



**THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION
(PZHAC) WILL HOLD A REGULAR MEETING AT THE MESILLA TOWN HALL, 2231
AVENIDA DE MESILLA.
MONDAY OCTOBER 17, 2022, AT 6:00 P.M
AGENDA**

1. PLEDGE OF ALLEGIANCE

2. ROLL CALL AND DETERMINATION OF A QUORUM

3. CHANGES / APPROVAL OF AGENDA

4. PUBLIC INPUT

The public is invited to address the commission for up to 3 minutes. You can also email your comments to joep@mesillanm.gov at least twenty-four (24) hours prior to the meeting.

5. APPROVAL OF CONSENT AGENDA

Note: Items on the Consent Agenda, indicated by an asterisk (), will be voted on with one motion unless a commissioner requests that a specific item be removed for discussion.*

- a. ***PZHAC MINUTES:** September 19, 2022, Regular Meeting Minutes

6. INFORMATION FOR ADMINISTRATIVE APPROVALS

- a. **PZHAC Case #061462** – 2167 Calle Oeste submitted by Pat and Wendy Taylor to install two windows and one door to be relocated. General adobe repair. Bathroom roof to be raised. No color changes. No architectural change. **Zoned: Historical Residential (HR).**
- b. **PZHAC Case #061463** – 2314 Calle de Guadalupe submitted by Pat and Wendy Taylor for west window awning and porch. **Zoned: Historical Commercial (HC).**
- c. **PAHZC Case #061466** – 2214 Calle de Guadalupe submitted by Pat and Wendy Taylor to install gate, 5 feet of coyote fencing on each side and a 6-foot-wide gate in the middle. **Zoned: Historical Commercial (HC)**
- d. **PZHAC Case #061468** – 1912 Calle Santiago submitted by Robert Tustin to repair the base of adobe wall. Repair 2 ½ feet at the base. Line will be gray and will be painted to match later. **Zoned: Historical Commercial (HC).**

7. NEW BUSINESS

- a. **PZHAC Case #061432** – 3044 Snow Road submitted by Don and Allison Apodaca to install new windows and replace old ones. **Zoned: Rural Farm (RF)**
- b. **PZHAC Case #061434** – 3380 McDowell Road submitted by Jordan and Bethany Carvalho to retro fit new exterior windows. **Zoned: R1**
- c. **PZHAC Case #061456** – 3038 Los Arenales submitted by Jerry Gonzalez to install HVAC project on the residence. **Zoned: Residential Agriculture (RA)**
- d. **PZHAC Case #061457** – 2415 Calle de Parian submitted by Robert Reynolds to install solar project. **Zoned: Historical Residential (HR).**
- e. **PZHAC Case #061460** – 3380 McDowell Road submitted by Jordan and Bethany Carvalho to install a 30x80 metal garage. **Zoned: R1**
- f. **PZHAC Case #061461** – 2190 Avenida de Mesilla submitted by Emily Cano to replace three windows. **Zoned: Historical Commercial (HC)**

- g. **PZHAC Case #061469** – 2691 Calle de Principal submitted by Joseph Foster to rebuild/replace windows, build parapets and construct pergola, **ZONED: Historical Commercial (HC)**
- h. **PZHAC Case #061472** – 3041 Mesilla Verde Terrace submitted by William Keith Blazer to add on a garage/storage area with open carport, **Zoned: Residential Agriculture (RA)**
- i. **PZHAC Case #061475** – 311 Capri Rd. submitted by Don Lindsey to replace existing roof, **ZONED: R1**
- j. **PZHAC Case #061476** – 311 Capri Rd submitted by Don Lindsey to repair stucco from roof replacement color to match, **ZONED: R1**
- k. **STR #1034** – 1365 Snow Rd submitted by Mitchell Enterprises LLC for a Short Term Rental at this address, **Zoned: Rural Farm (RF)**
- l. **STR #1035** – 1363 Snow Rd submitted by Mitchell Enterprises LLC for a Short Term Rental at this address, **Zoned: Rural Farm (RF)**

8. COMMISSIONERS / STAFF COMMENTS

9. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 10/14/2022 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristraman - 2531 Avenida de Mesilla, and the U.S. Post Office - 2253 Calle de Parian.



Town of Mesilla, New Mexico

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) MONDAY SEPTEMBER 19, 2022, 6:00 PM

MINUTES

1. PLEDGE OF ALLEGIANCE

Commissioner Lucero led the Pledge of Allegiance.

2. ROLL CALL AND DETERMINATION OF QUORUM

Commissioner Walkinshaw, Lucero, Nevarez present. Commissioner Salas and Commissioner Jones are not present.

3. CHANGES/APPROVAL OF THE AGENDA

Letter A, B, E, F, J, K- all will be held back due to lack of information from architectural styles. Mr. Padilla was unable to complete the packets as he went out of town.

Motion to approve changes to the agenda was made by Commissioner Nevarez and seconded by Commissioner Walkinshaw.

Roll Call Vote:

Commissioner Walkinshaw- yes

Commissioner Lucero- yes

Commissioner Nevarez- yes

4. PUBLIC INPUT

Mr. Pat Tatum asked for clarification as to the two cases that he is representing and if they were moved from the agenda. Mr. Tatum stated he completed and submitted everything that was required. He assumed his case would be heard today. Commissioner Lucero stated that public input was for comments regarding any business that had been conducted prior to the meeting. Commissioner Lucero advised Mr. Tatum to get with Mr. Padilla to discuss his concerns.

5. APPROVAL OF CONSENT AGENDA

Motion to approve consent agenda was made by Commissioner Nevarez and seconded by Commissioner Walkinshaw.

Roll Call Vote:

Commissioner Walkinshaw - Yes
Commissioner Lucero - Yes
Commissioner Nevarez- Yes

Motion approved

6. NEW BUSINESS

- a. **PZHAC Case #061431-** 3367 Estrada Rd submitted by Cesar Gomez to replace existing doors, windows, and build new front and back patios. **Zoned: Rural Farm (RF)**

Motion to approve was presented by Commissioner Nevarez and seconded by Commissioner Walkinshaw.

Staff presented facts of the case. Discussion followed with conditions added.

Roll Call Vote:

Commissioner Walkinshaw – Yes
Commissioner Nevarez – Yes
Commissioner Lucero – Yes

Motion passed with conditions.

- b. **PZHAC Case #061440-** 2242 Calle de Sur submitted by Henry Lucero to put up field fence on property. **Zoned: Historical Residential (HR)**

Motion to approve was presented by Commissioner Walkinshaw and seconded by Commissioner Nevarez.

Staff presented facts of the case. Discussion followed.

Roll Call Vote:

Commissioner Walkinshaw – Yes
Commissioner Nevarez – Yes
Commissioner Lucero – Yes

Motion passed

- c. **BL #1027-** submitted by Dina Marre for a business license for house cleaning.

Motion to approve was presented by Commissioner Walkinshaw and seconded by Commissioner Nevarez.

Staff presented facts of the case. Discussion followed.

Roll Call Vote:

Commissioner Walkinshaw – Yes
Commissioner Lucero – Yes
Commissioner Nevarez – Yes

Motion passed

d. **PZHAC Case #061454** – 2128 Calle de los Huertos submitted by Helen Williamson Revocable Trust to relocate well water circuit. **Zoned: Historical Residential (HR)**

Motion to approve was presented by Commissioner Nevarez and seconded by Commissioner Walkinshaw.

Staff presented facts of the case. Discussion followed.

Roll Call Vote:

Commissioner Walkinshaw - Yes

Commissioner Nevarez – Yes

Commissioner Lucero – Yes

Motion passed

e. **PZHAC Case #061455** – 3116 Hwy 28 submitted by Lama Properties, LLC, to finish remodel to existing structure. **Zoned: Residential Agricultural (RA)**

Motion to approve was presented by Commissioner Walkinshaw and seconded by Commissioner Nevarez.

Staff presented facts of the case. Discussion followed.

Roll Call Vote:

Commissioner Walkinshaw – Yes

Commissioner Lucero – Yes

Commissioner Nevarez – Yes

Motion passed

COMMISSIONERS/STAFF COMMENTS

Commissioner Walkinshaw expressed concern that most of the cases from last meeting were tabled due to BLT. He asked that BLT should submit comments as to why they can not go forward. Commissioner Lucero added that she agrees and stated that the work goes through other channels before reaching this stage and feels unappreciated especially when all the cases were tabled at a 5-0 vote was shameful and would like all this on the record. She is aware the trustees want a copy of the minutes and an explanation. Her question is why they are tabling all these cases when they were approved 5-0. We as commissioners take each case by its own merit. It is reviewed several times and feels as if she has done something wrong in this position and is frustrated. They are holding back these applicants from moving forward. They spend thousands of dollars bringing in their work and she believes it is wrong. They work not for one person as they are elected officials.

Nevarez stated it would be interesting to hear what logic and rationale for what has been occurring. He would like to know if they will ever provide an explanation and commented if it would need to be discussed in a public setting.

According to Mr. Padilla, he was present at the last meeting and from what he gathered they felt the trustees did not have enough information to move forward. Commissioner Lucero expressed it appears as if they do not trust their vote. Mr. Padilla stated he is the one who puts the packets together and it was a large packet that required him to send in segments and the packet size had to be decreased and the clerk omitted some forms but what was included

154 should have satisfied the trustees. Commissioner Lucero said it has always been a formality
155 for the Board of Trustees to see what they did and for them to put the applicants through that
156 was wrong. Commissioner Lucero stated she doesn't believe it should be her responsibility
157 to explain to the public why the cases are not going forward. Mr. Padilla stated it is a work in
158 progress and new things have come up they have not dealt with before and they are trying to
159 make things clear to be transparent with the commissioners and the public. Commissioner
160 Lucero stated what she believes would make it easier on them is if Mr. Padilla would quote
161 the ordinance. Mr. Padilla stated it has been discussed with the clerk and the Mayor on the
162 board action forms to add more information and to add what is being discussed today. They
163 will be adding if it goes through architectural styles and recommendations will be included in
164 the board action forms as well as supporting information, so everyone has the same
165 information. Commissioner Lucero stated another concern she had was with the cannabis.
166 There were several trustees and board members that participated in adopting that. She
167 certainly agrees there is room for corrections but doesn't feel the applicants should pay the
168 price because of what we fail to do. Mr. Padilla stated that the training he attended last week
169 discussed the cannabis issue due to ongoing changes. Commissioner Lucero added that it has
170 not been necessary to be holding up cases and believes it is wrong.
171

172 **8. ADJOURNMENT**

173
174 Meeting adjourned at 6:42 p.m.
175

176 **APPROVED THIS 19th DAY OF SEPTEMBER 2022**
177
178
179
180
181

182 _____
183 **Yolanda Lucero**
184 **Chair**

185
186 **ATTEST:**
187
188
189

190 _____
191 **Joe Padilla**
Community Development Coordinator

BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case #061462 – 2167 Calle de Oeste submitted by Pat and Wendy Taylor.
Zoned: Historical Residential (HR).

BACKGROUND AND ANALYSIS: The applicants propose to install two windows and one door to be relocated as noted. General adobe repairing and line plaster as needed. Bathroom roof to be raised. No color change. No architectural change. This application and all supporting documents were reviewed and approved by Architectural Styles Committee and PZHAC. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on findings stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 18.33.80 & 18.33.100

SUPPORTING INFORMATION:

- Old application
- Plans
- Survey

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$80.00
Review Fee \$15.00
Total Fee \$95.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 001462 ZONE: HR CODE: AC APPLICATION DATE: 9-12-22

Name of Property Owner PAT & Wendy Taylor Property Owner's Telephone Number 575 526 7995
Property Owner's Mailing Address PO BOX 673 Mesilla NM 88046 State NM Zip Code 88046
Property Owner's E-mail Address patataylor@comcast.net

Contractor's Name & Address (If none, indicate Self) _____
Contractor's Telephone Number 575 526 7995 Contractor's Tax ID Number 02-131095-005 Contractor's License Number 365860

Address of Proposed Work: 2167 Calle Oeste

Description of Proposed Work: 2 windows & door to be relocated as noted. General Adobe repairing line plaster as needed. Bathroom roof to be raised. No color change / no architectural change

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. ☒ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☒ Site Plan with dimensions and details.
3. ☐ Foundation plan with details.
4. ☐ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☐ Roof and floor framing plan.
7. ☐ Proof of legal access to the property.
8. ☐ Drainage plan.
9. ☒ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☐ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☐ Proof of legal access to the property.
12. ☐ Other information as necessary or required by the Town Code or Community Development Department.

Estimated Cost \$ 2,500⁰⁰ Signature of Applicant PAT Taylor Date 9/09/22

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval BOT ☐ Approved Date: _____
☐ Approved Date: _____ ☐ Disapproved Date: _____
☐ Disapproved Date: _____ ☐ Approved with Conditions
☐ Approved with conditions

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO BOT APPROVAL REQUIRED: ☒ YES ☐ NO

CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

2019 Permit

original

Town of Mesilla, New Mexico

P.O. BOX 10
MESILLA, NM 88046
PHONE: (505)524-3262 FAX (505)541-6327

Application for Building Permit

Certificate of Occupancy, Use and Historic Appropriateness

Application is hereby for the issuance of a Certificate of Occupancy, Use, and when applicable, a Certificate of Historical Appropriateness.

Application Date: _____

RATE WORTHY TAYLOR
Name of Applicant

575 526 7995
Telephone Number

2167 Calle Oeste
Address

Mesilla NM 88046
City State Zip Code

Proposed Use or Occupancy: Residential Zone: HR

Contractor Name

Address

Telephone Number

Contractor Tax I.D. #

Contractor License #

This application includes:

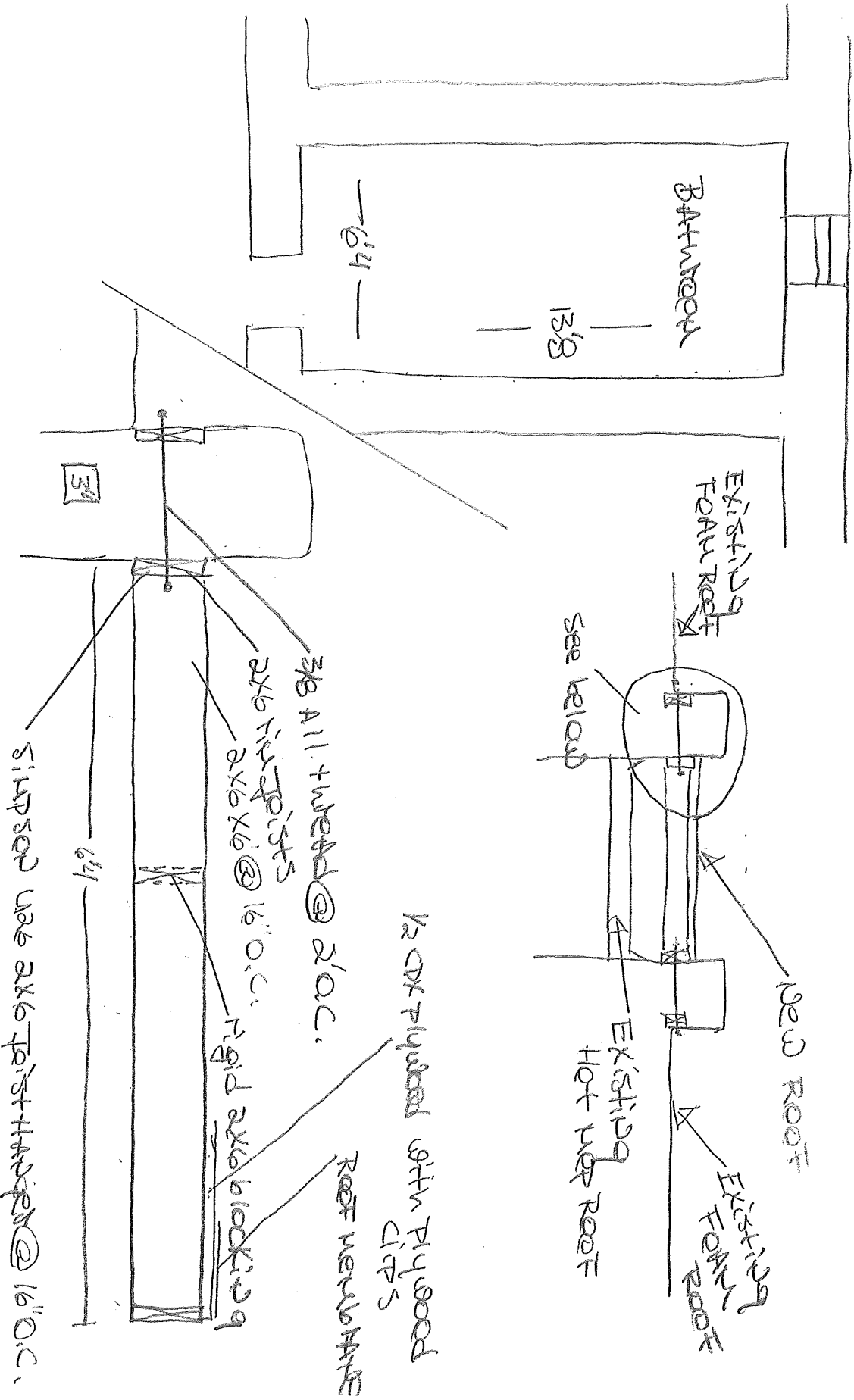
1. Plot plan with legal description to show existing structures, adjoining, streets, driveway(s), improvements & setbacks.
2. Foundation Plan with details
3. Floor Plans showing rooms, their uses and dimensions
4. Cross Sections of walls
5. Roof and floor framing plan (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
6. Drainage plan
7. Architectural style and color scheme (Historical zones only)
8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from Public Utility providing water service.
9. Recorded proof of ownership with legal description of property (deed or current tax bill)

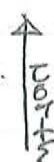
All applications for electrical, mechanical/plumbing installations are made at the construction industries division

NO color change/no Architectural change.
2 windows/1 door to be relocated AS NOTED.
General Adobe repair & preservation

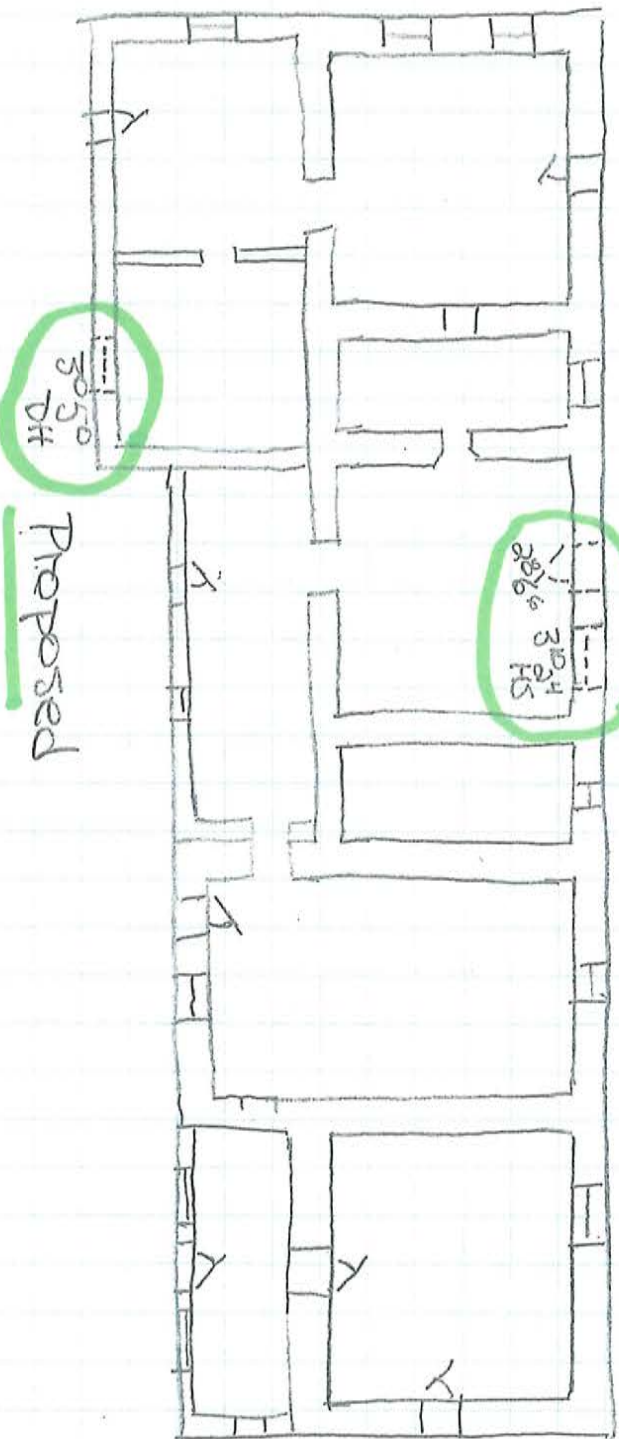
Pat & Wendy Taylor 2167 Calle Oeste

BATHROOM ROOF DETAIL





Existing



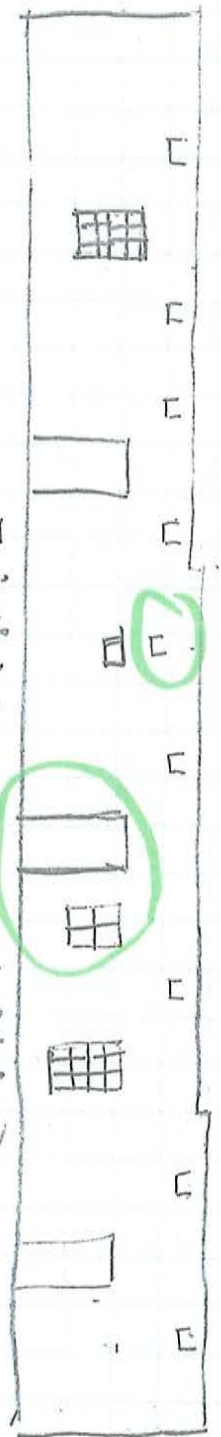
Proposed

609 1370 609 609 609 609 609 609 609 609
 609 609 609 609 609 609 609 609 609 609

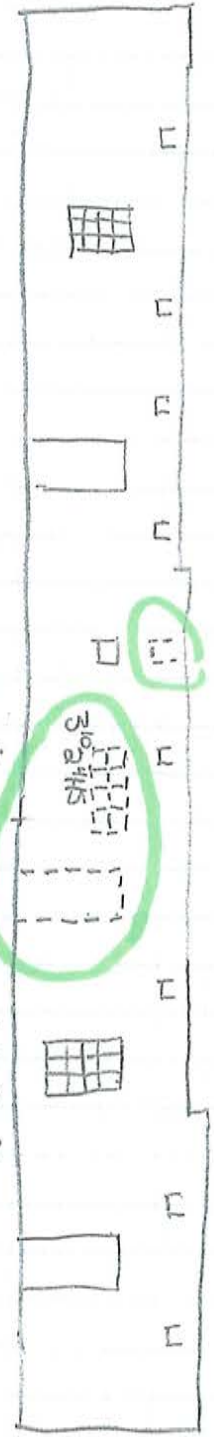
13

Pat & Betty Taylor

2467 Calle Oeste



Existing East Elevation



Proposed East Elevation

No color change / no architectural change

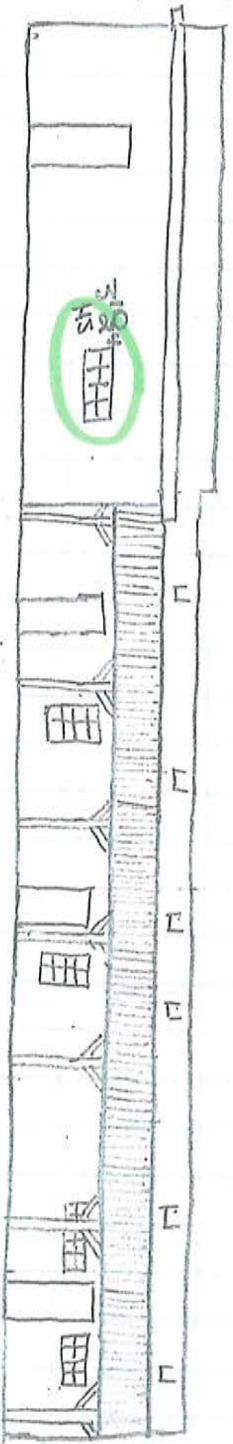
Proposed to remove door & window & relocate window proposed is 30" high from other side of house (East)

Roof change to be raised along with port Hopping

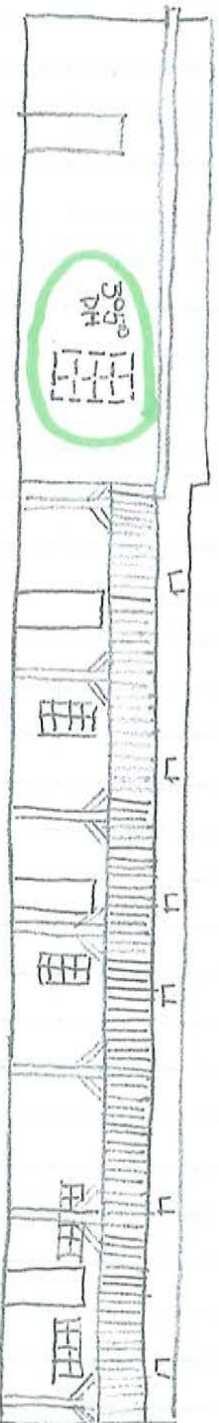
[N]

Pat & Wendy Taylor

2167 Calle Oeste



Existing West Elevation



Proposed West Elevation

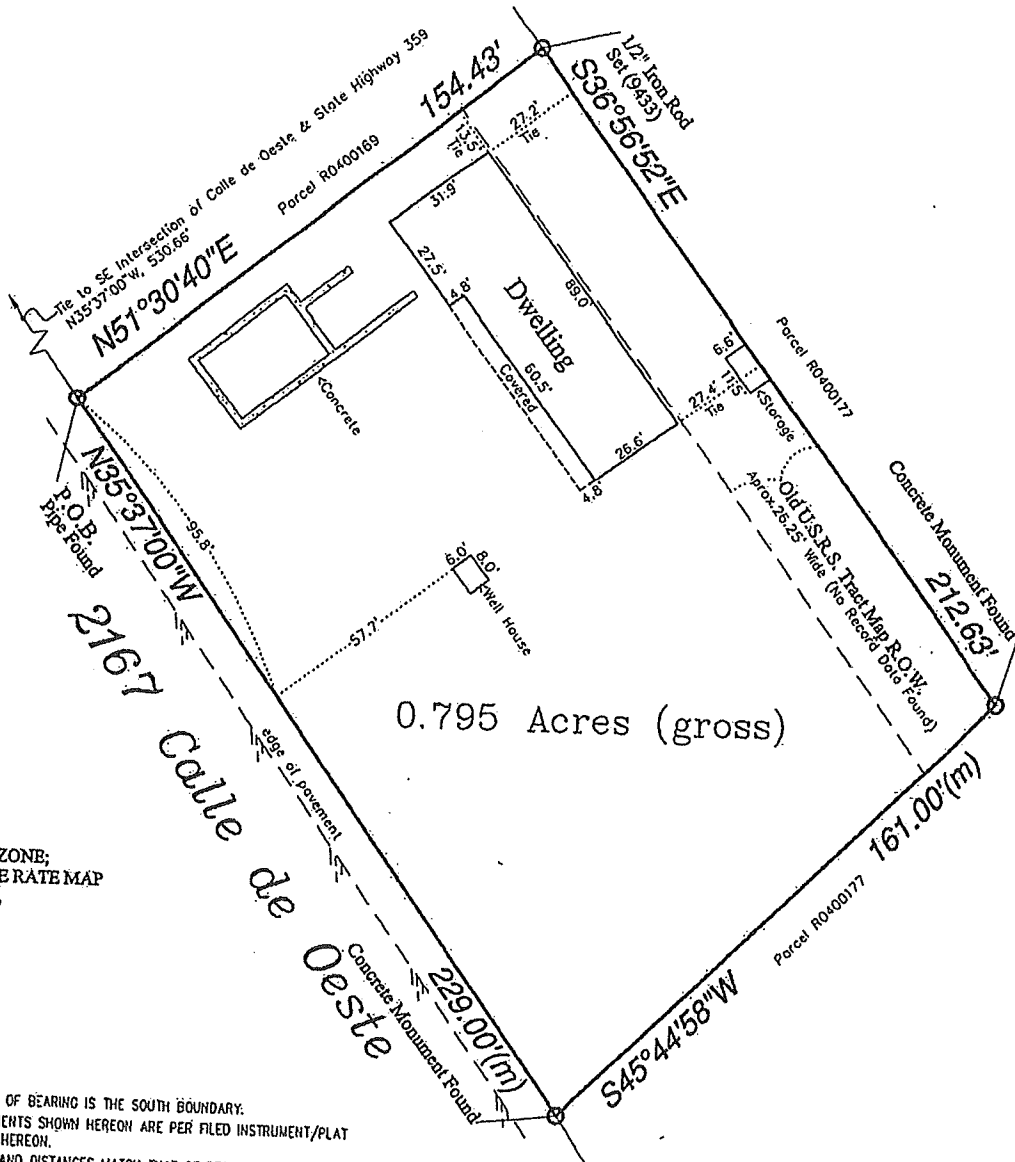
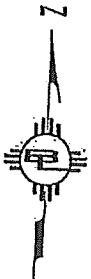
No color change/no architectural change

Proposed to remove window 30\"/>

PLAT OF SURVEY

A 0.795 ACRE TRACT OF LAND, LOCATED IN
SECTION 25, T.23S., R.1E., N.M.P.M.
OF THE U.S.R.S. SURVEYS,
TOWN OF MESILLA
DONA ANA COUNTY
NEW MEXICO

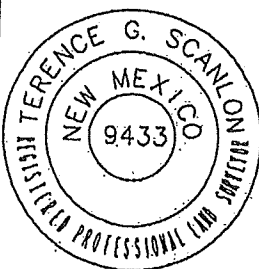
1" = 50'
0 50 100
Scale in Feet



INSTRUMENT OF RECORD:
FILED
Instrument, #1727501
OF THE DONA ANA COUNTY RECORDS

DRAWN BY: S.P.
FIELD BY: C.S., E.R.
JOB NO.: 18-10-0457
DATE: October 26, 2018

PROPERTY IS IN AN "X" DESIGNATED ZONE;
AS SHOWN ON THE FLOOD INSURANCE RATE MAP
COMMUNITY PANEL NO. 35013C1093 G,
EFFECTIVE JULY 6, 2016



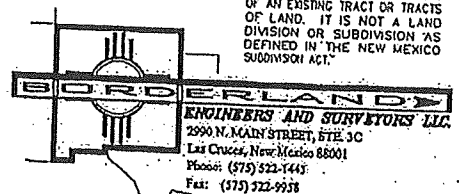
NOTES:
THE BASIS OF BEARING IS THE SOUTH BOUNDARY.
ALL EASEMENTS SHOWN HEREON ARE PER FILED INSTRUMENT/PLAT
AS NOTED HEREON.
BEARINGS AND DISTANCES MATCH THAT OF RECORD, UNLESS OTHERWISE NOTED.
1/2" IRON RODS WITH YELLOW PLASTIC CAP LABELED NMPS 9433 SET
AT PROPERTY CORNERS OR AS NOTED HEREON.

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT
THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE
BY ME OR UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT,
MEETING THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND
SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF
REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, TO
THE BEST OF MY KNOWLEDGE AND BELIEF.

October 26, 2018
DATE OF SURVEY

TED G. SCANLON, P.S. NO. 9433
2990 N. MAIN STREET, STE. 3C, LAS CRUCES, NEW MEXICO 88001



"THIS IS A BOUNDARY SURVEY PLAT
OF AN EXISTING TRACT OR TRACTS
OF LAND. IT IS NOT A LAND
DIVISION OR SUBDIVISION AS
DEFINED IN THE NEW MEXICO
SUDDIVISION ACT."

BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case #061463 – 2214 Calle de Guadalupe submitted by Pat and Wendy Taylor for west window awning and porch. **Zoned: Historical Commercial (HC).**

BACKGROUND AND ANALYSIS:

The applicants are proposing to install back window awning and back porch. This application and all supporting documents were reviewed and approved by Architectural Styles Committee and PZHAC. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 12.05 and 18.33

SUPPORTING INFORMATION:

- Old application
- Plans
- Survey

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 58.00
Review Fee \$ 10.00
Total Fee \$ 68.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061403 ZONE: HC CODE: AC APPLICATION DATE: 9/2/22

Name of Property Owner PAT & WENDY TAYLOR Property Owner's Telephone Number 575 526 7995

Property Owner's Mailing Address PO Box 673 Mesilla NM 88046 City State Zip Code

Property Owner's E-mail Address apataylor@comcast.net

Contractor's Name & Address (If none, indicate Self) PAT TAYLOR

Contractor's Telephone Number 575 526 7995 Contractor's Tax ID Number 02131095005 Contractor's License Number 365860

Address of Proposed Work: 2214 Calle de Guadalupe

Description of Proposed Work: West window Awnings BACK PORCH

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. ☒ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☒ Site Plan with dimensions and details.
3. ☐ Foundation plan with details.
4. ☐ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☐ Roof and floor framing plan.
7. ☐ Proof of legal access to the property.
8. ☐ Drainage plan.
9. ☒ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☐ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☐ Proof of legal access to the property.
12. ☐ Other information as necessary or required by the Town Code or Community Development Department.

Estimated Cost \$ 1,000.00 Signature of Applicant [Signature] Date 9/09/22

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC <input type="checkbox"/> Administrative Approval <input type="checkbox"/> Approved Date: _____ <input type="checkbox"/> Disapproved Date: _____ <input type="checkbox"/> Approved with conditions	BOT <input type="checkbox"/> Approved Date: _____ <input type="checkbox"/> Disapproved Date: _____ <input type="checkbox"/> Approved with Conditions
--	--

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO BOT APPROVAL REQUIRED: ☒ YES ☐ NO

CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

2019 Permit

OFFICIAL USE ONLY:

TOWN OF MESILLA

Case # 060991

APPLICATION FOR RESIDENTIAL BUILDING PERMIT

Fee \$ 15.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060991 ZONE: HC CODE: ALT APPLICATION DATE: 11/20/19

Pat Taylor

Name of Applicant

575 526 7995

Applicant's Telephone Number

PO Box 673 Mesilla NM 88046

Mailing Address

City

State

Zip Code

Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number

Contractor's Tax ID Number

Contractor's License Number

2214 Calle de Guadalupe

Address of Proposed Work:

Description of Proposed Work:

Adding West Entry way porch

\$ 3,000

Estimated Cost

Pat Taylor

Signature of Applicant

11/20/19

Date

With the exception of administrative approvals, all permit applications must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval ☒ Approved Date: 12/2/19 ☐ Disapproved Date: ☐ Approved with conditions

BOT

☒ Approved Date: 12/11/19

☐ Disapproved Date: ☐ Approved with Conditions

CONDITIONS: PZHAC REVIEW & BOT APPROVAL REQUIRED

COMMERCIAL B006 - CID PERMIT REQUIRED

REVIEW ISSUED BY: [Signature]

ISSUE DATE: 12/12/19

PERMIT ISSUED BY: [Signature]

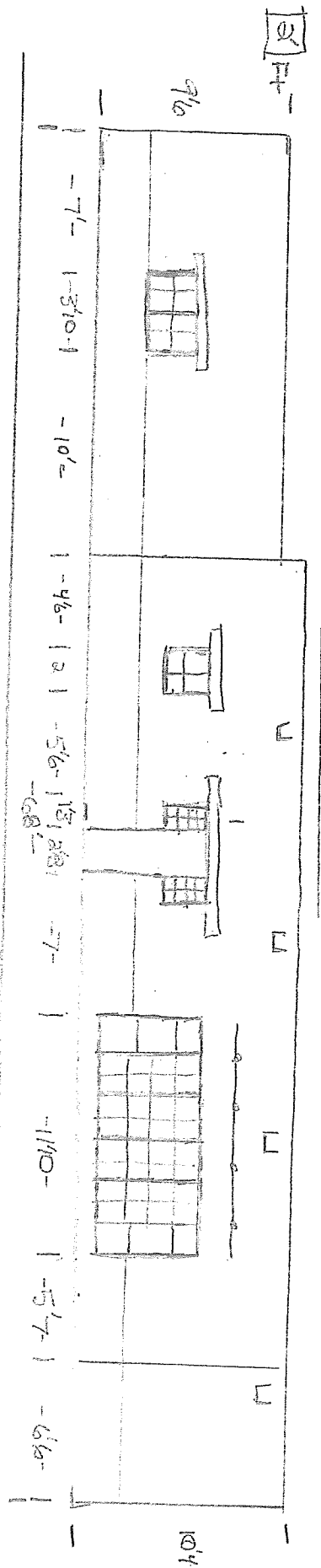
ISSUE DATE: 12/12/19

This application includes:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Foundation Plan with details.
3. Floor Plans showing rooms, their uses and dimensions.
4. Cross Sections of walls.
5. Roof and floor framing plan. (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
6. Drainage plan.
7. Architectural style and color scheme (Historical and commercial zones only).
8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).

WEST ELEVATION

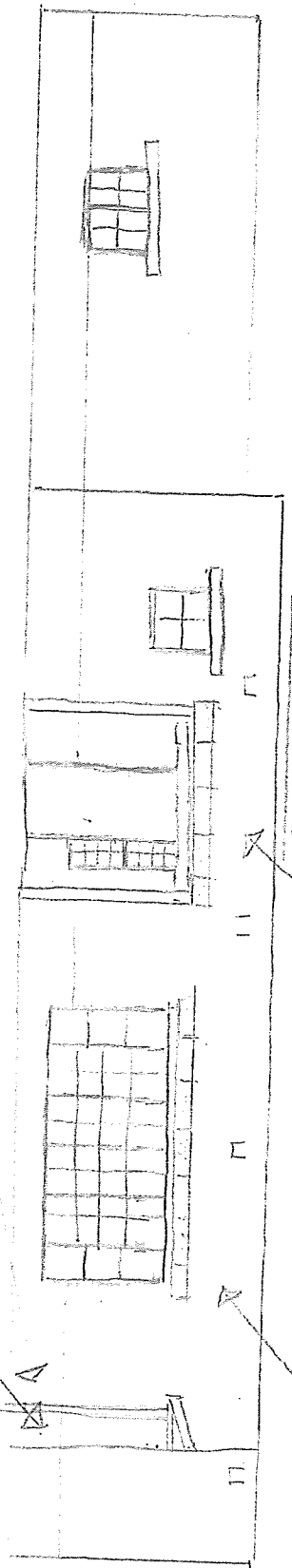
EXISTING



2214 CALLE DE SAN ANTONIO
PAT & DORIS TAYLOR

WEST ELEVATION

PROPOSED



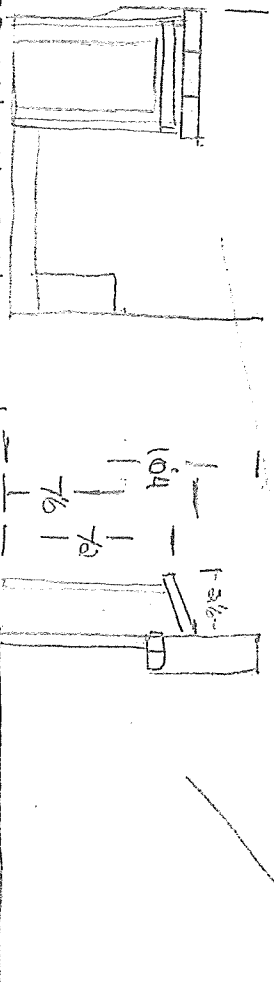
10'4" 8'3" 7'6"

BACK ENTRY

10'4" 7'6"

SUNROOM

NORTH ELEVATION



6"

2214 Calle Guadalupe
PAT & Wendy Taylor

— PROPOSED
STANDING
SEAM ROOF

1 - 2'6" -

10'4"

7'6"

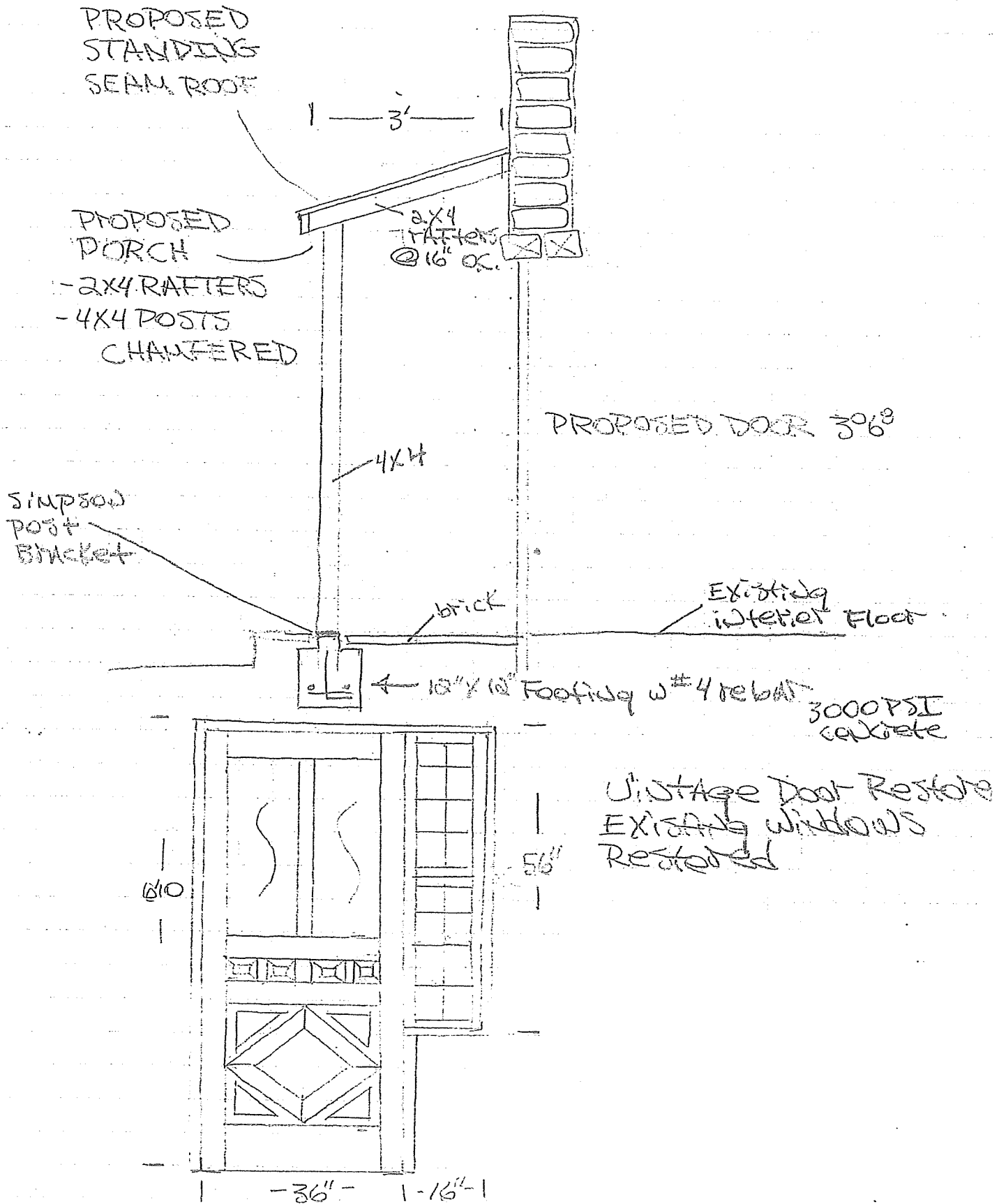
PROPOSED
AWNING
w/ 2x4
RAFTERS



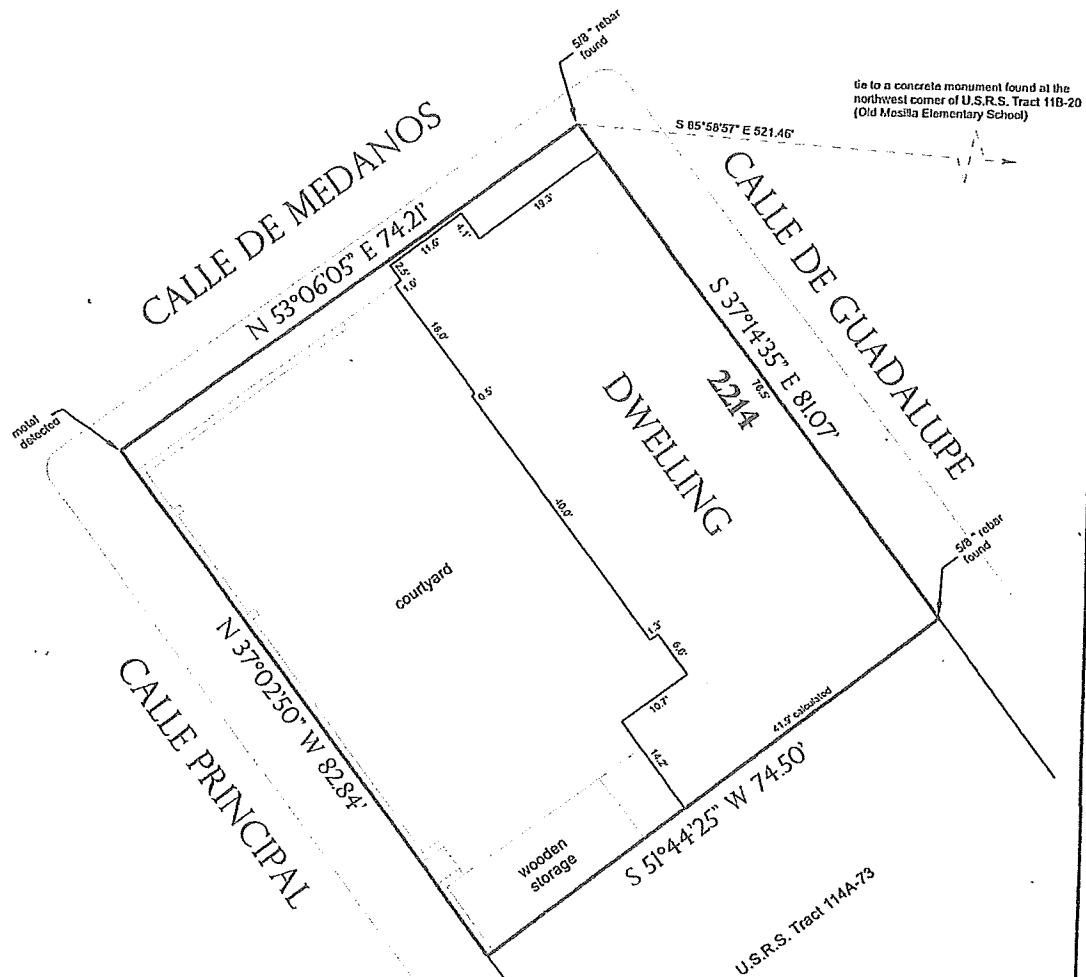
SUNROOM

6"

ORIGINAL CONTRACTOR
PAT & WENDY TAYLOR



PLAT OF SURVEY 0.1399 ACRE PARCEL, BEING U.S.R.S. TRACT 11A-74,
IN THE SW 1/4, SECTION 25, T.23S, R.1E, N.M.P.M., U.S.R.S. SURVEYS IN THE
TOWN OF MESILLA, DOÑA ANA COUNTY, NEW MEXICO, AS THE SAME IS SHOWN
AND DESIGNATED ON INSTRUMENT NO. 9116675 THEREOF, FILED OF RECORD IN THE
OFFICE OF THE COUNTY CLERK OF SAID COUNTY ON SEPTEMBER 24, 1991 AND
RECORDED IN BOOK 353, PAGE 74, CLERK'S RECORDS.

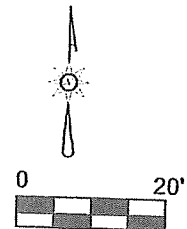


1. Date of Survey: September 14, 2016
2. Basis of Bearing: property corners found in place for Warranty Deed filed September 24, 1991 in Clerk's Record 353 page 74 of the records of Doña Ana County, New Mexico.
3. Distances are ground in U.S. Feet.
4. Record or platted information, where it differs from that found in the field, is shown in brackets [].
5. Property lies within Flood Zone "X"; area is determined to be outside the 500-year flood plain as designated in Flood Insurance Rate Map No. 35013C1093 G effective date: July 6, 2016.

I, Gilbert Chavez, New Mexico Professional Surveyor No. 6832, do hereby certify that this Plat of Survey and actual survey on the ground upon which it is based were performed by me on September 14, 2016; that I am responsible for this survey; that this survey meets the Minimum Standards for Surveying in New Mexico; and that is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the Subdivision Act and that this instrument is a Plat of Survey of an existing lot.

Gilbert Chavez, PS 6832

September 15, 2016



Gilbert Chavez
Professional Surveyor

Vista Grande Surveys

P.O. Box 882
Mesilla, NM 88046-0882
Phone (575) 527-9280
E-mail: gilchvz@q.com

VG 16-079

BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case #061466 – 2214 Calle de Guadalupe submitted by Pat and Wendy Taylor to install gate, 5 feet of coyote fencing on each side and a 6-foot-wide gate in the middle. **Zoned: Historical Commercial (HC)**

BACKGROUND AND ANALYSIS:

The applicants are proposing to install a gate on the Calle de Parian side, 16 ft wide consisting of 5 ft of coyote fencing on each side and 6 ft inside gate in the middle as per drawings in packet. This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 18.33.100, 18.35.060, and 18.60.340

SUPPORTING INFORMATION:

- Application
- Drawing of fence
- Plot survey

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 58.00
Review Fee \$ 10.00
Total Fee \$ 68.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061466 ZONE: HC CODE: MT APPLICATION DATE: 9.12.22

PAT & Wendy Taylor 575 526 7995
Name of Property Owner Property Owner's Telephone Number

PO BOX 673 MESILLA NM 88046
Property Owner's Mailing Address City State Zip Code

patataylor@comcast.net
Property Owner's E-mail Address

PAT Taylor
Contractor's Name & Address (If none, indicate Self)

575 526 7995 02131095005 365860
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2214 Calle de Guadalupe

Description of Proposed Work: Gate is on Calle Principal side,
16 Foot wide gate consisting of 5 foot of coyote fencing
on each side & a 6 foot wide gate in the middle.
see attached drawings.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. ☒ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☐ Site Plan with dimensions and details.
3. ☐ Foundation plan with details.
4. ☐ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☐ Roof and floor framing plan.
7. ☐ Proof of legal access to the property.
8. ☐ Drainage plan.
9. ☒ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☐ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☐ Proof of legal access to the property.
12. ☐ Other information as necessary or required by the Town Code or Community Development Department.

\$ 1,000 PAT Taylor 9/09/22
Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval BOT ☐ Approved Date: _____
☐ Approved Date: _____ ☐ Disapproved Date: _____
☐ Disapproved Date: _____ ☐ Approved with Conditions
☐ Approved with conditions

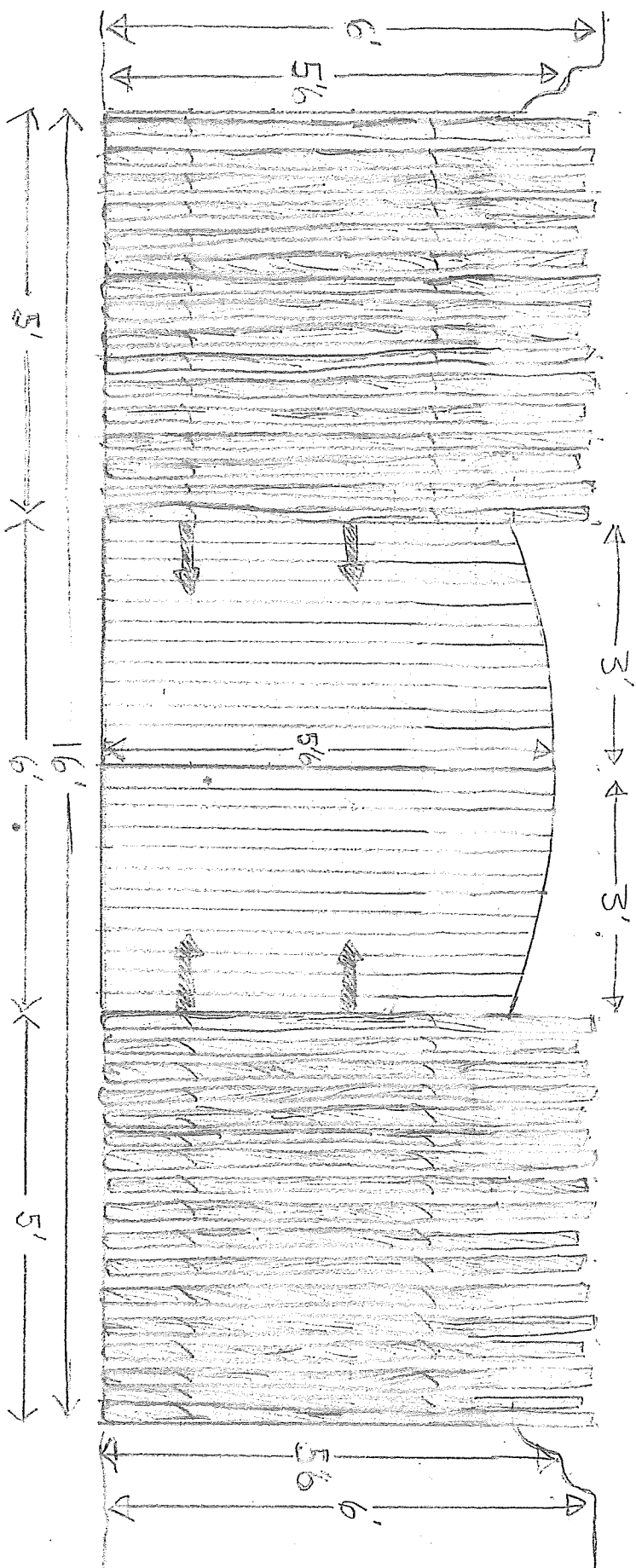
PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO BOT APPROVAL REQUIRED: ☒ YES ☐ NO

CID PERMIT/INSPECTION REQUIRED: ☐ YES ☐ NO ☐ SEE CONDITIONS

CONDITIONS: _____

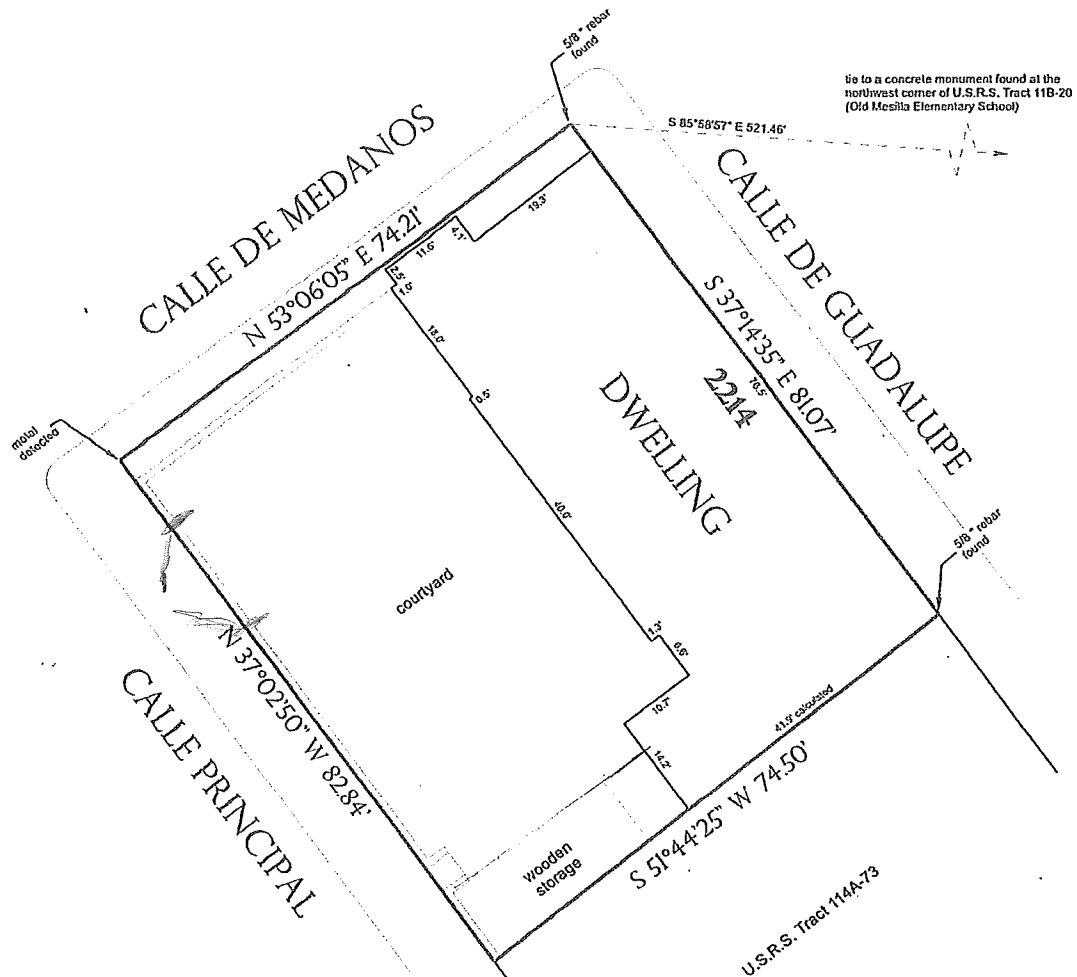
PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

Part 3 of 3
 30000 TALLOR
 2014 Calle de Oaxaca



Gate is located on Calle Principal

PLAT OF SURVEY 0.1399 ACRE PARCEL, BEING U.S.R.S. TRACT 11A-74,
IN THE SW 1/4, SECTION 25, T.23S., R.1E., N.M.P.M., U.S.R.S. SURVEYS IN THE
TOWN OF MESILLA, DOÑA ANA COUNTY, NEW MEXICO, AS THE SAME IS SHOWN
AND DESIGNATED ON INSTRUMENT NO. 9116675 THEREOF, FILED OF RECORD IN THE
OFFICE OF THE COUNTY CLERK OF SAID COUNTY ON SEPTEMBER 24, 1991 AND
RECORDED IN BOOK 353, PAGE 74, CLERK'S RECORDS.



1. Date of Survey: September 14, 2016
2. Basis of Bearing: property corners found in place for Warranty Deed filed September 24, 1991 in Clerk's Record 353 page 74 of the records of Doña Ana County, New Mexico.
3. Distances are ground in U.S. Feet.
4. Record or platted information, where it differs from that found in the field, is shown in brackets [].
5. Property lies within Flood Zone "X"; area is determined to be outside the 500-year flood plain as designated in Flood Insurance Rate Map No. 35013C1093 G effective date: July 6, 2016.

I, Gilbert Chavez, New Mexico Professional Surveyor No. 6832, do hereby certify that this Plat of Survey and actual survey on the ground upon which it is based were performed by me on September 14, 2016; that I am responsible for this survey; that this survey meets the Minimum Standards for Surveying in New Mexico; and that is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the Subdivision Act and that this instrument is a Plat of Survey of an existing lot.

Gilbert Chavez, PS 6832

September 15, 2016

Gilbert Chavez
Professional Surveyor

Vista Grande Surveys

P.O. Box 882
Mesilla, NM 88046-0882
Phone (575) 527-9280
E-mail: gilchvz@q.com

VG 16-079

BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case 061468 – 1912 Calle Santiago submitted by Robert Tustin to repair adobe wall. **Zoned: Historical Commercial (HC).**

BACKGROUND AND ANALYSIS:

The applicants are proposing to repair the base of adobe wall. Repair 2 ½ feet at the base. Line will be gray and will be repainted to match at a later date. This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 18.33, 18.35, and 18.45

SUPPORTING INFORMATION:

- Application
- Old application
- Property Record Card
- Site plan
- Repaired section

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

2022 Permit

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 77.00
Review Fee \$ 13.00
Total Fee \$ 90.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061468 ZONE: HC CODE: MT APPLICATION DATE: _____

Name of Property Owner Robert Tustin Property Owner's Telephone Number 575 571 1248

Property Owner's Mailing Address 11320 SE LINCOLN ST. PORTLAND OR 97216 City Portland State OR Zip Code 97216

Property Owner's E-mail Address bobtustin@zianet.com

Contractor's Name & Address (If none, indicate Self) Pat Taulos PO Box 673 Mesilla NM 88046

Contractor's Telephone Number 575 526 7995 Contractor's Tax ID Number 02131095 Contractor's License Number HC# 365860

Address of Proposed Work: 1912 Calle Santiago

Description of Proposed Work: REPAIR OF BASE OF Adobe wall. BASAL REPAIR 2 1/2 Feet At BASE. Line will be grey & will be PAINTED to MATCH in the future.

RENEWAL PERMIT

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING *Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.*

1. ☒ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☒ Site Plan with dimensions and details.
3. ☐ Foundation plan with details.
4. ☐ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☐ Roof and floor framing plan.
7. ☐ Proof of legal access to the property.
8. ☐ Drainage plan.
9. ☐ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☐ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☐ Proof of legal access to the property.
12. ☐ Other information as necessary or required by the Town Code or Community Development Department.

\$3,000.00
Estimated Cost

Robert Tustin
Signature of Applicant

9/22/2022
Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval ☐ Approved Date: _____ ☐ Disapproved Date: _____ ☐ Approved with conditions

BOT ☐ Approved Date: _____ ☐ Disapproved Date: _____ ☐ Approved with Conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

2021 Permit

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061335Fee \$ 129⁵⁰PERMISSION TO CONDUCT WORK
OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

Robert Tustin575 571 1248

Name of Property Owner

Property Owner's Telephone Number

11320 SE LINCOLN ST PORTLAND OR 97216

Property Owner's Mailing Address

City

State

Zip Code

roberttustin@earthlink.net

Property Owner's E-mail Address

DA TustinPO BOX 673 MESILLA, NM 88046

Contractor's Name & Address (If none, indicate Self)

575 526 799502131095 005LC# 365860

Contractor's Telephone Number

Contractor's Tax ID Number

Contractor's License Number

Address of Proposed Work: 1912 Calle San JuanDescription of Proposed Work: REPAIR OF BASE OF ABOVE WALL - GROUND 2 1/2 FEET AT BASE. NEW PLASTER WILL BE APPLIED TO WALL IN THE FUTURE. NO PAINT\$ 6,000

Estimated Cost

Signature of Applicant

Date

6/15/2021

Signature of property owner:

Robert Tustin

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC

☐ Administrative Approval

BOT

☒ Approved Date: 07.26.2021☒ Approved Date: 07.12.2021☐ Disapproved Date: _____☐ Disapproved Date: _____☐ Approved with Conditions☐ Approved with conditionsPZHAC APPROVAL REQUIRED: ☒ YES ☐ NOBOT APPROVAL REQUIRED: ☒ YES ☐ NOCID PERMIT/INSPECTION REQUIRED: ☐ YES ☒ NO ☐ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) -- diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the City Code or Community Development Department (See other side.)

Property Record Card

Doña Ana Assessor

TUSTIN ROBERT LEE

11320 SE LINCOLN ST
PORTLAND, OR 97216

Account: R0400337

Tax Area: 2DIN_R - 2DIN_R

Acres: 0.000

Parcel: 4-006-137-253-405

Situs Address:
1912 CALLE DE SANTIAGO
Mesilla, 88046

Neighborhood

S11 - MESILLA

Legal Description

S: 25 T: 23S R: 1E BRM 11A TR 19B



Land Occurrence 1

Property Code	0100 - RESIDENTIAL LAND	Electricity	OE - OVER-ELECTRC
Gas	G - GAS	Measure	SF - PER-SQ-FOOT
Sewer Type	CM - COMM-SEWER	Street Code	A - ASPHALT
Topography Code	L - LEVEL	SQFT	5227
Zoning	HC - HIST-COMMERL		

SubArea	ACTUAL	EFFECTIVE	HEATED	FOOTPRINT
Sq Ft				
Total				

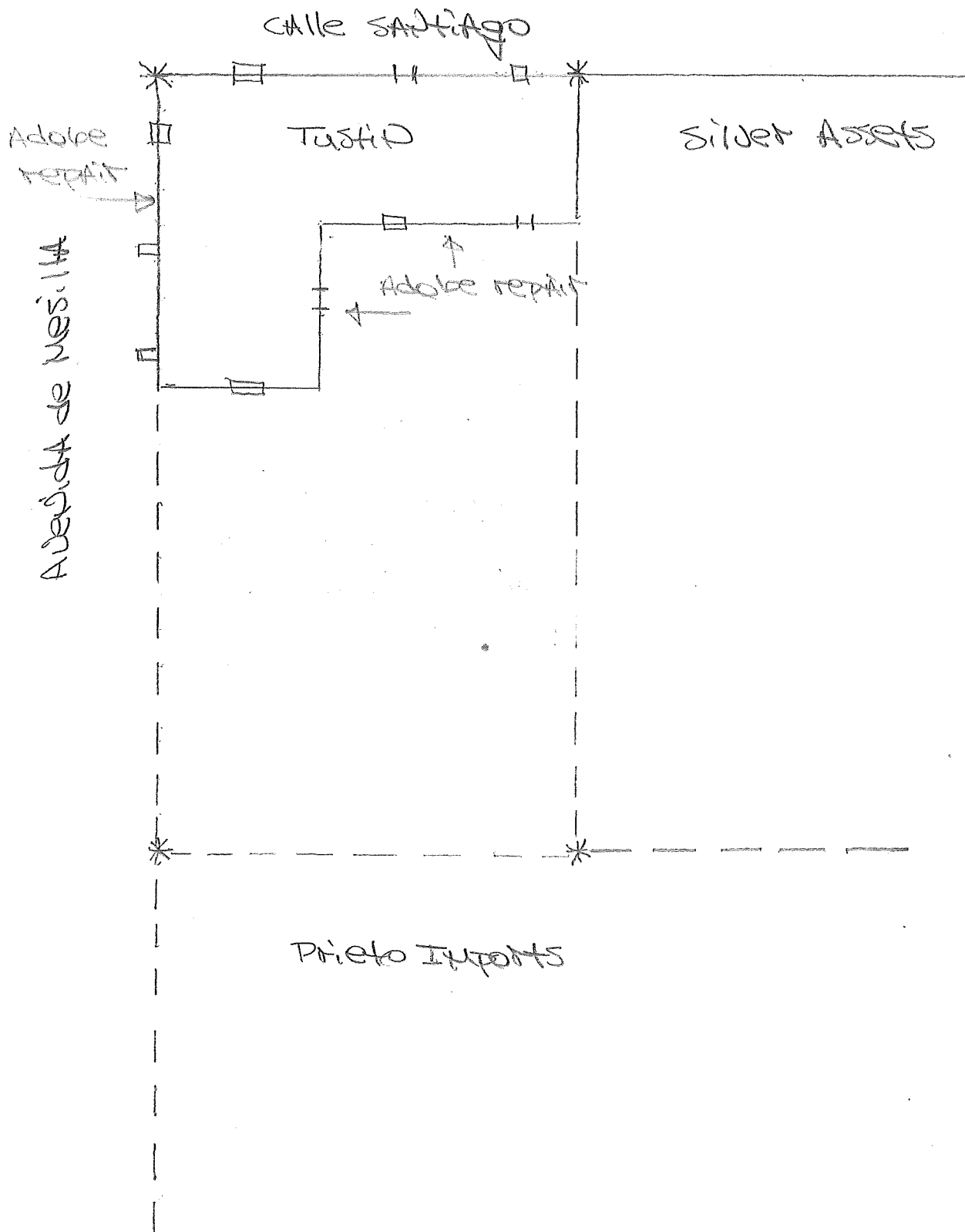
Residential Occurrence 1

Property Code	0120 - RESIDENTIAL IMPROVEMENT	Actual Year Built	1800
Architectural Style	PB - PUEBLO	Baths	1
Bedrooms	2	Building Type	PS - PRNCPL-SINGLE
Condition	AVERAGE	Construction Quality	F - FAIR
Heating Fuel	G - GAS	Heating Type	NH - NO-HEAT
Percent Complete	100	Roof Cover	PR - PR-ROLL
Roof Structure	F - FLAT	Stories	1.0
Exterior Wall	AS - ADOBE-STUCOD	Percent	100

Site Plan

Robert Tustin 1912 Calle Santiago

[4]



Robert Tustin
REPAIRED SECTION
TYPICAL

EXISTING
CONCRETE
PLASTER

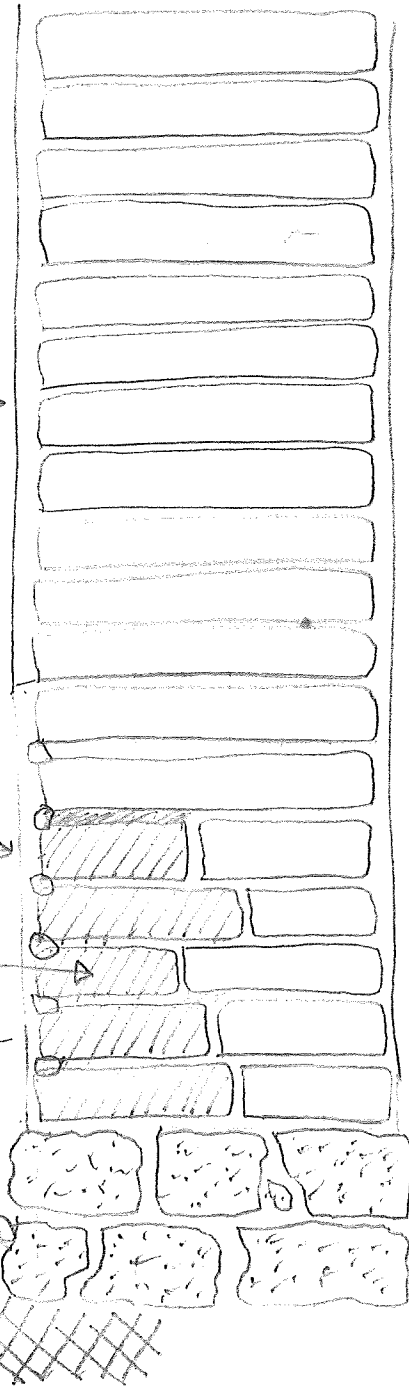
EXTENSION

LINE PLASTER

ADDORES
REPLACED

STONE/IRON
FOUNDATION

INTERIOR



BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case #061432 – 3044 Snow Road submitted by Don and Allison Apodaca to install new windows and replace old ones. **Zoned: Rural Farm (RF)**

BACKGROUND AND ANALYSIS:

The applicants are proposing to install new windows to replace 36 year old windows by Window World. This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 18.33

SUPPORTING INFORMATION:

- Application
- Receipt
- Site plan
- Property Record
- Window World contract
- Window World window specifications

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 100.00
Review Fee \$ 18.00
Total Fee \$ 118.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061432 ZONE: RF CODE: MI APPLICATION DATE: 7/21/2022

Don + Allison Apodaca 575-647-4025 / 373-7786
Name of Property Owner Property Owner's Telephone Number
P.O. Box 1580 Mesilla, NM 88046
Property Owner's Mailing Address City State Zip Code
hadapodaca@aol.com
Property Owner's E-mail Address
Window World of Las Cruces / 300 N. Teller Suite 10
Contractor's Name & Address (If none, indicate Self) Las Cruces NM 88001
575-532-9390 # 351055
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number
Address of Proposed Work: 3044 Snow Road
Description of Proposed Work: New Windows / replace 36 year old windows.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. ☒ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☒ Site Plan with dimensions and details.
3. ☐ Foundation plan with details.
4. ☐ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☐ Roof and floor framing plan.
7. ☐ Proof of legal access to the property.
8. ☐ Drainage plan.
9. ☐ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☐ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☐ Proof of legal access to the property.
12. ☒ Other information as necessary or required by the Town Code or Community Development Department.

\$468548 [Signature] 7/21/2022
Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

PZHAC <input type="checkbox"/> Administrative Approval <input type="checkbox"/> Approved Date: _____ <input type="checkbox"/> Disapproved Date: _____ <input type="checkbox"/> Approved with conditions	BOT <input type="checkbox"/> Approved Date: _____ <input type="checkbox"/> Disapproved Date: _____ <input type="checkbox"/> Approved with Conditions
--	--

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO BOT APPROVAL REQUIRED: ☐ YES ☒ NO
CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS
CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

TOWN OF MESILLA

575-524-3262

***** REPRINT RECEIPT*****

REC#: 00183278 7/29/2022 2:48 PM

OPER: UTCLK TERM: 001

REF#: 1754BRC

TRAN: 110.0000 PERMITS/INSPECTIONS

061432 118.00CR

APODACA, DON/ALLISON

3044 SNOW RD

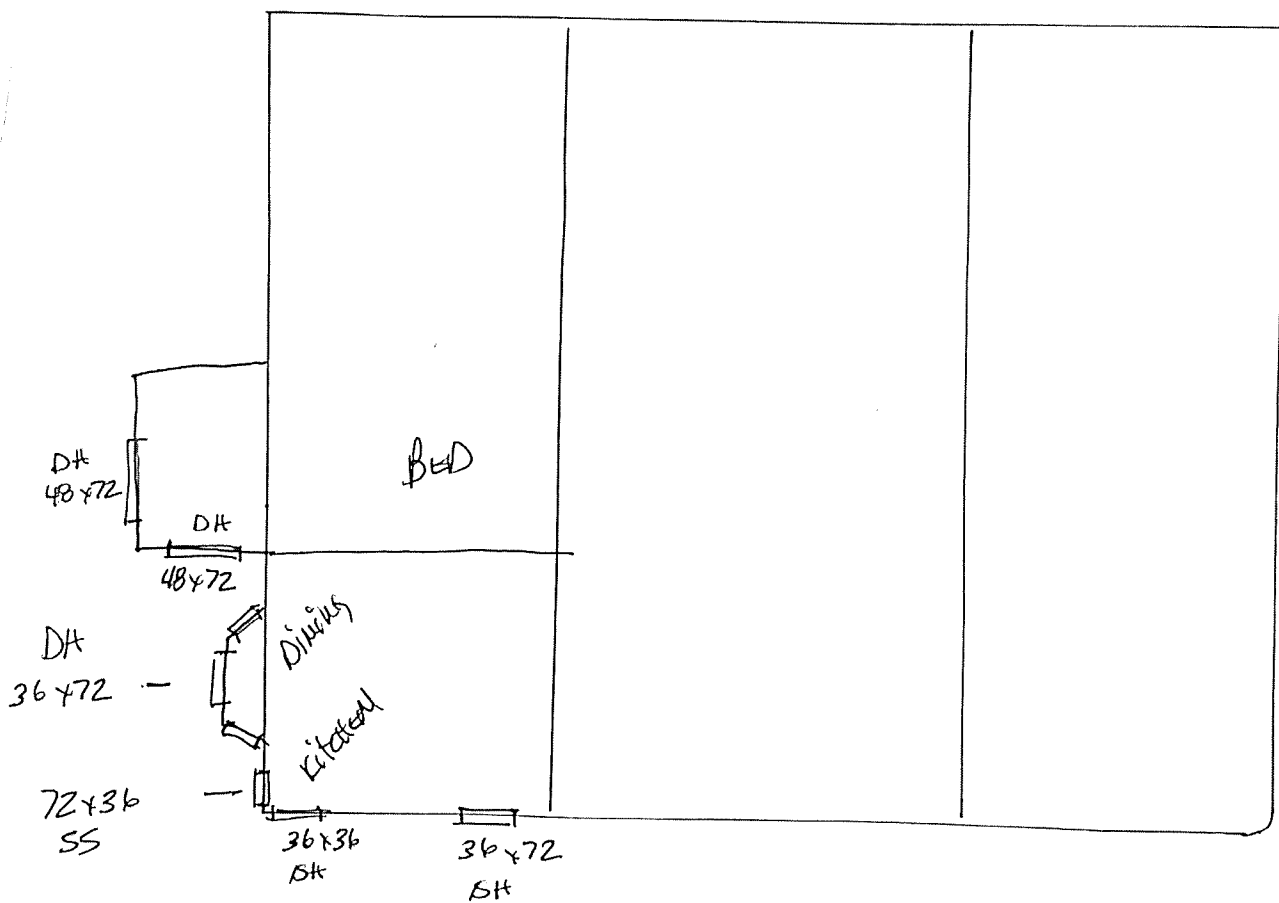
BLD 118.00CR

TENDERED: 118.00 CHECK

APPLIED: 118.00-

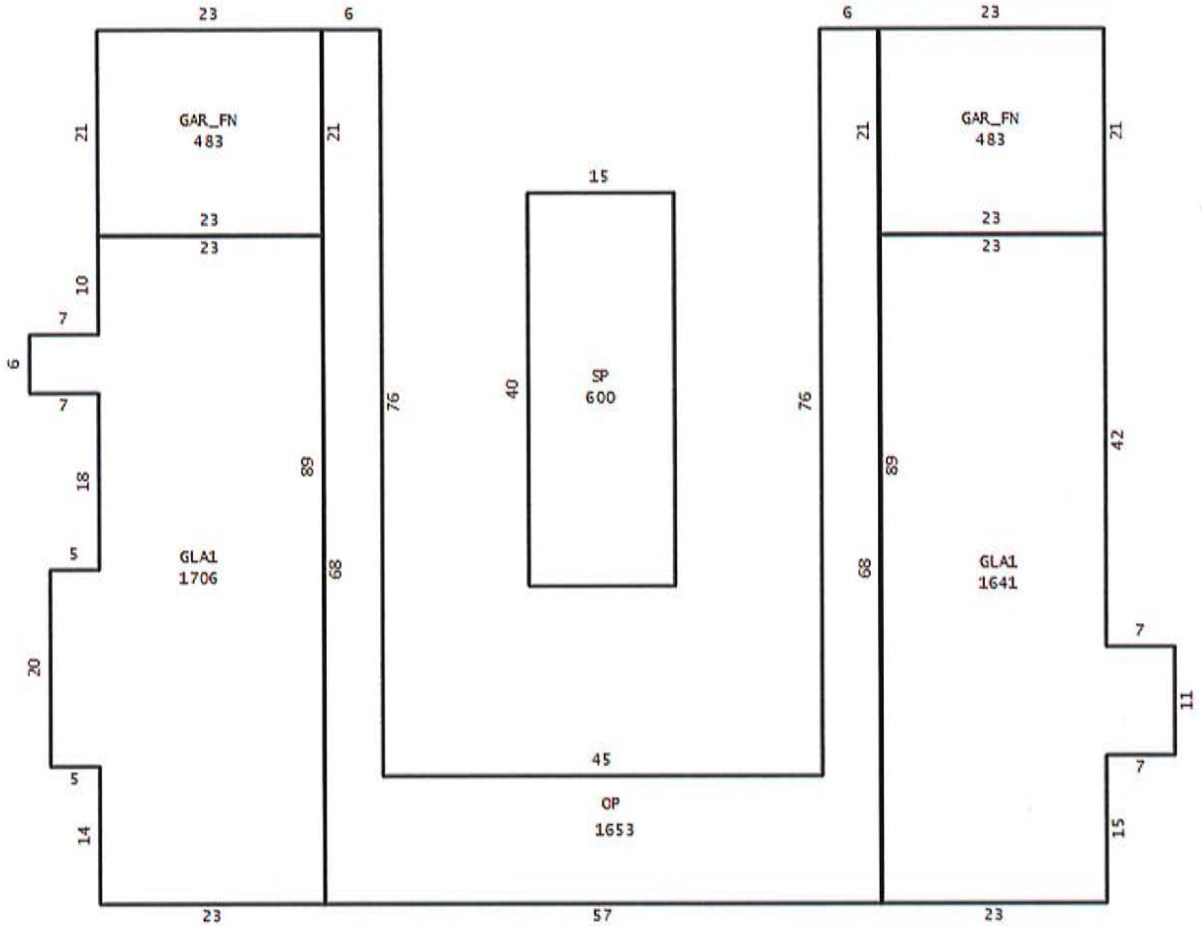
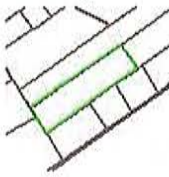
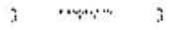
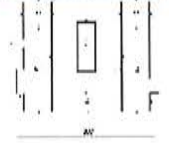
CHANGE: 0.00

Pay Online: www.mesillanm.gov



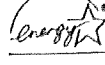
- [Account Search](#)
- [View Created Report\(s\)](#)
- [Help?](#)
- [Logout Public](#)

Account: R0400151 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.



Window
World
NM CID# 391055

Window World of Las Cruces
300 N. Telshor • Suite 100 • Las Cruces, NM 88011
Phone: (575) 532-9390 • Fax: (575) 532-5230



Customer: Priority 1 Phone (h) _____
Install Address: _____ Phone (w) _____
Bill Address: _____ E-mail _____

WINDOW WORLD WINDOW PACKAGES	
(Window max single hung / double hung 48x72 or 2-Lite 60x60. Package includes SolarZone Elite, DS glass, 1/2 screen, foam on jams and head)	
3000 Series Single Hung	\$390
3000 Series 2-Lite Single Slider	\$412
<u>2</u> 4000 Series Double Hung	\$412 <u>824</u>
4000 Series 2-Lite Slider	\$432

WINDOW WORLD WINDOWS	
(All Windows Include SolarZone Elite)	
4000 Series Picture / Fixed	\$486
4000 Series 3-Lite (1/2, 1/2, 1/2) (1/4, 1/2, 1/4)	\$646
3000 Series 3-Lite Slider (1/2, 1/2, 1/2) (1/4, 1/2, 1/4)	\$626
3000 Series Picture / Fixed	\$476
3000 Series Rounded Top SH	\$900
Windows Over 120 U.I	\$105
Casement (Not Egress)	\$486
Specialty Window	\$
Almond / Desert Clay	\$50
Bronze / Black / Silver Exterior	\$320
(Full Screens Only)	
Window Color <u>White</u> <u>White</u>	
Inside	Outside

VINYL SLIDING DOOR

Series: _____ Standard Size (Y/N) _____ Specific Standard Size: _____

Frame/Rail Style (circle): (3", 5", French, Narrow-Frame)

Stucco Protect/Flush Fin (Y/N) 3-sides 4-sides

Specified Operating Panel as seen from the outside

(x=Operating): <xo> <ox> other _____

Interior Color: _____ Exterior Color: _____

Custom Exterior handle (Y/N) finish: _____

SolarZone Elite (Y/N) _____ SolarZone Sun Shield (Y/N) _____

Grids (Y/N) _____ Style _____ Size _____

Keyed Lock (Y/N) _____ Foot Lock (Y/N): _____

Stainless Steel Rollers (Y/N) _____ White inside mini blinds (Y/N) _____

(Limited sizes available \$300 per panel) \$ _____

Additional framing to accommodate a standard size door (Y/N) _____

\$250 per panel (includes materials) \$ _____

Patio Door Interior Casing (Y/N) _____

(customer to provide the desired materials for installation)

Patio Door Exterior Brickmold (Y/N) _____

(customer to provide the desired materials for installation)

ENTRY DOOR(S) (requires detailed addendum contract) \$ _____

STORM DOOR(S) (requires detailed addendum contract) \$ _____

INSULATED WINDOW GLASS PACKS	
Solar Sun Shield Upgrade	\$60
Triple Glazed TG2** (Argon Filled)	\$155
(**Series 4000 Only)	

ADDITIONAL FEATURES	
1/2 Screens	\$9
Foam Insulation on Jams and Head	\$11
Double Strength Glass	\$15
Double Locks (> 26") (4000)	\$5
Full Screens	\$30
Colonial Grids (Contoured/Flat)	\$65
Prairie Grids	\$75
Specialty Grids	\$
Tempered Sash	\$70
Tempered Other	\$
Tinted or Specialty Glass	\$
Obscure Glass Both Sash	\$80
Oriel Style (40/60 or 60/40)	\$60

PRE 1978 BUILT HOMES (Federal Lead Containment Law)

With Custom Premium Exterior Trim \$50

Without Custom Premium Exterior Trim \$70

Lead Testing Fee (up to 4 windows) \$50

MY HOME WAS BUILT IN THE YEAR _____ Initial _____

MISCELLANEOUS	
Second Story Labor	\$60
Custom Exterior Trim (minimum of 2 windows)	\$60
3 Custom Coil Color	
Window Removal Steel or in Stucco	\$60 <u>180</u>
Window Removal Other	\$40
2 Stucco Protector/Flush Fin	\$50 <u>100</u>
(Designed to be trimmed for installation)	
Install Interior Stops (unpainted wood)	\$50
Install Interior Casing	\$50
(Customer must provide the materials)	
Replace Sill (pine-no painting or staining)	\$100
Wood or Steel Mull Removal	\$40
Mull to Form Multi Unit	\$40
Remove Storm Window	\$30
Remove Security Bars (no reinstallation)	\$50
Other	\$

ROUND-UP FOR WINDOW WORLD CARES

St. Jude Children's Research Hospital \$ _____

You the buyer are responsible for providing at least two feet of clear access on both sides of windows and for completely removing all blinds, brackets, shutters and other window coverings prior to installation. Initial: _____

You the buyer are responsible for any applicable permitting. Balance due based upon percentage of windows installed upon completion. No compensation for job delays or product errors. No painting and no repairs or painting of damages to Stucco unless stated on Contract. Initial: _____

NO EXTRA WORK IF NOT IN WRITING!

55.20 - 5% off

up to 20 weeks After Measure

1-2 weeks for Measure

Customer agrees to the terms of payment as follows:	
Subtotal	\$ <u>1104</u>
Setup and Handling (5%) Fee (minimum \$50)	\$ <u>52.44</u>
Permit	\$ <u>85</u>
Trip Charge	\$
Subtotal	\$ <u>1048.80</u>
Tax (where applicable)	\$ <u>78.70</u>
Total Amount	\$
Custom Order Deposit 50%	\$
Balance Paid to Installer upon Completion	\$ <u>1284.94</u>
Amount Financed	\$

You the buyer may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. Notice of cancellation must be in writing postmarked no later than midnight of the following third business day.

THIS IS A CUSTOM ORDER NOT FOR RESALE!

\$ 1284.94 INSTALLED

\$ 642.47 DOWN

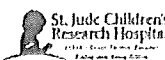
\$ 642.47 DUE ONE INSTAL

Salesman _____ Date _____ Owner _____ Date _____



NM CID# 391055

Window World of Las Cruces
300 N. Telshor • Suite 100 • Las Cruces, NM 88011
Phone: (575) 532-9390 • Fax: (575) 532-5230



Customer: Priority Z Phone (h) _____

Install Address: _____ Phone (w) _____

Bill Address: _____ E-mail _____

WINDOW WORLD WINDOW PACKAGES

(Window max single hung / double hung 48x72 or 2-Lite 60x60. Package includes SolarZone Elite, OS glass, 1/2 screen, foam on Jamb and head)

3000 Series Single Hung	\$390
3000 Series 2-Lite Single Slider	\$412 <u>412</u>
4000 Series Double Hung	\$412 <u>2060</u>
4000 Series 2-Lite Slider	\$432

WINDOW WORLD WINDOWS

(All Windows Include SolarZone Elite)

4000 Series Picture / Fixed	\$486
4000 Series 3-Lite (1/3, 1/3, 1/3) (1/4, 1/2, 1/4)	\$646
3000 Series 3-Lite Slider (1/3, 1/3, 1/3) (1/4, 1/2, 1/4)	\$626
3000 Series Picture / Fixed	\$476
3000 Series Rounded Top SH	\$900
Windows Over 120 U.I	\$105
Casement (Not Egress)	\$486
Specialty Window	\$ _____
Almond / Desert Clay	\$50
Bronze / Black / Silver Exterior	\$320

Window Color White White
Inside Outside

VINYL SLIDING DOOR

Series: _____ Standard Size (Y/N) _____ Specific Standard Size: _____
Frame/Rail Style (circle): (3", 5", French, Narrow-Frame)
Stucco Protect/Flush Fin (Y/N) 3-sides 4-sides
Specified Operating Panel as seen from the outside
(x=Operating): <xo> <ox> other _____
Interior Color: _____ Exterior Color: _____
Custom Exterior handle (Y/N) finish: _____
SolarZone Elite (Y/N) _____ SolarZone Sun Shield (Y/N) _____
Grids (Y/N) _____ Style _____ Size _____
Keyed Lock (Y/N) _____ Foot Lock (Y/N): _____
Stainless Steel Rollers (Y/N) _____ White inside mini blinds (Y/N) _____
(Limited sizes available \$300 per panel) \$ _____
Additional framing to accommodate a standard size door (Y/N) _____
\$250 per panel (includes materials) \$ _____
Patio Door Interior Casing (Y/N) _____
(customer to provide the desired materials for installation)
Patio Door Exterior Brickmold (Y/N) _____
(customer to provide the desired materials for installation)
ENTRY DOOR(S) (requires detailed addendum contract) \$ _____
STORM DOOR(S) (requires detailed addendum contract) \$ _____

INSULATED WINDOW GLASS PACKS

Solar Sun Shield Upgrade	\$60
Triple Glazed TG2** (Argon Filled)	\$155
(**Series 4000 Only)	

ADDITIONAL FEATURES

1/2 Screens	\$9
Foam Insulation on Jamb and Head	\$11
Double Strength Glass	\$15
Double Locks (> 26") (4000)	\$5
Full Screens	\$30
Colonial Grids (Contoured/Flat)	\$65
Prairie Grids	\$75
Specialty Grids	\$ _____
Tempered Sash	\$70 <u>350</u>
Tempered Other	\$ _____
Tinted or Specialty Glass	\$ _____
Obscure Glass Both Sash	\$80
Oriel Style (40/60 or 60/40)	\$60

PRE 1978 BUILT HOMES (Federal Lead Containment Law)

With Custom Premium Exterior Trim	\$50
Without Custom Premium Exterior Trim	\$70
Lead Testing Fee (up to 4 windows)	\$50
MY HOME WAS BUILT IN THE YEAR _____ Initial _____	

MISCELLANEOUS

Second Story Labor	\$60
Custom Exterior Trim (minimum of 2 windows)	\$60
Custom Coil Color	
Window Removal Steel or in Stucco	\$60
Window Removal Other	\$40 <u>240</u>
Stucco Protector/Flush Fin	\$50
(Designed to be trimmed for Installation)	
Install Interior Stops (unpainted wood)	\$50
Install Interior Casing	\$50
(Customer must provide the materials)	
Replace Sill (pine-no painting or staining)	\$100
Wood or Steel Mull Removal	\$40
Mull to Form Multi Unit	\$40
Remove Storm Window	\$30
Remove Security Bars (no reinstallation)	\$50
Other	\$ _____



ROUND-UP FOR WINDOW WORLD CARES

St. Jude Children's Research Hospital \$ _____

You the buyer are responsible for providing at least two feet of clear access on both sides of windows and for completely removing all blinds, brackets, shutters and other window coverings prior to installation. Initial: _____
You the buyer are responsible for any applicable permitting. Balance due based upon percentage of windows installed upon completion. No compensation for job delays or product errors. No painting and no repairs or painting of damages to Stucco unless stated on Contract. Initial: _____

NO EXTRA WORK IF NOT IN WRITING!

-153.10 5% Discount

Up to 20 weeks After Measure

1-2 weeks for Measure

Customer agrees to the terms of payment as follows:

Subtotal	\$ <u>3062</u>
Setup and Handling (5%) Fee (minimum \$50)	\$ <u>145.45</u>
Permit	\$ <u>85</u>
Trip Charge	\$ _____
Subtotal	\$ _____
8.32 Tax (where applicable)	\$ <u>2908.90</u>
Total Amount	\$ <u>261.19</u>
Custom Order Deposit 50%	\$ _____ Ck# _____
Balance Paid to Installer upon Completion	\$ <u>3400.54</u>
Amount Financed	\$ _____

You the buyer may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. Notice of cancellation must be in writing postmarked no later than midnight of the following third business day.
THIS IS A CUSTOM ORDER NOT FOR RESALE!

\$3400.54 installed

\$1700.27 Down

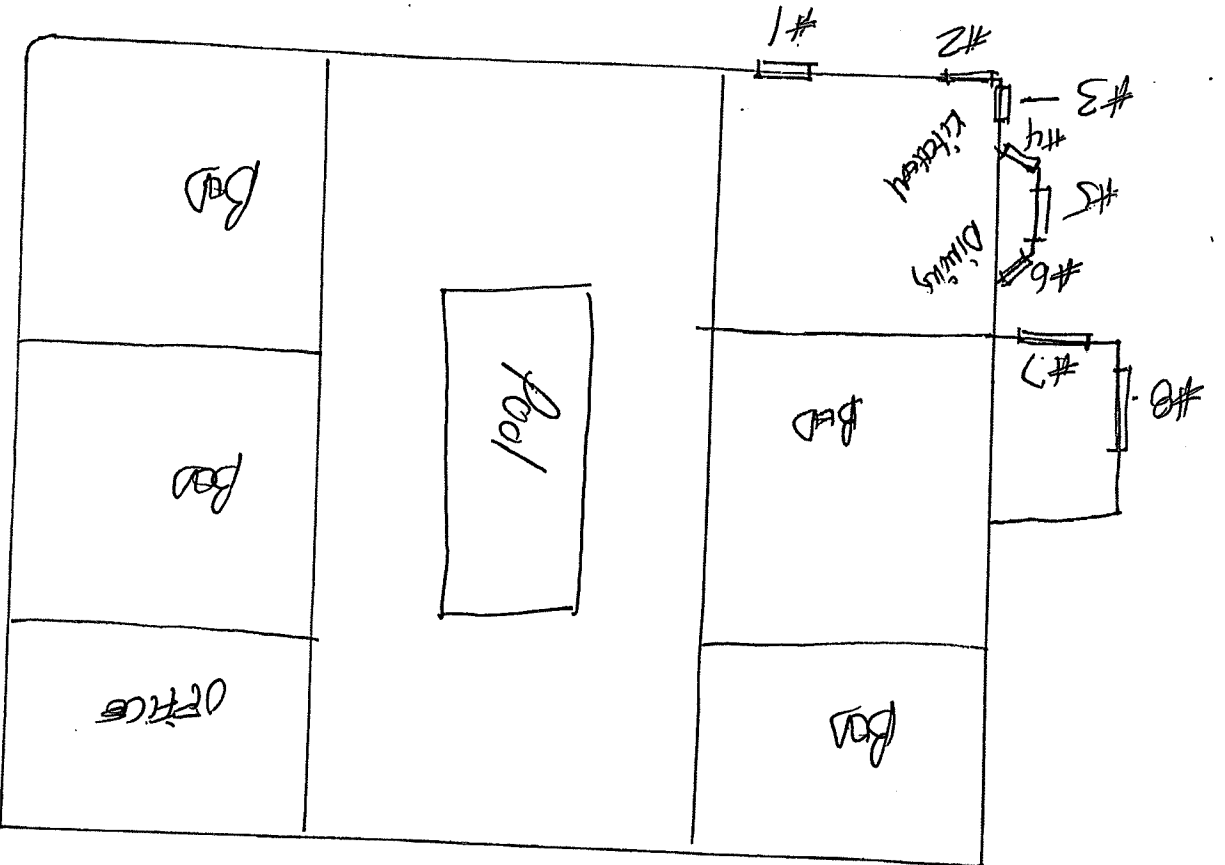
\$1700.27 Due on 11/15/11

Salesman

Date

This Window World® franchise is independently owned and operated by KMTM, LLC d/b/a Window World of Las Cruces, under license from Window World, Inc.

Flour



Don & Alyson
3044 Snow Rd. 88046
575-647-4025

1. All windows that originally meet egress will meet egress.
2. No Changes to existing construction.
3. All windows are energy efficient.

Sales Person:



Customer
Acknowledgement

Quote Date
9/7/2022

Date Ordered
9/14/2022

Dealer Name:

765480 WINDOW WORLD OF LAS
CRUCES-005-765480

Bill To:

WINDOW WORLD OF LAS CRUCES
250 N TELSHOR BLVD
LAS CRUCES NM 88011

Ship To:

WINDOW WORLD OF LAS CRUCES
250 N TELSHOR BLVD
LAS CRUCES NM 88011

Job Info

Phone: (575) 532-9390 Fax:

Order Notes:

Delivery Notes:

Quote Name:

Apodaca, Allyson & Dom

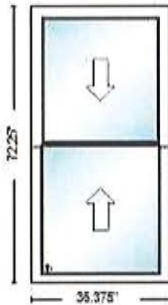
Project Name:

Apodaca, Allyson & Dom

QUOTE #	RUSH	STATUS	PO#
4043769	No	Ordered	213-3340

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

1 1 36.375" X 72.25" 110



3A01-New 4000 Series Double Hung 36 3/8 x 72 1/4
Frame Width = 36.375, Frame Height = 72.25, Sash Split
= Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite
Reinforcement
Frame Color = White, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Tempered Bottom
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD
= ASO-A-89-67460-00001
Header Expander, Foam Wrap, Net Overall

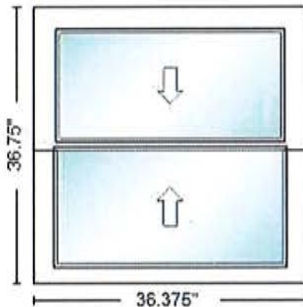
Line Item Notes:

Comment / Room:

LINE 1

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

2 1 36.375" X 36.75" 74



3A01-New 4000 Series Double Hung 36 3/8 x 36 3/4
Frame Width = 36.375, Frame Height = 36.75, Sash Split
= Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite
Reinforcement
Frame Color = White, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Glass Breakage
Warranty
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD
= ASO-A-89-67460-00001
Header Expander, Foam Wrap, Net Overall

Line Item Notes:

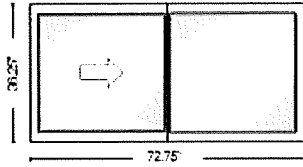
Comment / Room:

LINE 2

QUOTE #	RUSH	STATUS	PO#
4043769	No	Ordered	213-3340

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

3 1 72.75" X 36.25" 110



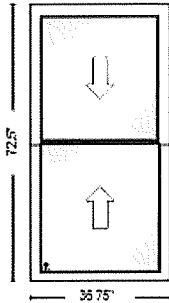
03S2-New 4000 Series XO 72 3/4 x 36 1/4
Frame Width = 72.75, Frame Height = 36.25, Sash Split = Even
Operation / Venting = XO
Frame Option = Standard Block Frame, Steel Reinforcement
Frame Color = White, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Glass Breakage Warranty
Lock Height = Standard Lock Height
Standard Screen
U-Factor = 0.28, CR = 59, SHGC = 0.21, VT = 0.49, CPD = ASO-A-93-59746-00001
Header Expander, Foam Wrap, Net Overall
Line Item Notes:

Comment / Room:

LINE 3

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

4 1 36.75" X 72.5" 110



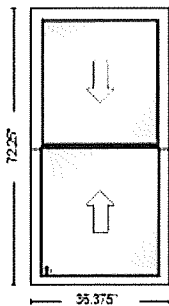
3A01-New 4000 Series Double Hung 36 3/4 x 72 1/2
Frame Width = 36.75, Frame Height = 72.5, Sash Split = Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite Reinforcement
Frame Color = White, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Tempered Bottom Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
Header Expander, Foam Wrap, Net Overall
Line Item Notes:

Comment / Room:

LINE 4

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

5 1 36.375" X 72.25" 110



3A01-New 4000 Series Double Hung 36 3/8 x 72 1/4
Frame Width = 36.375, Frame Height = 72.25, Sash Split = Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite Reinforcement
Frame Color = White, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Tempered Bottom Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
Header Expander, Foam Wrap, Net Overall
Line Item Notes:

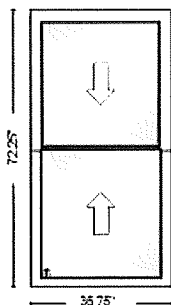
Comment / Room:

LINE 5

QUOTE #	RUSH	STATUS	PO#
4043769	No	Ordered	213-3340

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

6 1 36.75" X 72.25" 110



3A01-New 4000 Series Double Hung 36 3/4 x 72 1/4
Frame Width = 36.75, Frame Height = 72.25, Sash Split =
Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite
Reinforcement
Frame Color = White, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Tempered Bottom
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD
= ASO-A-89-67460-00001
Header Expander, Foam Wrap, Net Overall

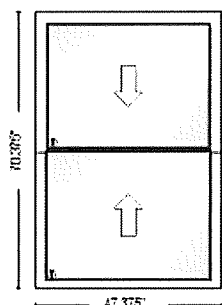
Line Item Notes:

Comment / Room:

LINE 6

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

7 1 47.375" X 70.375" 119



3A01-New 4000 Series Double Hung 47 3/8 x 70 3/8
Frame Width = 47.375, Frame Height = 70.375, Sash Split
= Even
Operation / Venting = Double Hung
Frame Option = Stucco, Composite Reinforcement
Frame Color = White, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Tempered
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD
= ASO-A-89-67460-00001
Foam Wrap, Net Overall

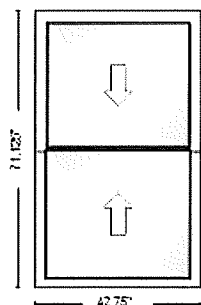
Line Item Notes:

Comment / Room:

LINE 7

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

8 1 42.75" X 71.125" 115



3A01-New 4000 Series Double Hung 42 3/4 x 71 1/8
Frame Width = 42.75, Frame Height = 71.125, Sash Split
= Even
Operation / Venting = Double Hung
Frame Option = Stucco, Composite Reinforcement
Frame Color = White, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Glass Breakage
Warranty
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD
= ASO-A-89-67460-00001
Foam Wrap, Net Overall

Line Item Notes:

Comment / Room:

LINE 8

QUOTE #	RUSH	STATUS	PO#
4043769	No	Ordered	213-3340

Customer Notes:


Total Unit Count	8
------------------	---

ATTENTION

Please note that all weights provided are estimates and subject to change based on actual order shipment.
For Informational Purposes: All windows are viewed from the outside looking in.

NOTICE: The rating information provided on this quote is based upon the NFRC ratings at the time of quote. Such ratings are subject to changes in the standard by the applicable regulatory agencies and will be finalized at the time of manufacturing. All ratings printed on the NFRC label will supersede the NFRC rating set forth in the quote. Any changes made to an order after submission may also result in changes to the NFRC rating. Customer shall be solely responsible for determining whether the product ordered meets their jurisdiction's requirements.

In accordance with the state of California:

 **WARNING:** Cancer and Reproductive Harm - www.p65Warnings.ca.gov

This order is subject to AMI's Standard Terms and Conditions, which can be found here:
<https://www.associatedmaterials.com/resources/>

Want to see real-time status for window orders? Register here for the Associated Materials Customer Portal – Portal.associatedmaterials.com/account/register

I have reviewed this order and certify that it is correct. I understand that this order is noncancellable, nonreturnable, and nonrefundable.

By _____ Authorized Representative

BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case #061434 – 3380 McDowell Road submitted by Jordan and Bethany Carvalho to retro fit new exterior windows. **Zoned: R1**

BACKGROUND AND ANALYSIS:

The applicants are proposing to install retro fit new exterior windows by Window World. This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 18.33

SUPPORTING INFORMATION:

- Application
- Receipt
- Survey
- Window price quote
- Site Plan

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 170.00
Review Fee \$ 28.00
Total Fee \$ 198.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061434 ZONE: R1 CODE: RN APPLICATION DATE 7-28-22 **RECEIVED**

Name of Property Owner Jordan & Bethany Carvalho Property Owner's Telephone Number 253-651-6544 or 951-660-1940

Property Owner's Mailing Address 3380 Mc Dowell Las Cruces City Nm State Nm Zip Code 88005

Property Owner's E-mail Address Oriens belt P3Vx31@yahoo.com or goss.bethany@yahoo.com

Contractor's Name & Address (If none, indicate Self) Window world of Las Cruces

Contractor's Telephone Number 575-532-9390 Contractor's Tax ID Number NM CID# 391055 → Contractor's License Number _____

Address of Proposed Work: 3380 Mc Dowell

Description of Proposed Work: Retro Fit new exterior windows

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. ☒ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☐ Site Plan with dimensions and details.
3. ☐ Foundation plan with details.
4. ☐ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☐ Roof and floor framing plan.
7. ☐ Proof of legal access to the property.
8. ☐ Drainage plan.
9. ☒ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☐ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☐ Proof of legal access to the property.
12. ☐ Other information as necessary or required by the Town Code or Community Development Department.

Estimated Cost \$ 11,579 Signature of Applicant Pat Hayes for Jordan Carvalho Date 7/30/2022

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC <input type="checkbox"/> Administrative Approval <input type="checkbox"/> Approved Date: _____ <input type="checkbox"/> Disapproved Date: _____ <input type="checkbox"/> Approved with conditions	BOT <input type="checkbox"/> Approved Date: _____ <input type="checkbox"/> Disapproved Date: _____ <input type="checkbox"/> Approved with Conditions
--	--

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO BOT APPROVAL REQUIRED: ☐ YES ☒ NO

CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

TOWN OF MESILLA
575-524-3262

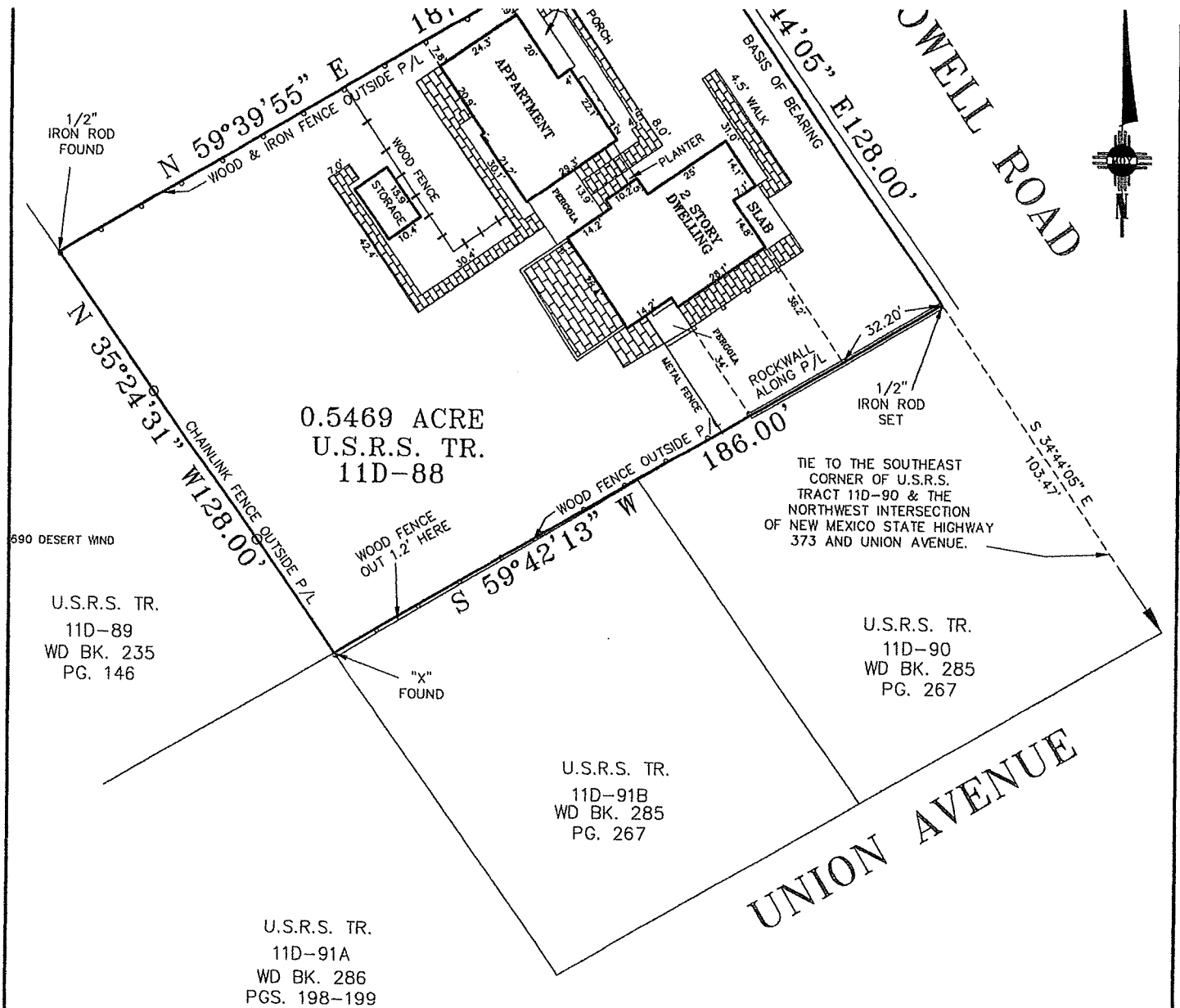
REC#: 00183246 7/28/2022 2:00 PM
OPER: UTCLK TERM: 001
REF#: 1458BRC

TRAN: 110.0000 PERMITS/INSPECTIONS
061434 198.00CR
CARVALHO, JORDAN/BETHONY
3380 MCDOWELL RD
BLD 198.00CR

TENDERED: 198.00 CHECK
APPLIED: 198.00-

CHANGE: 0.00

Pay Online: www.mesillanm.gov



NOTES:

INFORMATION IN THE PREPARATION OF THIS PLAT DERIVES FROM WARRANTY DEED FILED AUGUST 16, 1991, IN DEED BOOK 352, PAGE 186, DONA ANA COUNTY RECORDS

FLOOD ZONE "X"; AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN. IN MAP NO. 35013C1094 G, EFFECTIVE JULY 6, 2016.

"INDEXING INFORMATION FOR COUNTY CLERK"

R0400901

PROPERTY OWNER:
SALAS

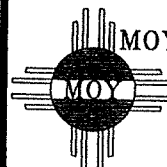
PROPERTY LOCATION:
TOWN OF MESILLA



PLAT OF SURVEY
SHOWING THE LOCATION OF IMPROVEMENTS
ON A 0.5469 ACRE TRACT
IN SECTION 31, T.23S., R.2E., N.M.P.M.
OF THE U.S.R.S. SURVEY
BEING U.S.R.S. TRACT 11D-88
IN THE TOWN OF MESILLA
DONA ANA COUNTY, NEW MEXICO

I, HENRY MAGALLANEZ, A NEW MEXICO PROFESSIONAL SURVEYOR CERTIFY THAT I CONDUCTED AND AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

Henry Magallanez 18078
HENRY MAGALLANEZ N.M.P.S. 18078



MOY SURVEYING INC.

1985 CALLE DE COLON
MESILLA, NEW MEXICO
88046

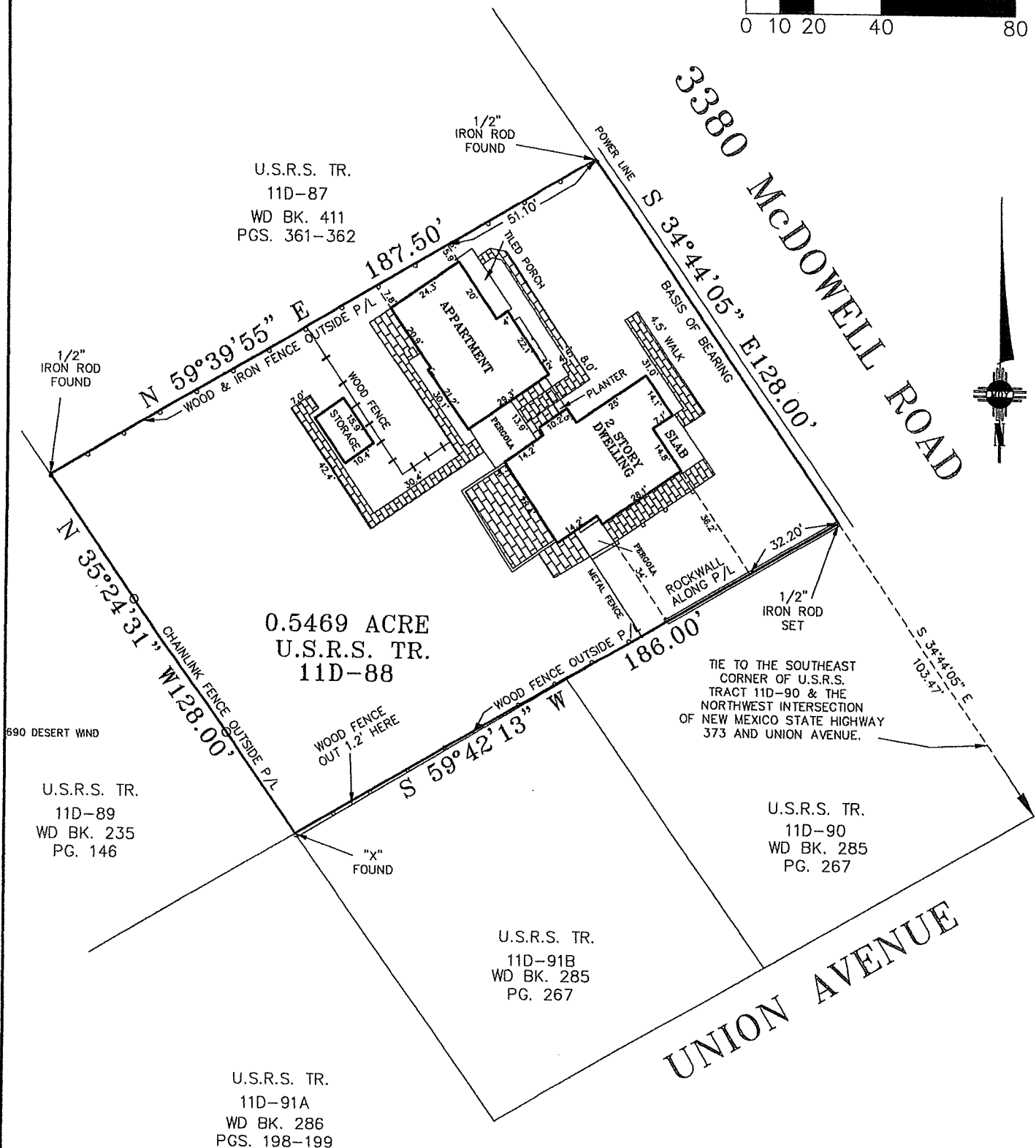
PHONE: (575) 525-9683
FAX: (575) 524-3238

JOB NO. 22-0396(18-0246)

DRAWN BY ANTON M.

FIELD BY ANOTN/VICTOR

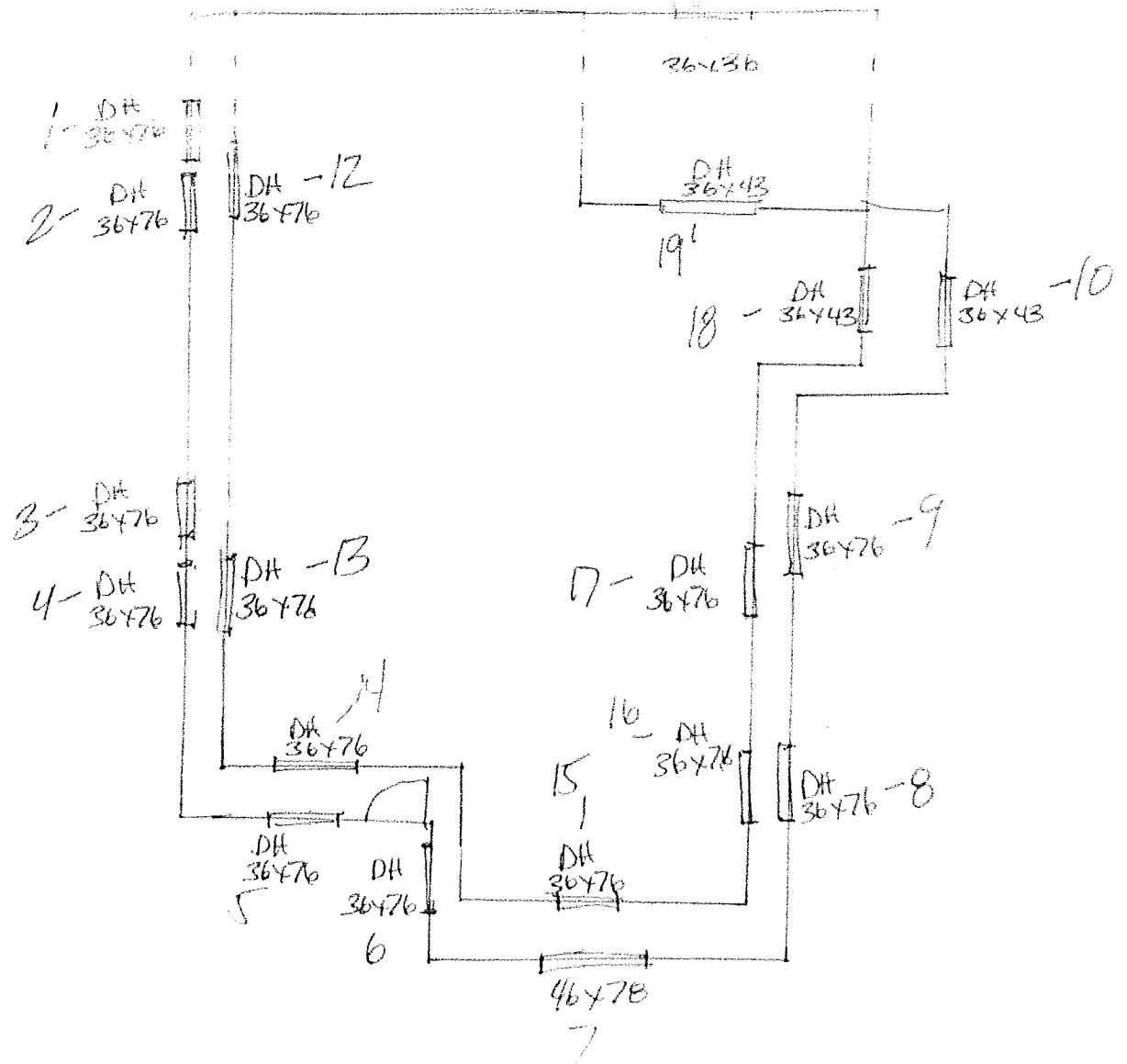
DATE 06/27/22 SCALE: 1"=40'



INFORMATION IN THE PREPARATION OF THIS PLAT DERIVES FROM
WARRANTY DEED FILED AUGUST 16, 1991, IN DEED BOOK 352,
PAGE 186, DONA ANA COUNTY RECORDS

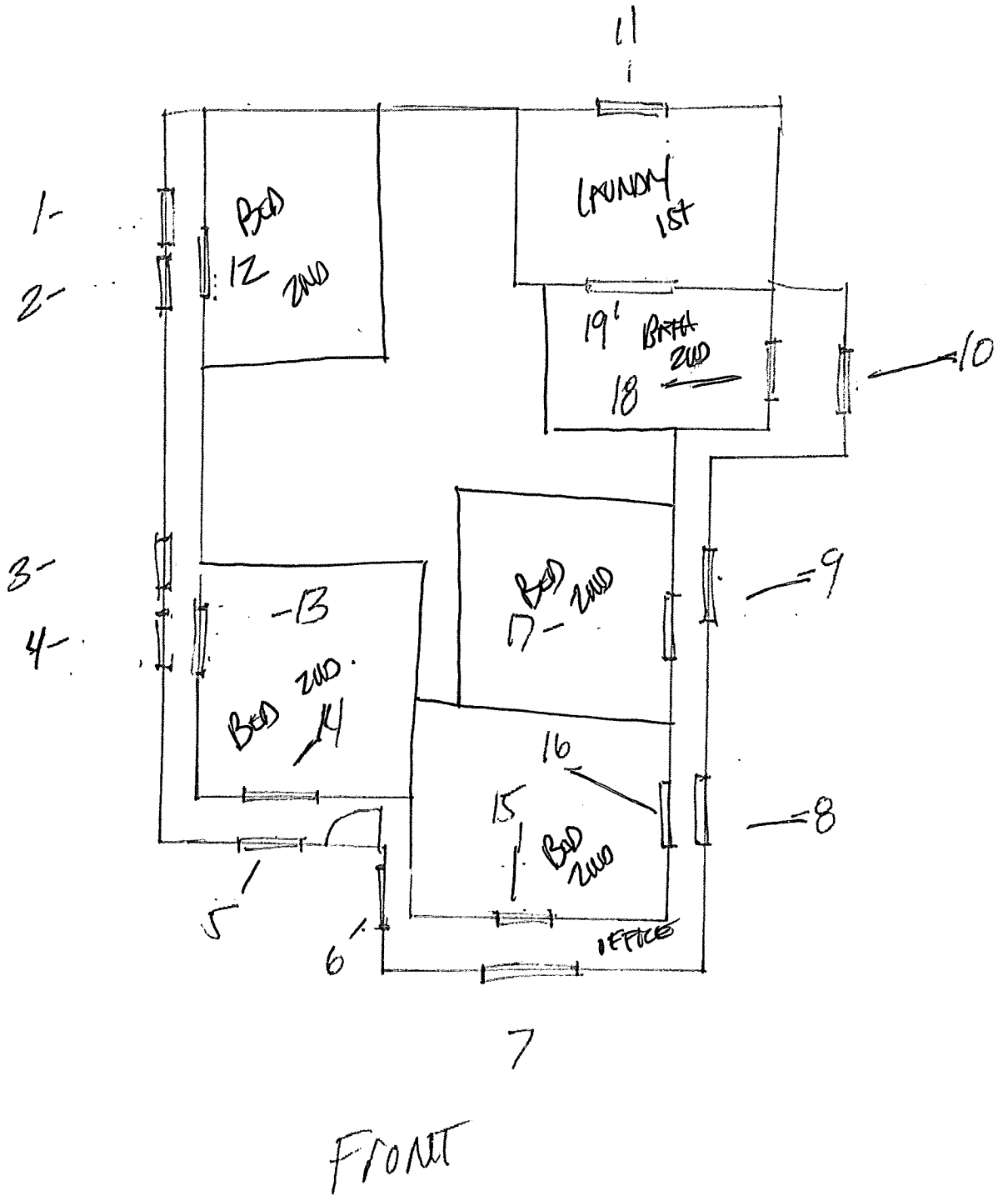
FLOOD ZONE "X": AREAS DETERMINED TO BE OUTSIDE
500-YEAR FLOOD PLAIN. IN MAP NO. 35013C1094 G,
EFFECTIVE JULY 6, 2016.

PROPERTY LOCATION:
TOWN OF MESILLA



FRONT

JORDAN & BETANY CORP LTD
 3380 Mc Duell Rd. 88005 - Mesa
 253-651-6544



1. All windows that originally meet egress will meet egress.
2. No Changes to existing construction.
3. All windows are energy efficient.

Sales Person:



Customer
Acknowledgement

Quote Date
9/21/2022

Date Ordered
9/29/2022

Dealer Name:

765480 WINDOW WORLD OF LAS
CRUCES-005-765480

Bill To:

WINDOW WORLD OF LAS CRUCES
250 N TELSHOR BLVD
LAS CRUCES NM 88011

Ship To:

WINDOW WORLD OF LAS CRUCES
250 N TELSHOR BLVD
LAS CRUCES NM 88011

Job Info

Phone: (575) 532-9390 Fax:

Order Notes:

Delivery Notes:

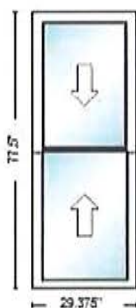
Quote Name:

Project Name:

Carvalho, Jordan & BethanyCarvalho, Jordan & Bethany

QUOTE #	RUSH	STATUS	PO#
4057104	No	Ordered	213-3337

Line Item #	Qty	Width x Height	UI	Description
1	1	29.375" X 77.5"	108	



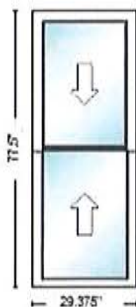
3A01-New 4000 Series Double Hung 29 3/8 x 77 1/2
Frame Width = 29.375, Frame Height = 77.5, Sash Split =
Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite
Reinforcement
Frame Color = Almond, Exterior Finish = No Exterior
Finish
SolarZone Elite, Double Strength, Glass Breakage
Warranty
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD
= ASO-A-89-67460-00001
Header Expander, Foam Wrap, Net Overall

Line Item Notes:

Comment / Room:

LINE 1

Line Item #	Qty	Width x Height	UI	Description
2	1	29.375" X 77.5"	108	



3A01-New 4000 Series Double Hung 29 3/8 x 77 1/2
Frame Width = 29.375, Frame Height = 77.5, Sash Split =
Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite
Reinforcement
Frame Color = Almond, Exterior Finish = No Exterior
Finish
SolarZone Elite, Double Strength, Glass Breakage
Warranty
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD
= ASO-A-89-67460-00001
Header Expander, Foam Wrap, Net Overall

Line Item Notes:

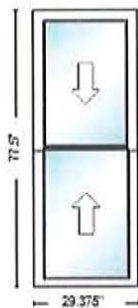
Comment / Room:

LINE 2

QUOTE #	RUSH	STATUS	PO#
4057104	No	Ordered	213-3337

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

3 1 29.375" X 77.5" 108



3A01-New 4000 Series Double Hung 29 3/8 x 77 1/2
 Frame Width = 29.375, Frame Height = 77.5, Sash Split = Even
 Operation / Venting = Double Hung
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = Almond, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Glass Breakage Warranty
 Standard Screen
 U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
 Header Expander, Foam Wrap, Net Overall

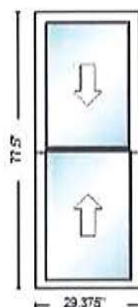
Line Item Notes:

Comment / Room:

LINE 3

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

4 1 29.375" X 77.5" 108



3A01-New 4000 Series Double Hung 29 3/8 x 77 1/2
 Frame Width = 29.375, Frame Height = 77.5, Sash Split = Even
 Operation / Venting = Double Hung
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = Almond, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Glass Breakage Warranty
 Standard Screen
 U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
 Header Expander, Foam Wrap, Net Overall

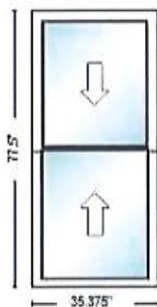
Line Item Notes:

Comment / Room:

LINE 4

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

5 1 35.375" X 77.5" 114



3A01-New 4000 Series Double Hung 35 3/8 x 77 1/2
 Frame Width = 35.375, Frame Height = 77.5, Sash Split = Even
 Operation / Venting = Double Hung
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = Almond, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Glass Breakage Warranty
 Standard Screen
 U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
 Header Expander, Foam Wrap, Net Overall

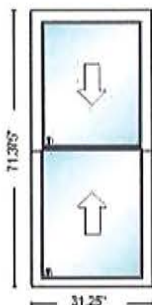
Line Item Notes:

Comment / Room:

LINE 5

QUOTE #	RUSH	STATUS	PO#
4057104	No	Ordered	213-3337

Line Item #	Qty	Width x Height	UI	Description
6	1	31.25" X 71.375"	104	



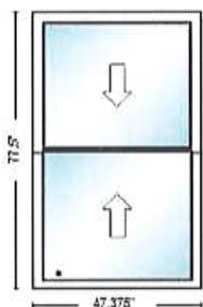
3A01-New 4000 Series Double Hung 31 1/4 x 71 3/8
Frame Width = 31.25, Frame Height = 71.375, Sash Split = Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite Reinforcement
Frame Color = Almond, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Tempered Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
Header Expander, Foam Wrap, Net Overall

Line Item Notes:

Comment / Room:

LINE 6

Line Item #	Qty	Width x Height	UI	Description
7	1	47.375" X 77.5"	126	



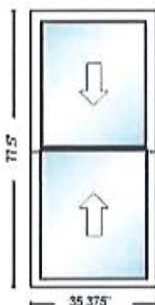
3A01-New 4000 Series Double Hung 47 3/8 x 77 1/2
Frame Width = 47.375, Frame Height = 77.5, Sash Split = Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite Reinforcement
Frame Color = Almond, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Glass Breakage Warranty
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
Header Expander, Foam Wrap, Net Overall

Line Item Notes:

Comment / Room:

LINE 7

Line Item #	Qty	Width x Height	UI	Description
8	1	35.375" X 77.5"	114	



3A01-New 4000 Series Double Hung 35 3/8 x 77 1/2
Frame Width = 35.375, Frame Height = 77.5, Sash Split = Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite Reinforcement
Frame Color = Almond, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Glass Breakage Warranty
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
Header Expander, Foam Wrap, Net Overall

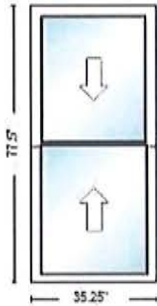
Line Item Notes:

Comment / Room:

LINE 8

QUOTE #	RUSH	STATUS	PO#
4057104	No	Ordered	213-3337

Line Item #	Qty	Width x Height	UI	Description
9	1	35.25" X 77.5"	114	



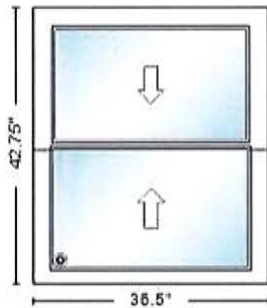
3A01-New 4000 Series Double Hung 35 1/4 x 77 1/2
 Frame Width = 35.25, Frame Height = 77.5, Sash Split = Even
 Operation / Venting = Double Hung
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = Almond, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Glass Breakage Warranty
 Standard Screen
 U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
 Header Expander, Foam Wrap, Net Overall

Line Item Notes:

Comment / Room:

LINE 9

Line Item #	Qty	Width x Height	UI	Description
10	1	36.5" X 42.75"	80	



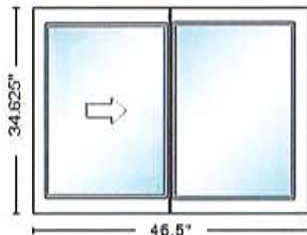
3A01-New 4000 Series Double Hung 36 1/2 x 42 3/4
 Frame Width = 36.5, Frame Height = 42.75, Sash Split = Even
 Operation / Venting = Double Hung
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = Almond, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Obscure Bottom, Glass Breakage Warranty
 Standard Screen
 U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
 Header Expander, Foam Wrap, Net Overall

Line Item Notes:

Comment / Room:

LINE 10

Line Item #	Qty	Width x Height	UI	Description
11	1	46.5" X 34.625"	82	



03S2-New 4000 Series XO 46 1/2 x 34 5/8
 Frame Width = 46.5, Frame Height = 34.625, Sash Split = Even
 Operation / Venting = XO
 Frame Option = Stucco, Composite Reinforcement
 Frame Color = Almond, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Glass Breakage Warranty
 Lock Height = Standard Lock Height
 Standard Screen
 U-Factor = 0.28, CR = 60, SHGC = 0.21, VT = 0.49, CPD = ASO-A-93-55408-00001
 Foam Wrap, Net Overall

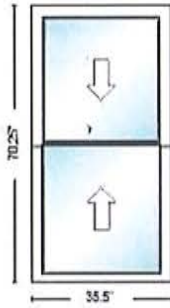
Line Item Notes:

Comment / Room:

LINE 11

QUOTE #	RUSH	STATUS	PO#
4057104	No	Ordered	213-3337

Line Item #	Qty	Width x Height	UI	Description
12	1	35.5" X 70.25"	107	



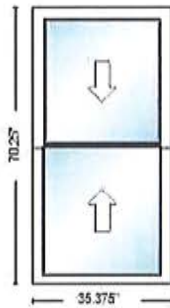
3A01-New 4000 Series Double Hung 35 1/2 x 70 1/4
 Frame Width = 35.5, Frame Height = 70.25, Sash Split = Even
 Operation / Venting = Double Hung
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = Almond, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Glass Breakage Warranty
 Standard Screen
 U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
 Foam Wrap, Net Overall

Line Item Notes:

Comment / Room:

LINE 12

Line Item #	Qty	Width x Height	UI	Description
13	1	35.375" X 70.25"	107	



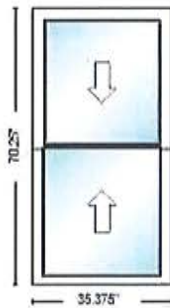
3A01-New 4000 Series Double Hung 35 3/8 x 70 1/4
 Frame Width = 35.375, Frame Height = 70.25, Sash Split = Even
 Operation / Venting = Double Hung
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = Almond, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Glass Breakage Warranty
 Standard Screen
 U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
 Foam Wrap, Net Overall

Line Item Notes:

Comment / Room:

LINE 13

Line Item #	Qty	Width x Height	UI	Description
14	1	35.375" X 70.25"	107	



3A01-New 4000 Series Double Hung 35 3/8 x 70 1/4
 Frame Width = 35.375, Frame Height = 70.25, Sash Split = Even
 Operation / Venting = Double Hung
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = Almond, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Glass Breakage Warranty
 Standard Screen
 U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-67460-00001
 Foam Wrap, Net Overall

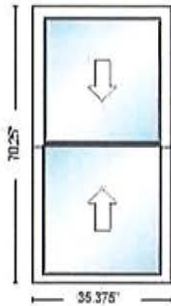
Line Item Notes:

Comment / Room:

LINE 14

QUOTE #	RUSH	STATUS	PO#
4057104	No	Ordered	213-3337

Line Item #	Qty	Width x Height	UI	Description
15	1	35.375" X 70.25"	107	



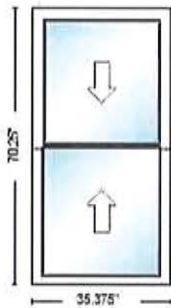
3A01-New 4000 Series Double Hung 35 3/8 x 70 1/4
Frame Width = 35.375, Frame Height = 70.25, Sash Split
= Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite
Reinforcement
Frame Color = Almond, Exterior Finish = No Exterior
Finish
SolarZone Elite, Double Strength, Glass Breakage
Warranty
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD
= ASO-A-89-67460-00001
Foam Wrap, Net Overall

Line Item Notes:

Comment / Room:

LINE 15

Line Item #	Qty	Width x Height	UI	Description
16	1	35.375" X 70.25"	107	



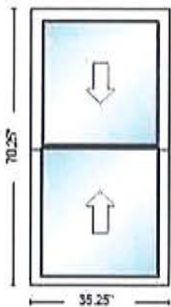
3A01-New 4000 Series Double Hung 35 3/8 x 70 1/4
Frame Width = 35.375, Frame Height = 70.25, Sash Split
= Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite
Reinforcement
Frame Color = Almond, Exterior Finish = No Exterior
Finish
SolarZone Elite, Double Strength, Glass Breakage
Warranty
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD
= ASO-A-89-67460-00001
Foam Wrap, Net Overall

Line Item Notes:

Comment / Room:

LINE 16

Line Item #	Qty	Width x Height	UI	Description
17	1	35.25" X 70.25"	107	



3A01-New 4000 Series Double Hung 35 1/4 x 70 1/4
Frame Width = 35.25, Frame Height = 70.25, Sash Split
= Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite
Reinforcement
Frame Color = Almond, Exterior Finish = No Exterior
Finish
SolarZone Elite, Double Strength, Glass Breakage
Warranty
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD
= ASO-A-89-67460-00001
Foam Wrap, Net Overall

Line Item Notes:

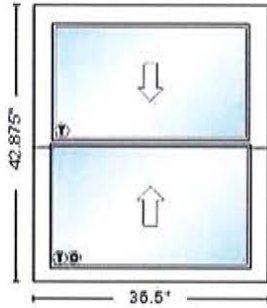
Comment / Room:

LINE 17

QUOTE #	RUSH	STATUS	PO#
4057104	No	Ordered	213-3337

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

18 1 36.5" X 42.875" 80



3A01-New 4000 Series Double Hung 36 1/2 x 42 7/8
Frame Width = 36.5, Frame Height = 42.875, Sash Split =
Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite
Reinforcement
Frame Color = Almond, Exterior Finish = No Exterior
Finish
SolarZone Elite, Double Strength, Tempered, Obscure
Bottom
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD
= ASO-A-89-67460-00001
Foam Wrap, Net Overall

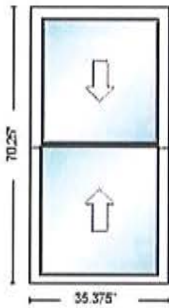
Line Item Notes:

Comment / Room:

LINE 18

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

19 1 35.375" X 70.25" 107



3A01-New 4000 Series Double Hung 35 3/8 x 70 1/4
Frame Width = 35.375, Frame Height = 70.25, Sash Split
= Even
Operation / Venting = Double Hung
Frame Option = Standard Block Frame, Composite
Reinforcement
Frame Color = Almond, Exterior Finish = No Exterior
Finish
SolarZone Elite, Double Strength, Glass Breakage
Warranty
Standard Screen
U-Factor = 0.29, CR = 58, SHGC = 0.21, VT = 0.48, CPD
= ASO-A-89-67460-00001
Foam Wrap, Net Overall

Line Item Notes:

Comment / Room:

LINE 19

QUOTE #	RUSH	STATUS	PO#
4057104	No	Ordered	213-3337

Customer Notes:


Total Unit Count	19
------------------	----

ATTENTION

Please note that all weights provided are estimates and subject to change based on actual order shipment.
For Informational Purposes: All windows are viewed from the outside looking in.

NOTICE: The rating information provided on this quote is based upon the NFRC ratings at the time of quote. Such ratings are subject to changes in the standard by the applicable regulatory agencies and will be finalized at the time of manufacturing. All ratings printed on the NFRC label will supersede the NFRC rating set forth in the quote. Any changes made to an order after submission may also result in changes to the NFRC rating. Customer shall be solely responsible for determining whether the product ordered meets their jurisdiction's requirements.

In accordance with the state of California:

 **WARNING:** Cancer and Reproductive Harm - www.p65Warnings.ca.gov

This order is subject to AMI's Standard Terms and Conditions, which can be found here:
<https://www.associatedmaterials.com/resources/>

Want to see real-time status for window orders? Register here for the Associated Materials Customer Portal – Portal.associatedmaterials.com/account/register

I have reviewed this order and certify that it is correct. I understand that this order is noncancellable, nonreturnable, and nonrefundable.

By _____ Authorized Representative

BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case #061456– 3038 Los Arenales submitted by Jerry Gonzalez to install HVAC project on the residence. **Zoned: Historical Residential (HR)**

BACKGROUND AND ANALYSIS:

The applicants are proposing to install a residential HVAC project. Materials 3.5 ton lennox, 14 sear, 17 ft furnace lennox, 88 kbtu input 72k, output natural gas, 17 ft evaporative coil aspen. This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 15.15, 18.33, and 18.60

SUPPORTING INFORMATION:

- Application
- Price quote
- Site plan

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 90.00
Review Fee \$ 16.00
Total Fee \$ 106.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061456 ZONE: HR CODE: AC APPLICATION DATE: 9/9/2022

Jerry Gonzalez 575-680-0497
Name of Property Owner Property Owner's Telephone Number
3038 Los Arenales Las Cruces NM
Property Owner's Mailing Address City State Zip Code
n/a
Property Owner's E-mail Address
Yellow Bird Services LLC Esmeralda Villegas
Contractor's Name & Address (If none, indicate Self)
575-523-8089 380200
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 3038 Los Arenales Las Cruces NM 88005

Description of Proposed Work: RESIDENTIAL HVAC PROJECT MATERIALS: 3.5 TON LENNOX 14 SEER
17' FURNACE LENNOX 88K BTU INPUT 72K OUTPUT NATURAL GAS, 17' EVAP. COIL ASPEN

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. ☐ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☒ Site Plan with dimensions and details.
3. ☐ Foundation plan with details.
4. ☐ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☐ Roof and floor framing plan.
7. ☐ Proof of legal access to the property.
8. ☐ Drainage plan.
9. ☐ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☐ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☐ Proof of legal access to the property.
12. ☒ Other information as necessary or required by the Town Code or Community Development Department.

\$ 3,500.00 Esmeralda Villegas 9/9/2022
Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval **BOT** ☐ Approved Date: _____
☐ Approved Date: _____
☐ Disapproved Date: _____
☐ Disapproved Date: _____
☐ Approved with conditions ☐ Approved with Conditions

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO BOT APPROVAL REQUIRED: ☐ YES ☐ NO
CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

Yellow Bird Services, LLC NM Lic#380200**Db: Yellow Bird Solar & Yellow Bird Air Conditioning & Heating****6000 S. Main Street****Mesilla Park, NM 88047****Schedule: 575-449-3115****To:****JERRY GONZALES****3038 LOS ARENALES****MESILLA, NM 88046****Quote #2003051****Comfort Consultant -*******VALID 10 DAYS*******Phone #1 575-???-????****Phone #2****7/23/21 Date****email:**

**3.50 TON
LENNOX/17"
FURNACE**

Home Built 20XX Sqft 1XXX**1****Knocker = 0 C****One (1) year maintenance (2 calls/ year = 2 total calls) is****Portable A/C or Heat/Unit-Rent/Day****\$25.00****Package Units are 14 or 16 SEER****Builder****Yellowbird**

Air Purification - Halo System	\$1,189.00	\$10.94	
Humidifier -Stand Alone (Integrated \$1,495)	\$150.00	\$1.38	
Duct Modifications			
Attic Insulation/ Accessible SF	\$1.45	\$0.01	
Electric Vehicle Charger	\$1,500.00	\$13.80	
Cool Roof -Coat-Elastomer/SF - Lifetime	\$1.45	\$0.01	
Plumbing Sub			
Move HVAC equipment			3,500.00
Aeroseal - Duct Sealing	\$2,499.00	\$22.99	
Evaporative Cooler Conversion			
Refrigerant Line Set - Copper& Ins	\$899.00	\$8.27	\$0.00
Remove Cooler - Seal & Cap	\$350.00	\$3.22	\$0.00
Standard Electrical (+2495 upgrade)	\$999.00	\$9.19	\$0.00
Solar Ad On/ Trade In Promotion			
w/o Panels-Solar Attic Fan Promotion			
Advertised Promotion			\$0.00
Availability Factor - HVAC			\$0.00
Sub Total			\$3,500.00
Availability Factor HVAC - %		NA	0.0%
Gross Receipts Tax reported on Cash Basis, A Non Recourse amount is included here			\$0.00
HVAC Subtotal			\$3,500.00
A/C Overhead/Engineering/EPE filings/ Finance/ Admin			\$0.00
HVAC Total			\$3,500.00



BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case #061457 – 2415 Calle de Parian submitted by Robert Reynolds to install solar project. **Zoned: Historical Residential (HR).**

BACKGROUND AND ANALYSIS:

The applicants are proposing a solar project, 18 panels on ballast mount. Roof mounted unit no visual from roadway. This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 18.33 and 18.35.060

SUPPORTING INFORMATION:

- Application
- Engineering certification
- Site plan

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061457

Fee \$ 665.00

Fee \$ 589.00

Revised \$ 76.00

**PERMISSION TO CONDUCT WORK
OR**

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061457 ZONE: HR CODE: AC APPLICATION DATE: 9/1/22

ROBERT REYNOLDS

575-644-0829

Name of Property Owner

Property Owner's Telephone Number

2415 CALLE DE PARIAN

Las Cruces

NM

88005

Property Owner's Mailing Address

City

State

Zip Code

Property Owner's E-mail Address

Mesilla Park Services LLC

Contractor's Name & Address (If none, indicate Self)

575-523-8089

406933

Contractor's Telephone Number

Contractor's Tax ID Number

Contractor's License Number

Address of Proposed Work: 2415 CALLE DE PARIAN

Description of Proposed Work: Solar project 18 panels on ballast mount. Please see attached documents for project details.

\$ 43,598.90

Esmeralda Villegas

9/1/22

Estimated Cost

Signature of Applicant

Date

Signature of property owner: ROBERT REYNOLDS

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC

☐ Administrative Approval

BOT

☐ Approved Date: _____

☐ Approved Date: _____

☐ Disapproved Date: _____

☐ Disapproved Date: _____

☐ Approved with Conditions

☐ Approved with conditions

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO

BOT APPROVAL REQUIRED: ☒ YES ☐ NO

CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. _____ Site Plan with dimensions and details.
3. _____ Foundation plan with details.
4. _____ Floor plan showing rooms, their uses and dimensions.
5. _____ Cross section of walls
6. _____ Roof and floor framing plan
8. _____ Proof of legal access to the property.
9. _____ Drainage plan.
10. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. _____ Proof of legal access to the property.
13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

Lilley Engineering Inc.

5160 Calle Bellisima Las Cruces, New Mexico 88012
Office (575) 521-0006

August 28, 2022

Rocky Bacchus
Mesilla Park Services LLC
6000 S. Main St.
Mesilla Park, NM 88047

Subj: UNIRAC BALLAST MOUNTING SYSTEM – 2415 CALLE DE PARIAN, LAS CRUCES, NM

Mr. Bacchus,

I have analyzed the design location for the solar panel system on the flat roof at the subject location. The existing roof system supports the loading applied by placement of the solar panels and roof mounting system.

The installation contractor shall install the prescribed quantity of blocks on the Unirac ballast bays per manufacturer's suggestion (33 lb blocks). This installation will add approximately 4.7 psf to the flat roof.

The addition of solar panels to a roof eliminates the live load (in the area the panels occupy) that would normally be applied when designing or analyzing a roof structure. The walls and roof structure will adequately support the additional weight as per design layout.

If you have any questions or concerns please contact me.

Sincerely,

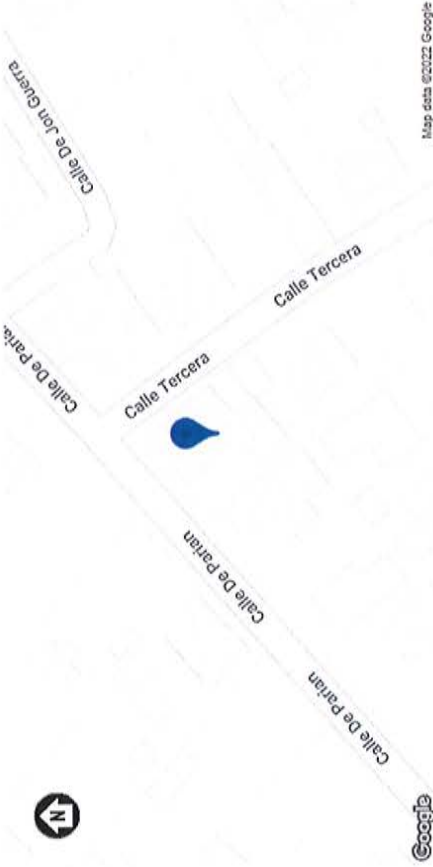


Daniel P. Lilley, P.E.

DIRECTORY OF PAGES	
PV-1	PROJECT SUMMARY
PV-2	SITE PLAN
PV-3	SINGLE-LINE DIAGRAM
PV-4	SAFETY LABELS
PV-7	FIRE SAFETY PLAN
APPENDIX	
	ELECTRICAL CALCULATIONS
	MODULE DATASHEET
	ARRAY WIRING BOX DATASHEET
	ARRAY WIRING BOX DATASHEET
	DISCONNECT DATASHEET
	INVERTER DATASHEET

PROJECT DETAILS	
PROPERTY ADDRESS	2415 CALLE DE PARIAN, LAS CRUCES, NM 88005 US
ZONING	RESIDENTIAL
USE AND OCCUPANCY CLASSIFICATION	ONE- OR TWO-FAMILY DWELLING GROUP (GROUP R3)
UTILITY COMPANY	EL PASO ELECTRIC CO
ELECTRICAL CODE	2017 NEC (NFPA 70)
FIRE CODE	2012 IFC
OTHER BUILDING CODES	2015 NM RES. BUILDING CODE 2015 NM PLUMBING CODE 2015 NM MECHANICAL CODE

CONTRACTOR INFORMATION	
COMPANY	Mesilla Park Services LLC
LICENSE NUMBER	406933
ADDRESS	6000 S. Main St. Mesilla Park
PHONE NUMBER	(575) 523-3089
CONTRACTOR SIGNATURE	



1 PLOT
PV-1 SCALE: NTS



2 LOCALE
PV-1 SCALE: NTS

SCOPE OF WORK

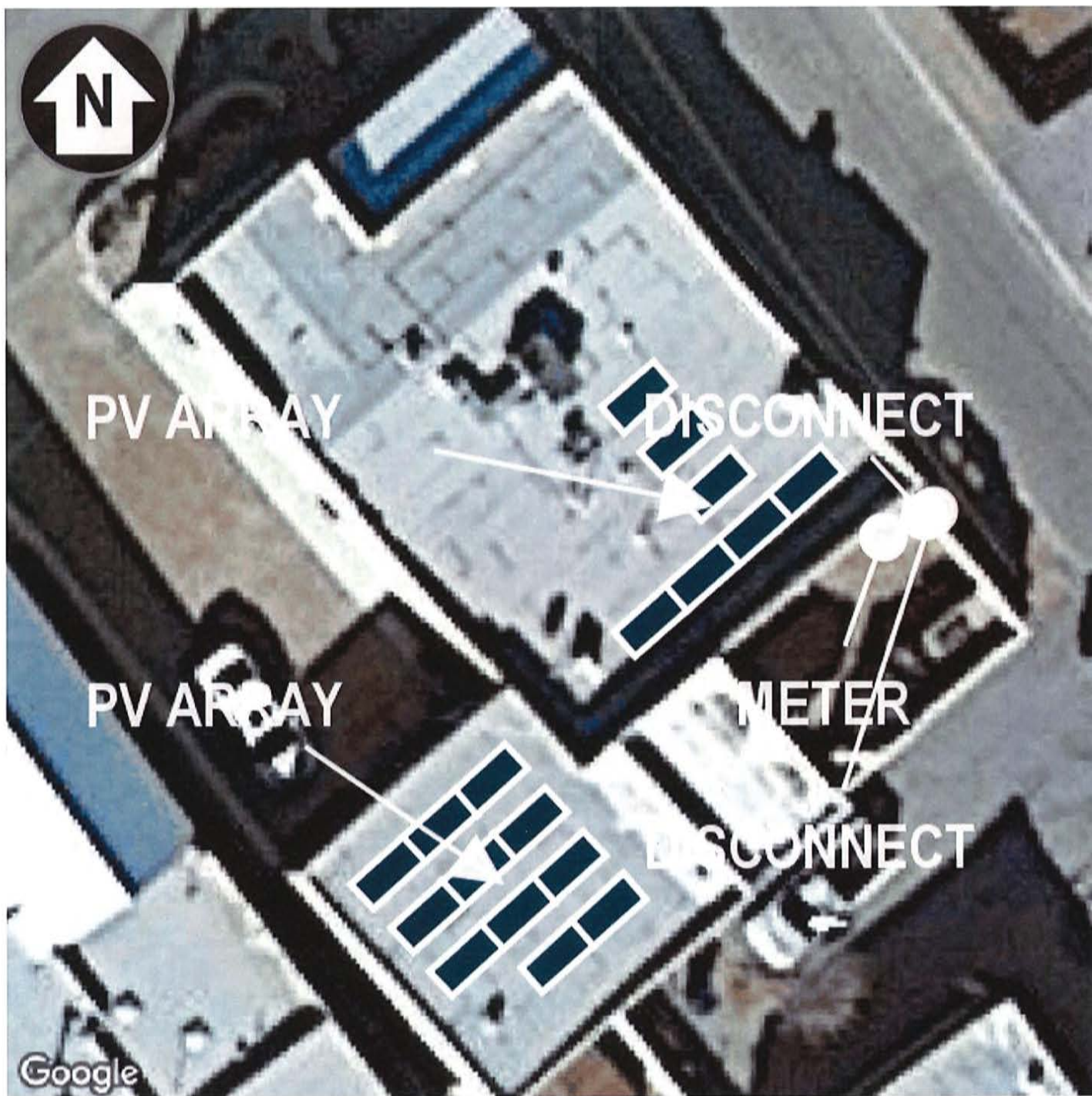
THIS PROJECT INVOLVES THE INSTALLATION OF A GRID-TIED SOLAR POWER SYSTEM AND THE REPLACEMENT OF THE MAIN SERVICE PANEL. THE MODULES WILL BE MOUNTED USING A PREENGINEERED MOUNTING SYSTEM. THE MODULES WILL BE ELECTRICALLY CONNECTED WITH DC TO AC POWER INVERTERS AND INTERCONNECTED TO THE LOCAL UTILITY USING MEANS AND METHODS CONSISTENT WITH THE RULES ENFORCED BY THE LOCAL UTILITY AND PERMITTING JURISDICTION.

THIS DOCUMENT HAS BEEN PREPARED FOR THE PURPOSE OF DESCRIBING THE DESIGN OF A PROPOSED PV SYSTEM WITH ENOUGH DETAIL TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS. THE DOCUMENT SHALL NOT BE RELIED UPON AS A SUBSTITUTE FOR FOLLOWING MANUFACTURER INSTALLATION INSTRUCTIONS. THE SYSTEM SHALL COMPLY WITH ALL MANUFACTURERS LISTING AND INSTALLATION INSTRUCTIONS, AS WELL AS ALL APPLICABLE CODES. NOTHING IN THIS DOCUMENT SHALL BE INTERPRETED IN A WAY THAT OVERRIDES THEM. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL CONDITIONS, DIMENSIONS, AND DETAILS IN THIS DOCUMENT.

SYSTEM DETAILS	
DESCRIPTION	NEW GRID-INTERACTIVE PV SYSTEM WITH NO ENERGY STORAGE
DC RATING OF SYSTEM	7.38KW
AC RATING OF SYSTEM	5.22KW
AC OUTPUT CURRENT	21.8A
INVERTER(S)	18 X ENPHASE IQ7PLUS-72-2-US
MODULE	JINKO JKM410M-72HL-V
ARRAY WIRING	(1) BRANCH OF 11 IQ7PLUS-72-2-US MICROINVERTERS (1) BRANCH OF 7 IQ7PLUS-72-2-US MICROINVERTERS

INTERCONNECTION DETAILS	
POINT OF CONNECTION	NEW LOAD-SIDE AC CONNECTION PER NEC 705.12(B)(3)(B) AT NEW MSP
UTILITY SERVICE	120/240V 1Ø
LOCATION	NEW MAIN SERVICE PANEL W/ TOP-FED 200A BUSBAR 200A MCB

SITE DETAILS	
ASHRAE EXTREME LOW	-9°C (16°F)
ASHRAE 2% HIGH	33°C (91°F)
CLIMATE DATA SOURCE	SALEM (KLJU)
RISK CATEGORY	II
WIND EXPOSURE CATEGORY	C



3	C1 - AC COMBINER (EMPHASIS 12 COMBINER 3)			
4	SW2 - DISCONNECT (EATON DG221UB8)			
5	6			
1	2	5	6	7
8	MSP - MAIN SERVICE PANEL (HOMELINE)			

1 SEE NOTE NO. 4 (MSP)

PHOTOVOLTAIIC SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE OFF POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY.

3 AC COMBINER PANEL (C1)

1 WARNING !

THIS EQUIPMENT FED BY MULTIPLE SOURCES. TOTAL RATING OF ALL OVERCURRENT DEVICES, EXCLUDING MAIN OVERCURRENT DEVICE SHALL NOT EXCEED AMPACITY OF BUSBAR.

NEC705.128(2)(3)(C)

4 EACH DISCONNECTING MEANS FOR PHOTOVOLTAIIC EQUIPMENT (SW2)

1 WARNING !

ELECTRIC SHOCK HAZARD. TERMINALS ON BOTH LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION.

NEC690.13(B)

7 ANY AC ELECTRICAL PANEL THAT IS FED BY BOTH THE UTILITY AND THE PHOTOVOLTAIIC SYSTEM (MSP)

1 WARNING !

DUAL POWER SOURCE. SECOND SOURCE IS PHOTOVOLTAIIC SYSTEM.

NEC705.128(3)

2 POINT-OF-INTERCONNECTION OR AT MAIN SERVICE DISCONNECT (MSP)

1 CAUTION !

POWER TO THIS BUILDING IS ALSO FROM ROOF ARRAYS WITH DISCONNECTS AS SHOWN

INSTALLED BY YELLOW BIRD SERVICES, LLC • 575-623-8089

5 AC SOLAR DISCONNECT (SW2, C83 IN MSP)

PV SYSTEM DISCONNECT

NEC690.13(B)

6 AC DISCONNECT (SW2, C83 IN MSP)

WARNING !

MAXIMUM AC OPERATING CURRENT 25-34 AMPERES. MAXIMUM AC OVERCURRENT VOLTAGE 240V

NEC690.54

8 SOLAR BREAKER (MSP)

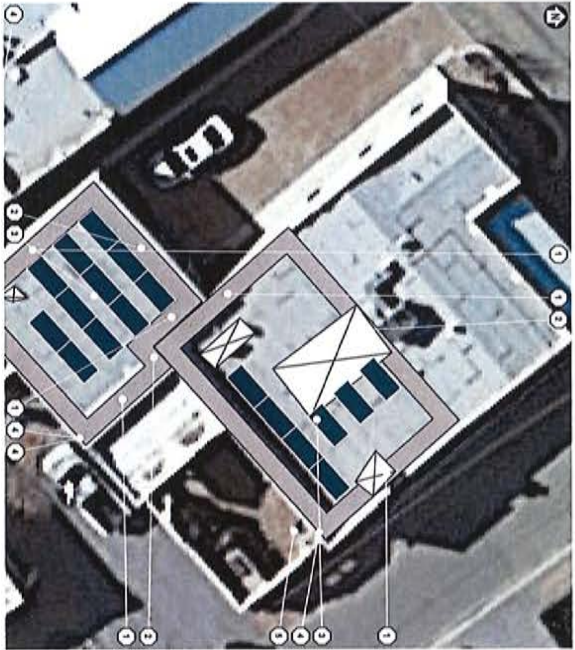
1 WARNING !

INVERTER OUTPUT CONNECTION. DO NOT RELOCATE THIS OVERCURRENT DEVICE.

NEC705.128(2)(3)(B)

LABELING NOTES	
1	ALL PLAQUES AND SIGNAGE REQUIRED BY 2017 NEC AND 2012 IFC WILL BE INSTALLED AS REQUIRED.
2	LABELS, WARNINGS, AND MARKING SHALL COMPLY WITH ANSI AND CAUTION SIGNS USED THE STANDARD HEADER COLORS. HEADER TEXT AND SAFETY ALERT SYMBOL ON EACH LABEL. THE ANSI STANDARD REQUIRES A HEADING THAT IS AT LEAST 50% TALLER THAN THE BODY TEXT. IN ACCORDANCE WITH NEC 110.21(B).
3	A PERMANENT PLAQUE OR DIRECTORY SHALL BE INSTALLED PROVIDING THE LOCATION OF THE SERVICE DISCONNECTING MEANS AND THE PHOTOVOLTAIIC SYSTEM DISCONNECTING MEANS IF NOT IN THE SAME LOCATION IN ACCORDANCE WITH NEC 690.56(B).
4	LABEL(S) WITH MARKING "TURN RAPID SHUTDOWN SWITCH TO THE OFF POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY." SHALL BE LOCATED WITHIN 3 FT OF SERVICE DISCONNECTING MEANS. THE TITLE SHALL UTILIZE CAPITALIZED LETTERS WITH A MINIMUM HEIGHT OF 3/8" IN BLACK ON A YELLOW BACKGROUND. AND REMAINING TEXT SHALL BE CAPITALIZED WITH A MINIMUM HEIGHT OF 3/16" IN BLACK ON WHITE BACKGROUND.

P-178586	
GRID-TIED SOLAR POWER SYSTEM	
2415 CALLE DE PARIAN LAS CRUCES, NM 88005	
SAFETY LABELS	
DOC ID: 178586-220759-1	
DATE: 7/20/22	
CREATOR:	
REVIEWER:	
REVISIONS	
PV-4	



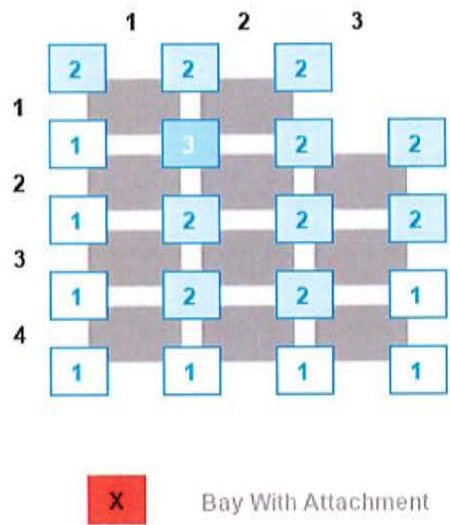
1 FIRE SAFETY PLAN
PV-7 / SCALE: 1" = 20'

GENERAL NOTES	
1	ROOF ACCESS POINTS SHALL BE LOCATED IN AREAS THAT DO NOT REQUIRE THE PLACEMENT OF GROUND LADDERS OVER OPENINGS SUCH AS WINDOWS OR DOORS, AND LOCATED AT STRONG POINTS OF BUILDING CONSTRUCTION TO LOCATIONS WHERE FIELD OBSTRUCTIONS SUCH AS TREE LIMBS, WIRES, OR SIGNS, (IFC 605.11.3.1)
2	PANELS/MODULES INSTALLED ON RESIDENTIAL BUILDINGS WITH A SINGLE RIDGE SHALL BE LOCATED IN A MANNER THAT PROVIDES TWO, 3-FOOT-WIDE (914 MM) ACCESS PATHWAYS FROM THE EAVE TO THE RIDGE ON EACH ROOF SLOPE WHERE PANELS/MODULES ARE LOCATED. (IFC 605.11.3.2.2)
3	PANELS/MODULES INSTALLED ON RESIDENTIAL BUILDINGS SHALL BE LOCATED NO HIGHER THAN 3 FEET (914 MM) BELOW THE RIDGE IN ORDER TO ALLOW FOR FIRE DEPARTMENT SMOKE VENTILATION OPERATIONS. (IFC 605.11.3.2.4)

- 1 3.0 FT. WIDE FIRE ACCESS PATHWAY, PER IFC 605.11.3.2.2
- 2 3.0 FT. WIDE SMOKE-VENTILATION SETBACK, PER IFC 605.11.3.2.4
- 3 PV MODULES INSTALLED ON ROOF WITH UNIRAC SOLAR/MOUNT MOUNTING SYSTEM, THE MOUNTING SYSTEM IS UL 2703 CLASS A FIRE RATED ON A FLAT SLOPED ROOF WHEN INSTALLED WITH TYPE 1, 2, 3, OR 10 MODULES, THE JINKO JK4410M/72HLV IS TYPE 1.
- 4 ROOF ACCESS POINT
- 5 (E) GAS METER, OUTDOOR, NO NEW ELECTRICAL EQUIPMENT SHALL BE INSTALLED WITHIN 36 INCHES OF CENTER OF GAS METER OR RISER.
- 6 THIS SYSTEM UTILIZES MICROWARTERS, THERE ARE NO DC CIRCUITS OUTSIDE OF THE ARRAY PERIMETER OR INSIDE THE BUILDING.
- 7 CABLES, WHEN RUN BETWEEN ARRAYS, SHALL BE ENCLOSED IN CONDUIT.

P-178586	
GRID-TIED SOLAR POWER SYSTEM	
2415 CALLE DE PARIAN LAS CRUCES, NM 88005	
FIRE SAFETY PLAN	
DOC ID: 178586-220759-1	
DATE: 7/20/22	
CREATOR:	
REVIEWER:	
REVISIONS	
PV-7	

Roof Area 1 / Roof Area 1 - Array 1



LEGEND

- Module
- Standard corner bay with CMU block count
- Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

Install roof pads to every bay.

Layout Dimensions

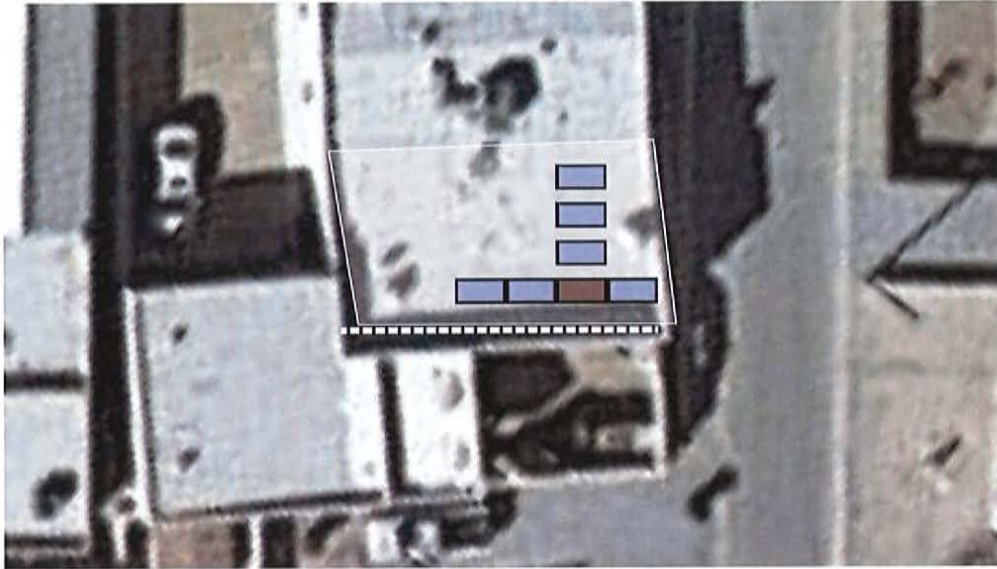
NS DIMENSION ~ 21.08 ft

EW DIMENSION ~ 19.83 ft

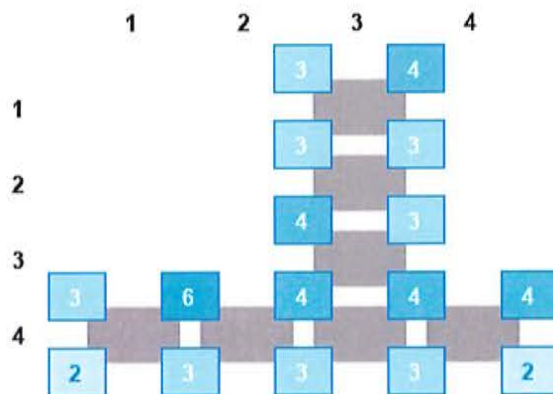
ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	2	3	6	192
2	3	4	8	256
3	3	4	7	224

4	3	4	6	192
5	0	4	4	128

Roof Area 2






Roof Area 2 / Roof Area 2 - Array 1



Bay With Attachment

LEGEND

-  Module
-  Standard corner bay with CMU block count
-  Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

Install roof pads to every bay.

Layout Dimensions

NS DIMENSION ~ 21.08 ft

EW DIMENSION ~ 26.44 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	1	2	7	224
2	1	2	6	192
3	1	2	7	224
4	4	5	21	672
5	0	5	13	416

Conductor, Conduit, and OCPD Sizing Validation

1. Maximum System Voltage Test

1.1. Enphase Inverter w/18 Jinko JKM410M-72HL-V (410W)

Array Properties	
Array Type	Microinverter Array
System Description	Enphase Inverter w/18 Jinko JKM410M-72HL-V (410W)
Module	JKM410M-72HL-V (410W)
Highest number of modules in series in a PV Source Circuit	1
Design Low Temp.	-9°C
Module Voc	50.4V
Temp. Coefficient Voc	-0.141V/C

NEC Code Calculations

A. Maximum Voltage of PV Source Circuit	55.19V
---	--------

see 692.7(d)

NEC 690.7(A) requires that if the PV module manufacturer provides a temperature coefficient of open-circuit voltage, it must be used to calculate the PV array's maximum system voltage. It includes an information note recommending the use of the ASHRAE Extreme Annual Mean Minimum Design Dry Bulb Temperature as the design low temperature. Using these values, the module Voc (50.4V) will increase to 55.19V at the design low temperature (-9°C).

$(-9^{\circ}\text{C} - 25^{\circ}\text{C}) \times -0.141\text{V/C} + 50.4\text{V} = 55.19\text{V}$
The module Voc at the design low temperature is 55.19V.
 $55.19\text{V} \times 1 = 55.19\text{V}$

NEC Code Validation Tests

1. PV Source Circuit maximum Voc must not exceed 600V	PASS
---	------

$55.19\text{V} < 600\text{V} = \text{true}$

2. Wire, Conduit, and OCPD Code Compliance Validation

2.1. #1: AC Branch Output: Transition Box to AC Combiner

Circuit Section Properties

Conductor	12 AWG THWN-2, Copper
Equipment Ground Conductor (EGC)	12 AWG THWN-2, Copper
OCPD(s)	20A
Raceway/Cable	0.5" dia. EMT
Lowest Terminal Temperature Rating	90°C
Maximum Wire Temperature	33°C
Power Source Description	Branch of 11 O7P-US-72-2-US microinverters
Power Source Current	13.31A
Voltage	240V

NEC Code Calculations

A. Continuous Current	13.31A
-----------------------	--------

see Article 100

Equipment maximum rated output current is 11 X 1.21A = 13.31A

B. Ampacity of Conductor	30A
--------------------------	-----

see Table 310.15(B)(16)

Ampacity (30°C) for a copper conductor with 90°C insulation in conductable is 30A.

C. Derated Ampacity of Conductor	28.8A
----------------------------------	-------

see Table 310.15(B)(3)(c), Table 310.15(B)(3)(e), and Article 100

The temperature factor for 90°C insulation at 33°C is 0.96. The fill factor for a conductible that has 2 wires is 1.

The ampacity derated for Conditions of Use is the product of the conductor ampacity (30A) multiplied by the temperature factor (0.96) and by the fill factor (1).

$30\text{A} \times 0.96 \times 1 = 28.8\text{A}$

D. Max Current for Terminal Temp. Rating	30A
--	-----

see 110.14(C)

The lowest temperature rating for this conductor at any termination is 90°C.

Using the method specified in 110.14(C), the maximum current permitted to ensure that the device terminal temperature does not exceed its 90°C rating would be the amount referenced in the 90°C column in Table 310.15(B)(16), which is 30A.

E. Minimum Allowed OCPD Rating	17A
--------------------------------	-----

see 240.4

NEC 690.9(B) requires that the OCPD be rated for no less than 1.25 times the Continuous Current of the circuit.
 $13.31\text{A} \times 1.25 = 16.64\text{A}$

F. Maximum Allowed OCPD Rating	20A
--------------------------------	-----

see 240.4(D)

NEC 240.4(D) requires that OCPD rating not exceed 20A when protecting a Copper 12 AWG conductor.

G. Minimum Required EGC Size	12 AWG
------------------------------	--------

see Table 250.122

The smallest EGC size allowed is 12 AWG for OCPD rating 20A according to Table 250.122.

H. Minimum Recommended Conduit Size	0.5" dia.
-------------------------------------	-----------

see 302.17

The total area of all conductors is 0.0399in². With a maximum fill rate of 0.4, the recommended conduit diameter is 0.5.

Qty	Description	Size	Type	Area	Total Area
2	Conductor	12 AWG	THWN-2	0.0133in ²	0.0266in ²
1	Equipment Ground	12 AWG	THWN-2	0.0133in ²	0.0133in ²
3					0.0399in ²

$0.0399\text{in}^2 / 0.4 = 0.0997\text{in}^2$ (Corresponding to a diameter of 0.5")

NEC Code Validation Tests

1. OCPD rating must be at least 125% of Continuous Current (240.4)	PASS
--	------

$20\text{A} \geq 13.31\text{A} \times 1.25 = \text{true}$

2. Derated ampacity must exceed OCPD rating, or rating of next smaller OCPD (240.4)	PASS
---	------

$28.8\text{A} \geq 20\text{A}$ (OCPD Rating) = true

3. OCPD rating must not exceed max OCPD rating for conductor (240.4)	PASS
--	------

20A (OCPD Rating) \leq 20A = true

4. Derated Ampacity must be greater than or equal to the Continuous Current (Article 100)	PASS
---	------

$28.8\text{A} \geq 13.31\text{A} = \text{true}$

5. Conductor Ampacity must be at least 125% of Continuous Current (215.2(A)(1))	PASS
---	------

$30\text{A} > 13.31\text{A} \times 1.25 = \text{true}$

6. Max current for terminal must be at least 125% of the Continuous Current (110.14(C))	PASS
---	------

$30\text{A} \geq 13.31\text{A} \times 1.25 = \text{true}$

7. EGC must meet code requirements for minimum size (Table 250.122)	PASS
---	------

12 AWG \geq 12 AWG = true

8. Conduit must meet code recommendation for minimum size (302.17)	PASS
--	------

0.5in. \geq 0.5in. = true

2.2. #2: AC Branch Output: Transition Box to AC Combiner

Circuit Section Properties

Conductor	12 AWG THWN-2, Copper
Equipment Ground Conductor (EGC)	12 AWG THWN-2, Copper
OCPPD(s)	15A
Receives/Cable	0.5" dia. EMT
Lowest Terminal Temperature Rating	90°C
Maximum Wire Temperature	33°C
Power Source Description	Branch of 7 107PLUS-72-2-US microconverters
Power Source Current	8.47A
Voltage	240V

NEC Code Calculations

A. Continuous Current	8.47A
-----------------------	-------

Equipment maximum rated output current is 7 X 1.21A = 8.47A
see Article 100

B. Ampacity of Conductor	30A
--------------------------	-----

Ampacity (90°C) for a copper conductor with 90°C insulation in conduit/cable is 30A.
see Table 310.15(B)(16)

C. Derated Ampacity of Conductor	28.8A
----------------------------------	-------

The temperature factor for 90°C insulation at 33°C is 0.96.
The fill factor for a conduit/cable that has 2 wires is 1.
The ampacity derated for Conditions of Use is the product of the conductor ampacity (30A) multiplied by the temperature factor (0.96) and by the fill factor (1).
30A X 0.96 X 1 = 28.8A

D. Max Current for Terminal Temp. Rating	30A
--	-----

The lowest temperature rating for this conductor at any termination is 90°C.
Using the method specified in 110.14(C), the maximum current permitted to ensure that the device terminal temperature does not exceed its 90°C rating would be the amount referenced in the 90°C column in Table 310.15(B)(16), which is 30A.

E. Minimum Allowed OCPD Rating	11A
--------------------------------	-----

NEC 890.9(B) requires that the OCPD be rated for no less than 1.25 times the Continuous Current of the circuit.
8.47A X 1.25 = 10.59A

F. Maximum Allowed OCPD Rating	20A
--------------------------------	-----

NEC 240.4(D) requires that OCPD rating not exceed 20A when protecting a Copper 12 AWG conductor.

G. Minimum Required EGC Size

see Table 250.122

The smallest EGC size allowed is 14 AWG for OCPD rating 15A according to Table 250.122.

H. Minimum Recommended Conduit Size	0.5" dia.
-------------------------------------	-----------

see 300.17

The total area of all conductors is 0.0399in². With a maximum fill rate of 0.4, the recommended conduit diameter is 0.5.

Qty	Description	Size	Type	Area	Total Area
2	Conductor	12 AWG	THWN-2	0.0133in ²	0.0266in ²
1	Equipment Ground	12 AWG	THWN-2	0.0133in ²	0.0133in ²
3					0.0399in ²

0.0399in² / 0.4 = 0.0997in² (Corresponding to a diameter of 0.5")

NEC Code Validation Tests

1.	OCPPD rating must be at least 125% of Continuous Current (240.4)	15A >= 8.47A X 1.25 = true	PASS
2.	Derated ampacity must exceed OCPD rating, or rating of next smaller OCPD (240.4)	28.8A >= 15A (OCPPD Rating) = true	PASS
3.	OCPPD rating must not exceed max OCPD rating for conductor (240.4)	15A (OCPPD Rating) <= 20A = true	PASS
4.	Derated Ampacity must be greater than or equal to the Continuous Current (Article 100)	28.8A >= 8.47A = true	PASS
5.	Conductor Ampacity must be at least 125% of Continuous Current (215.2(A)(1))	30A >= 8.47A X 1.25 = true	PASS
6.	Max current for terminal must be at least 125% of the Continuous Current. (110.14(C))	30A >= 8.47A X 1.25 = true	PASS
7.	EGC must meet code requirements for minimum size (Table 250.122)	12 AWG >= 14 AWG = true	PASS
8.	Conduit must meet code recommendation for minimum size (300.17)	0.5in. >= 0.5in. = true	PASS

2.3. #3: AC Combiner Output: AC Combiner to PV Generation Meter

Circuit Section Properties

Conductor	6 AWG THWN-2, Copper
Equipment Ground Conductor (EGC)	6 AWG THWN-2, Copper
OCPPD(s)	30A
Receives/Cable	0.75" dia. EMT
Lowest Terminal Temperature Rating	75°C
Maximum Wire Temperature	33°C
Power Source Description	Epochase Inverter w/18 Jinko JK64-10M-72H-V (410W)s
Power Source Current	21.78A
Voltage	240V

NEC Code Calculations

A. Continuous Current	21.78A
-----------------------	--------

Equipment maximum rated output current is 21.78A
see Article 100

B. Ampacity of Conductor	75A
--------------------------	-----

Ampacity (90°C) for a copper conductor with 90°C insulation in conduit/cable is 75A.
see Table 310.15(B)(16)

C. Derated Ampacity of Conductor	72A
----------------------------------	-----

The temperature factor for 90°C insulation at 33°C is 0.96.
The fill factor for a conduit/cable that has 2 wires is 1.
The ampacity derated for Conditions of Use is the product of the conductor ampacity (75A) multiplied by the temperature factor (0.96) and by the fill factor (1).
75A X 0.96 X 1 = 72A

D. Max Current for Terminal Temp. Rating	65A
--	-----

The lowest temperature rating for this conductor at any termination is 75°C.
Using the method specified in 110.14(C), the maximum current permitted to ensure that the device terminal temperature does not exceed its 75°C rating would be the amount referenced in the 75°C column in Table 310.15(B)(16), which is 65A.

E. Minimum Allowed OCPD Rating	27A
--------------------------------	-----

NEC 690.9(B) requires that the OCPD be rated for no less than 1.25 times the Continuous Current of the circuit.
21.78A X 1.25 = 27.22A rounded down to 27A

F. Minimum Required EGC Size

see 250.122(B)

Where conductors are oversized, the EGC must be oversized by the same rate. Table 250.122, gives a minimum EGC size of 10 AWG. Multiplied by the oversize rate, this yields 26.24kcmil corresponding to 6 AWG.
(26.24kcmil / 10.38kcmil) X 10.38kcmil = 26.24kcmil

G. Minimum Recommended Conduit Size	0.75" dia.
-------------------------------------	------------

see 300.17

The total area of all conductors is 0.2028in². With a maximum fill rate of 0.4, the recommended conduit diameter is 0.75.

Qty	Description	Size	Type	Area	Total Area
2	Conductor	6 AWG	THWN-2	0.0507in ²	0.1014in ²
1	Neutral	6 AWG	THWN-2	0.0507in ²	0.0507in ²
1	Equipment Ground	6 AWG	THWN-2	0.0507in ²	0.0507in ²
4					0.2028in ²

0.2028in² / 0.4 = 0.507in² (Corresponding to a diameter of 0.75")

NEC Code Validation Tests

1.	OCPPD rating must be at least 125% of Continuous Current (240.4)	30A >= 21.78A X 1.25 = true	PASS
2.	Derated ampacity must exceed OCPD rating, or rating of next smaller OCPD (240.4)	72A >= 30A (OCPPD Rating) = true	PASS
3.	Derated Ampacity must be greater than or equal to the Continuous Current (Article 100)	72A >= 21.78A = true	PASS
4.	Conductor Ampacity must be at least 125% of Continuous Current (215.2(A)(1))	75A >= 21.78A X 1.25 = true	PASS
5.	Max current for terminal must be at least 125% of the Continuous Current. (110.14(C))	65A >= 21.78A X 1.25 = true	PASS
6.	EGC must meet code requirements for minimum size (Table 250.122)	6 AWG >= 10 AWG = true	PASS
7.	Conduit must meet code recommendation for minimum size (300.17)	0.75in. >= 0.75in. = true	PASS

2.4. #4: Production Meter Output: PV Generation Meter to Utility Disconnect

Circuit Section Properties	
Conductor	6 AWG THWN-2, Copper
Equipment Ground Conductor (EGC)	6 AWG THWN-2, Copper
OCBPD(s)	30A
Raceway/Cable	0.75" dia. EMT
Lowest Terminal Temperature Rating	75°C
Maximum Wire Temperature	33°C
Power Source Description	Emphase inverter w/18 Jinke JKMA10M-72HL-V (410W)s
Power Source Current	21.78A
Voltage	240V

NEC Code Calculations

A. Continuous Current	21.78A
see Article 100	

Equipment maximum rated output current is 21.78A

B. Ampacity of Conductor	75A
see Table 310.15(B)(16)	

Ampacity (30°C) for a copper conductor with 90°C insulation in conduit/cable is 75A.

C. Derated Ampacity of Conductor	72A
see Table 310.15(B)(3)(c), Table 310.15(B)(3)(e), and Article 100	

The temperature factor for 90°C insulation at 33°C is 0.96.

The fill factor for a conduit/cable that has 2 wires is 1.

The ampacity derated for Conditions of Use is the product of the conductor ampacity (75A) multiplied by the temperature factor (0.96) and by the fill factor (1).

$75A \times 0.96 \times 1 = 72A$

D. Max Current for Terminal Temp. Rating	65A
see 710.14(C)	

The lowest temperature rating for this conductor at any termination is 75°C.

Using the method specified in 110.14(C), the maximum current permitted to ensure that the device terminal temperature does not exceed its 75°C rating would be the amount referenced in the 75°C column in Table 310.15(B)(6), which is 65A.

E. Minimum Allowed OCPD Rating	27A
see 240.4	

NEC 690.9(B) requires that the OCPD be rated for no less than 1.25 times the Continuous Current of the circuit.

$21.78A \times 1.25 = 27.22A$ rounded down to 27A

F. Minimum Required EGC Size

see 250.122(B)

Where conductors are oversized, the EGC must be oversized by the same rate, Table 250.122, gives a minimum EGC size of 10 AWG. Multiplied by the oversize rate, this yields 26.24kcmil corresponding to 6 AWG.

$(26.24kcmil / 10.38kcmil) \times 10.38kcmil = 26.24kcmil$

G. Minimum Recommended Conduit Size	0.75" dia.
see 300.17	

The total area of all conductors is 0.2028in². With a maximum fill rate of 0.4, the recommended conduit diameter is 0.75.

Qty	Description	Size	Type	Area	Total Area
2	Conductor	6 AWG	THWN-2	0.0507in ²	0.1014in ²
1	Neutral	6 AWG	THWN-2	0.0507in ²	0.0507in ²
1	Equipment Ground	6 AWG	THWN-2	0.0507in ²	0.0507in ²
4					0.2028in ²

$0.2028in^2 / 0.4 = 0.507in^2$ (Corresponding to a diameter of 0.75")

NEC Code Validation Tests

1.	OCBPD rating must be at least 125% of Continuous Current (240.4) $30A \times 1.25 = true$	PASS
2.	Derated ampacity must exceed OCPD rating, or rating of next smaller OCPD (240.4) $72A \geq 30A$ (OCBPD Rating) = true	PASS
3.	Derated Ampacity must be greater than or equal to the Continuous Current (Article 100) $72A \geq 21.78A = true$	PASS
4.	Conductor Ampacity must be at least 125% of Continuous Current (215.2(A)(1)) $75A \geq 21.78A \times 1.25 = true$	PASS
5.	Max current for terminal must be at least 125% of the Continuous Current. (110.14(C)) $65A \geq 21.78A \times 1.25 = true$	PASS
6.	EGC must meet code requirements for minimum size (Table 250.122) $6 AWG \geq 10 AWG = true$	PASS
7.	Conduit must meet code recommendation for minimum size (300.17) $0.75in. \geq 0.75in. = true$	PASS

2.5. #5: Utility Disconnect Output: Utility Disconnect to Main Service Panel

Circuit Section Properties	
Conductor	6 AWG THWN-2, Copper
Equipment Ground Conductor (EGC)	6 AWG THWN-2, Copper
OCBPD(s)	30A
Raceway/Cable	0.75" dia. EMT
Lowest Terminal Temperature Rating	75°C
Maximum Wire Temperature	33°C
Power Source Description	Emphase inverter w/18 Jinke JKMA10M-72HL-V (410W)s
Power Source Current	21.78A
Voltage	240V

NEC Code Calculations

A. Continuous Current	21.78A
see Article 100	

Equipment maximum rated output current is 21.78A

B. Ampacity of Conductor	75A
see Table 310.15(B)(16)	

Ampacity (30°C) for a copper conductor with 90°C insulation in conduit/cable is 75A.

C. Derated Ampacity of Conductor	72A
see Table 310.15(B)(3)(c), Table 310.15(B)(3)(e), and Article 100	

The temperature factor for 90°C insulation at 33°C is 0.96.

The fill factor for a conduit/cable that has 2 wires is 1.

The ampacity derated for Conditions of Use is the product of the conductor ampacity (75A) multiplied by the temperature factor (0.96) and by the fill factor (1).

$75A \times 0.96 \times 1 = 72A$

D. Max Current for Terminal Temp. Rating	65A
see 710.14(C)	

The lowest temperature rating for this conductor at any termination is 75°C.

Using the method specified in 110.14(C), the maximum current permitted to ensure that the device terminal temperature does not exceed its 75°C rating would be the amount referenced in the 75°C column in Table 310.15(B)(6), which is 65A.

E. Minimum Allowed OCPD Rating	27A
see 240.4	

NEC 690.9(B) requires that the OCPD be rated for no less than 1.25 times the Continuous Current of the circuit.

$21.78A \times 1.25 = 27.22A$ rounded down to 27A

F. Minimum Required EGC Size

see 250.122(B)

Where conductors are oversized, the EGC must be oversized by the same rate, Table 250.122, gives a minimum EGC size of 10 AWG. Multiplied by the oversize rate, this yields 26.24kcmil corresponding to 6 AWG.

$(26.24kcmil / 10.38kcmil) \times 10.38kcmil = 26.24kcmil$

G. Minimum Recommended Conduit Size	0.75" dia.
see 300.17	

The total area of all conductors is 0.2028in². With a maximum fill rate of 0.4, the recommended conduit diameter is 0.75.

Qty	Description	Size	Type	Area	Total Area
2	Conductor	6 AWG	THWN-2	0.0507in ²	0.1014in ²
1	Neutral	6 AWG	THWN-2	0.0507in ²	0.0507in ²
1	Equipment Ground	6 AWG	THWN-2	0.0507in ²	0.0507in ²
4					0.2028in ²

$0.2028in^2 / 0.4 = 0.507in^2$ (Corresponding to a diameter of 0.75")

NEC Code Validation Tests

1.	OCBPD rating must be at least 125% of Continuous Current (240.4) $30A \times 1.25 = true$	PASS
2.	Derated ampacity must exceed OCPD rating, or rating of next smaller OCPD (240.4) $72A \geq 30A$ (OCBPD Rating) = true	PASS
3.	Derated Ampacity must be greater than or equal to the Continuous Current (Article 100) $72A \geq 21.78A = true$	PASS
4.	Conductor Ampacity must be at least 125% of Continuous Current (215.2(A)(1)) $75A \geq 21.78A \times 1.25 = true$	PASS
5.	Max current for terminal must be at least 125% of the Continuous Current. (110.14(C)) $65A \geq 21.78A \times 1.25 = true$	PASS
6.	EGC must meet code requirements for minimum size (Table 250.122) $6 AWG \geq 10 AWG = true$	PASS
7.	Conduit must meet code recommendation for minimum size (300.17) $0.75in. \geq 0.75in. = true$	PASS



1 SITE PLAN
PV-2 SCALE: 1" = 20'

GENERAL NOTES	
1	EQUIPMENT LIKELY TO BE WORKED UPON WHILE ENERGIZED SHALL BE INSTALLED IN LOCATIONS THAT SATISFY MINIMUM WORKING CLEARANCES PER NEC 110.26.
2	CONTRACTOR SHALL USE ONLY COMPONENTS LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY FOR THE INTENDED USE.
3	CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL EQUIPMENT, CABLES, ADDITIONAL CONDUITS, RACEWAYS, AND OTHER ACCESSORIES NECESSARY FOR A COMPLETE AND OPERATIONAL PV SYSTEM.
4	ALL EMT CONDUIT FITTINGS SHALL BE LISTED AS WEATHERPROOF FITTINGS AND INSTALLED TO ENSURE A RAINTIGHT FIT, PER NEC 358.42.

- (N) TRANSITION BOX, OUTDOOR, OUTPUT CIRCUIT CONDUCTORS SHALL BE RUN IN EMT CONDUIT OVER ROOF NO CLOSER THAN 0.5' ABOVE ROOF SURFACE
- (N) VISIBLE, LOCKABLE, READILY-ACCESSIBLE AC DISCONNECT LOCATED WITHIN 10 FT OF UTILITY METER, OUTDOOR
- (N) AC COMBINER, OUTDOOR, OUTPUT CIRCUIT CONDUCTORS SHALL BE RUN IN EMT CONDUIT OVER ROOF NO CLOSER THAN 0.5' ABOVE ROOF SURFACE
- (N) PRODUCTION METER, OUTDOOR
- (N) MAIN SERVICE PANEL (MSP), OUTDOOR
- (E) UTILITY METER, OUTDOOR
- (E) GAS METER, OUTDOOR, NO NEW ELECTRICAL EQUIPMENT SHALL BE INSTALLED WITHIN 36 INCHES OF CENTER OF GAS METER OR RISER.
- (N) PROPOSED ROOF-MOUNTED PHOTOVOLTAIC ARRAY, FLAT ROOF, 7 PV MODULES (SILVER FRAME, CLEAR BACKSHEET), 15° TILT, 138° AZIMUTH
- (N) PROPOSED ROOF-MOUNTED PHOTOVOLTAIC ARRAY, FLAT ROOF, 11 PV MODULES (SILVER FRAME, CLEAR BACKSHEET), 15° TILT, 138° AZIMUTH
- (N) TRANSITION BOX, OUTDOOR, OUTPUT CIRCUIT CONDUCTORS SHALL BE RUN IN EMT CONDUIT OVER ROOF NO CLOSER THAN 0.5' ABOVE ROOF SURFACE

P-178586

GRID-TIED SOLAR POWER SYSTEM

2415 CALLE DE PARIAN
LAS CRUCES, NM 88005

SITE PLAN

DOC ID: 178586-220759-1
DATE: 7/20/22
CREATOR:
REVIEWER:

REVISIONS

PV-2

Eagle HC 72M G2
390-470 Watt

MONO PERC HALF CELL MODULE

Positive power tolerance of 0~+3%



KEY FEATURES



Diamond Cell Technology

Uniquely designed high performance 5 busbar mono PERC half cell



High Voltage

UL and IEC 1500V certified; lowers BOS costs and yields better LCOE



Higher Module Power

Decrease in current loss yields higher module efficiency



Shade Tolerance

More shade tolerance due to twin arrays



PID FREE

Reinforced cell prevents potential induced degradation



Strength and Durability

Certified for high snow (5400 Pa) and wind (2400 Pa) loads

LINEAR PERFORMANCE WARRANTY

10 Year Product Warranty • 25 Year Linear Power Warranty

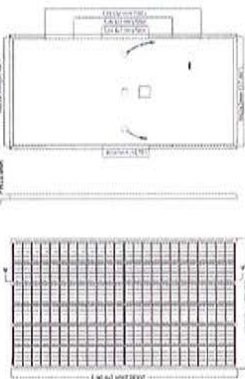


Nonmetallic					
JKM410M-72HL-V					
Code	Cell	Cell	Cell	Cell	Certificate
m	Full	Full	Normal	null	1000V
H	Half	Half	L	V	1000V 1000V



CAUTION: READ SAFETY AND INSTALLATION INSTRUCTIONS BEFORE USING THE PRODUCT.
© Jinko Solar Co., Ltd. All rights reserved. Specifications included in this datasheet are subject to change without notice.
JN390-410M-72HL-V-A1-US

Engineering Drawings



Packaging Configuration

(1 Two pallets = One stack)

26pcs/pallet 52pcs/stack 572pcs/40'HQ Container

SPECIFICATIONS

Module Type	J010050M-72H-L-V	J010050M-72H-L-V	J010050M-72H-L-V	J010100M-72H-L-V	J010100M-72H-L-V
STC	NOCT	STC	NOCT	STC	NOCT
360W	244W	395W	258W	400W	302W
Maximum Power (Pmax)	41.1V	30.1V	41.4V	39.2V	41.7V
Maximum Power Voltage (Vmp)	36.8A	7.54A	9.55A	7.68A	9.62A
Maximum Power Current (Imp)	49.3V	48.0V	49.5V	48.2V	49.5V
Open-Circuit Voltage (Voc)	10.12A	8.02A	10.32A	8.08A	8.16A
Short-Circuit Current (Isc)	19.30%	19.53%	19.68%	20.13%	20.38%
Module Efficiency STC (%)	-40°C~+85°C				
Operating Temperature (°C)	1500(DC)/1500(AC)(IEC)				
Maximum System Voltage	20A				
Maximum Series Fuse Rating	0~3%				
Power Tolerance	-0.36%/°C				
Temperature Coefficients of Pmax	-0.28%/°C				
Temperature Coefficients of Voc	0.048%/°C				
Temperature Coefficients of Isc	452°C				
Technical Operating Cell Temperature (NOCT)					

STC: Irradiance 1000W/m²

AM=1.5

Cell Temperature 25°C

NOCT: Irradiance 800W/m²

AM=1.5

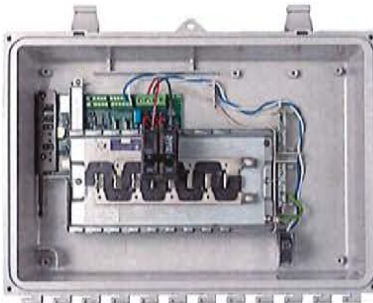
Wind Speed 1m/s

- Power measurement tolerance: $\pm 3\%$

CAUTION: READ SAFETY AND INSTALLATION INSTRUCTIONS BEFORE USING THE PRODUCT.
© Jinko Solar Co., Ltd. All rights reserved. Specifications included in this datasheet are subject to change without notice.
KM390-410M-72HL-V-A1-US

Enphase IQ Combiner 3 (X-IQ-AM1-240-3)

The **Enphase IQ Combiner 3™** with Enphase IQ Envoy™ consolidates interconnection equipment into a single enclosure and streamlines PV and storage installations by providing a consistent, pre-wired solution for residential applications. It offers up to four 2-pole input circuits and Eaton BR series busbar assembly.



Smart

- Includes IQ Envoy for communication and control
- Flexible networking supports Wi-Fi, Ethernet, or cellular
- Optional AC receptacle available for PLC bridge
- Provides production metering and optional consumption monitoring

Simple

- Reduced size from previous combiner
- Centered mounting brackets support single stud mounting
- Supports back and side conduit entry
- Up to four 2-pole branch circuits for 240 VAC plug-in breakers (not included)
- 80 A total PV or storage branch circuits

Reliable

- Durable NRTL-certified NEMA type 3R enclosure
- Five-year warranty
- UL listed



To learn more about Enphase offerings, visit enphase.com



Enphase IQ Combiner 3

MODEL NUMBER	
IQ Combiner 3 X-IQ-AM1-240-3	
IQ Combiner 3 with Enphase IQ Envoy™ printed circuit board for integrated revenue grade PV production metering (ANSI C12.20 +/- 0.5%) and optional* consumption monitoring (+/- 2.5%).	
ACCESSORIES and REPLACEMENT PARTS (not included, order separately)	
Enphase Mobile Connect™ CELLMODEM-03 (4G / 12-year data plan) CELLMODEM-01 (3G / 5-year data plan) CELLMODEM-M1 (4G based LTE-M / 5-year data plan) Consumption Monitoring CT CT-200-SPLIT Circuit Breakers BRK-10A-2-240 BRK-15A-2-240 BRK-20A-2F-240 EPLC-01 XA-PLUC-120-3 XA-ENV-PCBA-3	
Plug and play industrial grade cellular modem with data plan for systems up to 60 microinverters. (Available in the US, Canada, Mexico, Puerto Rico, and the US Virgin Islands, where there is adequate cellular service in the installation area.) Split core current transformers enable whole home consumption metering (+/- 2.5%). Supports Eaton BR210, BR215, BR220, BR230, BR240, BR250, and BR260 circuit breakers. Circuit breaker, 2 pole, 10A, Eaton BR210 Circuit breaker, 2 pole, 15A, Eaton BR215 Circuit breaker, 2 pole, 20A, Eaton BR220 Power line carrier (communication bridge pair), quantity 2 Accessory receptacle for Power Line Carrier in IQ Combiner 3 (required for EPLC-01) Replacement IQ Envoy printed circuit board (PCB) for Combiner 3	
ELECTRICAL SPECIFICATIONS	
Rating	Continuous duty
System voltage	120/240 VAC, 60 Hz
Eaton BR series busbar rating	125 A
Max. continuous current rating (output to grid)	65 A
Max. fuse/circuit rating (output)	90 A
Branch circuits (solar and/or storage)	Up to four 2-pole Eaton BR series Distributed Generation (DG) breakers only (not included)
Max. continuous current rating (input from PV)	64 A
Max. total branch circuit breaker rating (input)	80A of distributed generation / 90A with IQ Envoy breaker included
Production Metering CT	200 A solid core pre-installed and wired to IQ Envoy
MECHANICAL DATA	
Dimensions (WxHxD)	49.5 x 37.5 x 16.8 cm (19.5" x 14.75" x 6.63"). Height is 21.06" (53.5 cm with mounting brackets).
Weight	7.5 kg (16.5 lbs)
Ambient temperature range	-40° C to +46° C (-40° to 115° F)
Cooling	Natural convection, plus heat shield
Enclosure environmental rating	Outdoor, NRTL-certified, NEMA type 3R, polycarbonate construction
Wire sizes	• 20 A to 50 A breaker inputs: 14 to 4 AWG copper conductors • 60 A breaker branch input: 4 to 1/0 AWG copper conductors • Main lug combined output: 10 to 2/0 AWG copper conductors • Neutral and ground: 14 to 1/0 copper conductors Always follow local code requirements for conductor sizing.
Altitude	To 2000 meters (6,560 feet)
INTERNET CONNECTION OPTIONS	
Integrated Wi-Fi	802.11b/g/n
Ethernet	Optional, 802.3, Cat5E (or Cat 6) UTP Ethernet cable (not included)
Cellular	Optional, CELLMODEM-01 (3G) or CELLMODEM-03 (4G) or CELLMODEM-M1 (4G based LTE-M) (not included)
COMPLIANCE	
Compliance, Combiner	UL 1741 CAN/CSA C22.2 No. 1071 47 CFR, Part 15, Class B, ICES 003 Production metering: ANSI C12.20 accuracy class 0.5 (PV production)
Compliance, IQ Envoy	UL 60601-1/CAN/CSA 22.2 No. 61010-1
* Consumption monitoring is required for Enphase Storage Systems.	

To learn more about Enphase offerings, visit enphase.com
© 2018 Enphase Energy. All rights reserved. All trademarks or brands in this document are registered by their respective owner.
2018-09-13



Enphase IQ Combiner (X-IQ-AM1-240-B)

The **Enphase IQ Combiner™** with Enphase IQ Envoy™ consolidates interconnection equipment into a single enclosure and streamlines PV installations by providing a consistent, pre-wired solution for residential applications.



Smart

- Includes IQ Envoy for communication and control
- Flexible networking supports Wi-Fi, Ethernet, or cellular

Simple

- Three pre-installed 20 A / 240 VAC circuit breakers
- Provides production metering and optional consumption monitoring.

Reliable

- Durable NRTL-certified NEMA type 3R enclosure
- Five-year warranty



To learn more about Enphase offerings, visit enphase.com



Enphase IQ Combiner

MODEL NUMBER	IQ Combiner X-IQ-AM1-240-B
	IQ Combiner with Enphase IQ Envoy™ for integrated revenue grade PV production metering (ANSI C12.20 +/- 0.5%) and optional consumption monitoring (+/- 2.5%).
ACCESSORIES (order separately)	
Enphase Mobile Connect™	Plug and play industrial grade cellular modem with data plan for systems up to 60 microinverters. (Available in the US, Canada, Mexico, Puerto Rico, and the US Virgin Islands, where there is adequate cellular service in the installation area.)
CELLMODEM-03 (4G / 12-year data plan)	
CELLMODEM-01 (3G / 5-year data plan)	
Consumption Monitoring CT	Split core current transformers enable whole home consumption metering (+/- 2.5%).
CT-200-SPLIT	
ELECTRICAL SPECIFICATIONS	
Rating	Continuous duty
Solar branch circuit breakers	Three 2-pole 20 A/240 VAC DIN rail-mounted breakers
Maximum system voltage	240 VAC
Rated output current	48 A
Rated input current, each input	16 A
Maximum fuse/circuit breaker rating (output)	60 A
Production Metering CT	200 A solid core pre-installed and wired to IQ Envoy
MECHANICAL DATA	
Dimensions (WxHxD)	38.0 x 38.7 x 20.3 cm (15.0" x 15.3" x 8.0")
Weight	5.1 kg (11.2 lbs)
Ambient temperature range	-40° C to +45° C (-40° to 115° F)
Cooling	Vented, natural convection, plus heat shield
Enclosure environmental rating	Outdoor, NRTL-certified, NEMA type 3R, polycarbonate construction
Wire size	14 to 6 AWG copper conductors for branch inputs. 14 to 4 AWG copper conductors for combined output. Follow local code requirements for conductor sizing.
Altitude	To 2000 meters (6,560 feet)
INTERNET CONNECTION OPTIONS	
Integrated Wi-Fi	802.11b/g/n
Ethernet	802.3, Cat5E (or Cat 6) UTP Ethernet cable - not included
Cellular	Optional, CELLMODEM-01 (3G) or CELLMODEM-03 (4G) - not included
COMPLIANCE	
Compliance, Combiner	UL 1741
Compliance, IQ Envoy	UL 916 CAN/CSA C22.2 No. 61010-1 47 CFR, Part 15, Class B, ICES 003 IEC/EN 61010-1:2010 EN50065-1, EN61000-4-5, EN61000-6-1, EN61000-6-2 Metering: ANSI C12.20 accuracy class 0.5

To learn more about Enphase offerings, visit enphase.com

© 2017 Enphase Energy. All rights reserved. All trademarks or brands in this document are registered by their respective owner.
2017-09-17



Eaton general duty non-fusible safety switch

DG221URB

UPC:782113120232

Dimensions:

- Height: 10.81 IN
- Length: 6.88 IN
- Width: 6.38 IN

Weight:6 LB

Notes:WARNING! Switch is not approved for service entrance unless a neutral kit is installed.

Warranties:

- Eaton Selling Policy 25-000, one (1) year from the date of installation of the Product or eighteen (18) months from the date of shipment of the Product, whichever occurs first.

Specifications:

- Type: Non-fusible, single-throw
- Amperage Rating: 30A
- Enclosure: NEMA 3R, Rainproof
- Enclosure Material: Painted galvanized steel
- Fuse Configuration: Non-fusible
- Number Of Poles: Two-pole
- Number Of Wires: Two-wire
- Product Category: General duty safety switch
- Voltage Rating: 240V

Supporting documents:

- [Eaton's Volume 2-Commercial Distribution](#)
- [Eaton Specification Sheet - DG221URB](#)

Certifications:

- UL Listed

Product compliance: No Data



Enphase IQ 7 and IQ 7+ Microinverters

The high-powered smart grid-ready **Enphase IQ 7 Micro™** and **Enphase IQ 7+ Micro™** dramatically simplify the installation process while achieving the highest system efficiency.

Part of the Enphase IQ System, the IQ 7 and IQ 7+ Microinverters integrate with the Enphase IQ Envoy™, Enphase IQ Battery™, and the Enphase Enlighten™ monitoring and analysis software.

IQ Series Microinverters extend the reliability standards set forth by previous generations and undergo over a million hours of power-on testing, enabling Enphase to provide an industry-leading warranty of up to 25 years.

Easy to Install

- Lightweight and simple
- Faster installation with improved, lighter two-wire cabling
- Built-in rapid shutdown compliant (NEC 2014 & 2017)

Productive and Reliable

- Optimized for high powered 60-cell and 72-cell* modules
- More than a million hours of testing
- Class II double-insulated enclosure
- UL listed

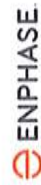
Smart Grid Ready

- Complies with advanced grid support, voltage and frequency ride-through requirements
- Remotely updates to respond to changing grid requirements
- Configurable for varying grid profiles
- Meets CA Rule 21 (UL 1741-SA)

*The IQ 7+ Micro is required to support 72-cell modules.



To learn more about Enphase offerings, visit enphase.com



Enphase IQ 7 and IQ 7+ Microinverters

INPUT DATA (DC)	IQ7-60-2-US / IQ7-60-B-US	IQ7PLUS-72-2-US / IQ7PLUS-72-B-US
Commonly used module pairings ¹	235 W - 350 W +	235 W - 440 W +
Module compatibility	60-cell PV modules only	60-cell and 72-cell PV modules
Maximum input DC voltage	48 V	60 V
Peak power tracking voltage	27 V - 37 V	27 V - 45 V
Operating range	16 V - 48 V	16 V - 60 V
Min/Max start voltage	22 V / 48 V	22 V / 60 V
Max DC short circuit current (module Isc)	15 A	15 A
DC port backfeed current	0 A	0 A
PV array configuration	1 x 1 ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit	1 x 1 ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit
OUTPUT DATA (AC)	IQ 7 Microinverter	IQ 7+ Microinverter
Peak output power	250 VA	295 VA
Maximum continuous output power	240 VA	290 VA
Nominal (L-L) voltage/range ²	240 V / 211-264 V	208 V / 211-264 V
Maximum continuous output current	1.0 A (240 V)	1.15 A (208 V)
Nominal frequency	60 Hz	60 Hz
Extended frequency range	47 - 68 Hz	47 - 68 Hz
AC short circuit fault current over 3 cycles	5.8 Arms	5.8 Arms
Maximum units per 20 A (L-L) branch circuit ³	16 (240 VAC)	13 (208 VAC)
Overvoltage class AC port	III	III
AC port backfeed current	0 A	0 A
Power factor setting	1.0	1.0
Power factor (adjustable)	0.85 leading ... 0.85 lagging	0.85 leading ... 0.85 lagging
EFFICIENCY	@240 V	@208 V
Peak efficiency	97.6 %	97.3 %
CEC weighted efficiency	97.0 %	97.0 %
MECHANICAL DATA		
Ambient temperature range	-40°C to +65°C	
Relative humidity range	4% to 100% (condensing)	
Connector type (IQ7-60-2-US & IQ7PLUS-72-2-US)	MC4 (or Amphenol H4 UTX with additional Q-DCC-5 adapter)	
Connector type (IQ7-60-B-US & IQ7PLUS-72-B-US)	Friends PV2 (MC4 interchangeable).	
Adaptors for modules with MC4 or UTX connectors:		
- PV2 to MC4: order ECA-S20-S22		
- PV2 to UTX: order ECA-S20-S25		
Dimensions (WxHxD)	212 mm x 175 mm x 30.2 mm (without bracket)	
Weight	1.08 kg (2.38 lbs)	
Cooling	Natural convection • No fans	
Approved for wet locations	Yes	
Pollution degree	PD3	
Enclosure	Class II double-insulated, corrosion resistant polymeric enclosure	
Environmental category / UV exposure rating	NEMA Type 6 / outdoor	
FEATURES		
Communication	Power Line Communication (PLC)	
Monitoring	Enlighten Manager and MyEnlighten monitoring options. Both options require installation of an Enphase IQ Envoy.	
Disconnecting means	The AC and DC connectors have been evaluated and approved by UL for use as the load-break disconnect required by NEC 690.	
Compliance	CA Rule 21 (UL 1741-SA) UL 62109-1, UL1741/IEEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shutdown Equipment and conforms with NEC-2014 and NEC-2017 section 690.12 and C22.1-2015 Rule 64-2.18 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer's instructions.	

1. No enforced DC/AC ratio. See the compatibility calculator at <https://enphase.com/en-us/support/module-compatibility>.
2. Nominal voltage range can be extended beyond nominal if required by the utility.
3. Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

To learn more about Enphase offerings, visit enphase.com





U-BUILDER PROJECT REPORT

VERSION: 3.1.6

PROJECT TITLE

ROOFMOUNT RM10

PROJECT ID

60673123

CREATED

July 20, 2022, 8:59 a.m.

NAME	Robert Reynolds
ADDRESS	2415 Calle De Parian
CITY, STATE	Las Cruces, NM
MODULE	Jinko JKM410M-72HL-V

Designed by will.kemp@yellowbirdservices.com

ROOFMOUNT RM10

Jinko

18 - JKM410M-72HL-V

389.86 ft²

7.38 KW

NOTE: Installation of the project is intended to happen within the year of project designed in UBuilder. If it's past one year please rerun the design or contact Unirac Engineering Services.

ENGINEERING REPORT

Plan review

AVERAGE PSF	5.73 psf
TOTAL NUMBER OF MODULES	18
TOTAL KW	7.38 KW
TOTAL MODULE AREA	~652 ft²
TOTAL WEIGHT ON ROOF	3735 lbs
RACKING WEIGHT	123 lbs
MODULE WEIGHT	893 lbs
BALLAST WEIGHT	2720 lbs
MAX BAY LOAD (DEAD)	245 lbs
ATTACHMENT COUNT	0
TOTAL SEISMIC ATTACHMENTS REQUIRED	0

Loads Used for Design

BUILDING CODE	ASCE 7-10
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	0.00 psf
SEISMIC (Ss)	0.287
ELEVATION	4187.00 ft
WIND EXPOSURE	B
MRI	25
RISK CATEGORY	II
VELOCITY PRESSURE, QZ	12.55 psf

Loads Determined by Zip 88005

CITY, STATE	Las Cruces, NM
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	0.00 psf

Inspection

PRODUCT	ROOFMOUNT RM10
MODULE MANUFACTURER	Jinko
MODEL	JKM410M-72HL-V
MODULE WATTS	410 watts
MODULE LENGTH	79.06"
MODULE WIDTH	39.45"
MODULE THICKNESS	1.57"
MODULE WEIGHT	49.60 lbs
BALLAST BLOCK (CMU) WEIGHT	32.0 lbs
MAX BLOCKS PER NORTH BAY	6
MAX BLOCKS PER NON NORTH BAY	4
BUILDING HEIGHT	15.00 ft
ROOF TYPE	MINERAL_CAP
PARAPET HEIGHT	<= 1/2 Array Height (<= 6 inches)
RISK CATEGORY	II
ATTACHMENTS OPTIMIZATION CRITERIA	Maximize Ballast
ATTACHMENT TYPE	UNIRAC FLASHLOC RM
ATTACHMENT CAPACITY UPLIFT	620.0 lbs
ATTACHMENT CAPACITY SHEAR	523.0 lbs
CONTROLLING COMPONENT UPLIFT CAPACITY	RACKING
CONTROLLING COMPONENT SHEAR CAPACITY	RACKING

Roof Area 1 - Array 1

AVERAGE PSF	4.17 psf	MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
		ARRAY TO ARRAY:	3.0"
TOTAL NUMBER OF MODULES:	11	TO FIXED OBJECT ON ROOF:	6.0"
TOTAL KW:	4.51 KW	TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TOTAL AREA:	385 ft ²	TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
TOTAL WEIGHT ON ROOF:	1604 lbs	MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
RACKING WEIGHT:	67 lbs	MAX NUMBER OF NORTH-SOUTH ROWS:	24
MODULE WEIGHT:	546 lbs	MAX NUMBER OF EAST-WEST COLUMNS:	53
BALLAST WEIGHT:	992 lbs	*In jurisdictions that follow SEAOC PV-1 methodology.	
ATTACHMENT COUNT	0		
SEISMIC ATTACHMENT COUNT	0		

Roof Area 2 - Array 1

AVERAGE PSF	7.98 psf	MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
		ARRAY TO ARRAY:	3.0"
TOTAL NUMBER OF MODULES:	7	TO FIXED OBJECT ON ROOF:	6.0"
TOTAL KW:	2.87 KW	TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TOTAL AREA:	267 ft ²	TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
TOTAL WEIGHT ON ROOF:	2131 lbs	MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
RACKING WEIGHT:	56 lbs	MAX NUMBER OF NORTH-SOUTH ROWS:	12
MODULE WEIGHT:	347 lbs	MAX NUMBER OF EAST-WEST COLUMNS:	25
BALLAST WEIGHT:	1728 lbs	*In jurisdictions that follow SEAOC PV-1 methodology.	
ATTACHMENT COUNT	0		
SEISMIC ATTACHMENT COUNT	0		

RM10 U-BUILDER PRODUCT ASSUMPTIONS

RM10 – Ballasted Flat Roof Systems

Limitations of Responsibility: It is the user's responsibility to ensure that inputs are correct for your specific project.

Unirac is not the solar, electrical, or building engineer of record and is not responsible for the solar, electrical, or building design for this project.

Building Assumptions

1. Risk Category III
2. Building Height ≤ 50 ft
3. Building Height > 50 ft: only where $(\text{longest length of building} \times \text{building height})^{0.5} \leq 100$ ft
4. Roof Slope $\geq 0^\circ$ (0:12) and $\leq 3^\circ$ (5/8:12) for Seismic Design Category C, D, E and F. For low seismic regions Seismic Design Category A and B (provided Array Importance factor = 1.0), Roof Slope $\geq 0^\circ$ (0:12) and $\leq 7^\circ$ (1 1/2:12).
5. Roofing Material Types: EDPM, PVC, TPO, or Mineral Cap
6. Surrounding Building Grade: Level

Ballast Blocks

The installer is responsible for procuring the ballast blocks (Concrete Masonry Units – CMU) and verifying the required minimum weight needed for this design. CMU should comply with ASTM standard specification for concrete roof pavers designation (C1491 or C90 with an integral water repellent suitable for the climate it is placed). It is recommended that the blocks are inspected periodically for any signs of degradation. If degradation of the block is observed, the block should immediately be replaced.

The CMU ballast block should have nominal dimensions of 4"x8"x16". The actual block dimensions are 3/8" less than the nominal dimensions. Ballast blocks should have a weight as specified for the project in the "Inspection" section of this report.

Design Parameters

1. Risk Category I to III
2. Wind Design
 - a. Basic Wind Speed: 85-120 mph (ASCE 7-05)/110-150 mph (ASCE 7-10)/90-180 mph (ASCE 7-16)
 - b. Exposure: B, C or D (ASCE 7-05/ASCE 7-10)
 - c. 25 year Design Life/50 year Design Life for ASCE 7-16
 - d. Elevation: Insertion of the project at - grade elevation can result in a reduction of wind pressure. If your project is in a special case study region or in an area where wind studies have been performed, please verify with your jurisdiction to ensure that elevation effects have not already been factored into the wind speed. If elevation effects have been included in your wind speed, please select 0 ft as the project site elevation.
 - e. Wind Tunnel Testing: Wind tunnel testing coefficients have been utilized for design of the system.
3. Snow Design
 - a. Ground Snow Load: 0-80 psf (ASCE 7-10/ASCE 7-16)
 - b. Exposure Factor: 0.9
 - c. Thermal Factor: 1.2
 - d. Roof Snow Load: Calculation per Section 7.3 (ASCE 7-05/ASCE 7-10/ASCE 7-16)
 - e. Unbalanced/Drifting/Sliding: Results are based on the uniform snow loading and do not consider unbalanced, drifting, and sliding conditions
4. Seismic Design
 - a. Report SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 – Structural Seismic Requirements and Commentary for Rooftop Solar Photovoltaic Arrays
 - b. Seismic Site Class: A, B, C, or D (ASCE 7-05/ASCE 7-10/ASCE 7-16)
 - c. Importance Factor Array (Ip): 1.0
 - d. Importance Factor Building (Ib): 1.0
 - e. Site Class: D

Properties

1. Bay Weight: ~3.5 lbs
2. Module Gaps (E/W) = 0.25 in
3. Bays: North row bays overhang the module by ~19.5 inches.

Module Properties

1. Module return flange: Minimum of 0.9in (when using 1-3/4 in. clip bolts) is required.
2. Module return flange: Minimum of 0.65in (when using 2 in. clip bolts) is required.

Testing

1. Coefficient of Friction
2. Wind Tunnel
3. UL 2703
4. Component Testing (Bay and Clamp)

Setbacks

For the wind tunnel recommendations in U-Builder to apply, the following setbacks should be observed/followed for U-Builder wind design:

1. Modules should be placed a minimum of 3 feet from the edge of the building in any direction.
2. If the array is located near an obstruction that is 3.5 feet wide and 3.5 feet high or larger, the nearest module of the array must be located a distance from the obstruction that is greater than or equal to the height of the obstruction.
Exception: When using ASCE 7-16 Building Code and using the obstruction feature in the module editor to accurately model the size and location of obstruction.
3. Installations within the setbacks listed above require site specific engineering²
4. The setbacks above are for wind. High seismic areas, fire access isles, mechanical equipment, etc., may require larger setbacks than listed above for wind.

Site Specific Engineering

Conditions listed below are beyond the current capabilities of U-Builder. Site specific engineering is required.

1. Wind designs for a project design life exceeding 25 years¹/ASCE 7-16
2. Building assumptions and design parameters outside of U-Builder assumptions²
3. Attachments²
4. Risk Category III or IV projects (U-Builder can be adjusted for the correct wind, but not the seismic or snow design)²
5. Wind tunnel testing reduction factors are not permitted by the Authority Having Jurisdiction (AHJ)³
6. Seismic designs that fall outside SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 recommendations (>3% roof slope, or AHJ's that require shake table testing or non-linear site-specific response history analysis)³
7. Signed and sealed site-specific calculations, layouts, and drawings³

Notes:

¹Please contact info@unirac.com.

²Please contact EngineeringServices@unirac.com for more information.

³Please contact Theresa Allen with PZSE Structural Engineers at theresa@pzse.com. These items will require direct coordination with PZSE to complete the requested services.

PROJECT TITLE

ROOFMOUNT RM10

PROJECT ID

60673123

CREATED

July 20, 2022, 8:59 a.m.

NAME

Robert Reynolds

Designed by will.kemp@yellowbirdservices.com

ADDRESS

2415 Calle De Parian

ROOFMOUNT RM10

CITY, STATE

Las Cruces, NM

Jinko

MODULE

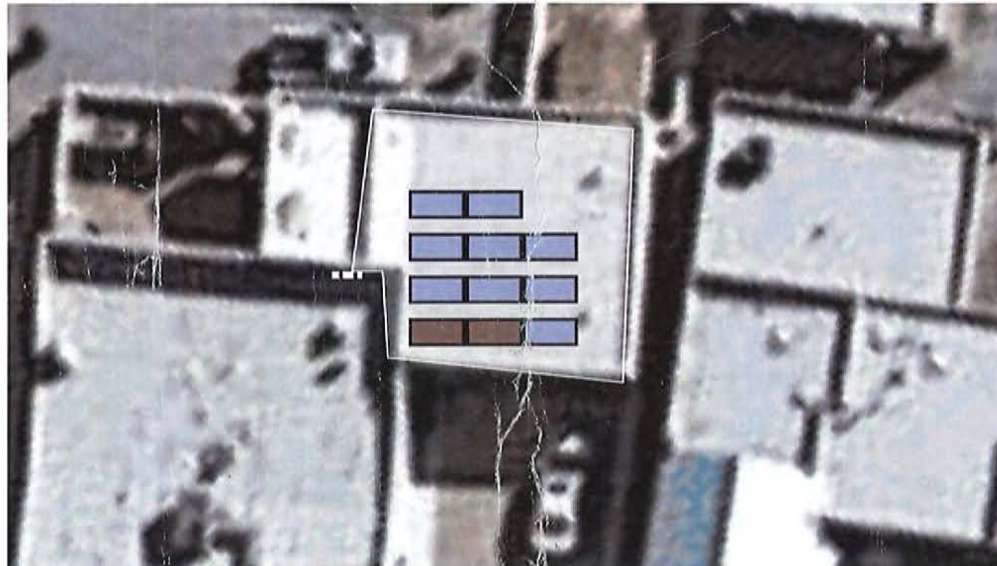
Jinko JKM410M-72HL-V

18 - JKM410M-72HL-V

 389.86 ft²

7.38 KW

NOTE: Installation of the project is intended to happen within the year of project designed in UBuilder. If it's past one year please rerun the design or contact Unirac Engineering Services.

INSTALLATION AND DESIGN PLAN
Roof Area 1


BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case # Case #061460 – 3380 McDowell Road submitted by Jordan and Bethany Carvalho to install a 30x80 metal garage. **Zoned: R1**

BACKGROUND AND ANALYSIS:

The applicants are proposing to build a 30 x 80 metal garage by Metal Depot. Engineered metal building on concrete slab. This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 15.15 & 18.60

SUPPORTING INFORMATION:

- Application
- Survey
- Metal Depot Engineered Stamp
- Material list
- Concrete slab design
- Building design

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 750.00
Review Fee \$ 94.00
Total Fee \$ 844.00



2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061460 ZONE: A-1 CODE: AC APPLICATION DATE: 9-15-2022

Jordan & Bethany Carvalho 1-951-660-1940
Name of Property Owner Property Owner's Telephone Number

3380 McDowell Las Cruces NM
Property Owner's Mailing Address City State Zip Code

Property Owner's E-mail Address

Self
Contractor's Name & Address (If none, indicate Self)

N/A N/A N/A
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 3380 McDowell Mesilla

Description of Proposed Work: 30x80 Metal Garage by Metal Depot
Engineered Metal building on concrete slab

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. ☒ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☒ Site Plan with dimensions and details.
3. ☒ Foundation plan with details.
4. ☒ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☒ Roof and floor framing plan.
7. ☐ Proof of legal access to the property.
8. ☐ Drainage plan.
9. ☒ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☐ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☐ Proof of legal access to the property.
12. ☐ Other information as necessary or required by the Town Code or Community Development Department.

\$ 56000.00 Rat Hayes for Jordan Carvalho 9-15-2022
Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

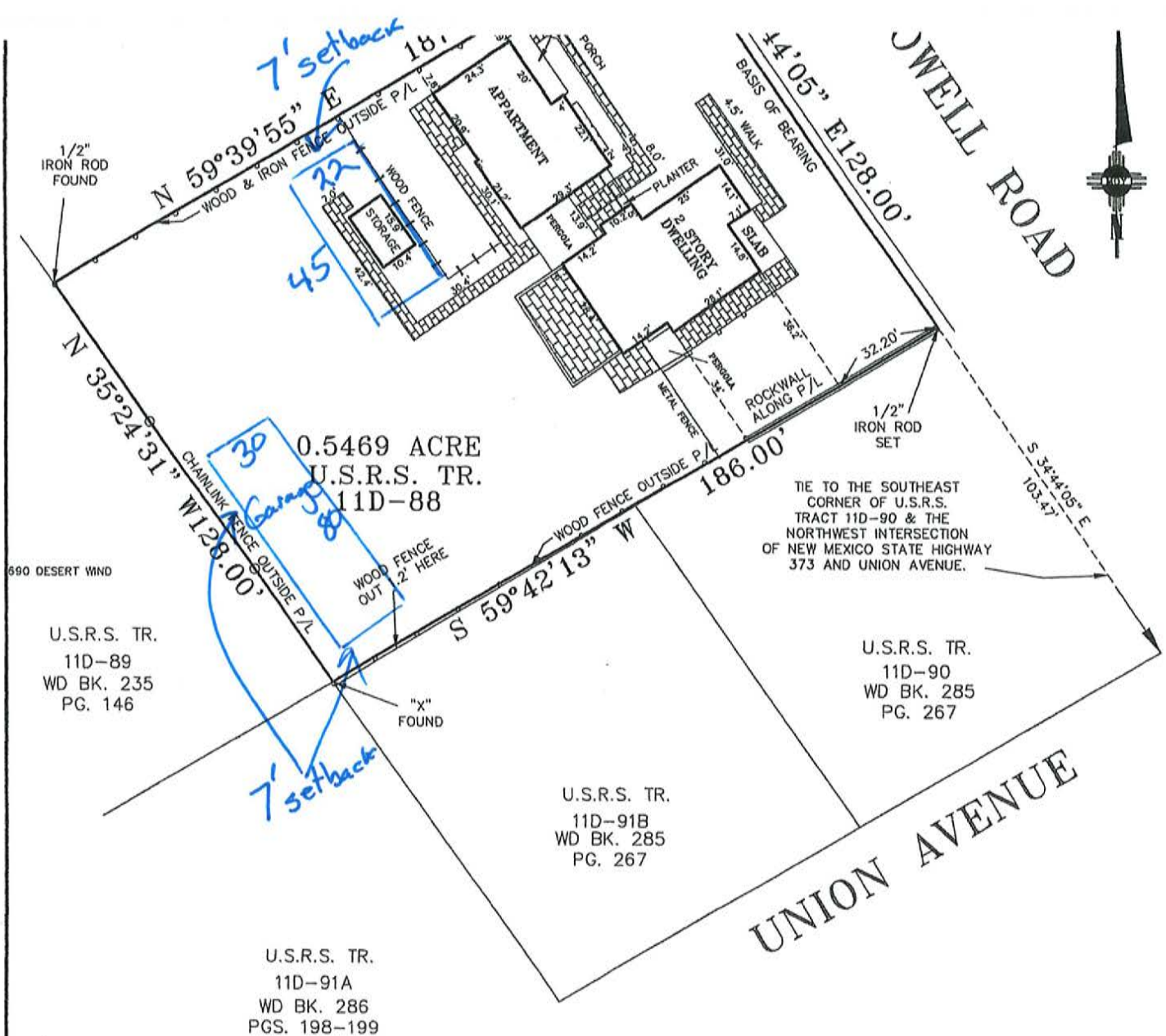
PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: ☐ YES ☐ NO BOT APPROVAL REQUIRED: ☐ YES ☐ NO

CID PERMIT/INSPECTION REQUIRED: ☐ YES ☐ NO ☐ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____



NOTES:

INFORMATION IN THE PREPARATION OF THIS PLAT DERIVES FROM WARRANTY DEED FILED AUGUST 16, 1991, IN DEED BOOK 352, PAGE 186, DONA ANA COUNTY RECORDS

FLOOD ZONE "X"; AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN. IN MAP NO. 35013C1094 G, EFFECTIVE JULY 6, 2016.

"INDEXING INFORMATION FOR COUNTY CLERK"

R0400901

PROPERTY OWNER:

SALAS

PROPERTY LOCATION:

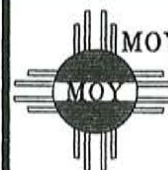
TOWN OF MESILLA



PLAT OF SURVEY
SHOWING THE LOCATION OF IMPROVEMENTS
ON A 0.5469 ACRE TRACT
IN SECTION 31, T.23S., R.2E., N.M.P.M.
OF THE U.S.R.S. SURVEY
BEING U.S.R.S. TRACT 11D-88
IN THE TOWN OF MESILLA
DONA ANA COUNTY, NEW MEXICO

I, HENRY MAGALLANEZ, A NEW MEXICO PROFESSIONAL SURVEYOR CERTIFY THAT I CONDUCTED AND AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

Henry Magallanez 18078
HENRY MAGALLANEZ N.M.P.S. 18078



MOY SURVEYING INC.

1985 CALLE DE COLON
MESILLA, NEW MEXICO
88046

PHONE: (575) 525-9683

FAX: (575) 524-3238

JOB NO. 22-0396(18-0246)

DRAWN BY ANTON M.

FIELD BY ANOTN/VICTOR

DATE 06/27/22 SCALE: 1"=40'



August 23, 2022

METAL DEPOTS
550 S COMPRESS RD
LAS CRUCES, NM 88005

19-B-13752
JORDAN CARVALHO
3380 MCDOWELL PLACE
LAS CRUCES, NM 88005
30'-0" x 80'-0" x 10'-6" x 13'-0"

To Whom It May Concern:

This is to certify that materials for the subject structure have been designed in accordance with the order documents, specifically as shown per the attached Engineering Design Criteria Sheet.

Aspects of code compliance as related to use or occupancy, such as sprinkler requirements, are not addressed by these documents.

These materials, when properly erected on an adequate foundation in accordance with the erection drawings as supplied and using the components as furnished, will meet the attached loading requirements.

This certification does not cover field modifications, or the design of materials not furnished by Metal Depots.

The attached design criteria information is to remain with and form part of this Letter of Certification.

The calculations and the metal building they represent are the product of Metal Depots or a division of its affiliate Cornerstone Building Brands. The engineer whose seal appears hereon is employed by either Metal Depots or a division of its affiliate Cornerstone Building Brands and is not the engineer of record for this project.

Cordially,

Metal Depots
Materials for Metal Buildings
A Cornerstone Building Brands Company

Bill Li
Yuanguang (Bill) Li, P.E.
Engineering Manager



This document has been
digitally signed.



Building Code IBC 18
Risk Category..... II - Normal

Roof Dead Load
Superimposed.....1.860 psf
Collateral.....0.5 psf (Total)
(0.00 psf Ceiling, 0.5 psf Other)
Roof Live Load..... 20.00 psf Yes reduction

Snow
Ground Snow Load (Pg)..... 5.00 psf
Snow Load Importance Factor (Is) 1.00
Snow Exposure Factor (Ce)..... 0.90
Thermal Factor (Ct)..... 1.10
Flat Roof Snow Load (Pf)..... 3.47 psf
Minimum Roof Snow Load (Pm)..... 5.00 psf

Wind
Ultimate Wind Speed (Vult)..... 110 mph
Nominal Wind Speed (Vasd)..... 85 mph (IBC Section 1609.3.1)
Serviceability Wind Speed 75 mph
Wind Exposure Category B
Internal Pressure Coef (GCpi) 0.18/-0.18
Loads for components not provided by building manufacturer
Wall Edge Zones 16.00 psf pressure -20.18 psf suction
Other Wall Zones 16.00 psf pressure -16.40 psf suction
These values are the maximum values required based on a 10 sq ft area.
Components with larger areas may have lower wind loads.

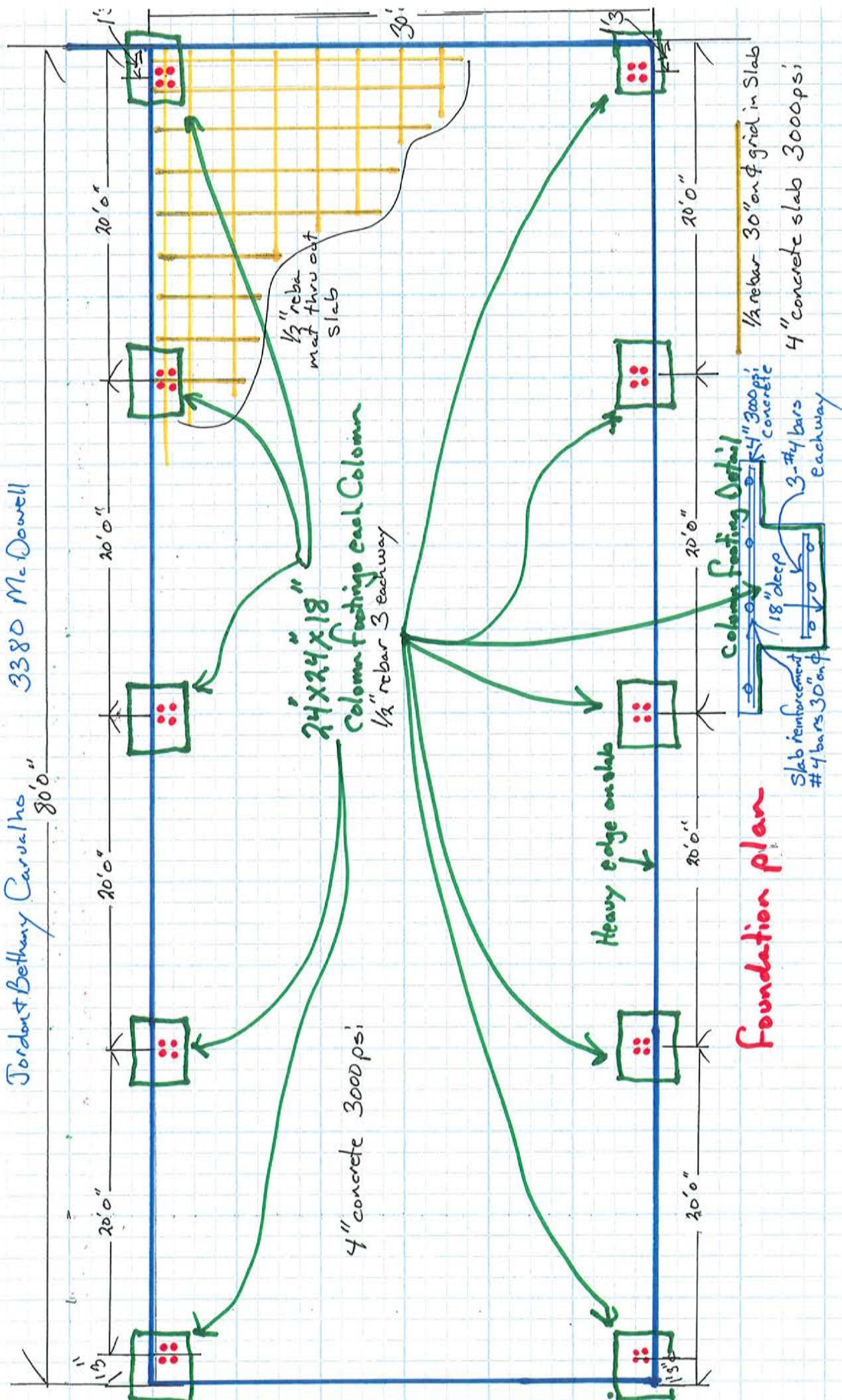
Seismic
Seismic Importance Factor (Ie) 1.00
Seismic Design Category..... C
Soil Site Class..... d
Ss..... 0.280 g Sds 0.293 g
S1..... 0.091 g Sd1 0.146 g
Analysis Procedure..... Equivalent Lateral Force

Location...	Int RF	Front SW	Back SW	Left EW	Right EW
System.....	H	H	H	H	H
R.....	3	3	3	3	3
Cs.....	0.098	0.098	0.098	0.098	0.098

Design Base Shear in kips (V) Transverse 1.90 Longitudinal 1.40
Basic Structural System (from ASCE 7-16 Table 12.2-1)
System - Basic Force Resisting System
H - Steel System not Specifically Detailed for Seismic Resistance
C4 - Steel Ordinary Moment Frames
B3 - Steel Ordinary Concentric Braced Frames
G2 - Cantilevered Column System
R - Response Modification Coefficient
Cs - Seismic Response Coefficient

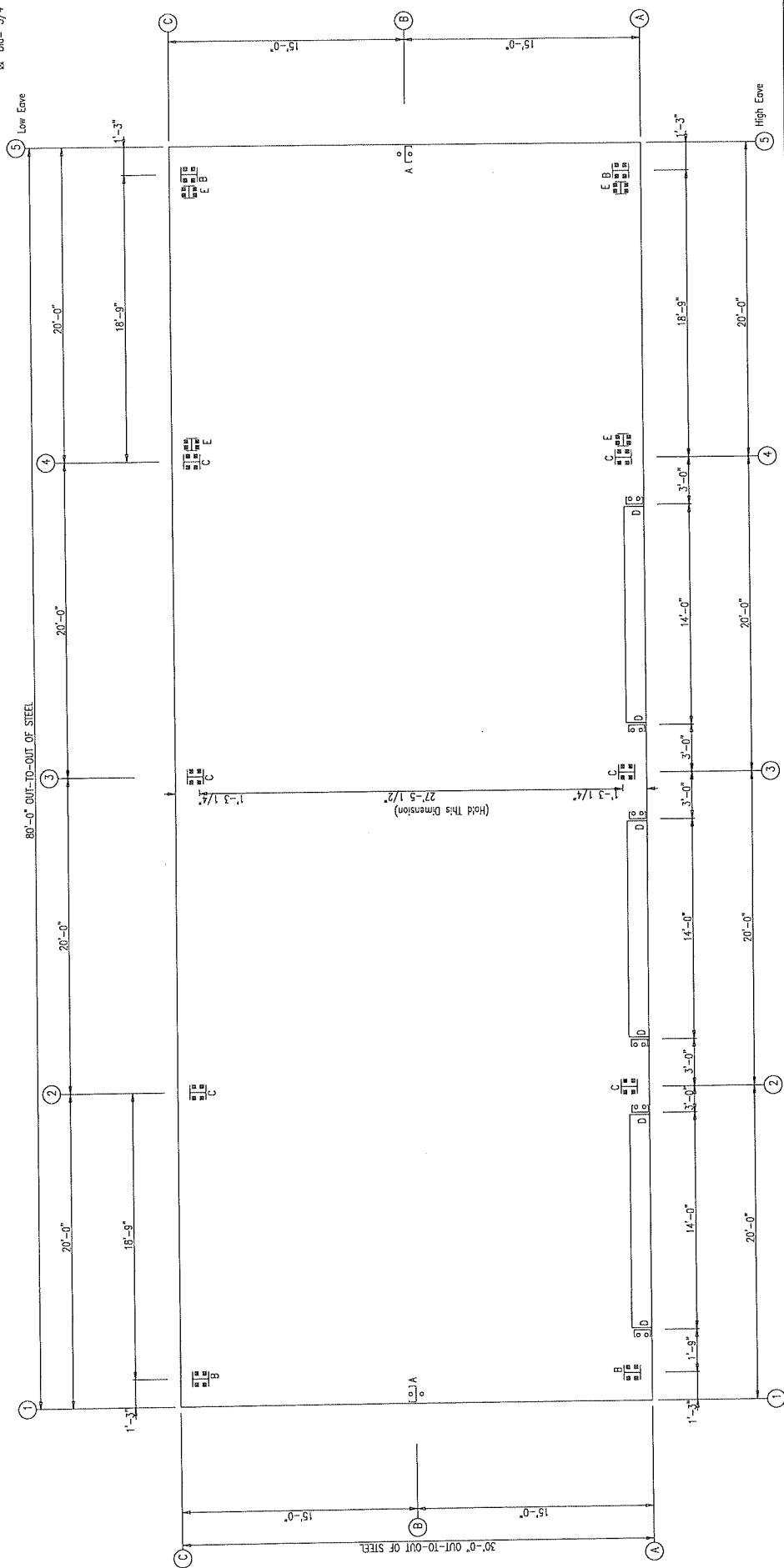
Jordan & Bethany Carvalho 8'0"

3380 McDowell



Foundation plan

O Dia= 5/8"
 X Dia= 3/4"



ANCHOR BOLT PLAN

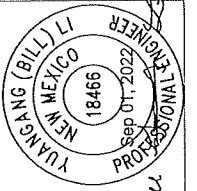


40502 HIGHWAY 290
WALLER, TX 77484

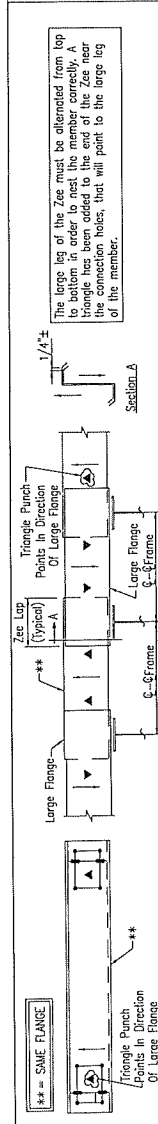
ISSUE	DATE	DESCRIPTION	BY	CHKD	DSN
0	8/24/22	FOR ERECTOR INSTALLATION	MOB	SN	PS

PROJECT:	JORDAN CARMILLO	OWNER:	CHRISTOPHER PETERSON
CUSTOMER:	JORDAN CARMILLO	BUILDING ID:	A
LOCATION:	LAS CRUCES, NM 88005	PHASE:	1
CAD:		SCALE:	N.T.S.
DATE:	8/24/22	JOB NUMBER:	19-B-13752
		SHEET NUMBER:	F1
		ISSUE:	0

Drawing has been digitally signed

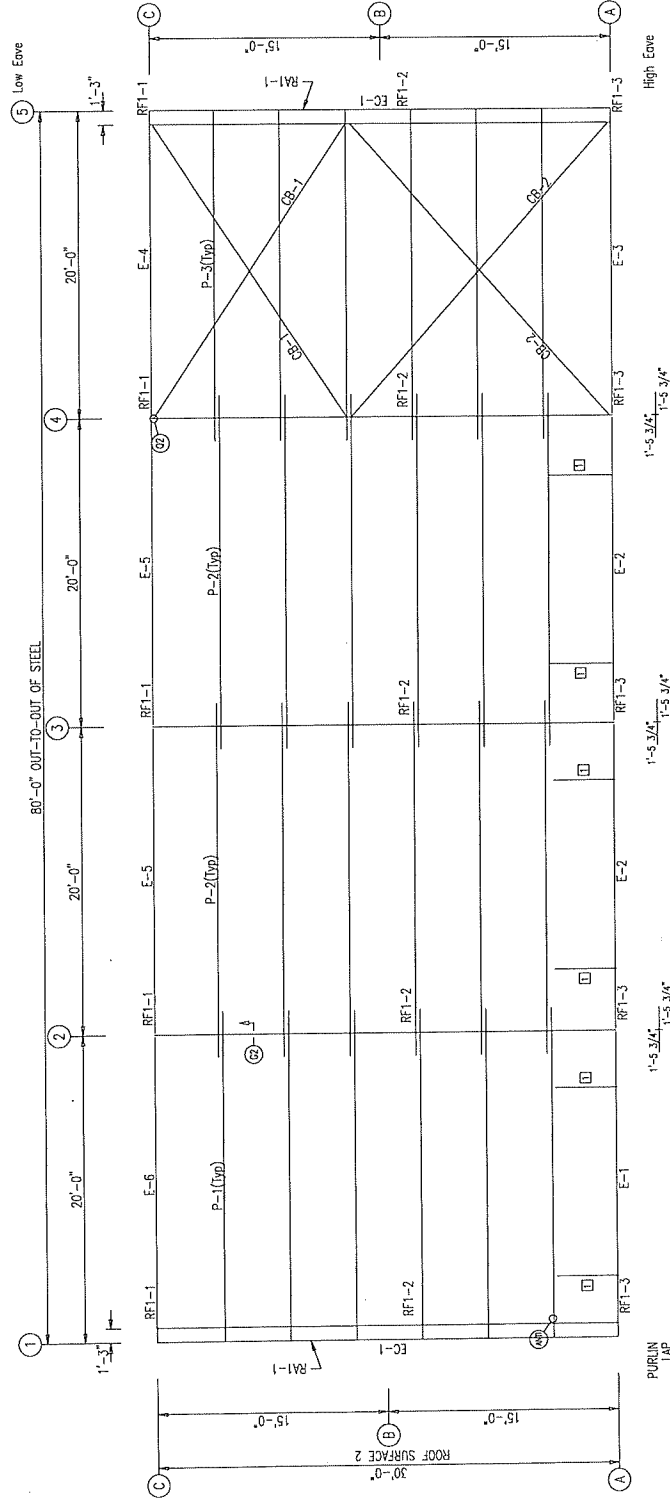


Bill



MEMBER TABLE		
ROOF PLAN	PART	LENGTH
MARK		
1	9025716	22'-1 1/2"
1-1	9025716	22'-1 1/2"
2	9025716	22'-1 1/2"
2-1	9025716	22'-1 1/2"
3	9531114	19'-1 1/2"
3-1	9531114	19'-1 1/2"
4	9531114	19'-1 1/2"
4-1	9531114	19'-1 1/2"
5	9531114	19'-1 1/2"
5-1	9531114	19'-1 1/2"
6	9531114	19'-1 1/2"
6-1	9531114	19'-1 1/2"
CB-1	1 1/2" CABLE	22'-2"
CB-2	1 1/2" CABLE	22'-5"

CONNECTION PLATES	
FRAME LINE A	
CHD	MARK/PART
1	DR1

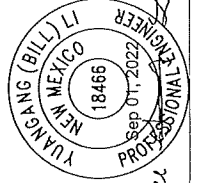


ROOF FRAMING PLAN

[illegible]

**METAL
DEPOTS**
40602 HIGHWAY 290
WALLER, TX 77484

Drawing has been digitally signed.

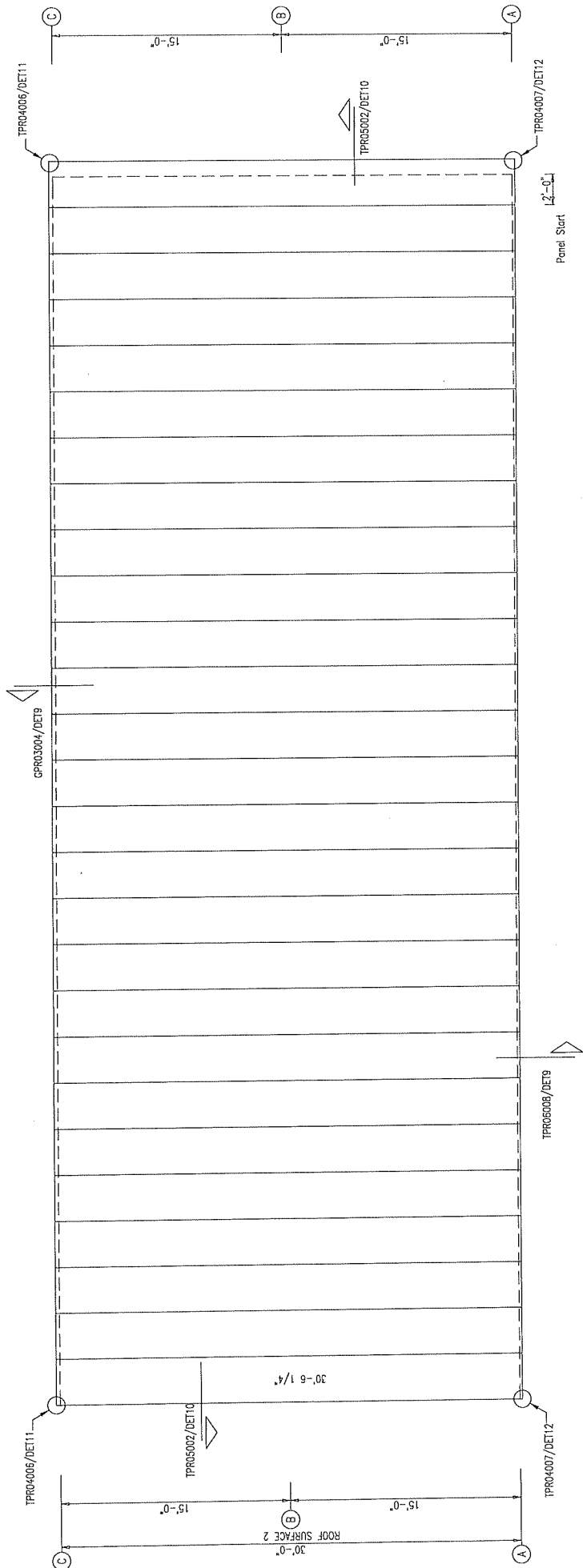
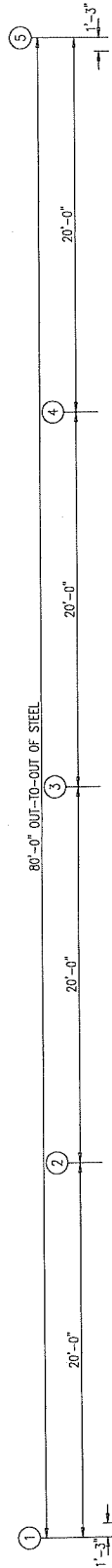


Bill

GENERAL NOTES:

1. INSTALL ALL PURLIN AND FLANGE BRACES (FB) AS SHOWN.
2. ROOF PANEL PROVIDES STRUCTURAL STABILITY TO THE BUILDING.
3. STRUT PURLINS, IF PROVIDED, MUST BE INSTALLED AND FASTENED TO ROOF SHEETING PER FABR PANEL ROOF DETAIL.
4. DO NOT REMOVE APPROVAL OF PROFESSIONAL ENGINEER BUILDING.
5. DO NOT STACK SHEET BUNDLES ON ROOF, ONLY RAISE INDIVIDUAL SHEETS AS NEEDED.
6. AFTER INSTALLATION, WIPE ALL PANELS CLEAN OF METAL SHAVINGS CAUSED BY DRILLING.

PER ROOF PANELS ARE TO BE FIELD CUT IF THE PANELS EXTEND OUTSIDE OF THE ROOF PLANE. PANELS ARE NOT TO BE BACK LAPED.

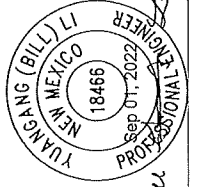


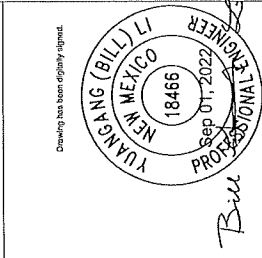
PANELS: 26 Gauge PBR -- Galvalume



40602 HIGHWAY 290
WALLER, TX 77484

2. ROOF PANEL PROVIDES STRUCTURAL SUPPORT TO THE BUILDING.
3. STRUT PURLINS, IF PROVIDED, MUST BE INSTALLED AND FASTENED TO ROOF SHEETING PER "PBR" PANEL ROOF DETAIL.
4. DO NOT ADD ANY ADDITIONAL ROOF OPENINGS WITHOUT BUILDING MANUFACTURER APPROVAL OR PROFESSIONAL ENGINEER APPROVAL.
5. DO NOT STACK SHEET BUNDLES ON ROOF. ONLY RAISE INDIVIDUAL SHEETS AS NEEDED.
6. AFTER INSTALLATION, WIPE ALL PANELS CLEAN OF METAL SHAWNS CAUSED BY DRILLING.

[illegible]

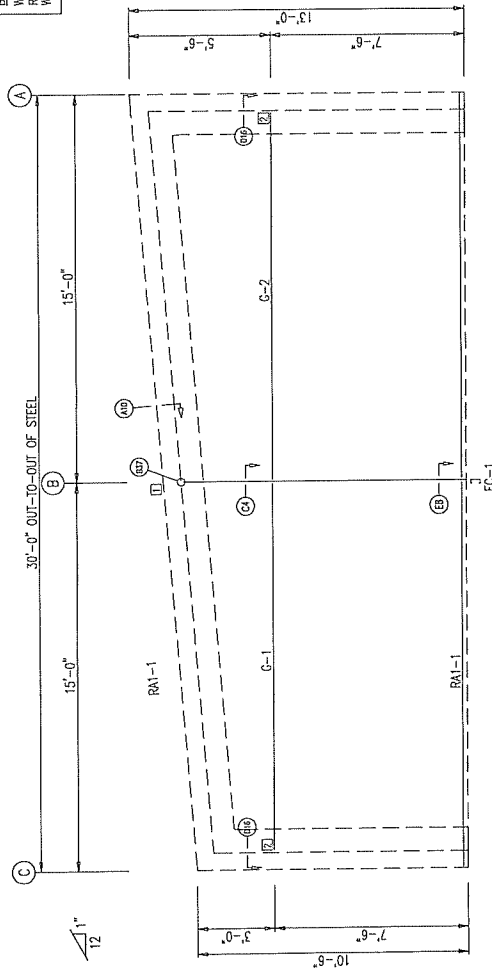


GENERAL NOTES:

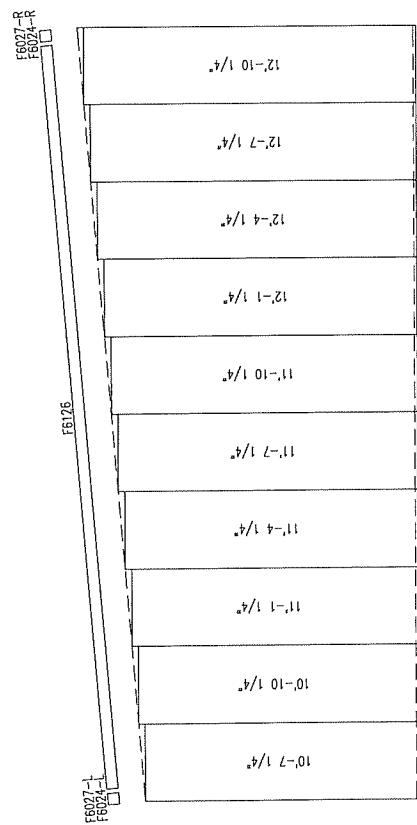
1. INSTALL ALL GIRTS AND FLANGE BRACES (FB) AS SHOWN.
2. WALL PANEL PROVIDES STRUCTURAL STABILITY TO THE BUILDING.
3. OTHER THAN FOR JOINTS, DO NOT DRILL ANY HOLES IN THE WALL PANELS WITHOUT APPROVAL OF BUILDING MANUFACTURER OR PROFESSIONAL ENGINEER.
4. AFTER INSTALLATION, WIPE ALL PANELS CLEAN OF METAL SHAVINGS CAUSED BY DRILLING.

BOLT TABLE				
FRAME LINE	LOCATION	QUAN	TYPE	LEN
1	Column/Beam	10	A307	1 1/2"
MEMBER TABLE				
FRAME LINE	PART	LENGTH		
EC-1	8725716	10'-10 11/16"		
G-1	8725716	13'-11 3/4"		
G-2	8725716	14'-3 1/2"		
CONNECTION PLATES				
FRAME LINE	TYPE	MARK/PART		
1	1	1		
2	2	2		

BEARING FRAME ONLY
WASHER TO BE USED AT ENDWALL COLUMN TO ENDWALL
RAFTER CONNECTION. USE ONE WASHER ON COLUMN SIDE -
WASHER NOT NEEDED ON CJP SIDE.



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Gauge PBR - Desert Sand

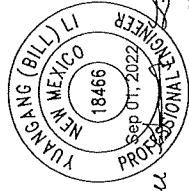
ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	8/24/72	FOR ERECTOR INSTALLATION	MOB	SN	FG



40602 HIGHWAY 290
WALLER, TX 77484

PROJECT:	JORDAN CARVALHO	OWNER:	CHRISTOPHER PETERSON
CUSTOMER:	JORDAN CARVALHO		
LOCATION:	LAS CRUCES, NM 88005		
DATE	8/24/72	SCALE	N.T.S.
PHASE	1		
BUILDING ID	A	JOB NUMBER	19-B-13752
SHEET NUMBER	E5	ISSUE	0

Drawing not been digitally signed.



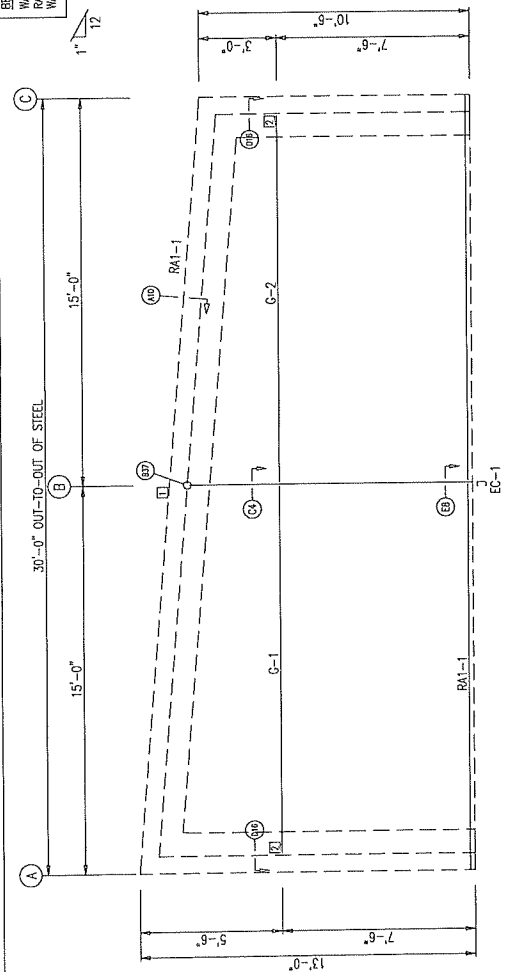
- GENERAL NOTES:
1. INSTALL ALL GIRTS AND FLANGE BRACES (FB) AS SHOWN.
 2. WALL PANEL PROVIDES STRUCTURAL STABILITY TO THE BUILDING.
 3. OTHER THAN FOR WALK DOORS AND WINDOWS SHOWN ON THE CONTRACT, DO NOT CUT OR DRILL ANY HOLES OR NOTCHES IN THE CONTRACT, OF BUILDING MANUFACTURER OR PROFESSIONAL ENGINEER.
 4. AFTER INSTALLATION, WIFE ALL PANELS CLEAN OF METAL SHAVINGS CAUSED BY DRILLING.

BOLT TABLE			
FRAME LINE	LOCATION	QUAN	TYPE
FRAME LINE 5	Column/Ref	10	A325
			DIA
			1/2
			LENGTH
			1 1/4

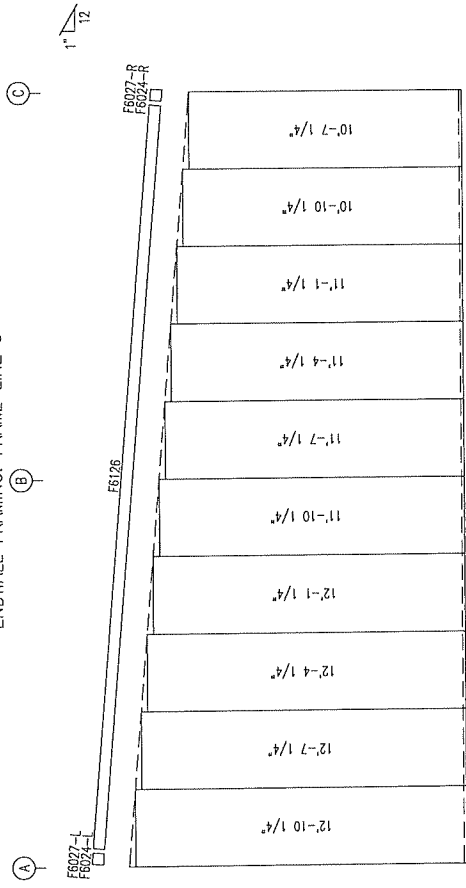
MEMBER TABLE			
MARK	PART	LENGTH	TYPE
C-1	8425716	13'-11 3/4"	1 1/2"
C-2	8425716	14'-3 1/2"	1 1/2"

CONNECTION PLATES			
MARK	PART	LENGTH	TYPE
C-1	8425716	13'-11 3/4"	1 1/2"
C-2	8425716	14'-3 1/2"	1 1/2"

BEARING FRAME ONLY
 WASHER TO BE USED AT ENDWALL COLUMN TO ENDWALL
 WASHER CONNECTION. USE ONE WASHER ON COLUMN SIDE.
 WASHER NOT NEEDED ON CUP SIDE.



ENDWALL FRAMING: FRAME LINE 5



ENDWALL SHEETING & TRIM: FRAME LINE 5

PANELS: 26 Gauge PBR - Desert Sand

DATE	DESCRIPTION	BY	CHKD	ISSN
8/24/22	FOR ERECTOR INSTALLATION	MOB	SN	FG
0				

DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
8/24/22	N.T.S.	1	A	19-B-13752	E6	0

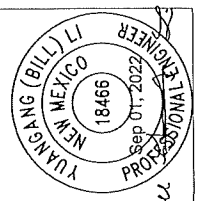


40602 HIGHWAY 290
 WALLER, TX 77484

PROJECT: JORDAN CARVALHO
 CUSTOMER: JORDAN CARVALHO
 LOCATION: LAS CRUCES, NM 88005
 CAD: DATE: 8/24/22

GENERAL NOTES:
 1. INSTALL ALL GRITS AND FLANGE BRACES (FB) AS SHOWN.
 2. ALL PANELS SHALL BE INSTALLED TO THE BUILDING.
 3. OTHER THAN FOR WALK DOORS AND WINDOWS SHOWN ON THE CONTRACT, DO NOT ADD ADDITIONAL WALL OPENINGS WITHOUT APPROVAL OF BUILDING MANUFACTURER OR PROFESSIONAL ENGINEER.
 4. AFTER INSTALLATION, WIPE ALL PANELS CLEAN OF METAL SHAVINGS CAUSED BY DRILLING.

Drawing has been digitally signed.



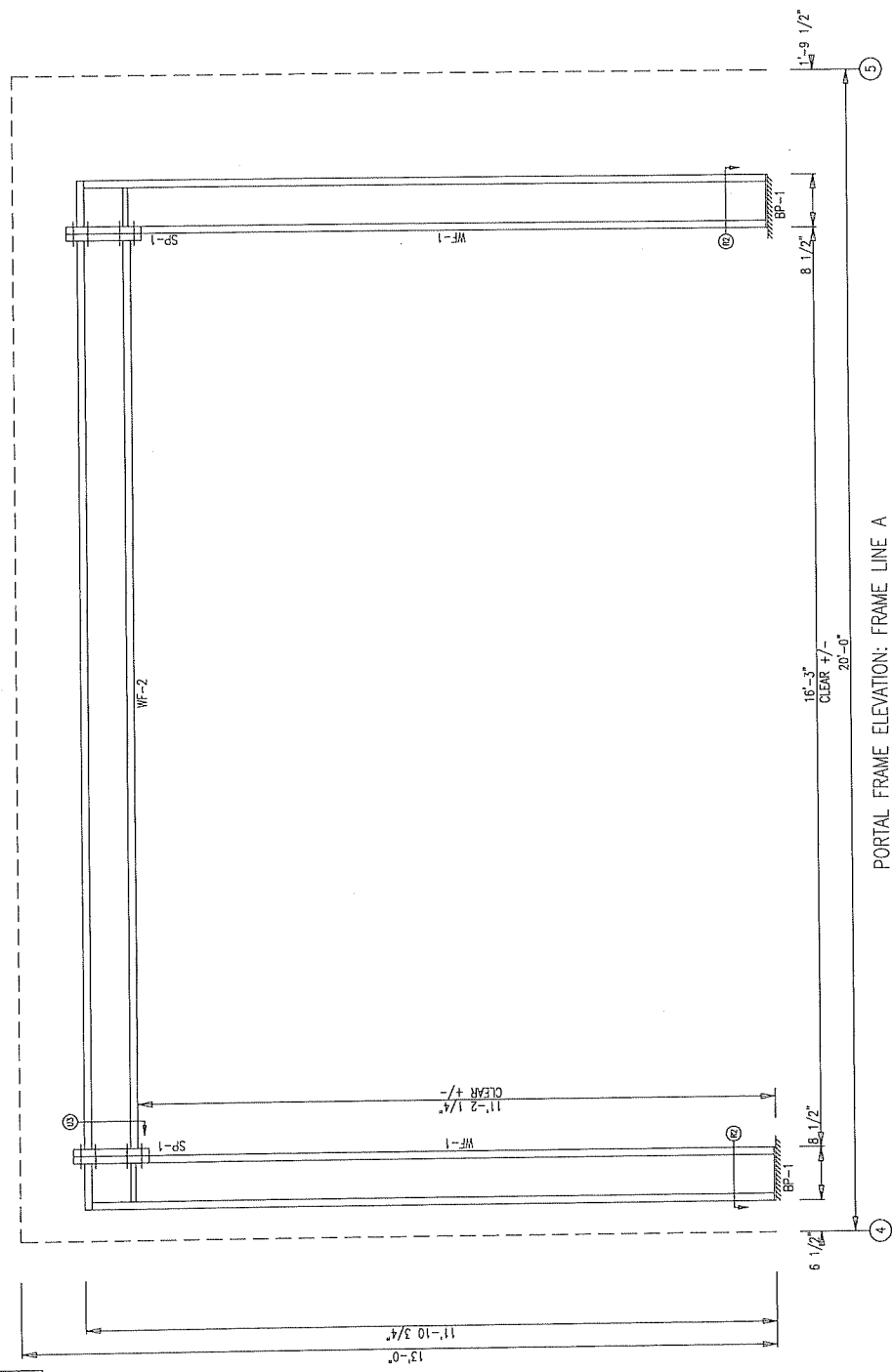
Bill

SPICE PLATES & BOLTS				
Splice Mark	Qty	Top/Bottom	Bolt Type	Plate Size Width Thick Length
SP-1	4	4	A325	3/4" 1 3/4" 3/8" 1'-4 1/4"

STIFFENER TABLE				
Mark	Stiffener	Width	Plate Size Thick Length	
WF-1	S1-	12	1/2 1/4" 8"	

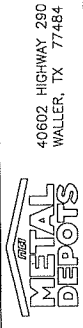
BASE PLATES				
Col	Mark	Width	Plate Size Thick Length	
BP-1		6"	3/8" 8 1/2"	

MEMBER SIZE TABLE (in)				
MARK	LENGTH	WEB DEPTH START/END	WEB PLATE THICK	INSIDE FLANGE W x T x LENGTH
WF-1	142.7	8.0/ 8.0	0.134	11'-10 3/4" 6 x 1/4 x 11'-10 3/4"
WF-2	194.3	8.0/ 8.0	0.134	15'-2 3/4" 6 x 1/4 x 15'-2 3/4"



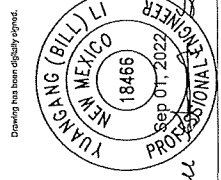
PORTAL FRAME ELEVATION: FRAME LINE A

GENERAL NOTES:
 BOLT TIGHTENING - ALL BOLTED JOINTS WITH A325 TYPE 1 BOLTS ARE SPECIFIED AS SNUG-TIGHTENED JOINTS IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE RCSC SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS. PRETENSIONING METHODS, INCLUDING TURN-OF-NUT, CALIBRATED WRENCH, TWIST OFF TYPE TENSION CONTROL BOLTS OR DIRECT-TENSION-INDICATOR ARE NOT REQUIRED. INSTALLATION INSPECTION REQUIREMENTS FOR SNUG TIGHT BOLT (SPECIFICATION FOR STRUCTURAL JOINTS SECTION 9.1) IS SUGGESTED.



40602 HIGHWAY 290
 WALLER, TX 77484

PROJECT: JORDAN CARVALHO
 CUSTOMER: JORDAN CARVALHO
 LOCATION: LAS CRUCES, NM 88005
 OWNER: CHRISTOPHER PETERSON



Bill

ISSUE	SHEET NUMBER	ISSUE
0	EB	0

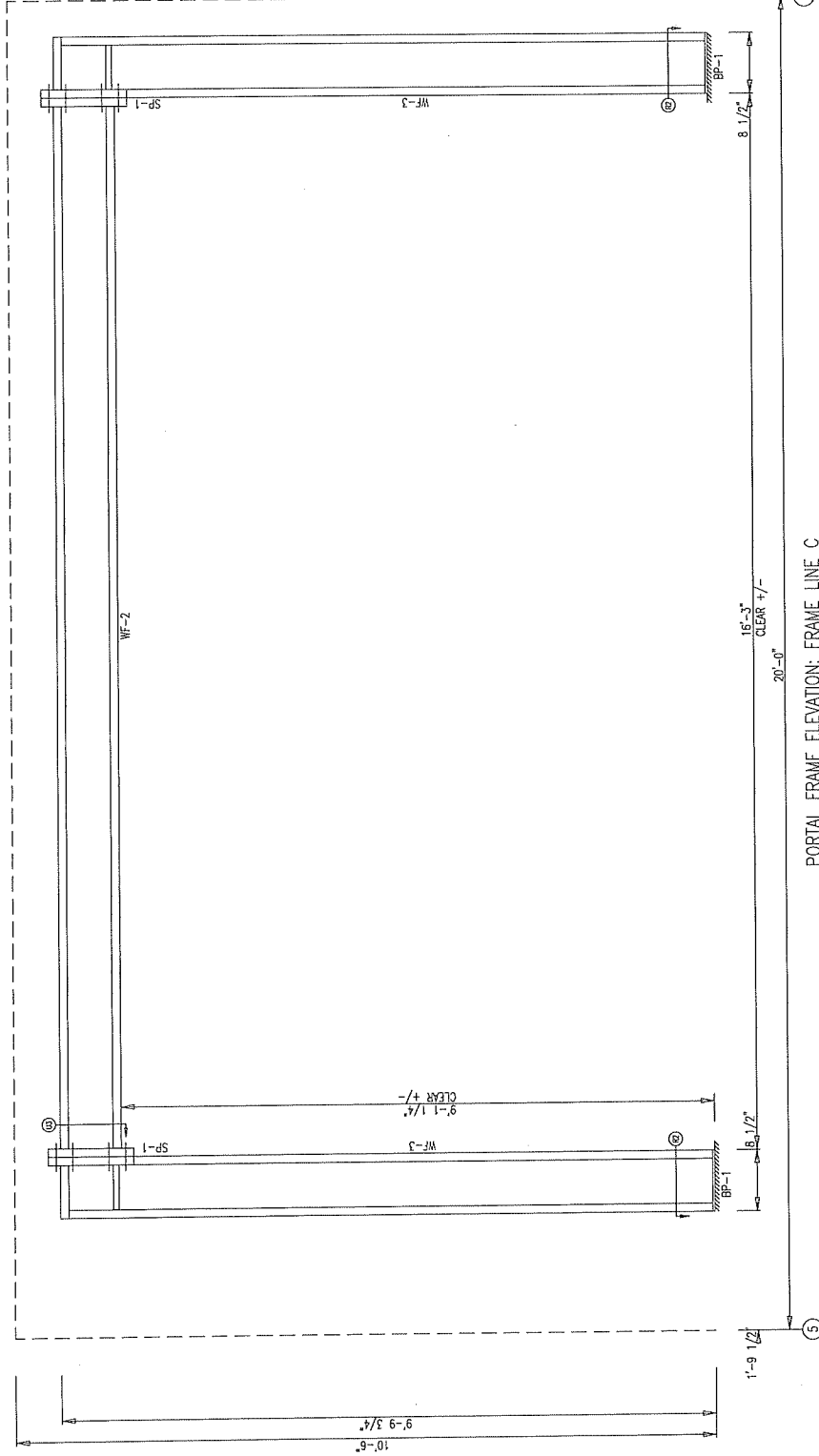
DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	ISSUE
8/24/22	N.T.S.	1	A	19-B-13752	EB

SPICE PLATES & BOLTS									
Splice Mark	Qty	Top/Bot	Bot	Type	Length	Plate Width	Plate Thickness	Length	
SP-1	4			A325	3/4"	1 3/4"	3/8"	1'-4 1/4"	

STIFFENER TABLE				
Mark	Stiff Mark	Width	Plate Size	Length
WF-3	St-1	12	1/2 1/4"	8"

BASE PLATES				
Col Mark	Width	Plate Size	Length	
BP-1	6"	3/8"	8 1/2"	

MEMBER SIZE TABLE (in)									
MARK	LENGTH	WEB DEPTH	WEB PLATE	THICK	LENGTH	W x T x LENGTH	INSIDE FLANGE	W x T x LENGTH	
WF-3	117.7	80/80	80/80	0.134	9'-9 3/4"	8 x 1 1/4" x 9 3/4"	8 x 1 1/4" x 9 3/4"	8 x 1 1/4" x 9 3/4"	
WF-2	134.6	80/80	80/80	0.134	16'-2 3/4"	8 x 1 1/4" x 16'-2 3/4"	8 x 1 1/4" x 16'-2 3/4"	8 x 1 1/4" x 16'-2 3/4"	



PORTAL FRAME ELEVATION: FRAME LINE C

GENERAL NOTES:
BOLT TIGHTENING - ALL BOLTED JOINTS WITH A325 TYPE 1 BOLTS ARE SPECIFIED AS SNUG-TIGHTENED JOINTS IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE RISC SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS, PRETENSIONING METHODS, INCLUDING TURN-OF-NUT, CALIBRATED WRENCH, TWIST OFF TYPE TENSION CONTROL BOLTS OR DIRECT-TENSION-INDICATOR ARE NOT REQUIRED. INSTALLATION INSPECTION REQUIREMENTS FOR SNUG TIGHT BOLT (SPECIFICATION FOR STRUCTURAL JOINTS SECTION 5.1) IS SUGGESTED.



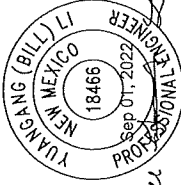
40602 HIGHWAY 290
WALLER, TX 77484

PROJECT: JORDAN CARVALHO
CUSTOMER: JORDAN CARVALHO
LOCATION: LAS CRUCES NM BIODIVERSITY

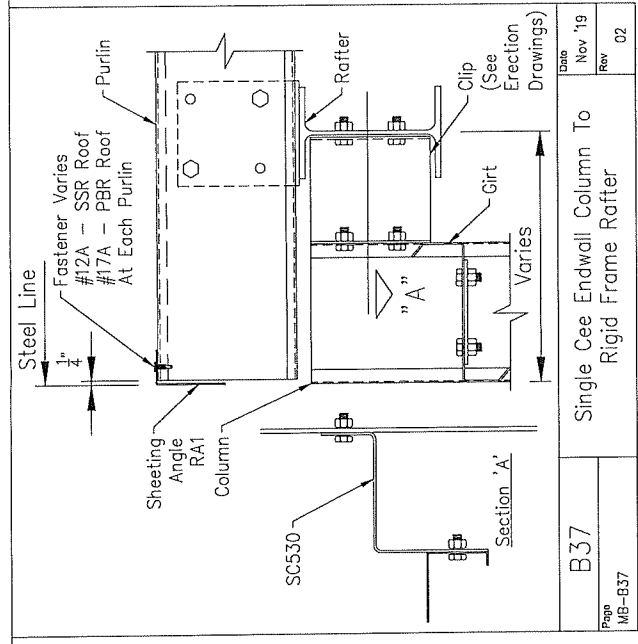
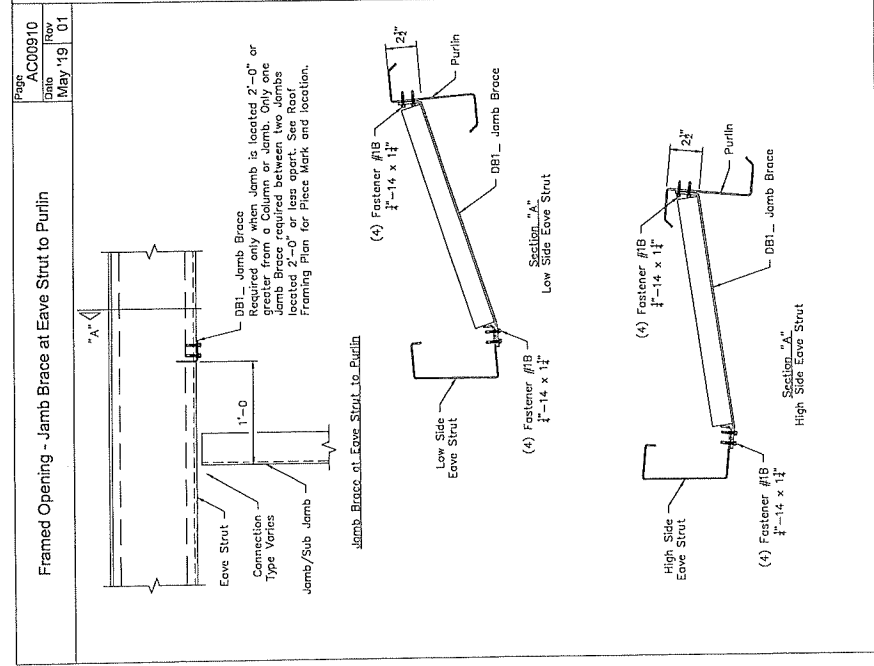
OWNER: CHRISTOPHER PETERSON


ISSUE	DATE	DESCRIPTION	BY	CHKD	DSN	MOB	SK	FG	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
0	8/24/22	FOR ERECTOR INSTALLATION							1	A	19-B-13752	E9	0

Drawing has been digitally signed.



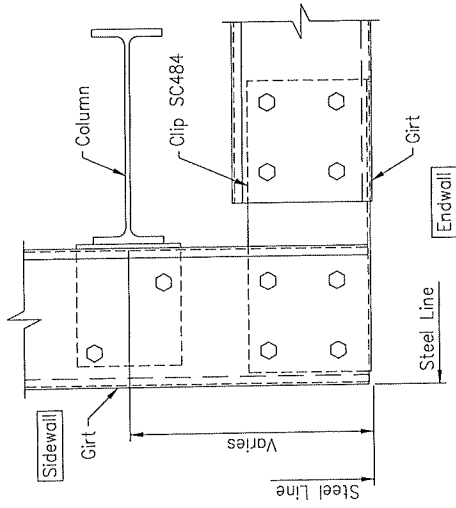
Bill



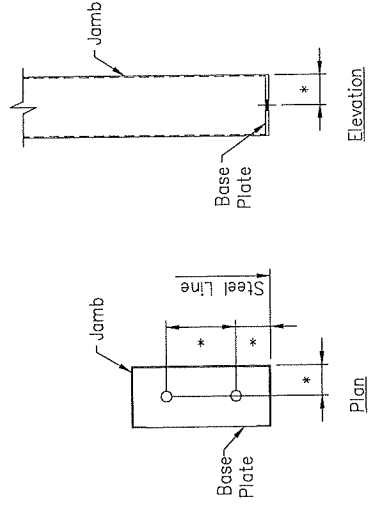
						40602 HIGHWAY 290 WALLER, TX 77484				
ISSUE		DATE	DESCRIPTION	BY	CHK'D	DSN				
0		8/24/22	FOR ERECTOR INSTALLATION	MOB	SN	FG				

40602 HIGHWAY 290
WALLER, TX 77484

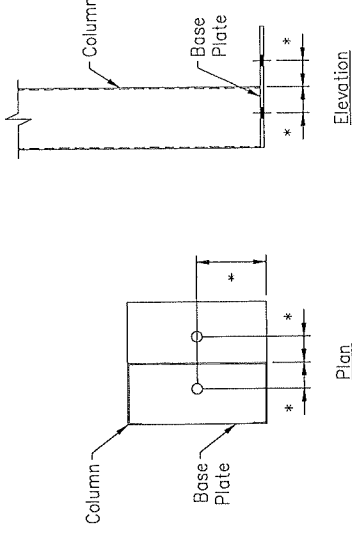
YUANGANG (BILL) LI
NEW MEXICO
18466
Sep 01, 2022
PROFESSIONAL ENGINEER



D16	Girt To Rigid Frame Endwall Column	Date	Jun '17
		Rev	00
Page MB-D16			



E5	Door Jamb Base Plate	Date	Dec '18
		Rev	01
Page MB-E5			



E8	Cold Form Endwall Column Base Plate	Date	Dec '18
		Rev	01
Page MB-E8			

* - Refer To Anchor Rod Setting
Plan For Dimension

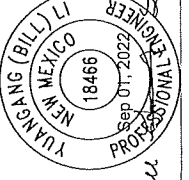


40602 HIGHWAY 290
WALLER, TX 77484

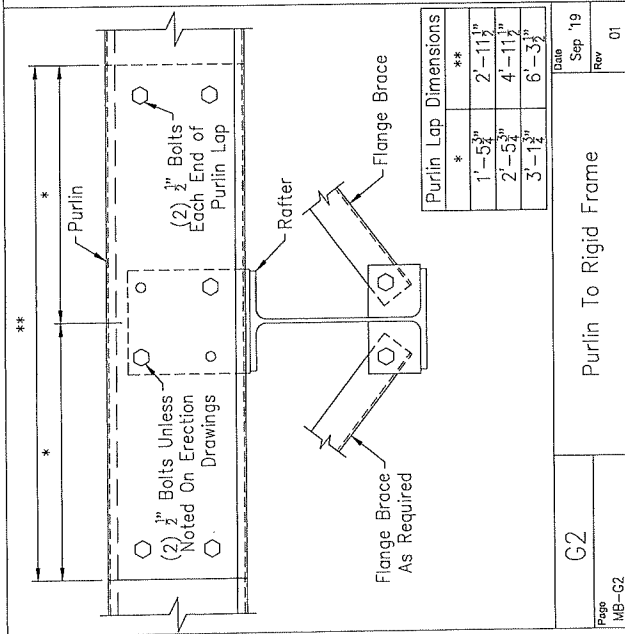
ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	8/24/22	FOR ERECTOR INSTALLATION	MB	SN	FG

PROJECT:	JORDAN CARVALHO	OWNER:	CHRISTOPHER PETERSON
CUSTOMER:	JORDAN CARVALHO		
LOCATION:	LAS CRUCES, NM 88005		
DATE:	8/24/22	SCALE:	N.T.S.
CD		PHASE:	1
		BUILDING ID:	A
		JOB NUMBER:	19-B-13752
		SHEET NUMBER:	DET3
		ISSUE:	0

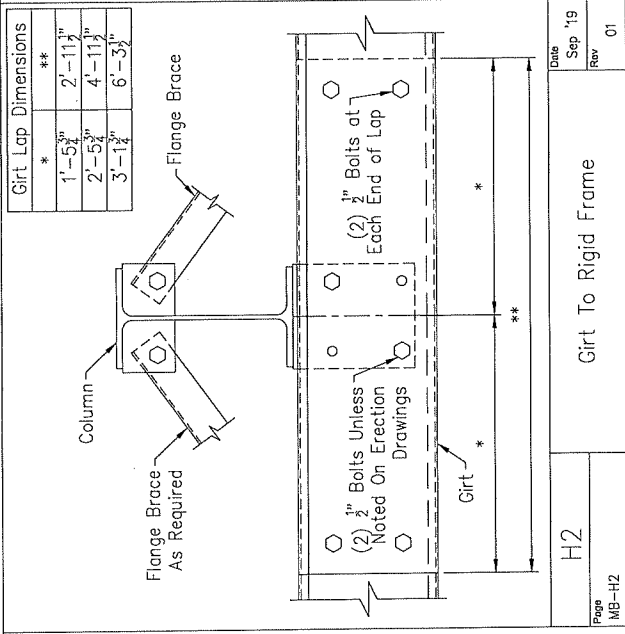
Drawing has been digitally signed.



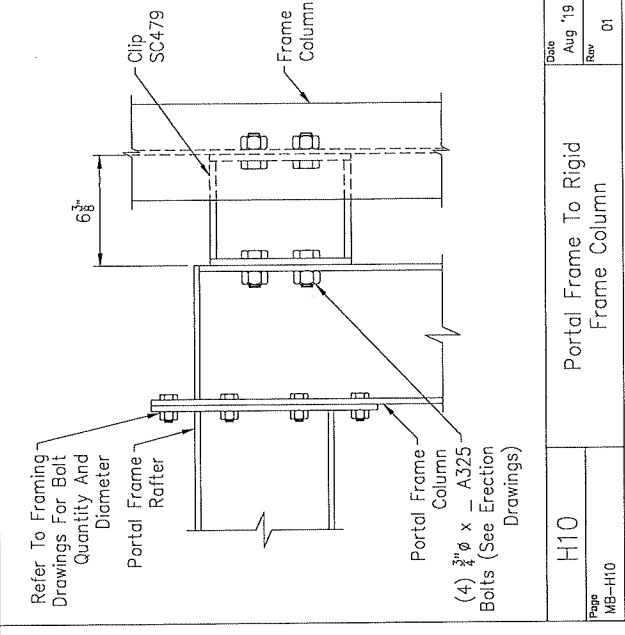
Bill



Page	MB-G2	G2	Purlin To Rigid Frame		Date	Rev	01



Page	MB-H2	H2	Girt To Rigid Frame		Date	Rev	01



Page	MB-H10	H10	Portal Frame To Rigid Frame Column		Date	Rev	01

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	8/24/22	FOR ERECTOR INSTALLATION	MOB	SN	FR

PROJECT:	CUSTOMER:	LOCATION:	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
JORDAN CARVALHO	JORDAN CARVALHO	LAS CRUCES, NM 88005	8/24/22	N.T.S.	1	A	19-B-13752	DET4	0

40802 HIGHWAY 290
WALLER, TX 77484

METAL DEPOTS

OWNER: CHRISTOPHER PETERSON

PROJECT: JORDAN CARVALHO

CUSTOMER: JORDAN CARVALHO

LOCATION: LAS CRUCES, NM 88005

DATE: 8/24/22

SCALE: N.T.S.

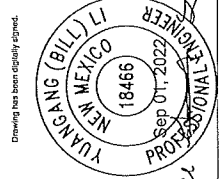
PHASE: 1

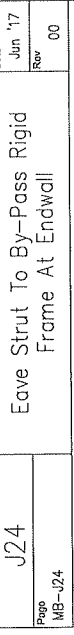
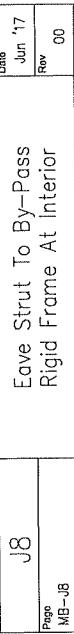
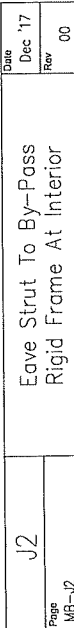
BUILDING ID: A

JOB NUMBER: 19-B-13752

SHEET NUMBER: DET4

ISSUE: 0



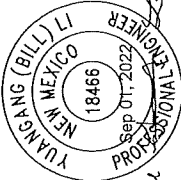
[illegible]

Drawing has been digitally signed.

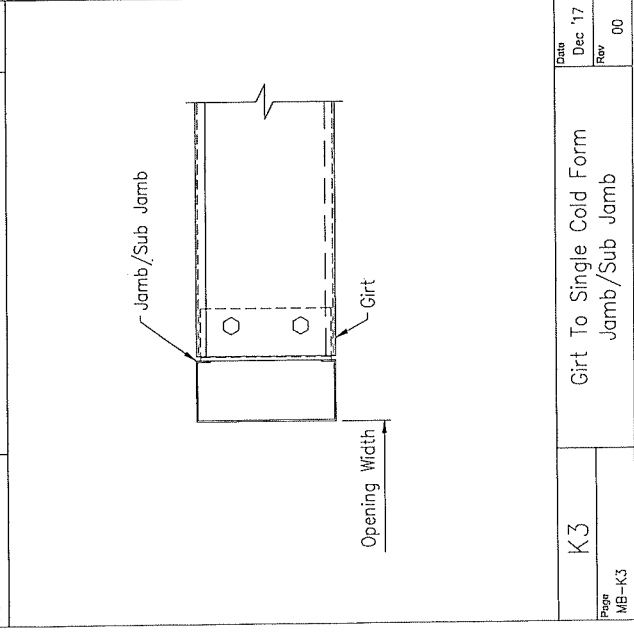
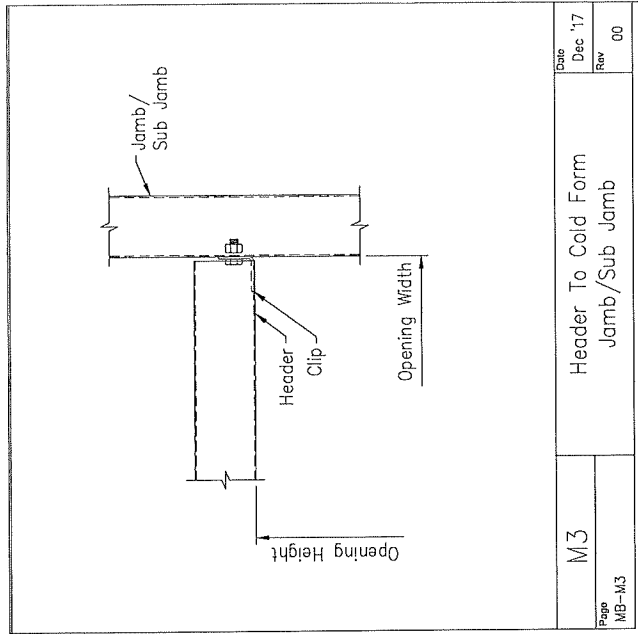
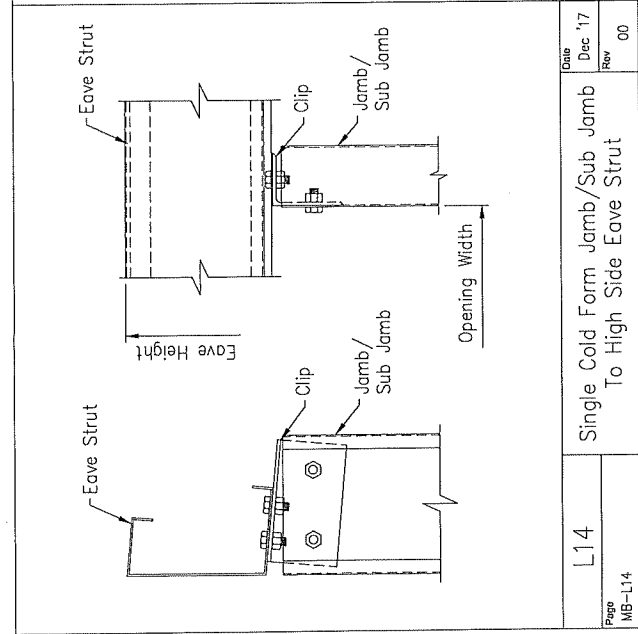
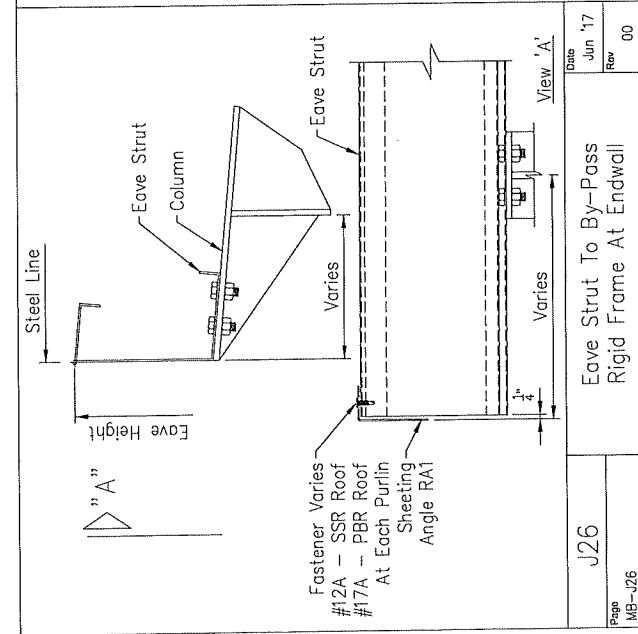


40602 HIGHWAY 290
WALLER, TX 77484

PROJECT:	JORDAN CARVALHO
CUSTOMER:	JORDAN CARVALHO
OWNER: CHRISTOPHER PETERSON	



Bill



ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	8/24/22	FOR ERECTOR INSTALLATION	MB	SN	FG

PROJECT	CUSTOMER	LOCATION	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
JORDAN CARVALHO	LAS CRUCES AM BROS	CAD	8/24/22	N.T.S.	1	A	19-B-13752	DET6	0

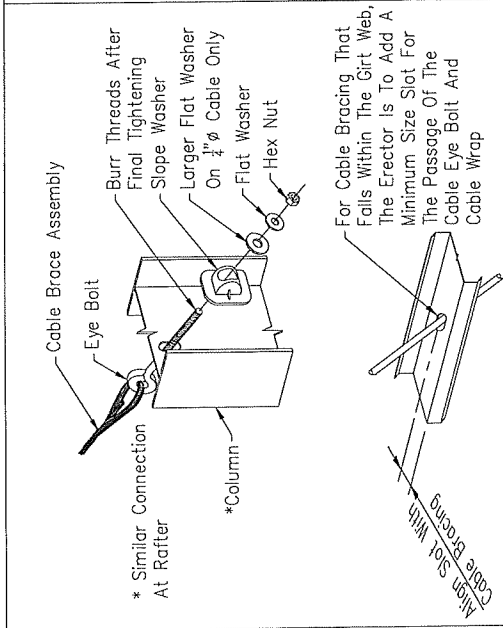
40602 HIGHWAY 290
WALLER, TX 77484

OWNER: CHRISTOPHER PETERSON

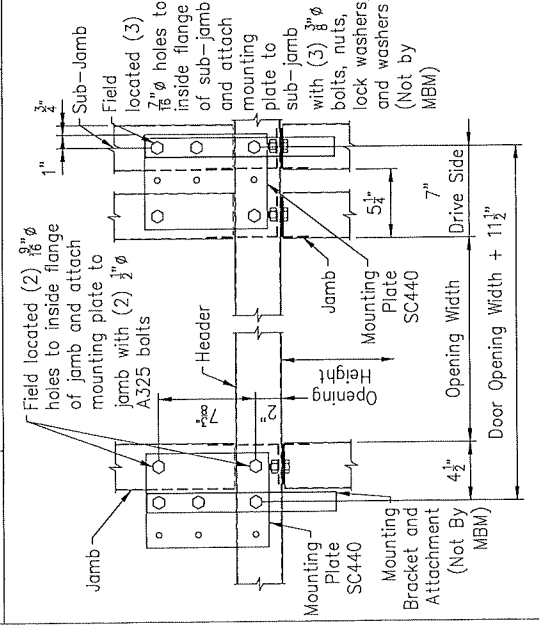
Drawing has been digitally signed.

YUANG (BILL) LI
NEW MEXICO
18466
Sep 01, 2022
PROFESSIONAL ENGINEER

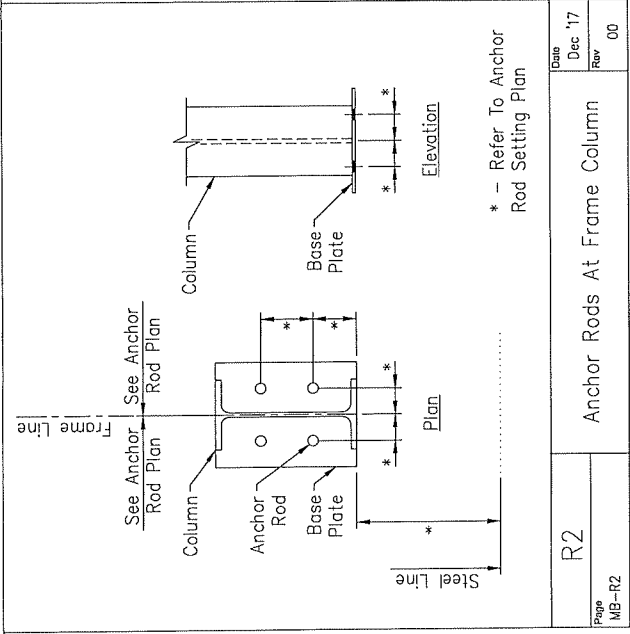
Bill



Page	Date	Rev
MB-02	Mar '18	01



Page	Date	Rev
MB-X1	Apr '22	00



Page	Date	Rev
MB-R2	Dec '17	00

Page	Date	Rev
TH06006	May '19	01

Screw Application		
Description	Fastener Number	Application
1/4"-14 x 7/8" Type 2	4A	Stitch & Trim Screw
12-14 x 1 1/4" Type 2	17A	Member Screw (Up To 4" Insulation)
12-14 x 1 1/2" Type 2	17B	Member Screw (Up To 6" Insulation)

Standard Grade

Description	Fastener Number	Application
1/4"-14 x 7/8" Type 1	4	Stitch & Trim Screw
12-14 x 1 1/4" Type 2	3	Member Screw (Up To 4" Insulation)
12-14 x 1 1/2" Type 2	3A	Member Screw (Up To 6" Insulation)

Long Life

40802 HIGHWAY 280
WALLER, TX 77484

PROJECT: JORDAN CARVALHO
CUSTOMER: JORDAN CARVALHO
LOCATION: LAS CRUCES, NM 88005

OWNER: CHRISTOPHER PETERSON

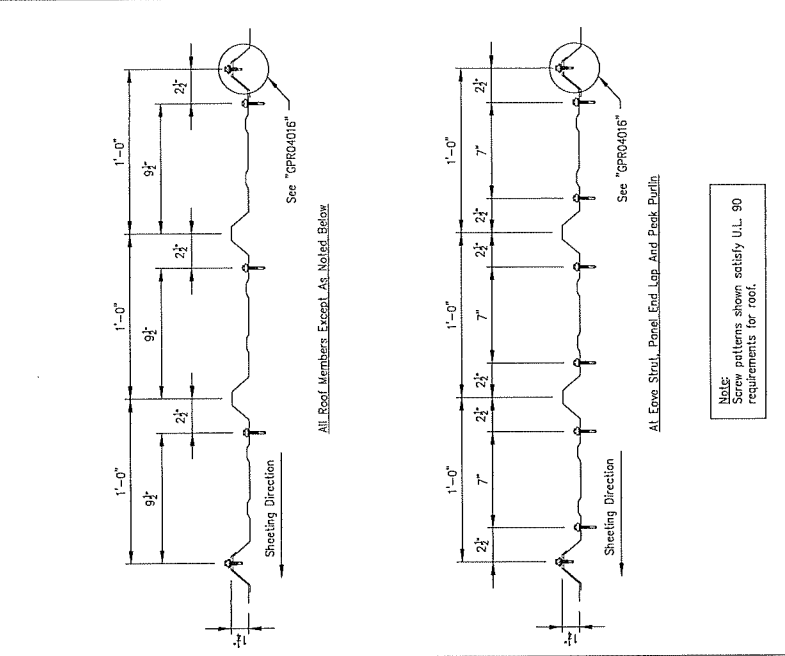
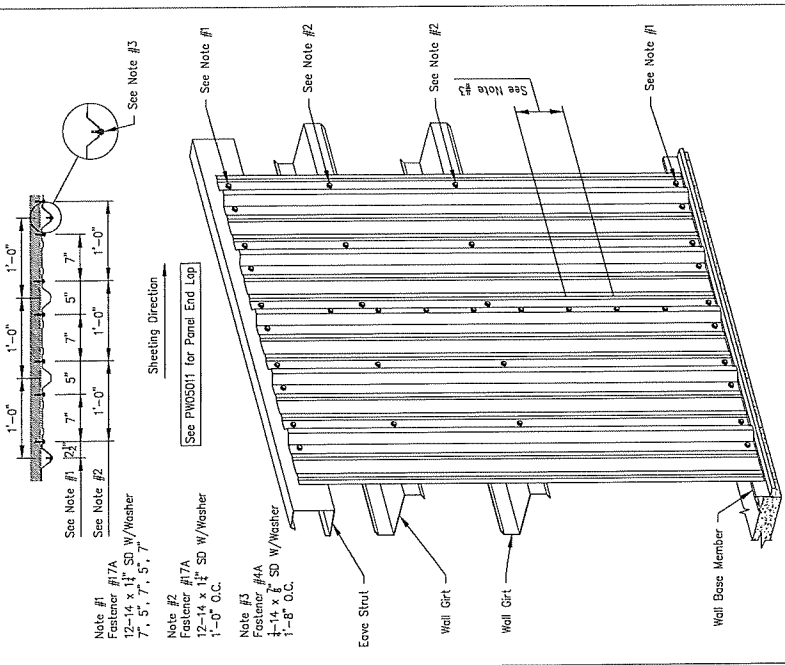
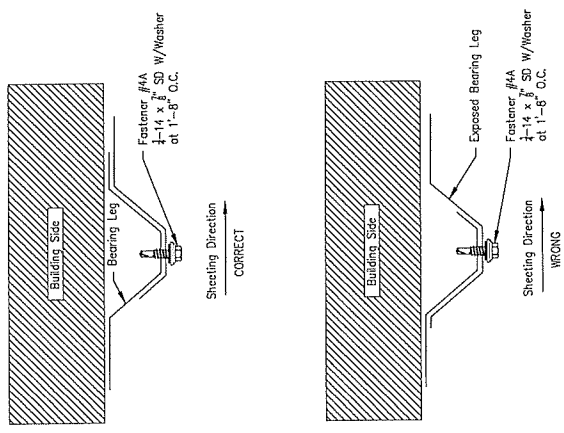
ISSUE 0 DATE 8/24/22 SCALE N.T.S. SHEET NUMBER 19-B-13752 JOB NUMBER A DEF7 0

YUANKANG (BILL) LI
NEW MEXICO
18466
Sep 01, 2022
PROFESSIONAL ENGINEER

Bill

Drawing has been digitally signed.

Page	Date	Rev
MB-X1	Apr '22	00



ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	8/24/22	FOR DIRECTOR INSTALLATION	MOB	SN	FC

PROJECT: JORDAN CARVALHO		OWNER: CHRISTOPHER PETERSON	
CUSTOMER: JORDAN CARVALHO		JOB NUMBER: 19-B-13752	
LOCATION: LAS CRUCES, NM 88005		SHEET NUMBER: DET8	
CAD: 8/24/22		SCALE: N.T.S.	
DATE: 8/24/22		PHASE: 1	
BUILDING ID: A		ISSUE: 0	

40602 HIGHWAY 290
WALLER, TX 77484

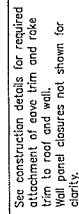
METAL DEPOTS

YUANGANG (BILL) LI
NEW MEXICO
18466
Sep 01, 2022
PROFESSIONAL ENGINEER

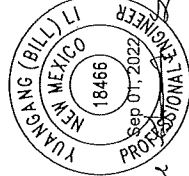
Drawing has been digitally signed.

Note: Screw patterns shown satisfy U.L. 90 requirements for roof.

Page	TPR04007
Date	Jul '20
Rev	00



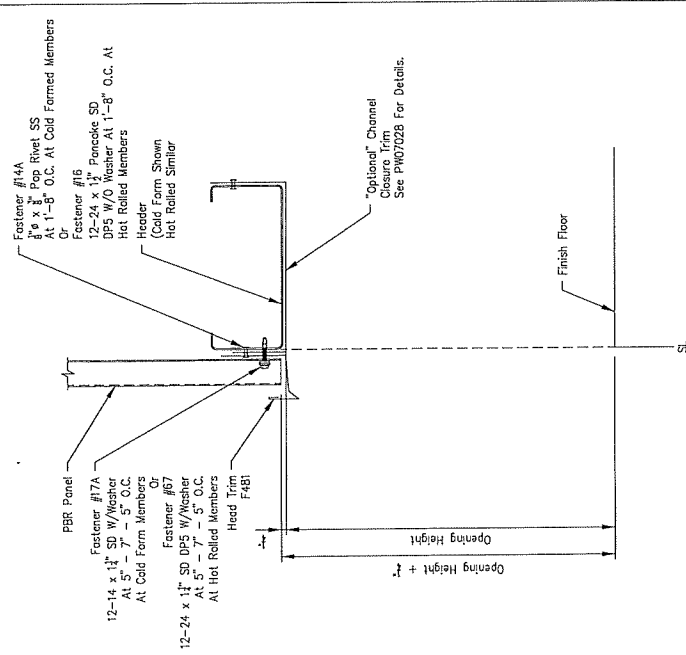
SHEET NUMBER	ISSUE
DET12	0



Bill

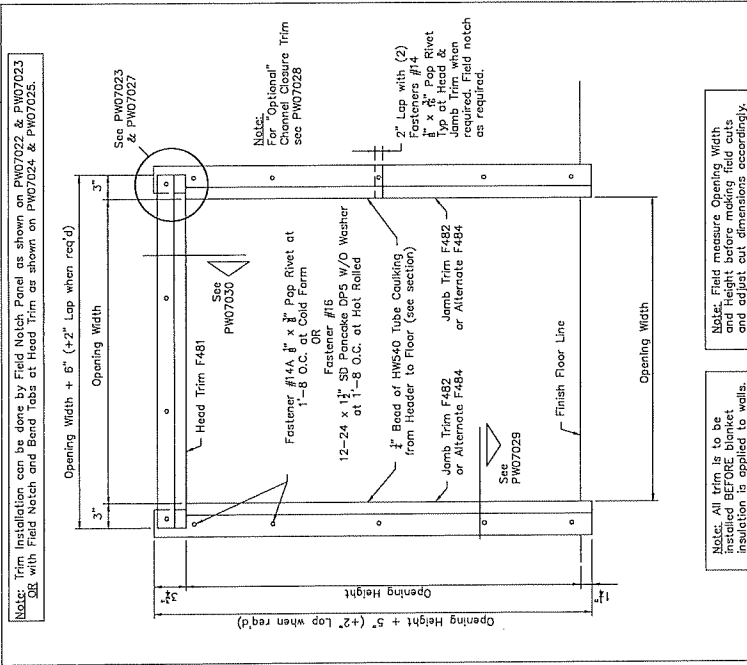
PBR Wall Panel - Three Sided Framed Opening
Head Trim Installation

Page
PW07030
Date
Oct '19
Rev
03



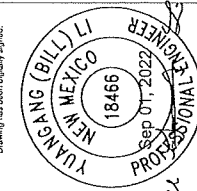
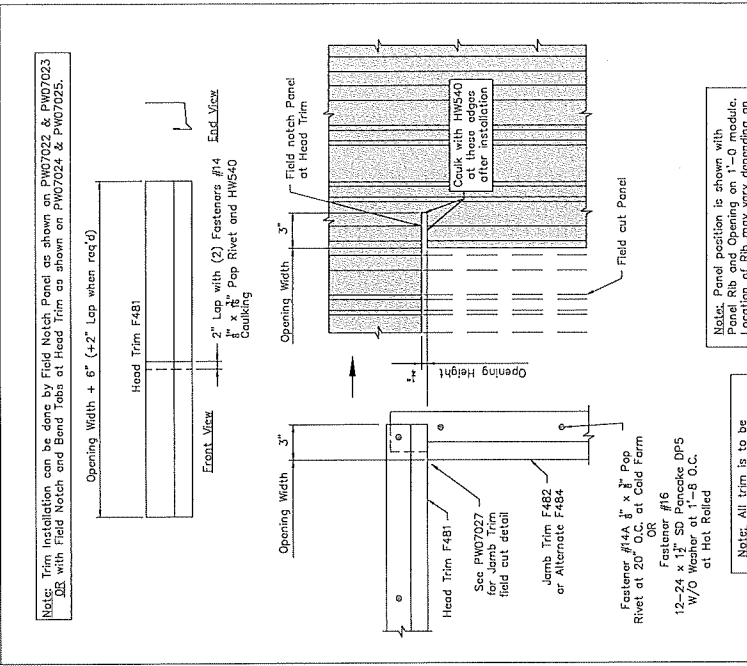
PBR Wall Panel - Three Sided Framed Opening - Trim Installation with Field
Notch Panel at Head Trim

Page
PW07022
Date
Mar '20
Rev
05



PBR Wall Panel - Three Sided Framed Opening
Field Notch Panel at Head Trim

Page
PW07023
Date
Mar '20
Rev
05

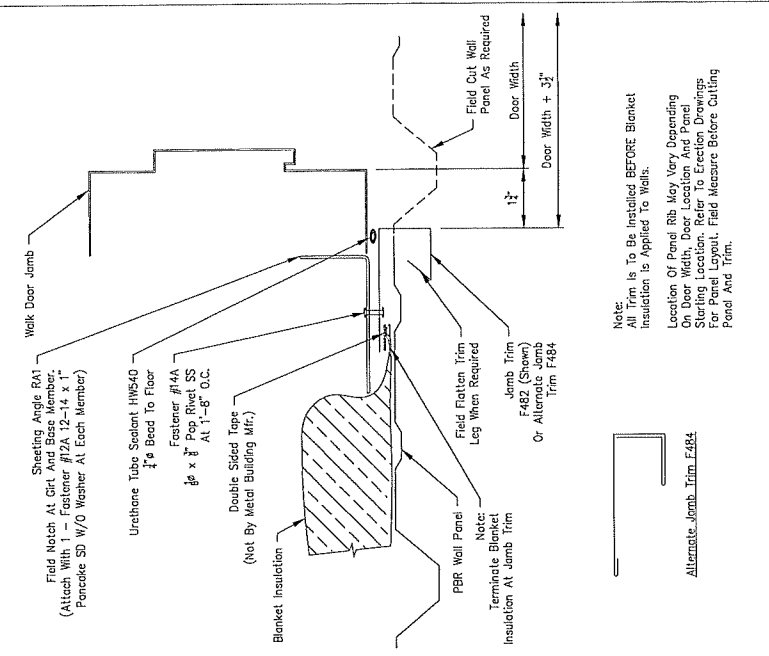
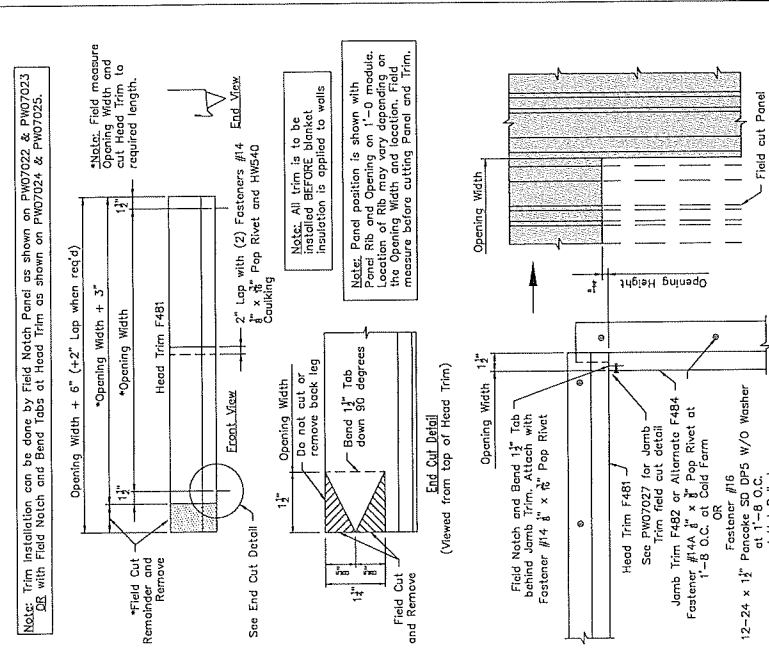
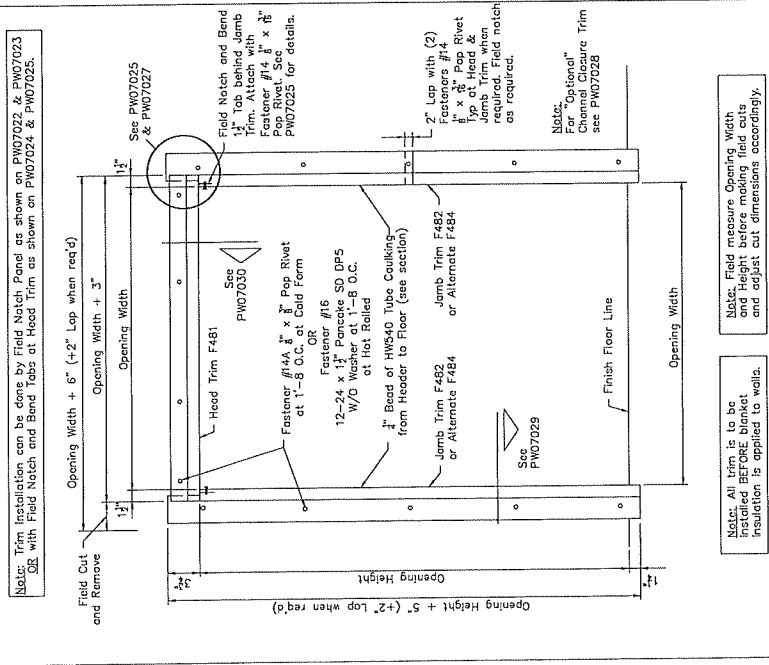


ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	8/24/22	FOR ERECTOR INSTALLATION	MD8	SN	FG
PROJECT: JORDAN CARVALHO					
CUSTOMER: JAS CRUCESMAN BR005					
LOCATION: OJO					
DATE: 8/24/22					
SCALE: N.T.S.					
PHASE: 1					
BUILDING ID: A					
JOB NUMBER: 19-B-13752					
SHEET NUMBER: DET14					
ISSUE: 0					

40602 HIGHWAY 290
WALLER, TX 77484



OWNER: CHRISTOPHER PETERSON



40602 HIGHWAY 290
WALLER, TX 77484

PROJECT: JORDAN CERVILLO
CUSTOMER: JORDAN CERVILLO
LOCATION: LAS CRUCES/MI 88005

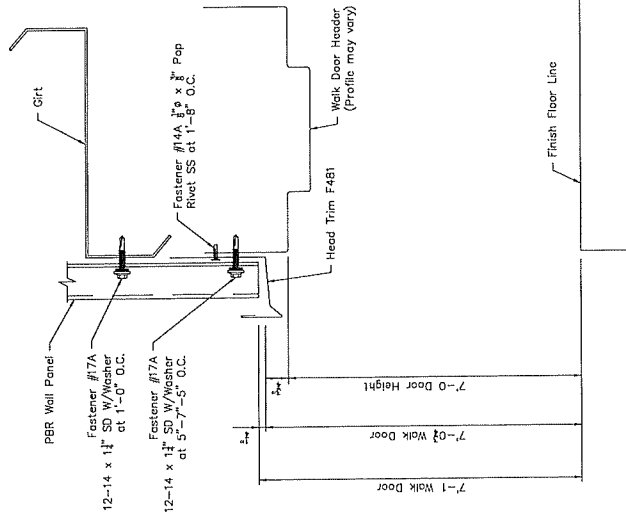
OWNER: CHRISTOPHER PETERSON

DATE: 8/24/22
SCALE: N.T.S.
PHASE: 1
BUILDING ID: A
JOB NUMBER: 19-B-13752
SHEET NUMBER: DET15
ISSUE: 0

YUANKANG (BILL) LI
NEW MEXICO
18466
Sep 01, 2022
PROFESSIONAL ENGINEER

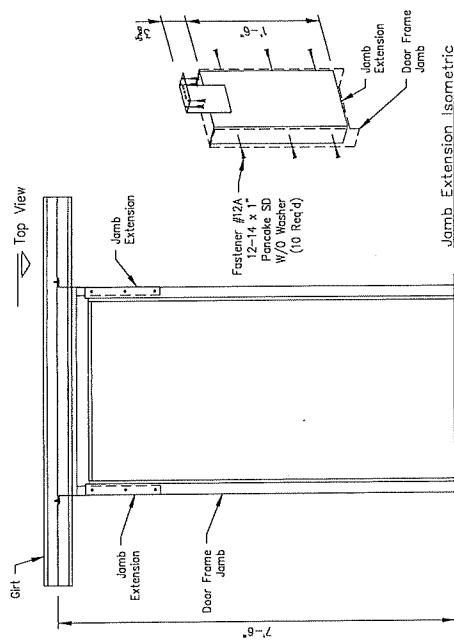
Bill

PBR Wall Panel - Knock Down Walk Door - Head Trim Installation



Note: All trim is to be installed with insulation applied to walls.

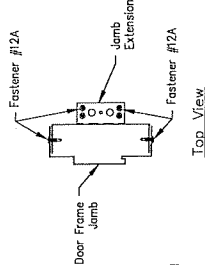
Knock Down Walk Door Jamb Extensions



Door Frame Elevation
Door Width 3'-0", 4'-0", 6'-0"

Piece Mark	Description	Color	Weight Each
HWS502	Jamb Extension WR 8 1/2"	Unpainted	3#
HWS976	Jamb Extension WR 10 1/2"	Unpainted	3#
HWS877	Jamb Extension WR 12 1/2"	Unpainted	3#

Jamb Extensions are A Vendor Fabricated Item And Are Required For All Knock Down Doors. (2) Are Required For Each Door And Are Listed On The Bill Of Materials.
For Girt Elevations Above 7'-6" Refer To AC05132 For Jamb Extension Requirements.



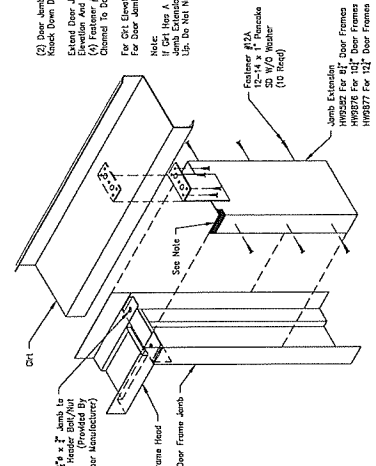
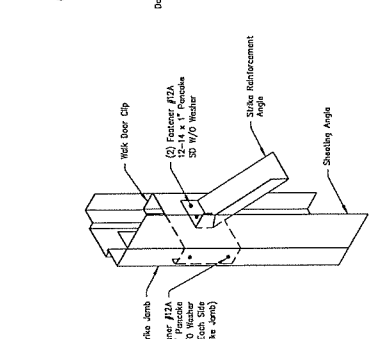
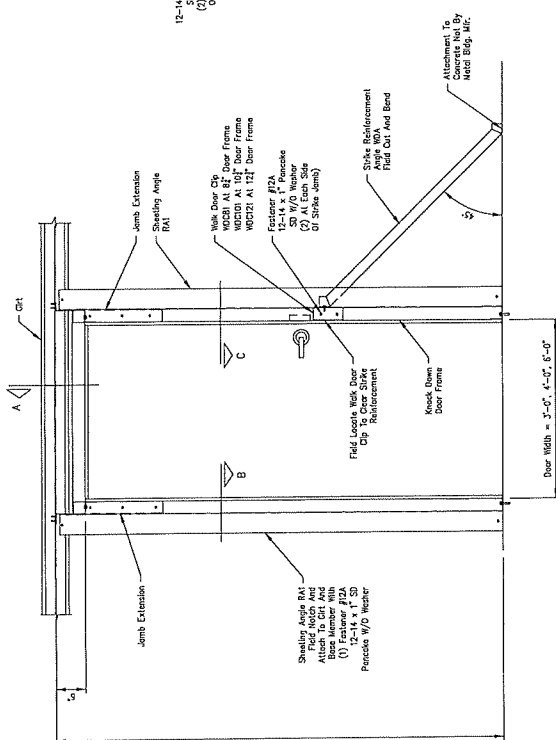
ISSUE	DATE	DESCRIPTION	BY	CHK'D	DESIGN
0	8/24/22	FOR ERECTOR INSTALLATION	MOB	SN	FS

METAL DEPOTS
40602 HIGHWAY 290
WALLER, TX 77484

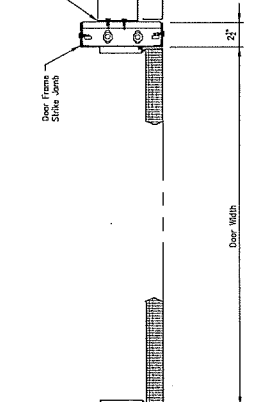
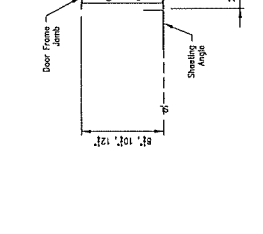
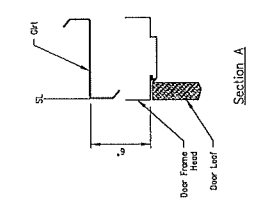
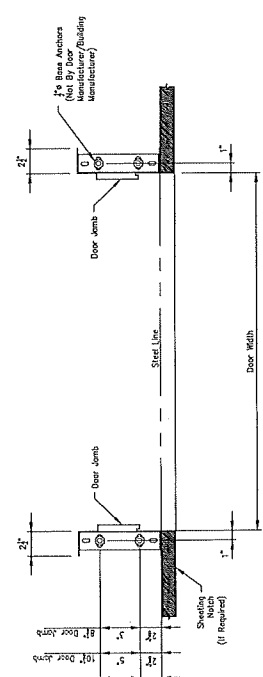
PROJECT: JORDAN CARVALHO
CUSTOMER: JORDAN CARVALHO
LOCATION: LAS CRUCES, NM 88005
OWNER: CHRISTOPHER PETERSON

CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
	8/24/22	N.T.S.	1	A	19-B-13752	DET16	0

YUANCANG (BILL) LI
NEW MEXICO
18466
Sep 01, 2022
PROFESSIONAL ENGINEER
Bill



- (2) Door Jamb Extensions Are Required For All Knock Down Doors.
- Extend Door Jamb Extension To The 7'-0" Girt Elevation And Attach To The Web Of The Girt With Fastener #12A. Attach To Jamb Extension Channel At Door Jamb Web (5) Fastener #12A.
- Extend Jamb Extension 2'-0" Below To A050132 For Door Jamb Extension Requirement.
- Note: If Girt Has A 3" Flange, Field Nitch Jamb Extension Should Be Over Girt Up. Do Not Nitch Girt Up.



The Manufacturer Of The 7'-6" Beam Anchor Is Not The Responsibility Of The Building Manufacturer. The Acceptance Of These Beam Anchors Should Be Determined By A Qualified Foundation Engineer. Verify Door Jamb Base Clip Dimensions With Patterns Shown Prior To Placement Of Door Anchors And Adjust Patterns If Needed.

Note: 12" Frames May Not Have New Kerf Frame Features Depending On Door Manufacturer.

Knock Down Door Anchor Placement

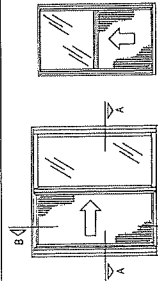
ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	8/24/22	FOR ERECTOR INSTALLATION	MOB	SN	FC

PROJECT: JORDAN CARVALHO		OWNER: CHRISTOPHER PETERSON
CUSTOMER: LAS CRUCES, NM 88005	LOCATION: 40602 HIGHWAY 290 WALLER, TX 77484	
DATE: 8/24/22	SCALE: N.T.S.	PHASE: 1
JOB NUMBER: 19-B-13752	BUILDING ID: A	SHEET NUMBER: DET17
ISSUE: 0		

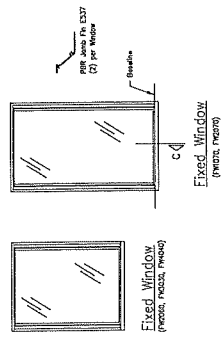
YUANG (BILL) LI
NEW MEXICO
18466
Sep 01, 2022
PROFESSIONAL ENGINEER

Bill

Crawing has been digitally signed.



Horizontal Slide Window Single Hung Window



Installation Notes:

Window jamb fins and window jamb stiffeners are designed for installation at major panel ribs only. Typically windows are located between the 7'-6" girt and the baseline of the applicable wall.

Windows are typically packaged with two PBR Jamb Fins E537 that are not installed on the window unit. Prior to window installation, install the window jamb fins into the extruded groove on each side of the window unit. The window jamb fins are designed to fit snugly against the jamb in the groove and lock at the bottom of the window head and at the top of the window sill.

The window unit is designed to be installed from the outside of the building as the wall is constructed. The window unit is designed to be installed from the outside of the building as the wall is constructed. The window unit is designed to be installed from the outside of the building as the wall is constructed.

Install Jamb Stiffener #164 to girt and base member with Fastener #17A. See Jamb Stiffener/Window Isometric for location.

Locate and mark window opening from the outside of the building. See Panel Cutout table for correct width and height. Make sure the panel cutout height elevation is correct and panel is out square.

Urethane Tube Sealant #H640 is required between the wall panel rib and the backside of the window jamb fins. Apply Urethane Tube Sealant #H640 prior to window being installed. See Section A and Jamb Stiffener/Window Isometric for location of the sealant. After the window is installed, apply Urethane Tube Sealant #H640 to the back of the window unit. The sealant is applied to the back of the window unit and is applied to the back of the window unit. The sealant is applied to the back of the window unit and is applied to the back of the window unit.

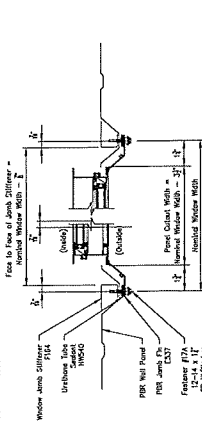
Apply Urethane Tube Sealant #H640 to both sides of the inside panel cleavage and insert the window unit into the opening. The window unit is inserted into the opening and the window unit is inserted into the opening. The window unit is inserted into the opening and the window unit is inserted into the opening.

Attach window head and sill to wall panels with Fastener #17A at 12" x 24" on center. The window head and sill are attached to the wall panels with Fastener #17A at 12" x 24" on center. The window head and sill are attached to the wall panels with Fastener #17A at 12" x 24" on center. The window head and sill are attached to the wall panels with Fastener #17A at 12" x 24" on center.

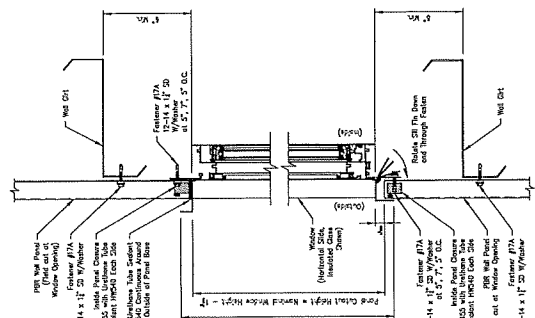
Apply Urethane Tube Sealant #H640 along both sides between the window jamb and the wall panel to close any gaps. From the outside apply a continuous bead around the outside of the panel profile base. See Section B.

Panel Cutout		Panel Cutout	
Window ID	Window Width (Panel Height)	Window ID	Window Width (Panel Height)
HS000	2'-0"	FW000	2'-0"
HS001	2'-0"	FW001	2'-0"
HS002	2'-0"	FW002	2'-0"
HS003	2'-0"	FW003	2'-0"
HS004	2'-0"	FW004	2'-0"
HS005	2'-0"	FW005	2'-0"
HS006	2'-0"	FW006	2'-0"
HS007	2'-0"	FW007	2'-0"
HS008	2'-0"	FW008	2'-0"
HS009	2'-0"	FW009	2'-0"
HS010	2'-0"	FW010	2'-0"

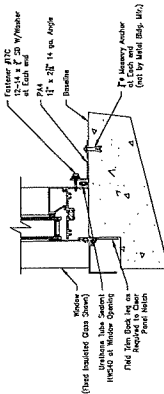
Section and Details shown are for reference only. Actual dimensions and details may vary. Fixed Window Installation is Similar.



Section A - Jamb PBR Panel



Section B - Head/Sill



Section C - Sill at Baseline

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	8/24/22	FOR ENCLAVOR INSTALLATION	MOB	SN	FS



40602 HIGHWAY 290
WALLER, TX 77484

OWNER: CHRISTOPHER PETERSON
JOB NUMBER: 19-B-13752
BUILDING ID: A
PHASE: 1
SCALE: N.T.S.
DATE: 8/24/22

PROJECT: JORDAN CARVALHO
CUSTOMER: LAS CRUCES AMI BR005
JOB NUMBER: 19-B-13752
BUILDING ID: A
PHASE: 1
SCALE: N.T.S.
DATE: 8/24/22

PROJECT: JORDAN CARVALHO
CUSTOMER: LAS CRUCES AMI BR005
JOB NUMBER: 19-B-13752
BUILDING ID: A
PHASE: 1
SCALE: N.T.S.
DATE: 8/24/22

PROJECT: JORDAN CARVALHO
CUSTOMER: LAS CRUCES AMI BR005
JOB NUMBER: 19-B-13752
BUILDING ID: A
PHASE: 1
SCALE: N.T.S.
DATE: 8/24/22

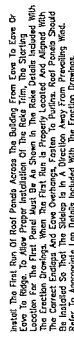
Drawing has been digitally signed.



Professional Engineer

For PBR Roofs With Ridge Ponds, It Is Recommended That Both Sides Of The Ridge Be Sheathed Simultaneously. This Will Keep The Insulation Covered For The Maximum Amount Of Time And The Pond Ribs Can Be Kept In Proper Alignment For The Ridge Pond. This Is Critical On The PBR Panels So That The Ridge Caps Can Be Properly Installed. Check For Proper Coverage As The Sheeting Progresses.

For PBR Roofs With Ridge Ponds, It Is Recommended That Both Sides Of The Ridge Be Sheathed Simultaneously. This Will Keep The Insulation Covered For The Maximum Amount Of Time And The Pond Ribs Can Be Kept In Proper Alignment For The Ridge Pond. This Is Critical On The PBR Panels So That The Ridge Caps Can Be Properly Installed. Check For Proper Coverage As The Sheeting Progresses.



Install The First Run Of Roof Ponds Across The Building From Eave To Eave Or Eave To Ridge. To Allow Proper Installation Of The Ridge Trim, The Starting Location For The First Panel Must Be As Shown In The Rake Details Included With The Erection Drawings. When The First Run Is Properly Located And Aligned With The Correct Endgaps And Eave Overhangs, Fasten To Purlins. Roof Ponds Should Be Installed So That The Sloping Is In A Direction Away From Prevailing Wind. Refer To Appropriate Rake Details Included With The Erection Drawings.

Install Remeshing Roof Insulation And Panels. To Avoid Accumulative Error Due To Panel Coverage Coin Or Loss, Property Align Each Panel Before It Is Fastened. Occasional Checks Should Be Made To Ensure That Correct Panel Coverage Is Maintained. Special Attention Should Be Given To Fastener, Sealant and Closure Requirements. Refer To Details Included With The Erection Drawings.

At Finishing End Of Roof, The Last panels May Require Field Modification For Installation Of Rake Trim. Refer To Rake Details Included With The Erection Drawings. DO NOT BACK LAP THROUGH FASTENED ROOF PANELS.

IMPORTANT: Loose Fasteners, Blind Rivets, Drill shavings, Etc., Must Be Removed From The Roof To Guard Against Corrosion.

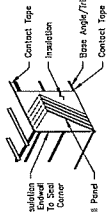
Proper Horizontal And Vertical Alignment Of Supporting Structure (Girts Or Other Framing) Is The Responsibility Of The Installer. Failure To Align The Secondary Members Properly Prior To Wall Installation Can Have A Direct Impact On The Final Appearance And Performance Of The Installed Wall System For Which The Manufacturer Is Not Responsible.

Proper Horizontal And Vertical Alignment Of Supporting Structure (Girts Or Other Framing) Is The Responsibility Of The Installer. Failure To Align The Secondary Members Properly Prior To Wall Installation Can Have A Direct Impact On The Final Appearance And Performance Of The Installed Wall System For Which The Manufacturer Is Not Responsible.

Before installing wall panels, the CRTs must be aligned to a level position so that there is no visible sag. This should be done directly ahead of panel installation.

Vertically Against The Outside Girt Flanges At Approximately Mid-bay Location. When Girts Are Level, Attach The Girt Flanges To The Angle With Vise Grip Pliers Or Temporary Screws. Wood Blocking Cut To Fit The Spaces May Also Be Used For Alignment.

Notes:
Temporary Grit Blocking Is Not Recommended On Concaved Fastener Panels. The Removal Of The Blocks After Panel Installation Can Cause Oil Curing.



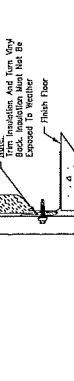
A 3D perspective diagram of a corner seal assembly. It shows a rectangular block with a beveled top surface. Labels with leader lines point to various components: 'Contact Tape' at the top edge, 'Insulation' on the side face, 'Base Angle/Trip' at the bottom edge, 'Contact Tape' at the bottom edge, 'Insulation Endwall To Seal Corner' on the side face, and 'Pond' at the bottom edge.

If Wells Are To Be Insulated With Blanket Insulation Over Girt Flanges, Base And Eave, Place A Continuous Run Of Contact Tape Along The Eave Strut And Base Member.

Note: At The Base, Cut Off The Insulation A Minimum Of 5" Above The Bottom Of The Well Panel, This Will Prevent The Insulation From Hanging Below The Wall Pond And Wicking Moisture.

Note:
Additional Insulation
May Be Required To Fill
The Eave Sirt And
Prevent Condensation
In Certain Climate Regions

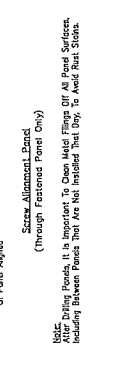
Note:
Additional Insulation
May Be Required To Fill
The Eave Sirt And
Prevent Condensation
In Certain Climate Regions



Base Detail
(See Erection Drawings)

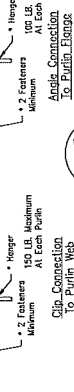
Note: Sidelap Ponds Should Be Installed So That The Panel Sidelap Is In A Direction Away From The Prevailing Wind. Refer To Appropriate Lap Detail Included With Erection Drawings.)

Check Periodically To Ensure That All Pexis Are Aligned And Plumb.



Screw Alignment Panel
(Through Fastened Panel Only)

Purils
• 2 Fasteners
Minimum



• 2 Fasteners Minimum
• Hanger
150 LB. Maximum At Each Purth

• 2 Fasteners Minimum
• Hanger
100 LB. At Each

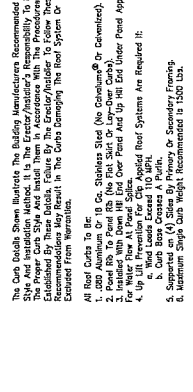
Clip Connection To Purlin Web

Angle Connection To Purlin Flange

Do Not Invert Patch
Cuts all way thru on
the flange of the
Patch

Denotes Material Not Provided By Metal Building Manufacturer.

Roof Curbs When Not Supplied By Building Manufacturer

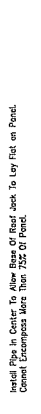


General Installation Notes:

- ? Do Not Use Galvanized Roof Jacks, Lead Hats, Or Other Residential Grade Roof Jacks. These Roof Jacks Do Not Have 20 Year Service Life And In Cases Of Lead Hats Will Cause Cathodic Corrosion Of The Roof Panel.
- ? Use EPDM Rubber Roof Jacks With An Integral Aluminum Band Bonded Into The Backing Of The Base. EPDM Roof Jacks Have A Temperature Range From -65°F To

General Installation Notes:

- ? Do Not Use Galvanized Roof Jacks, Lead Hats, Or Other Residential Grade Roof Jacks. These Roof Jacks Do Not Have 20 Year Service Life And In Cases Of Lead Hats Will Cause Cathodic Corrosion Of The Roof Panel.
- ? Use EPDM Rubber Roof Jacks With An Integral Aluminum Band Bonded Into The Backing Of The Base. EPDM Roof Jacks Have A Temperature Range From -65°F To

[illegible]

**Install Pipe In Center To Allow Base Of Roof Jack To Lay Flat on Panel.
Cannot Encompass More Than 75% Of Panel.**



One Run Tri-Bond Tape Sealer
1" x 1/8" HTMS04



Roll Roof Jack Up Over HWS04.
Install Stainless Steel Clamp And
Tighten Around Roof Jack.

BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case # 061461 – 2190 Avenida de Mesilla submitted by Emily Cano to replace three windows. **Zoned: Historical Commercial (HC)**

BACKGROUND AND ANALYSIS:

The applicants are proposing to replace three windows; 26 $\frac{3}{4}$ x 53 $\frac{3}{4}$; 31 $\frac{3}{4}$ x 57 $\frac{3}{4}$; 50 $\frac{3}{4}$ x 32 $\frac{3}{4}$. This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 18.33

SUPPORTING INFORMATION:

- Application
- Site Plan
- Price quote
- Window specifications

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 06/461

Fee \$ 77.00

Fee \$66.00
Renewal \$11.00

**PERMISSION TO CONDUCT WORK
OR**

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 06/461 ZONE: HC CODE: MISC APPLICATION DATE: _____

Emilie L. Cano 575-621-0105
Name of Property Owner Property Owner's Telephone Number

2206 Ave. de Mesilla Mesilla NM 88005
Property Owner's Mailing Address City State Zip Code

raymila.cano@gmail.com
Property Owner's E-mail Address

Les Reid
Contractor's Name & Address (If none, indicate Self)

575-644-3163 Contractor's Telephone Number
Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2190 Ave. de Mesilla, Mesilla, NM, "Cafe de Mesilla"
88046

Description of Proposed Work: Replace 3 windows
26 3/4 x 53 3/4", 31 3/4 x 57 3/4", 50 3/4 x 32 3/4, see attached

\$1349.88 E.L. Cano 9-12-2022
Estimated Cost Signature of Applicant Date

Signature of property owner: E.L. Cano

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval BOT ☐ Approved Date: _____
☐ Approved Date: _____ ☐ Disapproved Date: _____
☐ Disapproved Date: _____ ☐ Approved with Conditions
☐ Approved with conditions

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO BOT APPROVAL REQUIRED: ☒ YES ☐ NO

CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS

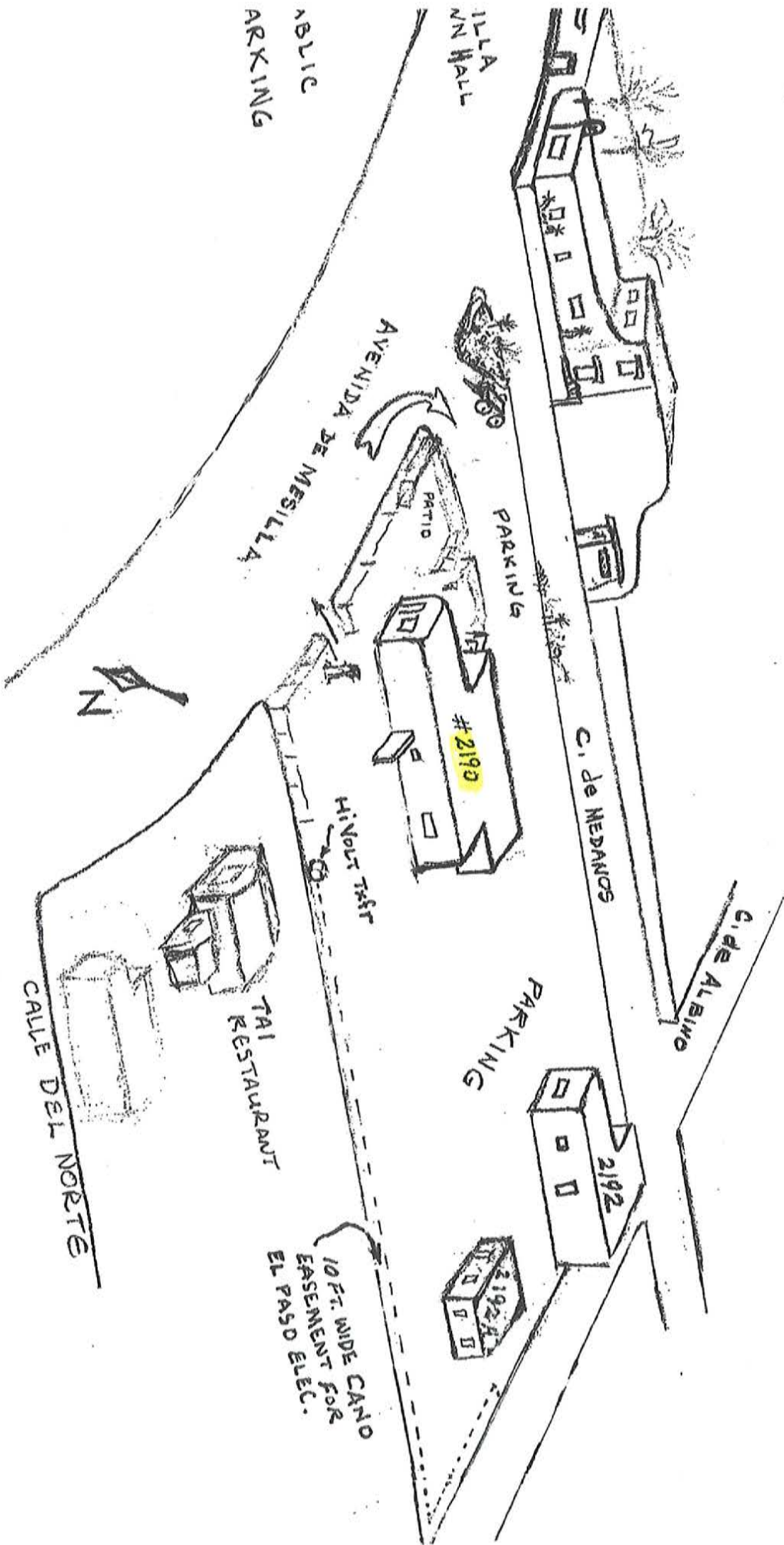
CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☒ Site Plan with dimensions and details.
3. _____ Foundation plan with details.
4. _____ Floor plan showing rooms, their uses and dimensions.
5. _____ Cross section of walls
6. _____ Roof and floor framing plan
8. _____ Proof of legal access to the property.
9. _____ Drainage plan.
10. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. _____ Proof of legal access to the property.
13. ☒ Other information as necessary or required by the City Code or Community Development Department (See other side.)

PROJECT LOCATION SKETCH (NOT TO SCALE)
R.L. CANO



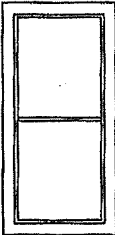
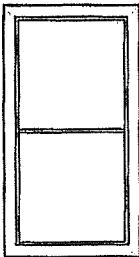
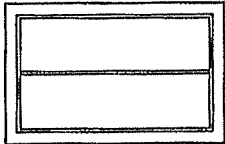


Quote Information - Quote 13348490 - Buyer

Company Name: MCCOYS BUILDING SUPPLY Sales Order:
 Purchase Order: Contractor: LES REID
 Job Name:

Account: MB0042 Account Name: LAS CRUCES NM
 Entered By: bleopold Status: Quote
 Created On: September 01, 2022

All prices subject to charge without notice

Line	Qty.	Description	Size	Customers	
			(W x H)	Unit	Ext.
1	1	Repl Series 8300 Double Hung - White Interior/Chocolate Brown Exterior - Clear - Standard Low-E - E Full Screen - Standard Mesh - 1 Lock (White) - Night Latch (Opening Size: 27 W x 54 H) - Glass Breakage Warranty - DP35: Size Tested 36" x 74" - U Factor: 0.34, SHGC: 0.29 	26 3/4" x 53 3/4" ES	449.96	449.96
2	1	Repl Series 8300 Double Hung - White Interior/Chocolate Brown Exterior - Clear - Standard Low-E - E Full Screen - Standard Mesh - 2 Locks (White) - Night Latch (Opening Size: 32 W x 58 H) - Glass Breakage Warranty - DP35: Size Tested 36" x 74" - U Factor: 0.34, SHGC: 0.29 	31 3/4" x 57 3/4" ES	449.96	449.96
3	1	Repl Series 8300 Double Hung - White Interior/Chocolate Brown Exterior - Clear - Standard Low-E - E Full Screen - Standard Mesh - 2 Locks (White) - Night Latch (Opening Size: 51 W x 33 H) - Glass Breakage Warranty - U Factor: 0.34, SHGC: 0.29 	50 3/4" x 32 3/4" ES	449.96	449.96
Sub Totals				1349.88	
Totals	3			1349.88	



Quote Information - Quote 13348490 - Buyer

Company Name: MCCOYS BUILDING SUPPLY

Sales Order:

Purchase Order:

Contractor: LES REID

Job Name:

Account: MB0042

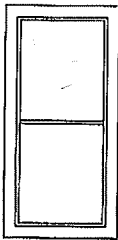
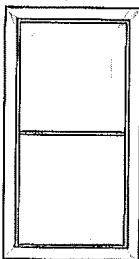
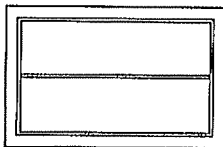
Account Name: LAS CRUCES NM

Entered By: bleopold

Status: Quote

Created On: September 01, 2022

All prices subject to change without notice

Line	Qty.	Description	Size	Customers	
			(W x H)	Unit	Ext.
1	1	Repl Series 8300 Double Hung - White Interior/Chocolate Brown Exterior - Clear - Standard Low-E - E Full Screen - Standard Mesh - 1 Lock (White) - Night Latch (Opening Size: 27 W x 54 H) - Glass Breakage Warranty - DP35: Size Tested 36" x 74" - U Factor: 0.34, SHGC: 0.29 	26 3/4" x 53 3/4" ES	449.96	449.96
2	1	Repl Series 8300 Double Hung - White Interior/Chocolate Brown Exterior - Clear - Standard Low-E - E Full Screen - Standard Mesh - 2 Locks (White) - Night Latch (Opening Size: 32 W x 58 H) - Glass Breakage Warranty - DP35: Size Tested 36" x 74" - U Factor: 0.34, SHGC: 0.29 	31 3/4" x 57 3/4" ES	449.96	449.96
3	1	Repl Series 8300 Double Hung - White Interior/Chocolate Brown Exterior - Clear - Standard Low-E - E Full Screen - Standard Mesh - 2 Locks (White) - Night Latch (Opening Size: 51 W x 33 H) - Glass Breakage Warranty - U Factor: 0.34, SHGC: 0.29 	50 3/4" x 32 3/4" ES	449.96	449.96
Sub Totals				1349.88	
Totals	3			1349.88	



SERIES 8300 DOUBLE HUNG WINDOWS ENDURING QUALITY

With meticulous craftsmanship and advanced features, it's not hard to see why Atrium Series 8300 double hung windows are one of our most popular options.

- + Sashes tilt in for easy cleaning
- + Reinforced multi-cavity construction offers additional thermal protection and structural integrity
- + Positive-action cam lock enhances safety (2 locks standard at 27 1/4" or wider)
- + Insulated glass panels with optimum thermal air space featuring a warm-edge spacer system
- + Half screen comes standard*
- + Integrated slim-line lift rail allows you to easily operate sash
- + Sloped sill reduces air infiltration and accommodates easy water run-off
- + Fusion-welded sashes and frame add strength and additional insulation
- + Constant force coil balance permits easy sash movement
- + Dual push-button night latches provide easy, secure ventilation
- + Interlocking sashes help block out drafts
- + Dual-fin weather stripping helps reduce air infiltration
- + Rubber bulb seal helps block air infiltration
- + Jamb depth: 3.25"
- + Transferable limited lifetime warranty



CUSTOM Options

- + Low-E Glass
- + Low-E Glass + Argon Gas
- + Ultra Low-E Glass + Argon Gas
(May be required for Energy Star rating.)
- + Obscure glass
- + Double strength glass
- + Optional 5/8" or 3/4" flat, 5/8" or 1" contoured, 5/8" valance contoured grids, as well as colonial and diamond patterns
- + Aluminum charcoal mesh screen
- + Lifetime glass breakage warranty

+ COLOR OPTIONS*

White

Almond



Scan this QR code to
watch a video about
our Series 8300.



Transferable Lifetime Limited Warranty Replacement Products

SERIES 8050, SERIES 8100, SINGLE HUNG, PICTURE WINDOW, SLIDER; SERIES 8300, DOUBLE HUNG, PICTURE WINDOW, SLIDERS; 600 HOPPER

At Atrium we are proud of the quality and workmanship of our windows and patio doors and want you to be satisfied with them. We are pleased to offer you the following Transferable Limited Lifetime Warranty on our products for materials and workmanship from the date of installation at no additional cost to you!

Of course, as you would expect, our warranty does not cover normal wear and tear, or damages resulting from misuse, abuse, neglect or improper maintenance, and alterations or damages caused by others.

Unit Components



Atrium Windows and Doors warrants to the original single-family homeowner that products manufactured by Atrium will be free of defects in parts (including screens) and workmanship under normal use and service for as long as you own and reside in the home in which the products were installed.

Insulated Glass



The insulated glass portion of the window is warranted not to "fail" for a period of thirty years from the date of purchase. A "failed" unit is one that develops a significant obstruction of vision resulting from a moisture film formation or dust collection between the interior glass surfaces of the unit caused by failure of the hermetic seal. Small marks, scratches and spots which do not exceed company standards or federal government specifications DD-G-451D or ASTM C1036 Standard Specification for Flat Glass, do not make insulated glass units defective.

Insulated Glass Warranty Coverage

Should the glass fail after year 15 as a result of defects described above, then Atrium Windows and Doors will charge you a fixed percentage of the company's selling price for insulated glass at that time, according to the following schedule.

Years	Required Payment Percentage
0-15	0%
16-25	25%
26-30	50%

Transfer of Warranty

This warranty is transferable one time only by the original single family homeowner to a successor owner of the property. If this warranty is transferred, it will remain in effect for 10 years after the date of the transfer or the conclusion of the original warranty, whichever comes first. Atrium must receive written notice of the transfer of title to such property within thirty (30) days after the date of transfer of ownership. Failure to timely furnish such notice and payment to Atrium will result in the immediate termination of the warranty coverage.

Repair Procedure

This warranty is limited to Atrium, at its option, repairing and/or replacing defective parts (color matching not guaranteed) in lieu of repair or replacement. Atrium, in its sole discretion, reserves the right to refund the amount paid by the original single-family homeowner for the window product (excluding installation cost).

Product Changes

Atrium reserves the right to discontinue or change any product it manufactures. If the part or component of the product originally installed is not available and Atrium determines to make replacement, Atrium shall have the right to substitute such part or component designated by Atrium to be of equal quality and price.

Commercial Applications

If Atrium products are installed in non-owner multi-family occupied dwellings or used for commercial purposes such as schools, churches, government owned structures, office buildings, etc., then this warranty will be limited to 10 years.

Limitations

ALL IMPLIED WARRANTIES INCLUDING MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE WILL EXPIRE WITH THE TERM OF THIS LIMITED WARRANTY. ATRIUM EXCLUDES AND WILL NOT PAY FOR INCIDENTAL OR CONSEQUENTIAL DAMAGES AND ITS LIABILITY WILL IN ALL INSTANCES BE LIMITED TO REPAIR OR REPLACEMENT OR REFUND OF ACTUAL PURCHASE PRICE OF THE DEFECTIVE PRODUCT.

Some states do not allow the exclusion or limitation of incidental or consequential damages or limitation of the duration of an implied warranty.

This limited warranty is only applicable in the USA. This limited warranty gives you specific legal rights, and you may also have other rights, which may vary, from state to state.

This limited warranty may not be changed or modified by any representative of the manufacturer or its distributors or dealers.

Condensation, Mold & Mildew

Condensation on the glass surface is a natural result of excess moisture in the house and does not indicate a defective product or faulty installation. Maintaining proper household humidity levels may prevent problems such as mold, mildew and related health risks. In no event shall Atrium be liable for any damages, including special, incidental or consequential damages, resulting from condensation, mold or mildew.

IF YOU BECOME AWARE OF PERSISTENT CONDENSATION ON YOUR WINDOWS, YOU SHOULD TAKE IMMEDIATE REMEDIAL ACTION TO PREVENT WATER, MOLD AND/OR MILDEW DAMAGE TO YOUR PROPERTY AND POTENTIAL HEALTH RISKS.

PLACE APPLICATION IN ENVELOPE AND
MAIL TO:

Atrium Windows and Doors
Attn: Warranty Department
300 Welcome Center Blvd.
Lexington, NC 27295

Vinyl Color

Color change due to normal weathering is excluded from this warranty. Normal weathering is defined as any exposure to ultraviolet (sun) light, weather and atmospheric conditions which will cause any colored or painted surface to fade, darken, chalk or acquire a surface accumulation of dirt or stains. The severity of these conditions depends on air quality, location of your home and other local conditions.

Paint Color

Atrium warrants that, for a period of ten (10) years from the date of purchase, the coating (paint) applied to vinyl (PVC) by Atrium will not crack, pit, peel, blister or suffer non-uniform fading discoloration (non-uniform fading discoloration from unequal exposure of surfaces to the sun and elements is not covered by this warranty).

Damage Related Exclusions

- Improper installation, use or maintenance
- Product failure or damage due to improper installation or modifications including: adjustments or corrections due to improper installation
- Failures due to product modifications or window shading devices (e.g., glass tinting, security systems, improper painting or staining, insulated window coverings, etc.)
- Units improperly assembled and/or improperly mulled by others
- Water infiltration other than as a result of a defect in manufacturing, materials or workmanship
- Glass or metal damage caused by others (e.g., brick wash, sanding or improper washing, chemicals or airborne pollutants such as salt or acid rain). Corrosion resistant hardware is available for installations exposed to salt water or acid rain
- Delivery damage by companies other than Atrium
- Accidents or Acts of God
- Normal wear and tear

General Exclusions

- Tarnish, corrosion or discoloration of hardware finishes
- Caulking is a maintenance responsibility of the homeowner after installation and is not covered under the warranty
- Defects in exterior paint coverage limited to 10 years

Labor Related Exclusions

- Labor is NOT included in any portion of this warranty
- Replacement of sash panels, glass or other components
- Removal and disposal of defective product
- Painting or staining of repaired or replaced product, component, trim or other carpentry work that may be required
- Service trips to provide instruction on product use

Register warranty on-line at www.atrium.com.

Click on Our Story and see warranty registration box at bottom of page.

For further information or to make a claim, please contact the Atrium retailer/dealer who supplied you with the Atrium product. If unavailable or unknown to you, you may contact us at:

Warranty Department

Atrium Windows and Doors

300 Welcome Center Blvd.

Lexington, NC 27295

You may also contact us using the Contact Us section of our web site at www.atrium.com.

All claims must include the following information:

- Description of the product such as the exterior color, unit size or inside visible glass measurements
- A detailed description of the suspected defect and where the product is installed
- Product identification number (PIN), which is a unique eight-digit "warranty I.D." number located in the top portion of each product
- Proof of purchase and date
- Your name, address, and telephone number

Replacement products may be provided to the homeowner at no cost, but there could be labor charges for the removal of defective products and for installation of replacement products, if not removed and installed by the homeowner. The manufacturer has no responsibility, liability or obligation for, nor will it pay, any removal or installation costs for the replacement products.

Replacement products will be delivered to the nearest Atrium location. Delivery to the actual installed location is the responsibility of the homeowner.

When warranty coverage is unclear, Atrium may charge an inspection fee of \$100.00 for any on-site inspections. If the inspector determines the Atrium product has a defect covered by this warranty, the inspection fee will be waived.

This warranty applies to:

**SERIES 8050, SERIES 8100,
SERIES 8300, and 600 HOPPER**



300 Welcome Center Blvd.
Lexington, NC 27295
www.atrium.com

06-2020 supersedes 02-2020

Please Cut or Tear Along Dotted Line

Note: This is not a Warranty Registration.
Please use for a Warranty Transfer only.

Atrium Windows and Doors Warranty Transfer Application

Name of New Owner _____
(Please Print)

Name of Original Owner _____

Address _____ City, State, Zip _____

Date of Installation ____/____/____ Date of Title Transfer ____/____/____

Installed By _____ Sales Order Number _____

BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case #061434 – 2691 Calle de Principal submitted by Joseph Foster to rebuild/replace windows, build parapets and construct pergola, **ZONED: Historical Commercial (HC)**

BACKGROUND AND ANALYSIS:

The applicants are proposing to repair/replace rotting windows and doors, build parapets to mask uneven roof line and to mask roof equipment, construct a pergola and front entrance gate in existing wall. This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 18.33

SUPPORTING INFORMATION:

- Application
- Dwelling pictures
- Survey
- Site Plan and sample work

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 150.00
Review Fee \$ 25.00
Total Fee \$ 175.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061469 ZONE: HC CODE: AC APPLICATION DATE: 9-19-22

Joseph W. Foster

850-502-9237

Name of Property Owner

Property Owner's Telephone Number

2691 Calle Principal, #626, Mesilla, NM 88046

Property Owner's Mailing Address

City

State

Zip Code

foster.joseph.w@gmail.com

Property Owner's E-mail Address

Self

Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number

Contractor's Tax ID Number

Contractor's License Number

Address of Proposed Work: **2691 Calle de Principal, Mesilla, NM 88046**

Description of Proposed Work:

Rebuild/replace rotting windows and doors, build parapets to mask uneven roof line and to mask roof equipment, construction of pergola and a front entrance gate in existing wall.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. ☒ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☒ Site Plan with dimensions and details.
3. ☒ Foundation plan with details.
4. ☒ Floor plan showing rooms, their uses, and dimensions.
5. ☒ Cross section of walls.
6. ☒ Roof and floor framing plan.
7. ☒ Proof of legal access to the property.
8. ☒ Drainage plan.
9. ☒ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☒ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☒ Proof of legal access to the property.
12. ☐ Other information as necessary or required by the Town Code or Community Development Department.

\$10,000

Estimated Cost

Signature of Applicant

12 September 2022

Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval

☒ Approved Date: _____

☐ Disapproved Date: _____

☐ Approved with conditions

BOT ☐ Approved Date: _____

☐ Disapproved Date: _____

☐ Approved with Conditions

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO

BOT APPROVAL REQUIRED: ☒ YES ☐ NO

CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS

CONDITIONS: _____

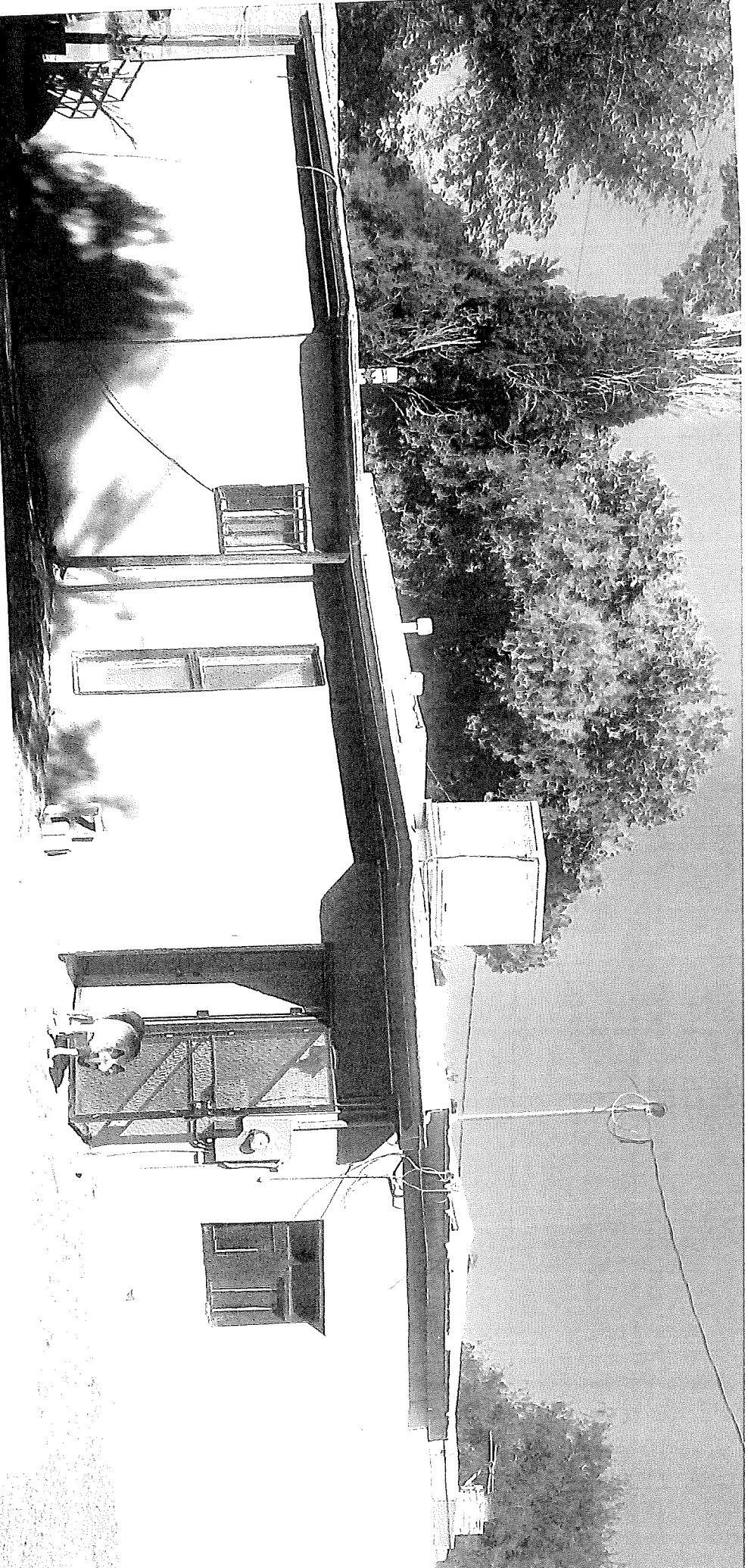
PERMISSION ISSUED / DENIED BY: _____

ISSUE DATE: _____

2691 Calle Principal

Joe & Elaine Foster

850-502-9237



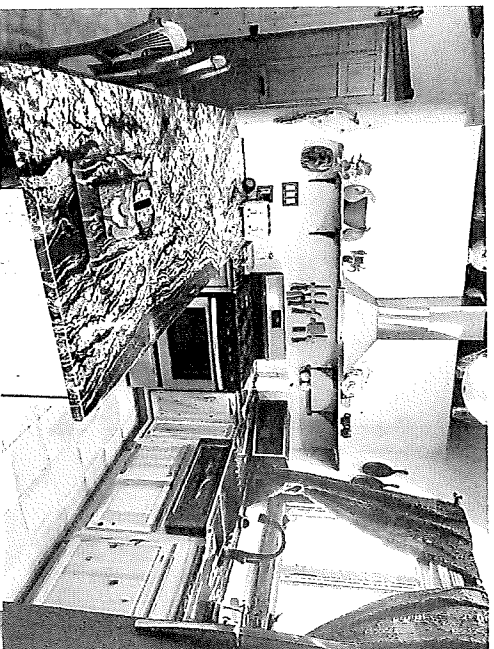
Projects To Be Completed

- Add 4' wide arched front gate w/ antique wooden doors
- Replace rotting window at rear of house with French doors and build 12'd x 14'w pergola for shade
- Replace rotted/sagging painted window at front of house with similar window
- Add parapets to mask uneven roof line and roof equipment to improve "Old Mesilla" atheistic
 - Maximum height of roof with parapets will be less than 13 feet.
 - Parapets will be constructed of 2x6 frame with OSB sheathing and stucco to match existing structure.
- All new stucco will be colored to match existing structure
- Install new pavers

Experience

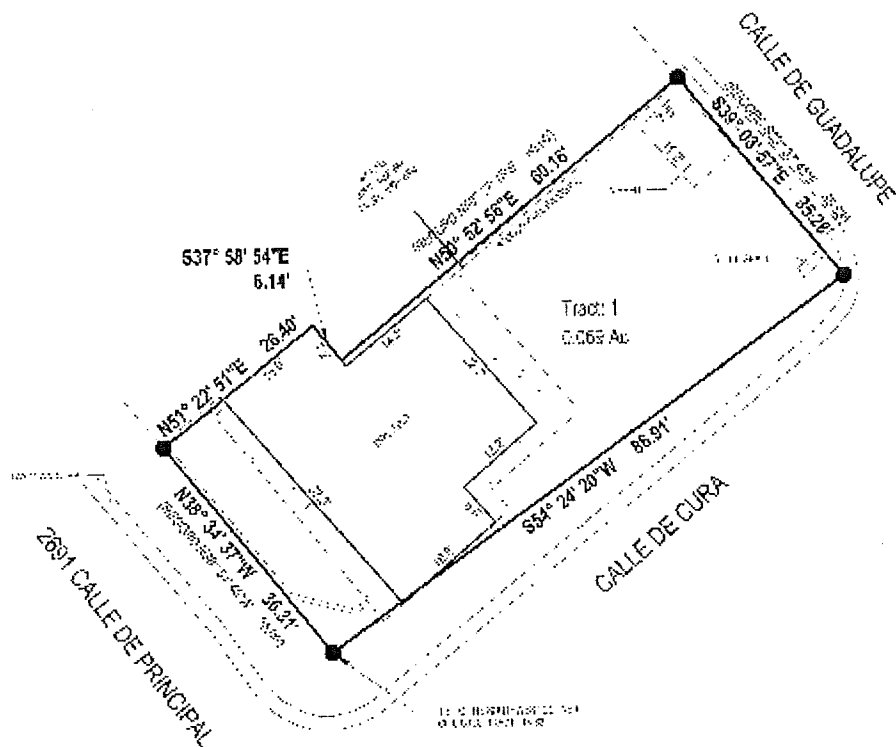
- 40 years of construction experience
- This is our fourth new construction/old construction project in the Mesilla/Las Cruces area
 - Complete interior build of 700 sqft casita at 10090 Black Hills Road
 - Complete restoration inside and out at 2488 Calle de Guadalupe
 - Currently supervising construction of casita for Holy Cross Retreat Center at 300 Holy Cross Way
- Our new restoration project on Calle Principal will be our primary residence

Example 1: 10090 Black Hills Road Casita



Example 2: 2488 Calle de Guadalupe





LEGEND:

- 1/2" REBAR FOUND (NO CAP)

NOTES:

FLOOD ZONE "X": AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, AS PER MAP NO. 35013C1003 G. NEW SET JULY 6, 2016

FIELD NOTES BY MOY SURVEYING INC. LICENSE #18078.
ALL CORNERS SET WERE 1/2" IRON RODS WITH 1" PLASTIC CAPS STAMPED #18078. ALL IRON RODS OR MONUMENTS FOUND, TAGGED, STAMPED #18078. UNLESS OTHERWISE NOTED DEED BEARINGS AND DISTANCES AND FIELD BEARINGS AND DISTANCES ARE THE SAME

SCALE: 1"=20'



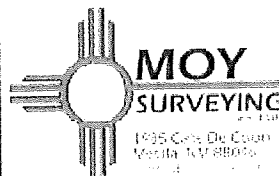
PROPERTY OWNER: R & F MCCOMAS #2881 LC
PROPERTY LOCATION: TOWN OF MESILLA
ACCOUNT NUMBER: R3400372
PARCEL NUMBER: 4300137269322



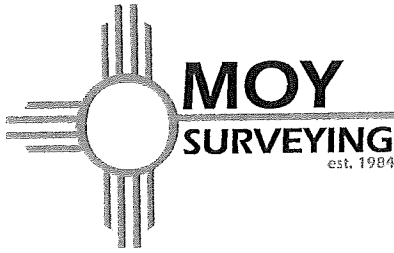
PLAT OF SURVEY SHOWING THE LOCATION OF IMPROVEMENTS ON A 0.0690 ACRE TRACT IN SECTION 25, T.23S., R.1E, N.M.P.M. OF THE U.S.R.S. SURVEYS BEING PART OF U.S.R.S. TRACT 11A-62 TOWN OF MESILLA DOÑA ANA COUNTY, NEW MEXICO

I, HENRY MAGALLANEZ, A LICENSED PROFESSIONAL SURVEYOR, HAVE MADE THIS SURVEY IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING, NEW MEXICO, AND I CERTIFY THAT THE SAME IS TRUE AND CORRECT.

Henry Magallanez 18078
HENRY MAGALLANEZ N.M.P.S. #18078



JOB NO: 22-0545
DRAWN BY: ANTON
FIELD BY: KIMMYVIC
DATE: 08/22/22 SCALE: 1"=20'



PHYSICAL
1985 Calle De Colon
Mesilla NM, 88046

MAILING
P.O. BOX 1570
Mesilla NM, 88046

info@moysurveying.com
(575) 525-9683 F: (575) 524-3238
www.moysurveying.com

AUGUST 22, 2022
DESCRIPTION OF A 0.069 ACRE TRACT

Tract 1

A tract of land situate in in the Town of Mesilla, Doña Ana County, New Mexico in Section 25, T.23S., R.1E., N.M.P.M. of the U.S.R.S. Surveys. Being part of U.S.R.S. Tract 11A-62 and more particularly described as follows to wit:

Beginning at an iron rod found on the North line of Calle De Cura and on the East line of Calle De Principal for the Southwest corner of this tract herein described, being IDENTICAL to the Southwest corner of U.S.R.S. Tract 11A-62;

Thence from POINT OF BEGINNING, leaving the North line of said Calle De Cura, along the East line of said Calle De Principal, N 38° 34' 37" W for a distance of 36.31 feet to an iron rod found for the Northwest corner of this tract;

Thence leaving the East line of said Calle De Principal, N 51° 22' 51" E for a distance of 26.40 feet to an angle point on this tract;

Thence S 37° 58' 54" E for a distance of 6.14 feet to an angle point on this tract;

Thence N 50° 52' 56" E for a distance of 60.16 feet to an iron rod found on the West line of Calle De Guadalupe for the Northeast corner of this tract;

Thence along the West line of said Calle De Guadalupe, S 39° 03' 57" E for a distance of 35.28 feet to an iron rod found on the North line of said Calle De Cura for the Southeast corner of this tract;

Thence leaving the West line of said Calle De Guadalupe, along the North line of said Calle De Cura, S 54° 24' 20" W a distance of 86.91 feet to the POINT OF BEGINNING, containing 0.069 acres of land, more or less. Subject to any reservations, restrictions and easements of record.

Job #22-0543
am



Hand-drawn floor plan of a house with various rooms and dimensions. The plan includes a front porch, a living room, a dining room, a kitchen, a bathroom, and a bedroom. Dimensions are provided for each room and overall measurements. Annotations include 'Add 4' Wide Arched Entryway w/Double Antique Doors', 'Replace Rotted Window w/ 6' French Door', 'Replace Rotted Window w/ similar style', and 'Add Pergola'. The plan is oriented with the front porch at the top.

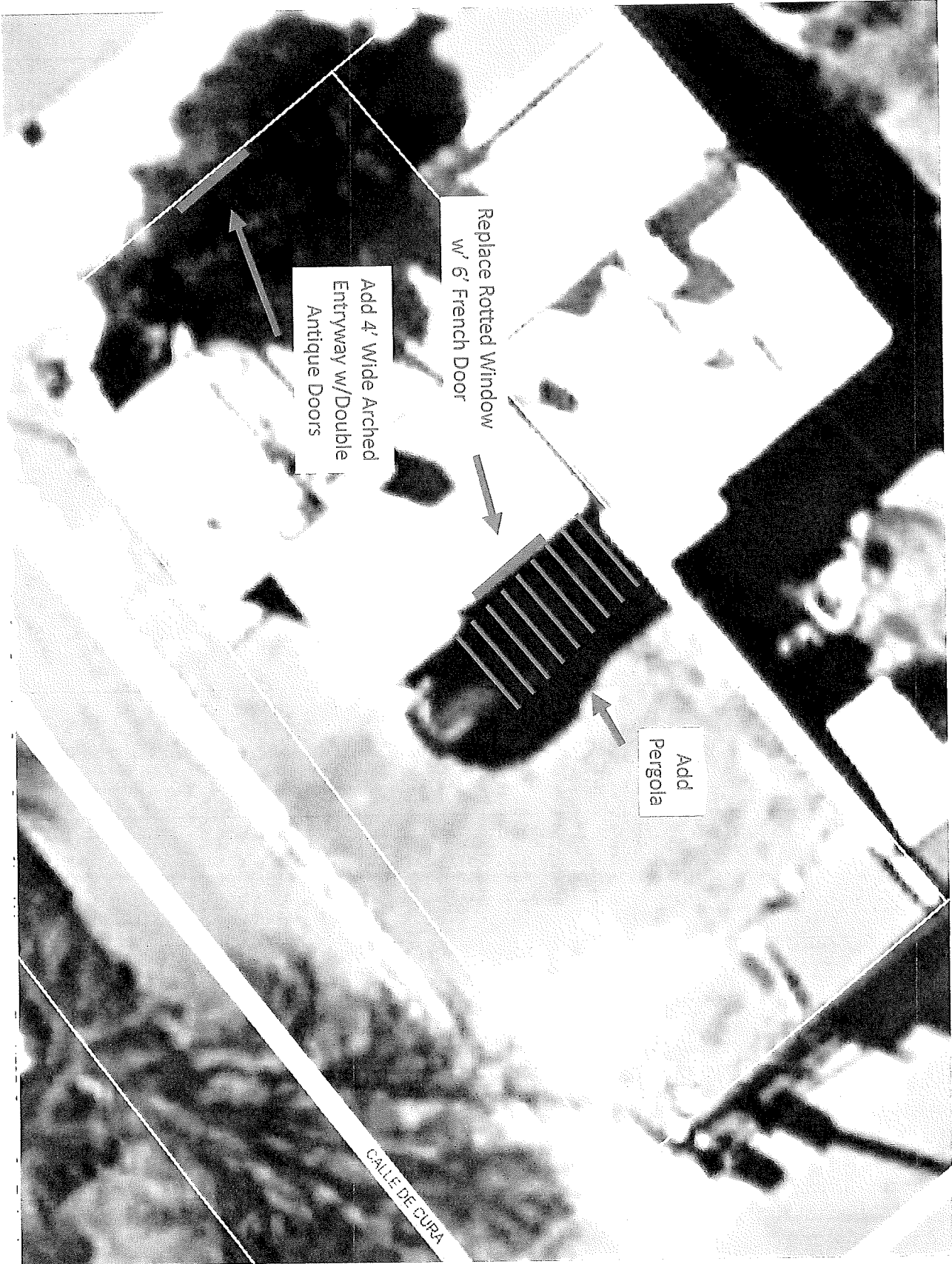
Overall dimensions: 35.28' (width) x 33.9° 03' 57"E (length).

Rooms and dimensions:

- Front Porch: 14.4' x 7.2'
- Living Room: 14.4' x 13.2'
- Dining Room: 14.4' x 12.2'
- Kitchen: 14.4' x 12.2'
- Bathroom: 14.4' x 12.2'
- Bedroom: 14.4' x 12.2'

Annotations:

- Add 4' Wide Arched Entryway w/Double Antique Doors
- Replace Rotted Window w/ 6' French Door
- Replace Rotted Window w/ similar style
- Add Pergola

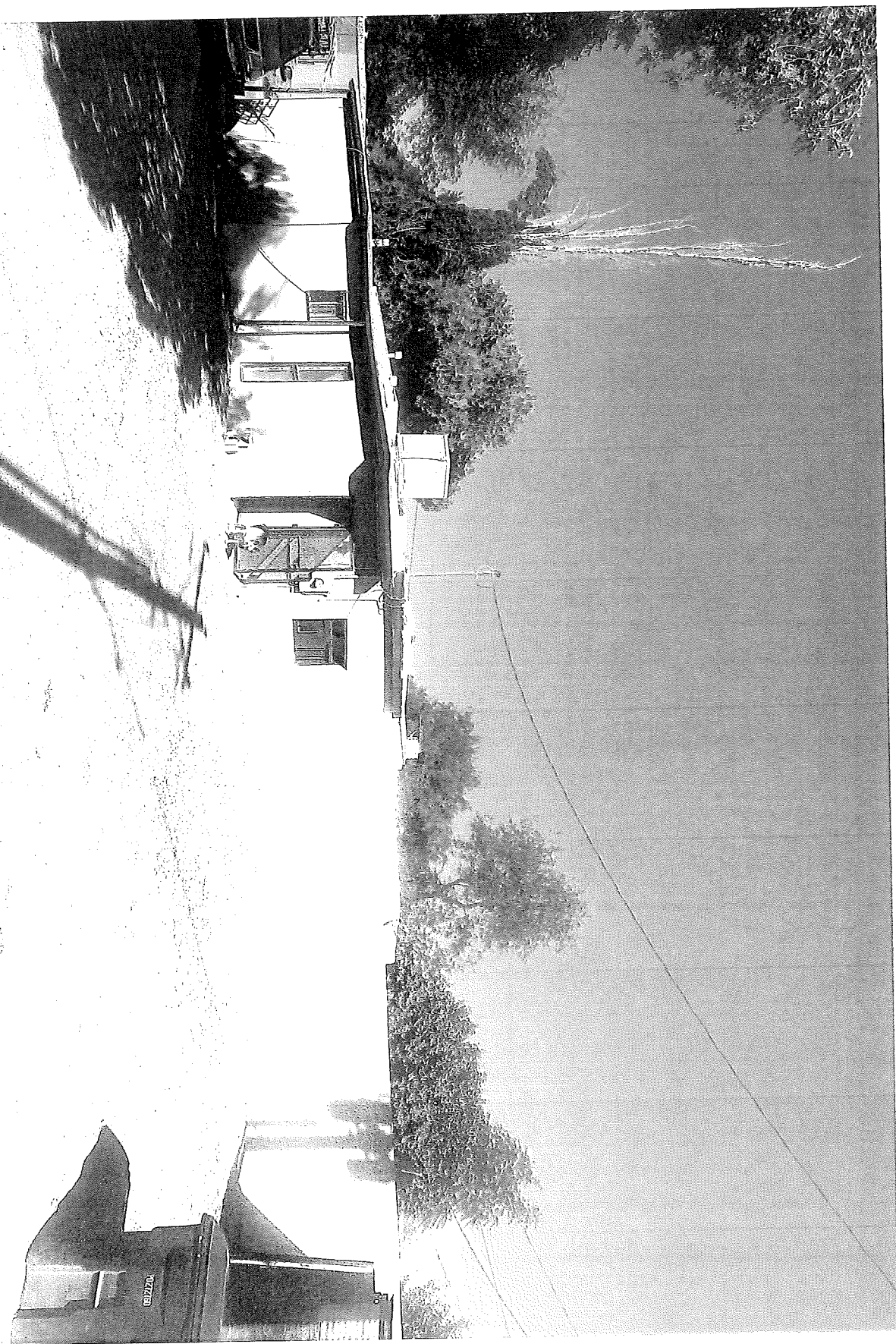


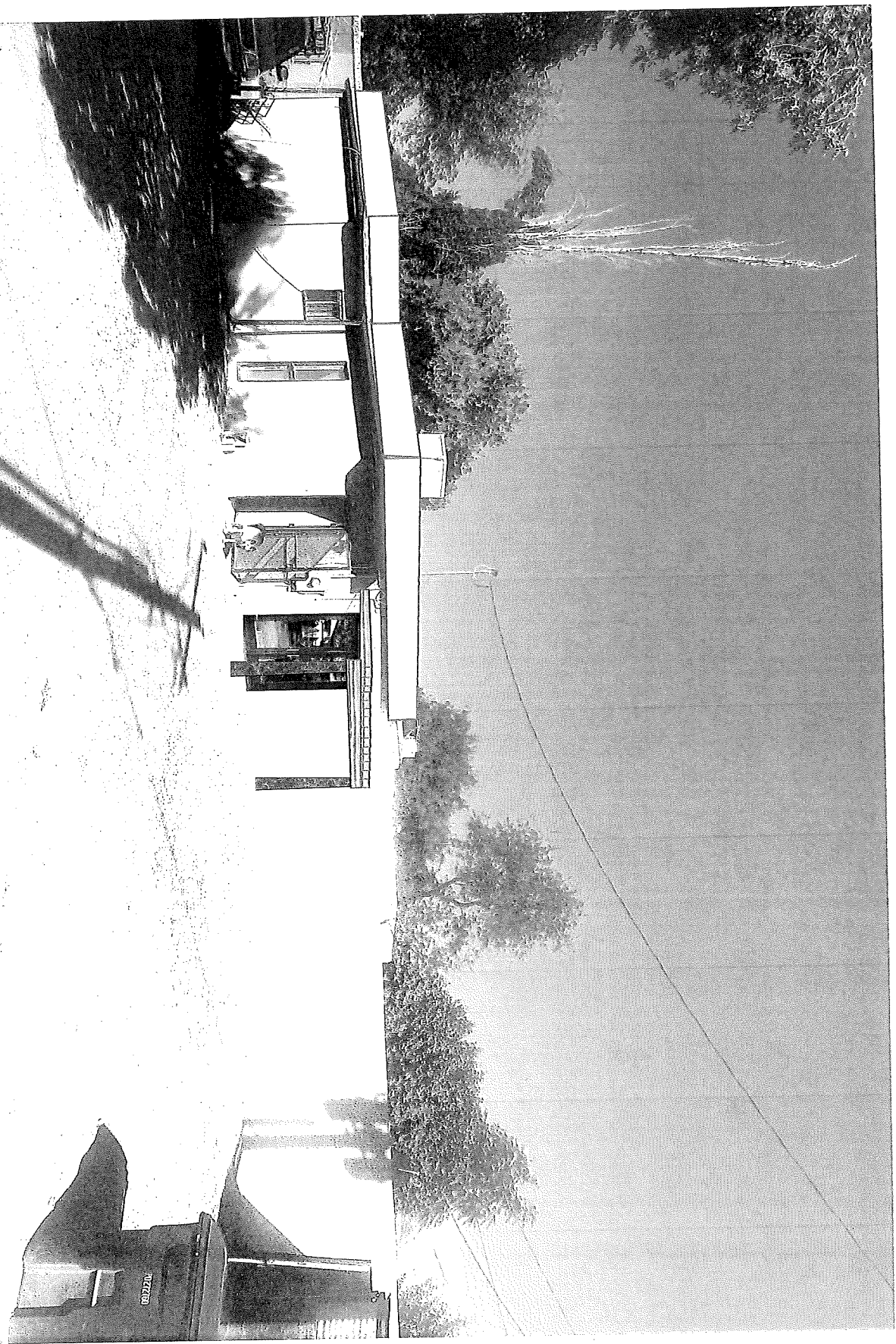
Add 4' Wide Arched
Entryway w/ Double
Antique Doors

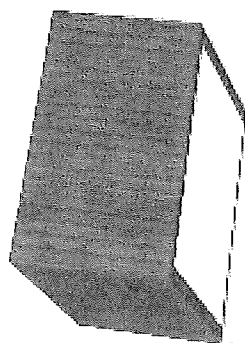
Replace Rotted Window
w/ 6' French Door

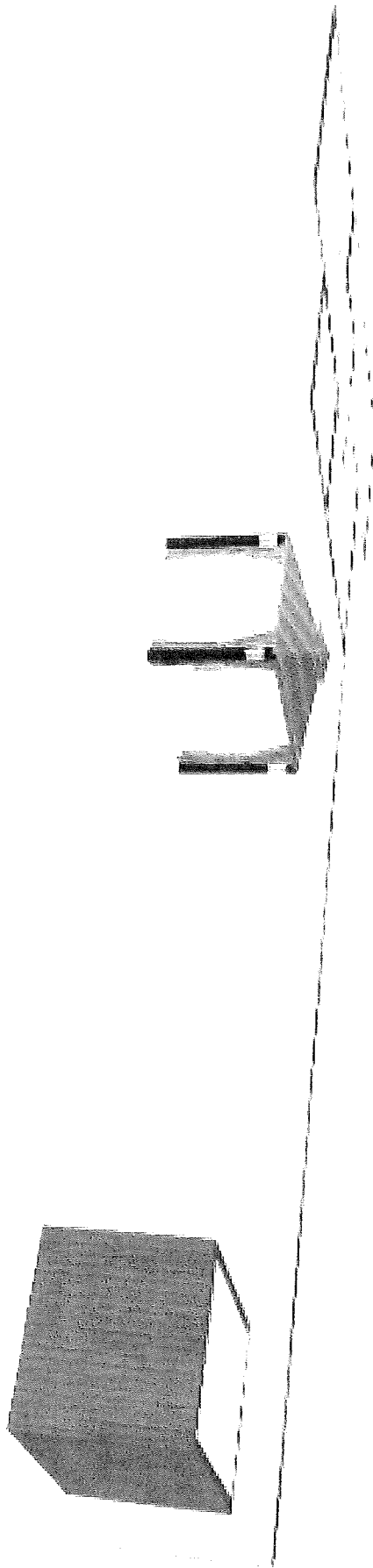
Add
Pergola

CALLE DE CURA













Pergola

- The pergola at the rear of the structure will be 14' wide x 12' deep x 8' high and will be very similar to what we built for the Vintage Wine Bar and at 10090 Black Hills Road. It will consist of post and beam construction with corbels, vigas (3' centers) and latillas on top.
- 10" posts will be set in 2' deep holes and filled with gravel. Posts, beams, corbels and vigas will be secured with ½" x 10" galvanized lag bolts. Pergola will be thru bolted to existing adobe walls.



Vintage Wine Bar



10090 Black Hills Road

BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case #061472 – 3041 Mesilla Verde Terrace submitted by William Keith Blazer to add on a garage/storage area with open carport, **Zoned: Residential Agriculture (RA)**

BACKGROUND AND ANALYSIS:

The applicants are proposing to add on a garage, storage and an open carport in the rear of the house. This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 15.15 & 18.60

SUPPORTING INFORMATION:

- Application
- Survey
- Utility bill
- Site Plan

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 445.00
Review Fee \$ 63.00
Total Fee \$ 508.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061472 ZONE: RA CODE: AC APPLICATION DATE: 9-30-22

William Keith Blazer 575-430-7102
Name of Property Owner Property Owner's Telephone Number

3041 Mesilla Verde Terrace Las Cruces NM 88005
Property Owner's Mailing Address City State Zip Code

dmkblaze@gmail.com
Property Owner's E-mail Address

SELF
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 3041 Mesilla Verde Terrace

Description of Proposed Work: ADD ON A GARAGE/STORAGE AREA AND OPEN CARPORT IN REAR OF HOUSE

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. ☒ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☐ Site Plan with dimensions and details.
3. ☐ Foundation plan with details.
4. ☐ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☐ Roof and floor framing plan.
7. ☐ Proof of legal access to the property.
8. ☐ Drainage plan.
9. ☐ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☐ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☐ Proof of legal access to the property.
12. ☒ Other information as necessary or required by the Town Code or Community Development Department.

\$ 35K William Keith Blazer Sept 27 2022
Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

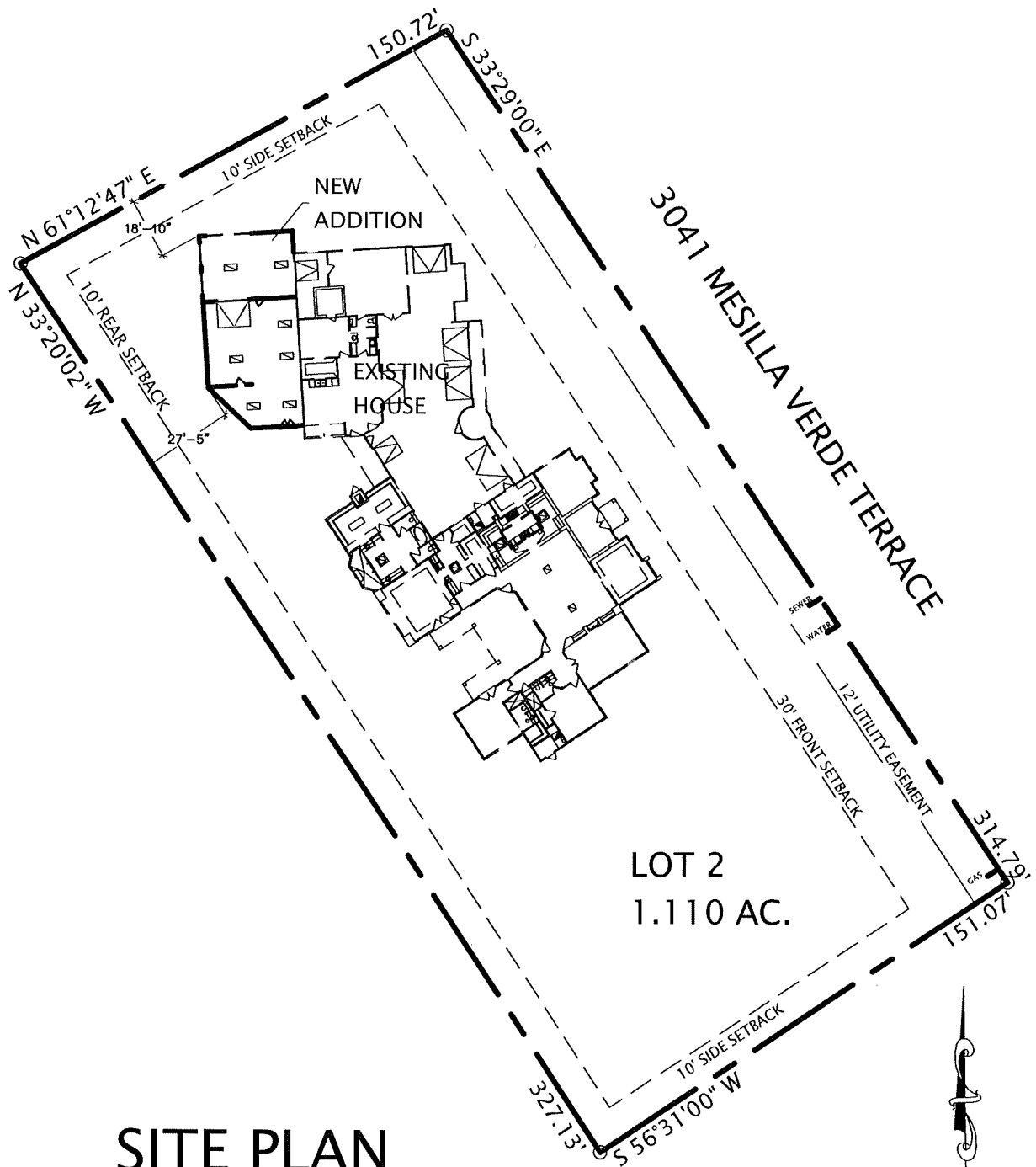
PZHAC <input type="checkbox"/> Administrative Approval <input type="checkbox"/> Approved Date: _____ <input type="checkbox"/> Disapproved Date: _____ <input type="checkbox"/> Approved with conditions	BOT <input type="checkbox"/> Approved Date: _____ <input type="checkbox"/> Disapproved Date: _____ <input type="checkbox"/> Approved with Conditions
--	--

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO BOT APPROVAL REQUIRED: ☐ YES ☒ NO

CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS

CONDITIONS: _____


PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____



SITE PLAN

MESILLA VERDE SUBDIVISION
LOT 2

NORTH
SCALE: 1" = 50'

 <p>Cadworks DRAWING & DESIGN P.O. Box 1812 Las Cruces, NM 88009 Office: (505) 825-7120 Cadworks1c@yahoo.com</p>	DATE		PROJECT NAME:	SHEET TITLE
	9/29/2022			SITE PLAN
	DRAWN BY			SHEET NO.
	UMPHRESS			2 OF 2
	FILE NAME	KB-909516	BLAZER RESIDENCE	
	<small>DISCLAIMER ALL MEASUREMENTS, DIMENSIONS, & SPECIFICATIONS, INCLUDING ALL BLDG. MATERIALS ARE TO BE CHECKED BY OWNER & CONTRACTOR & ARE THE RESPONSIBILITY OF THE OWNER & CONTRACTOR. THE STRUCTURAL INTEGRITY OF THIS PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER. THIS DRAWING IS AN INSTRUMENT OF OWNER, AND CONTRACTOR. THIS DRAWING MAY NOT BE REPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT THEIR WRITTEN PERMISSION.</small>			

TOWN OF MESILLA

P.O. BOX 10

MESILLA, NM 88046

RETURN POSTAGE GUARANTEED

ACCT. NO. 06-0850-00

FOR BILLING INFO CALL

524-8244

FOR WATER OR SEWER EMERGENCY

CALL (575) 650-8830

DATE	READING		CONSUMPTION		METER READING IN 1000 GALLONS
	CURRENT	PREVIOUS			
08/18/22	1716	1661		55	
				54	

DATE	SERVICE	AMOUNT
08/18/22	WATER	152.85
08/18/22	WTR ACQ CO	3.30
08/18/22	WTR MGT CO	2.75
08/18/22	TRASH	14.52
08/18/22	SEWER	92.21
	TAX	12.98

WILLIAM KEITH BLAZER
WILLIAM KEITH BLAZER
3041 MESILLA VERDE TERRACE
LAS CRUCES NM 88005

ACCT. NO. 06-0850-00

TOWN HALL PHONE NUMBER 575-524-3262
FIESTA - SEPTEMBER 17TH & 18TH
3041 MESILLA VERDE

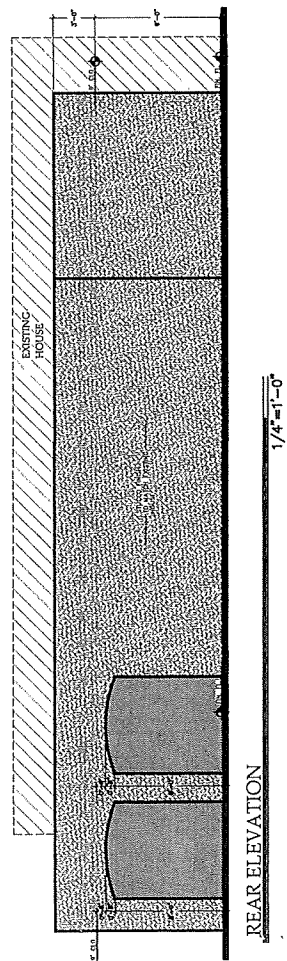
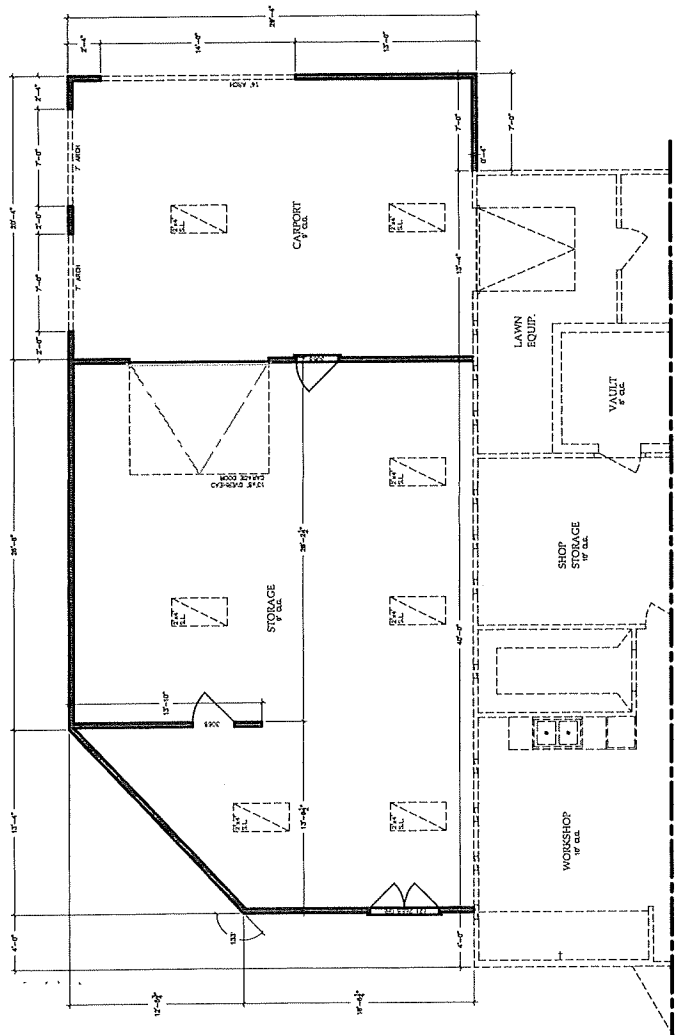
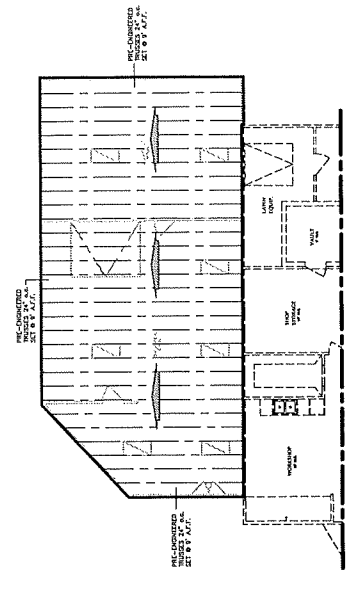
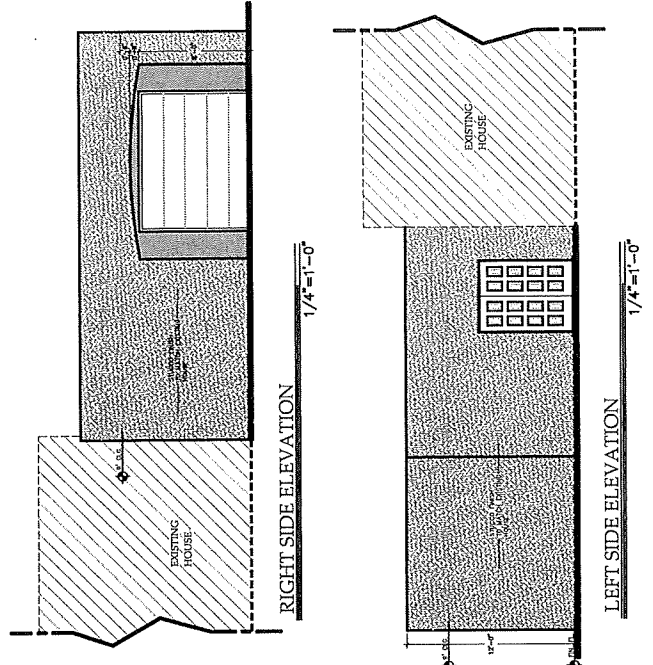
AMOUNT DUE 278.61

DO NOT PAY - PAID BY DRAFT



WITH YOUR PAYMENT

DATE	9/29/2022
DRAWN BY	UNAPRESS
FILE NAME	KB-92022
PROJECT NAME	3041 MESILLA VERDE TERRACE
PROJECT TITLE	BLAZER RESIDENCE
AREA TOTAL	1,877 SQ. FT.
STORAGE	155 SQ. FT.
CARPORT	155 SQ. FT.
TOTAL	1,669 SQ. FT.
PROFESSIONAL SEAL	
SHEET TITLE	FLOOR PLAN/ ELEVATIONS/ ROOF TRUSS LAYOUT
SHEET NO.	1 OF 2



BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case #061475 – 311 Capri Rd. submitted by Don Lindsey to replace existing roof,
ZONED: R1

BACKGROUND AND ANALYSIS:

The applicant(s) is proposing to remove existing single ply roof down to wood deck, installation of new 60mil TPO, mechanically fastened to wood deck. Installation of new flashing details at all pipe penetrations and scuppers. This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 15.15 & 18.60

SUPPORTING INFORMATION:

- Application
- Site GPS
- Invoice and description of work

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 290.00
Review Fee \$ 46.00
Total Fee \$ 336.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061475 ZONE: RI CODE: RI APPLICATION DATE: 10-3-23

Don Lindsey (575) 680-0558
Name of Property Owner Property Owner's Telephone Number
311 Capri Rd. Las Cruces NM 88005
Property Owner's Mailing Address City State Zip Code
Dlindsey@nmsu.edu
Property Owner's E-mail Address
Jacob Ledesma 2904 Valle Vista Las Cruces, NM 88011
Contractor's Name & Address (If none, indicate Self)
(575) 993-3726 02-243534004 52798
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 311 Capri Rd. Las Cruces, NM 88005
Description of Proposed Work: Removal of existing single ply roof, down to wood deck.
Installation of new 60 mil TPO, mechanically fastened to wood deck, approximately 4,365 SF.
Installation of new flashing details at all pipe penetrations and scuppers.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. ☐ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☐ Site Plan with dimensions and details.
3. ☐ Foundation plan with details.
4. ☐ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☐ Roof and floor framing plan.
7. ☐ Proof of legal access to the property.
8. ☐ Drainage plan.
9. ☐ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☐ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☐ Proof of legal access to the property.
12. ☐ Other information as necessary or required by the Town Code or Community Development Department.

\$ 23,135.00 9/26/2022
Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval BOT ☐ Approved Date: _____
☐ Approved Date: _____ ☐ Disapproved Date: _____
☐ Disapproved Date: _____ ☐ Approved with Conditions
☐ Approved with conditions
PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO BOT APPROVAL REQUIRED: ☐ YES ☐ NO
CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS
CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____



Show search results for 311 CA...



Parcel: LINDSEY DONALD & BETTY TRUSTEE & DONALD & BETTY LINDSEY TRUST

ACCOUNT NUMBER: R0400850
OWNER NAME: LINDSEY DONALD & BETTY TRUSTEE & DONALD & BETTY LINDSEY TRUST
MAILING ADDRESS: 311 CAPRI RD
CITY: LAS CRUCES
STATE: NM
ZIP: 88005
SUBDIVISION NAME: BASON MANOR (BK 12 PG 11 - 754908) 807
SITE ADDRESS: 311 CAPRI RD
ACREAGE: 0.60
SQUARE FOOTAGE: 26,136.00
TOTAL VALUATION (LAND & BUILDING): 237,622

[ASSESSOR PARCEL INFORMATION DETAIL LINK](#)
[Zoom to](#)




You accepted an estimate from Vista Del Sol Const.

Estimate accepted September 16, 2022

Vista Del Sol Construction

NM GB-98 Lic. No. 52798

Show full details 

ROOF REPLACEMENT

NEW TPO ROOFING

\$23,134.50

(\$5.30 ea.) × 4,365

Removal and disposal of all existing roofing and penetration flashings.

Replacement of all pipe, scupper and curb flashings. Existing scuppers to be salvaged.

Installation of a new, mechanically fastened white 60 mil TPO roof, approximately 4,365 SF. Includes 10% waste factor.

Cleanup and disposal of all construction debris.

Building permit and applicable inspections.

STUCCO REPAIRS

\$4,656.00

(\$12.00 ea.) × 388

Patch and repair tops of parapet walls with high grade, polymer cement based material.

Re-stucco tops of parapet walls, approximately 388 LF, to closely resemble existing finish.

Temporary mock up to be constructed for owner approval prior to stucco application.

COMMENTS

\$0.00

This Proposal, which includes a Scope of Work and Terms & Conditions, contains confidential and privileged information. It is proprietary in nature and is for the sole use of the intended recipient(s). Unauthorized use, including to negotiate with other potential bidders, and/or distribution is prohibited unless specifically authorized by Vista Del Sol Construction and/or their agents. Please note that Change Orders and Credits are left at the discretion of the Contractor. Additionally, pricing is subject to change based on the discovery of hidden conditions once construction on your project has begun.

Estimated construction time: 15 days.

Re-roofing projects may tend to cause the roof to shift slightly under the foot traffic of crewmembers and the staging of new material. This may exert, however slight, downward deflection on trusses and could possibly damage finished surfaces. These include but are not limited to, interior drywall tape joints and nail heads. VDSC is not responsible for said damage.

A reasonable amount of noise, including the use of hand tools, loud talking, etc. as well as noise associated with power tools and heavy equipment should be expected.

Hidden conditions, such as rotted decking, will be billed at a rate of time and materials (\$65.00/hr. + cost of materials).

Final thorough cleanup and disposal of all demolition and construction debris.

Next available date: TBD

Dates may be impacted by the availability of certain materials and delays caused by COVID-19.

A 50% deposit for mobilization and material procurement is required before the project begins, as well as weekly/bi-weekly progress payments. Balance is due upon completion.

We accept most major credit cards. Please add a 4.5% convenience fee.

Please make checks payable to Jacob Ledesma.

TERMS & CONDITIONS

\$0.00

1. ESTIMATES: Cost estimates are made on the basis of past job experience, existing site conditions and represent our best estimate.

2. DISPUTES: All claims, counterclaims, disputes and other matters in question between the parties hereto, arising out of or relating to this Agreement or the breach thereof, shall be decided by arbitration, in accordance with the Construction Industry Arbitration Rules of the American Arbitration Association.

3. CHANGE ORDERS: Additional services, beyond the original agreed upon Scope of Work, shall be provided based on the reimbursable expenses we incur and our standard hourly rates.

4. BILLING / PAYMENTS: Unless otherwise stated, payment is due upon receipt of our invoice(s). The Firm or Individual engaging Vista Del Sol Construction (VDSC) is responsible for prompt payment of charges and agrees to pay interest in the amount of 5% per month for all fees that have not been paid within 30 days from the date of invoice. In the event any portion of an account remains unpaid 90 days after billing, the Client shall pay the cost of collection, including reasonable attorneys fees.

5. TERMINATION: Either party may terminate this agreement via written notice within 7 days of the proposal date. The Firm or Individual engaging VDSC agrees to pay for all services rendered to the date of termination, including all reimbursable expenses and termination fees.

6. SEVERABILITY / SURVIVAL: If any of the provisions contained in this Contract are deemed to be invalid, illegal or unenforceable, such invalidity, illegality and/or unenforceability will not affect any other provision of this Contract, and this Contract will be construed as if such invalid, illegal or unenforceable provision had never been contained herein.

Subtotal

\$27,790.50

Total

\$27,790.50

Vista Del Sol Const.

jacob@vistadelsol.net

+1 (575) 993-3726

© 2022 Block, Inc.

All rights reserved.

[Square Privacy Policy](#) | [Security](#)



BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC Case #061476 – 311 Capri Rd. submitted by Don Lindsey to repair stucco as needed from roof removal, **ZONED: R1**

BACKGROUND AND ANALYSIS:

The applicant(s) is proposing stucco repairs as needed after removal of existing roofing. Anticipated repairs will primarily be out of public view. Parapet walls will be repaired to closely match existing finishes. This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable and meets all applicable Town codes, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

This application falls under the ordinance MTC Chapter(s) 15.15 & 18.60

SUPPORTING INFORMATION:

- Application
- Site GPS
- Invoice and description of work

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 100.00
Review Fee \$ 1.00
Total Fee \$ 118.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061476 **ZONE:** R1 **CODE:** MI **APPLICATION DATE:** 10-13-22

Don Lindsey (575) 680-0558
Name of Property Owner Property Owner's Telephone Number
311 Capri Rd. Las Cruces NM 88005
Property Owner's Mailing Address City State Zip Code
Dlindsey@nmsu.edu
Property Owner's E-mail Address
Jacob Ledesma 2904 Valle Vista Las Cruces, NM 88011
Contractor's Name & Address (If none, indicate Self)
(575) 993-3726 02-243534004 52798
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 311 Capri Rd. Las Cruces, NM 88005

Description of Proposed Work: Stucco repairs as needed after removal of existing roofing.
Anticipated repairs will primarily be out of the public view. Some screws holes and minor cracks
may be visible on the public side of the parapet walls and will be repaired to closely match existing finishes.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. ☒ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ☐ Site Plan with dimensions and details.
3. ☐ Foundation plan with details.
4. ☐ Floor plan showing rooms, their uses, and dimensions.
5. ☐ Cross section of walls.
6. ☐ Roof and floor framing plan.
7. ☐ Proof of legal access to the property.
8. ☐ Drainage plan.
9. ☐ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ☐ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ☐ Proof of legal access to the property.
12. ☒ Other information as necessary or required by the Town Code or Community Development Department.

\$ 4,656.00

Estimated Cost

[Signature]
Signature of Applicant

10/13/2022

Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

PZHAC ☐ Administrative Approval

☐ Approved Date: _____

☐ Disapproved Date: _____

☐ Approved with conditions

BOT ☐ Approved Date: _____

☐ Disapproved Date: _____

☐ Approved with Conditions

PZHAC APPROVAL REQUIRED: ☒ YES ☐ NO

BOT APPROVAL REQUIRED: ☐ YES ☒ NO

CID PERMIT/INSPECTION REQUIRED: ☒ YES ☐ NO ☐ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____



Parcel: LINDSEY DONALD & BETTY TRUSTEE & DONALD & BETTY LINDSEY TRUST

ACCOUNT NUMBER: R0400850
OWNER NAME: LINDSEY DONALD & BETTY TRUSTEE & DONALD & BETTY LINDSEY TRUST
MAILING ADDRESS: 311 CAPRI RD
CITY: LAS CRUCES
STATE: NM
ZIP: 88005
SUBDIVISION NAME: BASON MANOR (BK 12 PG 11 - 754908) 807
SITE ADDRESS: 311 CAPRI RD
ACREAGE: 0.60
SQUARE FOOTAGE: 26,136.00
TOTAL VALUATION (LAND & BUILDING): 237,622

[ASSESSOR PARCEL INFORMATION DETAIL LINK](#)
[Zoom to](#)



You accepted an estimate from Vista Del Sol Const.

Estimate accepted September 16, 2022

Vista Del Sol Construction
NM GB-98 Lic. No. 52798

Show full details ▼

ROOF REPLACEMENT

NEW TPO ROOFING \$23,134.50
(\$5.30 ea.) × 4,365

Removal and disposal of all existing roofing and penetration flashings.

Replacement of all pipe, scupper and curb flashings. Existing scuppers to be salvaged.

Installation of a new, mechanically fastened white 60 mil TPO roof, approximately 4,365 SF. Includes 10% waste factor.

Cleanup and disposal of all construction debris.

Building permit and applicable inspections.

STUCCO REPAIRS \$4,656.00
(\$12.00 ea.) × 388

Patch and repair tops of parapet walls with high grade, polymer cement based material.

Re-stucco tops of parapet walls, approximately 388 LF, to closely resemble existing finish.

Temporary mock up to be constructed for owner approval prior to stucco application.

COMMENTS

\$0.00

This Proposal, which includes a Scope of Work and Terms & Conditions, contains confidential and privileged information. It is proprietary in nature and is for the sole use of the intended recipient(s). Unauthorized use, including to negotiate with other potential bidders, and/or distribution is prohibited unless specifically authorized by Vista Del Sol Construction and/or their agents. Please note that Change Orders and Credits are left at the discretion of the Contractor. Additionally, pricing is subject to change based on the discovery of hidden conditions once construction on your project has begun.

Estimated construction time: 15 days.

Re-roofing projects may tend to cause the roof to shift slightly under the foot traffic of crewmembers and the staging of new material. This may exert, however slight, downward deflection on trusses and could possibly damage finished surfaces. These include but are not limited to, interior drywall tape joints and nail heads. VDSC is not responsible for said damage.

A reasonable amount of noise, including the use of hand tools, loud talking, etc. as well as noise associated with power tools and heavy equipment should be expected.

Hidden conditions, such as rotted decking, will be billed at a rate of time and materials (\$65.00/hr. + cost of materials).

Final thorough cleanup and disposal of all demolition and construction debris.

Next available date: TBD

Dates may be impacted by the availability of certain materials and delays caused by COVID-19.

A 50% deposit for mobilization and material procurement is required before the project begins, as well as weekly/bi-weekly progress payments. Balance is due upon completion.

We accept most major credit cards. Please add a 4.5% convenience fee.

Please make checks payable to Jacob Ledesma.

TERMS & CONDITIONS

\$0.00

- 1. ESTIMATES: Cost estimates are made on the basis of past job experience, existing site conditions and represent our best estimate.*
- 2. DISPUTES: All claims, counterclaims, disputes and other matters in question between the parties hereto, arising out of or relating to this Agreement or the breach thereof, shall be decided by arbitration, in accordance with the Construction Industry Arbitration Rules of the American Arbitration Association.*
- 3. CHANGE ORDERS: Additional services, beyond the original agreed upon Scope of Work, shall be provided based on the reimbursable expenses we incur and our standard hourly rates.*
- 4. BILLING / PAYMENTS: Unless otherwise stated, payment is due upon receipt of our invoice(s). The Firm or Individual engaging Vista Del Sol Construction (VDSC) is responsible for prompt payment of charges and agrees to pay interest in the amount of 5% per month for all fees that have not been paid within 30 days from the date of invoice. In the event any portion of an account remains unpaid 90 days after billing, the Client shall pay the cost of collection, including reasonable attorneys fees.*
- 5. TERMINATION: Either party may terminate this agreement via written notice within 7 days of the proposal date. The Firm or Individual engaging VDSC agrees to pay for all services rendered to the date of termination, including all reimbursable expenses and termination fees.*
- 6. SEVERABILITY / SURVIVAL: If any of the provisions contained in this Contract are deemed to be invalid, illegal or unenforceable, such invalidity, illegality and/or unenforceability will not affect any other provision of this Contract, and this Contract will be construed as if such invalid, illegal or unenforceable provision had never been contained herein.*

Subtotal

\$27,790.50

Total

\$27,790.50

Vista Del Sol Const.

jacob@vistadelsol.net

+1 (575) 993-3726

© 2022 Block, Inc.

All rights reserved.

[Square Privacy Policy](#) | [Security](#)



BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC: STR #1034 – 1365 Snow Rd submitted by Mitchell Enterprises LLC for a Short Term Rental at this address, **Zoned: Rural Farm (RF)**

BACKGROUND AND ANALYSIS:

The applicant(s) is proposing The applicant proposes the property at above address as Short Term Rentals (STR). This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

There are currently no codes or ordinances for the town on Short Term Rentals (STR)

SUPPORTING INFORMATION:

- Application

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.



RECEIVED
10.5.22

Date: 09/29/2022

2231 Avenida de Mesilla

P.O. Box 10

Mesilla, NM 88046

Phone: (575) 524-3262 Fax: (575) 541-6327

Reg. No.: 1034

SHORT TERM RENTAL (STR) REGISTRATION

Note: Any changes to property owner information; additions or alterations to rental units; changes in number or type of rental units; parking; or any other changes to information listed on this form will require a change to the information on file with the Town.

New X Renewal _____

PLEASE PRINT

RENTAL INFORMATION

Name of Rental: 1365 Snow
Street Address of Unit: 1365 Snow Road
Zone: _____ DAC Parcel #: 04- DAC Parcel #: 4-005-137-006-178
Square Footage of Rental Unit: 2090 No. of Bedrooms: 3 No. of Bathrooms: 2
Number of Off-street Parking Spaces: 4

Current New Mexico Revenue Division ID #: 03-286109-00-5
(The location code for reporting earnings received in the Town of Mesilla is 07-303.)

All Short-Term-Rentals in Mesilla are also subject to Mesilla Lodger's Tax payable monthly directly to the Town.

PROPERTY OWNER INFORMATION

Name of Owner/Applicant: Mitchell Enterprises, LLC (disregarded entity reported inside the entity above's crs and tid)
Mailing Address: 3000 Calle del Norte
City: Las Cruces State: NM Zip Code: 88005
E-Mail Address: preston@mitchell-investments.com
Phone #1: 575-635-9282 Phone #2: 575-973-5186
Emergency Phone #: 575-635-9282
Property Owner's Physical Address:
Street 3000 Calle del Norte
City: Las Cruces State: NM Zip Code: 88005

PROPERTY MANAGEMENT/AUTHORIZED RENTAL AGENT

Authorized Rental Agent: Self Managed
Contact/Phone #: 575-635-9282 E-mail: preston@mitchell-investments.com

(Please complete other side.)

EMERGENCY CONTACT INFORMATION

Responsible party to be called in case of emergency. Enter name in order of contact (please print):

24 HOUR EMERGENCY PHONE #: 575-635-9282

Name	Address	Telephone #
1. Preston Mitchell	3000 Calle del Norte, Las Cruces, NM 88005	575-635-9282

2. _____

3. _____

Do you have an alarm system? Yes _____ No ☒ _____

What Type? _____

Which Company, if any, Responds to Alarms? _____

Compliance with Fire Codes and Occupancy Requirements: All residential short-term rentals are subject to the applicable fire codes, and occupancy must be reviewed and approved for compliance with the Codes by the Town Fire Chief. An on-site inspection may be required.

APPLICANT HEREBY STATES UNDER OATH THAT ALL STATEMENTS AND REPRESENTATIONS MADE IN THIS APPLICATION ARE TRUE AND VALID.


Signature of Rental Owner

10-4-22
Date

Preston Mitchell, Member
Name (Printed)

Office Use
FOR NEW OR MODIFIED RENTALS

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

NOTES/ISSUES:

CONDITIONS:

Reg. Number: 1034

Renewal Date: _____

Zone: RF

Date of Payment: _____

BOARD ACTION FORM

AGENDA DATE

PZHAC: October 17, 2022

BOT:

ITEM: PZHAC: STR #1035 – 1363 Snow Rd submitted by Mitchell Enterprises LLC for a Short Term Rental at this address, **Zoned: Rural Farm (RF)**

BACKGROUND AND ANALYSIS:

The applicant(s) is proposing The applicant proposes the property at above address as Short Term Rentals (STR). This application and all supporting documents were reviewed and approved by Architectural Styles Committee. It is determined that the proposed application is acceptable, the application should continue based on finding stated below.

MUNICIPAL TOWN CODE:

There are currently no codes or ordinances for the town on Short Term Rentals (STR)

SUPPORTING INFORMATION:

- Application

PZHAC ACTION:

BOT OPTIONS:

The Board of Trustees may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.



RECEIVED
10-5-22

Date: 09/29/2022

2231 Avenida de Mesilla

P.O. Box 10

Mesilla, NM 88046

Phone: (575) 524-3262 Fax: (575) 541-6327

Reg. No.: 1035

SHORT TERM RENTAL (STR) REGISTRATION

Note: Any changes to property owner information; additions or alterations to rental units; changes in number or type of rental units; parking; or any other changes to information listed on this form will require a change to the information on file with the Town.

New ☒ Renewal ☐

PLEASE PRINT

RENTAL INFORMATION

Name of Rental: 1363 Snow
Street Address of Unit: 1363 Snow Road
Zone: _____ DAC Parcel #: 04- DAC Parcel #: 4-005-137-006-178
Square Footage of Rental Unit: 837 No. of Bedrooms: 2 No. of Bathrooms: 1
Number of Off-street Parking Spaces: 2

Current New Mexico Revenue Division ID #: 03-286109-00-5
(The location code for reporting earnings received in the Town of Mesilla is 07-303.)

All Short-Term-Rentals in Mesilla are also subject to Mesilla Lodger's Tax payable monthly directly to the Town.

PROPERTY OWNER INFORMATION

Name of Owner/Applicant: Mitchell Enterprises, LLC (disregarded entity reported inside the entity above's crs and tid)
Mailing Address: 3000 Calle del Norte
City: Las Cruces State: NM Zip Code: 88005
E-Mail Address: preston@mitchell-investments.com
Phone #1: 575-635-9282 Phone #2: 575-973-5186
Emergency Phone #: 575-635-9282
Property Owner's Physical Address:
Street 3000 Calle del Norte
City: Las Cruces State: NM Zip Code: 88005

PROPERTY MANAGEMENT/AUTHORIZED RENTAL AGENT

Authorized Rental Agent: Self Managed
Contact/Phone #: 575-635-9282 E-mail: preston@mitchell-investments.com

(Please complete other side.)

EMERGENCY CONTACT INFORMATION**Responsible party to be called in case of emergency. Enter name in order of contact (please print):**24 HOUR EMERGENCY PHONE #: 575-635-9282

Name

1. Preston Mitchell

Address

3000 Calle del Norte, Las Cruces, NM 88005

Telephone #

575-635-9282

2. _____

3. _____

Do you have an alarm system? Yes _____ No X _____

What Type? _____

Which Company, if any, Responds to Alarms? _____

Compliance with Fire Codes and Occupancy Requirements: All residential short-term rentals are subject to the applicable fire codes, and occupancy must be reviewed and approved for compliance with the Codes by the Town Fire Chief. An on-site inspection may be required.

APPLICANT HEREBY STATES UNDER OATH THAT ALL STATEMENTS AND REPRESENTATIONS MADE IN THIS APPLICATION ARE TRUE AND VALID.


Signature of Rental Owner10-4-22
DatePreston Mitchell, Member
Name (Printed)

Office Use
FOR NEW OR MODIFIED RENTALS

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

NOTES/ISSUES:

CONDITIONS:

_____Reg. Number: 1035

Renewal Date: _____

Zone: RF

Date of Payment: _____