

**THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION
(PZHAC) WILL HOLD A REGULAR MEETING AT THE MESILLA TOWN HALL, 2231
AVENIDA DE MESILLA.
MONDAY SEPTEMBER 19, 2022, AT 6:00 P.M
AGENDA**

1. PLEDGE OF ALLEGIANCE

2. ROLL CALL AND DETERMINATION OF A QUORUM

3. CHANGES / APPROVAL OF AGENDA

4. PUBLIC INPUT

The public is invited to address the commission for up to 3 minutes. You can also email your comments to joep@mesillanm.gov at least twenty-four (24) hours prior to the meeting.

5. APPROVAL OF CONSENT AGENDA

Note: Items on the Consent Agenda, indicated by an asterisk (), will be voted on with one motion unless a commissioner requests that a specific item be removed for discussion.*

- a. ***PZHAC MINUTES:** September 6, 2022, Regular Meeting Minutes

6. NEW BUSINESS

- a. **PZHAC Case #061231** –2360 Calle Principal submitted by Cheryl Blevins to repair existing adobe wall, **Zoned: Historical Commercial (HC).**
- b. **PZHAC Case #061235** – 1912 Calle de Santiago submitted by Robert Tustin to repair adobe wall, **Zoned: Historical Commercial (HC).**
- c. **PAHZC Case #061431** – 3367 Estrada Rd. submitted by Oscar Gomez to replace existing doors, windows, and build new front and back patios, **Zoned: Rural Farm (RF)**
- d. **PZHAC Case #061440** – 2242 Calle de Sur submitted by Henry Lucero to put up field fence on property, **Zoned: Historical Residential (HR).**
- e. **PZHAC Case #061452** – 2282 Calle de Oeste submitted by Mariana Gallegos to place a temporary storage box on the property, **Zoned: Historical Residential (HR).**
- f. **PZHAC Case #061453** – 1910 Calle de Parian submitted by Lillian Grijalva to repair adobe wall, **Zoned: Historical Commercial (HC).**
- g. **BL #1027** – submitted by Dina Marre for a business license for house cleaning.
- h. **PZHAC Case#061454** – 2128 Calle de los Huertos submitted by Helen Williamson Revocable Trust to relocate well water circuit, **Zoned: Historical Residential (HR).**
- i. **PZHAC Case #061455** – 3116 Hwy 28 submitted by Lama Properties, LLC, to finish remodel to existing structure, **Zoned: Residential Agricultural (RA).**
- j. **PZHAC Case #061456** – 3038 Los Arenales submitted by Jerry Gonzalez to install HVAC furnace to dwelling, **Zoned: Rural Farm (RF).**
- k. **PZHAC Case #061457** – 2415 Calle de Parian submitted by Robert Reynolds to install Solar system, **Zoned: Historical Residential (HR)**

7. COMMISSIONERS / STAFF COMMENTS

8. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 9/13/2022 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristraman - 2531 Avenida de Mesilla, and the U.S. Post Office - 2253 Calle de Parian.



Town of Mesilla, New Mexico

THE PLANNING, ZONING AND
HISTORICAL APPROPRIATENESS COMMISSION (PZHAC)
TUESDAY, SEPTEMBER 6, 2022 , 2022, 6:00 PM

MINUTES

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16 **1. PLEDGE OF ALLEGIANCE**

17 Commissioner Lucero led the Pledge of Allegiance.

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20 **2. ROLL CALL AND DETERMINATION OF QUORUM**

21 Commissioner Jones, Lucero, Nevarez, present via zoom, Salas, and Walkinshaw present.

22
23
24 **3. CHANGES/APPROVAL OF THE AGENDA**

25 None. Motion to approved was made by Commissioner Jones and seconded by Commissioner
26 Nevarez.

27
28 Roll Call Vote:

29 Commissioner Jones- yes

30 Commissioner Lucero- yes

31 Commissioner Salas- yes

32 Commissioner Nevarez- yes

33
34
35 **4. PUBLIC INPUT**

36 Susan Krueger spoke in reference to 6.Q which is the request of the Black Rat Tattoo phase 2 and
37 is requesting it be established when it was approved. If it was over 6 months ago it would need to
38 go to the planning and zoning as a new case. There is also a structure going up at 2001 Avenida
39 de Mesilla case #061336, according to code 18.45.040j, this structure has to comply with the
40 town's architectural styles and design standards and Ms. Kreuger is asking for the contractor to
41 supply that information to both you, staff and the public. Mr. Padilla added that this is a Nevarez
42 property and is a previous case and is not on the agenda.

43
44
45 **5. APPROVAL OF CONSENT AGENDA**

46
47 Motion to approve consent agenda was made by Commissioner Nevarez and seconded by
48 Commissioner Jones.

49 Roll Call Vote:

50 Commissioner Jones - Yes
51

52 Commissioner Lucero - Yes
53 Commissioner Salas- Yes
54 Commissioner Nevarez- Yes

55
56 **Motion approved**

57
58 **6. NEW BUSINESS**

59
60 a. **BL #1005-** 2060 Calle de Parian submitted by Bader Jouda of Cannabis Tropic LLC for
61 Cannabis Dispensary license, **Zoned: Historical Commercial (HC)**

62
63 **Motion to approve was presented by Commissioner Jones and seconded by Commissioner**
64 **Salas.**

65
66 Staff presented facts of the case. Discussion followed.

67
68 **Roll Call Vote:**
69 Commissioner Jones - Yes
70 Commissioner Walkinshaw – yes
71 Commissioner Salas - No
72 Commissioner Lucero – Yes
73 Commissioner Nevarez – No

74
75 **Motioned passed**

76
77 a. **BL #1006-** 2060 Calle de Parian submitted by Bader Jouda of Cannabis Tropic LLC for Cannabis
78 Dispensary license, **Zoned: Historical Commercial (HC)**

79
80 **Motion to approve was presented by Commissioner Jones and seconded by Commissioner**
81 **Walkinshaw.**

82
83 Staff presented facts of the case. Discussion followed. Case will be tabled.

84
85 **Roll Call Vote:**
86 Commissioner Jones – Yes
87 Commissioner Walkinshaw – Yes
88 Commissioner Salas – No
89 Commissioner Lucero – Yes
90 Commissioner Nevarez – No

91
92 **Motioned to table this case- passed**

93
94 b. **BL #1005-** 2060 Calle de Parian submitted by Bader Jouda of Cannabis Tropic LLC for Cannabis
95 Business license, **Zoned: Historical Commercial (HC)**

96
97 **Motion to approve was presented by Commissioner Jones and seconded by Commissioner**
98 **Lucero.**

99
100 Staff presented facts of the case. Discussion followed.

101
102 **Roll Call Vote:**

103 Commissioner Jones – Yes
104 Commissioner Walkinshaw – Yes
105 Commissioner Salas – No
106 Commissioner Lucero – Yes
107 Commissioner Nevarez – No
108

109 **Motion passed**

- 110
111 c. **Sign Permit #0611433** – 2060 Calle de Parian submitted by Bader Jouda of Cannabis Tropical
112 LLC to put up temporary coming soon sign in the window, **Zoned: Historical Commercial**
113 **(HC)**
114

115 **Motion to approve was presented by Commissioner Jones and seconded by Commissioner**
116 **Lucero.**

117
118 Staff presented facts of the case. Discussion followed.
119

120 **Roll Call Vote:**

121 Commissioner Jones – Yes
122 Commissioner Walkinshaw - Yes
123 Commissioner Salas – No
124 Commissioner Lucero – Yes
125 Commissioner Nevarez – No
126

127 **Motion passed**

- 128
129 d. **BL#1015** – 1745 Avenida de Mercado submitted by Saul D. Burciaga-Molinar of Las Cruces
130 Primary Care for a business registration. **Zoned: Historical Commercial (HC).**
131

132 **Motion to approve was presented by Commissioner Nevarez and seconded by**
133 **Commissioner Jones.**

134
135 Staff presented facts of the case. Discussion followed. Condition to complete application.
136

137 **Roll Call Vote:**

138 Commissioner Jones – Yes
139 Commissioner Walkinshaw – Yes with condition
140 Commissioner Salas – Yes with condition
141 Commissioner Lucero – Yes
142 Commissioner Nevarez – Yes
143

144 **Motion passed with condition**

145
146 **Roll Call Vote for business license:**

147 Commissioner Jones – Yes
148 Commissioner Walkinshaw- Yes
149 Commissioner Salas- Yes
150 Commissioner Lucero- Yes
151 Commissioner Nevarez – Yes
152

153 Motion passed

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- e. **BL #1017** – 1725 Avenida de Mercado submitted by Danna Lara with Healthy Start Pediatrics, **Zoned: Historical Commercial (HR).**

Staff presented facts of the case. Discussion followed.

Roll Call Vote:

- Commissioner Jones – Yes
- Commissioner Walkinshaw - Yes
- Commissioner Salas – Yes
- Commissioner Lucero – Yes
- Commissioner Nevarez – Yes

Motion passed

- f. **PZHAC Case #061440-** 2242 Calle del Sur submitted by Henry Lucero to put up a fence on property, **Zoned: Historical Residential (HR).**

Staff presented facts of the case. Discussion followed. Case will be tabled.

Roll Call Vote:

- Commissioner Jones – Yes
- Commissioner Walkinshaw - Yes
- Commissioner Salas – Yes
- Commissioner Lucero – Yes
- Commissioner Nevarez – Yes

Motion passed to table case.

- g. **PZHAC Case#061442** – 2755 Calle de San Albino submitted by ETMSS 2, LLC to replace fence, **Zoned: Historical Residential (HR).**

Staff presented facts of the case. Discussion followed.

Roll Call Vote:

- Commissioner Jones – Yes
- Commissioner Walkinshaw - Yes
- Commissioner Salas – Yes
- Commissioner Lucero – Yes
- Commissioner Nevarez – Yes

Motion passed

- h. **BL #1018-** submitted by Melissa Clark of Desert Sky Realty & Investments, LLC for a business license, **Zoned: Historical Residential (HR).**

Staff presented facts of the case. Discussion followed.

Roll Call Vote:

- Commissioner Jones – Yes

204 Commissioner Walkinshaw - Yes
205 Commissioner Salas – Yes
206 Commissioner Lucero – Yes
207 Commissioner Nevarez – Yes
208

209 **Motion passed**

- 210
211 i. **STR #1019-** 1717 W. Boutz Rd. #3 submitted by Desert Sky Realty & Investments, LLC for a
212 short term rental registration, **Zoned: Historical Residential (HR).**
213

214 **Motion to approve was presented by Commissioner Jones and seconded by Commissioner**
215 **Nevarez.**
216

217 Staff presented facts of the case. Discussion followed.
218

219 **Roll Call Vote:**

220 Commissioner Jones – Yes
221 Commissioner Walkinshaw - Yes
222 Commissioner Salas – Yes
223 Commissioner Lucero – Yes
224 Commissioner Nevarez – Yes
225

226 **Motion passed**

- 227
228 j. **STR #1020-** 1717 W. Boutz Rd. #4 submitted by Desert Sky Realty & Investments, LLC for a
229 short term rental registration, **Zoned: Historical Residential (HR).**
230

231 **Motion to approve was presented by Commissioner Jones and seconded by Commissioner**
232 **Nevarez.**
233

234 Staff presented facts of the case. Discussion followed.
235

236 **Roll Call Vote:**

237 Commissioner Jones – Yes
238 Commissioner Walkinshaw - Yes
239 Commissioner Salas – Yes
240 Commissioner Lucero – Yes
241 Commissioner Nevarez – Yes
242

243 **Motion passed**

- 244
245 k. **STR# 1021-** 2188 Calle de Norte submitted by Desert Sky Realty & Investment, LLC for a short
246 term rental registration, **Zoned: Historical Residential (HR).**
247

248 **Motion to approve was presented by Commissioner Jones and seconded by Commissioner**
249 **Nevarez.**
250

251 Staff presented facts of the case. Discussion followed.
252

253 **Roll Call Vote:**

254 Commissioner Jones – Yes

255 Commissioner Walkinshaw - Yes
256 Commissioner Salas – Yes
257 Commissioner Lucero – Yes
258 Commissioner Nevarez – Yes

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261

Motion passed.

262 **l. PZHAC Case #061446-** 2415 Calle de Parian submitted by Robert Reynolds to install an HVAC
263 system. Zoned: Historical Residential (HR).

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**Motion to approve was presented by Commissioner Nevarez and seconded by
Commissioner Jones.**

267
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269

Staff presented facts of the case. Discussion followed.

270
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Roll Call Vote:

271 Commissioner Jones – Yes
272 Commissioner Walkinshaw - Yes
273 Commissioner Salas – Yes
274 Commissioner Lucero – Yes
275 Commissioner Nevarez – Yes

276
277
278

Motion passed.

279 **m. PZHAC Case# 061447-** 2525 Calle de Parian submitted by Camila Rodriguez to install roof
280 mounted solar system. **Zoned: Historical Residential (HR)**

281
282
283

**Motion to approve was presented by Commissioner Jones and seconded by Commissioner
Nevarez.**

284
285
286

Staff presented facts of the case. Discussion followed.

287
288

Roll Call Vote:

288 Commissioner Jones – Yes
289 Commissioner Walkinshaw - Yes
290 Commissioner Salas – Yes
291 Commissioner Lucero – Yes
292 Commissioner Nevarez – Yes

293
294
295

Motion passed.

296 **n. PZHAC Case# 061448-** 2309 Calle de San Albino #3 submitted by Marshall McGinley of
297 Cowboy Cannabis to put up a temporary sign in door and side window. **Zoned: Historical
298 Commercial (HC)**

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**Motion to approve was presented by Commissioner Jones and seconded by Commissioner
Nevarez.**

302
303
304

Staff presented facts of the case. Discussion followed.

305

Roll Call Vote:

306 Commissioner Jones – Yes
307 Commissioner Walkinshaw - Yes
308 Commissioner Salas – Yes
309 Commissioner Lucero – Yes
310 Commissioner Nevarez – Yes

311
312 **Motion passed.**

313
314 o. **PZHAC Case# 061449-** 2309 Calle de San Albino #3 submitted by Marshall McGinley of
315 Cowboy Cannabis to put up exterior double sided sign. **Zoned: Historical Commercial (HC)**

316
317 **Motion to approve was presented by Commissioner Jones and seconded by Commissioner**
318 **Nevarez.**

319
320 Staff presented facts of the case. Discussion followed.

321
322 **Roll Call Vote:**
323 Commissioner Jones – Yes
324 Commissioner Walkinshaw - Yes
325 Commissioner Salas – Yes
326 Commissioner Lucero – Yes
327 Commissioner Nevarez – Yes

328
329 **Motion passed.**

330
331 p. **PZHAC Case #061450-** 1212 Calle de El Paso submitted by John Campbell to re-roof
332 dwelling. **Zoned: Rural Farm (RF)**

333
334 **Motion to approve was presented by Commissioner Jones and seconded by Commissioner**
335 **Nevarez.**

336
337 Staff presented facts of the case. Discussion followed.

338
339 **Roll Call Vote:**
340 Commissioner Jones – Yes
341 Commissioner Walkinshaw - Yes
342 Commissioner Salas – Yes
343 Commissioner Lucero – Yes
344 Commissioner Nevarez – Yes

345
346 **Motion passed.**

347
348 q. **PZHAC Case# 061451-** 1901 Calle de Correo submitted by Brittany Bloch to build phase two of
349 Black Rat Tattoo. **Zoned: Historical Commercial (HC)**

350
351 **Motion to approve was presented by Commissioner Jones and seconded by Commissioner**
352 **Nevarez.**

353
354 Staff presented facts of the case. Discussion followed.

355
356 **Roll Call Vote:**

357 Commissioner Jones – Yes
358 Commissioner Walkinshaw – Yes with condition
359 Commissioner Salas – pass/did not get the information
360 Commissioner Lucero – Yes with condition
361 Commissioner Nevarez – Yes with condition

362
363 **Motion passed with condition.**
364

365 **7. COMMISSIONERS/STAFF COMMENTS**

366 Commissioner Nevarez commented on cannabis ordinance and urges the town to consider
367 looking at it regarding distance to avoid any issues in the future; revise the orders as needed.
368 Commissioner Jones expressed he planned his day to attend the meeting in the afternoon and
369 asked if advance notice can be given. Mr. Padilla stated the information was provided in the
370 packet and discussed at previous meetings that the meetings were originally held in the evening
371 and was moved due to covid. Commissioner Lucero stated she adjusted her own schedule to
372 attend during the day. She asks that their opinions be taken into consideration and stated that
373 typically the process is that majority rules. Commissioner Nevarez asked if a separate email can
374 be sent in addition to having the information in the packet as to the time for the meeting. Madam
375 Mayor commented that ordinance likely still says meetings are at 6 pm on Mondays and when
376 there is a holiday the meetings will be held on Tuesday. Madam Mayor saw there were issues
377 with having a quorum and the Board of Trustees had a meeting to move the meetings back to 6
378 p.m. and it was noted a few meetings back to the Commissioners that meetings would be moved.
379 If it is written in the ordinance, then an amendment will need to be submitted and a process will
380 need to take place to change what is stated in the ordinance. Commissioner Lucero received
381 noticed that Mr. Jones will not be present September 19th as he will be out of the country. Mr.
382 Padilla asked who will attend the Taos planning and zoning meeting from September 14 through
383 the 16th. Commissioner Walkinshaw will not be attending. Commissioner Lucero is attending.
384

385 **8. ADJOURNMENT**

386
387 Meeting adjourned at 7:30PM.
388

389 **APPROVED THIS 6th DAY OF SEPTEMBER 2022**

390
391
392
393
394
395 _____
396 **Yolanda Lucero**
397 **Chair**

398
399 **ATTEST:**

400
401
402 _____
403 **Rani Bush**
404 **Town Clerk-Treasurer**

BOARD ACTION FORM

AGENDA DATE

PZHAC: September 19, 2022,

BOT:

ITEM: PZHAC Case #061231 – 22360 Calle Principal submitted by Cheryl Blevins to repair existing adobe wall, **Zoned: Historical Commercial (HC).**

BACKGROUND AND ANALYSIS: Proposed work involves replacing and constructing adobe wall that is deteriorating . As per site plan in the packet.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 06231

Fee \$ 80.⁰⁰

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

Rec. #171890

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 06231 ZONE: HC CODE: MI APPLICATION DATE: 6/7/21

Cheryl & Paul Blevins 575 650 8530
Name of Property Owner Property Owner's Telephone Number

PO Box 96 Mesilla, NM 88046
Property Owner's Mailing Address City State Zip Code

SPOTBLEV @ CATTWINK.NET
Property Owner's E-mail Address

PAUL TAYLOR INC.
Contractor's Name & Address (If none, indicate Self)

575 526 7995 02131095 005 Lic # 365860
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2360 CALLE PRINCIPAL

Description of Proposed Work: Adobe repair to existing wall, rear of property.
NO COLOR CHANGE
NO ARCHITECTURAL CHANGE

\$ 3,000 Paul Taylor 6/7/21
Estimated Cost Signature of Applicant Date

Signature of property owner: Cheryl Blevins Paul Taylor

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: ___ YES NO

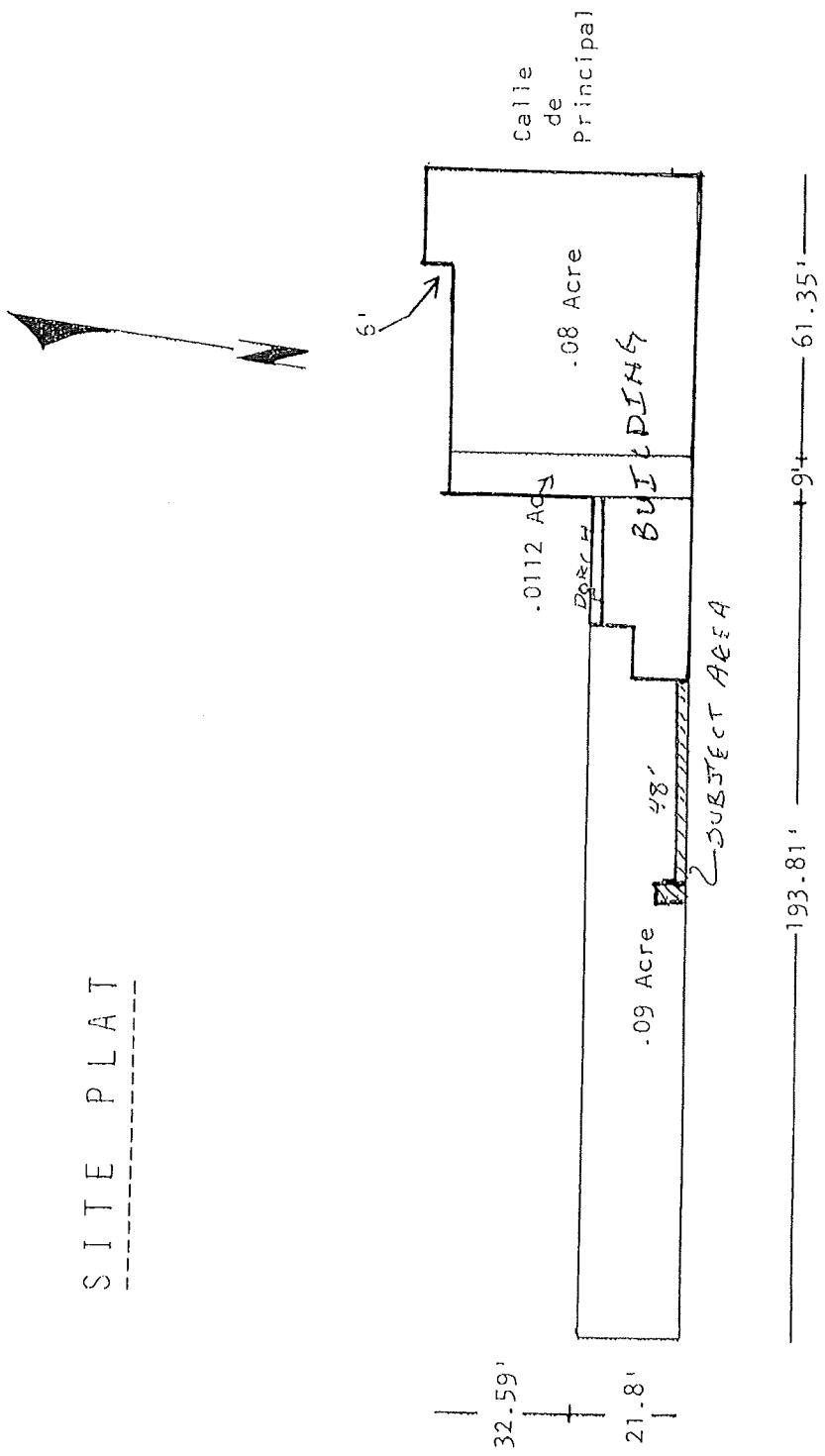
CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO APPEARANCE OR STYLE OF WALL

PERMISSION ISSUED DENIED BY: L. Shum ISSUE DATE: 6/15/21

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Site Plan with dimensions and details.
 3. Foundation plan with details.
 4. Floor plan showing rooms, their uses and dimensions.
 5. Cross section of walls
 6. Roof and floor framing plan
 8. Proof of legal access to the property.
 9. Drainage plan.
 10. Details of architectural style and color scheme (checklist included for Historical zones) -- diagrams and elevations.
 11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. Proof of legal access to the property.
 13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

SITE PLAT



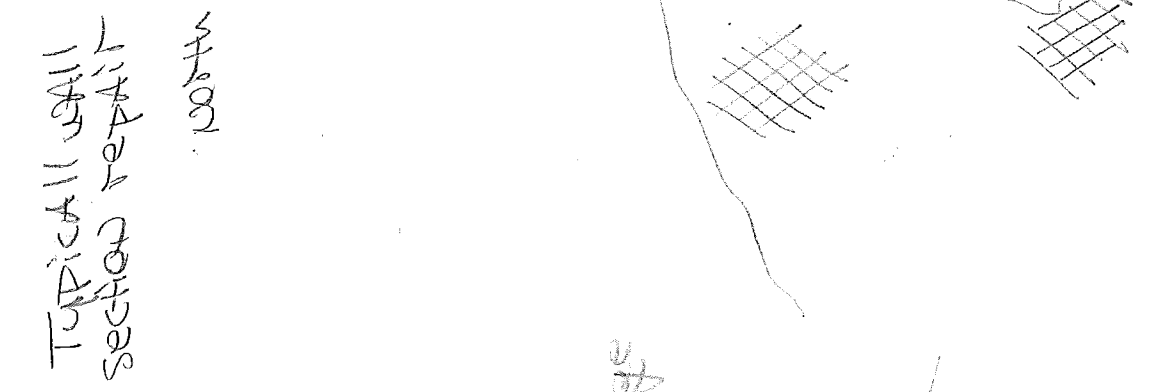
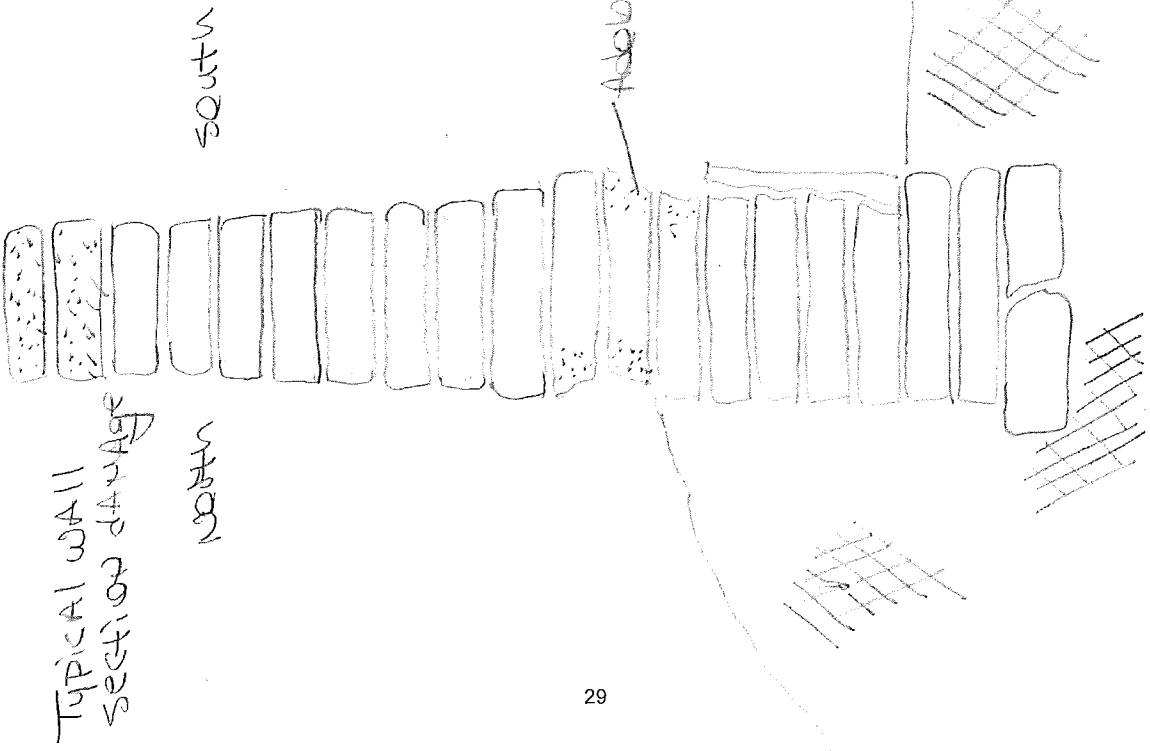
SCALE: 1" = 40'

2360
CALLE PRINCIPAL

For Visual Aid Only.

Bowlip rear Adobe wall

6/7/01



BOARD ACTION FORM

AGENDA DATE

PZHAC: September 19, 2022

BOT:

ITEM: PZHAC Case #061235 – 1912 Calle Santiago submitted by Robert Tustin to repair adobe wall, **Zoned: Historical Commercial (HC).**

BACKGROUND AND ANALYSIS: Proposed work involves replacing and constructing adobe wall that is deteriorating. As per site plan in the packet.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant’s request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant’s property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

BOT ✓

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061235
Fee \$ 129⁰⁰

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061235 ZONE: HC CODE: _____ APPLICATION DATE: _____

Robert Tustin 575 526 1248
Name of Property Owner Property Owner's Telephone Number

11320 SE LINCOLN ST PORTLAND OR 97216
Property Owner's Mailing Address City State Zip Code

206+524@ziaret.com
Property Owner's E-mail Address

DAI TAILOR DO BOX 673 MESILLA, NM 88046
Contractor's Name & Address (If none, indicate Self)

575 526 7005 02131005 005 LC# 365860
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 1912 CALE SALT HAY

Description of Proposed Work: REPAIR OF BASE OF WALLS (ALL 6 BASE) REPAIR 2 1/2 FEET AT BASE) WITH PLASTER. ALL BE GROUP WILL BE PAINTED TO MATCH TO THE FUTURE. ~~NO~~

6,000 Robert Tustin 6/15/2021
Estimated Cost Signature of Applicant Date

Signature of property owner: Robert Tustin

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: 07.26.2021
 Approved Date: 07.12.2021 Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. _____ Site Plan with dimensions and details.
3. _____ Foundation plan with details.
4. _____ Floor plan showing rooms, their uses and dimensions.
5. _____ Cross section of walls
6. _____ Roof and floor framing plan
7. _____ Proof of legal access to the property.
8. _____ Drainage plan.
9. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. _____ Proof of legal access to the property.
12. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

Property Record Card

Dofia Ana Assessor

TUSTIN ROBERT LEE
11320 SE LINCOLN ST
PORTLAND, OR 97216

Account: R0400337
Tax Area: 2DIN_R - 2DIN_R
Acres: 0.000

Parcel: 4-006-137-253-405
Situs Address:
1912 CALLE DE SANTIAGO
Mesilla, 88046

Neighborhood S11 - MESILLA

Legal Description

S: 25 T: 23S R: 1E BRM 11A TR 19B



Land Occurrence 1

Property Code	0100 - RESIDENTIAL LAND	Electricity	OE - OVER-ELECTRC
Gas	G - GAS	Mensure	SF - PER-SQ-FOOT
Sewer Type	CM - COMM-SEWER	Street Code	A - ASPHALT
Topography Code	L - LEVEL	SQFT	5227
Zoning	HC - HIST-COMMERL		

SubArea	ACTUAL	EFFECTIVE	HEATED	FOOTPRINT
Sq Ft				
Total				

Residential Occurrence 1

Property Code	0120 - RESIDENTIAL IMPROVEMENT	Actual Year Built	1800
Architectural Style	PB - PUBBLO	Baths	1
Bedrooms	2	Building Type	PS - PRNCPL-SNGLE
Condition	AVERAGE	Construction Quality	F - FAIR
Heating Fuel	G - GAS	Heating Type	NH - NO-HEAT
Percent Complete	100	Roof Cover	PR - PR-ROLL
Roof Structure	F - FLAT	Stories	1.0
Exterior Wall	AS - ADOBE-STUCOD	Percent	100

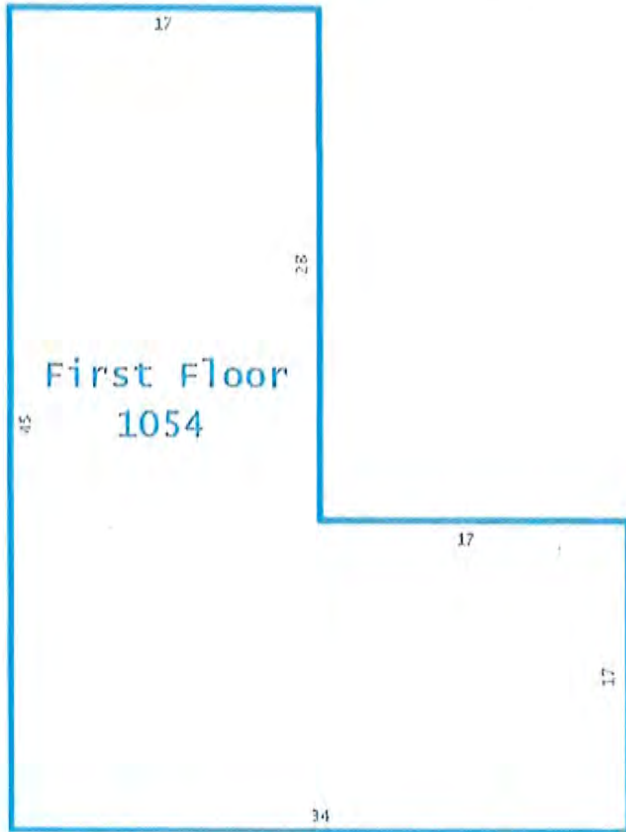
Property Record Card

Doña Ana Assessor

Residential Occurrence 1

Interior Wall AD - ADOBE

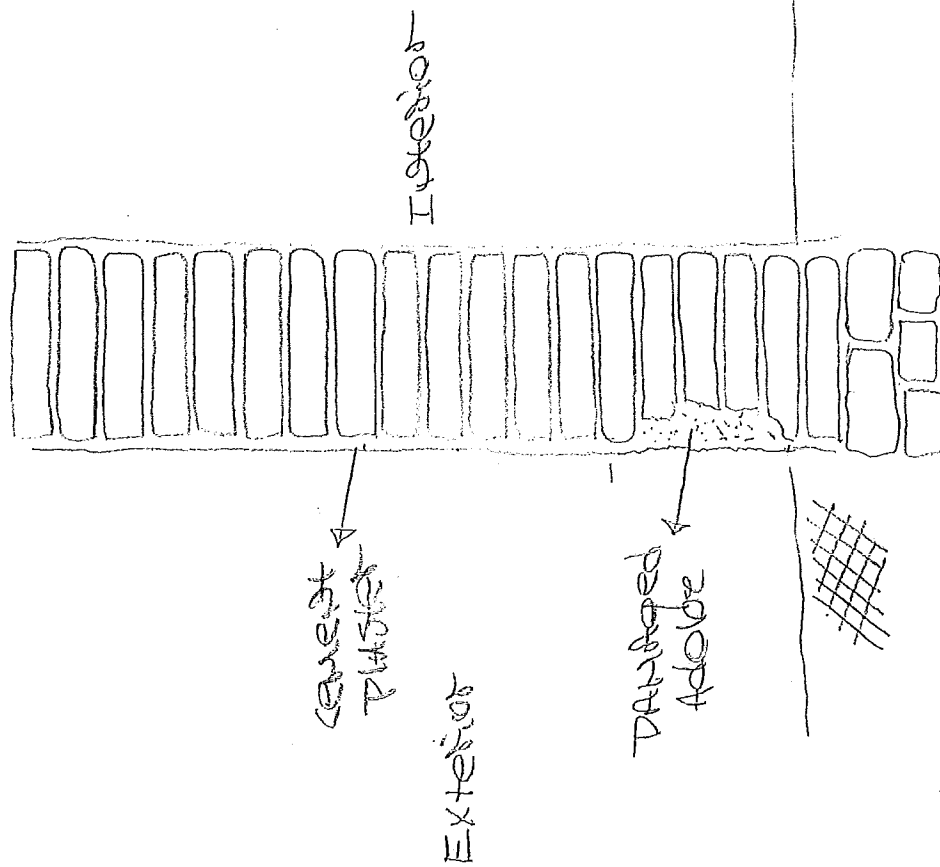
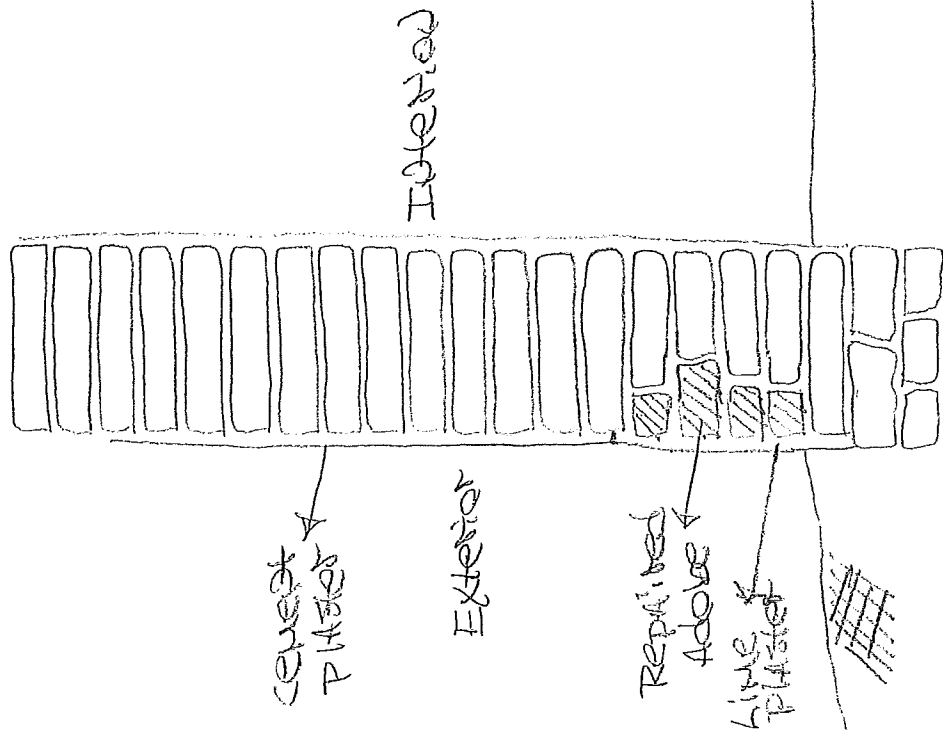
SubArea	ACTUAL	EFFECTIVE	HEATED	FOOTPRINT
GLA1 - First Floor	1054.0	1054.0	1054.0	1054.0
Total	1,054.00	1,054.00	1,054.00	1,054.00



Assessment History

Type	Actual	Assessed
Residential Land	\$21,419	\$7,140
Residential Improvement	\$11,734	\$3,911
Actual (2021)	\$33,153	
Primary Taxable		\$11,051
Exemption Adjustments		
Veteran		(\$4,000)
Adjusted Taxable Total		\$7,051

Robert T. [unclear]



BOARD ACTION FORM

AGENDA DATE

PZHAC: September 19, 2022,

BOT:

ITEM: PZHAC Case #061431 – 3367 Estrada Rd. submitted by Oscar Gomez to replace existing doors, windows, and build new front and back patios, **Zoned: Rural Farm (RF)**

BACKGROUND AND ANALYSIS: Proposed work involves replacing and replace existing doors, windows, and build new front and back patios. As per site plan in the packet.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:
Case # 061431
Fee \$ 290.00

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061431 ZONE: RA CODE: HC APPLICATION DATE: 7-1-22



Cesar D. Gomez 915-549-7335

Name of Property Owner 6645 Paseo de Paz Anthony Property Owner's Telephone Number NM 88021

Property Owner's Mailing Address City State Zip Code
clgsgomez@gmail.com

Property Owner's E-mail Address SELF

Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 3367 Estrada Rd.

Description of Proposed Work: Please see attached description of proposed work

\$ 20,000 Estimated Cost [Signature] Signature of Applicant 6/29/22 Date

Signature of property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. _____ Site Plan with dimensions and details.
3. _____ Foundation plan with details.
4. _____ Floor plan showing rooms, their uses and dimensions.
5. _____ Cross section of walls
6. _____ Roof and floor framing plan
8. _____ Proof of legal access to the property.
9. _____ Drainage plan.
10. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. _____ Proof of legal access to the property.
13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

A. Completed application, including:

1. Applicant's name
2. Applicant/property owners contact information
3. Physical address of property
4. Description of work to be done, including dimensions of any construction or repairs
5. Value of work to be done
6. Property owner's signature on the application

B. Include all information required in the checklist at the bottom of the application.

C. Additional information required:

 Pull a full permit for CID or
 section permits out should have one for
 each building or group then to complete as one

Cesar D Gomez
3367 Estrada
Mesilla, NM 88005
915-549-7335

Description of work:

- Paint exterior of all buildings, utilizing elastomeric paint-off white.
- Replace existing windows with vinyl double pane low-E windows.
- Replace existing metal roof on unit D with new corrugated galvalume metal roof panels from Mueller. Installation will be as per manufacturer installation recommendations.
- Replace existing exterior doors with solid core exterior wooden doors.
- Replace existing barn doors with new glass garage doors.
- Build new front and back patios
 - As per included drawing details

→ Price Quotes

→ Price Quotes and plans

BOARD ACTION FORM

AGENDA DATE

PZHAC: September 19, 2022,

BOT:

ITEM: PZHAC Case #061440 – 2242 Calle de Sur submitted by Henry Lucero to put up field fence on property, **Zoned: Historical Residential (HR).**

BACKGROUND AND ANALYSIS: Proposed work involves adding gaucho fence on property. As per site plan in the packet.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

**TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT**

Permit Fee \$ 58.00
Review Fee \$ 10.00
Total Fee \$ 68.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061440 ZONE: HR CODE: AC APPLICATION DATE: 8-15-22



Name of Property Owner: Henry R. Lucero Property Owner's Telephone Number: 626-483-1821
 Property Owner's Mailing Address: 70 N Main St City: Pima State: AZ Zip Code: 85543
 Property Owner's E-mail Address: hankj2lucero@yahoo.com
 Contractor's Name & Address (if none, indicate Self): Self

Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2242 Calle del Sur Mesilla 88046

Description of Proposed Work: tree fencing Gaucho High Tensile Field Fence

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. ___ Foundation plan with details.
4. ___ Floor plan showing rooms, their uses, and dimensions.
5. ___ Cross section of walls.
6. ___ Roof and floor framing plan.
7. ___ Proof of legal access to the property.
8. ___ Drainage plan.
9. ___ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ___ Proof of legal access to the property.
12. ___ Other information as necessary or required by the Town Code or Community Development Department.

Estimated Cost: \$ 1,000.00 Signature of Applicant: Henry R Lucero / Julie Lino Date: 8-10-2022

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES ___ NO BOT APPROVAL REQUIRED: YES ___ NO
 CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

WALL

GATE

WALL

EASEMENT

PROPERTY BY OTHERS

PROPERTY LINE

46'0"

PECAN TREES

79'6"

46'0"

ROSA LUCERO

APT E & F

HELVY LUCERO

APT C & D

ESTHER LUCERO

APT A & B

TREES POSTS EVERY 10'

DRIVE WAY

133'0"

185'0"

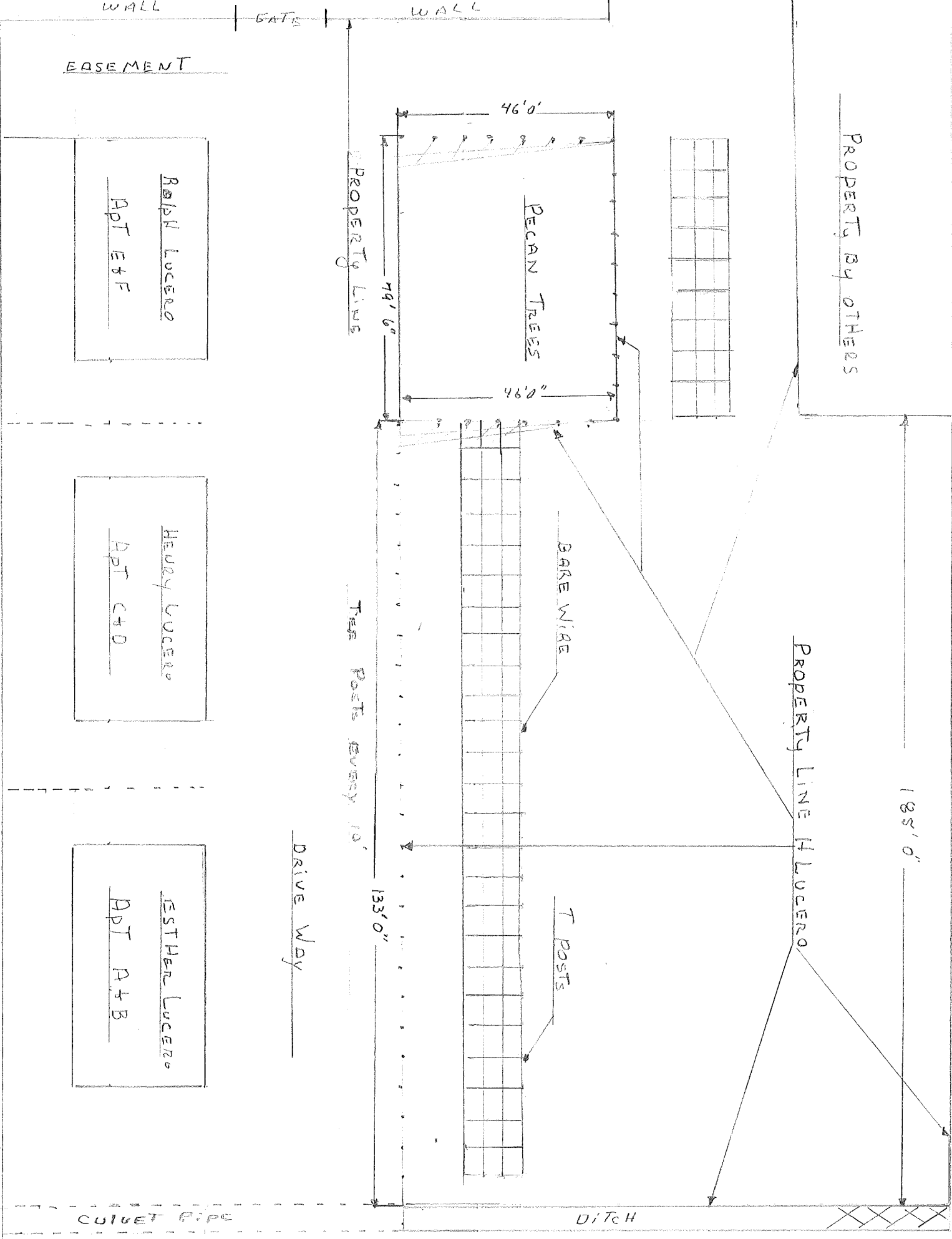
PROPERTY LINE H LUCERO

BARE WIRE

T POSTS

CULVERT PIPE

DITCH



Parque de Los Leones



Calle De Santa Ana

Iron Works Unlimited
Temporarily closed

2242 Calle Del Sur,
Mesilla, NM 88046

Calle Segunda

Calle Del Sur

New Mexico State Rd 101

Mesilla Lateral





Explore Features | Need Help? | Call 1-800-333-3951 or Text 78495

Pro You're shopping in Las Cruces **OPEN until 10 pm** Delivering to 88046 Hello Julio Cart

You're shopping
Las Cruces
 OPEN until 10 pm

Delivering to
 88046

Home / Outdoors / Garden Center / Garden Fencing

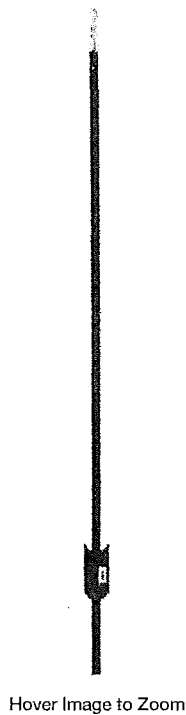
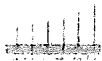
Internet #205960892 Model #901176EB UPC Code #099713049062 Store SKU #37

Best Seller

Everbilt

1-3/4 in. x 3-1/2 in. x 6 ft. Green Steel Fence T-Post

★★★★☆ (648) Questions & Answers (62)



MALTY TO BE
USED 45 T POST
APP^{ROX} 4⁰⁰ EA.
TOTAL COST^{APPROX} 315⁰⁰

Live Chat
 Feedback

BULK PRICE

\$6.97

Buy 75 or more \$6.27

Las Cruces Store

✓ 849 in stock Aisle 24, Bay 006 Text to Me

Bekaert Gaucho High Tensile Field Fence, 118155

4.5 (764) SKU: 360687199 Reviews Questions & Answers Product Details Specifications



Ship To Store

Thatcher AZ Change Store
Oversize Items Shipped to Store may incur freight charge.
Check availability at nearby stores

Standard Delivery

Notice: This item will ship within 2 days.
This product may require up to 2 additional days for order processing prior to shipping.
Oversize Delivery - Additional fees may apply.

Same Day Delivery

Item is currently not available for Same Day Delivery.
Check other delivery options.

Click on image for larger fullscreen view.

\$239.99

No Interest if Paid in Full Within 6 Months Learn More

As a Neighbor, you are eligible to earn 1 point per dollar on this purchase. Join Now

Free standard delivery to your local TSC store. Some exclusions apply.... Learn More

Bulk Discount buy 10 get 5% off each. Learn More

Quantity selector: - 1 +

Add to Cart button

Contactless Curbside / Pickup and Delivery Information Add to list

BOARD ACTION FORM

AGENDA DATE

PZHAC: September 19, 2022,

BOT:

ITEM: PZHAC Case #061452 – 2282 Calle de Oeste submitted by Mariana Gallegos to place a temporary storage box on the property, **Zoned: Historical Residential (HR).**

BACKGROUND AND ANALYSIS: Proposed work involves putting a temporary storage box on property for twelve months or less. As per site plan in the packet.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 90.00
 Review Fee \$ 16.00
 Total Fee \$ 106.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061452 ZONE: HR CODE: MI APPLICATION DATE: 9-3-2022



Name of Property Owner: Mariana G. Gallegos Property Owner's Telephone Number: (575) 496-0841
 P.O. Box 364 City: Mesilla State: N.M. Zip Code: 88046

Property Owner's Mailing Address: N/A

Property Owner's E-mail Address: _____

Contractor's Name & Address (If none, indicate Self): Self

Contractor's Telephone Number: _____ Contractor's Tax ID Number: _____ Contractor's License Number: _____

Address of Proposed Work: 2282 Calle Del Oeste

Description of Proposed Work: Temporary storage box. South West corner of Property

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Foundation plan with details.
4. ___ Floor plan showing rooms, their uses, and dimensions.
5. ___ Cross section of walls.
6. ___ Roof and floor framing plan.
7. ___ Proof of legal access to the property.
8. ___ Drainage plan.
9. ___ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ___ Proof of legal access to the property.
12. ___ Other information as necessary or required by the Town Code or Community Development Department.

Estimated Cost: \$ 4000 Signature of Applicant: Mark Lane Son & POA Date: 9-3-2022

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES ___ NO BOT APPROVAL REQUIRED: YES ___ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____



BOARD ACTION FORM

AGENDA DATE

PZHAC: September 19, 2022,

BOT:

ITEM: PZHAC Case #061453 – 1910 Calle de Parian submitted by Lillian Grijalva to repair adobe wall, **Zoned: Historical Commercial (HC).**

BACKGROUND AND ANALYSIS: Proposed work involves replacing and constructing adobe wall that is deteriorating. As per site plan in the packet.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 110.00
 Review Fee \$ 19.00
 Total Fee \$ 129.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104



CASE NO. 001453 ZONE: HC CODE: MI APPLICATION DATE: 9/6/22

LILLIAN GRIJALVA 575-621-5265
 Name of Property Owner Property Owner's Telephone Number

LILLIAN GRIJALVA 1810 HALFMOON, LAS CRUCES, N.M. 88005
 Property Owner's Mailing Address City State Zip Code

lilgrijalva@gmail.com
 Property Owner's E-Mail Address

SELF
 Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 1910 CALLE DE PARION

Description of Proposed Work: REPAIR OF INTERIOR AND EXTERIOR ADOBE WALLS, FINISHING
REPAIRS WITH SAME COLOR PAINT AND REPAIRING ONE AREA OF
FLOORING THAT NEEDS REPAIRING TO SAME CONDITION.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

\$5000 - 7000 [Signature] 8/31/22
 Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____



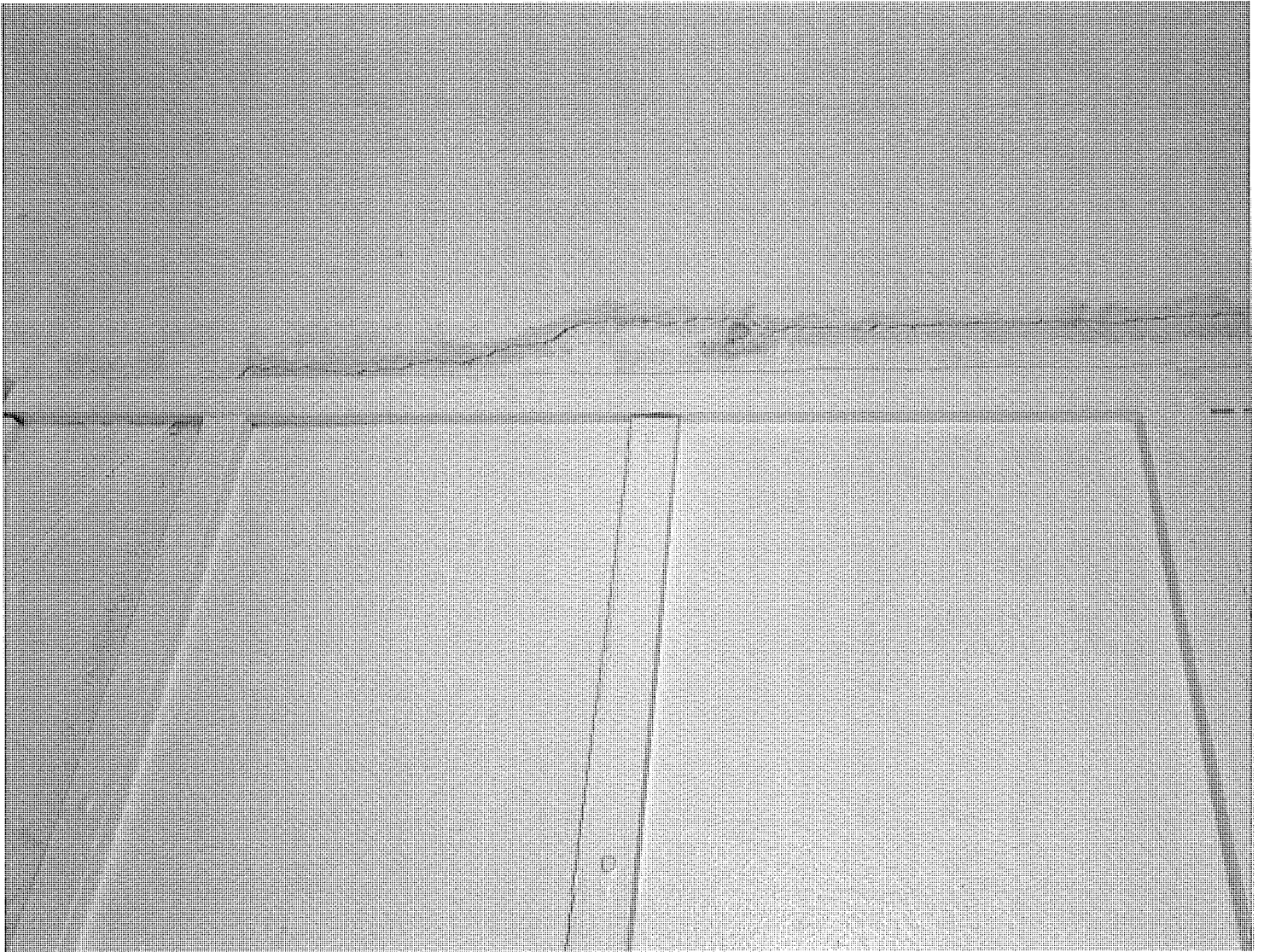
Show search results for 1910 C...



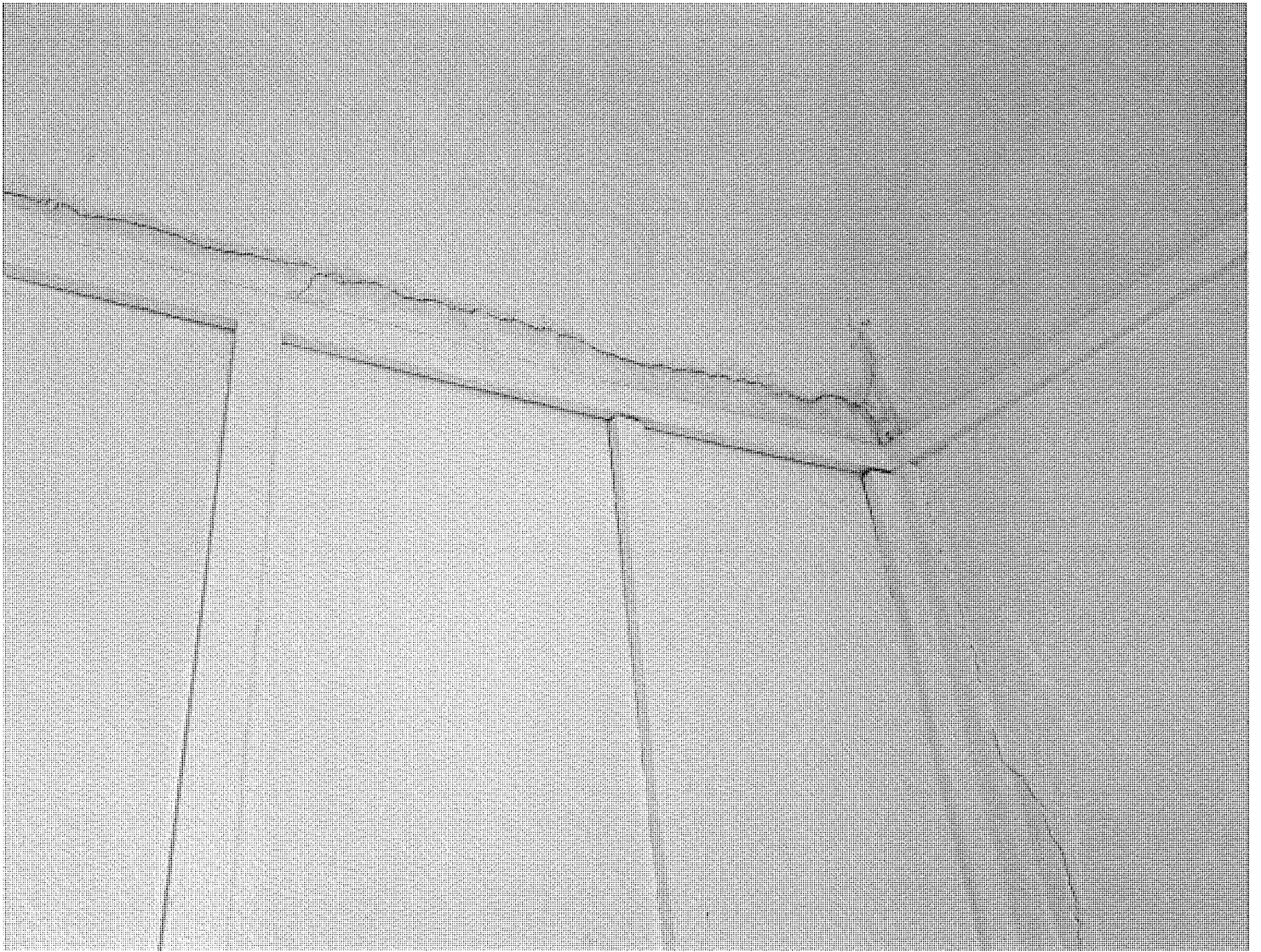
0 20 40ft
-106.794 32.275 Degrees







Clarification of what this is
Wall or Ceiling



BOARD ACTION FORM

AGENDA DATE

PZHAC: September 6, 2022,

BOT:

ITEM: BL #1027 – SW Mesilla Dam Trl 5 MILE. submitted by Dina Marre Ramirez for a home cleaning business license.

BACKGROUND AND ANALYSIS: The applicant proposes to do business in Mesilla as home cleaning service.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- State of New Mexico Taxation & Revenue Dept. Registration Certificate



2231 Avenida de Mesilla
P.O. Box 10
Mesilla, NM 88046

No.: 1027

Phone: (575) 524-3262 Fax: (575) 541-6327

Business Registration Application

Please fill out all the information on this form by typing or using blue or black ink. Return update form to the Community Development's Office in person, by email, fax or mail. Please contact us at (575) 524-3262 with any questions. **Note:** A separate business registration application form should be completed for each business location.

Please check one: Business Registration Application Is: New Renewal

Name of Business: LORENZO - DIMARI

Name of Applicant: DINA - MARRE (MARRE)

Business Location: SW MESILLA DAM + RL 5 MILE Los Cuesos NM

Mailing Address (Street # or P.O. Box): MESILLA PARK - P.O. BOX 222
88047

E-Mail Address: DINA.MARRE1@Cloud.com

City: Los Cuesos State: NM Zip Code: 88047

Phone # of Business: 575-449-5223

Location of Business: Street SW MESILLA DAM + RL - 5 MILE 4217 County Rd. LCNM 88005

City: Los Cuesos State: NM Zip Code: 88005

PROPERTY INFORMATION

Is property: owned leased

Property Owner: _____

Property Owner Address: SW MESILLA DAM + RL 5 MILE
Los Cuesos NM

Property Owner Phone #: 575-449-5223

Additional Information

Square Footage of Business: _____

Number of Employees: _____

Number of Parking Spaces: _____

Zoning Code: _____

Continue to next page>>>>

Fire Department Inspection Verification

Schedule fire and building inspections AFTER Town staff provides approved application back to you in the following order: 1) Mesilla Fire Marshall's Office (FMO) 575-523-1311. Please retain the Yellow Fire Inspection Report issued by FMO.

A legible copy of the YELLOW Fire Inspection Report issued by FMO, must be returned by the applicant to the Community Development office.

Fire Department Representative Verification: _____

Fire Inspection Date: _____

Approved: Yes _____ No _____

LORENZO-DIMARI
PO BOX 222
MESILLA PARK, NM 88047-0222

August 4, 2022
NM Business Tax ID:
03-595343-00-8
Letter ID: L0830824560

STATE OF NEW MEXICO TAXATION AND REVENUE DEPARTMENT
REGISTRATION CERTIFICATE

Date ID Issued 06-Aug-2022	IDENTIFICATION NUMBER 03595343008-GRT	Business Start Date 06-Aug-2022
Business Location SW MESILLA DAM TRL 5 MILE	Business End Date	
City and State LAS CRUCES, NM	Zip Code 88005-0000	
Taxpayer Name DINA E MARRE RAMIREZ	Taxpayer Type PROPRIETOR	
Firm Name LORENZO-DIMARI	Filing Frequency Semiannual	
Mailing Address PO BOX 222		
City and State MESILLA PARK, NM	Zip Code 88047-0222	

This Registration Certificate is issued pursuant to Section 7-1-12 NMSA 1978 for Gross Receipts, County Gross Receipts, and Municipal Gross Receipts Taxes. This copy must be displayed conspicuously in the place of business. Any purchaser of the registrants business is subject to certain requirements under Section 7-1-61 NMSA 1978.

Cabinet Secretary

By 

Any inquiries concerning your Identification Number should be addressed to the Audit & Compliance Division, P.O. Box 630, Santa Fe, New Mexico 87504-0630

Form Revised 02/2003

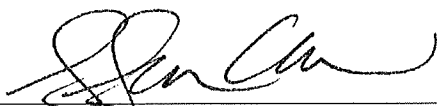
THIS CERTIFICATE IS NOT TRANSFERABLE

STATE OF NEW MEXICO TAXATION AND REVENUE DEPARTMENT
REGISTRATION CERTIFICATE

Date ID Issued 06-Aug-2022	IDENTIFICATION NUMBER 03595343008-GRT	Business Start Date 06-Aug-2022
Business Location SW MESILLA DAM TRL 5 MILE	Business End Date	
City and State LAS CRUCES, NM	Zip Code 88005-0000	
Taxpayer Name DINA E MARRE RAMIREZ	Taxpayer Type PROPRIETOR	
Firm Name LORENZO-DIMARI	Filing Frequency Semiannual	
Mailing Address PO BOX 222		
City and State MESILLA PARK, NM	Zip Code 88047-0222	

This Registration Certificate is issued pursuant to Section 7-1-12 NMSA 1978 for Gross Receipts, County Gross Receipts, and Municipal Gross Receipts Taxes. This copy must be displayed conspicuously in the place of business. Any purchaser of the registrants business is subject to certain requirements under Section 7-1-61 NMSA 1978.

Cabinet Secretary

By 

Any inquiries concerning your Identification Number should be addressed to the Audit & Compliance Division, P.O. Box 630, Santa Fe, New Mexico 87504-0630

Form Revised 02/2003

THIS CERTIFICATE IS NOT TRANSFERABLE

BOARD ACTION FORM

AGENDA DATE

PZHAC: September 19, 2022,

BOT:

ITEM: PZHAC Case #061454 – 2128 Calle de los Huertos submitted by Helen Williamson Revocable Trust to relocate well water circuit, **Zoned: Historical Residential (HR).**

BACKGROUND AND ANALYSIS: Proposed work involves relocate water well circuit, As per site plan in the packet.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 80.00
 Review Fee \$ 15.00
 Total Fee \$ 95.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104



CASE NO. 061454 ZONE: HR CODE: MF APPLICATION DATE: 9-6-22

Helen Williamson Revocable Living Trust 575-202-1057
 Name of Property Owner Property Owner's Telephone Number

PO Box 613 Mesilla NMex 88046
 Property Owner's Mailing Address City State Zip Code

PO Box 613 Les.williamson@yahoo.com
 Property Owner's E-mail Address

Mesilla Park Services 6000 S. Main St. Ste. A Mesilla Park, NM 88047
 Contractor's Name & Address (If none, indicate Self)

(575) 915-5365 873425000 406933
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2128 Calle de los Huertos

Description of Proposed Work: Re locate Water Well circuit from 2532 Calle Del Norte electric panel to a panel on 2128 Calle de los Huertos. Dig a 70' trench 20" deep, 12" wide to run conduit underground from the well house to the duplex on 2128 Calle de los Huertos.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

\$2,539 Les Williamson 9/2/22
 Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

Residential Optional Calculation

9/25/1997

2128 calle de Los Huertos., Les Williamson

by John Sokala

Version 2011 L

STEP 1 Article 220.82 (B) (1),(2)

Yellow Bird Services LLC

Table with columns: sq. ft, General Lighting load, Small Appliance, Laundry circuit, Gen.Lgt, Sm App.& Laun. Load, VA

351 N 17th Street
Las Cruces NM 88005
575-523-8089

8/22/2022 16:57 # 380200

STEP 2 Article 220.82 (C)

General lighting, Sm. Appl. & Laundry 11,601 VA

A/C Condenser & Fixed Electric Space Heating

QTY

Total 0

Table with columns: A/C #, VA, AHU, Select, VA, Qty

Table with columns: Heating Load, CU Load, VA

Electric Space Heat @ 65% <4, 40% >3, vs. A/C @ 100% VA

STEP 3 Article 220.82 (B) (3)

Appliance Demand Load 12,431 VA

Table with columns: VA, Qty, Description, VA

Dryer Demand Load 5,000 VA

Range Demand Load VA

Service Demand 17,613 VA

Demand Load 73 A

Neutral Demand 86 A

Min.Service Req. 100 A

Min. Feeder size 4

Min. Neutral size 3

Eq. Grding Cond. 8

Copper

Total Appliance Load 12,431 VA

STEP 4 Article 220.82 (B) (3)

Electric Clothes Dryers 5,000 VA

STEP 5 Article 220.82 (B) (3)

Electric Ranges 8,000 W Col C demand 8000

Number of appliances 0

Cooktop Col B demand

Cooktop Col B demand

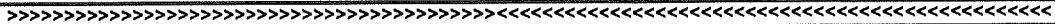
Oven(s) Col B demand

Oven(s) Col B demand

Number of appliances 0 Dem. Factor

Cooktop & Oven Demand Load

imp1jds@comcast.net



Pool Panel Feeder Calculation (See Note)

Table with columns: Description, VA, A, B, N

Continuous Motors

Non-continuous Motors

Table with columns: select, 240v

0.0 Motor Neutral Load

Max.Unbalanced Neutral Load



Imagery ©2022 Maxar Technologies, Map data ©2022 20 ft



2128 Calle De Los Huertos

Mesilla, NM 88046

Building



Directions



Save



Nearby



Send to
phone



Share

Photos

Yellowbird Services

Quotation

"TELL THEM A LITTLE BIRD SENT YOU"

6000 South Main
Mesilla Park, NM. 88047
1-575-523-8089

DATE July 26, 2022
Quotation # 10001
Customer ID Williamson

Bill To:

Les Williamson
2532 Calle Del Norte
Las Cruces, NM 88005
(575)202-1057

Quotation valid until: August 5, 2022

Prepared by: Matthew Salas

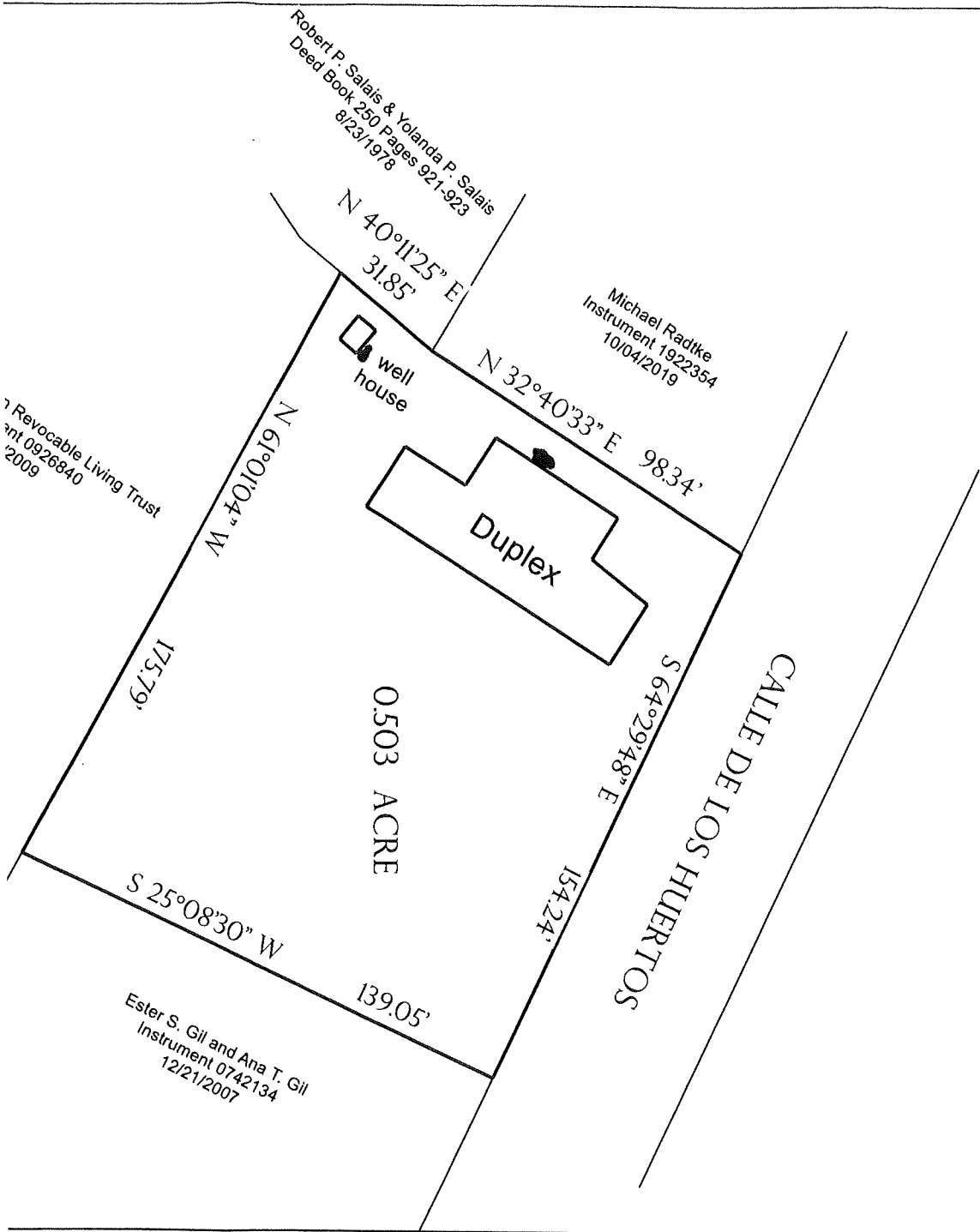
Comments or special instructions:

None

Description	AMOUNT
Electrical Trench \$12.00 per Foot @ 70' w/ Materials	\$840
CT Module & Installation	\$499
Ground Crew & Electrician Labor	\$1,200
TOTAL	\$ 2,539.00

THANK YOU FOR YOUR BUSINESS!

PLAT OF SURVEY SHOWING LOCATION OF IMPROVEMENTS ON
0.503 ACRE TRACT
IN SECTION 25, T.23S, R.1E, N.M.P.M., USRS. SURVEYS
DESIGNATED AS PART OF USRS. TRACT IIA-199
IN THE TOWN OF MESILLA,
DONA ANA COUNTY, NEW MEXICO



BOARD ACTION FORM

AGENDA DATE

PZHAC: September 19, 2022,

BOT:

ITEM: PZHAC Case #061455 – 3116 Hwy 28 submitted by Lama Properties, LLC, to finish remodel to existing structure, **Zoned: Residential Agricultural (RA).**

BACKGROUND AND ANALYSIS: Proposed work involves finishing remodel to existing structure.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061455
 Fee \$ 118.00
 Fee \$ 100.00
 Rev \$18.00

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104



CASE NO. 061455 ZONE: RA CODE: MI APPLICATION DATE: 9-7-22

Lama Properties, LLC. (575) 649-1356
 Name of Property Owner Property Owner's Telephone Number

780 S. Walnut #6, Las Cruces, NM. 88001
 Property Owner's Mailing Address City State Zip Code

nfristoe@fristoeandcompany.com
 Property Owner's E-mail Address

Lizard Stone Builders, LLC., Daniel Clements, 500 El Prado Ave
 Contractor's Name & Address (If none, indicate Self)

(575) 313-5962 03-137694-00-0 357522
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 3116 Hwy 28, Mesilla, NM.

Description of Proposed Work: Finish the remodel of an existing structure into a workshop/carport.

\$5,000.00 D. T. Cea 9/8/2022
 Estimated Cost Signature of Applicant Date

Signature of property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

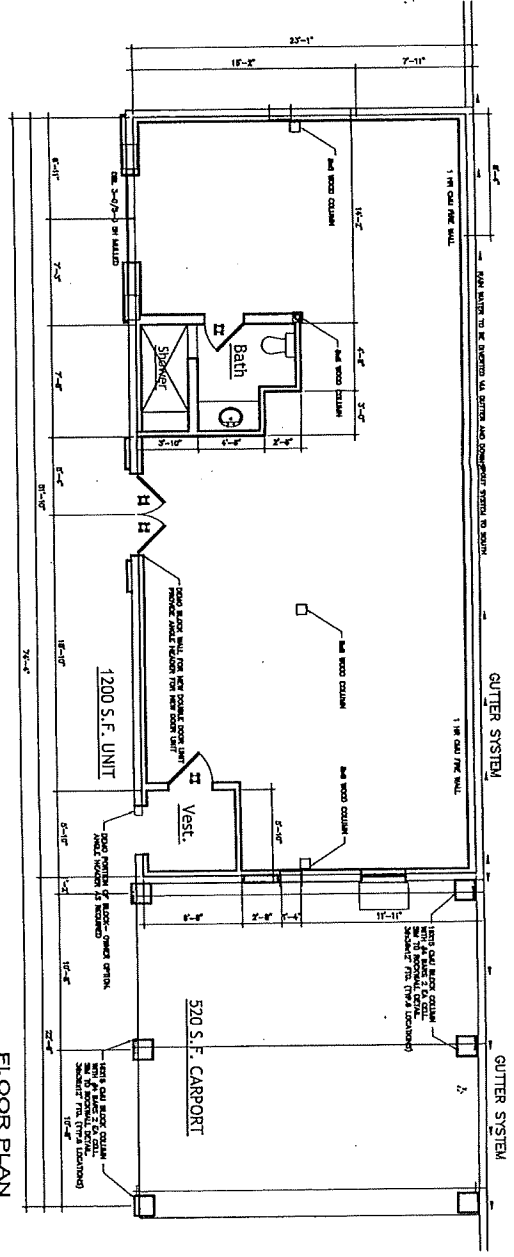
CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

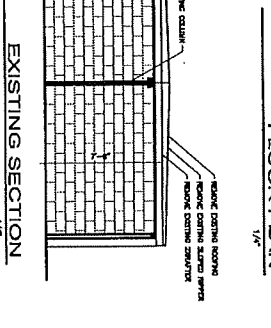
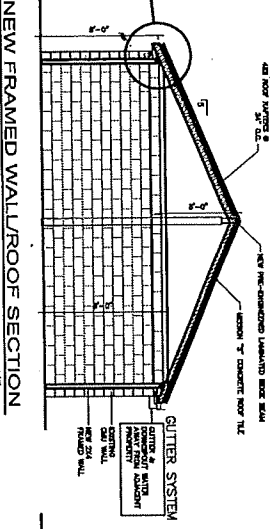
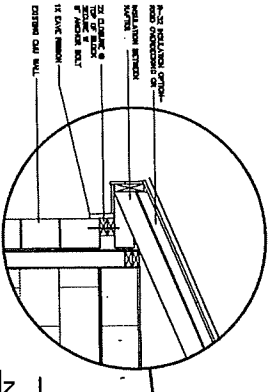
PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Site Plan with dimensions and details.
 3. Foundation plan with details.
 4. Floor plan showing rooms, their uses and dimensions.
 5. Cross section of walls
 6. Roof and floor framing plan
 8. Proof of legal access to the property.
 9. Drainage plan.
 10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. Proof of legal access to the property.
 13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

SCOPE OF WORK:
 REMOVE EXISTING STORAGE UNIT, RECONSTRUCT ROOF STRUCTURE OVER EXISTING UNIT,
 REMOVE EXISTING STORAGE UNIT, RECONSTRUCT ROOF STRUCTURE OVER EXISTING UNIT,
 AND OVER CARPORT. CARPORT WILL BE PROVIDED WITH NEW ODU COLUMNS



FLOOR PLAN
 1/8"



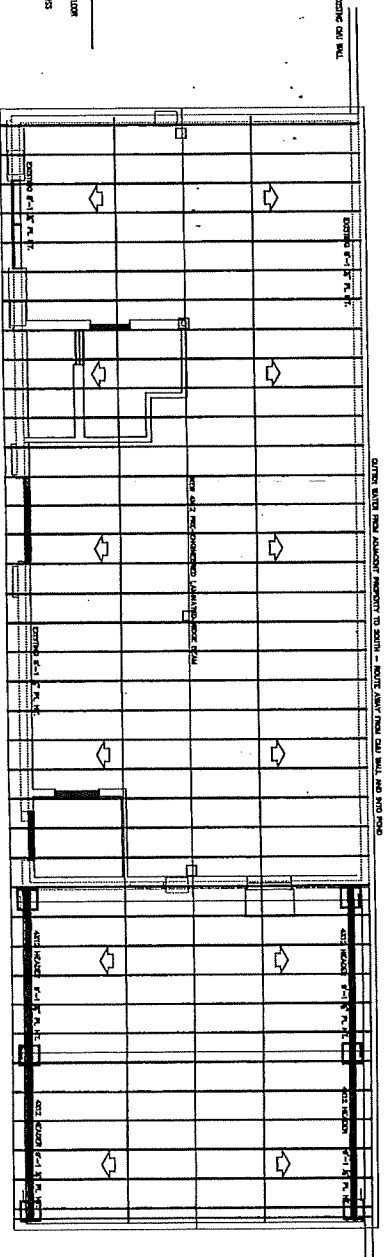
EXISTING SECTION
 1/8"

GENERAL NOTES

1. ALL NEW CONSTRUCTION SHALL BE CONFORMED TO THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL ENERGY EFFICIENCY CODE (IECC).
2. ALL CONSTRUCTION SHALL BE SUBJECT TO THE 2018 INTERNATIONAL BUILDING DEPARTMENT (IBD) CODES.
3. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
4. ALL ROOFING SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
5. ALL ROOFING SHALL BE INSTALLED OVER A 1\"/>

LEGEND

(Symbol: Arrow pointing right)	1/4\"/>
(Symbol: Arrow pointing left)	1/4\"/>
(Symbol: Dashed line)	1\"/>
(Symbol: Solid line)	2\"/>
(Symbol: Dotted line)	2\"/>
(Symbol: Square)	1\"/>
(Symbol: Circle)	1\"/>
(Symbol: Triangle)	1\"/>



ROOF FRAMING PLAN
 1/8"

NOTE:
 SEE BUILDING SECTION FOR TYPICAL TRUSS PROFILE

11425

Southwestern Abstract & Title Co.

14320 LC/CP

WARRANTY DEED

Canamex, LLC, a New Mexico limited liability company, for consideration paid, grants to LAMA PROPERTIES, LLC, a New Mexico limited liability company, whose address is 780 S. Walnut, Bldg. #6, Las Cruces, NM 88001, the following described real estate in Dona Ana County, New Mexico:

Lot 2, CANAMEX ACRES, in the town of Mesilla, Dona Ana County, New Mexico, as shown and designated on the plat thereof, filed in the office of the County Clerk of said County on March 28, 2006, in Book 21 Page(s) 569 of Plat Records.

SUBJECT TO: Restrictions, Reservations and Easements of record.

with warranty covenants.

Witness its hand(s) and seal this 31st day of March, 2006.

Canamex, LLC, a New Mexico limited liability company

By: [Signature]
Patrick J. Curran, Manager

By: [Signature]
Eileen D. Curran, Manager



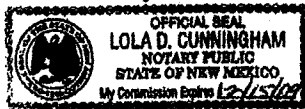
ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO

COUNTY OF DONA ANA

This instrument was acknowledged before me on March 31, 2006, Patrick J. Curran and Eileen D. Curran, Managers of Canamex, LLC, a New Mexico limited liability company.

My Commission Expires: 12/15/09



[Signature]
Notary Public

ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO

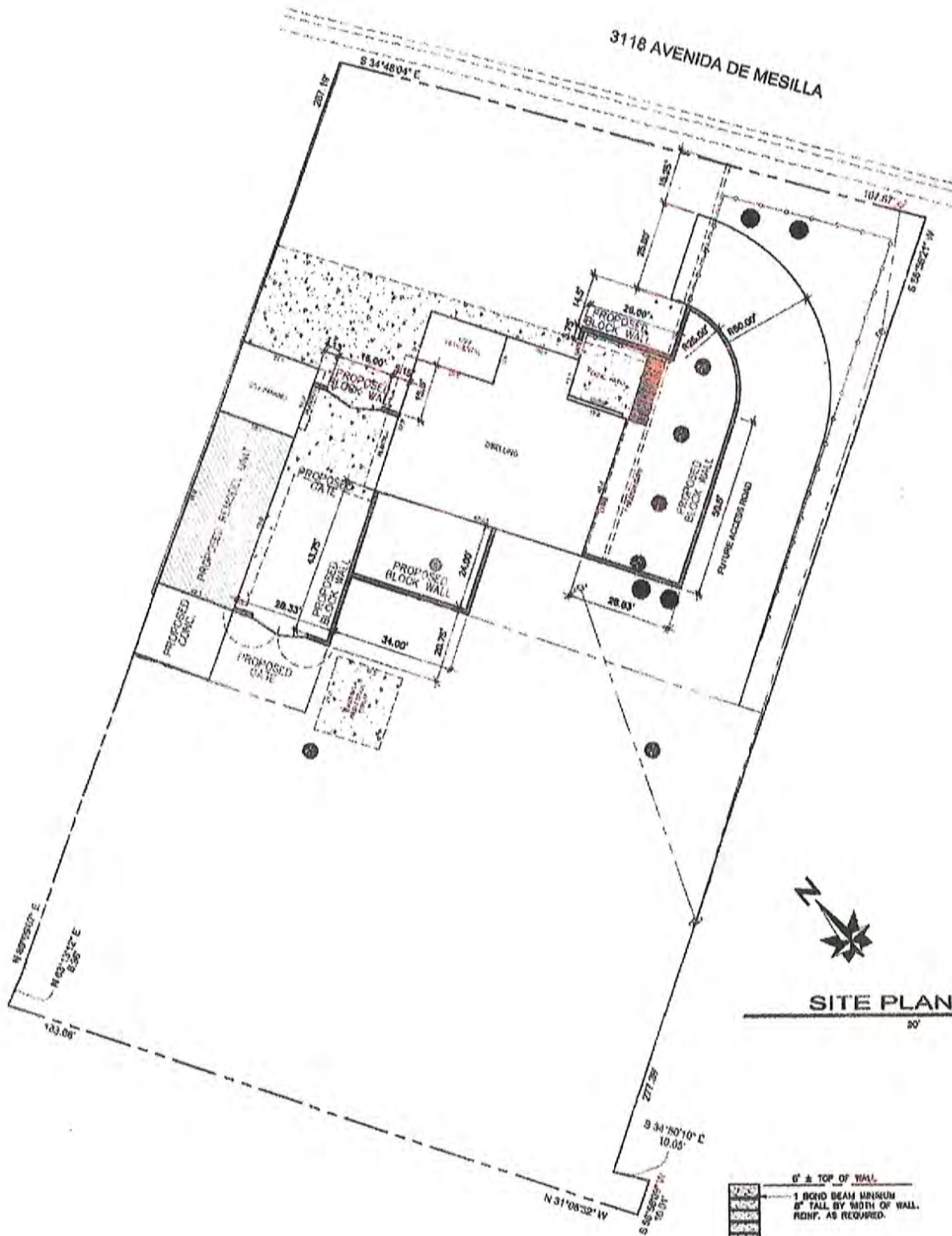
COUNTY OF

This Instrument was Acknowledged before me on _____, by _____ of _____ corporation, on behalf of said corporation.

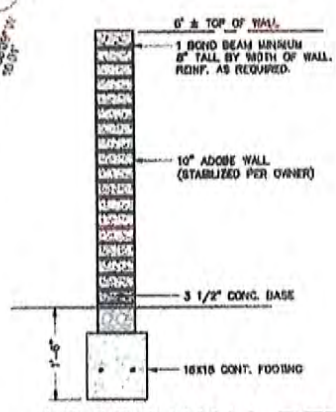
Notary Public
My Commission Expires: _____

State of New Mexico
County of Dona Ana
RECEPTION NO. 11425
I hereby certify that this instrument was filed for recording and duly recorded on **APR 03 2006** at 5:45 o'clock P M of the Records of said County. Rite of the County Clerk. BY: [Signature]

1827



SITE PLAN
20'



ADOBE WALL DETAIL
1/2"

PLAT/FORM DATE:	
PROJECT #:	
DWG. BY:	
CHK. BY:	A/B
REVISIONS:	
	2/12/16
	6/22/16
	7/11/16
	7/18/16

SCALE AS NOTED

DATE: 8-24-16

SITE PLAN, PROPOSED WALL LOCATION
LAMA PROJECT

PERMIT SET second review

C-1



VISION ARCHITECTURE GROUP, LLC
PO BOX 136, CHAMBERINO, NM 88027
TELEPHONE, (575) 639-1842
EMAIL: visionarch@juno.com

Andy Barela

BOARD ACTION FORM

AGENDA DATE

PZHAC: September 19, 2022,

BOT:

ITEM: PZHAC Case #061456 – 3038 Los Arenales submitted by Jerry Gonzalez to install HVAC furnace to dwelling, **Zoned: Rural Farm (RF)**.

BACKGROUND AND ANALYSIS: Proposed work involves residential HVAC 3.5 ton Lennox 14 seer 17' furnace 88k BTU 72K output natural gas, 17' evaporator coil aspen.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

**TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT**

Permit Fee \$ 90.00
 Review Fee \$ 1600
 Total Fee \$ 1061.60

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104



CASE NO. 061456 **ZONE:** HR **CODE:** AC **APPLICATION DATE:** 9/9/2022

Jerry Gonzalez 575-680-0497
 Name of Property Owner Property Owner's Telephone Number
3038 Los Arenales Las Cruces NM 88005
 City State Zip Code

Property Owner's Mailing Address
n/a

Property Owner's E-mail Address
Yellow Bird Services LLC Esmeralda Villegas

Contractor's Name & Address (If none, indicate Self)
575-523-8089 406933
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 3038 Los Arenales Las Cruces NM 88005

Description of Proposed Work: RESIDENTIAL HVAC PROJECT MTERIALS: 3.5 TON LENNOX 14 SEER
 17' FURNACE LENNOX 88K BTU INPUT 72K OUTPUT NATURAL GAS, 17' EVAP. COIL ASPEN

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. ___ Foundation plan with details.
4. ___ Floor plan showing rooms, their uses, and dimensions.
5. ___ Cross section of walls.
6. ___ Roof and floor framing plan.
7. ___ Proof of legal access to the property.
8. ___ Drainage plan.
9. ___ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. ___ Proof of legal access to the property.
12. ___ Other information as necessary or required by the Town Code or Community Development Department.

\$ 3,500.00 Esmeralda Villegas 9/9/2022
 Estimated Cost Signature of Applicant Date

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. **All Building permits expire after one year from date issued.**

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: YES ___ NO BOT APPROVAL REQUIRED: YES ___ NO

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

Yellow Bird Services, LLC NM Lic#380200

Dbas: Yellow Bird Solar & Yellow Bird Air Conditioning & Heating

6000 S. Main Street

Mesilla Park, NM 88047

Schedule: 575-449-3115

To:

JERRY GONZALES

3038 LOS ARENALES

MESILLA, NM 88046

Quote #2003051

Comfort Consultant -

VALID 10 DAYS

Phone #1 575-???-????

Phone #2

7/23/21 Date

email:



**3.50 TON
LENNOX/17"
FURNACE**

Home Built 20XX Sqft 1XXX 1 Knocker = 0 C

One (1) year maintenance (2 calls/ year = 2 total calls) is

Portable A/C or Heat/Unit-Rent/Day \$25.00

Package Units are 14 or 16 SEER

Builder Yellowbird

Air Purification - Halo System	\$1,189.00	\$10.94	
Humidifier -Stand Alone (Integrated \$1,495)	\$150.00	\$1.38	
Duct Modifications			
Attic Insulation/ Accessible SF	\$1.45	\$0.01	
Electric Vehicle Charger	\$1,500.00	\$13.80	
Cool Roof -Coat-Elastomer/SF - Lifetime	\$1.45	\$0.01	
Plumbing Sub			
Move HVAC equipment			3,500.00
Aeroseal - Duct Sealing	\$2,499.00	\$22.99	
Evaporative Cooler Conversion			
Refrigerant Line Set - Copper& Ins	\$899.00	\$8.27	\$0.00
Remove Cooler - Seal & Cap	\$350.00	\$3.22	\$0.00
Standard Electrical (+2495 upgrade)	\$999.00	\$9.19	\$0.00
Solar Ad On/ Trade In Promotion			
w/o Panels-Solar Attic Fan Promotion			
Advertised Promotion			\$0.00
Availability Factor - HVAC			\$0.00
Sub Total			\$3,500.00
Availability Factor HVAC - %		NA	0.0%
Gross Receipts Tax reported on Cash Basis, A Non Recourse amount is included here			\$0.00
HVAC Subtotal			\$3,500.00
A/C Overhead/Engineering/EPE filings/ Finance/ Admin			\$0.00
HVAC Total			\$3,500.00



Furnace

Condenser

BOARD ACTION FORM

AGENDA DATE

PZHAC: September 19, 2022,

BOT:

ITEM: PZHAC Case #061457 – 2415 Calle de Parian submitted by Robert Reynolds to install Solar system, **Zoned: Historical Residential (HR)**

BACKGROUND AND ANALYSIS: Proposed work involves residential solar project 18 panels on ballast mount, as per site plan in the packet.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061457

Fee \$ 665.00

Fee \$ 589.00

Review \$ 76.00

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061457 ZONE: HR CODE: AC APPLICATION DATE: 9/1/22

ROBERT REYNOLDS

575-644-0829

Name of Property Owner

2415 CALLE DE PARIAN

Las Cruces

Property Owner's Telephone Number

NM

88005

Property Owner's Mailing Address

City

State

Zip Code

Property Owner's E-mail Address

Mesilla Park Services LLC

Contractor's Name & Address (If none, indicate Self)

575-523-8089

406933

Contractor's Telephone Number

Contractor's Tax ID Number

Contractor's License Number

Address of Proposed Work: 2415 CALLE DE PARIAN

Description of Proposed Work: Solar project 18 panels on ballast mount. Please see attached documents for project details.

\$ 43,598.90

Estimated Cost

Esmeralda Villegas

Signature of Applicant

9/1/22

Date

Signature of property owner: ROBERT REYNOLDS

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC

Administrative Approval

BOT

Approved Date: _____

Approved Date: _____

Disapproved Date: _____

Disapproved Date: _____

Approved with Conditions

Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO

BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. _____ Site Plan with dimensions and details.
3. _____ Foundation plan with details.
4. _____ Floor plan showing rooms, their uses and dimensions.
5. _____ Cross section of walls
6. _____ Roof and floor framing plan
8. _____ Proof of legal access to the property.
9. _____ Drainage plan.
10. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. _____ Proof of legal access to the property.
13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

Lilley Engineering Inc.

5160 Calle Bellisima Las Cruces, New Mexico 88012
Office (575) 521-0006

August 28, 2022

Rocky Bacchus
Mesilla Park Services LLC
6000 S. Main St.
Mesilla Park, NM 88047

Subj: UNIRAC BALLAST MOUNTING SYSTEM – 2415 CALLE DE PARIAN, LAS CRUCES, NM

Mr. Bacchus,

I have analyzed the design location for the solar panel system on the flat roof at the subject location. The existing roof system supports the loading applied by placement of the solar panels and roof mounting system.

The installation contractor shall install the prescribed quantity of blocks on the Unirac ballast bays per manufacturer's suggestion (33 lb blocks). This installation will add approximately 4.7 psf to the flat roof.

The addition of solar panels to a roof eliminates the live load (in the area the panels occupy) that would normally be applied when designing or analyzing a roof structure. The walls and roof structure will adequately support the additional weight as per design layout.

If you have any questions or concerns please contact me.

Sincerely,



Daniel P. Lilley, P.E.

P-178586

GRID-TIED SOLAR POWER SYSTEM
 2415 CALLE DE PARIAN
 LAS CRUCES, NM 88005

PROJECT SUMMARY

DOC ID: 178586-220759-1
 DATE: 7/20/22
 CREATOR:
 REVIEWER:

REVISIONS

PV-1

SCOPE OF WORK

THIS PROJECT INVOLVES THE INSTALLATION OF A GRID-INTERACTIVE PV SYSTEM AND THE REPLACEMENT OF THE MAIN SERVICE PANEL. THE MODULES WILL BE MOUNTED USING A PREENGINEERED MOUNTING SYSTEM. THE MODULES WILL BE ELECTRICALLY CONNECTED WITH DC TO AC POWER INVERTERS AND INTERCONNECTED TO THE LOCAL UTILITY USING MEANS AND METHODS CONSISTENT WITH THE RULES ENFORCED BY THE LOCAL UTILITY AND PERMITTING JURISDICTION.

THIS DOCUMENT HAS BEEN PREPARED FOR THE PURPOSE OF DESCRIBING THE DESIGN OF A PROPOSED PV SYSTEM WITH ENOUGH DETAIL TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS. THE DOCUMENT SHALL NOT BE RELIED UPON AS A SUBSTITUTE FOR FOLLOWING MANUFACTURER INSTALLATION INSTRUCTIONS. THE SYSTEM SHALL COMPLY WITH ALL MANUFACTURERS LISTING AND INSTALLATION INSTRUCTIONS, AS WELL AS ALL APPLICABLE CODES. NOTHING IN THIS DOCUMENT SHALL BE INTERPRETED IN A WAY THAT OVERRIDES THEM. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL CONDITIONS, DIMENSIONS, AND DETAILS IN THIS DOCUMENT.

SYSTEM DETAILS

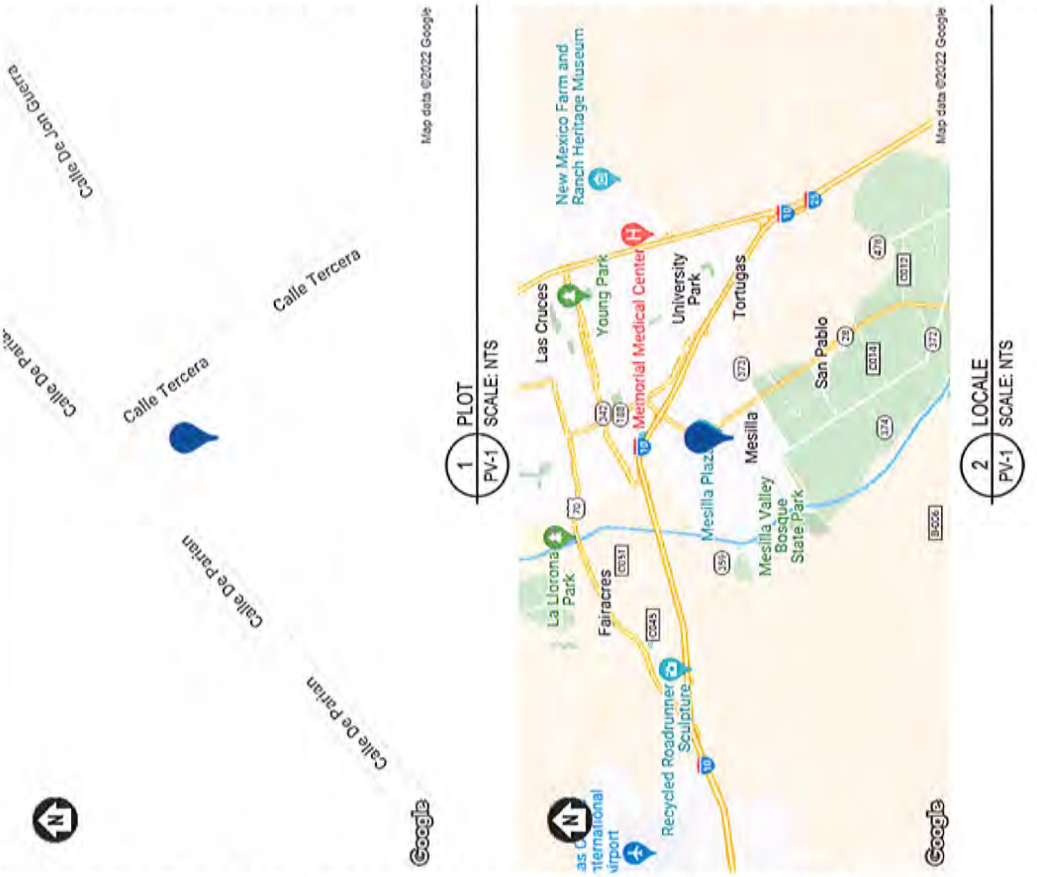
DESCRIPTION	NEW GRID-INTERACTIVE PV SYSTEM WITH NO ENERGY STORAGE
DC RATING OF SYSTEM	7.38KW
AC RATING OF SYSTEM	5.22KW
AC OUTPUT CURRENT	21.8A
INVERTER(S)	18 X ENPHASE IQ7PLUS-T2-2-US
MODULE	JINKO JK041DM-72HL-V
ARRAY WIRING	(1) BRANCH OF 11 IQ7PLUS-T2-2-US MICROINVERTERS (1) BRANCH OF 7 IQ7PLUS-T2-2-US MICROINVERTERS

INTERCONNECTION DETAILS

POINT OF CONNECTION	NEW LOAD-SIDE AC CONNECTION PER NEC 705.12(B)(2)(3)(B) AT NEW MSP
UTILITY SERVICE	120/240V 1Ø
LOCATION	NEW MAIN SERVICE PANEL, MITOP-FED 200A BUSBAR-200A-MCB

SITE DETAILS

ASHRAE EXTREME LOW	-9°C (16°F)
ASHRAE 2% HIGH	33°C (91°F)
CLIMATE DATA SOURCE	SALEM (KLRU)
RISK CATEGORY	II
WIND EXPOSURE CATEGORY	C



DIRECTORY OF PAGES

PV-1	PROJECT SUMMARY
PV-2	SITE PLAN
PV-3	SINGLE-LINE DIAGRAM
PV-4	SAFETY LABELS
PV-7	FIRE SAFETY PLAN
APPENDIX	
	ELECTRICAL CALCULATIONS
	MODULE DATASHEET
	ARRAY WIRING BOX DATASHEET
	ARRAY WIRING BOX DATASHEET
	DISCONNECT DATASHEET
	INVERTER DATASHEET

PROJECT DETAILS

PROPERTY ADDRESS	2415 CALLE DE PARIAN, LAS CRUCES, NM 88005 US
ZONING	RESIDENTIAL
USE AND OCCUPANCY CLASSIFICATION	ONE- OR TWO-FAMILY DWELLING GROUP (GROUP R3)
UTILITY COMPANY	EL PASO ELECTRIC CO
ELECTRICAL CODE	2017 NEC (NFPA 70)
FIRE CODE	2012 IFC
OTHER BUILDING CODES	2015 NM RES. BUILDING CODE 2015 NM PLUMBING CODE 2015 NM MECHANICAL CODE

CONTRACTOR INFORMATION

COMPANY	Mesilla Park Services LLC
LICENSE NUMBER	4069933
ADDRESS	6000 S. Main St. Mesilla Park
PHONE NUMBER	(575) 523-8089
CONTRACTOR SIGNATURE	

GRID-TIED SOLAR POWER SYSTEM

2415 CALLE DE PARIAN
LAS CRUCES, NM 88005

PROJECT ID: 175586
DATE: 07/20/22
CREATED BY: SOT
CHECKED BY:
REVISIONS

GENERAL ELECTRICAL NOTES

- UTILITY HAS 24HR UNRESTRICTED ACCESS TO ALL PHOTOVOLTAIC SYSTEM COMPONENTS LOCATED AT THE SERVICE ENTRANCE.
- CONDUCTORS EXPOSED TO SUNLIGHT SHALL BE LISTED AS SUNLIGHT RESISTANT PER NEC ARTICLE 300.6 (C) (1) AND ARTICLE 310.10 (D).
- CONDUCTORS EXPOSED TO WET LOCATIONS SHALL BE SUITABLE FOR USE IN WET LOCATIONS PER NEC ARTICLE 310.10 (C).

GROUNDING NOTES

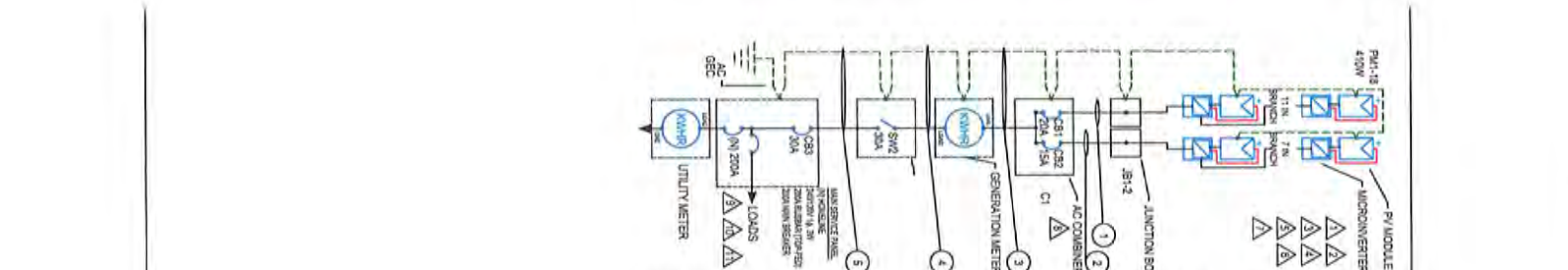
- ALL EQUIPMENT SHALL BE PROPERLY GROUNDED PER THE REQUIREMENTS OF NEC ARTICLES 250 & 690.
- PV MODULES SHALL BE GROUNDED TO MOUNTING RAILS USING MODULE LUGS OR PACKING INTEGRATED GROUNDING CLAMPS AS ALLOWED BY LOCAL JURISDICTION. ALL OTHER EXPOSED METAL PARTS SHALL BE GROUNDED USING UL-LISTED LAY-IN LUGS.
- INSTALLER SHALL CONFIRM THAT MOUNTING SYSTEM HAS BEEN EVALUATED FOR COMPLIANCE WITH UL 2703 GROUNDING AND BONDING WHEN USED WITH PROPOSED PV MODULE.
- IF THE EXISTING MAIN SERVICE PANEL DOES NOT HAVE A VERIFIABLE GROUNDING ELECTRODE IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL A SUPPLEMENTAL GROUNDING ELECTRODE.
- AC SYSTEM GROUNDING ELECTRODE CONDUCTOR (GEC) SHALL BE A MINIMUM SIZE #8AWG WHEN INSULATED, #6AWG IF BARE WIRE.
- EQUIPMENT GROUNDING CONDUCTORS SHALL BE SIZED ACCORDING TO NEC ARTICLE 680.45.
- AND BE A MINIMUM OF #10AWG WHEN NOT EXPOSED TO DAMAGE AND #8AWG SHALL BE USED WHEN EXPOSED TO DAMAGE.
- GROUNDING AND BONDING CONDUCTORS, IF INSULATED, SHALL BE COLOR CODED GREEN, OR MARKED GREEN IF #4AWG OR LARGER.

SYSTEM SUMMARY		MODULES				TEMP. CORRECTED 5°C/10°C		RATED EFFICIENCY	
REF. QTY.	WAVE AND MODEL	MAX. PDC	SEC. EFF.	MPPT	VOC	VMP	4.1kVDC (1.5kW/10°C)	MAX. VOLTAGE	WEIGHTED EFFICIENCY
1-18	EMPOWER OPTIPLUS-250-5	250W	20.0%	3.0%	12.5V	15.0V	200W	200VDC	20.0%
1	EMPOWER OPTIPLUS-250-5	250W	20.0%	3.0%	12.5V	15.0V	200W	200VDC	20.0%

SYSTEM SUMMARY		BRANCH 1		BRANCH 2	
WAVE AND MODEL	MAX. PDC	WAVE AND MODEL	MAX. PDC	WAVE AND MODEL	MAX. PDC
EMPOWER OPTIPLUS-250-5	250W	EMPOWER OPTIPLUS-250-5	250W	EMPOWER OPTIPLUS-250-5	250W
EMPOWER OPTIPLUS-250-5	250W	EMPOWER OPTIPLUS-250-5	250W	EMPOWER OPTIPLUS-250-5	250W

SYSTEM SUMMARY		BRANCH 1		BRANCH 2	
WAVE AND MODEL	MAX. PDC	WAVE AND MODEL	MAX. PDC	WAVE AND MODEL	MAX. PDC
EMPOWER OPTIPLUS-250-5	250W	EMPOWER OPTIPLUS-250-5	250W	EMPOWER OPTIPLUS-250-5	250W
EMPOWER OPTIPLUS-250-5	250W	EMPOWER OPTIPLUS-250-5	250W	EMPOWER OPTIPLUS-250-5	250W

ID	TYPICAL	CONDUCTOR	CONDUIT / CABLE	CURRENT-CARRYING CONDUCTORS IN CONDUIT / CABLE	OCDS	EDC	TEMP. CORRECTION FACTOR	FULL FACTOR	CONT. CURRENT (Amps)	MAX. CURRENT (Amps)	BASE AMP. (Amps)	SEPARATED AMP. (Amps)	TEMP. RATING	TEMP. RATING	AMP. @ TEMP. RATING
1	1	12AWG THHN-2 COPPER	0.57 IN. EMT	2	2	12AWG THHN-2 COPPER	0.67 (80°C)	1.2	13.1A	16.5A	3A	28.6A	80°C	80°C	3A
2	2	12AWG THHN-2 COPPER	0.57 IN. EMT	2	2	12AWG THHN-2 COPPER	0.67 (80°C)	1.2	13.1A	16.5A	3A	28.6A	80°C	80°C	3A
3	1	6AWG THHN-2 COPPER	0.375 IN. EMT	2	2	6AWG THHN-2 COPPER	0.67 (80°C)	1.2	51.7A	77.2A	7A	7A	75°C	75°C	6A
4	1	6AWG THHN-2 COPPER	0.375 IN. EMT	2	2	6AWG THHN-2 COPPER	0.67 (80°C)	1.2	51.7A	77.2A	7A	7A	75°C	75°C	6A
5	1	6AWG THHN-2 COPPER	0.375 IN. EMT	2	2	6AWG THHN-2 COPPER	0.67 (80°C)	1.2	51.7A	77.2A	7A	7A	75°C	75°C	6A



1 SINGLE-LINE DIAGRAM
SCALE: NTS
PV-3

C1 - AC COMBINER
(ENPHASE 12 COMBINER 3)

3

SW2 - DISCONNECT
(EATON DG22URB)

4

5

6

MSP - MAIN SERVICE PANEL
(HOMER)E

1

2

5

6

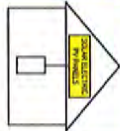
7

8

1 SEE NOTE NO. 4 (MSP)

PHOTOVOLTAIC SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE OFF POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY.



NEC90.59(C)(1)

3 AC COMBINER PANEL (C1)

! WARNING !
THIS EQUIPMENT FED BY MULTIPLE SOURCES. TOTAL RATING OF ALL OVERCURRENT DEVICES, EXCLUDING MAIN OVERCURRENT DEVICE SHALL NOT EXCEED AMPLACITY OF BUSBAR.
NEC705.12(B)(2)(3)(C)

4 EACH DISCONNECTING MEANS FOR PHOTOVOLTAIC EQUIPMENT (SW2)

! WARNING !
ELECTRIC SHOCK HAZARD. TERMINALS ON BOTH LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION.
NEC90.13(B)

7 ANY AC ELECTRICAL PANEL THAT IS FED BY BOTH THE UTILITY AND THE PHOTOVOLTAIC SYSTEM (MSP)

! WARNING !
DUAL POWER SOURCE. SECOND SOURCE IS PHOTOVOLTAIC SYSTEM.
NEC705.12(B)(3)

2 POINT-OF-INTERCONNECTION OR AT MAIN SERVICE DISCONNECT (MSP)

! CAUTION !
POWER TO THIS BUILDING IS ALSO FROM ROOF ARRAYS WITH DISCONNECTS AS SHOWN



INSTALLED BY YELLOW BIRD SERVICES, LLC • 575-523-8089
NEC90.59(B) 705.10

5 AC SOLAR DISCONNECT (SW2 CB3 IN MSP)

PV SYSTEM DISCONNECT
NEC90.13(B)

8 SOLAR BREAKER (MSP)

! WARNING !
INVERTER OUTPUT CONNECTION. DO NOT RELOCATE THIS OVERCURRENT DEVICE
NEC705.12(B)(2)(3)(B)

6 AC DISCONNECT (SW2 CB3 IN MSP)

UNUSUAL AC-BREAKING EQUIPMENT. DO NOT MAINTAIN AC OPERATING VOLTAGE 240V
NEC90.54

LABELING NOTES

1	ALL PLAQUES AND SIGNAGE REQUIRED BY 2017 NEC AND 2012 IFC WILL BE INSTALLED AS REQUIRED.
2	LABELS, WARNINGS(S) AND MARKING SHALL COMPLY WITH ANSI Z39.4 WHICH REQUIRES THAT DANGER WARNING, AND CAUTION SIGNS USED THE STANDARD HEADER COLORS, HEADER TEXT, AND SAFETY ALERT SYMBOL ON EACH LABEL. THE ANSI STANDARD REQUIRES A HEADUNG THAT IS AT LEAST 50% TALLER THAN THE BODY TEXT, IN ACCORDANCE WITH NEC 110.21(B).
3	A PERMANENT PLAQUE OR DIRECTORY SHALL BE INSTALLED PROVIDING THE LOCATION OF THE SERVICE DISCONNECTING MEANS AND THE PHOTOVOLTAIC SYSTEM DISCONNECTING MEANS IF NOT IN THE SAME LOCATION IN ACCORDANCE WITH NEC 690.59(B).
4	LABEL(S) WITH MARKING, "TURN RAPID SHUTDOWN SWITCH TO THE OFF POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY," SHALL BE LOCATED WITHIN 3 FT OF SERVICE DISCONNECTING MEANS. THE TITLE SHALL UTILIZE CAPITALIZED LETTERS WITH A MINIMUM HEIGHT OF .36" IN BLACK ON A YELLOW BACKGROUND AND REMAINING TEXT SHALL BE CAPITALIZED WITH A MINIMUM HEIGHT OF .916" IN BLACK ON WHITE BACKGROUND

P-178586

GRID-TIED SOLAR POWER SYSTEM

2415 CALLE DE PARIAN
LAS CRUCES, NM 88005

SAFETY LABELS

DOC ID: 178586-220759-1
DATE: 7/20/22
CREATOR:
REVIEWER:
REVISIONS

PV-4

P-178586

GENERAL NOTES

1	ROOF ACCESS POINTS SHALL BE LOCATED IN AREAS THAT DO NOT REQUIRE THE PLACEMENT OF GROUND LADDERS OVER OPENINGS SUCH AS WINDOWS OR DOORS, AND LOCATED AT STRONG POINTS OF BUILDING CONSTRUCTION IN LOCATIONS WHERE THE ACCESS POINT DOES NOT CONFLICT WITH OVERHEAD OBSTRUCTIONS SUCH AS TREE LIMBS, WIRES, OR SIGNS. (IFC 605.11.3.1)
2	PANELS/MODULES INSTALLED ON RESIDENTIAL BUILDINGS WITH A SINGLE RIDGE SHALL BE LOCATED IN A MANNER THAT PROVIDES TWO, 3-FOOT-WIDE (914 MM) ACCESS PATHWAYS FROM THE EAVE TO THE RIDGE ON EACH ROOF SLOPE WHERE PANELS/MODULES ARE LOCATED. (IFC 605.11.3.2.2)
3	PANELS/MODULES INSTALLED ON RESIDENTIAL BUILDINGS SHALL BE LOCATED NO HIGHER THAN 3 FEET (914 MM) BELOW THE RIDGE IN ORDER TO ALLOW FOR FIRE DEPARTMENT SMOKE VENTILATION OPERATIONS. (IFC 605.11.3.2.4)



1 FIRE SAFETY PLAN
PV-7 SCALE: 1" = 20'

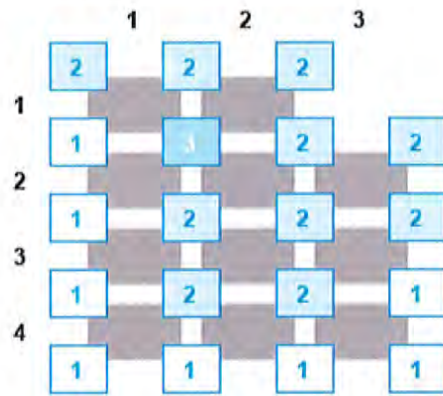
- 1 3.0 FT. WIDE FIRE ACCESS PATHWAY, PER IFC 605.11.3.2.2
- 2 3.0 FT. WIDE SMOKE-VENTILATION SETBACK, PER IFC 605.11.3.2.4
- 3 PANELS/MODULES INSTALLED ON ROOF WITH UNIRAC SQUARE-INT MOUNTING SYSTEM. THE MOUNTING SYSTEM SHALL BE INSTALLED WITH A 7-3/8" RISE PER INCH INSTALLED WITH TYPE 1, 2, 3, OR 10 MODULES. THE MINIMUM HEIGHT SHALL BE 1.5 FT.
- 4 ROOF ACCESS POINT
- 5 (E) GAS METER, OUTDOOR, NO NEW ELECTRICAL EQUIPMENT SHALL BE INSTALLED WITHIN 36 INCHES OF CENTER OF GAS METER OR RISER.
- 6 THIS SYSTEM UTILIZES MICROINVERTERS. THERE ARE NO DC CIRCUITS OUTSIDE OF THE ARRAY PERIMETER OR INSIDE THE BUILDING.
- 7 CABLES, WHEN RUN BETWEEN ARRAYS, SHALL BE ENCLOSED IN CONDUIT.

GRID-TIED SOLAR POWER SYSTEM
2415 CALLE DE PARIAN
LAS CRUCES, NM 88005

FIRE SAFETY PLAN




DOC ID: 178586-220759-1
DATE: 7/20/22
CREATOR:
REVIEWER:
REVISIONS
PV-7

Roof Area 1 / Roof Area 1 - Array 1



X Bay With Attachment

LEGEND

-  Module
-  Standard corner bay with CMU block count
-  Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

Install roof pads to every bay.

Layout Dimensions

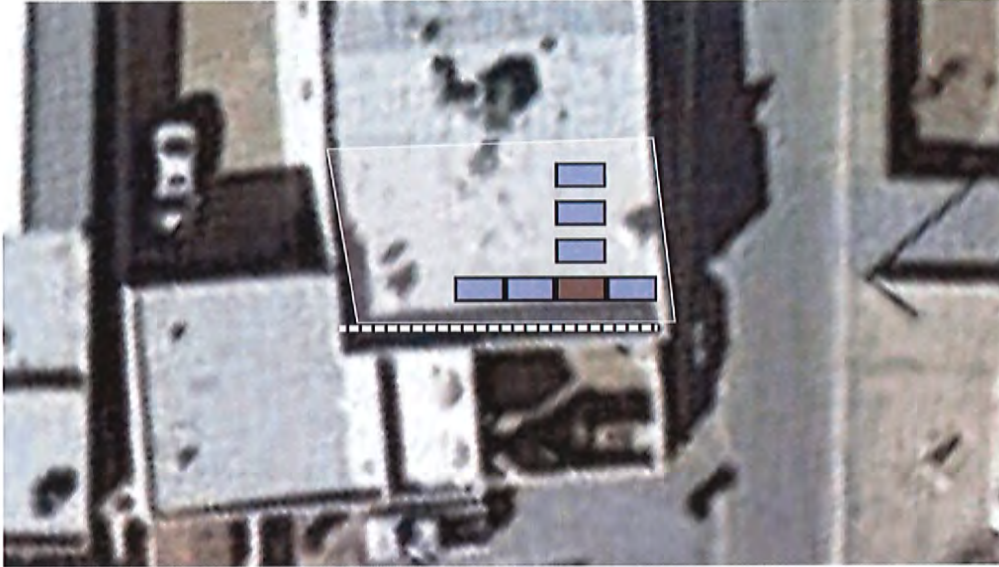
NS DIMENSION ~ 21.08 ft

EW DIMENSION ~ 19.83 ft

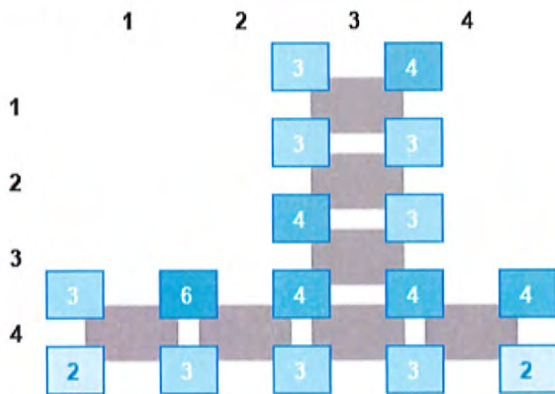
ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	2	3	6	192
2	3	4	8	256
3	3	4	7	224

4	3	4	6	192
5	0	4	4	128

Roof Area 2



Roof Area 2 / Roof Area 2 - Array 1



Bay With Attachment

LEGEND



Module



Standard corner bay with CMU block count



Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

Install roof pads to every bay.

Layout Dimensions

NS DIMENSION ~ 21.08 ft

EW DIMENSION ~ 26.44 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	1	2	7	224
2	1	2	6	192
3	1	2	7	224
4	4	5	21	672
5	0	5	13	416

Conductor, Conduit, and OCPD Sizing Validation

1. Maximum System Voltage Test

1.1. Emphase Inverter w/18 Jinko JKM410M-72HL-V (410W)

Array Properties	
Array Type	Microinverter Array
System Description	Emphase Inverter w/18 Jinko JKM410M-72HL-V (410W)
Module	JKM410M-72HL-V (410W)
Highest number of modules in series in a PV Source Circuit	1
Design Low Temp.	-9°C
Module Voc	50.4V
Temp. Coefficient Voc	-0.141V/C

NEC Code Calculations

A. Maximum Voltage of PV Source Circuit **55.19V**

see 690.7(A)

NEC 690.7(A) requires that if the PV module manufacturer provides a temperature coefficient of open-circuit voltage, it must be used to calculate the PV array's maximum system voltage. It includes an information note recommending the use of the ASHRAE Extreme Annual Mean Minimum Design Dry Bulb Temperature as the design low temperature. Using these values, the module Voc (50.4V) will increase to 55.19V at the design low temperature (-9°C).
 $(-9^{\circ}\text{C} - 25^{\circ}\text{C}) \times -0.141\text{V/C} + 50.4\text{V} = 55.19\text{V}$
 The module Voc at the design low temperature is 55.19V.
 $55.19\text{V} \times 1 = 55.19\text{V}$

NEC Code Validation Tests	PASS
1. PV Source Circuit maximum Voc must not exceed 600V 55.19V < 600V = true	PASS

2. Wire, Conduit, and OCPD Code Compliance Validation

2.1. #1: AC Branch Output Transition Box to AC Combiner

Circuit Section Properties	
Conductor	12 AWG THHN-2, Copper
Equipment Ground Conductor (EGC)	12 AWG THHN-2, Copper
OCPD(S)	20A
Raceway/Cable	0.5" dia. EMT
Lowest Terminal Temperature Rating	90°C
Maximum Wire Temperature	33°C
Power Source Description	Branch of 11.007PLUS-72-2US microinverters
Power Source Current	13.31A
Voltage	240V

NEC Code Calculations

A. Continuous Current **13.31A**

Equipment maximum rated output current is 11 X 1.21A = 13.31A
see Article 100

B. Ampacity of Conductor **30A**

Table 310.15(B)(16)
Ampacity (30°C) for a copper conductor with 90°C insulation in conduit/cable is 30A.

C. Derated Ampacity of Conductor **28.8A**

The temperature factor for 90°C insulation at 33°C is 0.96.
The fill factor for a conduit/cable that has 2 wires is 1.
The ampacity derated for Conditions of Use is the product of the conductor ampacity (30A) multiplied by the temperature factor (0.96) and by the fill factor (1).
 $30\text{A} \times 0.96 \times 1 = 28.8\text{A}$

D. Max Current for Terminal Temp. Rating **30A**

Table 110.14(C)
The lowest temperature rating for this conductor at any termination is 90°C.

Using the method specified in 110.14(C), the maximum current permitted to ensure that the device terminal temperature does not exceed its 90°C rating would be the amount referenced in the 90°C column in Table 310.15(B)(16), which is 30A.

E. Minimum Allowed OCPD Rating **17A**

Table 240.4(F)
NEC 690.9(B) requires that the OCPD be rated for no less than 1.25 times the Continuous Current of the circuit.
 $13.31\text{A} \times 1.25 = 16.64\text{A}$

F. Maximum Allowed OCPD Rating **20A**

Table 240.4(D)
NEC 240.4(D) requires that OCPD rating not exceed 20A when protecting a Copper 12 AWG conductor.

G. Minimum Required EGC Size **12 AWG**

Table 250.122
The smallest EGC size allowed is 12 AWG for OCPD rating 20A according to Table 250.122.

H. Minimum Recommended Conduit Size **0.5" dia.**

Table 300.17
The total area of all conductors is 0.0399in². With a maximum fill rate of 0.4, the recommended conduit diameter is 0.5.

Qty	Description	Size	Type	Area	Total Area
2	Conductor	12 AWG	THHN-2	0.0133in ²	0.0266in ²
1	Equipment Ground	12 AWG	THHN-2	0.0133in ²	0.0133in ²
3					0.0399in ²

0.0399in² / 0.4 = 0.0997in² (Corresponding to a diameter of 0.5")

NEC Code Validation Tests

1.	OCPD rating must be at least 125% of Continuous Current (240.4) 20A >= 13.31A X 1.25 = true	PASS
2.	Derated ampacity must exceed OCPD rating, or rating of next smaller OCPD (240.4) 28.8A >= 20A (OCPD Rating) = true	PASS
3.	OCPD rating must not exceed max OCPD rating for conductor (240.4) 20A (OCPD Rating) <= 20A = true	PASS
4.	Derated Ampacity must be greater than or equal to the Continuous Current (Article 100) 28.8A >= 13.31A = true	PASS
5.	Conductor Ampacity must be at least 125% of Continuous Current (215.2(A)(1)) 30A >= 13.31A X 1.25 = true	PASS
6.	Max current for terminal must be at least 125% of the Continuous Current (110.14(C)) 30A >= 13.31A X 1.25 = true	PASS
7.	EGC must meet code requirements for minimum size (Table 250.122) 12 AWG >= 12 AWG = true	PASS
8.	Conduit must meet code recommendation for minimum size (300.17) 0.5in >= 0.5in = true	PASS

2.2. #2: AC Branch Output: Transition Box to AC Combiner

Circuit Section Properties

Conductor	12 AWG THWN-2 Copper
Equipment Ground Conductor (EGC)	12 AWG THWN-2 Copper
OCPPD(s)	15A
Raceway/Cable	0.5" dia. EMT
Lowest Terminal Temperature Rating	90°C
Maximum Wire Temperature	33°C
Power Source Description	Branch of 7 IC9PLUS-72-2-US microinverters
Power Source Current	8.47A
Voltage	240V

NEC Code Calculations

A. Continuous Current	8.47A
-----------------------	-------

Equipment maximum rated output current is 7 X 1.21A = 8.47A
see Article 100

B. Ampacity of Conductor	30A
--------------------------	-----

Ampacity (30°C) for a copper conductor with 90°C insulation in conduit/cable is 30A.
see Table 310.15(B)(16)

C. Derated Ampacity of Conductor	28.8A
----------------------------------	-------

The temperature factor for 90°C insulation at 33°C is 0.96. The fill factor for a conduit/cable that has 2 wires is 1. The ampacity derated for Conditions of Use is the product of the conductor ampacity (30A) multiplied by the temperature factor (0.96) and by the fill factor (1).
 $30A \times 0.96 \times 1 = 28.8A$
see Table 310.15(B)(2)(a), Table 310.15(B)(3)(a), and Article 100

D. Max Current for Terminal Temp. Rating	30A
--	-----

The lowest temperature rating for this conductor at any termination is 90°C.
Using the method specified in 110.14(C), the maximum current permitted to ensure that the device terminal temperature does not exceed its 90°C rating would be the amount referenced in the 90°C column in Table 310.15(B)(16), which is 30A.
see 240.4

E. Minimum Allowed OCPD Rating	11A
--------------------------------	-----

NEC 690.9(B) requires that the OCPD be rated for no less than 1.25 times the Continuous Current of the circuit.
 $8.47A \times 1.25 = 10.59A$

F. Maximum Allowed OCPD Rating	20A
--------------------------------	-----

NEC 240.4(D) requires that OCPD rating not exceed 20A when protecting a Copper 12 AWG conductor.
see 240.4(D)

G. Minimum Required EGC Size	14 AWG
------------------------------	--------

see Table 250.122
The smallest EGC size allowed is 14 AWG for OCPD rating 15A according to Table 250.122.

H. Minimum Recommended Conduit Size	0.5" dia.
-------------------------------------	-----------

The total area of all conductors is 0.0399in². With a maximum fill rate of 0.4, the recommended conduit diameter is 0.5.
see 302.17

Qty	Description	Size	Type	Area	Total Area
2	Conductor	12 AWG	THWN-2	0.0133in ²	0.0266in ²
1	Equipment Ground	12 AWG	THWN-2	0.0133in ²	0.0133in ²
3					0.0399in ²

NEC Code Validation Tests

1	OCPPD rating must be at least 125% of Continuous Current (240.4)	PASS
---	--	------

$15A \times 1.25 = 18.75A$ = true

2	Derated ampacity must exceed OCPD rating, or rating of next smaller OCPD (240.4)	PASS
---	--	------

$28.8A \geq 15A$ (OCPPD Rating) = true

3	OCPPD rating must not exceed max OCPD rating for conductor (240.4)	PASS
---	--	------

$15A$ (OCPPD Rating) $\leq 20A$ = true

4	Derated Ampacity must be greater than or equal to the Continuous Current (Article 100)	PASS
---	--	------

$28.8A \geq 8.47A$ = true

5	Conductor Ampacity must be at least 125% of Continuous Current (215.2(A)(1))	PASS
---	--	------

$30A \geq 8.47A \times 1.25$ = true

6	Max current for terminal must be at least 125% of the Continuous Current (110.14(C))	PASS
---	--	------

$30A \geq 8.47A \times 1.25$ = true

7	EGC must meet code requirements for minimum size (Table 250.122)	PASS
---	--	------

12 AWG ≥ 14 AWG = true

8	Conduit must meet code recommendation for minimum size (300.17)	PASS
---	---	------

$0.5in.$ $\geq 0.5in.$ = true

2.3. #3: AC Combiner Output: AC Combiner to PV Generation Meter

Circuit Section Properties

Conductor	6 AWG THWN-2 Copper
Equipment Ground Conductor (EGC)	6 AWG THWN-2 Copper
OCPPD(s)	30A
Raceway/Cable	0.75" dia. EMT
Lowest Terminal Temperature Rating	75°C
Maximum Wire Temperature	33°C
Power Source Description	Emphase Inverter w/ 8 Jinko JK610M-72HL-Y (110W/s)
Power Source Current	21.78A
Voltage	240V

NEC Code Calculations

A. Continuous Current	21.78A
-----------------------	--------

Equipment maximum rated output current is 21.78A
see Article 100

B. Ampacity of Conductor	75A
--------------------------	-----

Ampacity (30°C) for a copper conductor with 90°C insulation in conduit/cable is 75A.
see Table 310.15(B)(16)

C. Derated Ampacity of Conductor	72A
----------------------------------	-----

The temperature factor for 90°C insulation at 33°C is 0.96. The fill factor for a conduit/cable that has 2 wires is 1. The ampacity derated for Conditions of Use is the product of the conductor ampacity (75A) multiplied by the temperature factor (0.96) and by the fill factor (1).
 $75A \times 0.96 \times 1 = 72A$
see Table 310.15(B)(2)(a), Table 310.15(B)(3)(a), and Article 100

D. Max Current for Terminal Temp. Rating	65A
--	-----

The lowest temperature rating for this conductor at any termination is 75°C.
Using the method specified in 110.14(C), the maximum current permitted to ensure that the device terminal temperature does not exceed its 75°C rating would be the amount referenced in the 75°C column in Table 310.15(B)(16), which is 65A.
see 240.4

E. Minimum Allowed OCPD Rating	27A
--------------------------------	-----

NEC 690.9(B) requires that the OCPD be rated for no less than 1.25 times the Continuous Current of the circuit.
 $21.78A \times 1.25 = 27.22A$ rounded down to 27A

F. Minimum Required EGC Size	6 AWG
------------------------------	-------

see 250.122(B)
Where conductors are oversized, the EGC must be oversized by the same rate. Table 250.122, gives a minimum EGC size of 10 AWG. Multiplied by the oversize rate, this yields 26.24kcmil, corresponding to 6 AWG.
(26.24kcmil / 10.38kcmil) X 10.38kcmil = 26.24kcmil
see 302.17

G. Minimum Recommended Conduit Size	0.75" dia.
-------------------------------------	------------

The total area of all conductors is 0.2028in². With a maximum fill rate of 0.4, the recommended conduit diameter is 0.75.
see 302.17

Qty	Description	Size	Type	Area	Total Area
2	Conductor	6 AWG	THWN-2	0.0507in ²	0.1014in ²
1	Neutral	6 AWG	THWN-2	0.0507in ²	0.0507in ²
1	Equipment Ground	6 AWG	THWN-2	0.0507in ²	0.0507in ²
4					0.2028in ²

NEC Code Validation Tests

1	OCPPD rating must be at least 125% of Continuous Current (240.4)	PASS
---	--	------

$30A \geq 21.78A \times 1.25$ = true

2	Derated ampacity must exceed OCPD rating, or rating of next smaller OCPD (240.4)	PASS
---	--	------

$72A \geq 30A$ (OCPPD Rating) = true

3	Derated Ampacity must be greater than or equal to the Continuous Current (Article 100)	PASS
---	--	------

$72A \geq 21.78A$ = true

4	Conductor Ampacity must be at least 125% of Continuous Current (215.2(A)(1))	PASS
---	--	------

$75A \geq 21.78A \times 1.25$ = true

5	Max current for terminal must be at least 125% of the Continuous Current (110.14(C))	PASS
---	--	------

$65A \geq 21.78A \times 1.25$ = true

6	EGC must meet code requirements for minimum size (Table 250.122)	PASS
---	--	------

6 AWG ≥ 10 AWG = true

7	Conduit must meet code recommendation for minimum size (300.17)	PASS
---	---	------

$0.75in.$ $\geq 0.75in.$ = true

2.4. #4: Production Meter Output: PV Generation Meter to Utility Disconnect

Circuit Section Properties	
Conductor	6 AWG THHN-2, Copper
Equipment Ground Conductor (EGC)	6 AWG THHN-2, Copper
OCPPD(s)	30A
Receptacle/Cable	0.75" dia. EMT
Lowest Terminal Temperature Rating	75°C
Maximum Wire Temperature	33°C
Power Source Description	Emphase Inverter w/18 Jinke JK6410M-72HL-V (410W/s)
Power Source Current	21.78A
Voltage	240V

NEC Code Calculations

A. Continuous Current <i>see Article 100</i>	21.78A
Equipment maximum rated output current is 21.78A	
B. Ampacity of Conductor <i>see Table 310.15(B)(16)</i>	75A
Ampacity (30°C) for a copper conductor with 90°C insulation in conduit/cable is 75A.	

C. Derated Ampacity of Conductor <i>see Table 310.15(B)(2)(c), Table 310.15(B)(3)(a), and Article 100</i>	72A
The temperature factor for 90°C insulation at 33°C is 0.96. The fill factor for a conduit/cable that has 2 wires is 1. The ampacity derated for Conditions of Use is the product of the conductor ampacity (75A) multiplied by the temperature factor (0.96) and by the fill factor (1). $75A \times 0.96 \times 1 = 72A$	

D. Max Current for Terminal Temp. Rating <i>see 710.14(C)</i>	65A
The lowest temperature rating for this conductor at any termination is 75°C. Using the method specified in 710.14(C), the maximum current permitted to ensure that the device terminal temperature does not exceed its 75°C rating would be the amount referenced in the 75°C column in Table 310.15(B)(16), which is 65A.	

E. Minimum Allowed OCPD Rating <i>see 240.4</i>	27A
NEC 690.9(B) requires that the OCPD be rated for no less than 1.25 times the Continuous Current of the circuit. $21.78A \times 1.25 = 27.22A$ rounded down to 27A	

F. Minimum Required EGC Size <i>see 250.122(B)</i>	6 AWG
Where conductors are oversized, the EGC must be oversized by the same rate. Table 250.122 gives a minimum EGC size of 10 AWG. Multiplied by the oversize rate, this yields 26.24kcmil corresponding to 6 AWG. (26.24kcmil / 10.38kcmil) X 10.38kcmil = 26.24kcmil	

G. Minimum Recommended Conduit Size <i>see 302.17</i>	0.75" dia.
The total area of all conductors is 0.2028in ² . With a maximum fill rate of 0.4, the recommended conduit diameter is 0.75".	

Qty	Description	Size	Type	Area	Total Area
2	Conductor	6 AWG	THHN-2	0.0507in ²	0.1014in ²
1	Neutral	6 AWG	THHN-2	0.0507in ²	0.0507in ²
1	Equipment Ground	6 AWG	THHN-2	0.0507in ²	0.0507in ²
4					0.2028in ²

0.2028in² / 0.4 = 0.507in² (Corresponding to a diameter of 0.75")

NEC Code Validation Tests

1.	OCPPD rating must be at least 125% of Continuous Current (240.4) $30A \times 1.25 = 37.5A = \text{true}$	PASS
2.	Derated ampacity must exceed OCPD rating, or rating of next smaller OCPD (240.4) $72A \times 30A$ (OCPPD Rating) = true	PASS
3.	Derated Ampacity must be greater than or equal to the Continuous Current (Article 100) $72A \times 21.78A = \text{true}$	PASS
4.	Conductor Ampacity must be at least 125% of Continuous Current (215.2(A)(1)) $75A \times 21.78A \times 1.25 = \text{true}$	PASS
5.	Max current for terminal must be at least 125% of the Continuous Current. (710.14(C)) $65A \times 21.78A \times 1.25 = \text{true}$	PASS
6.	EGC must meet code requirements for minimum size (Table 250.122) $6 \text{ AWG} \times 10 \text{ AWG} = \text{true}$	PASS
7.	Conduit must meet code recommendation for minimum size (300.17) $0.75in. \times 0.75in. = \text{true}$	PASS

2.5. #5: Utility Disconnect Output: Utility Disconnect to Main Service Panel

Circuit Section Properties	
Conductor	6 AWG THHN-2, Copper
Equipment Ground Conductor (EGC)	6 AWG THHN-2, Copper
OCPPD(s)	30A
Receptacle/Cable	0.75" dia. EMT
Lowest Terminal Temperature Rating	75°C
Maximum Wire Temperature	33°C
Power Source Description	Emphase Inverter w/18 Jinke JK6410M-72HL-V (410W/s)
Power Source Current	21.78A
Voltage	240V

NEC Code Calculations

A. Continuous Current <i>see Article 100</i>	21.78A
Equipment maximum rated output current is 21.78A	
B. Ampacity of Conductor <i>see Table 310.15(B)(16)</i>	75A
Ampacity (30°C) for a copper conductor with 90°C insulation in conduit/cable is 75A.	

C. Derated Ampacity of Conductor <i>see Table 310.15(B)(2)(c), Table 310.15(B)(3)(a), and Article 100</i>	72A
The temperature factor for 90°C insulation at 33°C is 0.96. The fill factor for a conduit/cable that has 2 wires is 1. The ampacity derated for Conditions of Use is the product of the conductor ampacity (75A) multiplied by the temperature factor (0.96) and by the fill factor (1). $75A \times 0.96 \times 1 = 72A$	

D. Max Current for Terminal Temp. Rating <i>see 710.14(C)</i>	65A
The lowest temperature rating for this conductor at any termination is 75°C. Using the method specified in 710.14(C), the maximum current permitted to ensure that the device terminal temperature does not exceed its 75°C rating would be the amount referenced in the 75°C column in Table 310.15(B)(16), which is 65A.	

E. Minimum Allowed OCPD Rating <i>see 240.4</i>	27A
NEC 690.9(B) requires that the OCPD be rated for no less than 1.25 times the Continuous Current of the circuit. $21.78A \times 1.25 = 27.22A$ rounded down to 27A	

F. Minimum Required EGC Size <i>see 250.122(B)</i>	6 AWG
Where conductors are oversized, the EGC must be oversized by the same rate. Table 250.122 gives a minimum EGC size of 10 AWG. Multiplied by the oversize rate, this yields 26.24kcmil corresponding to 6 AWG. (26.24kcmil / 10.38kcmil) X 10.38kcmil = 26.24kcmil	

G. Minimum Recommended Conduit Size <i>see 302.17</i>	0.75" dia.
The total area of all conductors is 0.2028in ² . With a maximum fill rate of 0.4, the recommended conduit diameter is 0.75".	

Qty	Description	Size	Type	Area	Total Area
2	Conductor	6 AWG	THHN-2	0.0507in ²	0.1014in ²
1	Neutral	6 AWG	THHN-2	0.0507in ²	0.0507in ²
1	Equipment Ground	6 AWG	THHN-2	0.0507in ²	0.0507in ²
4					0.2028in ²

0.2028in² / 0.4 = 0.507in² (Corresponding to a diameter of 0.75")

NEC Code Validation Tests

1.	OCPPD rating must be at least 125% of Continuous Current (240.4) $30A \times 1.25 = 37.5A = \text{true}$	PASS
2.	Derated ampacity must exceed OCPD rating, or rating of next smaller OCPD (240.4) $72A \times 30A$ (OCPPD Rating) = true	PASS
3.	Derated Ampacity must be greater than or equal to the Continuous Current (Article 100) $72A \times 21.78A = \text{true}$	PASS
4.	Conductor Ampacity must be at least 125% of Continuous Current (215.2(A)(1)) $75A \times 21.78A \times 1.25 = \text{true}$	PASS
5.	Max current for terminal must be at least 125% of the Continuous Current. (710.14(C)) $65A \times 21.78A \times 1.25 = \text{true}$	PASS
6.	EGC must meet code requirements for minimum size (Table 250.122) $6 \text{ AWG} \times 10 \text{ AWG} = \text{true}$	PASS
7.	Conduit must meet code recommendation for minimum size (300.17) $0.75in. \times 0.75in. = \text{true}$	PASS

P-178586

GRID-TIED SOLAR POWER SYSTEM
 2415 CALLE DE PARIAN
 LAS CRUCES, NM 88005

SITE PLAN

DOC ID: 178586-220759-1

DATE: 7/20/22

CREATOR:

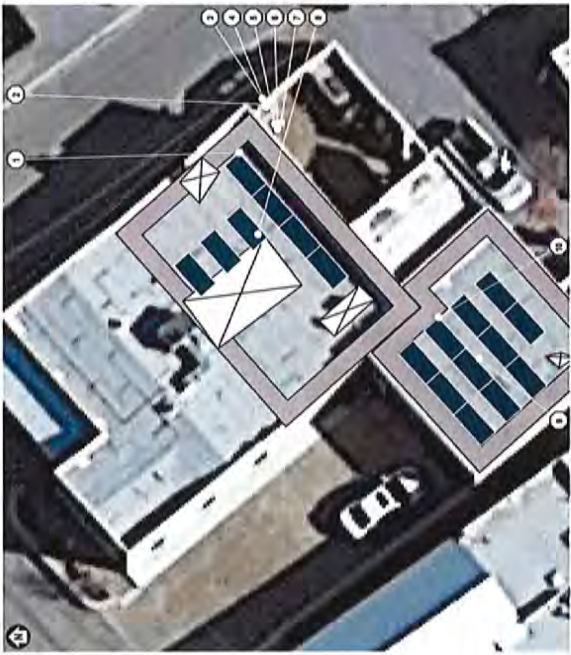
REVIEWER:

REVISIONS

PV-2

GENERAL NOTES	
1	EQUIPMENT LIKELY TO BE WORKED UPON WHILE ENERGIZED SHALL BE INSTALLED IN LOCATIONS THAT SATISFY MINIMUM WORKING CLEARANCES PER NEC 110.26.
2	CONTRACTOR SHALL USE ONLY COMPONENTS LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY FOR THE INTENDED USE.
3	CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL EQUIPMENT, CABLES, ADDITIONAL CONDUITS, RACEWAYS, AND OTHER ACCESSORIES NECESSARY FOR A COMPLETE AND OPERATIONAL PV SYSTEM.
4	ALL EMT CONDUIT FITTINGS SHALL BE LISTED AS WEATHERPROOF FITTINGS AND INSTALLED TO ENSURE A RAINTIGHT FIT, PER NEC 358.42.

- (1) (N) TRANSITION BOX, OUTDOOR, OUTPUT CIRCUIT CONDUCTORS SHALL BE RUN IN EMT CONDUIT OVER ROOF NO CLOSER THAN 0.5' ABOVE ROOF SURFACE
- (2) (N) VISIBLE, LOCKABLE, READILY-ACCESSIBLE AC DISCONNECT LOCATED WITHIN 10 FT OF UTILITY METER, OUTDOOR
- (3) (N) AC COMBENER, OUTDOOR, OUTPUT CIRCUIT CONDUCTORS SHALL BE RUN IN EMT CONDUIT OVER ROOF NO CLOSER THAN 0.5' ABOVE ROOF SURFACE
- (4) (N) PRODUCTION METER, OUTDOOR
- (5) (N) MAIN SERVICE PANEL (MSP), OUTDOOR
- (6) (E) UTILITY METER, OUTDOOR
- (7) (E) GAS METER, OUTDOOR, NO NEW ELECTRICAL EQUIPMENT SHALL BE INSTALLED WITHIN 36 INCHES OF CENTER OF GAS METER OR RISER.
- (8) (N) PROPOSED ROOF-MOUNTED PHOTOVOLTAIC ARRAY, FLAT ROOF, 7 PV MODULES (SILVER FRAME, CLEAR BACKSHEET), 15° TILT, 138° AZIMUTH
- (9) (N) PROPOSED ROOF-MOUNTED PHOTOVOLTAIC ARRAY, FLAT ROOF, 11 PV MODULES (SILVER FRAME, CLEAR BACKSHEET), 15° TILT, 138° AZIMUTH
- (10) (N) TRANSITION BOX, OUTDOOR, OUTPUT CIRCUIT CONDUCTORS SHALL BE RUN IN EMT CONDUIT OVER ROOF NO CLOSER THAN 0.5' ABOVE ROOF SURFACE



1 SITE PLAN
 PV-2 SCALE: 1" = 20'

Eagle HC 72M G2

390-410 Watt

MONO PERC HALF CELL MODULE

Positive power tolerance of 0~+3%



KEY FEATURES

- Diamond Cell Technology**
Uniquely designed high performance 5 bubble mono PERC half cell
- High Voltage**
UL and IEC 1500V certified; lowers BOS costs and yields better LCOE
- Higher Module Power**
Decrease in current loss yields higher module efficiency
- Shade Tolerance**
More shade tolerance due to twin arrays
- PID FREE**
Reinforced cell prevents potential induced degradation
- Strength and Durability**
Certified for high snow (5400Pa) and wind (2400 Pa) loads



- ISO9001:2008 Quality Standards
- ISO14001:2004 Environmental Standards
- OHSAS18001 Occupational Health & Safety Standards
- IEC61215, IEC61730 certified products
- UL1703 certified products

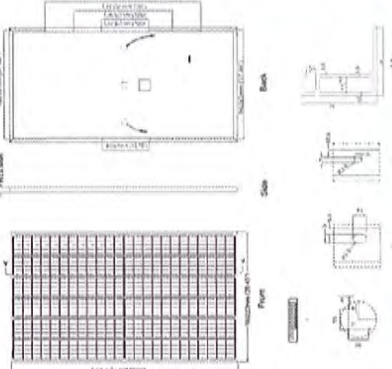
Non-members			
Code	Cell	Cell	Certification
H	Full	Half	Normal
H	Full	L	Diamond
H	Full	V	1500V

LINEAR PERFORMANCE WARRANTY

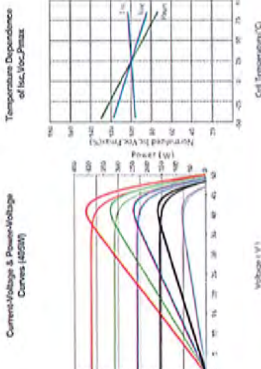
10 Year Product Warranty • 25 Year Linear Power Warranty



Engineering Drawings



Electrical Performance & Temperature Dependence



Mechanical Characteristics

Cell Type	Mono PERC Diamond Cell (158.75 x 158.75 mm)
No. of Half-cells	144 (6x24)
Dimensions	2008x1002x40mm (79.06x39.45x1.57 inch)
Weight	22.5 kg (49.6 lb)
Front Glass	3.2mm Anti-Reflection Coating, High Transmittance Low Iron, Tempered Glass
Frame	Anodized Aluminum Alloy
Junction Box	IP67 Rated
Output Cables	12AWG (+) 1400mm(55.12 in), (-) 1400mm(55.12 in) or Customized Length
Fire Type	Type 1

Packaging Configuration

1 Tray/pallet = 60x stack
26pcz/pallet, 52pcz/stack, 572pcz/40 HQ Container

SPECIFICATIONS

Module Type	JKM410M-72HL-V	JKM408M-72HL-V	JKM405M-72HL-V	JKM410M-72HL-V		
STC	NOCT	STC	NOCT	STC	NOCT	
360Wp	284Wp	358Wp	258Wp	405Wp	360Wp	
Maximum Power (Pmax)	41.1V	39.1V	41.7V	39.8V	42.0V	39.8V
Maximum Power Voltage (Vmp)	9.49A	7.54A	9.55A	7.60A	9.65A	7.72A
Maximum Power Current (Imp)	49.3V	48.0V	49.5V	48.2V	49.8V	48.5V
Open-circuit Voltage (Voc)	10.12A	8.02A	10.23A	8.09A	10.36A	8.22A
Short-circuit Current (Isc)	19.85%	19.85%	19.85%	19.85%	19.85%	19.85%
Module Efficiency STC (%)	Operating Temperature (°C)	-40°C~+85°C				
Maximum System Voltage	Maximum System Voltage	1500V(DC/UL1500V(DC/IEC))				
Maximum Series Fuse Rating	20A					
Power Tolerance	0~+3%					
Temperature Coefficients of Pmax	-0.35%/°C					
Temperature Coefficients of Voc	-0.25%/°C					
Temperature Coefficients of Isc	0.048%/°C					
Normal Operating Cell Temperature (NOCT)	45±2°C					

STC: Irradiance 1000W/m² Cell Temperature 25°C AM=1.5

NOCT: Irradiance 800W/m² Ambient Temperature 20°C AM=1.5 Wind Speed 1m/s

• Power measurement tolerance: ± 3%

CAUTION: READ SAFETY AND INSTALLATION INSTRUCTIONS BEFORE USING THE PRODUCT.
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JKM390-410M-72HL-V-A1-US

Enphase IQ Combiner 3 (X-IQ-AM1-240-3)

The **Enphase IQ Combiner 3™** with Enphase IQ Envoy™ consolidates interconnection equipment into a single enclosure and streamlines PV and storage installations by providing a consistent, pre-wired solution for residential applications. It offers up to four 2-pole input circuits and Eaton BR series busbar assembly.

Smart

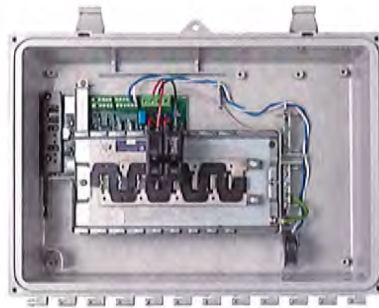
- Includes IQ Envoy for communication and control
- Flexible networking supports Wi-Fi, Ethernet, or cellular
- Optional AC receptacle available for PLC bridge
- Provides production metering and optional consumption monitoring

Simple

- Reduced size from previous combiner
- Centered mounting brackets support single stud mounting
- Supports back and side conduit entry
- Up to four 2-pole branch circuits for 240 VAC plug-in breakers (not included)
- 80 A total PV or storage branch circuits

Reliable

- Durable NRTL-certified NEMA type 3R enclosure
- Five-year warranty
- UL listed



Enphase IQ Combiner 3

MODEL NUMBER

IQ Combiner 3 X-IQ-AM1-240-3

IQ Combiner 3 with Enphase IQ Envoy™ printed circuit board for integrated revenue grade PV production metering (ANSI C12.20 +/-0.5%) and optional* consumption monitoring (+/- 2.5%).

ACCESSORIES and REPLACEMENT PARTS (not included, order separately)

Enphase Mobile Connect™
CELLMODEM-03 (4G / 12-year data plan)
CELLMODEM-01 (3G / 5-year data plan)
CELLMODEM-M1 (4G based LTE-M / 5-year data plan)
where there is adequate cellular service in the installation area.)

Consumption Monitoring* CT

Split core current transformers enable whole home consumption metering (+/- 2.5%).
Supports Eaton BR210, BR215, BR220, BR225, BR240, BR250, and BR260 circuit breakers.
Circuit Breakers
BRK-10A-2-240
BRK-15A-2-240
BRK-20A-2P-240

EPLC-01

X4-PLUG-120-3

X4-ENV-PCBA-3

Replacement IQ Envoy printed circuit board (PCB) for Combiner 3

ELECTRICAL SPECIFICATIONS

Rating

System voltage

120/240 VAC, 60 Hz

Eaton BR series busbar rating

125 A

Max. continuous current rating (output to grid)

65 A

Max. fuse/circuit rating (output)

90 A

Branch circuits (solar and/or storage)

Up to four 2-pole Eaton BR series Distributed Generation (DG) breakers only (not included)

Max. continuous current rating (input from PV)

64 A

Max. total branch circuit breaker rating (input)

80A of distributed generation / 90A with IQ Envoy breaker included

Production Metering CT

200 A solid core pre-installed and wired to IQ Envoy

MECHANICAL DATA

Dimensions (WxHxD)

49.5 x 37.5 x 16.8 cm (19.5" x 14.75" x 6.63"). Height is 21.06" (53.5 cm with mounting brackets).

Weight

7.5 kg (16.5 lbs)

Ambient temperature range

-40° C to +46° C (-40° to 115° F)

Cooling

Natural convection, plus heat shield

Enclosure environmental rating

Outdoor, NRTL-certified, NEMA type 3R, polycarbonate construction

Wire sizes

• 20 A to 50 A breaker inputs: 14 to 4 AWG copper conductors
• 60 A breaker input: 4 to 1/0 AWG copper conductors
• Main lug combined output: 10 to 2/0 AWG copper conductors
• Neutral and ground: 14 to 1/0 copper conductors
Always follow local code requirements for conductor sizing.

Altitude

To 2000 meters (6,560 feet)

INTERNET CONNECTION OPTIONS

Integrated Wi-Fi

802.11b/g/n

Ethernet

Optional, 802.3, Cat5E (or Cat 6) UTP Ethernet cable (not included)

Cellular

Optional, CELLMODEM-01 (3G) or CELLMODEM-03 (4G) or CELLMODEM-M1 (4G based LTE-M) (not included)

COMPLIANCE

Compliance, Combiner

UL 1741

CAN/CSA C22.2 No. 107.1

47 CFR, Part 15, Class B, ICES 003

Production metering: ANSI C12.20 accuracy class 0.5 (PV production)

UL 60601-1/CAN/CSA 22.2 No. 61010-1

* Consumption monitoring is required for Enphase Storage Systems.

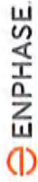
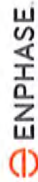
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2018-05-13



To learn more about Enphase offerings, visit enphase.com



Enphase IQ Combiner

Enphase IQ Combiner (X-IQ-AM1-240-B)

The **Enphase IQ Combiner™** with Enphase IQ Envoy™ consolidates interconnection equipment into a single enclosure and streamlines PV installations by providing a consistent, pre-wired solution for residential applications.



Smart

- Includes IQ Envoy for communication and control
- Flexible networking supports Wi-Fi, Ethernet, or cellular

Simple

- Three pre-installed 20 A / 240 VAC circuit breakers
- Provides production metering and optional consumption monitoring.

Reliable

- Durable NRTL-certified NEMA type 3R enclosure
- Five-year warranty

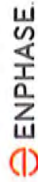
MODEL NUMBER	IQ Combiner with Enphase IQ Envoy™ for integrated revenue grade PV production metering (ANSI C12.20 +/- 0.5%) and optional consumption monitoring (+/- 2.5%).
ACCESSORIES (order separately)	Plug and play industrial grade cellular modem with data plan for systems up to 60 microinverters. (Available in the US, Canada, Mexico, Puerto Rico, and the US Virgin Islands, where there is adequate cellular service in the installation area.) Split core current transformers enable whole home consumption metering (+/- 2.5%). CT-200-SP-1T
ELECTRICAL SPECIFICATIONS	
Rating	Continuous duty
Solar branch circuit breakers	Three 2-pole 20 A/240 VAC DIN rail-mounted breakers
Maximum system voltage	240 VAC
Rated output current	48 A
Rated input current, each input	16 A
Maximum fuse/circuit breaker rating (output)	60 A
Production Metering CT	200 A solid core pre-installed and wired to IQ Envoy
MECHANICAL DATA	
Dimensions (WxHxD)	38.0 x 38.7 x 20.3 cm (15.0" x 15.3" x 8.0")
Weight	5.1 kg (11.2 lbs)
Ambient temperature range	-40° C to +46° C (-40° to 115° F)
Cooling	Vented, natural convection, plus heat shield
Enclosure environmental rating	Outdoor, NRTL-certified, NEMA type 3R, polycarbonate construction
Wire size	14 to 6 AWG copper conductors for branch inputs. 14 to 4 AWG copper conductors for combined output. Follow local code requirements for conductor sizing.
Altitude	To 2000 meters (6,560 feet)
INTERNET CONNECTION OPTIONS	
Integrated Wi-Fi	802.11b/g/n
Ethernet	802.3, Cat5E (or Cat 6) UTP Ethernet cable - not included
Cellular	Optional, CELLMODEM-01 (3G) or CELLMODEM-03 (4G) - not included
COMPLIANCE	
Compliance, Combiner	UL 1741
Compliance, IQ Envoy	UL 916 CAN/CSA C22.2 No. 61010-1 47 CFR, Part 15, Class B, ICES 003 IEC/EN 61010-1:2010, EN50065-1, EN61000-4-5, EN61000-6-1, EN61000-6-2 Metering: ANSI C12.20 accuracy class 0.5

To learn more about Enphase offerings, visit enphase.com

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Eaton general duty non-fusible safety switch

DG221URB

UPC:782113120232

Dimensions:

- Height: 10.81 IN
- Length: 6.88 IN
- Width: 6.38 IN

Weight:6 LB

Notes:WARNING! Switch is not approved for service entrance unless a neutral kit is installed.

Warranties:

- Eaton Selling Policy 25-000, one (1) year from the date of installation of the Product or eighteen (18) months from the date of shipment of the Product, whichever occurs first.

Specifications:

- Type: Non-fusible, single-throw
- Amperage Rating: 30A
- Enclosure: NEMA 3R, Rainproof
- Enclosure Material: Painted galvanized steel
- Fuse Configuration: Non-fusible
- Number Of Poles: Two-pole
- Number Of Wires: Two-wire
- Product Category: General duty safety switch
- Voltage Rating: 240V

Supporting documents:

- [Eaton's Volume 2-Commercial Distribution](#)
- [Eaton Specification Sheet - DG221URB](#)

Certifications:

- UL Listed

Product compliance: No Data

Enphase IQ 7 and IQ 7+ Microinverters

The high-powered smart grid-ready **Enphase IQ 7 Micro™** and **Enphase IQ 7+ Micro™** dramatically simplify the installation process while achieving the highest system efficiency.

Part of the Enphase IQ System, the IQ 7 and IQ 7+ Microinverters integrate with the Enphase IQ Envoy™, Enphase IQ Battery™, and the Enphase Enlighten™ monitoring and analysis software.

IQ Series Microinverters extend the reliability standards set forth by previous generations and undergo over a million hours of power-on testing, enabling Enphase to provide an industry-leading warranty of up to 25 years.

Easy to Install

- Lightweight and simple
- Faster installation with improved, lighter two-wire cabling
- Built-in rapid shutdown compliant (NEC 2014 & 2017)

Productive and Reliable

- Optimized for high powered 60-cell and 72-cell* modules
- More than a million hours of testing
- Class II double-insulated enclosure
- UL listed

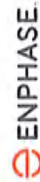
Smart Grid Ready

- Complies with advanced grid support, voltage and frequency ride-through requirements
- Remotely updates to respond to changing grid requirements
- Configurable for varying grid profiles
- Meets CA Rule 21 (UL 1741-SA)

*The IQ 7+ Micro is required to support 72-cell modules.



To learn more about Enphase offerings, visit enphase.com



Enphase IQ 7 and IQ 7+ Microinverters

INPUT DATA (DC)	IQ7-60-2-US / IQ7-60-8-US	IQ7PLUS-72-2-US / IQ7PLUS-72-8-US
Commonly used module pairings ¹	235 W - 350 W +	235 W - 440 W +
Module compatibility	60-cell PV modules only	60-cell and 72-cell PV modules
Maximum input DC voltage	48 V	60 V
Peak power tracking voltage	27 V - 37 V	27 V - 45 V
Operating range	16 V - 48 V	16 V - 60 V
Mini/Max start voltage	22 V / 48 V	22 V / 60 V
Max DC short circuit current (module Isc)	15 A	15 A
Overvoltage class DC port	II	II
DC port backfeed current	0 A	0 A
PV array configuration	1 x 1 ungrounded array. No additional DC side protection required. AC side protection requires max 20A per branch circuit	

OUTPUT DATA (AC)	IQ 7 Microinverter	IQ 7+ Microinverter
Peak output power	250 VA	295 VA
Maximum continuous output power	240 VA	290 VA
Nominal (L-L) voltage/range ²	240 V / 183-225 V	208 V / 240 V / 211-264 V
Maximum continuous output current	1.0 A (240 V)	1.15 A (208 V) 1.21 A (240 V) 1.39 A (208 V)
Nominal frequency	60 Hz	60 Hz
Extended frequency range	47 - 68 Hz	47 - 68 Hz
AC short circuit fault current over 3 cycles	5.8 Arms	5.8 Arms
Maximum units per 20 A (L-L) branch circuit ³	16 (240 VAC)	13 (208 VAC)
Overvoltage class AC port	III	III
AC port backfeed current	0 A	0 A
Power factor setting	1.0	1.0
Power factor (adjustable)	0.85 leading ... 0.85 lagging	0.85 leading ... 0.85 lagging
EFFICIENCY	@240 V	@208 V
Peak efficiency	97.6 %	97.5 %
CEC weighted efficiency	97.0 %	97.0 %

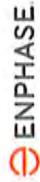
MECHANICAL DATA	IQ 7+ Microinverter
Ambient temperature range	-40°C to +65°C
Relative humidity range	4% to 100% (condensing)
Connector type (IQ7-60-2-US & IQ7PLUS-72-2-US)	MIC4 (or Amphenol H4 UTX with additional Q-DCC-5 adaptor)
Connector type (IQ7-60-8-US & IQ7PLUS-72-8-US)	Friends PV2 (MIC4 intermatable). Adaptors for modules with MIC4 or UTX connectors: - PV2 to MIC4: order ECA-S20-S22 - PV2 to UTX: order ECA-S20-S25
Dimensions (WxHxD)	212 mm x 175 mm x 30.2 mm (without bracket)
Weight	1.08 kg (2.38 lbs)
Cooling	Natural convection - No fans
Approved for wet locations	Yes
Pollution degree	PD3
Enclosure	Class II double-insulated, corrosion resistant polymeric enclosure
Environmental category / UV exposure rating	NEMA Type 6 / outdoor

Communication	Power Line Communication (PLC)
Monitoring	Enlighten Manager and MyEnlighten monitoring options. Both options require installation of an Enphase IQ Envoy.
Disconnecting means	The AC and DC connectors have been evaluated and approved by UL for use as the load-break disconnect required by NEC 690.
Compliance	CA Rule 21 (UL 1741-SA) UL 62109-1, UL1741/IEEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shut Down Equipment and conforms with NEC-2014 and NEC-2017 section 690.12 and C221-2015 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer's instructions.

Peak efficiency	97.6 %	97.5 %
CEC weighted efficiency	97.0 %	97.0 %
Ambient temperature range	-40°C to +65°C	
Relative humidity range	4% to 100% (condensing)	
Connector type (IQ7-60-2-US & IQ7PLUS-72-2-US)	MIC4 (or Amphenol H4 UTX with additional Q-DCC-5 adaptor)	
Connector type (IQ7-60-8-US & IQ7PLUS-72-8-US)	Friends PV2 (MIC4 intermatable). Adaptors for modules with MIC4 or UTX connectors: - PV2 to MIC4: order ECA-S20-S22 - PV2 to UTX: order ECA-S20-S25	
Dimensions (WxHxD)	212 mm x 175 mm x 30.2 mm (without bracket)	
Weight	1.08 kg (2.38 lbs)	
Cooling	Natural convection - No fans	
Approved for wet locations	Yes	
Pollution degree	PD3	
Enclosure	Class II double-insulated, corrosion resistant polymeric enclosure	
Environmental category / UV exposure rating	NEMA Type 6 / outdoor	

1. No enforced DC/AC ratio. See the compatibility calculator at ulnar.us/enphase.com/technicalsupport/module-compatibility.
2. Nominal voltage range can be extended beyond nominal if required by the utility.
3. Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

To learn more about Enphase offerings, visit enphase.com





U-BUILDER PROJECT REPORT

VERSION: 3.1.6

PROJECT TITLE

ROOFMOUNT RM10

PROJECT ID

60673123

CREATED

July 20, 2022, 8:59 a.m.

NAME

Robert Reynolds

Designed by will.kemp@yellowbirdservices.com

ADDRESS

2415 Calle De Parian

ROOFMOUNT RM10

CITY, STATE

Las Cruces, NM

Jinko

MODULE

Jinko JKM410M-72HL-V

18 - JKM410M-72HL-V

389.86 ft²

7.38 KW

NOTE: Installation of the project is intended to happen within the year of project designed in UBuilder. If it's past one year please rerun the design or contact Unirac Engineering Services.

ENGINEERING REPORT

Plan review

AVERAGE PSF	5.73 psf
TOTAL NUMBER OF MODULES	18
TOTAL KW	7.38 KW
TOTAL MODULE AREA	~652 ft ²
TOTAL WEIGHT ON ROOF	3735 lbs
RACKING WEIGHT	123 lbs
MODULE WEIGHT	893 lbs
BALLAST WEIGHT	2720 lbs
MAX BAY LOAD (DEAD)	245 lbs
ATTACHMENT COUNT	0
TOTAL SEISMIC ATTACHMENTS REQUIRED	0

Loads Used for Design

BUILDING CODE	ASCE 7-10
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	0.00 psf
SEISMIC (Ss)	0.287
ELEVATION	4187.00 ft
WIND EXPOSURE	B
MRI	25
RISK CATEGORY	II
VELOCITY PRESSURE, QZ	12.55 psf

Loads Determined by Zip

CITY, STATE	Las Cruces, NM
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	0.00 psf

Inspection

PRODUCT	ROOFMOUNT RM10
MODULE MANUFACTURER	Jinko
MODEL	JKM410M-72HL-V
MODULE WATTS	410 watts
MODULE LENGTH	79.06"
MODULE WIDTH	39.45"
MODULE THICKNESS	1.57"
MODULE WEIGHT	49.60 lbs
BALLAST BLOCK (CMU) WEIGHT	32.0 lbs
MAX BLOCKS PER NORTH BAY	6
MAX BLOCKS PER NON NORTH BAY	4
BUILDING HEIGHT	15.00 ft
ROOF TYPE	MINERAL_CAP
PARAPET HEIGHT	<= 1/2 Array Height (<= 6 inches)
RISK CATEGORY	II
ATTACHMENTS OPTIMIZATION CRITERIA	Maximize Ballast
ATTACHMENT TYPE	UNIRAC FLASHLOC RM
ATTACHMENT CAPACITY UPLIFT	620.0 lbs
ATTACHMENT CAPACITY SHEAR	523.0 lbs
CONTROLLING COMPONENT UPLIFT CAPACITY	RACKING
CONTROLLING COMPONENT SHEAR CAPACITY	RACKING

Roof Area 1 - Array 1

AVERAGE PSF	4.17 psf	MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
		ARRAY TO ARRAY:	3.0"
TOTAL NUMBER OF MODULES:	11	TO FIXED OBJECT ON ROOF:	6.0"
TOTAL KW:	4.51 KW	TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TOTAL AREA:	385 ft ²	TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
TOTAL WEIGHT ON ROOF:	1604 lbs	MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
RACKING WEIGHT:	67 lbs	MAX NUMBER OF NORTH-SOUTH ROWS:	24
MODULE WEIGHT:	546 lbs	MAX NUMBER OF EAST-WEST COLUMNS:	53
BALLAST WEIGHT:	992 lbs	*In jurisdictions that follow SEAOC PV-1 methodology.	
ATTACHMENT COUNT	0		
SEISMIC ATTACHMENT COUNT	0		

Roof Area 2 - Array 1

AVERAGE PSF	7.98 psf	MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
		ARRAY TO ARRAY:	3.0"
TOTAL NUMBER OF MODULES:	7	TO FIXED OBJECT ON ROOF:	6.0"
TOTAL KW:	2.87 KW	TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TOTAL AREA:	267 ft ²	TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
TOTAL WEIGHT ON ROOF:	2131 lbs	MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
RACKING WEIGHT:	56 lbs	MAX NUMBER OF NORTH-SOUTH ROWS:	12
MODULE WEIGHT:	347 lbs	MAX NUMBER OF EAST-WEST COLUMNS:	25
BALLAST WEIGHT:	1728 lbs	*In jurisdictions that follow SEAOC PV-1 methodology.	
ATTACHMENT COUNT	0		
SEISMIC ATTACHMENT COUNT	0		

RM10 U-BUILDER PRODUCT ASSUMPTIONS

RM10 – Ballasted Flat Roof Systems

Limitations of Responsibility: It is the user's responsibility to ensure that inputs are correct for your specific project. Unirac is not the solar, electrical, or building engineer of record and is not responsible for the solar, electrical, or building design for this project.

Building Assumptions

1. Risk Category III
2. Building Height \leq 50 ft
3. Building Height > 50 ft: only where (longest length of building x building height)^{0.5} \leq 100 ft
4. Roof Slope \geq 0° (0:12) and \leq 3° (5/8:12) for Seismic Design Category C, D, E and F. For low seismic regions Seismic Design Category A and B (provided Array Importance factor = 1.0), Roof Slope \geq 0° (0:12) and \leq 7° (1 1/2:12).
5. Roofing Material Types: EDPM, PVC, TPO, or Mineral Cap
6. Surrounding Building Grade: Level

Ballast Blocks

The installer is responsible for procuring the ballast blocks (Concrete Masonry Units – CMU) and verifying the required minimum weight needed for this design. CMU should comply with ASM standard specification for concrete roof pavers designation (C1491 or C90 with an integral water repellent suitable for the climate it is placed. It is recommended that the blocks are inspected periodically for any signs of degradation. If degradation of the block is observed, the block should immediately be replaced.

The CMU ballast block should have nominal dimensions of 4"x8"x16". The actual block dimensions are 3/8" less than the nominal dimensions. Ballast blocks should have a weight as specified for the project in the "Inspection" section of this report.

Design Parameters

1. Risk Category I to III
2. Wind Design
 - a. Basic Wind Speed: 85-120 mph (ASCE 7-05)/110-150 mph (ASCE 7-10)/90-180 mph (ASCE 7-16)
 - b. Exposure: B, C or D (ASCE 7-05/ASCE 7-10)
 - c. 25 year Design Life/50 year Design Life for ASCE 7-16
 - d. Elevation: Insertion of the project at - grade elevation can result in a reduction of wind pressure. If your project is in a special case study region or in an area where wind studies have been performed, please verify with your jurisdiction to ensure that elevation effects have not already been factored into the wind speed. If elevation effects have been included in your wind speed, please select 0 ft as the project site elevation.
 - e. Wind Tunnel Testing; Wind tunnel testing coefficients have been utilized for design of the system.
3. Snow Design
 - a. Ground Snow Load: 0-80 psf (ASCE 7-10/ASCE 7-16)
 - b. Exposure Factor: 0.9
 - c. Thermal Factor: 1.2
 - d. Roof Snow Load: Calculation per Section 7.3 (ASCE 7-05/ASCE 7-10/ASCE 7-16)
 - e. Unbalanced/Drifting/Sliding: Results are based on the uniform snow loading and do not consider unbalanced, drifting, and sliding conditions
4. Seismic Design
 - a. Report *SEAO PV1-2012/ASCE 7-16 SECTION 13.6.12 – Structural Seismic Requirements and Commentary for Rooftop Solar Photovoltaic Arrays*
 - b. Seismic Site Class: A, B, C, or D (ASCE 7-05/ASCE 7-10/ASCE 7-16)
 - c. Importance Factor Array (Ip): 1.0
 - d. Importance Factor Building (Ie): 1.0
 - e. Site Class: D

Properties

1. Bay Weight: ~3.5 lbs
2. Module Gaps (E/W) = 0.25 in
3. Bays: North row bays overhang the module by ~19.5 inches.

Module Properties

1. Module return flange: Minimum of 0.9in (when using 1-3/4 in. clip bolts) is required.
2. Module return flange: Minimum of 0.65in (when using 2 in. clip bolts) is required.

Testing

1. Coefficient of Friction
2. Wind Tunnel
3. UL 2703
4. Component Testing (Bay and Clamp)

Setbacks

For the wind tunnel recommendations in U-Builder to apply, the following setbacks should be observed/followed for U-Builder wind design:

1. Modules should be placed a minimum of 3 feet from the edge of the building in any direction.
2. If the array is located near an obstruction that is 3.5 feet wide and 3.5 feet high or larger, the nearest module of the array must be located a distance from the obstruction that is greater than or equal to the height of the obstruction.
Exception: When using ASCE 7-16 Building Code and using the obstruction feature in the module editor to accurately model the size and location of obstruction.
3. Installations within the setbacks listed above require site specific engineering²
4. The setbacks above are for wind. High seismic areas, fire access isles, mechanical equipment, etc., may require larger setbacks than listed above for wind.

Site Specific Engineering

Conditions listed below are beyond the current capabilities of U-Builder. Site specific engineering is required.

1. Wind designs for a project design life exceeding 25 years¹/ASCE 7-16
2. Building assumptions and design parameters outside of U-Builder assumptions²
3. Attachments²
4. Risk Category III or IV projects (U-Builder can be adjusted for the correct wind, but not the seismic or snow design)²
5. Wind tunnel testing reduction factors are not permitted by the Authority Having Jurisdiction (AHJ)³
6. Seismic designs that fall outside SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 recommendations (>3% roof slope, or AHJ's that require shake table testing or non-linear site-specific response history analysis)³
7. Signed and sealed site-specific calculations, layouts, and drawings³

Notes:

¹Please contact info@unirac.com.

²Please contact EngineeringServices@unirac.com for more information.

³Please contact Theresa Allen with PZSE Structural Engineers at theresa@pzse.com. These items will require direct coordination with PZSE to complete the requested services.

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389.86 ft²

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INSTALLATION AND DESIGN PLAN

Roof Area 1

