESS

2525 Calle De Pariana, Las Cruces, NM 88005, USA

ROOFMOUNT RMDT

CITY, STATE

Las Cruces, NM

Znshinesolar

MODULE

Znshinesolar ZXM6-72 370W

8 - ZXM6-72 370W

167.46 ft²

2.96 KW

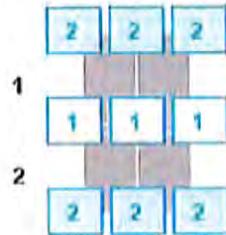
NOTE: Installation of the project is intended to happen within the year of project designed in UBuilder. If it's past one year please rerun the design or contact Unirac Engineering Services.

INSTALLATION AND DESIGN PLAN

Roof Area 1



Roof Area 1 / Roof Area 1 - Array 2



LEGEND



Module



Standard corner bay with CMU block count



Supplemental bay with CMU block count

NOTE

Bays in the space beside modules are supplemental bays. You can fit a maximum of 2 blocks in valley bays, and 5 blocks in ridge bays. If the number in these bays is greater, you will need to add an additional supplemental bay.

Layout Dimensions

NS DIMENSION - 12.88 ft

EW DIMENSION - 7.85 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	2	3	6	192
2	2	3	3	96
3	0	3	6	192



RESOLUTION NO. 2023-01

AUTHORIZING AND APPROVING SUBMISSION OF A COMPLETED APPLICATION FOR FINANCIAL ASSISTANCE AND PROJECT APPROVAL TO THE NEW MEXICO FINANCE AUTHORITY

WHEREAS, Town of Mesilla (the "Governmental Unit") is a duly organized [name of type of entity] created and formed pursuant to [name of act, and citation to act, authorizing creation of, or creating, the Governmental Unit] and is a qualified entity under the New Mexico Finance Authority Act, Sections 6-21-1 through 6-21-31, NMSA 1978 ("Act"); and

WHEREAS, the New Mexico Finance Authority ("Finance Authority") is authorized pursuant to the Act, particularly Section 6-21-6.4 of the Act, to make grants from the local government planning fund (the "Fund") to qualified entities to evaluate and estimate the costs of implementing feasible alternatives for meeting water and wastewater public project needs or to develop water conservation plans, long-term master plans or economic development plans; and

WHEREAS, pursuant to the Act the Finance Authority has developed an application procedure whereby the Governing Body may submit an application ("Application") to the Finance Authority for planning grant financial assistance from the Fund; and

WHEREAS, Town of Mesilla of the Governmental Unit (the "Governing Body") desires to submit an Application for financial assistance from the Fund for a Planning Document, as defined in the Rules Governing the Local Government Planning Fund currently in effect and as specifically identified below, for the benefit of the Governmental Unit; and

WHEREAS, the Governing Body intends to submit the Planning Document to review and revise Mesilla Town Code Chapter 18 for the benefit of the Governmental Unit and its citizens; and

WHEREAS, the application prescribed by the Finance Authority to finance the Planning Document [in whole/in part] with financial assistance from the Fund has been completed, submitted to, and reviewed by the Governing Body, and this Resolution

approving submission of the completed Application to the Finance Authority for its consideration and review is required as part of the Application.

NOW THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY:

Section 1. That all lawful actions previously taken by the Governing Body and the Governmental Unit and their respective officers and employees in connection with the Application and the Project are hereby ratified, approved and confirmed.

Section 2. That the completed Application submitted to the Governing Body is hereby approved and confirmed.

Section 3. That the officers and employees of the Governmental Unit are hereby directed and requested to submit the completed Application to the Finance Authority and are further authorized to take such other action as may be requested by the Finance Authority in connection with the Application and to proceed with arrangements for financing the Project.

Section 4. All acts and resolutions in conflict with this Resolution are hereby rescinded, annulled, and repealed.

Section 5. This Resolution shall take effect immediately upon its adoption.

PASSED, APPROVED AND ADOPTED by the Board of Trustees at its regular meeting of **January 9, 2023**.

Nora L. Barraza
Mayor

ATTEST:

Rani Bush
Town Clerk-Treasurer

BOARD ACTION FORM

ITEM:

PWD Requests Authorization to Award Molzen Corbin Professional Engineering Services Proposal for the Design Phase and Construction Phase for the Calle de Santiago Bridge Improvements and Active Transportation Corridor in the Amount of \$63,110.00.

BACKGROUND:

The Town of Mesilla has Received Grant Funding of \$468,656.00 for Design and Construction of the Calle de Santiago Bridge Improvement and Active Transportation Corridor Project. The Project Proposal Estimated and Earmarked \$62,940.00 for Engineering and Design Services.

SUPPORTING INFORMATION:

Calle de Santiago Bridge Improvements and Active Transportation Corridor - Funding FY23 TPF Program, Control Number: HW 2LP10037

BOT OPTIONS:

1. Approve the application.
2. Modify the application with conditions.
3. Reject the application.

MOLZENCORBIN

December 20, 2022

Rod McGillivray
Public Works Director
Town of Mesilla
P.O. Box 10
2231 Avenida de Mesilla
Mesilla, NM 88046

**Re: Professional Engineering Services Proposal for Design Phase and Construction Phase Services for Calle de Santiago Bridge Improvements and Active Transportation Corridor
Funding FY23 TPF Program, Control Number: HW 2LP10037**

Dear Mr. McGillivray:

Molzen Corbin is pleased to provide this proposal for the design and construction phase services for the above referenced project.

SCOPE

This project consists of designing the reconstruction of the Calle de Santiago Bridge, sidewalk and driveway improvements located along Calle de Santiago, to include reconstruction of a portion of Calle de Santiago, (approx. 220 lf). The area is shown on the attached project map, which was a part of the letter of intent used for the funding application. Geotechnical will be provided by a subcontractor for the pavement design based on the local traffic condition anticipated for a minor collector street. Other scope elements are as follows:

- Plan & profile sheets indicating grades.
- Plan sheets indicating grades by contours and spot elevations.
- Details sufficient to illustrate intent and to the industry standards.
- General sheets for bidding.
- Applicable design elements for side streets, sidewalks, and driveways.
- Coordination with Town as needed.
- Provide bidding documents, plans, and specifications.

Environmental and Archaeological Clearances– Special Service

- The Scope of Work (SOW) assumes pedestrian archaeological survey of the project's Area of Potential Effect (APE) in Mesilla, Doña Ana County, New Mexico. As proposed, the project will include the inventory of historic buildings, structures, and objects located within the project APE associated with improvements along the Calle de Santiago Transportation Corridor as well as curb replacements within the Mesilla Plaza along

Calle de Parian and Calle de Guadalupe. Based on the proposed project limits, the scope will include the documentation and assessment of effect for 28 resources, including 24 historic buildings and four historic structures (Mesilla Plaza, Butterfield Trail, NM 28, and the Mesilla Lateral). If the scope is expanded by the project proponent, Molzen Corbin, SHPO, etc., then the additional tasks will be covered under a change order to the contract.

- Deliverables for this project will include:
 - Preparation of a Cultural Resources Report.
 - Preparation of 28 HCPI Forms for documented historic resources.
 - Preparation of a NIAF.

Project Certifications– Special Service

Based on the grant agreement we anticipate that all project certifications will be required.

- Molzen Corbin will provide Exhibits, coordination, and documentation for the Environmental certifications.

SCHEDULE & BUDGET

Molzen Corbin will provide the Town of Mesilla progress review drawings as shown in the project schedule below.

TIME FRAME		
Survey Services	30 days	From Notice to Proceed
60% Preliminary Design	45 days	From completion of geotechnical services
Environmental & Geotechnical Services	90 days	From completion of Preliminary Design
100% Final Design (Stamped)	45 days	From completion of environmental services and receipt of review comments from the preliminary design
Environmental review and approval	30 days	From the completion of the environmental services
Bidding & award	45 days	Completion of final design
Construction Period	120 days	From Notice to Proceed
Total days	405 days	Approximately Calendar Days

Molzen Corbin will provide the Town with; engineer’s opinion of probable construction cost with each progress review, plan sets will be 24x36. Molzen Corbin will provide copies of bidding documents for bid distribution (7 sets); these costs are included in the proposal.

Molzen Corbin Proposes a fee of **\$ 63,110.00** for scope of services indicated herein. A summarized fee schedule is provided below.

SPECIAL AND BASIC SERVICES		
TASKS	SPECIAL SERVICE	BASIC SERVICE
Field Survey	\$ 7,956.50	
Design, Bidding/Award, Construction phase, and close-out		\$ 35,465.00
Environmental, Sub-consultant (w/10% markup)	\$ 16,879.09	
Geotechnical, Sub-consultant (w/10% markup)	\$ 2,475.00	
Miscellaneous expenses (mileage, copies, meals, etc.)		\$ 334.41
Total (excluding NMGRT)	\$ 27,310.59	\$ 35,799.41

A detailed man-hour schedule is attached.

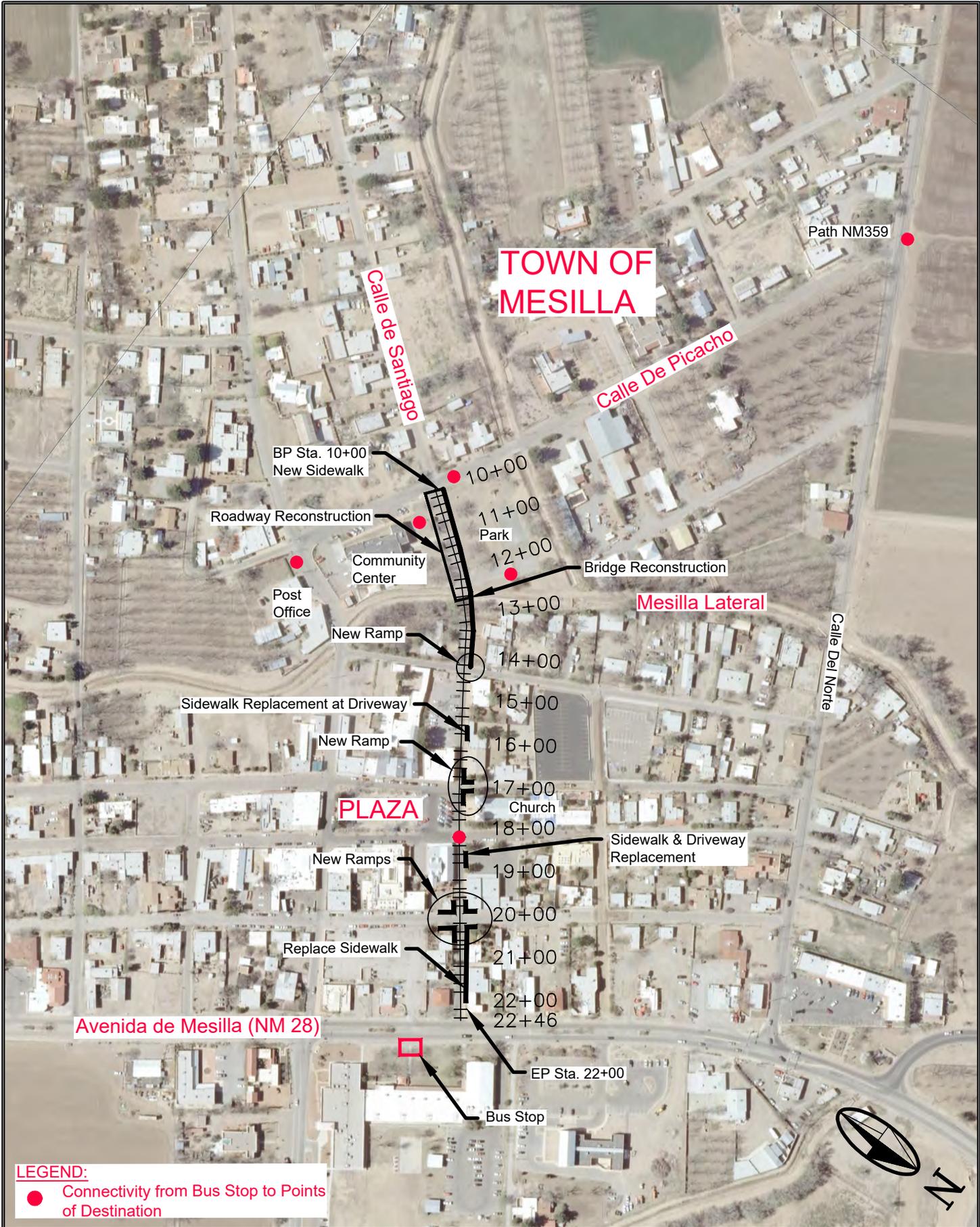
All fees are exclusive of applicable NMGRT which will be added to all billings. Geotechnical services and environmental services are not included in this proposal. If you have any questions regarding this proposal, please call me.

Sincerely,

MOLZEN CORBIN



Wyatt Kartchner, P.E.
Executive Vice President
Las Cruces Branch Manager



Town of Mesilla - TPF FY2023

CONTRACT AMOUNT

**Calle de Santiago Bridge Improvements & Active Transportation Corridor
Town of Mesilla**



John Montoya

COST **CALCULATED
CONTRACT AMOUNT**

BASIC FEE (Labor)				
SUBTOTAL LABOR				\$35,245.00
OTHER DIRECT SUBCONSULTANTS	Sub Type	Phase		
Epsilon - Environmental Service	Environmental		\$15,344.63	
COZ Enginerring - Geotechnical Services	Geotechnical		\$2,250.00	
SUBTOTAL OTHER DIRECT SUBCONSULTANTS			\$17,594.63	
Reimbursable Markup (if any)			10%	\$1,759.46
SUBTOTAL OTHER DIRECT SUBCONSULTANTS			\$17,594.63	\$19,354.09
OTHER DIRECT EXPENSES (ODE'S)		Quantity		
In-House Copies	\$0.11	500.00	\$55.00	
In-House Color Copies (8 1/2 x 11)	\$1.00		\$0.00	
In-House Color Copies (11 x 17)	\$2.00		\$0.00	
In-House Large Format Plots	\$3.00	50.00	\$150.00	
Commercial Copies	\$0.06		\$0.00	
Commercial Prints	\$1.02	150.00	\$153.00	
Commercial Color Copies	\$1.50		\$0.00	
In-House or Commercial Mylars	\$10.50		\$0.00	
Mileage	\$0.575	250.00	\$143.75	
Commercial Travel				
Lodging-Per Diem (Verify With Accounting)	\$94.00		\$0.00	
Meals - Per Diem (per person /day) (Verify With Accounting)	\$55.00		\$0.00	
Photo				
Postage				
Supplies			\$20.00	
SUBTOTAL OTHER DIRECT EXPENSES				\$521.75
TOTAL BASIC FEE				\$55,120.84
In House Survey From Survey Contract Amount (Excluding GRT)				\$0.00
				\$7,956.50
SUBTOTAL ADDITIONAL SERVICES			\$0.00	\$7,956.50
SUBTOTAL BASIC FEE, ADD. SERVICES, REIMBURSABLES				\$63,110.00

CIVIL MANHOUR ESTIMATE

Calle de Santiago Bridge Improvements & Active T

Town of Mesilla

John Montoya



		CIVIL					
No.	Project Task	Principal Engineer	Senior Engineer	Engineering Intern I	Design Technician	Departmental Totals	Grand Totals
I. Pre-Design/Study/Programming							
1	Contracts & Miscellaneous Admin	0.50	1.00	0.50		2.00	2.00
2	Scoping meeting and revisit		0.50	1.00		1.50	1.50
3	Coordination with Subs and contracts		0.50	1.00		1.50	1.50
4	Survey Coordination & set up			0.50	0.50	1.00	1.00
5	Project Certification LOE & exhibits			4.00		4.00	4.00
6						0.00	0.00
7						0.00	0.00
8	CADD Management					0.00	0.00
9	Project Management					0.00	0.00
10	Quality Assurance					0.00	0.00
Subtotal Hours Pre-Design/Study/Programming		0.50	2.00	7.00	0.50	10.00	10.00
Subtotal Fees Pre-Design/Study/Programming		\$120.00	\$440.00	\$840.00	\$55.00	\$1,455.00	\$1,455.00
III. Design Development (60%)							
1	Plan Front end sheets, cover, Index, location, notes,			1.00	2.00	3.00	3.00
2	Typical sections for bridge & EBID coordination		0.50	2.00	2.00	4.50	4.50
3	Geometric design Vertical and Horizontal - Control sheet and layout		0.50	3.00	2.00	5.50	5.50
4	Plan Sheets with removal limits and salvage of items.			3.00	4.00	7.00	7.00
5	Plan Sheet & profiles with build notes		0.50	3.00	4.00	7.50	7.50
6	Driveway details and Grading informations, spot elevations			1.00	8.00	9.00	9.00
7	Sidewalk Improvement Design, details at approaches, ADA at corners, Hand rail placement as needed.		1.50	4.00	4.00		
8	Mesilla Lateral Bridge Improvements, design and layout, coordination with EBID		3.00	2.00			
9	Traffic Control typical details for edge or road work			0.50	4.00	4.50	4.50

CIVIL MANHOUR ESTIMATE

Calle de Santiago Bridge Improvements & Active T

Town of Mesilla

John Montoya



		CIVIL					
No.	Project Task	Principal Engineer	Senior Engineer	Engineering Intern I	Design Technician	Departmental Totals	Grand Totals
10	Standard detail sheets for sidewalk, curb, headwall, handrail, valve & MH adjust to grade			0.50	1.00	1.50	1.50
11	Bridge structural and details for headwall and wing walls.			1.00		1.00	1.00
12	Incorporation of Environmental requirements on plans including recommended notes			1.00		1.00	1.00
13	Drainage check across intersections			1.00		1.00	1.00
14	Specifications & frontend documents		1.00	1.00		2.00	2.00
15	Engineer's Opinion of Probable Construction Cost			2.00		2.00	2.00
16	Environmental coordination			1.00		1.00	1.00
17						0.00	0.00
24	CADD Management					0.00	0.00
25	Project Management					0.00	0.00
26	Quality Assurance					0.00	0.00
Subtotal Hours Design Development (60%)		0.00	7.00	27.00	31.00	65.00	50.50
Subtotal Fees Design Development (60%)		\$0.00	\$1,540.00	\$3,240.00	\$3,410.00	\$8,190.00	\$8,190.00
IV.	Construction Documents (90%)						
1	Plan Front end sheets, cover, Index, location, notes,			1.00	2.00	3.00	3.00
2	Typical sections for bridge & EBID coordination			1.00	2.00	3.00	3.00
3	Geometric design Vertical and Horizontal - Control sheet and layout		1.50	2.00	1.00	4.50	4.50
4	Plan Sheets with removal limits and salvage of items.		0.50	2.00	2.00	4.50	4.50
5	Plan Sheet & profiles with build notes		1.00	2.00	2.00	5.00	5.00
6	Driveway details and Grading informations, spot elevations		1.00	2.00	2.00	5.00	
7	Sidewalk Improvement Design, details at approaches, ADA at corners, Hand rail placement as needed.		2.00	2.00	2.00	6.00	

CIVIL MANHOUR ESTIMATE

Calle de Santiago Bridge Improvements & Active T

Town of Mesilla

John Montoya



		CIVIL					
No.	Project Task	Principal Engineer	Senior Engineer	Engineering Intern I	Design Technician	Departmental Totals	Grand Totals
8	Mesilla Lateral Bridge Improvements, design and layout, coordination with EBID		6.00		4.00	10.00	10.00
9	Traffic Control typical details for edge or road work			2.00		2.00	2.00
10	Standard detail sheets for sidewalk, curb, headwall, handrail, valve & MH adjust to grade			2.00	2.00	4.00	4.00
11	Bridge structural and details for headwall and wing walls.			2.00		2.00	2.00
12	Incorporation of Environmental requirements on plans including recommended notes			2.00		2.00	2.00
13	Drainage check across intersections			1.00		1.00	1.00
14	Specifications & frontend documents		1.00	2.00		3.00	3.00
15	Engineer's Opinion of Probable Construction Cost			2.00		2.00	2.00
16	Environmental coordination & Certification coordination			2.00		2.00	2.00
17						0.00	0.00
24	CADD Management					0.00	0.00
25	Project Management					0.00	0.00
26	Quality Assurance					0.00	0.00
Subtotal Hours Construction Documents (90%)		0.00	13.00	27.00	19.00	59.00	48.00
Subtotal Fees Construction Documents (90%)		\$0.00	\$2,860.00	\$3,240.00	\$2,090.00	\$8,190.00	\$8,190.00
V.	Final Design (100%)						
1	Plan Front end sheets, cover, Index, location, notes,			1.00	2.00	3.00	3.00
2	Typical sections for bridge & EBID coordination			2.00	2.00	4.00	4.00
3	Geometric design Vertical and Horizontal - Control sheet and layout		0.50	2.00	2.00	4.50	4.50
4	Plan Sheets with removal limits and salvage of items.		0.50	2.00	2.00	4.50	4.50
5	Plan Sheet & profiles with build notes		1.00	2.00	2.00	5.00	5.00

CIVIL MANHOUR ESTIMATE

Calle de Santiago Bridge Improvements & Active T

Town of Mesilla

John Montoya



		CIVIL					
No.	Project Task	Principal Engineer	Senior Engineer	Engineering Intern I	Design Technician	Departmental Totals	Grand Totals
6	Driveway details and Grading informations, spot elevations		1.00	2.00	2.00	5.00	
7	Sidewalk Improvement Design, details at approaches, ADA at corners, Hand rail placement as needed.		1.00	2.00	2.00	5.00	
8	Mesilla Lateral Bridge Improvements, design and layout, coordination with EBID		4.00		4.00	8.00	8.00
9	Traffic Control typical details for edge or road work			1.00	1.00	2.00	2.00
10	Standard detail sheets for sidewalk, curb, headwall, handrail, valve & MH adjust to grade			1.00	3.00	4.00	4.00
11	Bridge structural and details for headwall and wing walls.			1.00	2.00	3.00	3.00
12	Incorporation of Environmental requirements on plans including recommended notes		0.50	1.00		1.50	1.50
13	Drainage check across intersections			1.00		1.00	1.00
14	Specifications & frontend documents		2.00	2.00		4.00	4.00
15	Engineer's Opinion of Probable Construction Cost		2.00	1.00		3.00	3.00
16	Environmental coordination & Certification completion			2.00		2.00	2.00
17						0.00	0.00
24	CADD Management					0.00	0.00
25	Project Management					0.00	0.00
26	Quality Assurance					0.00	0.00
Subtotal Hours Final Design (100%)		0.00	12.50	23.00	24.00	59.50	49.50
Subtotal Fees Final Design (100%)		\$0.00	\$2,750.00	\$2,760.00	\$2,640.00	\$8,150.00	\$8,150.00
VI.	Bidding/Award						
1	Advertisement & coordination of plan distribution			0.50		0.50	0.50
2	Pre-bid meeting, attend, prepare agenda & conduct meeting		4.00	4.00		8.00	8.00
3	Questions and addenda		2.00	2.00		4.00	4.00
4	Bid opening, attend & preparation		2.00	2.00		4.00	4.00

CIVIL MANHOUR ESTIMATE

Calle de Santiago Bridge Improvements & Active T

Town of Mesilla

John Montoya



		CIVIL					
No.	Project Task	Principal Engineer	Senior Engineer	Engineering Intern I	Design Technician	Departmental Totals	Grand Totals
5	Bid analysis, bid tab & recommendation to award		1.00	4.00		5.00	5.00
6	Project Management					0.00	0.00
7	Quality Assurance					0.00	0.00
Subtotal Hours Bidding/Award		0.00	9.00	12.50	0.00	21.50	21.50
Subtotal Fees Bidding/Award		\$0.00	\$1,980.00	\$1,500.00	\$0.00	\$3,480.00	\$3,480.00
VII.	Construction Admin. Services						
1	Prepare Executed Contract Documents and Prepare NMDOT Disbursement Request, NTP, NOA & Letter per agreement			4.00		4.00	4.00
2	Pre-Construction meeting, attend, prepare agenda & conduct meeting		2.00	4.00		6.00	6.00
3	Submittal Review		2.00	4.00		6.00	6.00
4	Clarifications, RFI's and Field orders			8.00		8.00	8.00
5	Two (2) Site Visits During Construction		4.00	4.00		8.00	8.00
6	Coordinate a final inspection with NMDOT & attend. Prepare Punchlist and substantial completion		2.00	2.00		4.00	4.00
7						0.00	0.00
8						0.00	0.00
9	Project Management					0.00	0.00
10	Quality Assurance					0.00	0.00
Subtotal Hours Construction Admin. Services		0.00	10.00	26.00	0.00	36.00	36.00
Subtotal Fees Construction Admin. Services		\$0.00	\$2,200.00	\$3,120.00	\$0.00	\$5,320.00	\$5,320.00
VIII.	Closeout						
1	Punchlist Verification		0.50	0.50		1.00	1.00
2	Prepare NMDOT Certification, Final quantities and Costs, per agreement		0.50	1.50		2.00	2.00
3	Project Management					0.00	0.00
4	Quality Assurance					0.00	0.00
Subtotal Hours Closeout		0.00	1.00	2.00	0.00	3.00	3.00

CIVIL MANHOUR ESTIMATE

Calle de Santiago Bridge Improvements & Active T

Town of Mesilla

John Montoya



		CIVIL					
No.	Project Task	Principal Engineer	Senior Engineer	Engineering Intern I	Design Technician	Departmental Totals	Grand Totals
	Subtotal Fees Closeout	\$0.00	\$220.00	\$240.00	\$0.00	\$460.00	\$460.00
	Total Labor Hours	0.50	54.50	124.50	74.50	254.00	218.50
	Standard Billing Rate or Fee	\$240.00	\$220.00	\$120.00	\$110.00		
	Fee Dollars	\$120.00	\$11,990.00	\$14,940.00	\$8,195.00	\$35,245.00	\$35,245.00

BOARD ACTION FORM

ITEM:

PWD Requests Authorization to award Molzen Corbin Amendment #1 in the amount of \$9,501.25 for additional design services required by the International Boundary and Water Commission (IBWC) for the Calle del Norte multi-use path phase II project.

BACKGROUND:

The Town of Mesilla was awarded 2019 LGTPF funding in the amount of \$909,400.00 for the Calle del Norte multi-use path phase II.

SUPPORTING INFORMATION:

Town of Mesilla RFP – General Engineering dated March 29, 2020

BOT OPTIONS:

1. Approve the application.
2. Modify the application with conditions.
3. Reject the application.

MOLZENCORBIN

December 20, 2022

Rod McGillivray
Public Works Director
Town of Mesilla
P.O. Box 10
2231 Avenida de Mesilla
Mesilla, NM 88046

**Re: Amendment #1 for Additional Professional Engineering Services
HEC-RAS Modeling and Coordination Services for Calle del Norte Path Phase II
Funding: TPF - Control Number: LP 10004**

Dear Mr. McGillivray:

Molzen Corbin is pleased to provide this amendment for the proposal for the additional HEC-RAS modeling services and coordination required for the above referenced project.

SCOPE

This amendment to the design consists of running a HEC-RAS model in support of the International Boundary and Water Commission (IBWC), permit application process and is a requirement of IBWC. Project limits are partially located on property of IBWC near the Rio Grande. Other scope elements are as follows:

- Coordination with Owner as needed for IBWC application.
- Coordination with IBWC as needed to keep project moving forward.
- HEC-RAS Modeling for IBWC near La Llorona Trail and Calle del Norte Path Phase II. This effort is to determine the impact of the improvements to the flood water level

IBWC Requirements and HEC-RAS Modeling

- Deliverables for this project will include:
 - Redesign for comments on plan set for permit.
 - Preparation of HEC-RAS Model for network floodplain delineation and elevation determination with and without trail improvements.
 - IBWC requested analysis to extent upstream and downstream of the bridge.
 - Coordination with IBWC flood plain modeler.
 - Preparation of result presentation for permit submission.
 - Summary of findings & results of the analysis.

BUDGET & SCHEDULE

Molzen Corbin Proposes a fee of \$9,501.25, for scope of services indicated herein.

This work has been completed and was a request from IBWC as a part of granting the permit.

This effort was not included in our original fee proposal. Completing this modeling in a timely manner was important to the project. Molzen Corbin modeler reprioritized his schedule to accomplish this task quickly and to avoid any further delays.

All fees are exclusive of applicable NMGRS which will be added to all billings. If you have any questions regarding this proposal, please call me.

Sincerely,

MOLZEN CORBIN



Wyatt Kartchner, P.E.

Vice President

Principal Engineer – Southern Region

BOARD ACTION FORM

ITEM:

PWD Requesting Authorization to Award Mesilla Water System Booster Pump Replacement Project to Highland Enterprises, Inc.

BACKGROUND:

Town of Mesilla received three bids for the Mesilla Booster Pump Replacement project on December 13, 2022. Highland Enterprises, Inc. was the apparent low bidder.

SUPPORTING INFORMATION:

Molzen Corbin Consideration to Award letter dated December 20, 2022

BOT OPTIONS:

1. Approve the application.
2. Modify the application with conditions.
3. Reject the application.

MOLZENCORBIN

December 20, 2022

Rod McGillivray
Town of Mesilla
2231 Avenida de Mesilla
Mesilla, NM 88046

RE: Mesilla Water System Booster Pump Replacement – SAP 20-E2124-STB
Consideration of Award

Dear Mr. McGillivray,

The Town of Mesilla received three (3) responsive Bids on December 13, 2022, for the above referenced project. The bids ranged from a low of \$328,284.43 to a high of \$ 392,332.00. A summary of the Bids received, and the Engineer's estimate is provided on the enclosed Bid Tabulation and Bid Evaluation Summary.

The apparent Low Bidder is Highland Enterprises, Inc. in the amount of \$328,284.43, excluding NMGR, and is significantly higher than the Engineer's Estimate. The base bid of \$260,340.96 is within 20% of the Engineer's Estimate.

- Highland Enterprises, Inc. is a registered Contractor in the State of New Mexico, active License No. 4460, and with License No. 20842 from their sub-contractor. We have verified this information with Contractor Licensing Services, Inc.
<https://public.psiexams.com/search.jsp>
- Along with the signed and full completed Bid Form, Highland Enterprises, Inc. submitted the Bid Bond, Subcontractor's listing, preferences, and other documents included as a part of the bid.
- The Surety for the Bid Bond is Merchants Bonding Company NAIC #14494. As required, the Surety is listed on Federal Circular 570 and licensed to do business in the State of New Mexico to an underwriter's limit of \$21,063,000.00. We have verified this with the U.S. Department of the Treasury, Washington, D.C., Treasury's listing of approved Sureties approved to conduct business in the State of New Mexico
https://www.fiscal.treasury.gov/fsreports/ref/suretyBnd/c570_a-z.htm

Based on the information before us, Highland Enterprises, Inc. has submitted the lowest apparent responsive Bid. Therefore, we recommend that the Town consider awarding this project to Highland Enterprises, Inc. for \$260,340.96, which is for the Base Bid as defined in the bid form together with plans and specifications.

Mr. McGillivray

Page 2

We understand that the Owner reserves the right to award or reject any Bid or negotiate a change in scope to reduce the Contract Amount, as well as waive any technical irregularities in the Bids.

This consideration of award is subject to the approval of the funding agency and the funds available for the project.

Should you have any questions or concerns, please do not hesitate to call.

Sincerely,

MOLZEN-CORBIN

A handwritten signature in black ink, appearing to read "John T. Montoya", written in a cursive style.

John T. Montoya, PE, PS, PTOE

Senior Civil Engineer

Vice President - Surveying

PROJECT: Mesilla Booster Station - Bid Tabulation Project SAP 20-E2124-STB

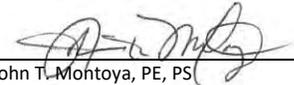
Booster Station & Piping - Base Bid				Engineer's Estimate		Highland Enterprises, Inc		J29 Enterprises, LLC		A- Mountain Professional Construction	
Item No	Description	Unit	Estimated Quantity	Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost
1	Mobilization	LS	1	\$7,000.00	\$7,000.00	\$7,000.00	\$7,000.00	\$7,000.00	\$7,000.00	\$7,000.00	\$7,000.00
2	Construction Staking	LS	1	\$2,000.00	\$2,000.00	\$7,201.26	\$7,201.26	\$4,000.00	\$4,000.00	\$4,200.00	\$4,200.00
3	4" PVC (C-900) Water line, including trenching & backfilling, complete in place	LF	1110	\$40.00	\$44,400.00	\$48.24	\$53,546.40	\$43.75	\$48,562.50	\$27.00	\$29,970.00
4	4" Gate Valve, including valve box, complete in place	EA	2	\$1,100.00	\$2,200.00	\$2,369.40	\$4,738.80	\$2,283.00	\$4,566.00	\$1,900.00	\$3,800.00
5	Water connection to 12", hot connection, 12"x 12" x 4" tapping tee, complete in place	EA	1	\$4,500.00	\$4,500.00	\$3,312.30	\$3,312.30	\$2,978.00	\$2,978.00	\$12,500.00	\$12,500.00
6	4" Tapping Valve, including valve box, complete in place	EA	1	\$1,500.00	\$1,500.00	\$3,817.80	\$3,817.80	\$2,579.00	\$2,579.00	\$2,800.00	\$2,800.00
7	Ductile Iron Fittings	LB	360	\$5.00	\$1,800.00	\$3.66	\$1,317.60	\$13.35	\$4,806.00	\$7.00	\$2,520.00
8	Pavement Patch, including subgrade prep, base course, 3" of asphalt surface course, complete in place	SY	12	\$65.00	\$780.00	\$253.49	\$3,041.88	\$176.00	\$2,112.00	\$113.00	\$1,356.00
9	Booster Station, include all improvements, within the fence, including grading, concrete, piping, pumps, tank, electrical limits, complete in place	LS	1	\$133,625.00	\$133,625.00	\$152,488.52	\$152,488.52	\$173,876.50	\$173,876.50	\$224,000.00	\$224,000.00
10	Combination Air/Vac Station, include meter box & lid, complete in place	EA	1	\$1,500.00	\$1,500.00	\$3,476.40	\$3,476.40	\$4,307.00	\$4,307.00	\$7,100.00	\$7,100.00
11	Demobilization and submittal of all close-out documents	LS	1	\$3,500.00	\$3,500.00	\$3,500.00	\$3,500.00	\$3,500.00	\$3,500.00	\$3,500.00	\$3,500.00
12	Traffic Control, complete	LS	1	\$3,000.00	\$3,000.00	\$5,400.00	\$5,400.00	\$5,669.00	\$5,669.00	\$6,000.00	\$6,000.00
13	Relocation of Underground Utilities Allowance	ALLOW	1	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00
14	Contingency Allowance During Construction	ALLOW	1	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00
15	Testing Allowance	ALLOW	1	\$3,500.00	\$3,500.00	\$3,500.00	\$3,500.00	\$3,500.00	\$3,500.00	\$3,500.00	\$3,500.00
Base Bid Amount					\$217,305.00		\$260,340.96		\$275,456.00		\$316,246.00
	NMGRT for Base Bid	%	1	8.1875%	\$17,791.85	8.1875%	\$21,315.42	8.1875%	\$22,552.96	8.1875%	\$25,892.64
	Base Bid with NMGRT				\$235,096.85		\$281,656.38		\$298,008.96		\$342,138.64

Demolition of Ex. Booster - Additive Alternate #1				Engineer's Estimate		Highland Enterprises, Inc		J29 Enterprises, LLC		A- Mountain Professional Construction	
Item No	Description	Unit	Estimated Quantity	Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost
16	Demolition of existing booster station, include all caping and purging of existing utilities, and disposal of all demo debris, and grading size to match contours, complete	LS	1	\$25,000.00	\$25,000.00	\$55,971.07	\$55,971.07	\$56,750.00	\$56,750.00	\$28,000.00	\$28,000.00
Additive Alternate #1 Amount					\$25,000.00		\$55,971.07		\$56,750.00		\$28,000.00
	NMGRT for AA #1	%	1	8.1875%	\$2,046.88	8.1875%	\$4,582.63	8.1875%	\$4,646.41	8.1875%	\$2,292.50
	Additive Alternate #1 with NMGRT				\$27,046.88		\$60,553.70		\$61,396.41		\$30,292.50
Shade Structure - Additive Alternate #2				Engineer's Estimate		Highland Enterprises, Inc		J29 Enterprises, LLC		A- Mountain Professional Construction	
Item No	Description	Unit	Estimated Quantity	Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost
1	Booster station shade structure mounted to concrete pad, complete in place	LS	1	\$11,000.00	\$11,000.00	\$11,972.40	\$11,972.40	\$33,990.00	\$33,990.00	\$48,086.00	\$48,086.00
Additive Alternate #2 Amount					\$11,000.00		\$11,972.40		\$33,990.00		\$48,086.00
	NMGRT	%	1	8.1875%	\$900.63	8.1875%	\$980.24	8.1875%	\$2,782.93	8.1875%	\$3,937.04
	Additive Alternate #2 with NMGRT				\$11,900.63		\$12,952.64		\$36,772.93		\$52,023.04
Total Bid					\$253,305.00		\$328,284.43		\$366,196.00		\$392,332.00
NMGRT					\$20,739.35		\$26,878.29		\$29,982.30		\$32,122.18
Total Bid with NMGRT					\$274,044.35		\$355,162.72		\$396,178.30		\$424,454.18

a) Construction Total Bid		\$328,284.43		\$366,196.00		\$392,332.00
b) Resident Contractor Preference	Yes	L1195884976	Yes	L2005538480	Yes	L0103712176
c) Resident Veteran Contractor Preference	No		No		No	
d) Bid with preference applied for comparison only (max 10%)		\$ 311,870.21		\$ 347,886.20		\$ 372,715.40
e) Bidder Qualification Statement	Yes		Yes		Yes	
f) Bid Bond included for 5% of Bid	Yes		Yes		Yes	
g) State Labor Enforcement Fund Registration Number	Yes	0971920090606	Yes	28214139172017	Yes	1969320110727
h) List of Subcontractors	Yes		Yes		Yes	
i) Acknowledged One (1)	Yes		Yes		Yes	

I hereby certify that the above figures are the same as those submitted in the Bid Proposal, except as otherwise amended in accordance with the Contract Documents.

Discrepancies between the indicated sum on contractor's bid form and the correct sum. The Column amount shown herein is resolved in favor of the correct sum, which is based on the bid unit price as extended with the estimated quantity.


John T. Montoya, PE, PS

12/19/2022
Date



TOWN OF MESILLA FIRE DEPARTMENT
MONTHLY BOT REPORT
DECEMBER 2022

MAJOR ADDITONS TO INVENTORY: **New Extrication Gear in from FEMA Grant**

MAINTENANCE OF EQUIPMENT: **NONE**

COMMENTS: Chief Hoban Retired on 31 December 2022. Chief Hoban went out on terminal leave 16 December 2022. Deputy Chief Evans is Interim Fire Chief until a replacement Fire Chief is hired full time.

COVID 19 is still an issue in our area. We continue to monitor our personnel and practice preventative measures. This round of the virus is much more contagious than previous versions as evidence by the climbing rates of infection in our area and the state. Let us remain vigilant.

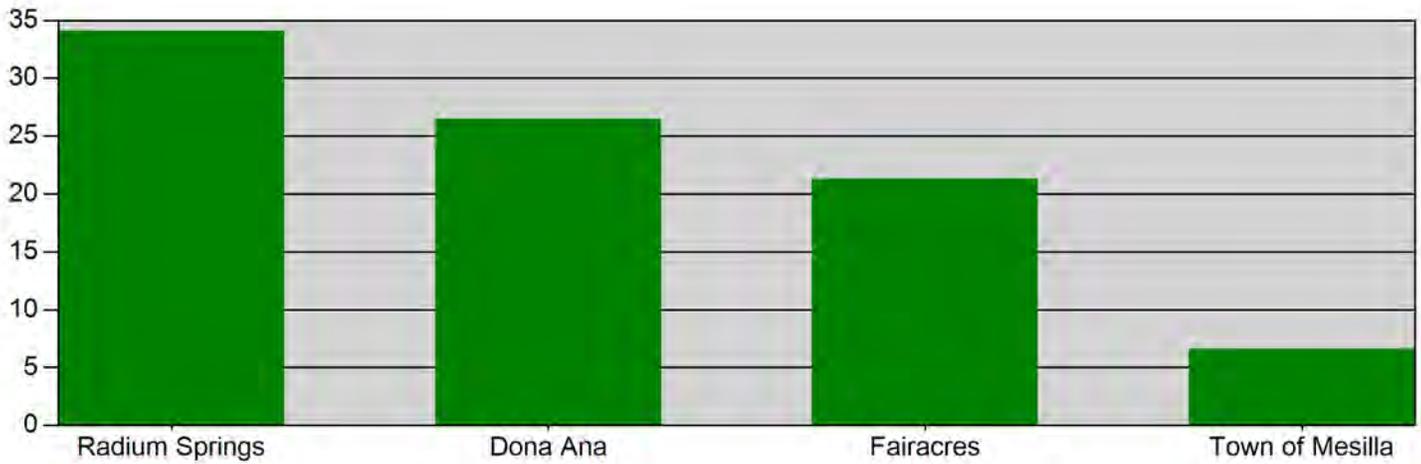
Mesilla Fire Department

Mesilla, NM

This report was generated on 1/3/2023 9:09:51 PM



Response Mode: Lights and Sirens | Start Date: 12/01/2022 | End Date: 12/31/2022



Zone	AVERAGE RESPONSE TIME (in minutes)
Radium Springs	34.08
Dona Ana	26.52
Fairacres	21.34
Town of Mesilla	6.64

Only REVIEWED incidents included. Response Time is Dispatched to Arrived. Includes all apparatus with arrival times. Excludes "Cancelled" apparatus.



Mesilla Fire Department

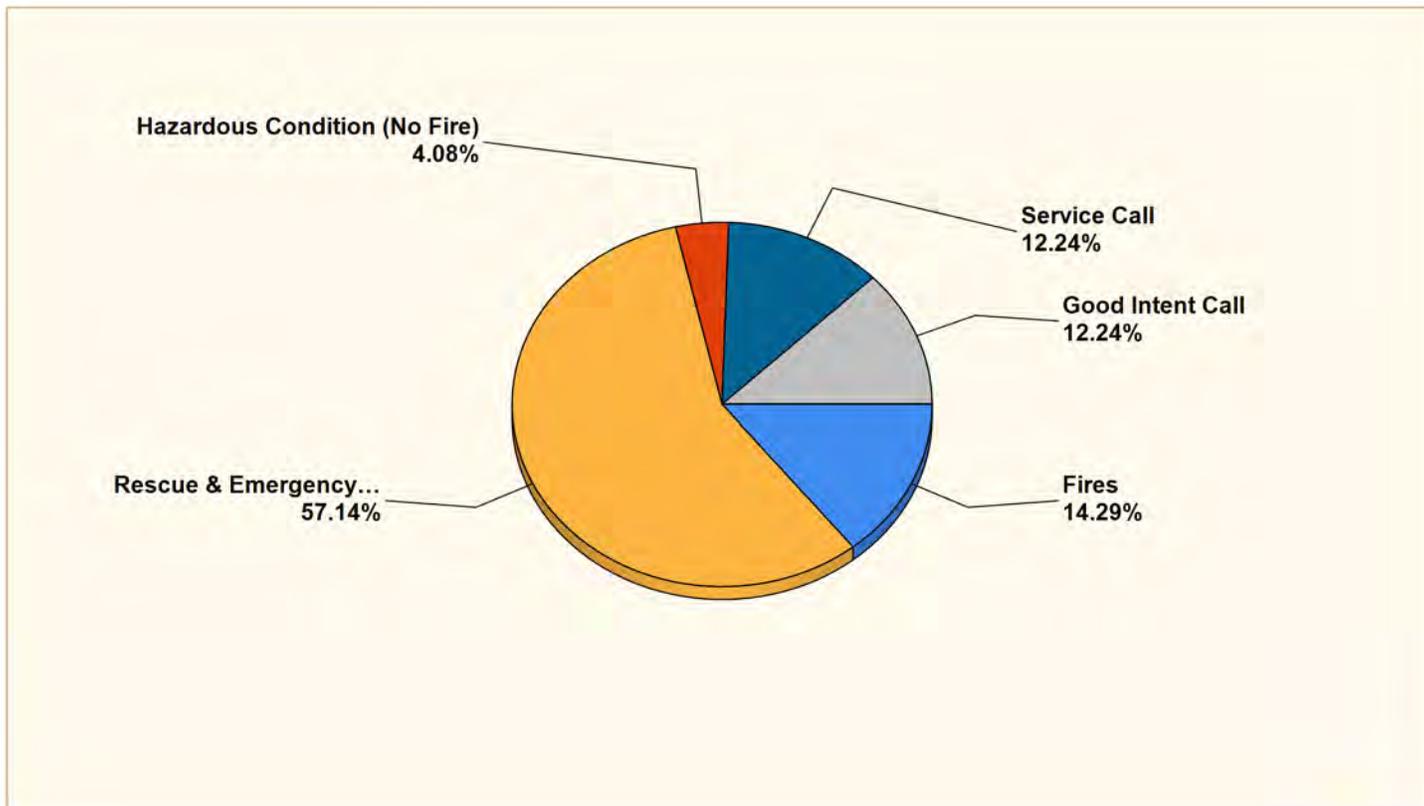
Mesilla, NM

This report was generated on 1/3/2023 9:17:19 PM



Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 12/01/2022 | End Date: 12/31/2022



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	7	14.29%
Rescue & Emergency Medical Service	28	57.14%
Hazardous Condition (No Fire)	2	4.08%
Service Call	6	12.24%
Good Intent Call	6	12.24%
TOTAL	49	100%

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.



Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
111 - Building fire	1	2.04%
114 - Chimney or flue fire, confined to chimney or flue	1	2.04%
118 - Trash or rubbish fire, contained	1	2.04%
121 - Fire in mobile home used as fixed residence	1	2.04%
131 - Passenger vehicle fire	1	2.04%
142 - Brush or brush-and-grass mixture fire	2	4.08%
320 - Emergency medical service, other	1	2.04%
321 - EMS call, excluding vehicle accident with injury	22	44.9%
322 - Motor vehicle accident with injuries	3	6.12%
324 - Motor vehicle accident with no injuries.	2	4.08%
412 - Gas leak (natural gas or LPG)	2	4.08%
511 - Lock-out	1	2.04%
520 - Water problem, other	1	2.04%
553 - Public service	1	2.04%
554 - Assist invalid	2	4.08%
561 - Unauthorized burning	1	2.04%
611 - Dispatched & cancelled en route	5	10.2%
631 - Authorized controlled burning	1	2.04%
TOTAL INCIDENTS:	49	100%

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.



Mesilla Fire Department

Mesilla, NM

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Events per Event Type for Date Range (Landscape)

Start Date: 12/01/2022 | End Date: 12/31/2022

EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
Administration Shift						
	12/01/2022	Administrative Shift - Tele-work	Administrative	Tele-work Residence	4	Harry Evans
	12/06/2022	Administrative Shift -	Administrative	fire house 31	2.25	Harry Evans
	12/12/2022	Board of Trustees meeting	Administrative	Town of Mesilla Town Hall	2.5	Crystal Davis-Whited, Andy Embury, Kevin Hoban, George Klebansky, Jasha Zapien
	12/15/2022	COVID test recovery	Administrative	Town of Mesilla and OEM	3	William Martinez, Gregory Whited
	12/15/2022	Administrative Shift	Administrative	Telework	1.5	Crystal Davis-Whited
	12/17/2022	ID photos and other	Administrative	Station 31	4	Crystal Davis-Whited, Harry Evans, Travis Rogers, Tabitha Rossman, Ines Thunhorst, Gregory Whited
	12/18/2022	Case Management	Administrative	Telework	1	Crystal Davis-Whited
	12/20/2022	Dona Ana County Fire Rescue Interview Panel	Administrative	Dona Ana County Fire Training Center	9.5	Gregory Whited
	12/21/2022	Dona Ana County Fire Rescue Interview Panel	Administrative	Dona Ana County Fire Training Center	12	Gregory Whited
	12/26/2022	Administrative Shift - Tele Work	Administrative	Tele-Work Residence	6	Harry Evans
	12/27/2022	Administrative Shift	Administrative	Fire House 31	2.25	Harry Evans
	12/30/2022	Administrative Shift	Administrative	Telework	1	Crystal Davis-Whited
	12/31/2022	Administrative Shift	Administrative	Telework	1	Crystal Davis-Whited

Total Hours for Administration Shift: 50

Only LOCKED events included.



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EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
EMS Division Shift						
	12/02/2022	A-Shift	Shifts	Fire station 31	7	Alexander Aguilar, Ines Thunhorst
	12/09/2022	A-Shift	Shifts	Fire station 31	11	Harry Evans, Ines Thunhorst
	12/16/2022	B-Shift	Shifts	Fire station 31	8.25	Alexander Aguilar, Gabriel Cordova, Ines Thunhorst
	12/29/2022	A-Shift	Shifts	Fire station 31	6	Alexander Aguilar, Ines Thunhorst, Joseph Torres, Jasha Zapien

Total Hours for EMS Division Shift: 32.25

Special Assignment						
	12/02/2022	Mesilla Tree Lighting	Special Assignment	Mesilla Plaza	2	Alexander Aguilar, Harry Evans, Kevin Hoban, George Klebansky, William Martinez, Cole Morris, Mark Reyna, Xavier Sanchez, Ines Thunhorst, Joseph Torres, Jasha Zapien
	12/06/2022	Santa to the Plaza	Special Assignment	Station 31 to the Plaza	2.75	Kevin Hoban, William Martinez, Gregory Whited, Jasha Zapien
	12/07/2022	equipment to DACES	Special Assignment	Dona Ana training facility	1.5	Andy Embury, Gregory Whited
	12/10/2022	Case Management	Special Assignment	Telework	3	Crystal Davis-Whited, Gregory Whited
	12/13/2022	Santa To Messila Elementary School	Holiday Event	Mesilla Elementary School	2.25	Kevin Hoban, George Klebansky, Mark Reyna, Xavier Sanchez, Joseph Torres, Jasha Zapien
	12/27/2022	E32 clean up	Work Session	station 31	4	Andy Embury, Xavier Sanchez, Joseph Torres, Gregory Whited, Jasha Zapien
	12/28/2022	Brush 34 cleanup	Work Session	Station 31	1.25	Crystal Davis-Whited, Andy Embury, Gregory Whited, Jasha Zapien
	12/29/2022	Equipment refurb from brush fire	Work Session	Station 31	3.5	Andy Embury, George Klebansky, Ines Thunhorst, Gregory Whited, Jasha Zapien
	12/29/2022	Brush 34 cleanup	Work Session	Station 31	1.25	Crystal Davis-Whited, Xavier Sanchez, Joseph Torres, Gregory Whited, Jasha Zapien
	12/30/2022	E32 rehab	Work Session	Station 31	0.75	Crystal Davis-Whited, Andy Embury, Harry Evans, Joseph Torres, Gregory Whited, Jasha Zapien

Total Hours for Special Assignment: 22.25

Only LOCKED events included.



EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
Daily Operations Shift						
	12/06/2022	C shift	Administrative	FireHouse 31	13	Delilah Chavez, Patrick Dorr, Gabriel Franco, Mark Reyna, Joseph Torres, Jasha Zapien
	12/07/2022	A Shift	Shifts	Fire Station 31	10	Delilah Chavez, Humberto Manriquez, Sergio Mendez
	12/13/2022	B Shift	Shifts	Station 31	4	Delilah Chavez
	12/16/2022	B-shift	Shifts	station 31	9	Delilah Chavez, Mark Reyna
	12/21/2022	A Shift	Shifts	MFD Station 31	8	Gabriel Cordova, William Martinez, Cole Morris, Mark Reyna
	12/22/2022	B shift	Shifts	FireHouse 31	17	Joseph Torres, Jasha Zapien
	12/23/2022	C shift	Shifts	Station 31	2	Delilah Chavez
	12/25/2022	B-shift	Shifts	Station 31	6	Delilah Chavez
	12/26/2022	C Shift	Shifts	Station 31	9	William Martinez, Cole Morris, Mark Reyna
Total Hours for Daily Operations Shift:					78	

Prevention Division Shift						
	12/07/2022	Firefighter 1 and 2 study	Prevention Event	Station 31	2	Humberto Fernandez III, Gregory Whited
	12/10/2022	FM31 preparation	Prevention Event	Town of Mesilla	6	Crystal Davis-Whited, Andy Embury, Gregory Whited
	12/12/2022	Mesilla Marshal Crime scene class preparation	Prevention Event	Telework	6	Gregory Whited
	12/13/2022	Mesilla Marshals Crime Scene Class	Prevention Event	Town of Mesilla Community Center	9	Gregory Whited
	12/14/2022	Inspections	Prevention Event	Town of Mesilla	7.5	Andy Embury, Gregory Whited
Total Hours for Prevention Division Shift:					30.5	

Prevention Event						
	12/07/2022	NM FMO Association meeting	Prevention Event	phone meeting	1	Gregory Whited
	12/09/2022	building plan review with CID and Town of Mesilla	Prevention Event	Town of Mesilla Town Hall	2.5	Gregory Whited
Total Hours for Prevention Event:					3.5	

Only LOCKED events included.



Mesilla Fire Department

Mesilla, NM

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Incident Statistics

Zone(s): All Zones | Start Date: 12/01/2022 | End Date: 12/31/2022

INCIDENT COUNT			
INCIDENT TYPE		# INCIDENTS	
EMS		28	
FIRE		21	
TOTAL		49	
TOTAL TRANSPORTS (N2 and N3)			
APPARATUS	# of APPARATUS TRANSPORTS	# of PATIENT TRANSPORTS	TOTAL # of PATIENT CONTACTS
Bat31	0	0	4
Bat32	0	0	3
BR34	0	0	1
FM31	0	0	7
SQ32	2	2	7
TOTAL	2	2	22
PRE-INCIDENT VALUE		LOSSES	
\$350.00		\$350.00	
CO CHECKS			
TOTAL			
MUTUAL AID			
Aid Type		Total	
Aid Given		12	
Aid Received		2	
OVERLAPPING CALLS			
# OVERLAPPING		% OVERLAPPING	
8		16.33	
LIGHTS AND SIREN - AVERAGE RESPONSE TIME (Dispatch to Arrival)			
Station	EMS	FIRE	
Mesilla Fire Main Station 31	0:10:04	0:18:44	
AVERAGE FOR ALL CALLS		0:14:03	
LIGHTS AND SIREN - AVERAGE TURNOUT TIME (Dispatch to Enroute)			
Station	EMS	FIRE	
Mesilla Fire Main Station 31	0:01:56	0:04:54	
AVERAGE FOR ALL CALLS		0:03:06	
AGENCY	AVERAGE TIME ON SCENE (MM:SS)		
Mesilla Fire Department	33:15		

Only Reviewed Incidents included. EMS for Incident counts includes only 300 to 399 Incident Types. All other incident types are counted as FIRE. CO Checks only includes Incident Types: 424, 736 and 734. # Apparatus Transports = # of incidents where apparatus transported. # Patient Transports = All patients transported by EMS. # Patient Contacts = # of PCR contacted by apparatus. This report now returns both NEMSIS 2 & 3 data as appropriate. For overlapping calls that span over multiple days, total per month will not equal Total count for year.

Mesilla Fire Department

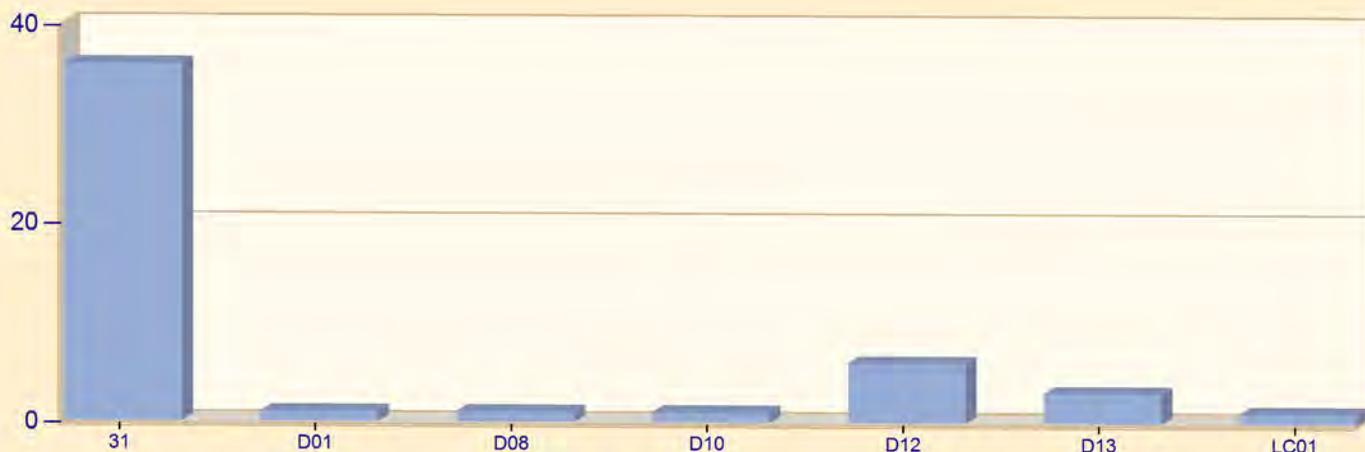
Mesilla, NM

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Incident Type Count per Zone for Date Range

Start Date: 12/01/2022 | End Date: 12/31/2022



ZONES	INCIDENT TYPE	COUNT
31 - Town of Mesilla		
	111 - Building fire	1
	114 - Chimney or flue fire, confined to chimney or flue	1
	118 - Trash or rubbish fire, contained	1
	320 - Emergency medical service, other	1
	321 - EMS call, excluding vehicle accident with injury	19
	322 - Motor vehicle accident with injuries	1
	324 - Motor vehicle accident with no injuries.	1
	412 - Gas leak (natural gas or LPG)	2
	511 - Lock-out	1
	520 - Water problem, other	1
	553 - Public service	1
	554 - Assist invalid	2
	561 - Unauthorized burning	1
	611 - Dispatched & cancelled en route	2
	631 - Authorized controlled burning	1
	<i>Total Incidents for 31 - Town of Mesilla</i>	36
D01 - Dona Ana		
	142 - Brush or brush-and-grass mixture fire	1
	<i>Total Incidents for D01 - Dona Ana.</i>	1
D08 - Radium Springs		

Zone information is defined on the Basic Info 3 screen of an incident.
Only REVIEWED incidents included.



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ZONES	INCIDENT TYPE	COUNT
	142 - Brush or brush-and-grass mixture fire	1
	<i>Total Incidents for D08 - Radium Springs:</i>	1
D10 - Mesquite		
	611 - Dispatched & cancelled en route	1
	<i>Total Incidents for D10 - Mesquite:</i>	1
D12 - Fairacres		
	131 - Passenger vehicle fire	1
	321 - EMS call, excluding vehicle accident with injury	2
	322 - Motor vehicle accident with injuries	2
	611 - Dispatched & cancelled en route	1
	<i>Total Incidents for D12 - Fairacres:</i>	6
D13 - South Valley		
	121 - Fire in mobile home used as fixed residence	1
	321 - EMS call, excluding vehicle accident with injury	1
	611 - Dispatched & cancelled en route	1
	<i>Total Incidents for D13 - South Valley:</i>	3
LC01 - City of Las Cruces		
	324 - Motor vehicle accident with no injuries.	1
	<i>Total Incidents for LC01 - City of Las Cruces:</i>	1
Total Count for all Zone:		49

Zone information is defined on the Basic Info 3 screen of an incident.
Only REVIEWED incidents included.



Mesilla Fire Department

Mesilla, NM

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Response Activity Report

Start Date: 12/01/2022 | End Date: 12/31/2022

INCIDENT #	DATE	APPARATUS ID	ALARM TIME	ARRIVE TIME	RESPONSE TIME	ADDRESS
111 - Building fire						
2022-00534	12/27/2022	Bat32	08:40:33	08:46:27	00:05:54	2551 CALLE DE PRINCIPAL
2022-00534	12/27/2022	E32	08:40:33	09:00:21	00:19:48	2551 CALLE DE PRINCIPAL
2022-00534	12/27/2022	FM31	08:40:33	09:00:21	00:19:48	2551 CALLE DE PRINCIPAL
Subtotal Count: 3		111 - Building fire | Average Response Time: 00:15:10				
114 - Chimney or flue fire, confined to chimney or flue						
2022-00540	12/30/2022	Bat31	17:33:12	17:46:37	00:13:25	2000 HAPPY VALLEY LN
2022-00540	12/30/2022	Bat32	17:33:12	17:46:37	00:13:25	2000 HAPPY VALLEY LN
2022-00540	12/30/2022	E32	17:33:12	17:46:32	00:13:20	2000 HAPPY VALLEY LN
Subtotal Count: 3		114 - Chimney or flue fire, confined to chimney or flue | Average Response Time: 00:13:23				
118 - Trash or rubbish fire, contained						
2022-00501	12/04/2022	Bat32	01:06:12	01:12:37	00:06:25	2790 AVENIDA DE MESILLA
2022-00501	12/04/2022	BR34	01:06:12	01:13:25	00:07:13	2790 AVENIDA DE MESILLA
Subtotal Count: 2		118 - Trash or rubbish fire, contained | Average Response Time: 00:06:49				
121 - Fire in mobile home used as fixed residence						
2022-00531	12/24/2022	Bat32	23:09:28	23:26:14	00:16:46	4801 S MAIN ST
2022-00531	12/24/2022	E31	23:09:28	23:30:34	00:21:06	4801 S MAIN ST
Subtotal Count: 2		121 - Fire in mobile home used as fixed residence | Average Response Time: 00:18:56				
131 - Passenger vehicle fire						
2022-00496	12/01/2022	Bat32	09:03:26	09:30:58	00:27:32	125 INTERSTATE 10
2022-00496	12/01/2022	E31	09:03:26	09:41:44	00:38:18	125 INTERSTATE 10
Subtotal Count: 2		131 - Passenger vehicle fire | Average Response Time: 00:32:55				
142 - Brush or brush-and-grass mixture fire						
2022-00537	12/28/2022	Bat32	14:50:13	15:23:17	00:33:04	DONA ANA RD
2022-00537	12/28/2022	BR34	14:50:13	15:24:55	00:34:42	DONA ANA RD
2022-00538	12/28/2022	BR34	21:50:18	22:30:09	00:39:51	DONA ANA RD
Subtotal Count: 3		142 - Brush or brush-and-grass mixture fire | Average Response Time: 00:35:52				
320 - Emergency medical service, other						
2022-00523	12/18/2022	Bat32	21:38:53	21:45:55	00:07:02	2011 AVENIDA DE MESILLA
2022-00523	12/18/2022	FM31	21:38:53	21:46:57	00:08:04	2011 AVENIDA DE MESILLA
Subtotal Count: 2		320 - Emergency medical service, other | Average Response Time: 00:07:33				
321 - EMS call, excluding vehicle accident with injury						
2022-00497	12/01/2022	Bat31	12:34:40	12:34:42	00:00:02	2670 CALLE DE PARIAN
2022-00497	12/01/2022	SQ32	12:34:40	12:34:42	00:00:02	2670 CALLE DE PARIAN
2022-00498	12/02/2022	Bat31	12:58:54	13:20:00	00:21:06	3200 TIGUA DR
2022-00498	12/02/2022	SQ32	12:58:54	13:18:03	00:19:09	3200 TIGUA DR
2022-00499	12/02/2022	Bat31	16:17:18	16:46:52	00:29:34	2170 CALLE DE PARIAN

Calls by Incident Type. Does not include calls where there was no response.



2022-00499	12/02/2022	SQ32	16:17:18	16:46:00	00:28:42	2170 CALLE DE PARIAN
2022-00500	12/02/2022	Bat31	23:49:52	00:01:10	00:11:18	2600 AVENIDA DE MESILLA
2022-00500	12/02/2022	Bat32	23:49:52	00:01:10	00:11:18	2600 AVENIDA DE MESILLA
2022-00500	12/02/2022	SQ32	23:49:52	00:06:35	00:16:43	2600 AVENIDA DE MESILLA
2022-00502	12/05/2022	Bat31	15:42:37	15:45:54	00:03:17	2461 CALLE DE PARIAN
2022-00502	12/05/2022	SQ32	15:42:37	15:56:29	00:13:52	2461 CALLE DE PARIAN
2022-00505	12/06/2022	SQ32	14:22:38	14:24:38	00:02:00	2371 CALLE DE PARIAN
2022-00507	12/06/2022	Bat31	15:58:46	16:25:54	00:27:08	2770 AVENIDA DE MESILLA
2022-00507	12/06/2022	SQ32	15:58:46	16:21:44	00:22:58	2770 AVENIDA DE MESILLA
2022-00508	12/06/2022	BR34	21:33:13	21:43:20	00:10:07	2320 CALLE DE SANTA ANA
2022-00508	12/06/2022	SQ32	21:33:13	21:45:20	00:12:07	2320 CALLE DE SANTA ANA
2022-00509	12/08/2022	E32	01:06:22	01:17:56	00:11:34	2171 CALLE DE PARIAN
2022-00513	12/12/2022	Bat31	17:04:02	17:10:12	00:06:10	2195 CALLE DE LOS HUERTOS
2022-00513	12/12/2022	FM31	17:04:02	17:13:02	00:09:00	2195 CALLE DE LOS HUERTOS
2022-00513	12/12/2022	SQ32	17:04:02	17:18:09	00:14:07	2195 CALLE DE LOS HUERTOS
2022-00514	12/13/2022	Bat31	09:26:16	09:31:26	00:05:10	1300 W University AVE
2022-00514	12/13/2022	BR34	09:26:16	09:31:29	00:05:13	1300 W University AVE
2022-00515	12/13/2022	Bat31	14:19:37	14:40:07	00:20:30	CALLE DEL SUR
2022-00515	12/13/2022	SQ32	14:19:37	14:41:32	00:21:55	CALLE DEL SUR
2022-00519	12/15/2022	Bat31	10:53:22	10:59:25	00:06:03	2425 CALLE DE SANTIAGO
2022-00519	12/15/2022	SQ32	10:53:22	10:58:23	00:05:01	2425 CALLE DE SANTIAGO
2022-00520	12/15/2022	Bat31	21:07:46	21:22:58	00:15:12	1950 CALLE DEL NORTE
2022-00520	12/15/2022	FM31	21:07:46	21:17:48	00:10:02	1950 CALLE DEL NORTE
2022-00524	12/19/2022	FM31	23:46:10	00:09:45	00:23:35	705 TAMARIZ CT
2022-00528	12/23/2022	Bat31	08:13:02	08:19:53	00:06:51	2461 CALLE DE PARIAN
2022-00528	12/23/2022	Bat32	08:13:02	08:20:44	00:07:42	2461 CALLE DE PARIAN
2022-00528	12/23/2022	BR34	08:13:02	08:18:47	00:05:45	2461 CALLE DE PARIAN
2022-00528	12/23/2022	FM31	08:13:02	08:19:53	00:06:51	2461 CALLE DE PARIAN
2022-00529	12/23/2022	FM31	11:09:53	11:18:23	00:08:30	2839 CALLE DEL SUR
2022-00536	12/28/2022	Bat32	13:50:46	13:59:08	00:08:22	2425 CALLE DE SANTIAGO
2022-00536	12/28/2022	FM31	13:50:46	13:59:04	00:08:18	2425 CALLE DE SANTIAGO
2022-00536	12/28/2022	SQ32	13:50:46	14:07:42	00:16:56	2425 CALLE DE SANTIAGO
2022-00539	12/28/2022	Bat31	22:53:14	23:29:42	00:36:28	1605 SHALEM COLONY TRL
2022-00539	12/28/2022	SQ32	22:57:14	23:20:35	00:23:21	1605 SHALEM COLONY TRL
2022-00542	12/31/2022	Bat32	18:54:02	19:05:00	00:10:58	2800 CALLE DE PRINCIPAL
2022-00542	12/31/2022	FM31	18:54:02	19:04:31	00:10:29	2800 CALLE DE PRINCIPAL
2022-00543	12/31/2022	Bat31	20:46:42	20:50:25	00:03:43	2510 CALLE DEL OESTE
2022-00543	12/31/2022	Bat32	20:46:24	20:53:53	00:07:29	2510 CALLE DEL OESTE
2022-00543	12/31/2022	SQ32	20:46:24	20:50:25	00:04:01	2510 CALLE DEL OESTE
2022-00544	12/31/2022	Bat32	23:45:20	23:48:20	00:03:00	2461 CALLE DE PARIAN
2022-00544	12/31/2022	SQ32	23:45:20	23:52:09	00:06:49	2461 CALLE DE PARIAN
Subtotal Count: 46 321 - EMS call, excluding vehicle accident with injury | Average Response Time: 00:12:08						
322 - Motor vehicle accident with injuries						
2022-00512	12/10/2022	Bat31	14:07:18	14:38:50	00:31:32	114 INTERSTATE 10
2022-00526	12/22/2022	Bat32	15:59:13	16:08:00	00:08:47	W UNIVERSITY AVE
2022-00526	12/22/2022	SQ32	15:59:13	16:12:44	00:13:31	W UNIVERSITY AVE

Calls by Incident Type. Does not include calls where there was no response.

Mesilla Fire Department

Mesilla, NM

This report was generated on 1/3/2023 9:26:14 PM



Total Hours by Personnel for Date Range for Pay Grade

Pay Grades: All Pay Grades | Start Date: 12/01/2022 | End Date: 12/31/2022

PERSONNEL	INCIDENT TIME	TRAINING TIME	EVENT TIME	TOTAL TIME
Aguilar, Alexander J	3:20	0:00	23:45	27:05
Azcarate, Ben	2:17	3:00	1:30	6:47
Baca, Brandon T	0:00	0:00	0:00	0:00
Chavez, Delilah M	2:42	2:00	31:00	35:42
Cordova, Gabriel Lee	0:45	4:00	17:45	22:30
Davis-Whited, Crystal L	19:54	10:00	25:15	55:09
Diaz, Tress A	1:50	0:00	0:00	1:50
Dorr, Patrick E	0:45	1:00	13:00	14:45
Embury, Andy G	13:33	6:00	28:30	48:03
Evans, Harry A	8:03	43:00	33:45	84:48
Fernandez III, Humberto	0:00	2:00	14:00	16:00
Fernandez, Sergio A	0:00	6:00	0:00	6:00
Franco, Gabriel Z	0:45	3:00	23:00	26:45
Garcia, Gilbert M	1:00	3:00	0:00	4:00
Gaytan, Melina A	0:00	0:00	1:30	1:30
Hernandez, Lourdes A	0:00	0:00	0:00	0:00
Hoban, Kevin M	15:32	7:00	8:45	31:17
Klebansky, George A	19:57	3:00	11:30	34:27
Madson, Ed	0:00	0:00	0:00	0:00
Manriquez, Humberto	0:30	1:00	10:00	11:30
Martinez, Mateo L	1:00	0:00	0:00	1:00
Martinez, William A	2:03	4:00	24:45	30:48
McBurney, Samuel O	1:00	0:00	0:00	1:00
Mendez, Sergio M	0:30	1:00	6:00	7:30
Morris, Cole M	3:15	4:00	20:30	27:45
Reyna, Mark A	3:13	5:00	36:30	44:43
Rogers, Travis A	0:00	0:00	4:00	4:00
Rossman, Tabitha A	0:00	0:00	5:30	5:30
Salas, Enrique	1:50	3:00	0:00	4:50
Sanchez, Xavier	12:38	11:00	19:45	43:23
Thunhorst, Ines C	3:50	3:00	39:45	46:35
Torres, Joseph F	11:22	9:00	56:00	76:22
Whited, Gregory E	33:09	10:00	81:00	124:09
Zapien, Jasha C	32:35	12:00	64:30	109:05

Personnel Total Hours by Time spent on Incidents and Time spent on Training Times for Date Range for Pay Grade. Time Cards are NOT included. Time is displayed in hh:mm format. This report only includes Reviewed Incidents, Locked Events and Locked Training classes. Payroll must be enabled.



Mesilla Fire Department

Mesilla, NM

This report was generated on 1/4/2023 11:45:02 AM



Occupancies Inspected for Date Range

Start Date: 12/01/2022 | End Date: 12/31/2022

OCCUPANCY	ID	ADDRESS	ZONE	LAST INSPECTION
Agave Artists	27	2250 Calle de San Albino		12/16/2022
Cruz Burrito and grill	111	2920 Avenida de Mesilla #A		12/16/2022
Julienne Jewelry	83	2329 Calle De Guadalupe		12/21/2022
Mesilla Elementary School	59	2363 Calle Del Sur		12/21/2022
Mesilla Valley Fine Arts	68	2470 Calle de Guadalupe #a		12/14/2022
Nevarez Plaza	121	2001 Avenida de Mesilla		12/14/2022
Rincon de Mesilla	110	2488 calle de guadalupe #B		12/14/2022
Thai Delight	19	2184 Avenida De Mesilla		12/14/2022
The Cannabis Tropical Dispensary	122	2060 Calle de Parian		12/14/2022

of Occupancies Inspected: 9

% Occupancies Inspected: 4.97

Included occupancies are those that have a LOCKED inspection on record for the date range provided.



TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

10 -GENERAL FUND
 FINANCIAL SUMMARY

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
REVENUE SUMMARY									
		TAXES - LOCAL	1,011,000.00	157.76	0.00	609,125.79	0.00	401,874.21	60.25
		TAXES - STATE	633,700.00	0.00	0.00	400,363.38	0.00	233,336.62	63.18
		LICENSES & PERMITS	119,600.00	0.00	0.00	25,539.02	0.00	94,060.98	21.35
		CHARGES FOR SERVICES	55,000.00	826.12	0.00	19,672.66	0.00	35,327.34	35.77
		FINES & FORFEITS	80,000.00	284.00	0.00	19,535.00	0.00	60,465.00	24.42
		MISCELLANEOUS REVENUES	20,000.00	0.00	0.00	2,513.63	0.00	17,486.37	12.57
		INTER-GOV/GRANTS	148,274.00	0.00	0.00	6,448.23	0.00	141,825.77	4.35
		TOTAL REVENUES	2,067,574.00	1,267.88	0.00	1,083,197.71	0.00	984,376.29	0.00
EXPENDITURE SUMMARY									
		FINANCE	444,235.00	10,036.40	0.00	204,833.80	1,000.00	238,401.20	46.33
		COURT	87,566.00	146.97	0.00	40,854.78	0.00	46,711.22	46.66
		MARSHAL	598,975.00	693.84	0.00	258,277.54	2,582.20	338,115.26	43.55
		FIRE	341,795.00	0.00	0.00	267,855.69	0.00	73,939.31	78.37
		MAINTENANCE	198,451.00	1,140.52	0.00	92,415.71	0.00	106,035.29	46.57
		EXECUTIVE/LEGISLATIVE	229,814.00	2,694.31	0.00	104,706.92	0.00	125,107.08	45.56
		COMMUNITY PROGRAMS	119,394.00	790.58	0.00	55,432.56	0.00	63,961.44	46.43
		COMM CNTR/PLAZA	72,442.00	505.77	0.00	11,699.37	0.00	60,742.63	16.15
		COMMUNITY DEVELOPMENT	71,561.00	0.00	0.00	24,576.29	0.00	46,984.71	34.34
		TOTAL EXPENDITURES	2,164,233.00	16,008.39	0.00	1,060,652.66	3,582.20	1,099,998.14	49.17
		EXCESS REVENUES/EXPENDITURES	(96,659.00)	(14,740.51)	0.00	22,545.05	(3,582.20)	(115,621.85)	19.62-
		TRANSFERS OUT	73,067.00	0.00	0.00	0.00	0.00	73,067.00	0.00
		NET TRANSFERS	(73,067.00)	0.00	0.00	0.00	0.00	(73,067.00)	0.00
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	(169,726.00)	(14,740.51)	0.00	22,545.05	(3,582.20)	(188,688.85)	11.17-

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

10 -GENERAL FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
TAXES - LOCAL									
10-41002		FRANCHISE TAX	75,000.00	157.76	0.00	42,330.30	0.00	32,669.70	56.44
10-41030		INFRASTRUCTURE	40,000.00	0.00	0.00	529.25	0.00	39,470.75	1.32
10-41050		MUN.GROSS REC. TAX 48%	800,000.00	0.00	0.00	542,986.78	0.00	257,013.22	67.87
10-41060		PROPERTY TAX	96,000.00	0.00	0.00	23,279.46	0.00	72,720.54	24.25
		TOTAL TAXES - LOCAL	1,011,000.00	157.76	0.00	609,125.79	0.00	401,874.21	60.25
TAXES - STATE									
10-42050		STATE GROSS REC.1.225-48%	600,000.00	0.00	0.00	391,996.68	0.00	208,003.32	65.33
10-42060		EQUIVALENT COMPENSATING TAX	3,500.00	0.00	0.00	0.00	0.00	3,500.00	0.00
10-42070		INTERSTATE TELECOM	200.00	0.00	0.00	112.03	0.00	87.97	56.02
10-42080		AUTO LIC DIST/REG/ALL CITIES	15,000.00	0.00	0.00	8,254.67	0.00	6,745.33	55.03
10-42090		INTERNET SALES TAXES	15,000.00	0.00	0.00	0.00	0.00	15,000.00	0.00
		TOTAL TAXES - STATE	633,700.00	0.00	0.00	400,363.38	0.00	233,336.62	63.18
LICENSES & PERMITS									
10-43010		BUILDING PERMITS	60,000.00	0.00	0.00	20,669.26	0.00	39,330.74	34.45
10-43020		BUSINESS LICENSES	15,000.00	0.00	0.00	1,405.00	0.00	13,595.00	9.37
10-43030		LIQUOR LICENSES	4,500.00	0.00	0.00	2,020.00	0.00	2,480.00	44.89
10-43060		OTHER PERMITS	40,000.00	0.00	0.00	1,444.76	0.00	38,555.24	3.61
10-43100		ANIMAL CONTROL LICENSES	100.00	0.00	0.00	0.00	0.00	100.00	0.00
		TOTAL LICENSES & PERMITS	119,600.00	0.00	0.00	25,539.02	0.00	94,060.98	21.35
CHARGES FOR SERVICES									
10-44010		OTHER ADMINISTRATIVE FEES	15,000.00	0.00	0.00	200.00	0.00	14,800.00	1.33
10-44070		COMM CENTER/PLAZA RENTALS	40,000.00	826.12	0.00	19,472.66	0.00	20,527.34	48.68
		TOTAL CHARGES FOR SERVICES	55,000.00	826.12	0.00	19,672.66	0.00	35,327.34	35.77
FINES & FORFEITS									
10-45020		COURT FINES	80,000.00	284.00	0.00	19,535.00	0.00	60,465.00	24.42
		TOTAL FINES & FORFEITS	80,000.00	284.00	0.00	19,535.00	0.00	60,465.00	24.42
MISCELLANEOUS REVENUES									
10-46030		INTEREST	1,000.00	0.00	0.00	1,223.77	0.00	223.77	122.38
10-46060		REFUNDS/REIMBURSEMENTS	3,000.00	0.00	0.00	627.00	0.00	2,373.00	20.90
10-46090		MISCELLANEOUS INCOME	15,000.00	0.00	0.00	559.18	0.00	14,440.82	3.73
10-46095		VISITOR CENTER REVENUES	1,000.00	0.00	0.00	103.68	0.00	896.32	10.37
		TOTAL MISCELLANEOUS REVENUES	20,000.00	0.00	0.00	2,513.63	0.00	17,486.37	12.57

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

10 -GENERAL FUND

FINANCE

DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
10-501-1001		SALARIES	138,542.00	0.00	0.00	55,964.82	0.00	82,577.18	40.40
10-501-1003		FICA/MEDICARE	21,197.00	0.00	0.00	4,118.74	0.00	17,078.26	19.43
10-501-1004		PERA/ICMA	8,620.00	0.00	0.00	2,986.85	0.00	5,633.15	34.65
10-501-1005		HEALTH & LIFE INSURANCE	14,365.00	0.00	0.00	7,177.04	0.00	7,187.96	49.96
10-501-1006		WORKERS' COMPENSATION	1,949.00	0.00	0.00	386.08	0.00	1,562.92	19.81
10-501-1007		UNEMPLOYMENT INSURANCE	2,972.00	0.00	0.00	0.00	0.00	2,972.00	0.00
		TOTAL PERSONNEL EXPENSES	187,645.00	0.00	0.00	70,633.53	0.00	117,011.47	37.64
OPERATING EXPENSES									
10-501-2110		TRAVEL/CONF/PER DIEM	6,000.00	526.08	0.00	4,176.75	1,000.00	823.25	86.28
10-501-2240		VEHICLE R & M	500.00	0.00	0.00	413.38	0.00	86.62	82.68
10-501-2241		EQUIPMENT R & M	2,737.00	0.00	0.00	0.00	0.00	2,737.00	0.00
10-501-2242		MEDICAL/DRUG ADMIN	3,650.00	0.00	0.00	0.00	0.00	3,650.00	0.00
10-501-2305		AUDIT FEES	15,710.00	0.00	0.00	0.00	0.00	15,710.00	0.00
10-501-2315		PROFESSIONAL SERVICES	1,500.00	0.00	0.00	116.23	0.00	1,383.77	7.75
10-501-2320		AGREEMENTS/CONTRACTS	145,000.00	5,865.17	0.00	89,704.34	0.00	55,295.66	61.87
10-501-2405		OFFICE SUPPLIES	5,000.00	0.00	0.00	1,077.43	0.00	3,922.57	21.55
10-501-2520		EMPLOYEE TRAINING	1,000.00	0.00	0.00	0.00	0.00	1,000.00	0.00
10-501-2530		INSURANCE	16,100.00	0.00	0.00	0.00	0.00	16,100.00	0.00
10-501-2535		POSTAGE	2,720.00	520.99	0.00	2,793.98	0.00	(73.98)	102.72
10-501-2540		PRINT/PUBLISH/ADVERTISE	4,700.00	0.00	0.00	1,147.24	0.00	3,552.76	24.41
10-501-2570		DUES & SUBSCRIPTIONS	5,502.00	0.00	0.00	2,098.07	0.00	3,403.93	38.13
10-501-2575		TELEPHONE	6,750.00	556.75	0.00	5,035.54	0.00	1,714.46	74.60
10-501-2580		UTILITIES	33,971.00	2,567.41	0.00	27,485.25	0.00	6,485.75	80.91
10-501-2585		FUEL	2,000.00	0.00	0.00	104.81	0.00	1,895.19	5.24
10-501-2590		ELECTIONS	250.00	0.00	0.00	0.00	0.00	250.00	0.00
10-501-2597		OTHER EXPENSES	3,500.00	0.00	0.00	47.25	0.00	3,452.75	1.35
		TOTAL OPERATING EXPENSES	256,590.00	10,036.40	0.00	134,200.27	1,000.00	121,389.73	52.69
CAPITAL OUTLAY									
TOTAL FINANCE			444,235.00	10,036.40	0.00	204,833.80	1,000.00	238,401.20	46.33

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

10 -GENERAL FUND

COURT

DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
10-502-1001		SALARIES	50,944.00	0.00	0.00	24,978.24	0.00	25,965.76	49.03
10-502-1003		FICA/MEDICARE	7,942.00	0.00	0.00	1,856.43	0.00	6,085.57	23.37
10-502-1004		PERA/ICMA	5,144.00	0.00	0.00	2,490.51	0.00	2,653.49	48.42
10-502-1005		HEALTH & LIFE INSURANCE	119.00	0.00	0.00	59.64	0.00	59.36	50.12
10-502-1006		WORKERS' COMPENSATION	396.00	0.00	0.00	386.08	0.00	9.92	97.49
10-502-1007		UNEMPLOYMENT INSURANCE	1,006.00	0.00	0.00	0.00	0.00	1,006.00	0.00
		TOTAL PERSONNEL EXPENSES	65,551.00	0.00	0.00	29,770.90	0.00	35,780.10	45.42
OPERATING EXPENSES									
10-502-2110		TRAVEL/CONF/TRAINING	700.00	0.00	0.00	0.00	0.00	700.00	0.00
10-502-2320		AGREEMENTS/CONTRACTS	7,700.00	62.21	0.00	4,772.23	0.00	2,927.77	61.98
10-502-2405		OFFICE SUPPLIES	3,000.00	0.00	0.00	1,037.38	0.00	1,962.62	34.58
10-502-2535		POSTAGE	1,000.00	0.00	0.00	504.84	0.00	495.16	50.48
10-502-2570		DUES & SUBSCRIPTIONS	500.00	0.00	0.00	135.16	0.00	364.84	27.03
10-502-2575		TELEPHONE	3,000.00	84.76	0.00	1,481.73	0.00	1,518.27	49.39
10-502-2596		INDIGENT FEES	4,800.00	0.00	0.00	3,228.26	0.00	1,571.74	67.26
10-502-2597		OTHER EXPENSES	1,315.00	0.00	0.00	(75.72)	0.00	1,390.72	5.76-
		TOTAL OPERATING EXPENSES	22,015.00	146.97	0.00	11,083.88	0.00	10,931.12	50.35
CAPITAL OUTLAY									
TOTAL COURT			87,566.00	146.97	0.00	40,854.78	0.00	46,711.22	46.66

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

10 -GENERAL FUND
 MARSHAL
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	10-503-1001	SALARIES	280,925.00	0.00	0.00	131,265.74	0.00	149,659.26	46.73
	10-503-1003	FICA/MEDICARE	47,572.00	0.00	0.00	11,900.48	0.00	35,671.52	25.02
	10-503-1004	PERA/ICMA	45,650.00	0.00	0.00	24,280.82	0.00	21,369.18	53.19
	10-503-1005	HEALTH & LIFE INSURANCE	17,852.00	0.00	0.00	9,858.24	0.00	7,993.76	55.22
	10-503-1006	WORKERS' COMPENSATION	10,844.00	0.00	0.00	6,284.53	0.00	4,559.47	57.95
	10-503-1007	UNEMPLOYMENT INSURANCE	8,232.00	0.00	0.00	918.46	0.00	7,313.54	11.16
	10-503-1008	OVERTIME ALLOTMENT	30,000.00	0.00	0.00	23,920.60	0.00	6,079.40	79.74
		TOTAL PERSONNEL EXPENSES	441,075.00	0.00	0.00	208,428.87	0.00	232,646.13	47.25
OPERATING EXPENSES									
	10-503-2110	TRAVEL/CONF/TRAINING	10,000.00	400.00	0.00	6,766.20	920.00	2,313.80	76.86
	10-503-2240	VEHICLE R & M	24,500.00	86.55	0.00	10,331.05	0.00	14,168.95	42.17
	10-503-2241	EQUIPMENT R & M	10,000.00	0.00	0.00	1,350.26	0.00	8,649.74	13.50
	10-503-2320	AGREEMENTS/CONTRACTS	17,400.00	0.00	0.00	2,725.05	0.00	14,674.95	15.66
	10-503-2324	ANIMAL CONTROL	6,000.00	0.00	0.00	4,430.95	1,247.20	321.85	94.64
	10-503-2405	OFFICE SUPPLIES	1,000.00	0.00	0.00	42.46	0.00	957.54	4.25
	10-503-2420	UNIFORM ALLOWANCE	15,000.00	0.00	0.00	3,579.80	415.00	11,005.20	26.63
	10-503-2421	INTERN UNIFORMS	1,000.00	0.00	0.00	0.00	0.00	1,000.00	0.00
	10-503-2530	INSURANCE	36,500.00	0.00	0.00	0.00	0.00	36,500.00	0.00
	10-503-2535	POSTAGE	100.00	0.00	0.00	14.52	0.00	85.48	14.52
	10-503-2540	PRINT/PUBLISH/ADVERTISE	750.00	0.00	0.00	0.00	0.00	750.00	0.00
	10-503-2570	DUES & SUBSCRIPTIONS	150.00	0.00	0.00	0.00	0.00	150.00	0.00
	10-503-2575	TELEPHONE/GPS	4,500.00	207.29	0.00	2,496.09	0.00	2,003.91	55.47
	10-503-2585	FUEL	26,000.00	0.00	0.00	15,034.79	0.00	10,965.21	57.83
		TOTAL OPERATING EXPENSES	152,900.00	693.84	0.00	46,771.17	2,582.20	103,546.63	32.28
CAPITAL OUTLAY									
	10-503-3050	AMMO FOR QUALS	5,000.00	0.00	0.00	3,077.50	0.00	1,922.50	61.55
		TOTAL CAPITAL OUTLAY	5,000.00	0.00	0.00	3,077.50	0.00	1,922.50	61.55
TOTAL MARSHAL			598,975.00	693.84	0.00	258,277.54	2,582.20	338,115.26	43.55

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

10 -GENERAL FUND

FIRE

DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
10-504-1001		SALARIES	68,600.00	0.00	0.00	36,002.81	0.00	32,597.19	52.48
10-504-1002		STIPENDS	34,009.00	0.00	0.00	30,746.17	0.00	3,262.83	90.41
10-504-1003		FICA/MEDICARE	16,639.00	0.00	0.00	5,047.41	0.00	11,591.59	30.33
10-504-1004		PERA/ICMA	15,367.00	0.00	0.00	7,658.81	0.00	7,708.19	49.84
10-504-1005		HEALTH & LIFE INSURANCE	23,753.00	0.00	0.00	16,806.12	0.00	6,946.88	70.75
10-504-1006		WORKERS' COMPENSATION	3,729.00	0.00	0.00	2,595.37	0.00	1,133.63	69.60
10-504-1007		UNEMPLOYMENT INSURANCE	1,098.00	0.00	0.00	0.00	0.00	1,098.00	0.00
		TOTAL PERSONNEL EXPENSES	163,195.00	0.00	0.00	98,856.69	0.00	64,338.31	60.58
OPERATING EXPENSES									
10-504-2320		AGREEMENTS/CONTRACTS	6,600.00	0.00	0.00	1,999.00	0.00	4,601.00	30.29
10-504-2420		EQUIPMENT	172,000.00	0.00	0.00	167,000.00	0.00	5,000.00	97.09
		TOTAL OPERATING EXPENSES	178,600.00	0.00	0.00	168,999.00	0.00	9,601.00	94.62
CAPITAL OUTLAY									
		TOTAL FIRE	341,795.00	0.00	0.00	267,855.69	0.00	73,939.31	78.37

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

10 -GENERAL FUND
 MAINTENANCE
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
10-505-1001		SALARIES	72,613.00	0.00	0.00	35,940.42	0.00	36,672.58	49.50
10-505-1003		FICA/MEDICARE	11,416.00	0.00	0.00	2,696.36	0.00	8,719.64	23.62
10-505-1004		PERA/ICMA	7,479.00	0.00	0.00	3,687.70	0.00	3,791.30	49.31
10-505-1005		HEALTH & LIFE INSURANCE	3,195.00	0.00	0.00	1,597.92	0.00	1,597.08	50.01
10-505-1006		WORKERS' COMPENSATION	2,576.00	0.00	0.00	383.79	0.00	2,192.21	14.90
10-505-1007		UNEMPLOYMENT INSURANCE	1,494.00	0.00	0.00	0.00	0.00	1,494.00	0.00
10-505-1008		OVERTIME ALLOTMENT	2,000.00	0.00	0.00	418.90	0.00	1,581.10	20.95
		TOTAL PERSONNEL EXPENSES	100,773.00	0.00	0.00	44,725.09	0.00	56,047.91	44.38
OPERATING EXPENSES									
10-505-2110		TRAVEL/CONF/PER DIEM	3,500.00	0.00	0.00	59.90	0.00	3,440.10	1.71
10-505-2205		BUILDING MAINTENANCE	26,800.00	1,039.33	0.00	22,164.57	0.00	4,635.43	82.70
10-505-2230		MAINT/GROUNDS/ROADS	20,449.00	101.19	0.00	12,671.67	0.00	7,777.33	61.97
10-505-2300		INSURANCE CLAIMS	1,000.00	0.00	0.00	0.00	0.00	1,000.00	0.00
10-505-2303		AGREEMENTS/CONTRACTS	2,070.00	0.00	0.00	536.02	0.00	1,533.98	25.89
10-505-2321		VECTOR CONTROL	19,700.00	0.00	0.00	12,258.46	0.00	7,441.54	62.23
10-505-2413		EQUIPMENT/SUPPLIES	5,000.00	0.00	0.00	0.00	0.00	5,000.00	0.00
10-505-2545		EBID TAXES	1,117.00	0.00	0.00	0.00	0.00	1,117.00	0.00
10-505-2597		OTHER EXPENSES	3,042.00	0.00	0.00	0.00	0.00	3,042.00	0.00
		TOTAL OPERATING EXPENSES	82,678.00	1,140.52	0.00	47,690.62	0.00	34,987.38	57.68
CAPITAL OUTLAY									
10-505-3050		CAPITAL PURCHASES	15,000.00	0.00	0.00	0.00	0.00	15,000.00	0.00
		TOTAL CAPITAL OUTLAY	15,000.00	0.00	0.00	0.00	0.00	15,000.00	0.00
TOTAL MAINTENANCE			198,451.00	1,140.52	0.00	92,415.71	0.00	106,035.29	46.57

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

10 -GENERAL FUND
 EXECUTIVE/LEGISLATIVE
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	10-506-1001	SALARIES	62,000.00	0.00	0.00	30,999.28	0.00	31,000.72	50.00
	10-506-1003	FICA/MEDICARE	9,486.00	0.00	0.00	2,371.59	0.00	7,114.41	25.00
	10-506-1004	PERA/ICMA	1,568.00	0.00	0.00	820.86	0.00	747.14	52.35
	10-506-1006	WORKER'S COMPENSATION	335.00	0.00	0.00	317.75	0.00	17.25	94.85
	10-506-1007	UNEMPLOYMENT INSURANCE	440.00	0.00	0.00	0.00	0.00	440.00	0.00
		TOTAL PERSONNEL EXPENSES	73,829.00	0.00	0.00	34,509.48	0.00	39,319.52	46.74
OPERATING EXPENSES									
	10-506-2110	TRAVEL/CONF/TRAINING	16,000.00	0.00	0.00	8,603.93	0.00	7,396.07	53.77
	10-506-2310	LEGAL FEES - GM	37,065.00	0.00	0.00	3,147.30	0.00	33,917.70	8.49
	10-506-2311	LEGAL FEES - COURT	67,550.00	0.00	0.00	51,636.68	0.00	15,913.32	76.44
	10-506-2315	PROFESSIONAL SERVICES	3,104.00	0.00	0.00	0.00	0.00	3,104.00	0.00
	10-506-2405	OFFICE SUPPLIES	500.00	0.00	0.00	232.75	0.00	267.25	46.55
	10-506-2530	INSURANCE	2,500.00	0.00	0.00	1,618.12	0.00	881.88	64.72
	10-506-2540	PRINT/PUBLISH/ADVERTISE	15,000.00	0.00	0.00	0.00	0.00	15,000.00	0.00
	10-506-2570	DUES & SUBSCRIPTIONS	4,000.00	2,475.00	0.00	2,669.38	0.00	1,330.62	66.73
	10-506-2575	TELEPHONE	1,600.00	93.31	0.00	688.17	0.00	911.83	43.01
	10-506-2597	OTHER EXPENSES	8,666.00	126.00	0.00	1,601.11	0.00	7,064.89	18.48
		TOTAL OPERATING EXPENSES	155,985.00	2,694.31	0.00	70,197.44	0.00	85,787.56	45.00
CAPITAL OUTLAY									
		TOTAL EXECUTIVE/LEGISLATIVE	229,814.00	2,694.31	0.00	104,706.92	0.00	125,107.08	45.56

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

10 -GENERAL FUND
 COMMUNITY PROGRAMS
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
10-507-1001		SALARIES	37,482.00	0.00	0.00	18,713.41	0.00	18,768.59	49.93
10-507-1003		FICA/MEDICARE	5,735.00	0.00	0.00	1,259.22	0.00	4,475.78	21.96
10-507-1004		PERA/ICMA	3,862.00	0.00	0.00	1,920.35	0.00	1,941.65	49.72
10-507-1005		HEALTH & LIFE INSURANCE	16,373.00	0.00	0.00	8,186.40	0.00	8,186.60	50.00
10-507-1006		WORKER'S COMPENSATION	237.00	0.00	0.00	576.88	0.00	(339.88)	243.41
10-507-1007		UNEMPLOYMENT INSURANCE	997.00	0.00	0.00	0.00	0.00	997.00	0.00
		TOTAL PERSONNEL EXPENSES	64,686.00	0.00	0.00	30,656.26	0.00	34,029.74	47.39
OPERATING EXPENSES									
10-507-2110		TRAVEL/CONF/TRAINING	1,000.00	0.00	0.00	0.00	0.00	1,000.00	0.00
10-507-2405		OFFICE SUPPLIES	2,250.00	0.00	0.00	1,167.79	0.00	1,082.21	51.90
10-507-2411		COMMUNITY PROGRAMS	14,300.00	704.03	0.00	16,240.97	0.00	(1,940.97)	113.57
10-507-2516		COMM/PLAZA REFUNDS	2,000.00	0.00	0.00	600.00	0.00	1,400.00	30.00
10-507-2535		POSTAGE	890.00	0.00	0.00	0.00	0.00	890.00	0.00
10-507-2540		PRINT/PUBLISH/ADVERTISE	15,764.00	86.55	0.00	904.52	0.00	14,859.48	5.74
10-507-2570		DUES & SUBSCRIPTIONS	2,500.00	0.00	0.00	1,315.35	0.00	1,184.65	52.61
10-507-2575		TELEPHONE	1,604.00	0.00	0.00	0.00	0.00	1,604.00	0.00
10-507-2597		CLEAN & BEAUTIFUL GRANT	14,400.00	0.00	0.00	4,547.67	0.00	9,852.33	31.58
		TOTAL OPERATING EXPENSES	54,708.00	790.58	0.00	24,776.30	0.00	29,931.70	45.29
CAPITAL OUTLAY									
		TOTAL COMMUNITY PROGRAMS	119,394.00	790.58	0.00	55,432.56	0.00	63,961.44	46.43

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

10 -GENERAL FUND
 COMM CNTR/PLAZA
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
OPERATING EXPENSES									
	10-508-2205	BUILDING MAINTENANCE	26,642.00	0.00	0.00	6,184.47	0.00	20,457.53	23.21
	10-508-2210	BUILDING R&M	19,000.00	0.00	0.00	303.00	0.00	18,697.00	1.59
	10-508-2252	ELECTRICAL R & M	5,500.00	0.00	0.00	0.00	0.00	5,500.00	0.00
	10-508-2410	R & M SUPPLIES	1,300.00	0.00	0.00	18.45	0.00	1,281.55	1.42
	10-508-2580	UTILITIES	20,000.00	505.77	0.00	5,193.45	0.00	14,806.55	25.97
		TOTAL OPERATING EXPENSES	72,442.00	505.77	0.00	11,699.37	0.00	60,742.63	16.15
CAPITAL OUTLAY									
		TOTAL COMM CNTR/PLAZA	72,442.00	505.77	0.00	11,699.37	0.00	60,742.63	16.15

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

10 -GENERAL FUND
 COMMUNITY DEVELOPMENT
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
10-509-1001		SALARIES	44,683.00	0.00	0.00	15,439.25	0.00	29,243.75	34.55
10-509-1003		FICA/MEDICARE	6,837.00	0.00	0.00	1,010.28	0.00	5,826.72	14.78
10-509-1004		PERA/ICMA	4,602.00	0.00	0.00	1,565.62	0.00	3,036.38	34.02
10-509-1005		HEALTH & LIFE INSURANCE	13,945.00	0.00	0.00	6,558.84	0.00	7,386.16	47.03
10-509-1006		WORKER'S COMPENSATION	496.00	0.00	0.00	2.30	0.00	493.70	0.46
10-509-1007		UNEMPLOYMENT INSURANCE	998.00	0.00	0.00	0.00	0.00	998.00	0.00
		TOTAL PERSONNEL EXPENSES	71,561.00	0.00	0.00	24,576.29	0.00	46,984.71	34.34
OPERATING EXPENSES									
CAPITAL OUTLAY									
TOTAL COMMUNITY DEVELOPMENT			71,561.00	0.00	0.00	24,576.29	0.00	46,984.71	34.34
TOTAL EXPENDITURES			2,164,233.00	16,008.39	0.00	1,060,652.66	3,582.20	1,099,998.14	49.17
EXCESS REVENUES/EXPENDITURES			(96,659.00)	(14,740.51)	0.00	22,545.05	(3,582.20)	(115,621.85)	19.62-
TRANSFERS IN									
TRANSFERS OUT									
10-500-4444		TRANSFER OUT	73,067.00	0.00	0.00	0.00	0.00	73,067.00	0.00
		TOTAL TRANSFERS OUT	73,067.00	0.00	0.00	0.00	0.00	73,067.00	0.00
NET TRANSFERS			(73,067.00)	0.00	0.00	0.00	0.00	(73,067.00)	0.00
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT			(169,726.00)	(14,740.51)	0.00	22,545.05	(3,582.20)	(188,688.85)	11.17-

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

12 -FIRE PROTECTION FUND
 FIRE DEPARTMENT
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	12-504-1001	STIPENDS	21,176.00	0.00	0.00	367.00	0.00	20,809.00	1.73
	12-504-1002	STIPENDS - DONATION	5,000.00	0.00	0.00	1,400.00	0.00	3,600.00	28.00
	12-504-1003	FICA/MEDICARE	4,235.00	0.00	0.00	135.17	0.00	4,099.83	3.19
		TOTAL PERSONNEL EXPENSES	30,411.00	0.00	0.00	1,902.17	0.00	28,508.83	6.25
OPERATING EXPENSES									
	12-504-2110	TRAVEL/CONF/TRAINING	3,564.00	0.00	0.00	4,010.54	0.00 (	446.54)	112.53
	12-504-2205	BUILDING R & M	35,000.00	0.00	0.00	1,105.14	0.00	33,894.86	3.16
	12-504-2240	VEHICLE R & M	36,043.43	4,487.21	0.00	7,726.61 (	701.40)	29,018.22	19.49
	12-504-2241	EQUIPMENT R & M	20,000.00	1,790.22	0.00	14,056.12	0.00	5,943.88	70.28
	12-504-2320	AGREEMENTS/CONTRACTS	5,000.00	175.08	0.00	2,304.75	0.00	2,695.25	46.10
	12-504-2405	OFFICE SUPPLIES	2,000.00	0.00	0.00	137.97	0.00	1,862.03	6.90
	12-504-2407	MAINTENANCE SUPPLIES	5,000.00	0.00	0.00	1,686.34	0.00	3,313.66	33.73
	12-504-2410	EQUIPMENT PURCHASES	3,200.00	74.70	0.00	11,814.87	0.00 (	8,614.87)	369.21
	12-504-2412	DEMO SUPPLIES	3,000.00	0.00	0.00	1,128.17	0.00	1,871.83	37.61
	12-504-2420	UNIFORM ALLOWANCE	5,000.00	388.72	0.00	9,251.34	0.00 (	4,251.34)	185.03
	12-504-2530	INSURANCE	6,000.00	0.00	0.00	0.00	0.00	6,000.00	0.00
	12-504-2540	PRINT/PUBLISH/ADVERTISE	200.00	0.00	0.00	1,119.04	0.00 (	919.04)	559.52
	12-504-2570	DUES/SUBSCRIPTIONS	1,000.00	0.00	0.00	2,465.52	0.00 (	1,465.52)	246.55
	12-504-2575	TELEPHONE/PAGERS	10,000.00	327.58	0.00	5,181.07	0.00	4,818.93	51.81
	12-504-2580	UTILITIES	20,000.00	734.09	0.00	12,755.49	0.00	7,244.51	63.78
	12-504-2585	FUEL	20,000.00	0.00	0.00	5,054.62	0.00	14,945.38	25.27
	12-504-2598	MISCELLANEOUS	4,971.00	0.00	0.00	427.38	0.00	4,543.62	8.60
		TOTAL OPERATING EXPENSES	179,978.43	7,977.60	0.00	80,224.97 (	701.40)	100,454.86	44.19
CAPITAL OUTLAY									
	12-504-3050	CAPITAL PURCHASES	363,958.00	0.00	0.00	45,647.00	21,341.75	296,969.25	18.41
	12-504-3051	RESCUE REPLACEMENT	28,586.00	0.00	0.00	0.00	0.00	28,586.00	0.00
		TOTAL CAPITAL OUTLAY	392,544.00	0.00	0.00	45,647.00	21,341.75	325,555.25	17.07
TOTAL FIRE DEPARTMENT									
			602,933.43	7,977.60	0.00	127,774.14	20,640.35	454,518.94	24.62
TOTAL EXPENDITURES									
			602,933.43	7,977.60	0.00	127,774.14	20,640.35	454,518.94	24.62
EXCESS REVENUES/EXPENDITURES									
			(43,398.43)	(7,977.60)	0.00	(14,695.14)	(20,640.35)	(8,062.94)	81.42

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

13 -RECREATION FUND

RECREATION

DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
	13-513-1001	SALARIES	5,673.00	0.00	0.00	1,650.50	0.00	4,022.50	29.09
	13-513-1003	FICA/MEDICARE	870.00	0.00	0.00	126.28	0.00	743.72	14.51
	TOTAL PERSONNEL EXPENSES		6,543.00	0.00	0.00	1,776.78	0.00	4,766.22	27.16
OPERATING EXPENSES									
	13-513-2598	SUPPLIES	7,500.00	0.00	0.00	2,929.63	0.00	4,570.37	39.06
	TOTAL OPERATING EXPENSES		7,500.00	0.00	0.00	2,929.63	0.00	4,570.37	39.06
TOTAL RECREATION			14,043.00	0.00	0.00	4,706.41	0.00	9,336.59	33.51
TOTAL EXPENDITURES			14,043.00	0.00	0.00	4,706.41	0.00	9,336.59	33.51
EXCESS REVENUES/EXPENDITURES			(8,293.00)	0.00	0.00	(4,706.41)	0.00	(3,586.59)	56.75
TRANSFERS IN									
TRANSFERS OUT									
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT			(8,293.00)	0.00	0.00	(4,706.41)	0.00	(3,586.59)	56.75

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

14 -EMS FUND									
EMS									
DEPARTMENTAL EXPENDITURES									
FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
OPERATING EXPENSES									
14-514-2110		TRAVEL/CONF/TRAINING	4,999.00	0.00	0.00	0.00	0.00	4,999.00	0.00
14-514-2241		EQUIPMENT R & M	1,400.00	0.00	0.00	0.00	0.00	1,400.00	0.00
14-514-2320		AGREEMENTS/CONTRACTS	1,142.00	0.00	0.00	1,790.33	0.00 (	648.33)	156.77
14-514-2410		EQUIPMENT/SUPPLIES	2,100.00	1,825.62	0.00	5,834.26	0.00 (	3,734.26)	277.82
14-514-2545		LOCAL SYSTEM IMP GRANT	12,569.00	0.00	0.00	0.00	0.00	12,569.00	0.00
		TOTAL OPERATING EXPENSES	22,210.00	1,825.62	0.00	7,624.59	0.00	14,585.41	34.33
CAPITAL OUTLAY									
TOTAL EMS			22,210.00	1,825.62	0.00	7,624.59	0.00	14,585.41	34.33
TOTAL EXPENDITURES			22,210.00	1,825.62	0.00	7,624.59	0.00	14,585.41	34.33
EXCESS REVENUES/EXPENDITURES			(12,569.00)	(1,825.62)	0.00	2,016.41	0.00 (	14,585.41)	16.04-
TRANSFERS IN									
TRANSFERS OUT									
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT			(12,569.00)	(1,825.62)	0.00	2,016.41	0.00 (	14,585.41)	16.04-

TOWN OF MESILLA
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: JANUARY 31ST, 2023

15 -AMERICAN RECOVERY FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
CHARGES FOR SERVICES									
	15-44083	ARFA DEPOSITS	226,961.00	0.00	0.00	226,960.50	0.00	0.50	100.00
		TOTAL CHARGES FOR SERVICES	226,961.00	0.00	0.00	226,960.50	0.00	0.50	100.00
MISCELLANEOUS REVENUES									
		TOTAL REVENUES	226,961.00	0.00	0.00	226,960.50	0.00	0.50	100.00

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
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16 -CORRECTIONS FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
FINES & FORFEITS									
16-45010		CORRECTION FEES	53,000.00	40.00	0.00	4,782.98	0.00	48,217.02	9.02
16-45040		DWI PREVENTION FEES	340.00	0.00	0.00	0.00	0.00	340.00	0.00
16-45042		JUDICIAL EDUCATION FEES	7,945.00	6.00	0.00	717.13	0.00	7,227.87	9.03
16-45043		LABORATORY FEES	386.00	0.00	0.00	0.00	0.00	386.00	0.00
16-45044		COURT AUTOMATION FEES	15,906.00	12.00	0.00	1,434.89	0.00	14,471.11	9.02
		TOTAL FINES & FORFEITS	77,577.00	58.00	0.00	6,935.00	0.00	70,642.00	8.94
MISCELLANEOUS REVENUES									
16-46030		INTEREST	200.00	0.00	0.00	441.95	0.00	(241.95)	220.98
		TOTAL MISCELLANEOUS REVENUES	200.00	0.00	0.00	441.95	0.00	(241.95)	220.98
TOTAL REVENUES			77,777.00	58.00	0.00	7,376.95	0.00	70,400.05	9.48

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

16 -CORRECTIONS FUND
 CORRECTIONS
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
OPERATING EXPENSES									
	16-516-2510	PRISONER CARE	37,777.00	0.00	0.00	24,017.90	0.00	13,759.10	63.58
	16-516-2515	AUTO/LAB/DWI/JUD ED	15,000.00	353.48	0.00	2,328.04	0.00	12,671.96	15.52
	16-516-2520	TRANSPORT FEES - COURT	2,025.00	0.00	0.00	0.00	0.00	2,025.00	0.00
	16-516-2598	MISCELLANEOUS	22,975.00	0.00	0.00 (	0.88)	0.00	22,975.88	0.00
		TOTAL OPERATING EXPENSES	77,777.00	353.48	0.00	26,345.06	0.00	51,431.94	33.87
CAPITAL OUTLAY									
TOTAL CORRECTIONS									
			77,777.00	353.48	0.00	26,345.06	0.00	51,431.94	33.87
TOTAL EXPENDITURES									
			77,777.00	353.48	0.00	26,345.06	0.00	51,431.94	33.87
EXCESS REVENUES/EXPENDITURES									
			0.00 (	295.48)	0.00 (	18,968.11)	0.00	18,968.11	0.00
TRANSFERS IN									
TRANSFERS OUT									
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT									
			0.00 (	295.48)	0.00 (	18,968.11)	0.00	18,968.11	0.00

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

18 -LAW ENFORCEMENT FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
TAXES - STATE									
	18-42520	TRANSPORT FEES - COURT	1,000.00	0.00	0.00	0.00	0.00	1,000.00	0.00
		TOTAL TAXES - STATE	1,000.00	0.00	0.00	0.00	0.00	1,000.00	0.00
MISCELLANEOUS REVENUES									
INTER-GOV/GRANTS									
	18-47045	STATE ALLOTMENT	52,000.00	0.00	0.00	32,377.00	0.00	19,623.00	62.26
		TOTAL INTER-GOV/GRANTS	52,000.00	0.00	0.00	32,377.00	0.00	19,623.00	62.26
		TOTAL REVENUES	53,000.00	0.00	0.00	32,377.00	0.00	20,623.00	61.09

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

18 -LAW ENFORCEMENT FUND
 LAW ENFORCEMENT
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
OPERATING EXPENSES									
	18-518-2240	VEHICLE R&M	10,000.00	0.00	0.00	1,311.00	0.00	8,689.00	13.11
	18-518-2241	EQUIPMENT R & M	0.00	10,070.00	0.00	10,684.18	4,960.00	(15,644.18)	0.00
	18-518-2410	EQUIPMENT PURCHASES	18,377.00	0.00	0.00	0.00	0.00	18,377.00	0.00
	18-518-2520	EMPLOYEE TRAINING	5,000.00	0.00	0.00	350.00	0.00	4,650.00	7.00
		TOTAL OPERATING EXPENSES	33,377.00	10,070.00	0.00	12,345.18	4,960.00	16,071.82	51.85
CAPITAL OUTLAY									
	18-518-3052	NMFA DEBT	19,623.00	0.00	0.00	0.00	0.00	19,623.00	0.00
		TOTAL CAPITAL OUTLAY	19,623.00	0.00	0.00	0.00	0.00	19,623.00	0.00
TOTAL LAW ENFORCEMENT			53,000.00	10,070.00	0.00	12,345.18	4,960.00	35,694.82	32.65
TOTAL EXPENDITURES			53,000.00	10,070.00	0.00	12,345.18	4,960.00	35,694.82	32.65
EXCESS REVENUES/EXPENDITURES			0.00	(10,070.00)	0.00	20,031.82	(4,960.00)	(15,071.82)	0.00
TRANSFERS IN									
TRANSFERS OUT									
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT			0.00	(10,070.00)	0.00	20,031.82	(4,960.00)	(15,071.82)	0.00

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

20 -COURT AUTOMATION FUND
 COURT AUTOMATION
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
CAPITAL OUTLAY									
	20-520-3050	CAPITAL PURCHASES	6,000.00	0.00	0.00	755.59	0.00	5,244.41	12.59
		TOTAL CAPITAL OUTLAY	6,000.00	0.00	0.00	755.59	0.00	5,244.41	12.59

		TOTAL COURT AUTOMATION	6,000.00	0.00	0.00	755.59	0.00	5,244.41	12.59
		TOTAL EXPENDITURES	6,000.00	0.00	0.00	755.59	0.00	5,244.41	12.59
=====									
		EXCESS REVENUES/EXPENDITURES	0.00	0.00	0.00	(755.59)	0.00	755.59	0.00
=====									
		TRANSFERS IN							
		TRANSFERS OUT							
		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	0.00	0.00	0.00	(755.59)	0.00	755.59	0.00
=====									

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

21 -TOWN HALL PROJECT
 TOWN HALL PROJECT
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
OPERATING EXPENSES									
EXCESS REVENUES/EXPENDITURES			40,200.00	0.00	0.00	758.50	0.00	39,441.50	1.89
TRANSFERS IN									
21-48888 TRANSFER IN			40,000.00	0.00	0.00	0.00	0.00	40,000.00	0.00
TOTAL TRANSFERS IN			40,000.00	0.00	0.00	0.00	0.00	40,000.00	0.00
TRANSFERS OUT									
NET TRANSFERS			40,000.00	0.00	0.00	0.00	0.00	40,000.00	0.00
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT									
			80,200.00	0.00	0.00	758.50	0.00	79,441.50	0.95

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
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23 -WATER SERVICES FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
CHARGES FOR SERVICES									
	23-44080	WATER SERVICES	400,000.00	0.00	0.00	199,313.05	0.00	200,686.95	49.83
	23-44081	WATER CONNECTIONS FEES	8,500.00	0.00	0.00	0.00	0.00	8,500.00	0.00
	23-44082	WATER SERVICES PENALTY	2,700.00	0.00	0.00	0.00	0.00	2,700.00	0.00
		TOTAL CHARGES FOR SERVICES	411,200.00	0.00	0.00	199,313.05	0.00	211,886.95	48.47
MISCELLANEOUS REVENUES									
	23-46030	INTEREST	209.00	0.00	0.00	201.34	0.00	7.66	96.33
	23-46090	MISCELLANEOUS INCOME	2,376.00	0.00	0.00	105.37	0.00	2,270.63	4.43
	23-46100	UNAPPLIED CREDITS	2,000.00	510.04	0.00	4,310.62	0.00 (	2,310.62)	215.53
		TOTAL MISCELLANEOUS REVENUES	4,585.00	510.04	0.00	4,617.33	0.00 (	32.33)	100.71
INTER-GOV/GRANTS									
	23-47030	EXCAVATION/BORING PERMIT	2,500.00	0.00	0.00	0.00	0.00	2,500.00	0.00
		TOTAL INTER-GOV/GRANTS	2,500.00	0.00	0.00	0.00	0.00	2,500.00	0.00
		TOTAL REVENUES	418,285.00	510.04	0.00	203,930.38	0.00	214,354.62	48.75

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

23 -WATER SERVICES FUND
 WATER OPERATIONS
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
23-510-1001		SALARIES	105,293.00	0.00	0.00	41,595.43	1,741.24	61,956.33	41.16
23-510-1003		FICA/MEDICARE	16,493.00	0.00	0.00	3,092.02	0.00	13,400.98	18.75
23-510-1004		PERA/ICMA	10,845.00	0.00	0.00	4,204.36	0.00	6,640.64	38.77
23-510-1005		HEALTH & LIFE INSURANCE	8,477.00	0.00	0.00	4,249.57	0.00	4,227.43	50.13
23-510-1006		WORKERS' COMPENSATION	3,750.00	0.00	0.00	2,875.05	0.00	874.95	76.67
23-510-1007		UNEMPLOYMENT INSURANCE	3,486.00	0.00	0.00	0.00	0.00	3,486.00	0.00
23-510-1008		OVERTIME ALLOTMENT	2,500.00	0.00	0.00	2,324.45	0.00	175.55	92.98
		TOTAL PERSONNEL EXPENSES	150,844.00	0.00	0.00	58,340.88	1,741.24	90,761.88	39.83
OPERATING EXPENSES									
23-510-2240		VEHICLE R & M	4,589.00	0.00	0.00	1,664.87	0.00	2,924.13	36.28
23-510-2241		EQUIPMENT R & M	9,800.00	0.00	0.00	1,986.78	2,805.00	5,008.22	48.90
23-510-2253		WATER LINE R & M	11,050.00	0.00	0.00	2,524.67	2,950.00	5,575.33	49.54
23-510-2320		AGREEMENTS/CONTRACTS	24,300.00	297.93	0.00	7,567.96	0.00	16,732.04	31.14
23-510-2405		OFFICE SUPPLIES	3,190.00	0.00	0.00	422.46	499.44	2,268.10	28.90
23-510-2410		EQUIPMENT/SUPPLIES	9,500.00	0.00	0.00	5,886.53	0.00	3,613.47	61.96
23-510-2415		SAFETY EQUIPMENT	1,800.00	0.00	0.00	341.86	0.00	1,458.14	18.99
23-510-2420		UNIFORM ALLOWANCE	1,500.00	0.00	0.00	1,509.61	0.00 (	9.61)	100.64
23-510-2430		CHEMICALS	3,275.00	0.00	0.00	3,242.79	0.00	32.21	99.02
23-510-2530		INSURANCE	24,700.00	0.00	0.00	0.00	0.00	24,700.00	0.00
23-510-2535		POSTAGE	3,100.00	520.99	0.00	2,267.76	0.00	832.24	73.15
23-510-2540		PRINT/PUBLISH/ADVERTISE	2,300.00	0.00	0.00	1,113.67	0.00	1,186.33	48.42
23-510-2546		CONSERVATION FEES TO NM	3,200.00	0.00	0.00	2,034.45	0.00	1,165.55	63.58
23-510-2560		EQUIPMENT RENTAL	500.00	532.00	0.00	532.00	0.00 (	32.00)	106.40
23-510-2570		DUES/SUBSCRIPTIONS	1,400.00	113.81	0.00	1,245.81	0.00	154.19	88.99
23-510-2575		TELEPHONE	6,100.00	620.63	0.00	5,254.39	0.00	845.61	86.14
23-510-2580		UTILITIES	24,500.00	1,215.02	0.00	22,197.50	0.00	2,302.50	90.60
23-510-2581		METER REPLACEMENT PROGRAM	4,400.00	0.00	0.00	1,090.00	0.00	3,310.00	24.77
23-510-2585		FUEL	4,000.00	0.00	0.00	4,497.37	0.00 (	497.37)	112.43
23-510-2598		MISCELLANEOUS	1,500.00	0.00	0.00	1,035.34	0.00	464.66	69.02
		TOTAL OPERATING EXPENSES	144,704.00	3,300.38	0.00	66,415.82	6,254.44	72,033.74	50.22
CAPITAL OUTLAY									
23-510-3050		CAPITAL OUTLAY	45,175.00	0.00	0.00	29,781.22	0.00	15,393.78	65.92
		TOTAL CAPITAL OUTLAY	45,175.00	0.00	0.00	29,781.22	0.00	15,393.78	65.92
		TOTAL WATER OPERATIONS	340,723.00	3,300.38	0.00	154,537.92	7,995.68	178,189.40	47.70
		TOTAL EXPENDITURES	340,723.00	3,300.38	0.00	154,537.92	7,995.68	178,189.40	47.70
		EXCESS REVENUES/EXPENDITURES	77,562.00 (2,790.34)	0.00	49,392.46 (7,995.68)	36,165.22	53.37

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
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24 -WASTEWATER SERVICES FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
CHARGES FOR SERVICES									
24-44080		WASTEWATER SERVICES	210,000.00	0.00	0.00	108,007.01	0.00	101,992.99	51.43
24-44081		WASTEWATER CONNECTIONS FEES	18,200.00	0.00	0.00	0.00	0.00	18,200.00	0.00
24-44082		SEWER SERVICES PENALTY	2,020.00	0.00	0.00	0.00	0.00	2,020.00	0.00
		TOTAL CHARGES FOR SERVICES	230,220.00	0.00	0.00	108,007.01	0.00	122,212.99	46.91
MISCELLANEOUS REVENUES									
24-46030		INTEREST	300.00	0.00	0.00	0.00	0.00	300.00	0.00
24-46090		MISCELLANEOUS INCOME	8,700.00	0.00	0.00	0.00	0.00	8,700.00	0.00
		TOTAL MISCELLANEOUS REVENUES	9,000.00	0.00	0.00	0.00	0.00	9,000.00	0.00
		TOTAL REVENUES	239,220.00	0.00	0.00	108,007.01	0.00	131,212.99	45.15

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
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26 -LODGER'S TAX FUND
 LODGER'S TAX
 DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
OPERATING EXPENSES									
	26-526-2411	COMMUNITY PROGRAMS	1,000.00	0.00	0.00	2,169.17	0.00	(1,169.17)	216.92
	26-526-2525	TOURISM MATCHING	5,709.00	0.00	0.00	5,709.00	0.00	0.00	100.00
	26-526-2526	TOURISM PROMOTION	15,000.00	383.16	0.00	7,955.55	0.00	7,044.45	53.04
		TOTAL OPERATING EXPENSES	21,709.00	383.16	0.00	15,833.72	0.00	5,875.28	72.94
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		TOTAL LODGER'S TAX	21,709.00	383.16	0.00	15,833.72	0.00	5,875.28	72.94
		TOTAL EXPENDITURES	21,709.00	383.16	0.00	15,833.72	0.00	5,875.28	72.94
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		EXCESS REVENUES/EXPENDITURES	(1,709.00)	1,350.49	0.00	(2,217.92)	0.00	508.92	129.78
<hr/>									
		TRANSFERS IN							
<hr/>									
		TRANSFERS OUT							
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		REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT	(1,709.00)	1,350.49	0.00	(2,217.92)	0.00	508.92	129.78

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
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27 -ROAD FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
TAXES - STATE									
	27-42030	GASOLINE TAX/MUNI ROAD	5,450.00	0.00	0.00	2,502.00	0.00	2,948.00	45.91
	27-42040	GASOLINE TAX/COUNTY ROAD	50.00	0.00	0.00	33.35	0.00	16.65	66.70
		TOTAL TAXES - STATE	5,500.00	0.00	0.00	2,535.35	0.00	2,964.65	46.10
MISCELLANEOUS REVENUES									
INTER-GOV/GRANTS									
		TOTAL REVENUES	5,500.00	0.00	0.00	2,535.35	0.00	2,964.65	46.10

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 REVENUE & EXPENSE REPORT (UNAUDITED)
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DEPARTMENTAL EXPENDITURES			CURRENT	CURRENT	PRIOR YEAR	Y-T-D	Y-T-D	BUDGET	% OF
FUND	ACCOUNT #	ACCOUNT NAME	BUDGET	PERIOD	PO ADJUST.	ACTUAL	ENCUMBRANCE	BALANCE	BUDGET
OPERATING EXPENSES									
	27-527-2231	STREET R&M	5,500.00	0.00	0.00	3,957.92	0.00	1,542.08	71.96
	27-527-2232	STREET SIGNS	2,000.00	0.00	0.00	542.55	0.00	1,457.45	27.13
	27-527-2540	PLAZA SIDEWALK IMPS	0.00	0.00	0.00	0.00	21,410.30 (	21,410.30)	0.00
	27-527-2542	SAP CALLE PICACHO DRAIN	0.00	0.00	0.00	0.00	31,698.94 (	31,698.94)	0.00
	27-527-2543	CALLE PICACHO TPF NMDOT	0.00	0.00	0.00	0.00	50,857.00 (	50,857.00)	0.00
	27-527-2544	MESILLA STREET LGT IMPS	0.00	0.00	0.00	0.00	116,747.18 (	116,747.18)	0.00
		TOTAL OPERATING EXPENSES	7,500.00	0.00	0.00	4,500.47	220,713.42 (	217,713.89)	2.85
CAPITAL OUTLAY									
	27-527-3010	MISCELLANEOUS	20,000.00	0.00	0.00	5,619.25	0.00	14,380.75	28.10
		TOTAL CAPITAL OUTLAY	20,000.00	0.00	0.00	5,619.25	0.00	14,380.75	28.10
TOTAL ROAD FUND			27,500.00	0.00	0.00	10,119.72	220,713.42 (	203,333.14)	839.39
TOTAL EXPENDITURES			27,500.00	0.00	0.00	10,119.72	220,713.42 (	203,333.14)	839.39
EXCESS REVENUES/EXPENDITURES			(22,000.00)	0.00	0.00	(7,584.37)	(220,713.42)	206,297.79	37.72
TRANSFERS IN									
TRANSFERS OUT									
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT			(22,000.00)	0.00	0.00	(7,584.37)	(220,713.42)	206,297.79	37.72

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

28 -SOLID WASTE FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
TAXES - LOCAL									
	28-41020	ENVIRONMENTAL GRT	24,117.00	0.00	0.00	64.05	0.00	24,052.95	0.27
		TOTAL TAXES - LOCAL	24,117.00	0.00	0.00	64.05	0.00	24,052.95	0.27
CHARGES FOR SERVICES									
	28-44080	SOLID WASTE SERVICES	268,000.00	0.00	0.00	131,197.70	0.00	136,802.30	48.95
	28-44082	SOLID WASTE SERVICES PENALTY	3,400.00	0.00	0.00	0.00	0.00	3,400.00	0.00
		TOTAL CHARGES FOR SERVICES	271,400.00	0.00	0.00	131,197.70	0.00	140,202.30	48.34
MISCELLANEOUS REVENUES									
	28-46030	INTEREST	100.00	0.00	0.00	339.64	0.00	(239.64)	339.64
	28-46090	MISCELLANEOUS	3,000.00	0.00	0.00	0.00	0.00	3,000.00	0.00
		TOTAL MISCELLANEOUS REVENUES	3,100.00	0.00	0.00	339.64	0.00	2,760.36	10.96
		TOTAL REVENUES	298,617.00	0.00	0.00	131,601.39	0.00	167,015.61	44.07

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

28 -SOLID WASTE FUND

OPERATING EXPENSES

DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
PERSONNEL EXPENSES									
28-510-1001		SALARIES	55,120.00	0.00	0.00	20,477.60	0.00	34,642.40	37.15
28-510-1003		FICA/MEDICARE	8,892.00	0.00	0.00	1,600.39	0.00	7,291.61	18.00
28-510-1004		PERA/ICMA	5,678.00	0.00	0.00	2,099.32	0.00	3,578.68	36.97
28-510-1005		HEALTH & LIFE INSURANCE	5,535.00	0.00	0.00	2,782.79	0.00	2,752.21	50.28
28-510-1006		WORKERS' COMPENSATION	2,200.00	0.00	0.00	1,151.40	0.00	1,048.60	52.34
28-510-1007		UNEMPLOYMENT INSURANCE	1,992.00	0.00	0.00	0.00	0.00	1,992.00	0.00
28-510-1008		OVERTIME ALLOTMENT	3,000.00	0.00	0.00	1,312.26	0.00	1,687.74	43.74
		TOTAL PERSONNEL EXPENSES	82,417.00	0.00	0.00	29,423.76	0.00	52,993.24	35.70
OPERATING EXPENSES									
28-510-2110		TRAVEL/CONF/TRAINING	1,500.00	0.00	0.00	1,336.31	0.00	163.69	89.09
28-510-2240		VEHCILE R&M	5,500.00	0.00	0.00	3,922.03	0.00	1,577.97	71.31
28-510-2241		EQUIPMENT R&M	10,791.00	0.00	0.00	4,423.91	2,075.00	4,292.09	60.23
28-510-2320		AGREEMENTS/CONTRACTS	190,000.00	0.00	0.00	94,783.88	0.00	95,216.12	49.89
28-510-2323		SPEC EVENTS TRASH SVC	800.00	0.00	0.00	0.00	0.00	800.00	0.00
28-510-2324		CLC LANDFILL	711.00	0.00	0.00	70.13	0.00	640.87	9.86
28-510-2405		MAINTENANCE SUPPLIES	2,000.00	0.00	0.00	9.98	0.00	1,990.02	0.50
28-510-2415		SAFETY EQUIPMENT	1,000.00	75.79	0.00	75.79	0.00	924.21	7.58
28-510-2420		UNIFORM ALLOWANCE	2,000.00	90.99	0.00	1,087.07	0.00	912.93	54.35
28-510-2425		CLEANING SUPPLIES	3,000.00	165.63	0.00	2,119.60	0.00	880.40	70.65
28-510-2430		CHEMICALS	1,000.00	0.00	0.00	32.98	0.00	967.02	3.30
28-510-2535		POSTAGE	500.00	0.00	0.00	0.00	0.00	500.00	0.00
28-510-2540		PRINT/PUBLISH/ADVERTISE	500.00	0.00	0.00	1,169.83	0.00	(669.83)	233.97
28-510-2575		TELEPHONE	1,000.00	37.78	0.00	226.66	0.00	773.34	22.67
28-510-2585		FUEL	5,000.00	0.00	0.00	1,048.82	0.00	3,951.18	20.98
28-510-2598		MISCELLANEOUS	0.00	0.00	0.00	15.25	0.00	(15.25)	0.00
		TOTAL OPERATING EXPENSES	225,302.00	370.19	0.00	110,322.24	2,075.00	112,904.76	49.89
CAPITAL OUTLAY									
TOTAL OPERATING EXPENSES									
			307,719.00	370.19	0.00	139,746.00	2,075.00	165,898.00	46.09
TOTAL EXPENDITURES									
			307,719.00	370.19	0.00	139,746.00	2,075.00	165,898.00	46.09
EXCESS REVENUES/EXPENDITURES									
			(9,102.00)	(370.19)	0.00	(8,144.61)	(2,075.00)	1,117.61	112.28

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

30 -EVENTS FUND

EVENTS FUND

DEPARTMENTAL EXPENDITURES

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
OPERATING EXPENSES									
	30-530-2530	FIESTA REFUNDS	500.00	0.00	0.00	0.00	0.00	500.00	0.00
	TOTAL OPERATING EXPENSES		500.00	0.00	0.00	0.00	0.00	500.00	0.00
CAPITAL OUTLAY									
	30-530-3062	VENDOR AGREE/CONTRACTS	10,000.00	0.00	0.00	4,725.00	0.00	5,275.00	47.25
	30-530-3082	MISCELLANEOUS	9,800.00	0.00	0.00	4,751.02	0.00	5,048.98	48.48
	TOTAL CAPITAL OUTLAY		19,800.00	0.00	0.00	9,476.02	0.00	10,323.98	47.86
TOTAL EVENTS FUND			20,300.00	0.00	0.00	9,476.02	0.00	10,823.98	46.68
TOTAL EXPENDITURES			20,300.00	0.00	0.00	9,476.02	0.00	10,823.98	46.68
EXCESS REVENUES/EXPENDITURES			0.00	0.00	0.00	(3,708.02)	0.00	3,708.02	0.00
TRANSFERS IN									
TRANSFERS OUT									
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT			0.00	0.00	0.00	(3,708.02)	0.00	3,708.02	0.00

TOWN OF MESILLA
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JANUARY 31ST, 2023

32 -PARKING FUND

REVENUE

FUND	ACCOUNT #	ACCOUNT NAME	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
MISCELLANEOUS REVENUES									
	32-46020	PARKING FEE DEPOSITS	7,200.00	0.00	0.00	300.00	0.00	6,900.00	4.17
		TOTAL MISCELLANEOUS REVENUES	7,200.00	0.00	0.00	300.00	0.00	6,900.00	4.17
TOTAL REVENUES			7,200.00	0.00	0.00	300.00	0.00	6,900.00	4.17
EXCESS REVENUES/EXPENDITURES			7,200.00	0.00	0.00	300.00	0.00	6,900.00	4.17
TRANSFERS OUT									
REVENUES & TRANSFERS IN OVER/ (UNDER) EXPENDITURES & TRANSFERS OUT			7,200.00	0.00	0.00	300.00	0.00	6,900.00	4.17



TOWN OF MESILLA

Public Works Department

P.O. Box 10, Mesilla, New Mexico 88046

Office: (575) 524-3262

Fax: (575) 541-6327

MEMORANDUM

Date: January 1, 2023

TO: Mayor Barraza and Board of Trustees

FROM: Rodney J. McGillivray, Public Works Director 

RE: **Public Works Department Activity Report – December 2022**

On-going maintenance, custodial and operations:

Monitoring of lift stations and review of reporting
New water services and water shut-offs (ownership change/nonpayment)
On-call/standby for emergency repairs or assistance
Monthly water sampling and reporting is up-to-date
Monitoring of water tank, wells, and pumps
Meter reading continues
Custodial responsibilities on-going
Utility location services
Trail Maintenance on-going
Grounds maintenance on-going
Valve exercise program continues
Vehicle maintenance on-going

Miscellaneous items/work orders/accomplishments:

Calle del Norte Trail maintenance
Set up/tear down for multiple Christmas activities
Pothole repairs Picacho and Oeste
Pothole locations on Picacho for grant projects
Cleaned and organized shop/serviced equipment
Painted inside of Public Restrooms
Replaced toilets, lighting, and hand dryers in Public Restrooms
Emergency leak repair on Colon
New water meter installation on Belin

Trimmed trees on ADM at Parian
Landscape refurbishment Public Restrooms

Project update:

LGTPF Calle del Norte Trail Phase II – Received IBWC permit. Uppers section of project is underway. Amendment No. 1 for additional design services as required by IBWC awaiting BOT approval.

Calle de Picacho Drainage/Roadway (FY22 TPF) - Survey is complete. Preliminary design is underway. Environmental study, drainage study and project certification are underway.

Calle de Picacho Utility Replacement – Design is underway.

2022-2023 LGRF – Project design complete. Scheduled to bid end of January.

SCADA – Bid opening scheduled for January 6, 2023.

Mesilla Water System Booster Replacement – Bid opening held on December 13, 2022. Recommendation to award awaiting BOT approval.

Mesilla Streetlight Improvements – Streetlight head replacement is complete. Project close-out underway.

Plaza Sidewalk Refurbishment – Project environmental study and design is underway.

Colonias - University Waterline Improvements – Readiness to proceed items are complete. Awaiting Colonias final approval/documents.

Calle de Santiago Bridge Replacement (FY23 TPF) – Molzen Corbin fee proposal and agreement for design services awaiting BOT approval.

Community Projects Report

Project	Description
Current Contact information	Dorothy Sellers Email: DorothyS@mesillanm.gov Work: 575-524-3262 Cell:575-571-3890
Promote Mesilla and area businesses	Have begun attending Experience Mesilla meetings in order to help bridge gaps and work together to better Mesilla. Hosting meeting at Town Hall in January.
Visitors Guide	New Visitors guides have been printed and distribution has begun. I have extra copies at the Visitors center if anyone is interested. I still have plenty of copies so please let me know if you need any.
Social Media and website	Meeting with Tu media to update and modernize the town's website
Mercado	Mercado continues to be successful. Have back up applicants ready to fill positions. Looking to add alternate vendors to fill empty spaces. Background checks will be done on all existing and incoming vendors. Orientations are being scheduled in Jan and Feb to ensure vendors have several opportunities to attend. Orientation must be attended to renew. Looking for a volunteer who can assist with 2 Spanish meetings.
Clean & Beautiful Grant	The first dumpster event was a success. The event ran for a week and Youth Interns were successful at handing out promotional items at the fiesta. A winter clean up is planned for January. Seeking youth organizations. Promotional Items, graffiti remover and cleanup items to be purchased.
NM Tourism Grant	Mesilla was granted a 2:1 match offer. FY23 will focus on building the asset library currently in Mesilla's possession and promotion through Social media and printed ads. Photographs were taken on Christmas eve. Waiting for proofs to choose from.
Lodgers Tax Committee	Still seeking volunteers to sit on the Lodgers tax advisory committee. If you know anyone interested, please send them my way

Christmas Eve	Christmas Eve was truly magical and received many positive comments regarding the event. All vendors have been paid
For the love of art	Flyer to be distributed seeking artists for this years for the love of art display