

**THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION
(PZHAC) WILL HOLD A REGULAR MEETING AT THE MESILLA TOWN HALL, 2231
AVENIDA DE MESILLA.**

MONDAY DECEMBER 5, 2022, AT 2:30 P.M.

AGENDA

- 1. PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL AND DETERMINATION OF A QUORUM**
- 3. CHANGES / APPROVAL OF AGENDA**
- 4. PUBLIC INPUT**

The public is invited to address the commission regarding items listed on the agenda as allowed by the chair. You can also email your comments to clerktreasurer@mesillanm.gov at least twenty-four (24) hours prior to the meeting.

- 5. APPROVAL OF CONSENT AGENDA**

Note: Items on the Consent Agenda, indicated by an asterisk (), will be voted on with one motion unless a commissioner requests that a specific item be removed for discussion.*

- a. *PZHAC MINUTES:** November 21, 2022, Regular Meeting Minutes

- 6. INFORMATION FOR ADMINISTRATIVE APPROVALS**

- a. PZHAC Case #061491** – 2615 Calle de Guadalupe, submitted by Emily Coss to repaint exterior walls same color as existing. **Zoned: Historical Residential (HR)**

- 7. NEW BUSINESS**

- a. PZHAC Case #061492** – 2869 Calle del Sur HSEG, submitted by Micaela Cadena to install an additional 9 solar system modules on the roof of the house. PZHAC previously approved 9 modules on 11/21/22 – Case #061484. **Zoned: Rural Farm (RF)**
- b. PZHAC Case #061493** – 2500 Calle de Colon, submitted by Maria Arais, on SE side of property to remove dead tree, remove chain link fence, place culvert in ditch, and lay 4” base course on existing material (24’ wide x 50’ length on). **Zoned: Historical Residential (HR)**
- c. PZHAC Case #061494** – 2970 Camino Castillo, submitted by Dino & Leslie Cervantes for a full house renovation/additions. **Zoned: Single Family Residential (R-1)**

- 8. COMMISSIONERS / STAFF COMMENTS**

- 9. ADJOURNMENT**

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 12/2/2022 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty’s Food Mart - 2290 Avenida de Mesilla; Ristraman - 2531 Avenida de Mesilla, and the U.S. Post Office - 2253 Calle de Parian.



Town of Mesilla, New Mexico

**THE PLANNING, ZONING AND
HISTORICAL APPROPRIATENESS COMMISSION (PZHAC)
MONDAY NOVEMBER 21, 2022, 2:30 PM**

MINUTES

1. PLEDGE OF ALLEGIANCE

Chairperson Yolanda Lucero led the Pledge of Allegiance.

2. ROLL CALL AND DETERMINATION OF QUORUM

Mayor Nora L. Barraza took roll call.

Chairperson Lucero - Present
Commissioner Jones – Present
Commissioner Nevarez – Not Present
Commissioner Salas - Not Present
Commissioner Walkinshaw - Present

Mayor Barraza declared a quorum.

3. CHANGES / APPROVAL OF AGENDA

Commissioner Walkinshaw inquired about the three minutes limit for public input being removed from the agenda. He would like it added back. Chairperson Lucero commented that it is up to the chair on whether it's 2 or 3 minutes according to legal advice. Clerk-Treasurer Rani Bush commented that legal advice was given that it is the chair who decides on public input and how it is conducted. The agenda was changed to reflect this.

Chairperson Lucero then stated that today she would only be accepting input about cases that are on the agenda.

Commissioner Walkinshaw added that he remembered that public input has always been about projects that were not on the agenda. Chairperson Lucero stated that they have never accepted anything but input about what's on the agenda.

Questions were raised about where the room full of people could make their input. Chairperson Lucero suggested at the next board of trustees meeting. Clerk-Treasurer Bush commented that the next trustee meeting would be on Monday, November 28 at 6:00 pm in the same room.

It was also suggested by Mr. Taylor that letters or email could be sent to the Board of Trustees.

54 Russell Hernandez, resident, asked to get back to the rules of order for the meeting. The agenda
55 hasn't been approved yet.

56
57 **Motion to approve the agenda as is was made by Commissioner Jones and seconded by**
58 **Chairperson Lucero.**

59
60 **Roll Call Vote:**
61 Commissioner Jones - Yes
62 Commissioner Walkinshaw - No
63 Chairperson Lucero - Yes

64
65 **Motion passes.**

66
67 **4. PUBLIC INPUT**

68
69 A question was raised the cases on the agenda being private property in Mesilla and therefore
70 affected by the cell tower. Chairperson Lucero commented that this issue is not on the agenda. If
71 anyone from the cases have a concern about the cell tower, they can speak when their case comes
72 up.

73
74 **5. APPROVAL OF CONSENT AGENDA**

- 75 1. ***PZHAC MINUTES:** October 17, 2022, Regular Meeting Minutes
76 2. ***PZHAC MINUTES:** November 7, 2022, Regular Meeting Minutes

77
78 **Motion to approve the consent agenda was made by Commissioner Walkinshaw and**
79 **seconded by Commissioner Jones.**

80
81 **Roll Call Vote:**
82 Chairperson Lucero - Yes
83 Commissioner Jones - Yes
84 Commissioner Walkinshaw - Yes

85
86 **Motion passes.**

87
88 **6. INFORMATION FOR ADMINISTRATIVE APPROVALS**

89
90 Mayor Barraza explained the two below cases that were administratively approved.

- 91
92 1. **PZHAC Case #061482** – 2225 Calle de Colon submitted by Carlos Martinez to upgrade
93 electric service. **Zoned: Historical Residential (HR)**
94 2. **PZHAC Case #061488** – 2532 Calle de Curra, Apt 4 & 5 submitted by Anthony Lucero to
95 repair stucco cracks and paint (no change in texture or color, repairs to match what is existing).
96 **Zoned: Historical Residential (HR)**

97
98 **7. NEW BUSINESS**

- 99 a. **PZHAC Case #061469** – 2691 Calle de Principal submitted by Joseph Foster to rebuild/replace
100 rotting windows and door, build parapets to mask uneven roof line and roof equipment,
101 construction of pergola and a front entrance gate in existing wall (Phase 1). **ZONED:**
102 **Historical Residential (HR)**

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104 Staff presented facts of the case.

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Motion to approve was presented by Commissioner Walkinshaw and seconded by Commissioner Jones.

Discussion followed.

Roll Call Vote:

Commissioner Walkinshaw – Yes
Commissioner Jones – Yes
Chairperson Lucero – Yes

Motion passed.

- b. **PZHAC Case #061473** – 2630 Calle Segunda submitted by Jane/Paul Germani to install storage shed. **Zoned Historical Residential (HR)**

Staff presented facts of the case.

Motion to approve was presented by Commissioner Walkinshaw and seconded by Commissioner Jones.

Discussion followed.

Roll Call Vote:

Commissioner Jones – Yes
Commissioner Walkinshaw – Yes
Chairperson Lucero – Yes

Motion passed.

- c. **PZHAC Case #061478**– 2600 Avenida de Mesilla submitted by Palacio Bar to install a sidewalk on north side of the building. **Zoned: Historical Commercial (HC)**

Staff presented facts of the case.

Motion to approve was presented by Commissioner Jones and seconded by Commissioner Walkinshaw.

Discussion followed.

Roll Call Vote:

Chairperson Lucero – Yes
Commissioner Jones – Yes
Commissioner Walkinshaw – Yes

Motion passed.

- d. **PZHAC Case #061483** – 2060 Calle de Parian submitted by Jerry Noe for Bader Jouda of Tropical Dispensary LLC for a projecting 3 sq. ft. sign permit. **Zoned: Historical Commercial (HC)**

Staff presented facts of the case.

157 **Motion to approve was presented by Commissioner Walkinshaw and seconded by**
158 **Commissioner Jones.**

159
160 Discussion followed.

161
162 **Roll Call Vote:**
163 Commissioner Jones – Yes
164 Commissioner Walkinshaw – Yes
165 Chairperson Lucero – Yes

166
167 **Motion passed.**

168
169 e. **PZHAC Case #061484** – 2869 Calle de Sur submitted by Micaela Cadena to install a solar
170 system. **Zoned: Rural Farm (RF)**

171
172 Staff presented facts of the case.

173
174 **Motion to approve was presented by Commissioner Jones and seconded by**
175 **Commissioner Walkinshaw.**

176
177 Discussion followed.

178
179 **Roll Call Vote:**
180 Chairperson Lucero – Yes
181 Commissioner Jones – Yes
182 Commissioner Walkinshaw – Yes

183
184 **Motion passed.**

185
186 f. **PZHAC Case #061486** – 2687 Calle de Parian submitted by William McIlvaine to install a
187 privacy fence along property boundary. **Zoned Historical Residential (HR)**

188
189 Staff presented facts of the case.

190
191 **Motion to approve was presented by Commissioner Walkinshaw and seconded by**
192 **Commissioner Jones.**

193
194 Discussion followed.

195
196 **Motion to amend the approval by adding the condition of the removal of the existing**
197 **chain link fence once the new fence is complete and obtain right of entry from**
198 **adjacent neighbor was presented by Commissioner Walkinshaw and seconded by**
199 **Commissioner Jones.**

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202 **Roll Call Vote of Amendment:**
203 Commissioner Walkinshaw – Yes
204 Commissioner Jones – Yes
205 Chairperson Lucero – Yes

206
207 **Motion passed.**

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209 **Roll Call Vote of Amended Motion:**

210 Commissioner Jones – Yes
211 Commissioner Walkinshaw – Yes
212 Chairperson Lucero – Yes

213
214 **Motion passed.**

215
216 g. **PZHAC Case #061487** – 2685 Calle de Parian submitted by William McIlvaine to install a
217 privacy fence along property boundary. **Zoned Historical Residential (HR)**

218
219 Staff presented facts of the case.

220
221 **Motion to approve was presented by Commissioner Walkinshaw and seconded by**
222 **Commissioner Jones.**

223
224 Discussion followed.

225
226 **Motion to amend the approval by adding the condition of the removal of the existing**
227 **chain link fence once the new fence is complete and obtain right of entry from**
228 **adjacent neighbor was presented by Commissioner Walkinshaw and seconded by**
229 **Commissioner Jones.**

230
231 **Roll Call Vote of Amendment:**

232 Commissioner Jones – Yes
233 Commissioner Walkinshaw – Yes
234 Chairperson Lucero – Yes

235
236 **Motion passed.**

237
238 **Roll Call Vote of Amended Motion:**

239 Commissioner Jones – Yes
240 Commissioner Walkinshaw – Yes
241 Chairperson Lucero – Yes

242
243 **Motion passed.**

244
245 h. **PZHAC Case #061489** - 2380 Calle Principal/2210 Calle de Parian (Thunderbird) to replace
246 4 rolled windows and 2 rotted doors on the backside of the building. Windows will match
247 existing windows and doors will match existing metal doors. **Zoned: Historical Commercial**
248 **(HC)**

249
250 Staff presented facts of the case.

251
252 **Motion to approve was presented by Commissioner Jones and seconded by**
253 **Commissioner Walkinshaw.**

254
255 Discussion followed.

256
257 **Roll Call Vote:**

258 Commissioner Walkinshaw – Yes
259 Commissioner Jones – Yes
260 Chairperson Lucero – Yes

261
262 **Motion passed.**

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8. COMMISSIONERS / STAFF COMMENTS

Chairperson Lucero commented to the audience that she is not ignoring what people wanted to say, the Commission usually goes by the cases listed on the agenda. Everyone has a right to send email or letters to the Mayor or Board of Trustees regarding any concerns about the Town of Mesilla and your properties.

She then asked about any applications for the Community Development Coordinator position. Clerk-Treasurer replied that we currently don't have any, but it has been advertised.

Mayor Barraza commented that there will be a public hearing on December 12 during the regular Board of Trustees meeting at 6:00 pm for an appeal case by Preston Mitchell about short-term rentals. She asked for representation from the Commission to be there.

Chairperson Lucero commented on the joint work session with the Board of Trustees which ran short. She is concerned about some of the ordinances that didn't get discussed. She requested that another session be set up to discuss these ordinances. Mayor Barraza replied that Clerk-Treasurer Bush will set up another session as soon as possible.

Mayor Barraza also commented that the Architectural Styles Committee will be suspended until further notice.

9. ADJOURNMENT

Motion to adjourn was made by Commissioner Walkinshaw and seconded by Commissioner Jones.

Roll Call Vote:

Commissioner Walkinshaw - No
Commissioner Jones - Yes
Chairperson Lucero - Yes

Motion passes.

Meeting was adjourned at 3:20 p.m.

APPROVED THIS 5th DAY OF DECEMBER 2022.

**Yolanda Lucero
Chairperson**

ATTEST:

**Rani Bush
Town Clerk-Treasurer**

From: Janice Cook <thepotteriesmesilla@gmail.com>
Sent: Sunday, November 20, 2022 2:22 PM
To: clerktreasurer@mesillanm.gov; yolandal@mesillanm.gov; gerardn@mesillanm.gov; danielj@mesillanm.gov; ericw@mesillanm.gov; davies@mesillanm.gov
Cc: veronicag@mesillanm.gov; stephaniejb@mesillanm.gov; adriannam@mesillanm.gov; bivianac@mesillanm.gov
Subject: Proposed Cell Tower Location in Town Hall Park

Comments for the Planning, Zoning, and Historical Appropriateness Commission

Please include the following comments in the official record for the meeting scheduled for Monday, November 21, 2022, at 2:30 pm.

PROPOSED CELL TOWER LOCATION IN TOWN HALL PARK

We acknowledge that cell phones and cell towers are necessary in our current society for communication and public safety.

Over the last twenty years Mesilla cell tower codes have been updated and expanded through public meetings. This code provides for areas where towers are acceptable (Rural Farm area) and also expressly prohibited (Historic Residential, Historic Commercial and Commercial Zones.). We do not want cell towers in the areas closely surrounded by homes and public parks. They should be located in our low population area (RF zone-one home per five acre) as regulated by Mesilla codes.

Mayor Barraza has proposed erecting a cell tower in a public park adjacent to the Public Safety building in the Historic Residential Zone. It is in the midst of residential and historic homes and clearly does not meet Mesilla codes and is "EXPRESSLY PROHIBITED" in HR zoning.

Area businesses in the Historic district, including ours on Calle de Santiago, will be negatively affected by this tower. The town relies upon income from businesses. A cell tower in this location will also affect property values of businesses and homes in the historic district.

We strongly encourage relocating this proposed tower to the Rural Farm zoning areas away from homes and public parks.

Bill and Janice Cook
2750 Calle de Principal
Mesilla, NM 88046
575 202 8794
575 644 6891

clerktreasurer@mesillanm.gov

From: Andrea Bryan <andrea97212@gmail.com>
Sent: Sunday, November 20, 2022 2:02 PM
To: clerktreasurer@mesillanm.gov
Cc: Adrianna Merrick; bivianac@mesillanm.gov; stephaniejb@mesillanm.gov; veronicag@mesillanm.gov; mayor@mesillanm.gov; yolanda@mesillanm.gov; gerardn@mesillanm.gov; danielj@mesillanm.gov; ericw@mesillanm.gov; davies@mesillanm.gov
Subject: Comments regarding the proposed 60' cell tower in the Town Hall Park in the Historic District
Attachments: kids in Town Hall Park on Nov 10.jpg

Please include the following comments in the official record for the meeting scheduled for Monday, November 21, 2022 at 2:30pm

This is a request for Planning and Zoning Commissioners to recommend against the cell tower in Town Hall Park.

Last week on Thursday, November 10th, we stepped outside our front door at 2557 Calle De Parian, across the street at the Town Hall Park, we saw 2 busloads of school children joylessly playing in the park. This was wonderful to see. What are our town leaders thinking that placing a 60' cell tower in a public park was a good idea? Do you not represent the very people who use that park? If so, then listen to the people. We do not want it there and we have not spoken to one resident that does.

Also, have our leaders actually made a diligent effort to research a more APPROPRIATE location if Verizon cell service is so poor? There are other possible locations within the immediate area away from the park, but near the Historic District. Why not 1200ft away in a pecan field? To be clear, this would be a Verizon cell tower only, which would not improve service for customers of T-mobile, Cricket or AT&T to name a few.

If Verizon is selling the idea that the park is the only possible location, then I would suggest we have a third party, NOT the vendor, educate the residents regarding the science and why it has to be right next to the safety building. Could we please have more transparency and dialog? If not, what is our recourse? A new leader?

Regards
Andrea Bryan
2557 Calle de Parian
Mesilla. NM 88046
503-975-7436



BOARD ACTION FORM

AGENDA DATE:

PZHAC: December 5, 2022

BOT:

ITEM:

PZHAC Case #061492 – 2869 Calle del Sur HSEG, submitted by Micaela Cadena to install an additional 9 solar system modules on the roof of the house. Zoned: Rural Farm (RF).

BACKGROUND AND ANALYSIS:

PZHAC previously approved 9 modules on 11/21/22 – Case #061484. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter 18.20.

SUPPORTING INFORMATION:

- Application
- Site Plans
- Picture
- Solar Smart Living Contract
- Unirac Specs and Reports

PZHAC ACTION:

The PZHAC may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

BOT OPTIONS:

**TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT**

FEE PAID w/CASE #
 Permit Fee \$ ~~_____~~
 Review Fee \$ ~~_____~~ 061484
 Total Fee \$ ~~_____~~
 \$ 392.00 TOTAL

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061492 **ZONE:** RF **CODE:** _____ **APPLICATION DATE:** 11/30/22

Micaela Cadena		(575) 644-5830	
Name of Property Owner		Property Owner's Telephone Number	
PO Box 968	Las Cruces	NM	88005
Property Owner's Mailing Address		City	State
micaela.cadena@gmail.com		Zip Code	
Property Owner's E-mail Address			
Solar Smart Living, LLC - 108 Ray Ward Pl, Santa Teresa NM 88008			
Contractor's Name & Address (If none, indicate Self)			
(915) 400-2995 Ext 702	3-20375-4488-2	361818	
Contractor's Telephone Number	Contractor's Tax ID Number	Contractor's License Number	

Address of Proposed Work: 2869 Calle del Sur Hseg, Las Cruces NM 88005

Description of Proposed Work: _____
Installation of roofmounted Photovoltaic System, 9 modules to be installed on the roof of the house.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Foundation plan with details.
4. ___ Floor plan showing rooms, their uses, and dimensions.
5. ___ Cross section of walls.
6. ___ Roof and floor framing plan.
7. ___ Proof of legal access to the property.
8. ___ Drainage plan.
9. ___ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ___ Proof of legal access to the property.
12. ___ Other information as necessary or required by the Town Code or Community Development Department.

\$ <u>27,024.00</u>		<u>9/5/2022</u>
Estimated Cost	Signature of Applicant	Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: YES ___ NO BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

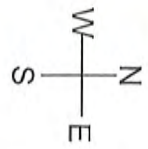
FINAL SITE MAP SSL

- AC Disconnects 1 and 2
- REC Meter 1 and 2
- Inverter 1 and 2
- Meters & Load Centers 1 and 2



Loads Used for Design

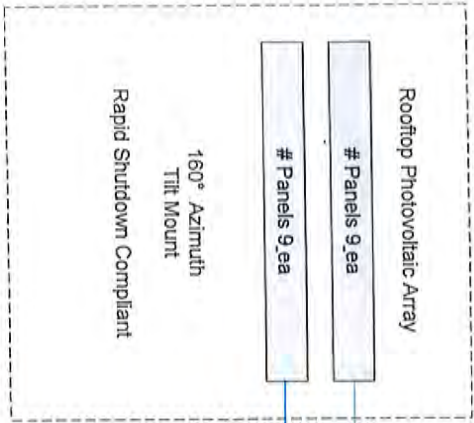
- Building Code	ASCE 7-10
- Basic Wind Speed	115.00 mph
- Ground Snow Load	0.00 psf
- Seismic (SS)	0.28
- Elevation	4186.00 ft
- Wind Exposure	C
- Clearance from roof edges	36"



Customer Name: Micaela Cadena
(575) 644-5830
Total System Size: 7.6 kW AC / 7.2 kW DC @ STC
Install Address: 18 Solar Panels
2869 Calle del Sur
Las Cruces NM 88005
Date: Dec 1, 2022

Installer Name: Solar Smart Living, LLC
108 Ray Ward Place
Santa Teresa, NM 88008
Phone: (915) 400-2995
Contact: Javier Perea (915) 474-5824
Email: jperrea@SolarSmartLiving.com

ONE LINE DIAGRAM & SITE MAP

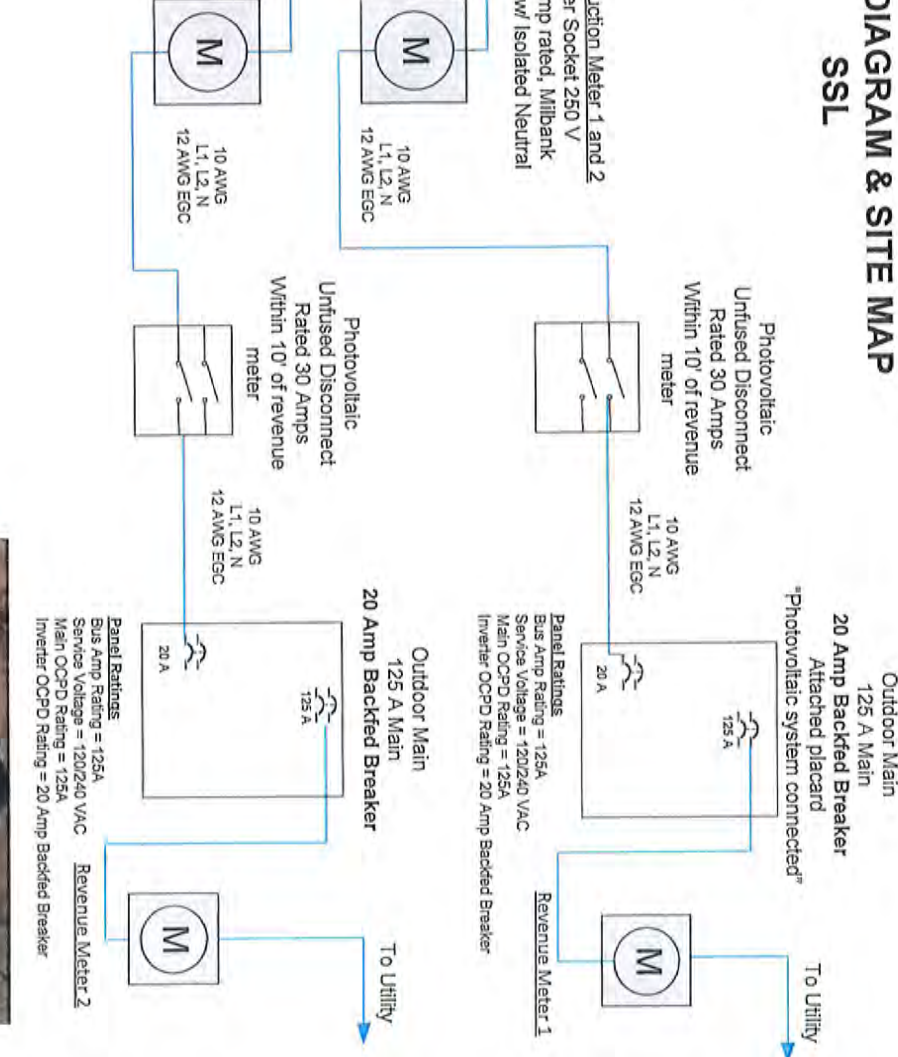


Central Inverter Rating:
 Inverter Manufacturer = Solaredge Inverter
 Model # = SE 3800H - US
 Max DC Voltage Rating = 480V
 Max Power = 3800W
 Nominal AC Voltage = 120/240VAC
 Number of Phases = 1
 Max AC Current = 16 A

PV Array Information w/ Optimizers:
 Number of Modules in Series String = 9
 Maximum Current per String = 10 A
 Max DC Voltage = 480 VDC
 Max Vmp per String = 400 VDC

10 AWG Conductors
12 AWG Equipment Ground
 Up to 6 Current Carrying Conductors per Conduit
 Voltage Drop < 1% if linear distance is less than 173 Ft
 3/4" Conduit or Greater

PV Module Ratings @ STC
 Module Manufacturer = Qcell
 Module Model # = Qpeak Duo L-G7 2 400
 Max Power Current (Imp) = 9.7 A
 Max Power Voltage (Vmp) = 41.23 V
 Open Circuit Voltage (Voc) = 48.96 V
 Short Circuit Current (Isc) = 10.19 A
 Max Series Fuse (OCPD) = 15 A
 Maximum Power (Pmax) = 400 W
 Max System Voltage = 1000V
 Voc Temp Coefficient = -0.36 % / °C



Customer Name: Micaela Cadena
 (575) 644-5830

Total System Size: 7.6 kW AC / 7.2 kW DC @ STC

Install Address: 18 Solar Panels
 2869 Calle del Sur
 Las Cruces NM 88005

Date: Jul 20, 2022

Installer Name: Solar Smart Living, LLC

Installer Address: 108 Ray Ward Place
 Santa Teresa, NM 88008
 (915) 400-2995

Phone: Javier Perea (915) 474-5824
Contact: jperrea@SolarSmartLiving.com
Email:



Inverter 1 and 2 Location
2869 Calle del Sur



SOLAR
SMART LIVING

Customer Name: Micaela Cadena
(575) 644-5830
Total System Size: 7.6 kW AC / 7.2 kW DC @ STC
18 Solar Panels
Install Address: 2869 Calle del Sur
Las Cruces NM 88005
Date: Jul 20, 2022

Installer Name: Solar Smart Living, LLC
Installer Address: 108 Ray Ward Place
Santa Teresa, NM 88008
Phone: (915) 400-2995
Contact: Javier Perea (915) 474-5824
Email: jperea@SolarSmartLiving.com

SOLAR SMART LIVING SOLAR HOME IMPROVEMENT CONTRACT

For Solar System Installations in the State of New Mexico and the State of Texas

Section 1:

Date: July 15, 2022

This Home Improvement Contract for Solar System Installation (along with all schedules and exhibits attached hereto, this "Contract") is entered into as of the date listed above (the "Effective Date") by Consumer and Contractor, each a "Party" and together the "Parties". The following key terms are an integral part of the Contract:

Solar System Specifications:

System Size in DC kW	<u>7.200</u>
Estimated 1st year Production in kWh	<u>12,184</u>
Module Quantity and size	<u>18 x 400 W</u>
Module Manufacturer	<u>Hanwha Q CELLS</u>
Inverter Manufacturer	<u>SolarEdge</u>
Monitoring Type	<input checked="" type="checkbox"/> Internet <input type="checkbox"/> Cellular

Price:

Solar System Price	<u>27,024</u>
Other Home Improvement Price	<u>0</u>
Other	<u>0</u>
Other	<u>0</u>
Total Contract Price	<u>27,024.00</u>
Down Payment	<u>0.00</u>
Balance Due	<u>27,024</u>
Down Payment Due Date	<u>Loan</u>
Payment Type	<u>MOS PowerSwitch Loan</u>

Project Timeline

Approximate Start Date	<u>2022-07-12</u>
Approximate Completion Date	<u>2022-09-04</u>

Job Site ("Property")

Micaela Cadena
2869 Calle Del Sur
Las Cruces, NM 88005



Section 19 Additional Rights.

19.1 Three-day Right to Cancel. **You, the buyer, have the right to cancel this Contract within three (3) Business Days.** You may cancel by e-mailing, mailing, faxing, or delivering a written notice to the Contractor at the Contractor’s place of business by midnight of the third Business Day after you received a signed and dated copy of the Contract that includes this notice. Include your name, your address, and the date you received the signed copy of the Contract and this notice. If you cancel, we must return to you anything you paid within ten (10) days of receiving the notice of cancellation. For your part, you must make available to the Contractor at your residence, in substantially as good condition as you received them, goods delivered to you under this Contract or sale. Or, you may, if you wish, comply with the Contractor’s instructions on how to return the goods at the Contractor’s expense and risk. If you do make the goods available to the Contractor and the Contractor does not pick them up within twenty (20) days of the date of your notice of cancellation, you may keep them without any further obligation. If you fail to make the goods available to the Contractor, or if you agree to return the goods to the Contractor and fail to do so, then you remain liable for performance of all obligations under the Contract.

IN WITNESS WHEREOF, the Parties hereto have executed this Home Improvement Contract as of the Effective Date.

CONSUMER DocuSigned by:
By: Micaela Cadena
BF2C068E437F4C8...
Name: Micaela Cadena
Title: Homeowner
Date: Jul 19, 2022 | 12:05 PM PDT

CONTRACTOR: DocuSigned by:
By: Christian Nunez
23AEPD8B49A3415...
Name: Christian Nunez
Title: Energy Consultant
Date: Jul 15, 2022 | 11:47 AM MDT

CONSUMER DocuSigned by:
By: Ian Lightfoot Simon
AFA05E8E038F4DE...
Name: Ian Lightfoot Simon
Title: Homeowner X
Date: Jul 19, 2022 | 12:05 PM PDT





U-BUILDER PROJECT REPORT

VERSION: 3.1.6

PROJECT TITLE

SOLARMOUNT Flush

PROJECT ID

27DFB6B5

CREATED

Oct. 26, 2022, 3:57 p.m.

NAME

Micaela Cadena

Designed by paulina@solarsmartliving.com

ADDRESS

2869 Calle del Sur HSEG

SOLARMOUNT Flush

CITY, STATE

Las Cruces, NM

Hanwha/Q-Cells

MODULE

Hanwha/Q-Cells Q-PEAK DUO L-G7.2 400

9 - Q-PEAK DUO L-G7.2 400

195.20 ft²

3.60 KW

NOTE: Installation of the project is intended to happen within the year of project designed in UBuilder. If it's past one year please rerun the design or contact Unirac Engineering Services.

ENGINEERING REPORT

Plan review

* Distributed Dead Load	2.69 psf
* Average Roof Point Dead Load	29.22 lbs
TOTAL NUMBER OF MODULES	9
TOTAL KW	3.60 KW
TOTAL MODULE AREA	~195 ft ²

Loads Used for Design

BUILDING CODE	ASCE 7-10
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	0.00 psf
SEISMIC (SS)	0.287
ELEVATION	3891.00 ft
WIND EXPOSURE	B
TOPOGRAPHICAL FACTOR KZT	1.00
VELOCITY PRESSURE, QZ	14.04 psf

Inspection

PRODUCT	
MODULE MANUFACTURER	Hanwha/Q-Cells
MODEL	9 - Q-PEAK DUO L-G7.2 400
MODULE WATTS	400 watts
MODULE LENGTH	79.33"
MODULE WIDTH	39.37"
MODULE THICKNESS	1.38"
MODULE WEIGHT	51.80 lbs
EXPANSION JOINTS	Every 40'
RAILS DIRECTION	CROSS-SLOPE
BUILDING HEIGHT	20.00 ft
SHORTEST BUILDING LENGTH	25.00 ft
ROOF TYPE	Shingle
ATTACHMENT TYPE	Flashloc Comp Kit
RAFTER SPACING	24.00"
* TOTAL WEIGHT	526.00 lbs
MID CLAMP	Pro Clamp
END CLAMP	Pro Clamp

* Calculated based on suggested quantity given on part list.

Roof Area 1: Array 1

Portrait Modules - Rails Running Across Slope (for rails with attachments > 3)

SOLARMOUNT STANDARD RAIL SPANS [IN]	ZONE 1	ZONE 2	ZONE 3	MAXIMUM POINT LOADS [LBS]	ZONE 1	ZONE 2	ZONE 3
DESIGN SPAN	48	48	24	Up	-142.8	-271.0	-215.5
Max Cantilever	16	16	8	Down	177.2	177.2	88.6
Max Span	117	74	47	Downslope	13.2	13.2	6.6
				Lateral	9.3	9.3	4.6
ZONES	ZONE 1	ZONE 2	ZONE 3	Tributary Area [ft ²]	13.2	13.2	6.6
NO OF RAILS	2	2	2	ROOF PITCH:	5°		
DESIGN PRESSURES [PSF]	ZONE 1	ZONE 2	ZONE 3				
Up	-10.8	-20.5	-32.6				
Down	13.4	13.4	13.4				
Downslope	1.0	1.0	1.0				
Lateral	0.7	0.7	0.7				

Portrait Modules - Rails Running Across Slope (for rails with attachments <= 3)

SOLARMOUNT STANDARD RAIL SPANS [IN]	ZONE 1	ZONE 2	ZONE 3	MAXIMUM POINT LOADS [LBS]	ZONE 1	ZONE 2	ZONE 3
DESIGN SPAN	48	48	24	Up	-142.8	-271.0	-215.5
Max Cantilever	16	16	8	Down	177.2	177.2	88.6
Max Span	117	68	43	Downslope	13.2	13.2	6.6
				Lateral	9.3	9.3	4.6
ZONES	ZONE 1	ZONE 2	ZONE 3	Tributary Area [ft ²]	13.2	13.2	6.6
NO OF RAILS	2	2	2	ROOF PITCH:	5°		
DESIGN PRESSURES [PSF]	ZONE 1	ZONE 2	ZONE 3				
Up	-10.8	-20.5	-32.6				
Down	13.4	13.4	13.4				
Downslope	1.0	1.0	1.0				
Lateral	0.7	0.7	0.7				

Clamp Checks

ZONES		ZONE 1			ZONE 2			ZONE 3		
CONNECTION-TYPE		End-End	End-Mid	Mid-Mid	End-End	End-Mid	Mid-Mid	End-End	End-Mid	Mid-Mid
Up	Load	N/A	234	234	N/A	N/A	N/A	N/A	N/A	N/A
	Check	OK	OK	OK	OK	OK	OK	OK	OK	OK
Side	Load	N/A	22	22	N/A	N/A	N/A	N/A	N/A	N/A
	Check	OK	OK	OK	OK	OK	OK	OK	OK	OK
Lateral	Load	N/A	15	15	N/A	N/A	N/A	N/A	N/A	N/A
	Check	OK	OK	OK	OK	OK	OK	OK	OK	OK

N/A stands for not applicable

SOLARMOUNT Flush Product Assumptions

Limitations of Responsibility: It is the user's responsibility to ensure that inputs are correct for your specific project. Unirac is not the solar, electrical, or building engineer of record and is not responsible for the solar, electrical, or building design for this project.

Allowable spans and resulting point loads are subject to the following conditions:

1. Building Height \leq 60 ft unless otherwise specified.
2. Roof Slope \geq 1.2°
3. Maximum rail cantilever \leq 1/3 of selected span.
4. Occupancy/Risk Category = II unless otherwise specified.
5. ASCE 7-05: Basic Wind Speed: 85-170 mph (IBC 2006/ASCE 7-05). Wind Exposure: B, C or D.
6. ASCE 7-10: Basic Wind Speed: 95-190 mph (IBC 2012/ASCE 7-10). Wind Exposure: B, C or D.
7. ASCE 7-16: Basic Wind Speed: 85-190 mph (IBC 2018/ASCE 7-16). Wind Exposure: B, C or D.
8. Ground Snow Load: 0-100 psf. (Reduction can be input if this is acceptable with your local building authority). Results are based on uniform snow loading and do not consider unbalanced, drifting, and sliding conditions.
9. Dead Load \leq 5 psf (includes PV Modules and Racking).
10. Maximum PV Module Length: 85 in.
11. Seismic: Installations must be in seismic site class A, B, C, or D as defined in IBC 2006/ASCE 7-05.
12. Intermediary Span Distances: Roof attachment point loads be reduced linearly if the installed distance between the attachments is less than the selected span. For example, if the spacing is half the amount shown in the results, then the point loads may also be reduced by half.
13. Spans greater than 96 in.: While our products are valid for greater spans in many instances, we do not recommend this mounting configuration. Typical residential roofs are not designed for the larger point loads that might result from such excessive spans and we recommend final design by a licensed professional engineer of responsible charge.

Pitched Roof Solutions (Flush Mounted Solutions):

Modules are parallel to the roof surface and within 10 in. of it.

Allowable roof pitch: 1.2°-45°. (SM is not fire tested for sloped of $<$ 2:12, please check with your AHJ if this is acceptable.)

Building has a monoslope roof with a slope \leq 3°, a gable roof \leq 45°, or a hip roof \leq 27°.



February 01, 2022

Unirac
1411 Broadway Blvd. NE
Albuquerque, NM 87102

Attn.: Unirac - Engineering Department

Re: Engineering Certification for the Unirac U-Builder 2.0 SOLARMOUNT Flush Rail

PZSE, Inc. - Structural Engineers has reviewed the Unirac SOLARMOUNT rails, proprietary mounting system constructed from modular parts which is intended for rooftop installation of solar photovoltaic (PV) panels; and has reviewed the U-builder Online tool. This U-Builder software includes analysis for the SOLARMOUNT LIGHT rail, SOLARMOUNT STANDARD rail, and SOLARMOUNT HEAVY DUTY rail with Standard and Pro Series hardware. All information, data and analysis contained within are based on, and comply with the following codes and typical specifications:

1. Minimum Design Loads for Buildings and other Structures, ASCE/SEI 7-05, ASCE/SEI 7-10, ASCE/SEI 7-16
2. 2006-2018 International Building Code, by International Code Council, Inc. w/ Provisions from SEAOC PV-2 2017.
3. 2006-2018 International Residential Code, by International Code Council, Inc. w/ Provisions from SEAOC PV-2 2017.
4. AC428, Acceptance Criteria for Modular Framing Systems Used to Support Photovoltaic (PV) Panels, November 1, 2012 by ICC-ES.
5. 2015 Aluminum Design Manual, by The Aluminum Association, 2015

Following are typical specifications to meet the above code requirements:

Design Criteria:	Ground Snow Load = 0 - 100 (psf) Basic Wind Speed = 85 - 190 (mph) Roof Mean Height = 0 - 60 (ft) Roof Pitch = 0 - 45 (degrees) Exposure Category = B, C & D
Attachment Spacing:	Per U-builder Engineering report.
Cantilever:	Maximum cantilever length is $L/3$, where "L" is the span noted in the U-Builder online tool.
Clearance:	2" to 10" clear from top of roof to top of PV panel.
Tolerance(s):	1.0" tolerance for any specified dimension in this report is allowed for installation.
Installation Orientation:	See SOLARMOUNT Rail Flush Installation Guide. Landscape - PV Panel long dimension is parallel to ridge/eave line of roof and the PV panel is mounted on the long side. Portrait - PV Panel short dimension is parallel to ridge/eave line of roof and the PV panel is mounted on the short side.



Components and Cladding Roof Zones:

The Components and Cladding Roof Zones shall be determined based on ASCE 7-05, ASCE 7-10 & 7-16 Component and Cladding design.

- Notes:
- 1) U-builder Online tool analysis is only for Unirac SM SOLARMOUNT Rail Flush systems only and do not include roof capacity check.
 - 2) Risk Category II per ASCE 7-16.
 - 3) Topographic factor, k_{zt} is 1.0.
 - 4) Array Edge Factor $Y_E = 1.5$
 - 5) Average parapet height is 0.0 ft.
 - 6) Wind speeds are LRFD values.
 - 7) Attachment spacing(s) apply to a seismic design category E or less.

Design Responsibility:

The U-Builder design software is intended to be used under the responsible charge of a registered design professional where required by the authority having jurisdiction. In all cases, this U-builder software should be used under the direction of a design professional with sufficient structural engineering knowledge and experience to be able to:

- Evaluate whether the U-Builder Software is applicable to the project, and
- Understand and determine the appropriate values for all input parameters of the U-Builder software.

This letter certifies that the Unirac SM SOLARMOUNT Rails Flush, when installed according to the U-Builder engineering report and the manufacture specifications, is in compliance with the above codes and loading criteria.

This certification excludes evaluation of the following components:

- 1) The structure to support the loads imposed on the building by the array; including, but not limited to: strength and deflection of structural framing members, fastening and/or strength of roofing materials, and/or the effects of snow accumulation on the structure.
- 2) The attachment of the SM SOLARMOUNT Rails to the existing structure.
- 3) The capacity of the solar module frame to resist the loads.

This requires additional knowledge of the building and is outside the scope of the certification of this racking system.

If you have any questions on the above, do not hesitate to call.

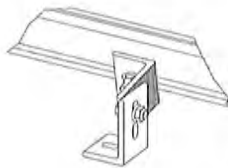
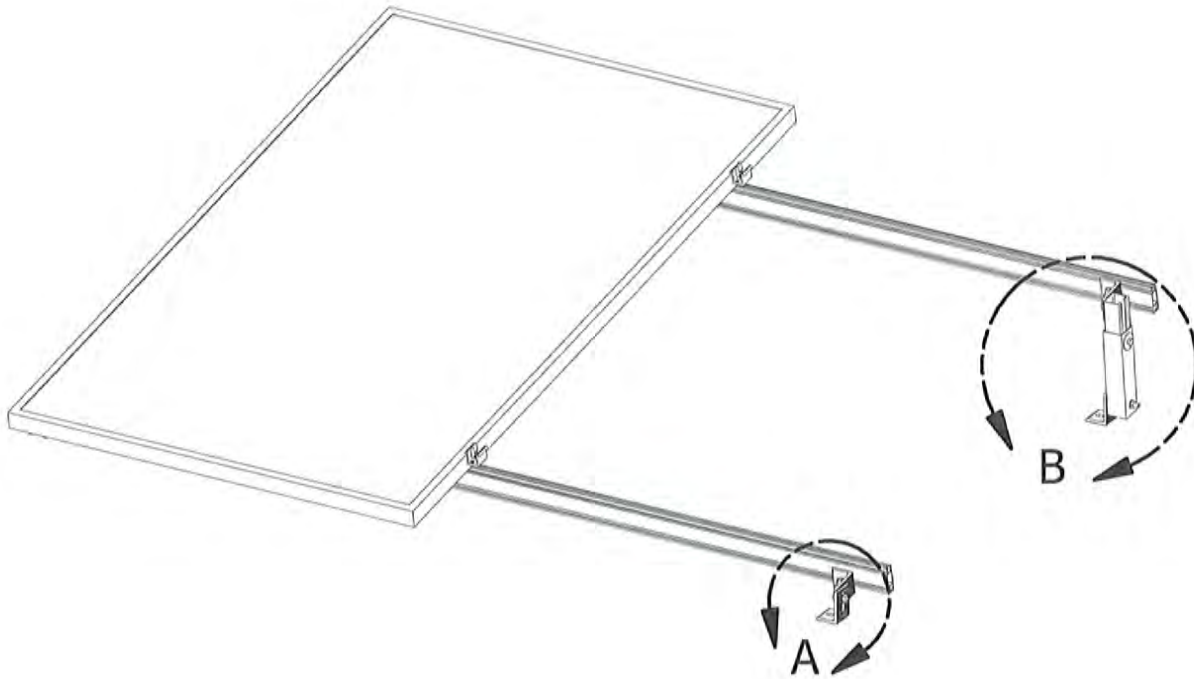
Prepared by:
PZSE, Inc. – Structural Engineers
Roseville, CA

DIGITAL SIGNATURE

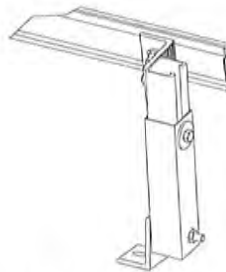


NOTES:

1. SEE SM T1H INSTALLATION GUIDE FOR ASSEMBLY INSTRUCTIONS.



DETAIL A
FRONT L-FOOT HINGE



DETAIL B
REAR TILT LEG



1411 BROADWAY BLVD. NE
ALBUQUERQUE, NM 87102 USA
PHONE: 505.242.6411
WWW.UNIRAC.COM

PRODUCT LINE:	SOLARMOUNT TILT
DRAWING TYPE:	ASSEMBLY
DESCRIPTION:	LOW PROFILE TILT
REVISION DATE:	9/27/2017

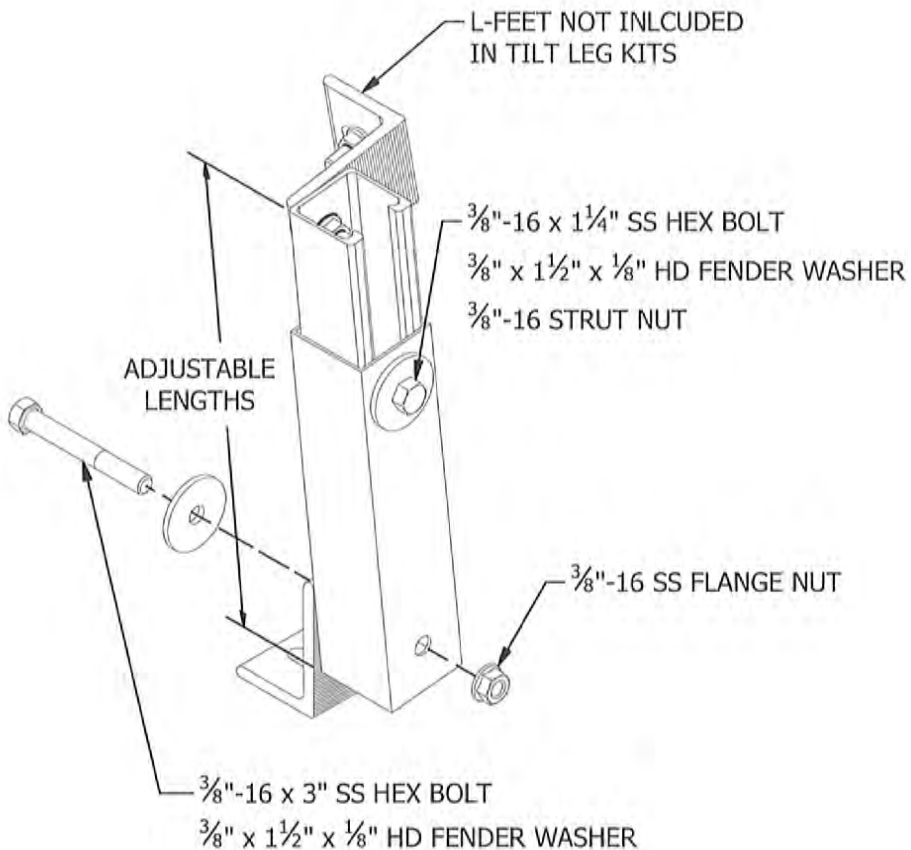
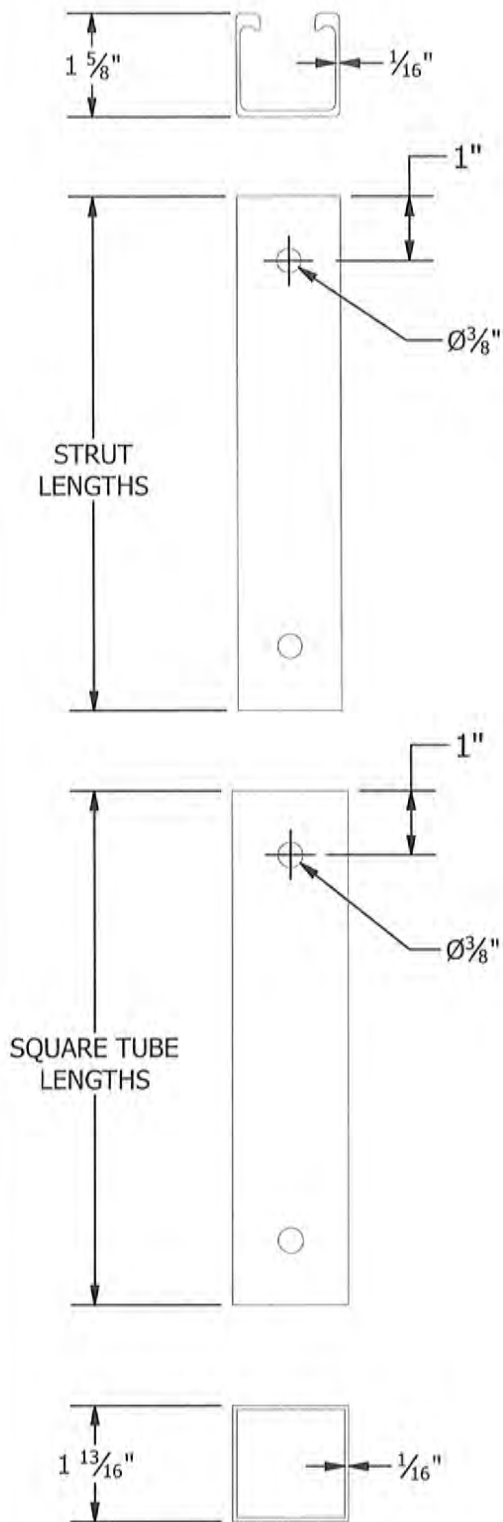
DRAWING NOT TO SCALE
ALL DIMENSIONS ARE
NOMINAL

PRODUCT PROTECTED BY
ONE OR MORE US PATENTS

LEGAL NOTICE

SM-A07

SHEET



TILT LEG TABLE				
P/N	DESCRIPTION	TOTAL ADJUSTABLE LENGTHS	SQUARE TUBE	STRUT
307107M	SM ADJ TILT LEG, 8"-12", W/HDW	8" to 12"	8"	8"
307115M	SM ADJ TILT LEG, 18"-30", W/HDW	18" to 30"	18"	18"
307120M	SM ADJ TILT LEG, 26"-44", W/HDW	26" to 44"	26"	26"
307134M	SM ADJ TILT LEG, 40"-72", W/HDW	40" to 72"	40"	40"

UNIRAC

1411 BROADWAY BLVD. NE
ALBUQUERQUE, NM 87102 USA
PHONE: 505.242.6411
WWW.UNIRAC.COM

PRODUCT LINE: SOLARMOUNT TILT
DRAWING TYPE: ASSEMBLY
DESCRIPTION: ADJUSTABLE TILT LEG
REVISION DATE: 9/27/2017

DRAWING NOT TO SCALE
ALL DIMENSIONS ARE
NOMINAL

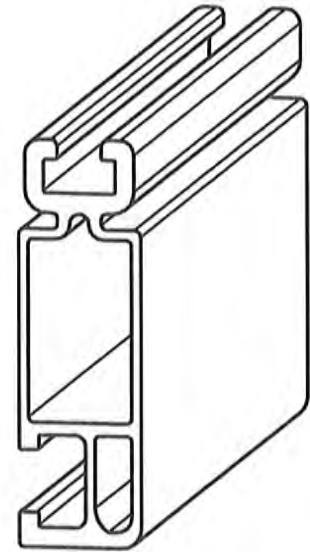
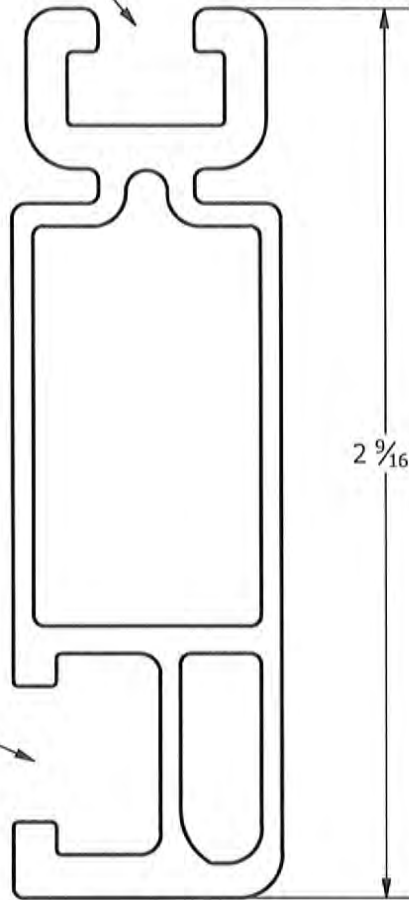
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SM-A09

SHEET

1/4" BOLT LOCATION



PART # TABLE		
P/N	DESCRIPTION	LENGTH
320132M	SM RAIL 132" MILL	132"
310132C	SM RAIL 132" CLR	132"
320168M	SM RAIL 168" MILL	168"
310168C	SM RAIL 168" CLR	168"
320168D	SM RAIL 168" DRK	168"
320208M	SM RAIL 208" MILL	208"
310208C	SM RAIL 208" CLR	208"
320240M	SM RAIL 240" MILL	240"
310240C	SM RAIL 240" CLR	240"
310240D	SM RAIL 240" DRK	240"



1411 BROADWAY BLVD. NE
ALBUQUERQUE, NM 87102 USA
PHONE: 505.242.6411
WWW.UNIRAC.COM

PRODUCT LINE:	SOLARMOUNT
DRAWING TYPE:	PART DETAIL
DESCRIPTION:	STANDARD RAIL
REVISION DATE:	9/11/2017

DRAWING NOT TO SCALE
ALL DIMENSIONS ARE
NOMINAL

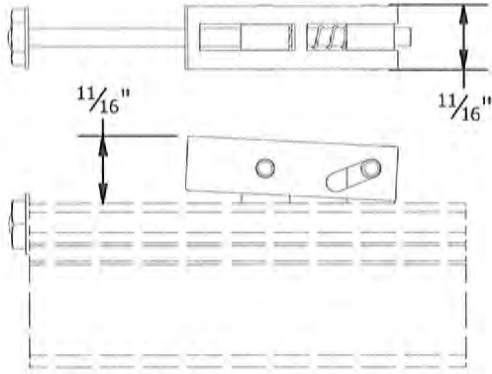
PRODUCT PROTECTED BY
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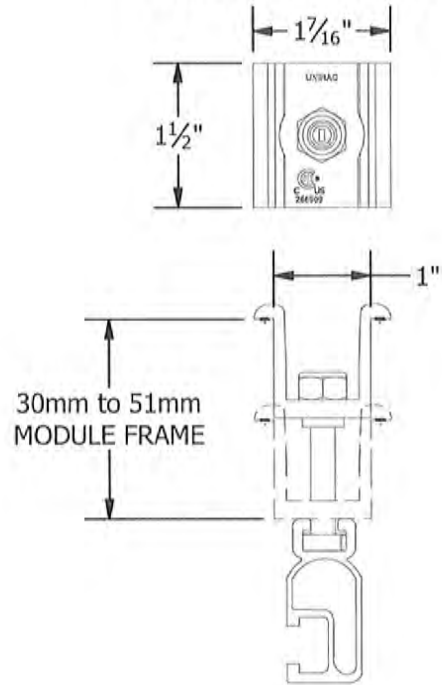
SM-P01

SHEET

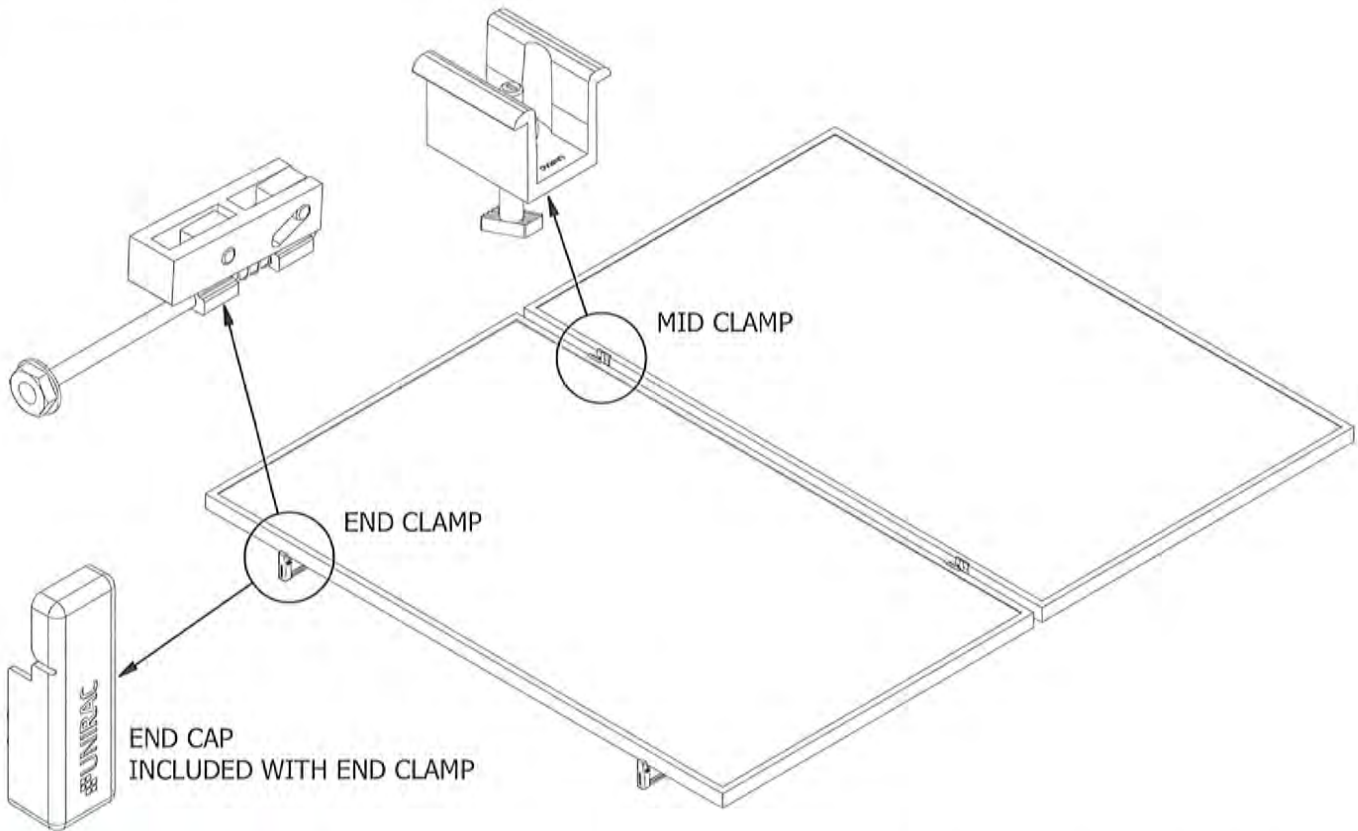
PRO SERIES END CLAMP



PRO SERIES MID CLAMP



PART # TABLE	
P/N	DESCRIPTION
302035M	ENDCLAMP PRO
302030M	MIDCLAMP PRO - MILL
302030D	MIDCLAMP PRO - DRK



1411 BROADWAY BLVD. NE
ALBUQUERQUE, NM 87102 USA
PHONE: 505.242.6411
WWW.UNIRAC.COM

PRODUCT LINE:	SOLARMOUNT
DRAWING TYPE:	PART & ASSEMBLY
DESCRIPTION:	PRO SERIES BONDING CLAMPS
REVISION DATE:	10/26/2017

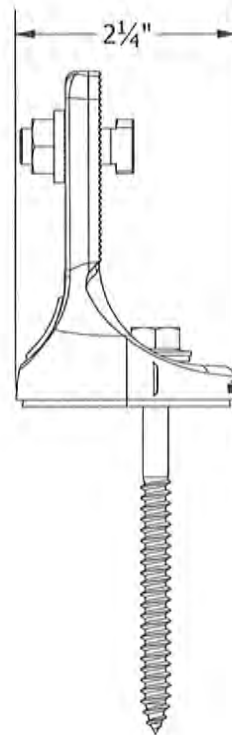
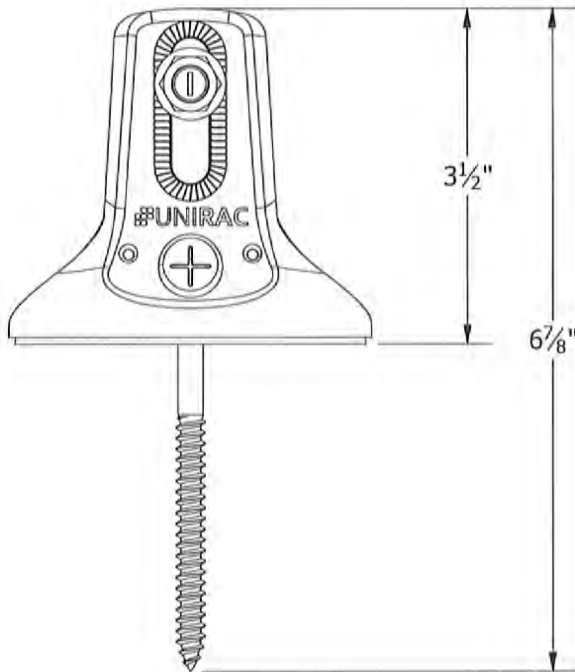
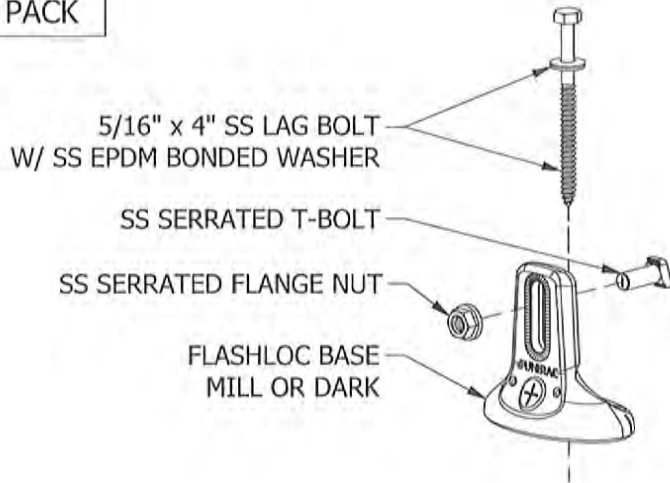
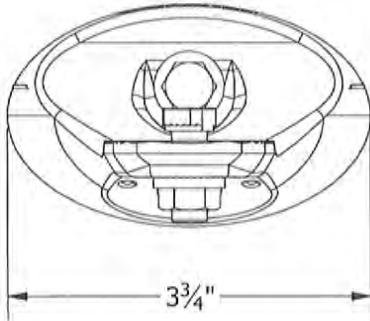
DRAWING NOT TO SCALE
ALL DIMENSIONS ARE
NOMINAL

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SM-A01
SHEET

PART TABLE

P/N	DESCRIPTION
004085M	FLASHLOC COMP KIT MILL, 20 PACK
004085D	FLASHLOC COMP KIT DARK, 20 PACK



1411 BROADWAY BLVD. NE
 ALBUQUERQUE, NM 87102 USA
 PHONE: 505.242.6411
 WWW.UNIRAC.COM

PRODUCT LINE:	SOLARMOUNT
DRAWING TYPE:	PART DRAWING
DESCRIPTION:	FLASHLOC COMP KIT
REVISION DATE:	4/28/2020

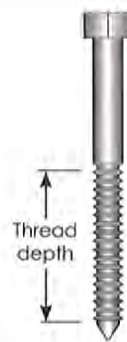
DRAWING NOT TO SCALE
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FL-A01
 SHEET

Table 11. Lag pull-out (withdrawal) capacities (lbs) in typical roof lumber (ASD)

	Lag screw specifications	
	Specific gravity	5/16" shaft,* per inch thread depth
Douglas Fir, Larch	0.50	266
Douglas Fir, South	0.46	235
Engelmann Spruce, Lodgepole Pine (MSR 1650 f & higher)	0.46	235
Hem, Fir, Redwood (close grain)	0.43	212
Hem, Fir (North)	0.46	235
Southern Pine	0.55	307
Spruce, Pine, Fir	0.42	205
Spruce, Pine, Fir (E of 2 million psi and higher grades of MSR and MEL)	0.50	266



Use Table 11 and 12 to select a lag bolt or concealor screw size and embedment depth to satisfy your Uplift Point Load Force, R_{U} (lbs), requirements.

It is the installer's responsibility to verify that the substructure and attachment method is strong enough to support the maximum point loads calculated according to Step 4 and Step 5.

Sources: American Wood Council, NDS 2005, Table 11.2A, 11.3.2A.

Notes: (1) Thread must be embedded in the side grain of a rafter or other structural member integral with the building structure.

(2) Lag bolts must be located in the middle third of the structural member.

(3) These values are not valid for wet service.

(4) This table does not include shear capacities. If necessary, contact a local engineer to specify lag bolt size with regard to shear forces.

(5) Install lag bolts with head and washer flush to surface (no gap). Do not over-torque.

(6) Withdrawal design values for lag screw connections shall be multiplied by applicable adjustment factors if necessary. See Table 10.3.1 in the American Wood Council NDS for Wood Construction.

*Use flat washers with lag screws. Flat washers are not necessary with concealor screws.

SSL Fastener Installation Info:

- 5/16 Stainless Steel Lag Bolt
- 3.5 - 4 inches long
- 2" X 6" Rafters only
- Pilot Hole 7/32 or 3/16
- > 600 lbs pull out per
- Penetration (Every 48")
- UV stabilized outdoor sealant (Chemlink M-1)

Table 12. Concealor Screw pull-out (withdrawal) ultimate capacities (lbs)

Fastener	Wood Type						
	1/2" Plywood	5/8" Plywood	3/4" Plywood	7/16" OSB	13/32" OSB	21/32" OSB	2x4 SYP
#10-12 GP	350	390	550	234	326	352	800
#10-9 GP	362	396	558	235	331	358	810
#12-14 DP1/Lap	376	415	598	251	351	378	860
#12-14 GP	377	418	600	255	356	382	865

Sources: Triangle Fasteners Form #JS091805 REV4

Notes: (1) A minimum safety factor of 3 should be used.

(2) Concealor screws must be located in the middle third of the structural member.

(3) This table does not include shear capacities. Contact Triangle Fasteners for more information.

(4) Install screws with head flush with mount surface (no gap). Do not over-torque.

10 year limited Product Warranty

Unirac, Inc., warrants to the original purchaser ("Purchaser") of product(s) that it manufactures ("Product") at the original installation site that the Product shall be free from defects in material and workmanship for a period of ten (10) years, from the earlier of 1) the date the installation of the Product is completed, or 2) 30 days after the purchase of the Product by the original Purchaser.

The Warranty does not apply to any foreign residue deposited on the finish. All installations in corrosive atmospheric conditions are excluded. This Warranty does not cover damage to the Product that occurs during its shipment, storage, or installation.

This Warranty shall be VOID if installation of the Product is not performed in accordance with Unirac's written installation instructions and design specifications therein, or if the Product has been modified, repaired, or reworked in a manner not previously authorized by Unirac IN WRITING, or if the Product is installed in an environment for which it was not designed. Unirac shall not be liable for consequential, contingent or incidental damages arising out of the use of the Product by Purchaser under any circumstances.

If within the specified Warranty period the Product shall be reasonably proven to be

defective, then Unirac shall repair or replace the defective Product, or any part thereof, in Unirac's sole discretion. Such repair or replacement shall completely satisfy and discharge all of Unirac's liability with respect to this limited Warranty. Under no circumstances shall Unirac be liable for special, indirect or consequential damages arising out of or related to use by Purchaser of the Product.

Manufacturers of related items, such as PV modules and flashings, may provide written warranties of their own. Unirac's limited Warranty covers only its Product, and not any related items.

Glossary

- **ASCE 7-05** = The most current standard referenced in the International Building Code 2006 used to calculate minimum design loads for buildings and other structures.
- **P_{net} , Design Wind Load (psf)** = the calculated load due to wind using ASCE 7-05 Standard
- **λ , adjustment factor for height and exposure category** = a weighted factor to increase or decrease the wind load based on local geography and building height
- **K_z , Topographic Factor at mean roof height, h (ft)** = a weighted factor to increase or decrease the wind load based on local topography
- **I, Importance Factor** = a weighted factor to increase or decrease the load based on occupancy usage.
- **P_{net30} (psf), net design wind pressure for Exposure B, at height, h = ft, Importance Factor, I = 1** = a value for wind load used in Method 1 for calculating wind load for components and cladding
- **V (mph), Basic Wind Speed** = the largest 3 second gust of wind recorded in the last 50 years in a local area
- **h, roof height (ft)** = total roof height for flat roof buildings or mean roof height for pitched roof buildings
- **A, Effective Wind Area (sf)** = minimum total continuous area of modules being installed
- **Roof Zone** = the relative location on the roof in which you are installing the pv system according to Figure 2, page ???
- **a, Roof Zone setback length (ft)** = the distance from the edge of a roof that determines the boundaries of the roof zones defined in ASCE 7-05
- **Roof Pitch (degrees)** = the slope of the roof of a building or structure measured at an acute angle to the horizon
- **Exposure Category (B, C, D)** = a classification of the surface roughness of the surrounding terrain
- **Downforce** = the positive value of wind load calculated perpendicular and toward the surface of a structure
- **Uplift** = the negative value of wind load calculated perpendicular and away from the surface of a structure
- **D, Dead Load (psf)** = the self weight on a structure or component of a structure over a given area
- **S, Snow Load (psf)** = the required design load due to snow
- **P, Total Design Pressure (psf)** = the resultant load calculated using Dead, Snow and Wind as factors
- **w, distributed load (plf)** = the average load per foot applied to a beam or other member
- **B, module length perpendicular to rails (ft)** = the length of a solar module measured perpendicular to the beams or rails of a racking system
- **L, Beam Span or Foot Spacing (ft)** = the unsupported distance between supports on a beam, the distance between connections on a beam or rail
- **R, Point Load (lbs)** = the amount of force applied at the point of contact of the racking system to the substructure

Single Phase Inverter with HD-Wave Technology

for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US /
SE7600H-US / SE10000H-US / SE11400H-US

INVERTERS



Optimized installation with HD-Wave technology

- Specifically designed to work with power optimizers
- Record-breaking 99% weighted efficiency
- Quick and easy inverter commissioning directly from a smartphone using the SolarEdge SetApp
- Fixed voltage inverter for longer strings
- Integrated arc fault protection and rapid shutdown for NEC 2014 and 2017, per article 690.11 and 690.12
- UL1741 SA certified, for CPUC Rule 21 grid compliance
- Small, lightweight, and easy to install both outdoors or indoors
- Built-in module-level monitoring
- Optional: Faster installations with built-in consumption metering (1% accuracy) and production revenue grade metering (0.5% accuracy, ANSI C12.20)

powered by

Q.ANTUM DUO

Q.PEAK DUO L-G5.2

380-405

ENDURING HIGH
PERFORMANCE



Q.ANTUM TECHNOLOGY: LOW LEVELISED COST OF ELECTRICITY

Higher yield per surface area, lower BOS costs, higher power classes, and an efficiency rate of up to 20.3%.



INNOVATIVE ALL-WEATHER TECHNOLOGY

Optimal yields, whatever the weather with excellent low-light and temperature behaviour.



ENDURING HIGH PERFORMANCE

Long-term yield security with Anti LID Technology, Anti PID Technology¹, Hot-Spot Protect and Traceable Quality Tra.Q™.



EXTREME WEATHER RATING

High-tech aluminium alloy frame, certified for high snow (5400 Pa) and wind loads (2400 Pa).



A RELIABLE INVESTMENT

Inclusive 12-year product warranty and 25-year linear performance warranty².



STATE OF THE ART MODULE TECHNOLOGY

Q.ANTUM DUO combines cutting edge cell separation and innovative wiring with Q.ANTUM Technology.

¹ APT test conditions according to IEC/TS 62804-1:2015, method B (-1500V, 168h)

² See data sheet on rear for further information.

THE IDEAL SOLUTION FOR:



Rooftop arrays on
commercial/industrial
buildings



Ground-mounted
solar power plants

Engineered in Germany

Q CELLS

BOARD ACTION FORM

AGENDA DATE:

PZHAC: December 5, 2022

BOT:

ITEM:

PZHAC Case #061493 – 2500 Calle de Colon, submitted by Maria Araios, on SE side of property to remove dead tree, remove chain link fence, place culvert in ditch, and lay 4” base course on existing material (24’ wide x 50’ length on). Zoned: Historical Residential (HR)

BACKGROUND AND ANALYSIS:

It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter 18.35.

SUPPORTING INFORMATION:

- Application
- Site Plan

PZHAC ACTION:

The PZHAC may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

BOT OPTIONS:

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 100⁰⁰
 Review Fee \$ 18⁰⁰
 Total Fee \$ 118⁰⁰

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061493 **ZONE:** HR **CODE:** _____ **APPLICATION DATE:** 11/16/22
Name of Property Owner Maria Avalos **Property Owner's Telephone Number** (575) 404-6006
Property Owner's Mailing Address 2500 Calle de Colon **City** Mesilla **State** NM **Zip Code** 88046
Property Owner's E-mail Address A.Salas1792@yahoo.com

Contractor's Name & Address (if none, indicate Self) Boyd Welch, Welch Dirt Work, Inc.
Contractor's Telephone Number 575 524-4711 **Contractor's Tax ID Number** 02-435378-00-7 **Contractor's License Number** 89930
575 650-4201 (cell)

Address of Proposed Work: 2500 Calle de Colon, Mesilla, NM 88046

Description of Proposed Work: Take out one tree (dead), Tear down Chainlink fence. Place Culvert in ditch. Shape and compact existing Material. Lay 4 inches of base course. Shape and compact approximately 24ft wide x 50ft long

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. N/A Foundation plan with details.
4. N/A Floor plan showing rooms, their uses, and dimensions.
5. N/A Cross section of walls.
6. N/A Roof and floor framing plan.
7. _____ Proof of legal access to the property.
8. N/A Drainage plan.
9. N/A Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. _____ Proof of legal access to the property.
12. _____ Other information as necessary or required by the Town Code or Community Development Department.

Estimated Cost \$ 4,600.00 **Signature of Applicant** Boyd Welch **Date** 11/16/22

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date Issued.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO **BOT APPROVAL REQUIRED:** YES NO
CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ **ISSUE DATE:** _____

OWNER:
 MARIA A. AVALOS
 INSTRUMENTS OF OWNERSHIP: REC#2110772
 APRIL 6, 2021

PART OF USRS
 TRACT 11A-168A
 STEVE I. DELGADO
 REC#1300505
 JAN 8, 2013

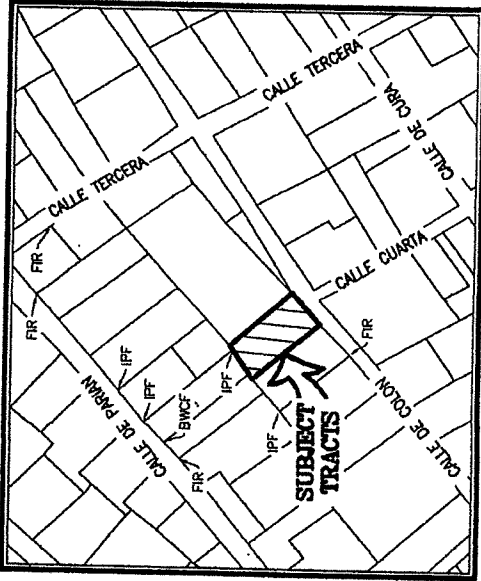
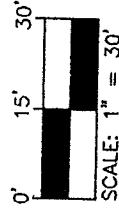
PART OF USRS
 TRACT 11A-168B
 MARTIN SEDILLO
 & LYDIA I. SEDILLO
 BK 238, PG 624

PART OF USRS
 TRACT 11A-168B
 EDUARDO R. LOPEZ
 & NATALIA G. LOPEZ
 BK 166, PG 340

PART OF USRS
 TRACT 11A-167B
 EDWARD APODACA
 REC#0733699
 OCT 1, 2007

PART OF USRS
 TRACT 11A-171C
 RAFAEL L. GECK, ET AL
 REC#1813612
 JUNE 5, 2018

PART OF USRS
 TRACT 11A-167AS
 JOANN QUESADA DIMATTEO
 REC#1906152
 MAR 22, 2019



VICINITY MAP
 NTS

VICINITY LEGEND

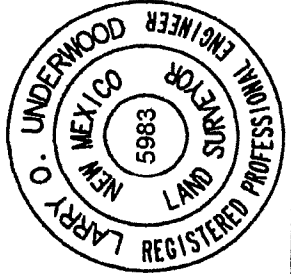
- IPF FOUND IRON PIPE
- FR FOUND IRON ROD
- BWCF FOUND BAR WITH CAP

SURVEYOR'S CERTIFICATION

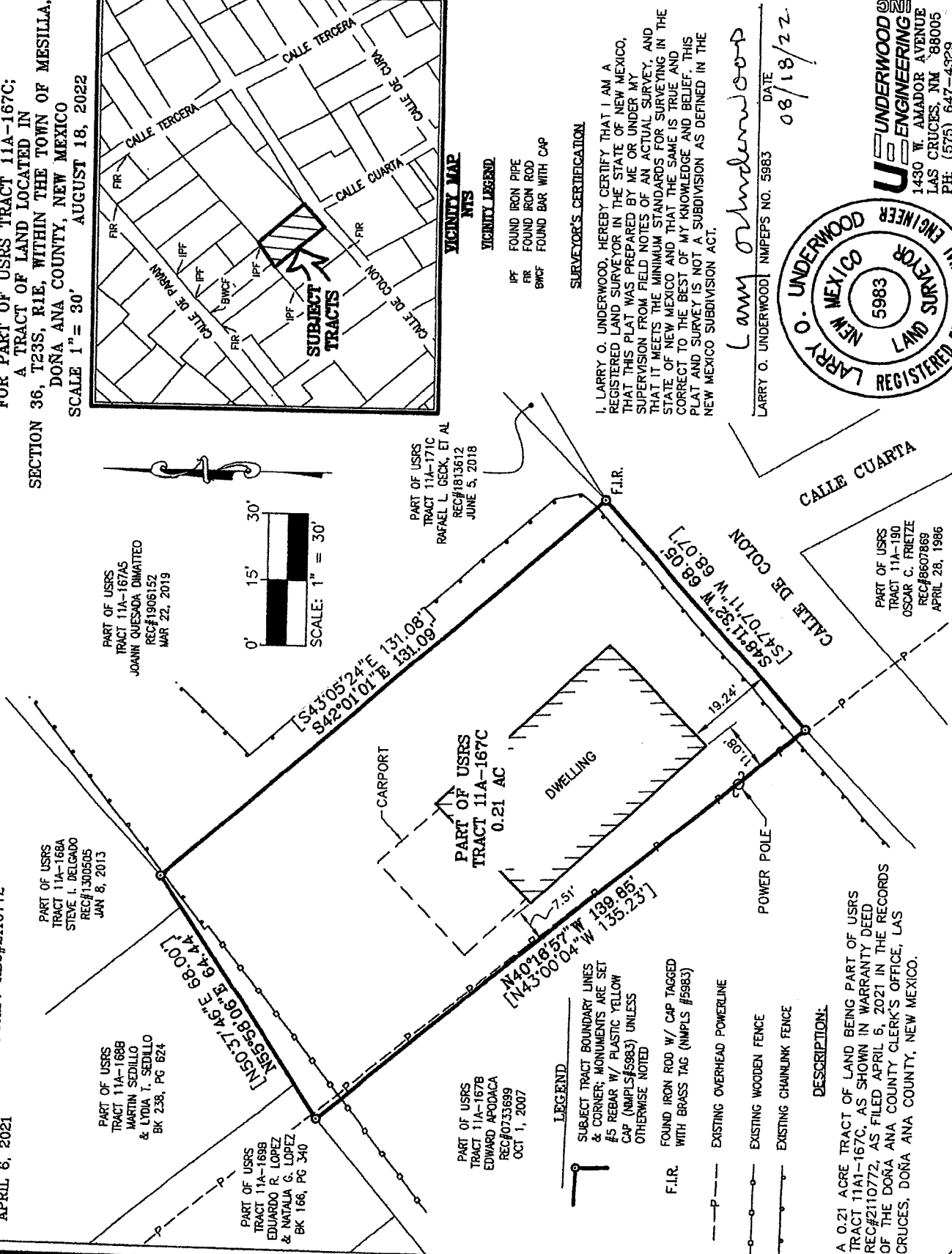
I, LARRY O. UNDERWOOD, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF NEW MEXICO, THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION FROM FIELD NOTES OF AN ACTUAL SURVEY, AND THAT IT MEETS THE MINIMUM STANDARDS FOR SURVEYING IN THE STATE OF NEW MEXICO AND THAT THE SAME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS PLAT AND SURVEY IS NOT A SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT.

Larry O. Underwood
 LARRY O. UNDERWOOD NMEPS NO. 5983

DATE
 08/18/22



UNDERWOOD ENGINEERING
 1430 W. AMADOR AVENUE
 LAS CRUCES, NM 88005
 PH (575) 647-4329
 PROJECT: 2244
 DRAWN BY: CRF



LEGEND

SUBJECT TRACT BOUNDARY LINES & CORNER MONUMENTS ARE SET #5 REBAR W/ PLASTIC YELLOW CAP (NIMPLS#5983) UNLESS OTHERWISE NOTED

F.I.R. FOUND IRON ROD W/ CAP TAGGED WITH BRASS TAG (NIMPLS #5983)

--- EXISTING OVERHEAD POWERLINE

--- EXISTING WOODEN FENCE

--- EXISTING CHAINLINK FENCE

DESCRIPTION:

A 0.21 ACRE TRACT OF LAND BEING PART OF USRS TRACT 11A1-167C, AS SHOWN IN WARRANTY DEED REC#2110772, AS FILED APRIL 6, 2021 IN THE RECORDS OF THE DONA ANA COUNTY CLERK'S OFFICE, LAS CRUCES, DONA ANA COUNTY, NEW MEXICO.

PART OF USRS
 TRACT 11A-180
 OSCAR C. FRIETZE
 REC#8607869
 APRIL 28, 1996

BOARD ACTION FORM

AGENDA DATE:

PZHAC: December 5, 2022

BOT:

ITEM:

PZHAC Case #061494 – 2970 Camino Castillo, submitted by Dino & Leslie Cervantes for a full house renovation/additions. Zoned: Single Family Residential (R-1)

BACKGROUND AND ANALYSIS:

It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter 18.30.

SUPPORTING INFORMATION:

- Application
- Site, Floor, Roof, Foundation, Roof, & Electric Plans
- Exterior Elevation & Wall Section Plans

PZHAC ACTION:

The PZHAC may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

BOT OPTIONS:

**TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT**

Permit Fee \$ 9,949.00
 Review Fee \$ 1,012.50
 Total Fee \$ 10,961.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. _____ **ZONE:** R-1 **CODE:** _____ **APPLICATION DATE:** 11/30/22

Dino & Leslie Cervantes 575-640-3806
 Name of Property Owner Property Owner's Telephone Number
2970 Camino Castillo Las Cruces NM 88005
 Property Owner's Mailing Address City State Zip Code
Dinoc@ceinm.com
 Property Owner's E-mail Address
Kevin McGinley DBA McGinley Const. Inc. PO Box 370 Mesilla, NM 88046 Kevin@mcginley-construction.com
 Contractor's Name & Address (If none, indicate Sell)
575-993-0341 85-0315192 22522
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number
 Address of Proposed Work: 2970 Camino Castillo
 Description of Proposed Work: Whole house renovation / Additions

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of legal access to the property.
8. Drainage plan.
9. NA Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

Hard cost O&P &GRT not included

\$667,562.00 [Signature] 11/30/22
 Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO
 CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

CERVANTES RESIDENCE RENOVATIONS

2970 CAMINO CASTILLO
LAS CRUCES, NM 88005

CONTECH LLC

CONSULTING & DESIGN
Box 3324
Las Cruces, NM 88003
575 649 4073
luis@contech-llc.com
Luis Rios

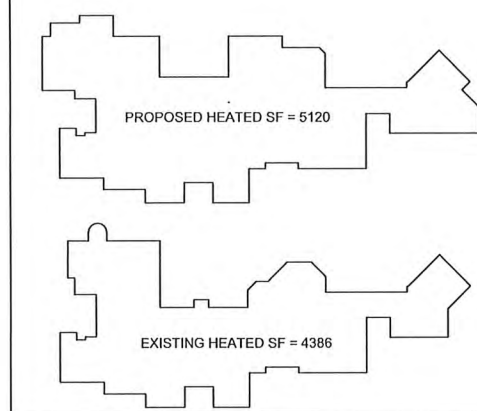
GENERAL NOTES

- NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ANY EXISTING CONDITIONS THAT CONTRACTOR COULD HAVE ACCOUNTED FOR BY VISUAL INSPECTION OR BY EXAMINATION OF THE INFORMATION PROVIDED OR ON FILE IN THE CONSULTANT'S OFFICE PRIOR TO SUBMITTING HIS BID
- A CONFLICT OR DISCREPANCY BETWEEN OR AMONG THE CONTRACT DOCUMENTS SUCH AS PLANS, WITHIN TECHNICAL SPECIFICATIONS, OR BETWEEN PLANS AND TECHNICAL SPECIFICATIONS SHALL BE RESOLVED IN THE FOLLOWING ORDER OF PRIORITY:
 - THE GENERAL CONSTRUCTION AGREEMENT
 - ADDENDA AND REVISIONS OF LATER DATE TAKE PRECEDENCE OVER THOSE OF EARLIER DATE.
 - THE SUPPLEMENTARY CONDITIONS
 - THE GENERAL CONDITIONS
 - PLANS AND SPECIFICATIONS: PLANS GOVERN OVER TECHNICAL SPECIFICATIONS FOR QUANTITY AND LOCATION, AND SPECIFICATIONS GOVERN OVER PLANS FOR QUALITY AND PERFORMANCE. IN THE EVENT OF AMBIGUITY IN QUANTITY OR QUALITY, THE GREATER QUANTITY AND THE BETTER QUALITY SHALL GOVERN.
- ANY LABOR OR MATERIALS NOT SHOWN ON PLANS OR SPECIFIED BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK, SHALL BE FURNISHED WITHOUT ADDITIONAL COST.
- EQUIPMENT IS LOCATED DIAGRAMMATICALLY. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR WHEN LOCATION OF SUCH ITEMS ARE IN CONFLICT WITH STRUCTURAL CONDITIONS OR WORK FROM OTHER TRADES. QUESTIONS SHALL BE DIRECTED TO ARCHITECT AND HIS DECISIONS SHALL BE FINAL. NO ADDITIONAL COST WILL BE INCURRED DUE TO CONFLICTS.
- DRAWINGS INTEND TO MEET OR EXCEED CODE STANDARDS BUT, IF ANY WORK SHOULD BE INDICATED TO BE SUBSTANDARD IN RELATION TO ANY ORDINANCES, LAWS, CODES, RULES AND REGULATIONS, THE GENERAL CONTRACTOR SHALL CONTACT THE DESIGNER AND PER HIS DIRECTION SHALL EXECUTE THE WORK CORRECTLY WITHOUT ADDITIONAL COST.
- INTERPRETATION OF DETAILS, METHODS, SPECIFICATIONS, ETC. THE GENERAL CONTRACTOR, SUBCONTRACTOR, AND MATERIAL SUPPLIER SHALL BE HELD SEPARATELY AND JOINTLY RESPONSIBLE FOR THE PROPER OPERATION, WORKMANSHIP, INSTALLED OPERATIONS, APPEARANCE AND DURABILITY OF ITEMS INCORPORATED INTO THE PROJECT. THE EXCUSE THAT IT WAS NOT INSTALLED AS DETAILED OR SPECIFIED AND IT DOES NOT FUNCTION PROPERLY IS NOT VALID. IF THE CONTRACTOR IS IN DISAGREEMENT WITH ANY ITEMS, DETAILS, METHODS OR SPECIFICATIONS, HE SHALL NOTIFY THE DESIGNER IN WRITING PRIOR TO THE INSTALLATION OF THE WORK. SUCH MATTERS WILL BE CLARIFIED IN WRITING BY THE DESIGNER, PRIOR TO THEIR INCORPORATION INTO THE PROJECT, AND THE DESIGNER'S DECISION WILL BE FINAL.
- DIMENSIONS SHOWN IN DOOR AND WINDOW SCHEDULES ARE NOMINAL. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ACTUAL DIMENSIONS BEFORE BIDDING, ORDERING OR INSTALLING SUCH ITEMS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER AND SHALL BE CORRECTED WITHOUT ADDITIONAL COST.
- THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS REQUIRED. OWNER WILL REIMBURSE CONTRACTOR FOR PERMIT COST.
- THE GENERAL CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT AS REQUIRED TO COMPLETE ALL WORK AND FURNISH A COMPLETE JOB IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL GOVERNING AUTHORITIES HAVING LAWFUL JURISDICTION OVER THE WORK.
- WHEN PLANS INDICATE WITH NOTE FURNISH OR PROVIDE, CONTRACTOR SHALL INCLUDE MATERIALS, EQUIPMENT AND LABOR FOR A FULL INSTALLATION.

SHEET INDEX

SHEET NO.	SHEET CONTENT
G 1.0	COVER SHEET & SITE PLAN
S 1.0	FOUNDATION PLAN
S 2.0	ROOF FRAMING PLAN
D 2.0	DEMO / PROPOSED PLAN
A 1.0	FLOOR PLAN
A 2.0	ROOF PLAN
A 3.0	EXTERIOR ELEVATIONS
E 1.0	ELECTRICAL PLAN

SQUARE FOOTAGES NTS



CONTACT LIST

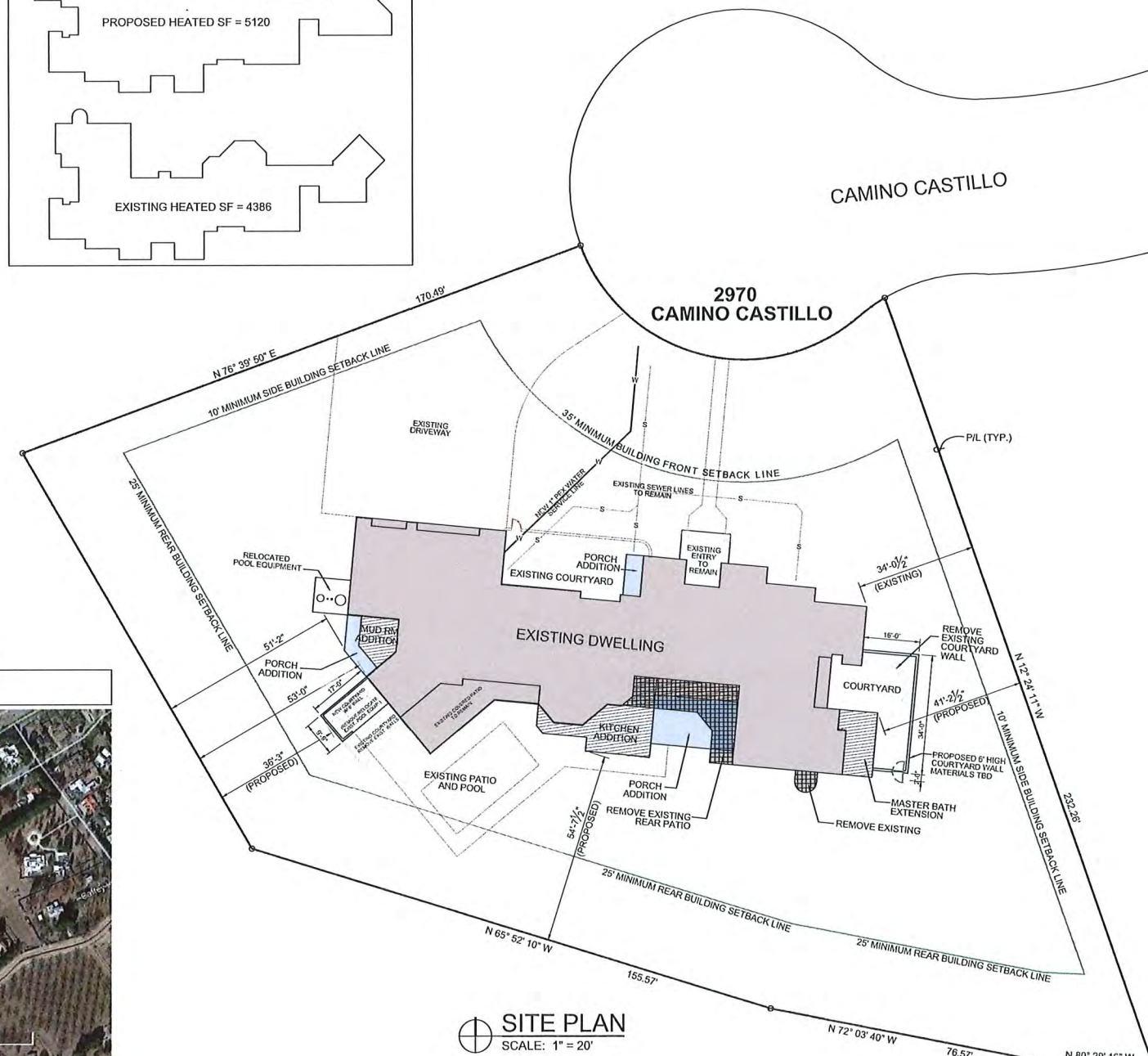
Consultant / Drafting & Design

Contech LLC Consulting & Design
Luis Rios
Box 3324
Las Cruces, NM 88003
575.649.4073
luis@contech-llc.com

VICINITY MAP



PROJECT LOCATION



Cervantes Residence Renovations
2970 Camino Castillo
Las Cruces, NM 88005

GENERAL PROJECT INFORMATION

VICINITY MAP

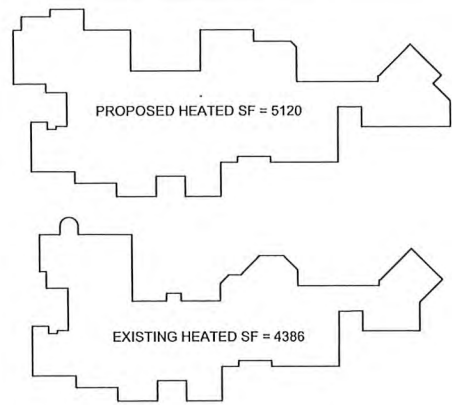
SITE PLAN

SHEET INDEX

Date: 8-31-2022
Drawn by:
Revision: 11-14-22

G1.0

SQUARE FOOTAGES NTS



WALL TYPE LEGEND

- NEW WOOD FRAME WALL (2 x 4 & 2 x 6)
(MATCH EXISTING CONSTRUCTION INCLUDING WIDTH, TYPE, HEIGHT, MATERIALS, ETC.)
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED

HEATED AREA SQUARE FOOTAGES

EXISTING: 4,386 SF
PROPOSED: 5,120 SF

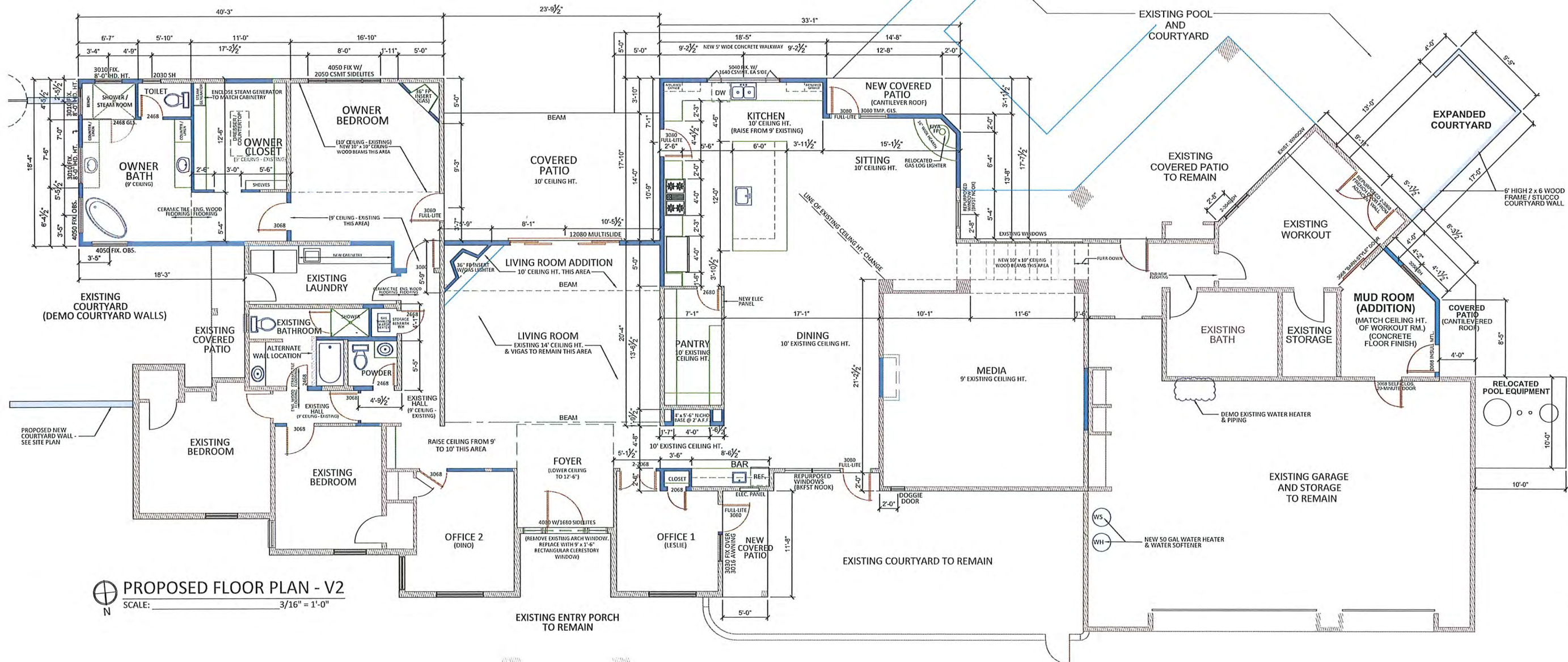
GENERAL SHEET NOTES

- A. DIMENSIONS SHOW ON PLANS ARE BASED ON CONSTRUCTION DRAWINGS FOR PREVIOUS PHASES OF CONSTRUCTION OF THIS DWELLING. DESIGNER DOES NOT GUARANTEE THAT DIMENSIONS ARE EXACT IN PARTICULAR, WITH REGARD TO LOCATIONS OF EXISTING WALLS AND HEIGHTS OF CEILINGS, PARAPETS, ETC.
- B. GENERAL CONTRACTOR SHALL FIELD MEASURE AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES FOUND PLEASE CONTACT DESIGNER.
- C. CEILING HEIGHTS SHALL MATCH HEIGHTS OF EXISTING AREAS; CONTRACTOR TO VERIFY.
- D. ALL MATERIALS SHALL MATCH EXISTING MATERIALS AS CLOSELY AS POSSIBLE.
- E. REMOVE/REPLACE, AND / OR MODIFY PLUMBING, HVAC, AND ELECTRICAL SYSTEMS IN AFFECTED AREAS AS REQUIRED. INSTALL NEW FIXTURES PER OWNER'S SPECIFICATIONS.
- F. NEW ELECTRICAL AND MECHANICAL SERVICES MAY REQUIRE ADDITIONAL DESIGN SERVICES AND ARE THE RESPONSIBILITY OF THE ELECTRICAL AND MECHANICAL SUB-CONTRACTORS. BOTH SUB-CONTRACTORS TO IDENTIFY AND ADVISE HOME OWNER OF ANY ADDITIONAL PLANNING NEEDS.
- G. REMOVE EXISTING WOOD FLOORING WHERE PRESENT. REPLACE WITH ENGINEERED WOOD FLOORING. REMOVE REMAINING FLOORING IN AREAS DESIGNATED BY OWNER AND REPLACE WITH MATCHING ENGINEERED WOOD FLOORING OR TILE (SEE PLAN). ADJUST EXISTING SUBFLOOR CONDITIONS WITH CONCRETE OR ROUGH WOOD FRAMING TO ACCOMMODATE AN EVEN FLOOR PLANE THROUGHOUT.
- H. MODIFICATIONS TO EXISTING PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE IN ACCORDANCE WITH RESPECTIVE CODES. SUCH MODIFICATIONS SHALL INCLUDE THE ABANDONMENT OF SERVICE TO/FROM EXISTING UNITS AND DEVICES, AS WELL AS SERVICE TO/FROM PROPOSED UNITS AND DEVICES. SUCH MODIFICATIONS SHALL BE MADE IN COORDINATION WITH OWNER, RESPECTIVE SUBCONTRACTOR, AND GENERAL CONTRACTOR.
- I. GENERAL CONTRACTOR SHALL MAKE EVERY EFFORT TO SALVAGE MATERIALS AND DEVICES IN SUCH A WAY THAT THEY MAY EITHER BE REUSED ON THE PROJECT, OR MAY BE SAVED OR DISPOSED OF AT THE WILL OF THE OWNER. IN PARTICULAR, OWNER WISHES TO REUSE WOODEN BEAMS, WINDOWS, AND DOORS AT LOCATIONS EITHER SPECIFIED ON PLANS, OR TO BE DECIDED DURING CONSTRUCTION.
- J. GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER TO PERFORM THE WORK IN PHASES WHICH ALLOW OWNER TO MAINTAIN CONTINUOUS OCCUPATION OF THE RESIDENCE FOR AS LONG AS POSSIBLE.
- K. GENERAL CONTRACTOR SHALL ENSURE A SECURE AND SAFE WORK PLACE THROUGHOUT THE CONSTRUCTION PROCESS.
- L. GENERAL CONTRACTOR SHALL PERFORM EXTERIOR SIDE GRADING (CUT, FILL, COMPACTION) APPROPRIATE TO OWNER'S FUTURE PLANS FOR EXPANSION OF PATIOS, ETC. SUCH GRADING SHOULD ENSURE DRAINAGE AWAY FROM STRUCTURE AT 1:10 SLOPE.
- M. ALTHOUGH THE EXTERIOR WALL CORNERS ARE NOT SHOWN "ROUNDED", CONTRACTOR SHALL TERMINATE SUCH CORNERS "ROUNDED" TO MATCH EXISTING.
- N. GENERAL CONTRACTOR SHALL COORDINATE CABINETS AND COUNTERTOP SPECIFICATIONS, DETAILS, AND SPECIFIC PLACEMENT WITH CABINET SUPPLIER.
- O. ALL WINDOWS, DOORS AND MOLDINGS SHALL MATCH EXISTING BRAND AND STYLE.
- P. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FULFILL RESPECTIVE REQUIREMENTS OF, AND DOCUMENT/CERTIFY COMPLIANCE WITH, ALL APPLICABLE CODES, INCLUDING THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.

CONTECH LLC

CONSULTING & DESIGN
Box 3324
Las Cruces, NM 88003
575 649 4073
luis@contech-llc.com
Luis Rios

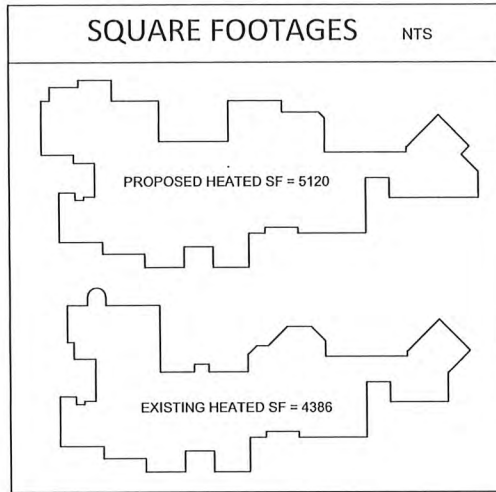
**Cervantes Residence Renovations
2970 Camino Castillo
Las Cruces, NM 88005**



FLOOR PLAN

Date: 8-31-2022
Drawn by:
Revision: 11-14-22

A1.0



WALL TYPE LEGEND

- NEW WOOD FRAME WALL (2 x 4 & 2 x 6)
(MATCH EXISTING CONSTRUCTION INCLUDING WIDTH, TYPE, HEIGHT, MATERIALS, ETC.)
- EXISTING WALL TO REMAIN
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HEATED AREA SQUARE FOOTAGES

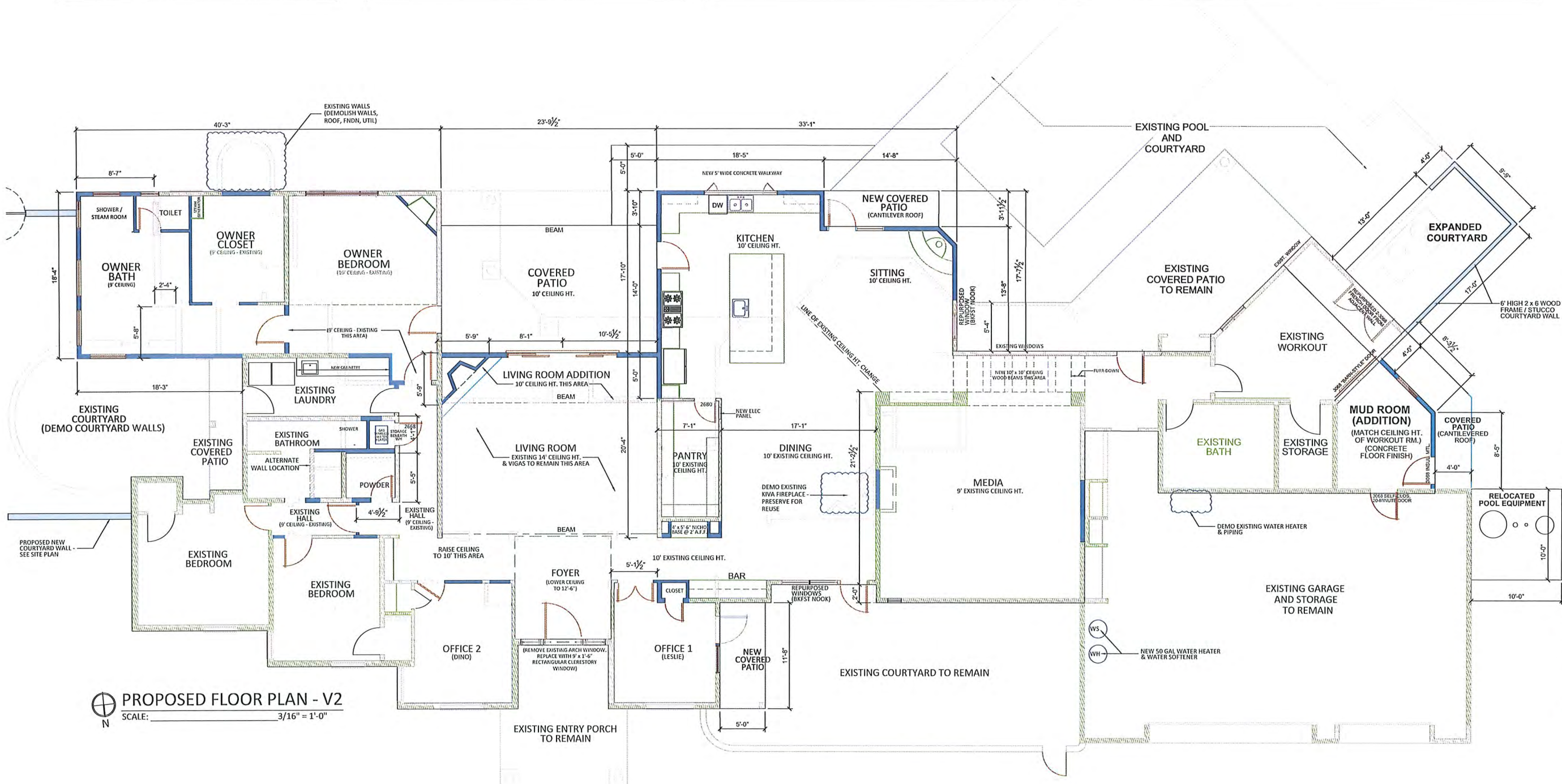
EXISTING: 4,386 SF

PROPOSED: 5,120 SF

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 - H. MODIFICATIONS TO EXISTING PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE IN ACCORDANCE WITH RESPECTIVE CODES. SUCH MODIFICATIONS SHALL INCLUDE THE ABANDONMENT OF SERVICE TO/FROM EXISTING UNITS AND DEVICES, AS WELL AS SERVICE TO/FROM PROPOSED UNITS AND DEVICES. SUCH MODIFICATIONS SHALL BE MADE IN COORDINATION WITH OWNER, RESPECTIVE SUBCONTRACTOR, AND GENERAL CONTRACTOR.
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CONTECH LLC

CONSULTING & DESIGN
 Box 3324
 Las Cruces, NM 88003
 575 649 4073
 luis@contech-llc.com
 Luis Rios



Cervantes Residence Renovations
2970 Camino Castillo
Las Cruces, NM 88005

REFERENCE FLOOR PLAN WITH RELATED DEMOLITION NOTES

Date: 8-31-2022
 Drawn by:
 Revision: 11-14-22

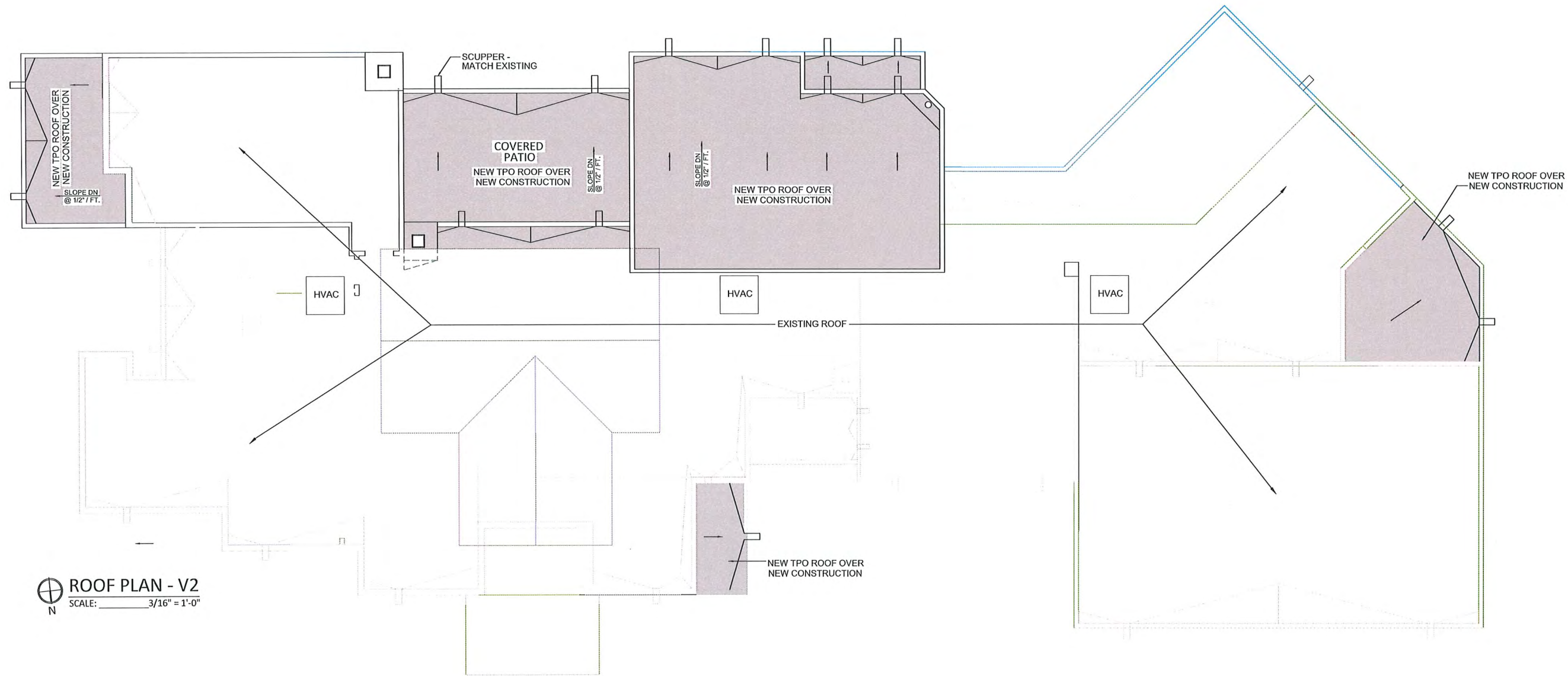
R1.0

PROPOSED FLOOR PLAN - V2
 SCALE: 3/16" = 1'-0"

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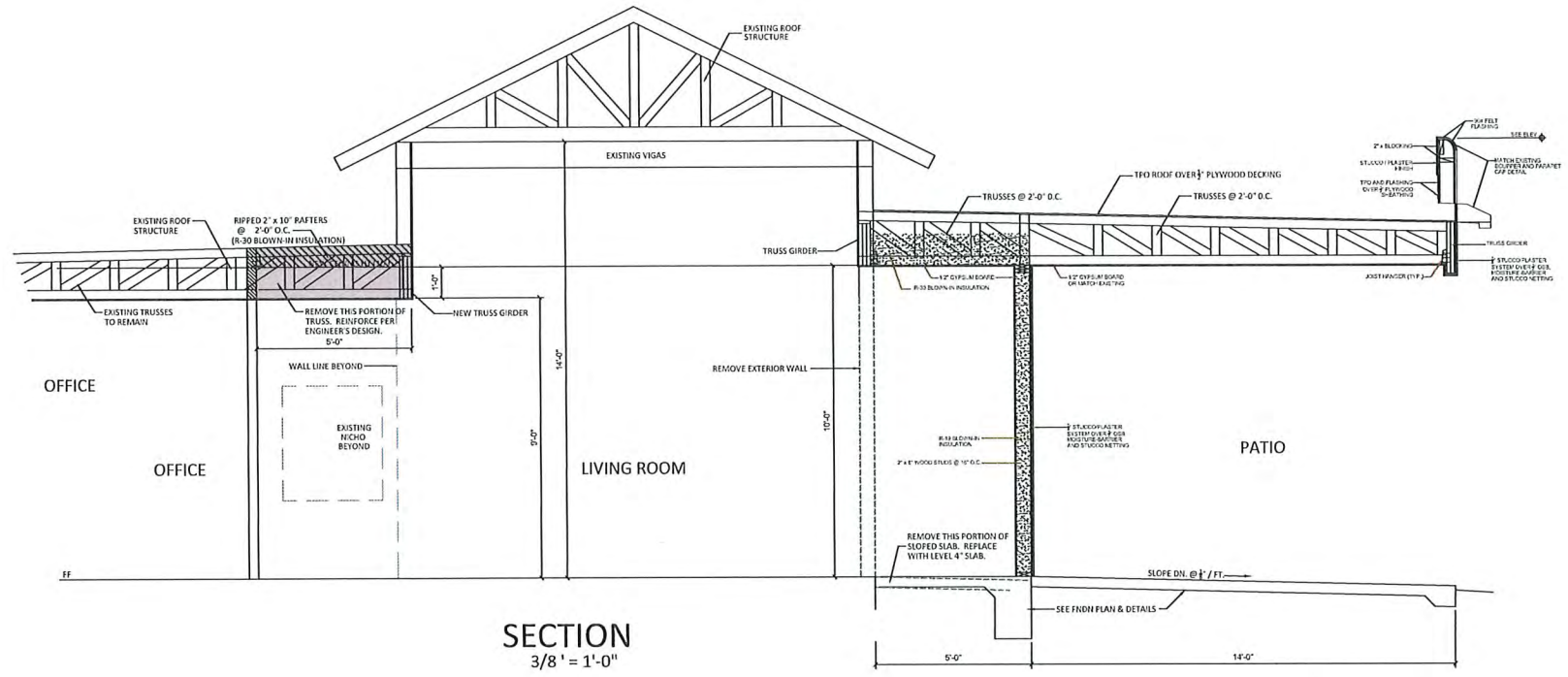


ROOF PLAN - V2
SCALE: 3/16" = 1'-0"

ROOF PLAN

Date: 8-31-2022
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Revision: 11-14-22

A2.0

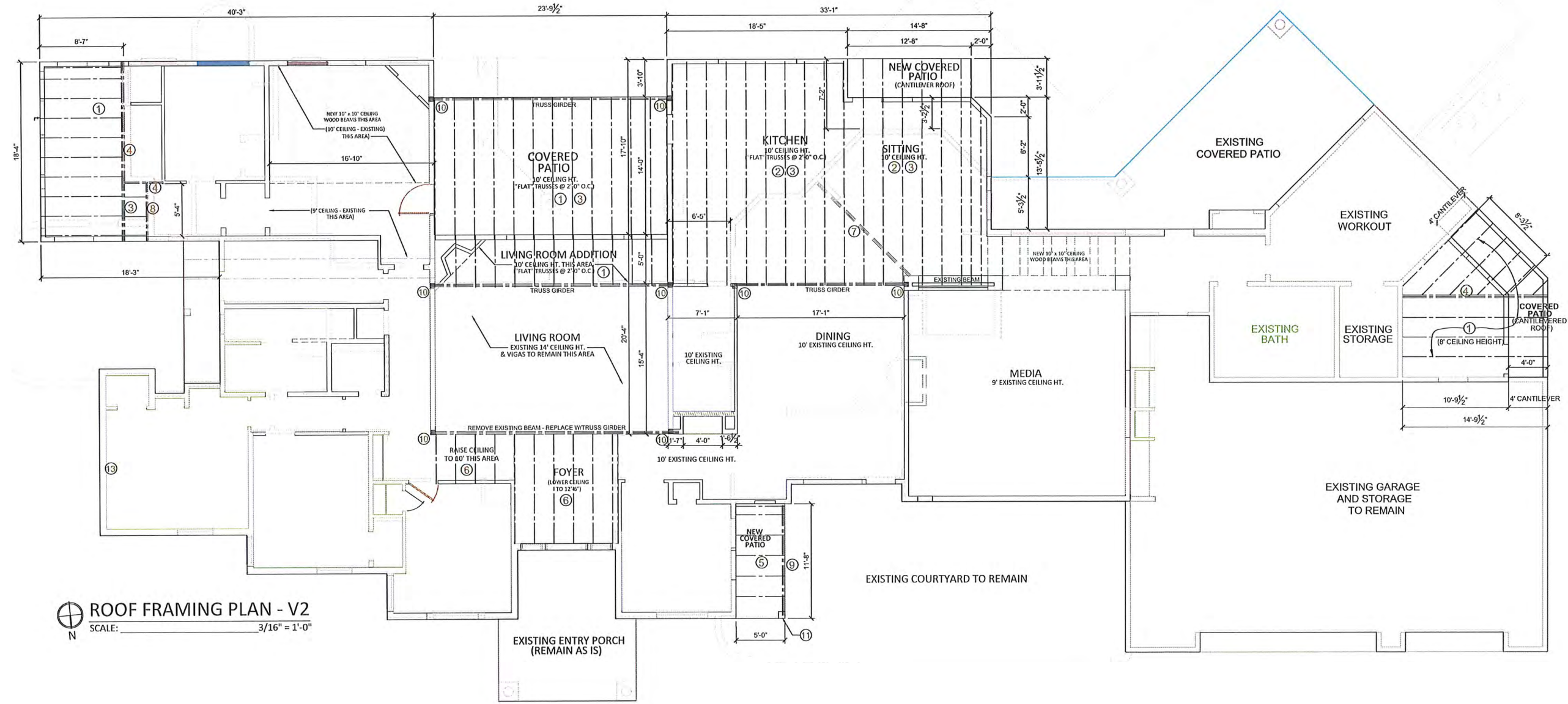


- SHEET KEYED NOTES**
1. PREFABRICATED WOOD TRUSSES. MATCH EXISTING SLOPE AND CEILING HEIGHT. PROVIDE DUCT CHASE IF APPLICABLE.
 2. PREFABRICATED WOOD TRUSSES. MATCH EXISTING SLOPE. RAISE CEILING HEIGHT TO MATCH CEILING HEIGHT OF ADJACENT, EXISTING FAMILY ROOM. PROVIDE DUCT CHASE IF APPLICABLE.
 3. REMOVE OR MODIFY EXISTING ROOF STRUCTURE THIS AREA AS NEEDED TO ACCOMMODATE INSTALLATION OF NEW TRUSS GIRDER AND TRUSSES FOR RENOVATED AND EXPANDED AREA.
 4. PRE-ENGINEERED TRUSS GIRDER
 5. 2" x 6" ROOF RAFTERS @ 2'-0" O.C.
 6. 2" x 10" CEILING JOISTS @ 2'-0" O.C.
 7. REMOVE EXISTING BEAM
 8. TRIPLE 2" x 12" WOOD BEAM
 9. DOUBLE 2" x 12" WOOD BEAM
 10. 5.5" SQ. LVL WOOD COLUMN
 11. 8" x 8" WOOD POST
 12. EXISTING ROOF/TRUSSES (TYP.)
 13. EXISTING WALL (TYP.)

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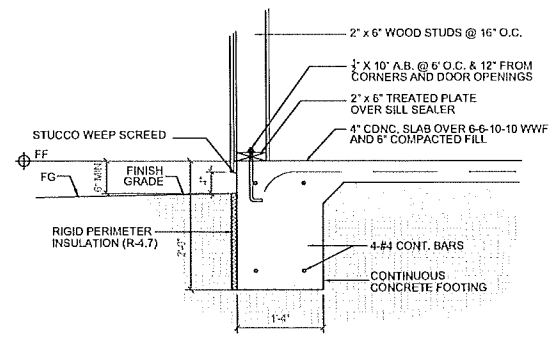


ROOF FRAMING PLAN - V2
 SCALE: 3/16" = 1'-0"

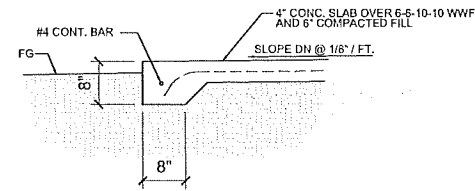
ROOF FRAMING PLAN SECTION

Date: 8-31-2022
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 Revision: 11-14-22

S2.0



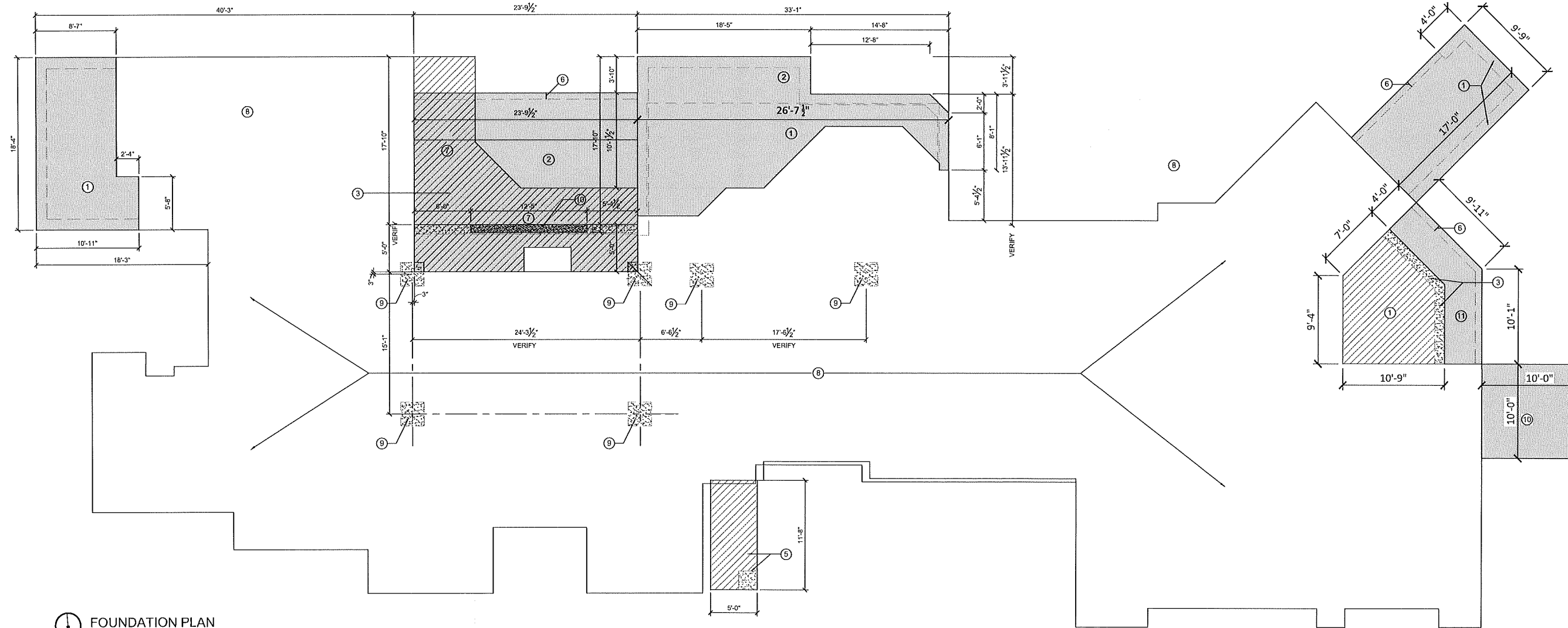
TYPICAL EXTERIOR WALL FOOTING
3/4" = 1'-0"



THICKENED SLAB EDGE
3/4" = 1'-0"

SHEET KEYED NOTES

1. NEW 4" THICK CONCRETE SLAB & FOOTING. MATCH ELEVATION OF EXISTING MAIN FF. SEE SECTION / DETAIL.
2. 4" THICK CONCRETE SLAB EXTENSION TO EXISTING PATIO SLAB. MATCH EXISTING PATIO FF ELEVATION AND SLOPE.
3. CUT EXISTING SLAB. PLACE 16" WIDE x 24" DEEP REINFORCED CONCRETE FOOTING. SEE SECTION / DETAIL.
4. 4" CONCRETE SLAB.
5. 2' x 2' x 18" DEEP CONCRETE SPOT FOOTING.
6. 8" x 8" THICKENED SLAB EDGE. SEE DETAIL.
7. NEW 4"+ CONCRETE SLAB OVER EXISTING, RECESSED SLAB. MATCH ELEVATION OF EXISTING, ADJACENT MAIN FF.
8. EXISTING FOUNDATION / BUILDING
9. CUT EXISTING PATIO SLAB TO ADD 24" x 24" x 24" DEEP SPOT FOOTING



FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

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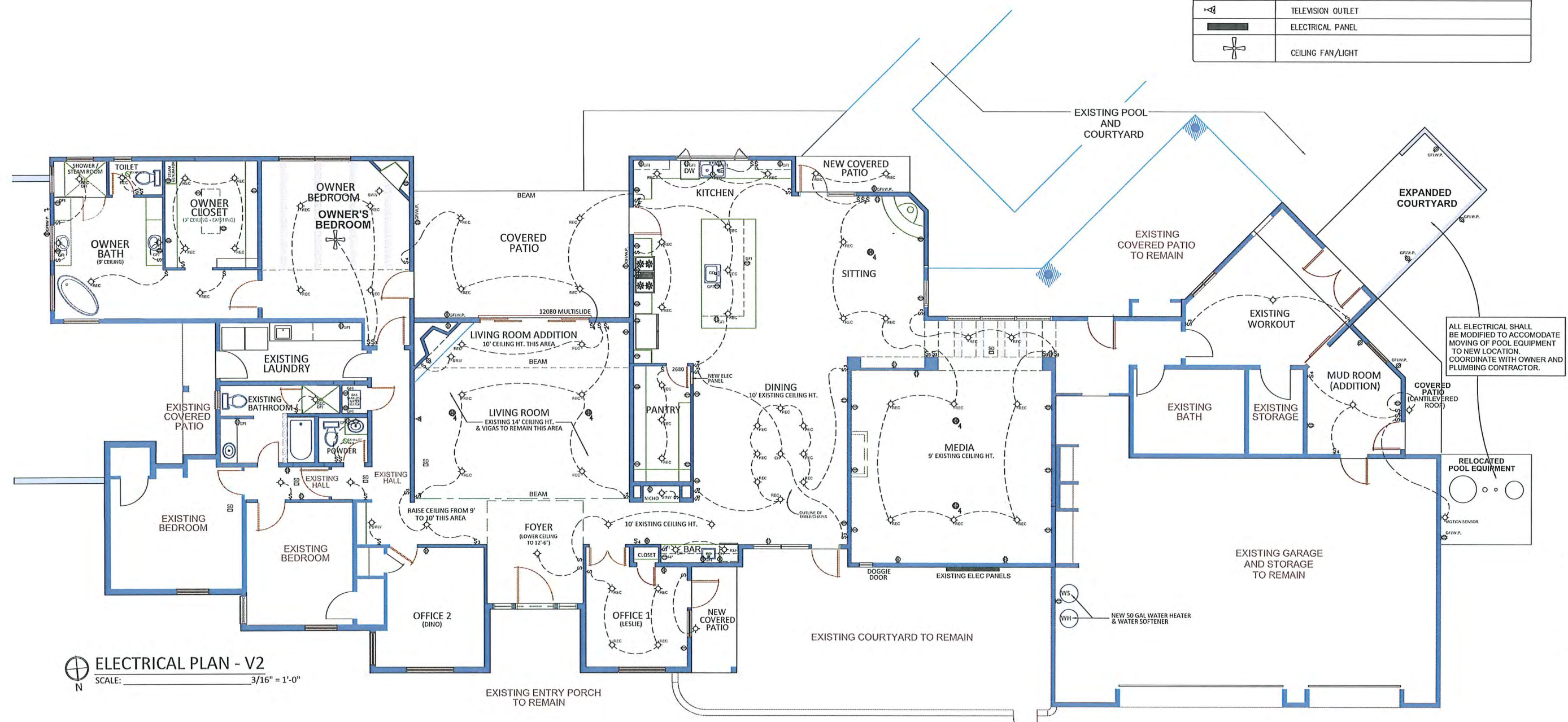
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FOUNDATION PLAN
FOOTING DETAILS

Date: 8-31-2022
Drawn by:
Revision: 11-14-22

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ELECTRICAL SYMBOLS LEGEND	
S	SINGLE POLE SWITCH
S ₃	THREE-WAY SWITCH
S ₄	FOUR-WAY SWITCH
Ⓧ	DUPLEX RECEPTACLE (see NOTE 6 below regarding receptacles at parapets above roof lines)
ⓍGFI	DUPLEX RECEPTACLE W/GROUND FAULT INTERRUPTER (GFI) receptacles along interior of parapets)
ⓍGFI/W.P.	DUPLEX RECEPTACLE W/GFI & WEATHER-PROOF COVER
Ⓧ	220 VOLT SINGLE RECEPTACLE
Ⓧ	4-PLEX RECEPTACLE
Ⓧ	4-PLEX FLOOR RECEPTACLE (GFI)
Ⓧ	FLOOR DUPLEX RECEPTACLE (GFI)
Ⓧ	WALL-MOUNTED, "SCONCE" TYPE LIGHT FIXTURE
Ⓧ	CEILING, SURFACE-MOUNTED, GENERAL LIGHTING FIXTURE
Ⓧ _{REC}	CEILING, RECESS-MOUNTED, LIGHTING FIXTURE
Ⓧ _{CH}	CEILING, SWIVEL-TYPE, RECESS-MOUNTED LIGHTING FIXTURE
Ⓧ _{SWIV}	CEILING, "CHANDELIER" TYPE/HANGING, LIGHTING FIXTURE
Ⓧ	EXTERIOR FLOOD LIGHT (MOTION SENSOR)
E.F.	EXHAUST FAN; CONTROLLED BY SWITCH
SD	SMOKE DETECTOR (HOT-WIRE AND BATTERY BACK-UP)
Ⓧ	TELEPHONE OUTLET
Ⓧ	SPEAKER OUTLET
Ⓧ	TELEVISION OUTLET
Ⓧ	ELECTRICAL PANEL
Ⓧ	CEILING FAN/LIGHT



ELECTRICAL PLAN - V2
 SCALE: 3/16" = 1'-0"

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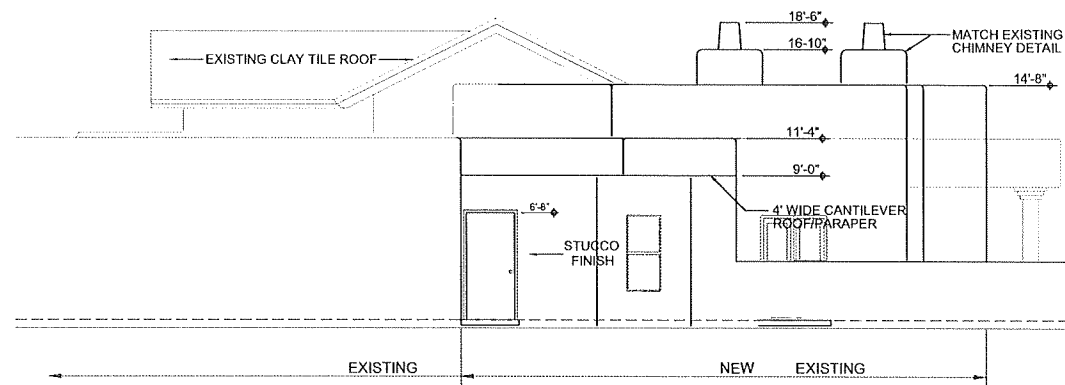
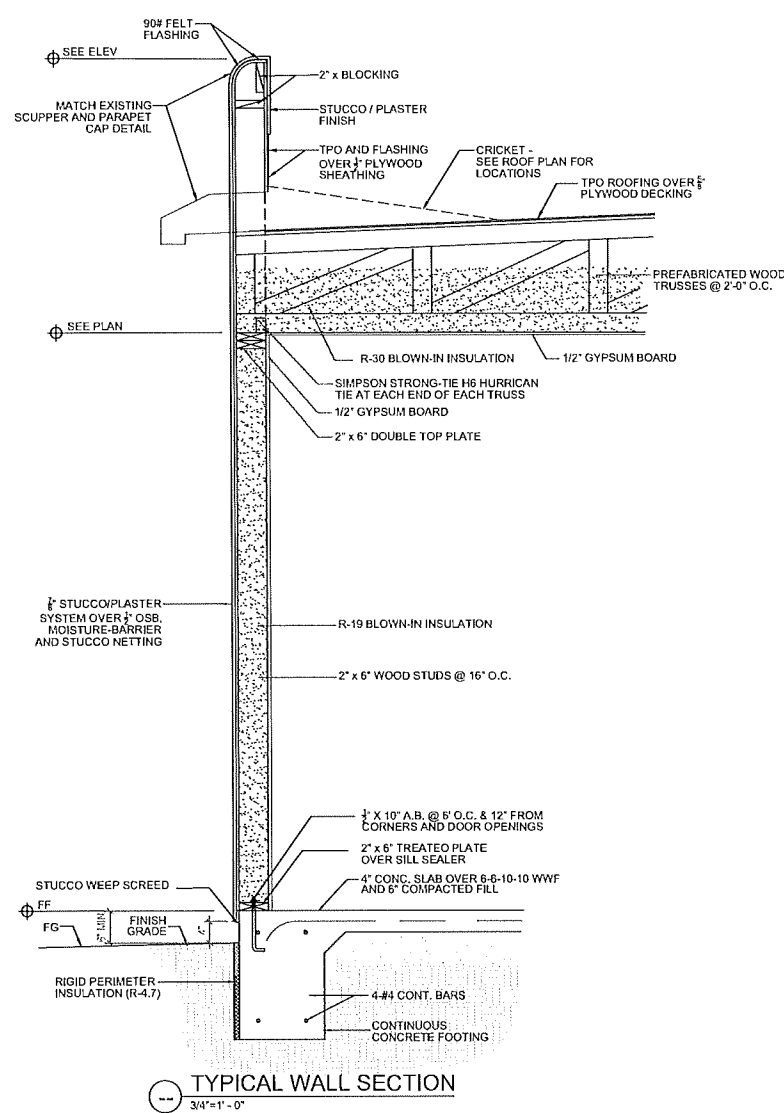
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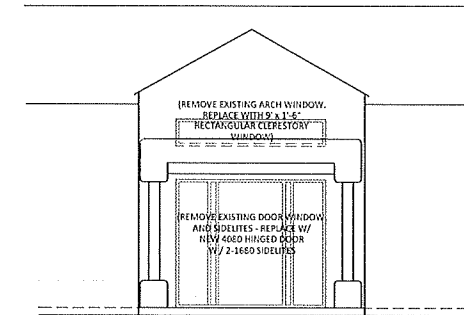
ELECTRICAL PLAN

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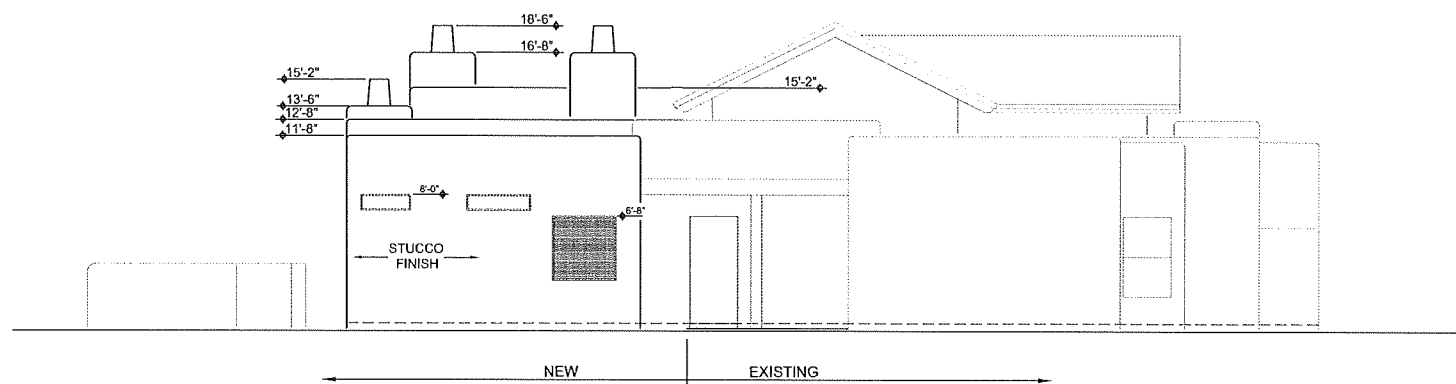
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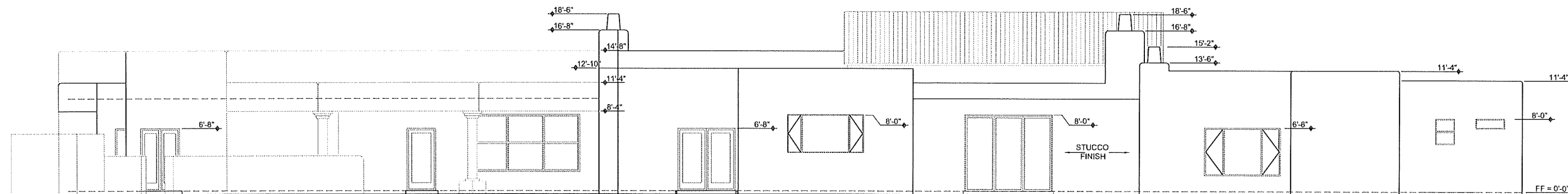
WEST ELEVATION
SCALE: 3/16" = 1'-0"



PARTIAL FRONT ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

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EXTERIOR
ELEVATIONS
WALL SECTION

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