



THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION
(PZHAC) WILL HOLD A REGULAR MEETING AT THE MESILLA TOWN HALL, 2231
AVENIDA DE MESILLA.

TUESDAY, July 5, 2022, AT 2:30 P.M

AGENDA

1. PLEDGE OF ALLEGIANCE

2. ROLL CALL AND DETERMINATION OF A QUORUM

3. CHANGES / APPROVAL OF AGENDA

4. PUBLIC INPUT

The public is invited to address the commission for up to 3 minutes. You can also email your comments to joep@mesillanm.gov at least twenty-four (24) hours prior to the meeting.

5. APPROVAL OF CONSENT AGENDA

Note: Items on the Consent Agenda, indicated by an asterisk (), will be voted on with one motion unless a commissioner requests that a specific item be removed for discussion.*

- a. *PZHAC MINUTES: June 21, 2022, Regular Minutes
- b. *PZACH Case #061384 - ADMINISTRATIVE APPROVAL – 2260 Calle De Santiago submitted by Bill and Janice Cook to install rooftop solar system not visible from the street and AC combine panel and data monitoring unit, production meter and customer generation fusible AC disconnect. To add one more panel to the project **Zone: Historical Residential (HR)**
- c. *PZACH Case #061424 – ADMINISTRATIVE APPROVAL – 2755 Calle de San Albino, Submitted by ETMSS 2 LLC, To repair a section of roof that was torn off in recent storm, Replacing Decking and shingles on small shed. **Zone: Historical Residential (HR)**

6. PUBLIC HEARING

- a. PZHAC Case #061376– Pappas Williamson seeking for a summary subdivision a Replat of U.S.R.S Tract 11A-199 & 11A – 198A within the Town of Mesilla, Dona Ana County, N.M. in section 25, T.23S R.1E of U.S.R.S. Surveys (2532 Calle De Norte), **Zoned: Historical Residential (HR)**.
- b. PZACH Case #061421 – Conquistadores Del Norte Replat, Being a replat of lots A and B, Filed March, 8, 2011, Book 23 Page 165 Dona Ana County records Town of Mesilla, Dona Ana County, New Mexico. (1 088 Calle Del Norte) **Zoned: Historical Residential (HR)**

7. NEW BUSINESS

- a. **PZHAC Case #061423** – 429 Bason Dr. Submitted by William Claude Wescott, Solar Installation of 23 Solar Panels on rooftop. **Zoned: Residential (R1).**
- b. **PZHAC Case #061425** - 2337 Calle De Guadalupe Submitted by Butcho Fietze LLC: To Tear down Existing pergola and replace with new pergola structure using posts in ground with cement. **Zoned: Historical Commercial (HC)**
- c. **PZHAC Case #061426** – 2738 Highway 28 (Avenida De Mesilla) Remove existing chain link fence and replace with a 6 foot wood picket fence with 5 ½ wide pickets and pressure treated 4x4 posts put 2” into ground with concrete for stability. **Zoned: Historical Residential (HR)**
- d. **PZHAC Case #061383** – 2171 Calle de Parian, submitted by Robert Fountain, Repairs and Replacements on dwelling. **Zoned: Historical Commercial (HC)**

8. COMMISSIONERS / STAFF COMMENTS

9. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 7/1/2022 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristraman - 2531 Avenida de Mesilla, and the U.S. Post Office - 2253 Calle de Parian.



Town of Mesilla, New Mexico

**THE PLANNING, ZONING AND
HISTORICAL APPROPRIATENESS COMMISSION (PZHAC)
THURSDAY, June 21, 2022, 2:30 PM**

MINUTES

1. PLEDGE OF ALLEGIANCE

Chair Lucero led the Pledge of Allegiance.

2. ROLL CALL AND DETERMINATION OF QUORUM

Commissioner Nevarez not present; Jones, Walkinshaw, and Lucero present. Mayor Baraza declared a quorum.

3. CHANGES/APPROVAL OF THE AGENDA

Motion to approve agenda was made by Commissioner Jones and seconded by Commissioner Walkinshaw.

Roll Call Vote:

Commissioner Jones - Yes
Commissioner Walkinshaw - Yes
Commissioner Lucero - Yes
Commissioner Salas- Yes
Commissioner Nevarez- Absent

Motioned passed

4. PUBLIC INPUT

Susan Kreuger: There is an ongoing plan that shows a plan for the cannabis establishment has a guest house although it is identified as a dwelling. She believes another family added this an accessory to a single-family home and cannot be rented or used as a business. The other item has to do with the cannabis control commission and the demonstration of a water right. The state engineer's office has a form they will send to the cannabis control commission to determine whether the two water rights that this particular property has identified are in fact legal for watering cannabis. One of the water rights shows as a right for multiple domestic use and the second water right they presented has a tie to the Elephant Butte irrigation district which falls as a federally funded drop down and because the federal government doesn't recognize the legality of cannabis it can't be used for that.

52 **5. APPROVAL OF CONSENT AGENDA**

- 53
54 a. **PZHAC MINUTES: June 9, 2022, Regular Minutes**
55 b. **PZACH Case #061388 – ADMINISTRATIVE APPROVAL** – 2134 Calle de Principal
56 submitted by Eric Walkinshaw to construct shallow drain ditch to water retention swale, re-gravel
57 the parking lot and refresh woodchips in landscaping. **Zoned: Historical Residential (HR)**
58

59 **Motion to approve the Consent Agenda was made by Commissioner Jones and seconded by**
60 **Commissioner Salas**

61
62 **Roll Call Vote:**
63 Commissioner Jones - Yes
64 Commissioner Walkinshaw – administratively approved
65 Commissioner Lucero - Yes
66 Commissioner Salas – Yes
67 Commissioner Nevarez – Absent
68

69 **Motioned passed**

70
71 **6. NEW BUSINESS**

- 72
73 a. **PZHAC CASE #061419** – 1395 Snow Road, submitted Oscar Luevano to remove and
74 replace barn siding. Color to match existing dwelling. **Zoned: Rural Farm (RF)**
75

76 **Motion to approve was presented by Commissioner Walkinshaw and seconded by**
77 **Commissioner Salas.**

78
79 Staff presented facts of the case.

80
81 **Roll Call Vote:**
82 Commissioner Jones – Yes
83 Commissioner Walkinshaw - Yes
84 Commissioner Lucero - Yes
85 Commissioner Salas – Yes
86 Commissioner Nevarez – Absent
87

88 **Motioned passed**

- 89
90 b. **PZHAC CASE #061420** – 1395 Snow Road submitted by Oscar Leuvano. Erect perimeter
91 fencing with fencing within for added security purposes. **Zoned: Rural Farm (RF)**
92

93 **Motion to approve was presented by Commissioner Salas and seconded by Commissioner**
94 **Walkinshaw.**

95
96 Staff presented facts of the case. Discussion followed.

97
98 **Roll Call Vote:**
99 Commissioner Jones – Yes
100 Commissioner Walkinshaw - Yes
101 Commissioner Lucero – Yes with condition
102 Commissioner Salas – Yes with condition

103 Commissioner Nevarez – Absent

104

105 **Motion passed**

106

107 **7. COMMISSIONERS/STAFF COMMENTS**

108 Mr. Padilla wanted to express an apology to Mr. Maese for the last meeting as there was a lot of
109 system malfunction and he didn't have access to email. Everyone was called on the list however,
110 Mr. Maese was not on the list but has now been added.

111

112 Request from Commissioner Lucero asked that the ordinance code be included in the packet to
113 know where comments are being cited from.

114

115 Consultant Tom Maese reported that there was a case approved for a rock wall during the last
116 meeting or the meeting before. During inspections, there is an additional slab on that property that
117 appears to be used for an additional type of storage. He will be providing his findings. Also,
118 south of here where Mr. Alexander has his business, they have put up a big tent and does not
119 know the purpose for it

120

121 Consultant Tom Maese said that Commissioner Walkinshaw is referring to the Nevarez property
122 north of town and they have been given approval, both by the town of Mesilla and the state to
123 allow them to put up the firework tent on the slab of concrete, but they followed proper
124 procedure. The one for Mr. Alexander has not been addressed at all.

125

126 Commissioner Lucero advised that Mr. Padilla will need to inform the fire marshal's and codes to
127 address the issue.

128

129 **8. ADJOURNMENT**

130

131 Meeting adjourned at 2:51 p.m.

132

133 **APPROVED THIS 21st DAY OF JUNE 2022.**

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ATTEST:

144

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146

147

Joe Padilla

148

Community Development Coordinator

Yolanda Lucero
Chair

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 5, 2022,

BOT:

ITEM: PZACH Case #061384 - ADMINISTRATIVE APPROVAL – 2260 Calle De Santiago submitted by Bill and Janice Cook to install rooftop solar system not visible from the street and AC combine panel and data monitoring unit, production meter and customer generation fusible AC disconnect. To add one more panel to the project **Zone: Historical Residential (HR)**

BACKGROUND AND ANALYSIS: 2260 Calle De Santiago submitted by Bill and Janice Cook to install rooftop solar system not visible from the street and AC combine panel and data monitoring unit, production meter and customer generation fusible AC disconnect. To add one more panel to the project

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant’s request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant’s property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061384

Fee \$ 175.00

Fees \$150.00
Review \$25.00

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061384 ZONE: HR CODE: AC APPLICATION DATE: 5/6/22



Bill and Janice Cook		575-202-8794	
Name of Property Owner		Property Owner's Telephone Number	
2260 Calle De Santiago	Mesilla	NM	88046
Property Owner's Mailing Address	City	State	Zip Code
thepotteriesmesilla@gmail.com			
Property Owner's E-mail Address			
Organ Mountain Solar & Electric			
Contractor's Name & Address (If none, indicate Self)			
575-202-9268	03-401215-00-0	394801	
Contractor's Telephone Number	Contractor's Tax ID Number	Contractor's License Number	

Address of Proposed Work: 2260 Calle De Santiago Mesilla, NM 88046

Description of Proposed Work: Residential Rooftop Solar Installation with ZERO visibility from street.

\$ <u>9,430</u>	<u>Scott Burns</u>	<u>5/5/22</u>
Estimated Cost	Signature of Applicant	Date
DocuSigned by:		
Signature of property owner: <u>[Signature]</u>		

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input checked="" type="checkbox"/> Approved Date: <u>6-3-22</u>
	<input checked="" type="checkbox"/> Approved Date: <u>6-9-22</u>		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: YES ___ NO BOT APPROVAL REQUIRED: YES ___ NO

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

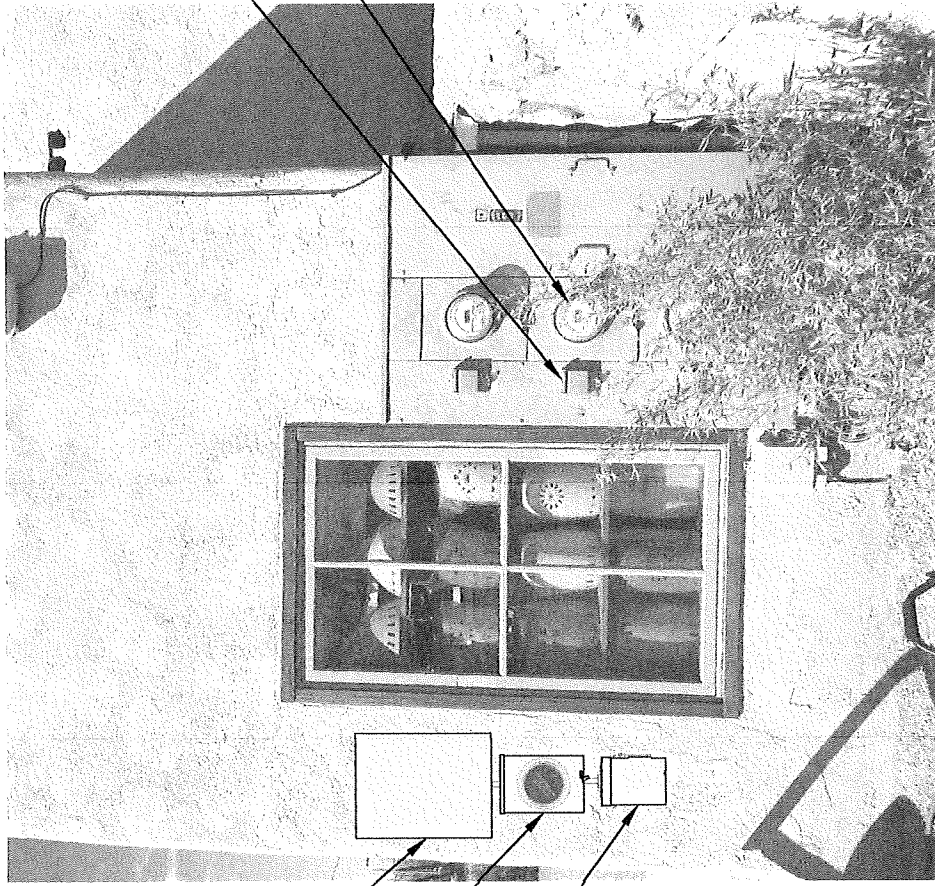
PERMISSION ISSUED DENIED BY: [Signature] ISSUE DATE: 6-14-22

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses and dimensions.
- Cross section of walls
- Roof and floor framing plan
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the City Code or Community Development Department (See other side.)

Town of Mesilla
PLAN APPROVED
FOR COMPLIANCE WITH
TOWN ZONING CODE

By: [Signature] Date: 6-14-22



AC Combiner Panel
& Data Monitoring Unit

Production Meter

Customer Generation
Fusible AC Disconnect

Existing Main Service
Disconnect

Existing Utility Meter

Existing Service Panel
(Inside)

1 Partial Elevation

Scale: CUSTOM

REV	DESCRIPTION	DATE
0	Initial Release	5/2/22

DESIGNER: Polizois Dallis



Organ Mountain Solar
 400 South Compress Road, Suite D
 Las Cruces, NM 88005
 (575) 288-1792

NM Electrical Contractor's License # 394801

Owner

The Potteries

Utility-Interactive Photovoltaic System
 System Size = 2.22 kWdc
 2260 Calle de Santiago B
 Mesilla, NM 88046

PV-1.2

Note:
-Special Access Instructions: None.



Site



2 Vicinity Map
Scale: CUSTOM

- Roof Mounted Array
- 7 x Panasonic EverVolt Modules with Enphase Microinverters
- Existing Utility Meter / Main Service Disconnect (Outside)
- Customer Generation Fusible AC Disconnect / Production Meter
- AC Combiner Panel / Data Monitoring Unit (Outside)

SHEET NOTES

- 1 Exact location of equipment and conduit is subject to minor variations during installation.
 - 2 Estimated annual energy production is based on existing site conditions and this array layout. Annual variations in weather and module degradation will affect production.
- Design Approval**
- I approve of this design showing all equipment and locations, and estimator production. Any change to this design may result in delays and additional costs.
- Approved By: _____
Date: _____



1 Site Plan
Scale: 3/32" = 1'-0"



Organ Mountain Solar
400 South Compress Road
Suite D
Las Cruces, NM 88005
(575) 288-1792
NM Electrical Contractor's
License # 394801

Owner

The Potteries

Utility-Interactive Photovoltaic System
System Size = 2.59 kWdc
2260 Calle de Santiago B
Mesilla, NM 88046

DESIGNER:

Polizois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	5/2/22
1	System Size Change	6/15/22

DESIGN SUMMARY

Number of Modules	7
Module Tilt Angle	10°
Module Azimuth	140°
Average Annual Shading	3.00%
Year 1 Production Estimate	4705 kWh

SITE PLAN

PV-1.0



Organ Mountain Solar
 400 South Compress Road
 Suite D
 Las Cruces, NM 88005
 (575) 288-1792
 NM Electrical Contractor's
 License # 394801

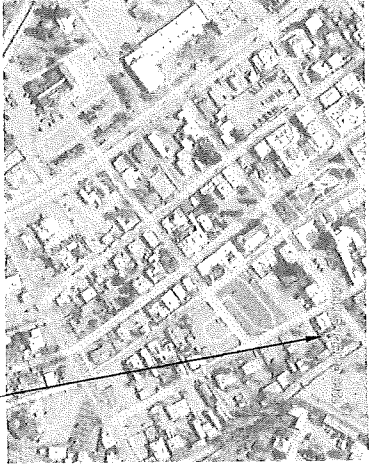
Owner
The Potteries
 Utility-Interactive Photovoltaic System
 System Size = 2.22 kWdc
 2260 Calle de Santiago B
 Mesilla, NM 88046

DESIGNER:
Polizois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	5/7/22

DESIGN SUMMARY	
Number of Modules	6
Module Tilt Angle	10°
Module Azimuth	140°
Average Annual Shading	3.00%
Year 1 Production Estimate	4033 kWh

SITE PLAN
PV-1.0



Site

2 **Vicinity Map**
 Scale: CUSTOM

- Roof Mounted Array
- 6 x Panasonic EverVolt Modules with Enphase Microinverters
- Existing Utility Meter / Main Service Disconnect (Outside)
- Customer Generation Fusible AC Disconnect / Production Meter
- AC Combiner Panel / Data Monitoring Unit (Outside)

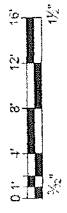
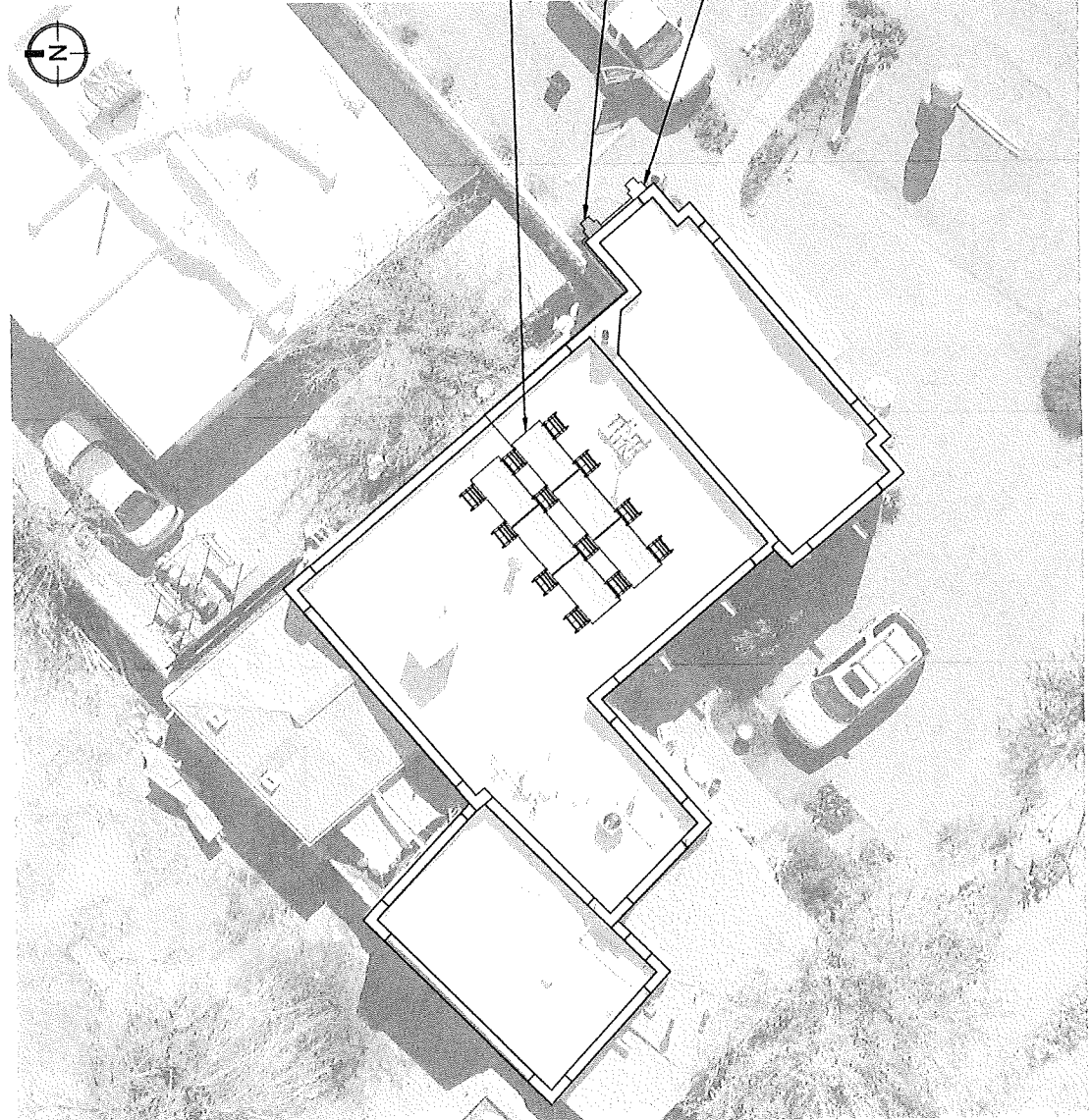
SHEET NOTES

1	Exact location of equipment and conduit is subject to minor variations during installation.
2	Estimated annual energy production is based on existing site conditions and this array layout. Annual variations in weather and module degradation will affect production.

Design Approval
 I approve of this design showing all equipment and locations, and estimated production. Any change to this design may result in delays and additional costs.

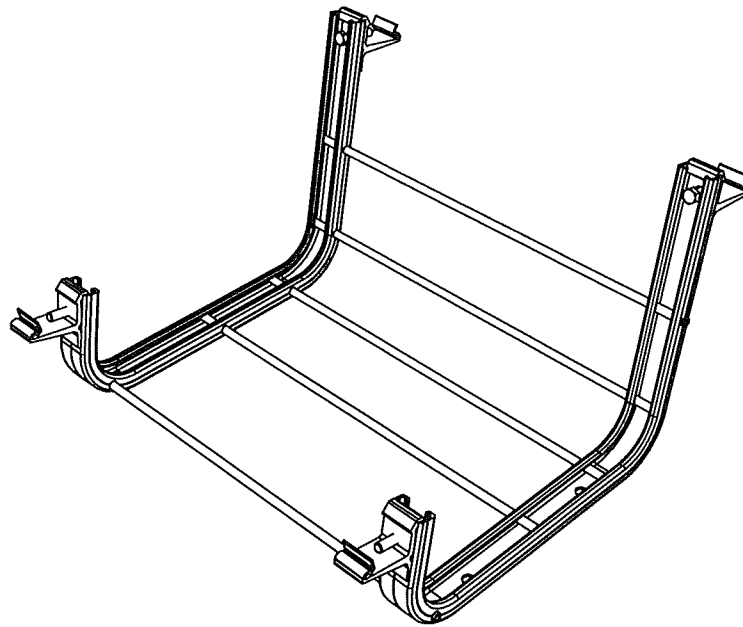
Approved By: _____
 Date: _____

Note:
 -Special Access Instructions: None.

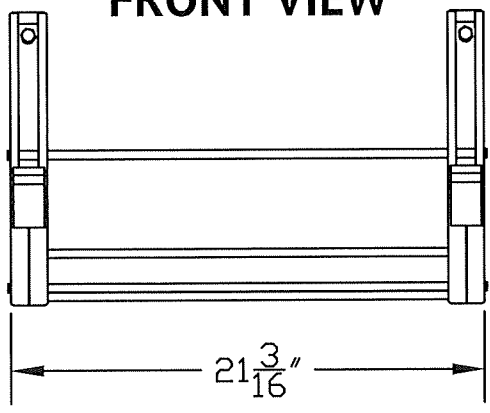


1 **Site Plan**
 Scale: 3/32" = 1'-0"

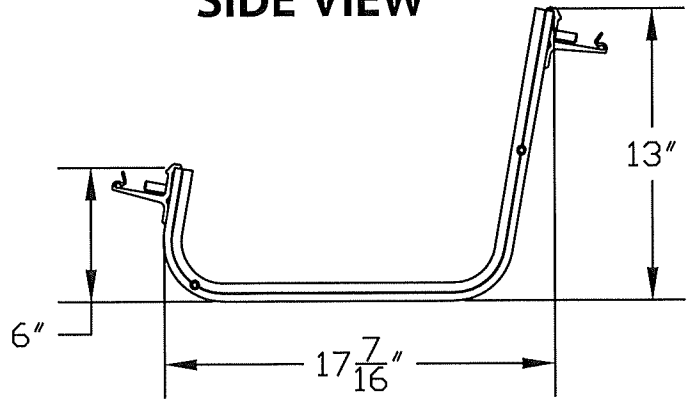




FRONT VIEW



SIDE VIEW



UNIRAC[®]

1411 BROADWAY BLVD NE
ALBUQUERQUE, NM 87102 USA

WWW.UNIRAC.COM

PRODUCT LINE:	RM
DRAWING TYPE:	COMPONENT ASSEMBLY
DESCRIPTION:	BAY & MODULE CLIPS
REVISION DATE:	APRIL - 2016

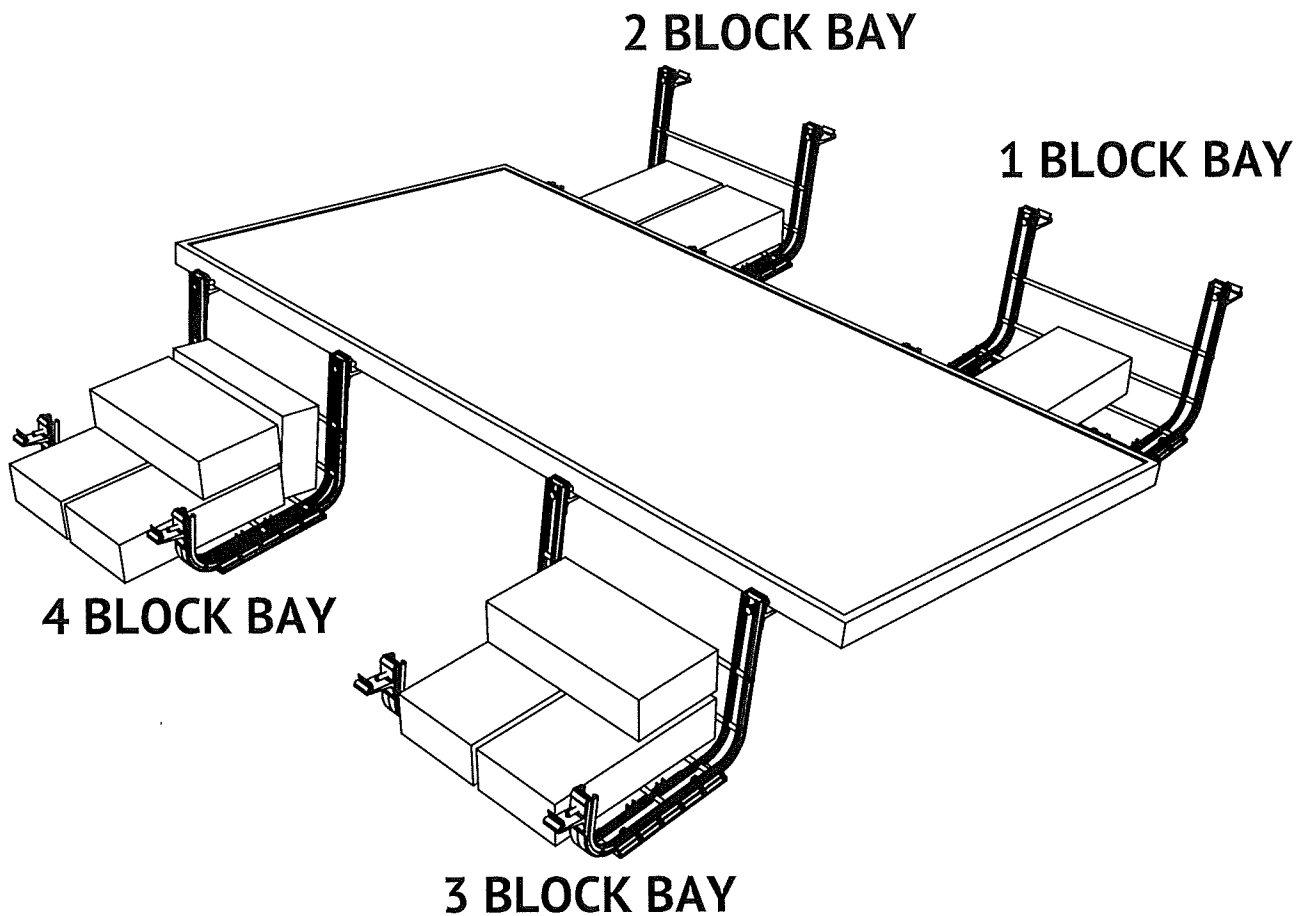
DRAWING NOT TO SCALE
ALL DIMENSIONS ARE NOMINAL

PRODUCT PROTECTED BY ONE
OR MORE US PATENTS

LEGAL NOTICE

RM-A01

SHEET



UNIRAC

1411 BROADWAY BLVD NE
ALBUQUERQUE, NM 87102 USA

WWW.UNIRAC.COM

PRODUCT LINE:

RM

DRAWING TYPE:

ASSEMBLY

DESCRIPTION:

1-2-3-4 BLOCK RM
BAYS

REVISION DATE:

APRIL - 2016

DRAWING NOT TO SCALE
ALL DIMENSIONS ARE NOMINAL

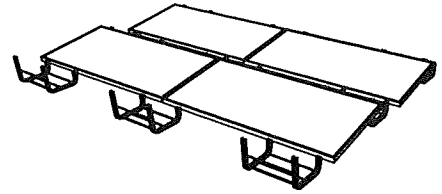
PRODUCT PROTECTED BY ONE
OR MORE US PATENTS

LEGAL NOTICE

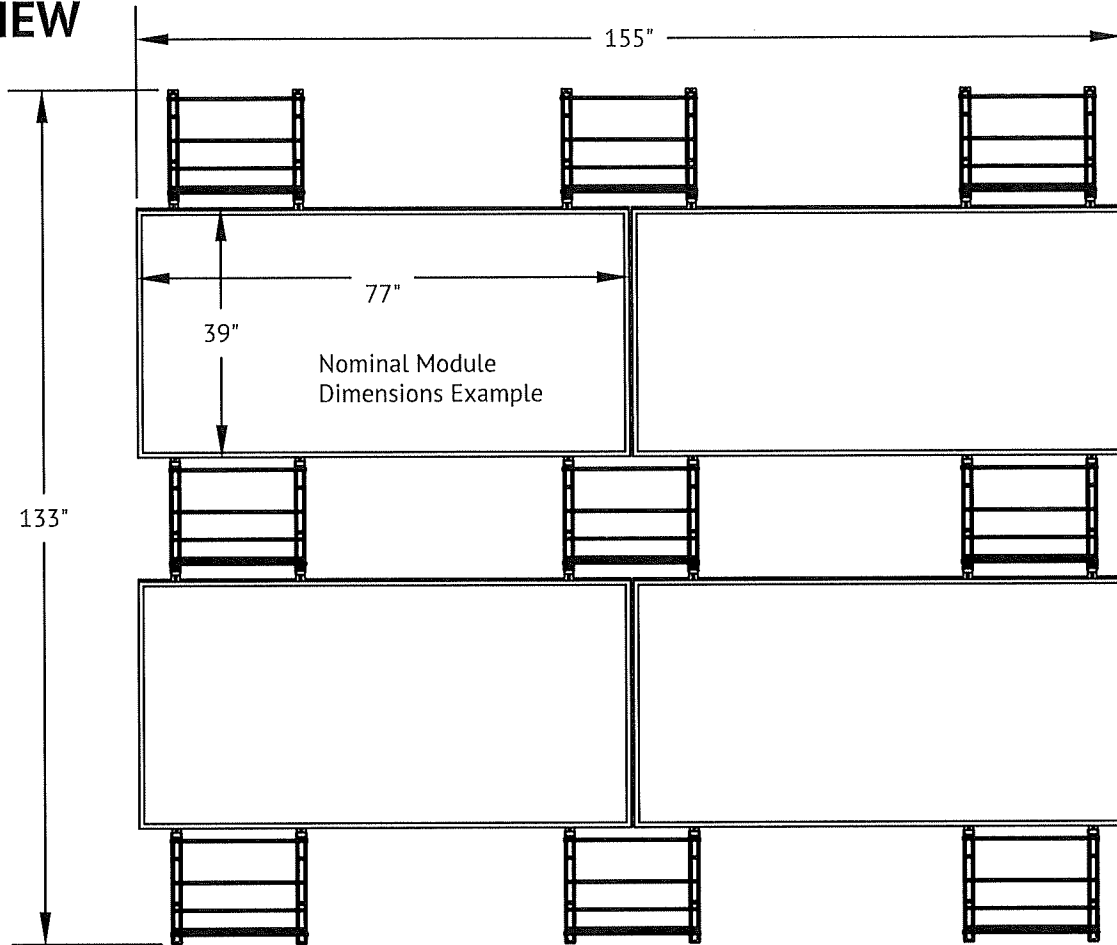
RM-A02

SHEET

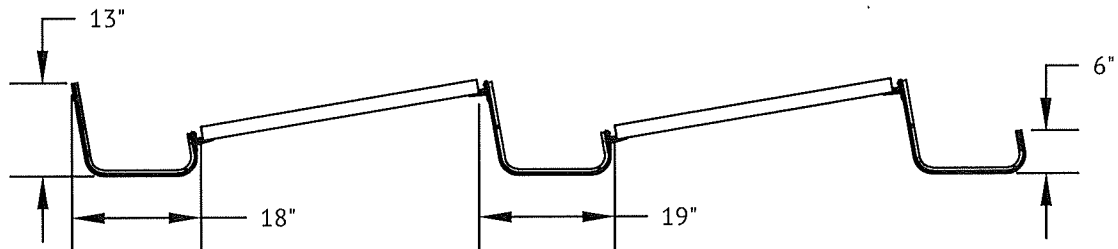
NOTE: ARRAY DIMENSIONS WILL VARY BASED ON
MODULE WIDTH, LENGTH AND RETURN FLANGE



TOP VIEW



SIDE VIEW



1411 BROADWAY BLVD NE
ALBUQUERQUE, NM 87102 USA

WWW.UNIRAC.COM

PRODUCT LINE:

RM

DRAWING TYPE:

ASSEMBLY

DESCRIPTION:

4 MODULE RM
LAYOUT

REVISION DATE:

APRIL - 2016

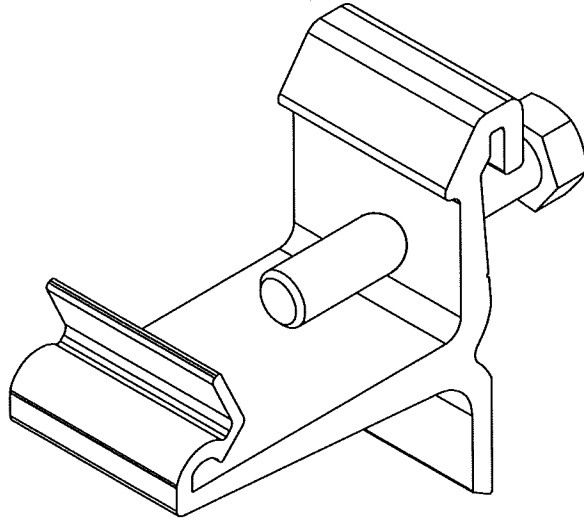
DRAWING NOT TO SCALE
ALL DIMENSIONS ARE NOMINAL

PRODUCT PROTECTED BY ONE
OR MORE US PATENTS

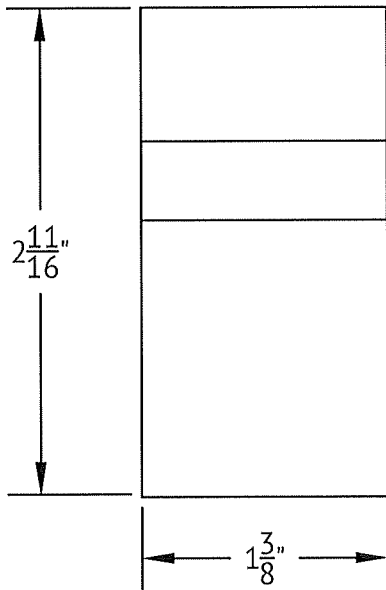
LEGAL NOTICE

RM-A03

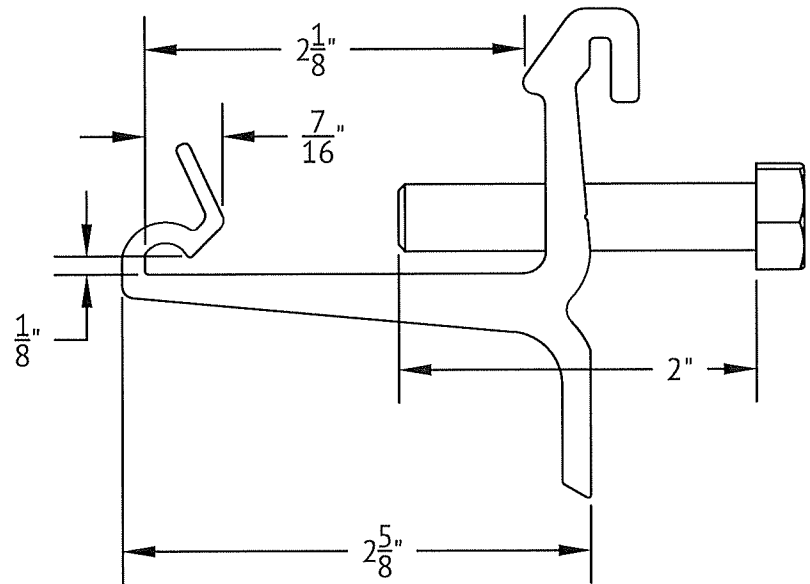
SHEET



FRONT VIEW



SIDE VIEW



UNIRAC

1411 BROADWAY BLVD NE
ALBUQUERQUE, NM 87102 USA

WWW.UNIRAC.COM

PRODUCT LINE:	RM
DRAWING TYPE:	PART
DESCRIPTION:	RM CLIP & BOLT
REVISION DATE:	APRIL - 2016

DRAWING NOT TO SCALE
ALL DIMENSIONS ARE NOMINAL

PRODUCT PROTECTED BY ONE
OR MORE US PATENTS

LEGAL NOTICE

RM-P01

SHEET



**EL PASO ELECTRIC COMPANY
RESIDENTIAL REQUEST FOR SERVICE FORM**

Name: The Potteries Home Phone: (575) 202-8794 Work Phone: _____

Name: William D. Cook Home Phone: _____ Work Phone: _____

(Name and phone number of person to contact if other than customer.)

Service address: 2260 Calle De Santiago, Mesilla, NM, 88046

Mailing address: 2260 Calle De Santiago, Mesilla, NM, 88046 Box 64

New service classification:

- | | | |
|--------------------------------------|---|--|
| <input type="checkbox"/> Mobile Home | <input type="checkbox"/> Multiplex/Duplex | <input type="checkbox"/> Single Family (Sq. Ft.) |
| <input type="checkbox"/> Permanent | <input type="checkbox"/> Temporary | Date required: _____ |
| <input type="checkbox"/> Overhead | <input type="checkbox"/> Underground* | |

MINIMUM REQUIREMENTS FOR UNDERGROUND SERVICE WILL REQUIRE THE INSTALLATION OF A200 AMP METER CAN AND 2½" CONDUIT. FOR INFORMATION REGARDING O.H./U.G. SERVICE, CONTACT YOUR PLANNER.

THE FOLLOWING INFORMATION MUST BE MADE AVAILABLE TO YOUR EL PASO ELECTRIC COMPANY PLANNER IN ORDER TO INITIATE ENGINEERING DESIGN FOR AN ELECTRIC LINE EXTENSION:

400 S Compress Rd Suit

A) Builder: Organ Mountain Solar & Ele Mailing Add: Las Cruces, NM, 88005 Phone No. (575) 288-1792

B) Electrician: _____ Mailing Add: _____ Phone No. _____

C) Legal description:

(A plot or site plan with dimensions that include the legal description must be provided. No action will be taken by El Paso Electric Company Design Engineers until after this information has been provided. Please indicate the desired meter location. El Paso Electric Company reserves the right to designate the meter location. Please refer to the attached checklist.)

D) Electrical load information (check applicable items).

- | | | |
|--|---|--|
| <input type="checkbox"/> Refrigerator | <input type="checkbox"/> Elec. Oven | <input type="checkbox"/> Elec. Clothes Dryer |
| <input type="checkbox"/> Freezer | <input type="checkbox"/> Microwave | <input type="checkbox"/> Gas Furnace Blower |
| <input type="checkbox"/> Elec. Range | <input type="checkbox"/> Dishwasher | <input type="checkbox"/> Waterbed Heater |
| <input type="checkbox"/> Elec. Cooktop | <input type="checkbox"/> Elec. Clothes Washer | <input type="checkbox"/> Attic Fan |

Please check the following and indicate number of units and size.

- | | |
|---|----------------|
| <input type="checkbox"/> Electric Water Heater | _____ NO./SIZE |
| <input type="checkbox"/> Heat Pumps | _____ KW |
| <input type="checkbox"/> Electric Heat | _____ KW |
| <input type="checkbox"/> Evap. Cooler | _____ KW |
| <input type="checkbox"/> Refrigerated Air | _____ HP |
| <input type="checkbox"/> Swimming Pool | _____ Tons |
| <input type="checkbox"/> Jacuzzi | _____ HP |
| <input type="checkbox"/> Domestic Well | _____ HP |
| <input checked="" type="checkbox"/> Solar | _____ HP |
| <input type="checkbox"/> Other (Hand Tools, Welders, Etc.) Please indicate no. and size of equipment. | _____ KW |

Conductors Per Phase _____ Main Size _____ Wire Size _____

E) A New Mexico Building Permit will be required if residence is located in Dona Ana County (525-6637).

F) THE COMPANY'S REPRESENTATIVES SHALL HAVE FREE AND EASY ACCESS AT ANY TIME TO EPE EQUIPMENT LOCATED ON THE PREMISES OF THE CUSTOMER AND RESERVE THE RIGHT TO REMOVE EPE METERS AND EQUIPMENT FOR PROPER CAUSE.

Signature: William D. Cook Date: 3.10.22



Organ Mountain Solar & Electric
400 S Compress Rd, Suite D, Las Cruces, NM 88005
(575) 288-1792
License #: 394801

BUILDING IMPROVEMENT AGREEMENT (Solution A)

Contract Date: Mar 18, 2022

PARTIES This Building Improvement Agreement (“**Contract**”) is by and between the parties listed below. Contractor and Buyer are occasionally referred to herein individually as a “**Party**” and collectively as the “**Parties**.”

BUYER (Owner on Title/Deed):

The Potteries
Bill and Janice Cook
2260 Calle De Santiago
Mesilla, NM 88046
(575) 202-8794

CONTRACTOR (Seller):

Organ Mountain Solar & Electric
400 S Compress Rd Suite D
Las Cruces, NM 88005
(575) 288-1792
pmlc@omsande.com
License: 394801

SALES CONSULTANT:

Phillip Samuel
(575) 496-9169
phillip@omsande.com

EFFECTIVE DATE. **Contract** is effective as of the latest date referenced on the signature lines below (“**Effective Date**”)

WORK SITE. The following is a legal description of the location (the “**Premises**”) where the work by Contractor to be performed as described herein will occur:

2260 Calle De Santiago, Mesilla, NM 88046

ATTACHMENTS:

1. ATTACHMENT A: WARRANTY
2. ATTACHMENT B: DISTRIBUTED GENERATION DISCLOSURE STATEMENT
3. UTILITY INTERCONNECTION APPLICATION & DATA USAGE AUTHORIZATION

Initial Here: _____

PK

JL

The parties to this Contract agree as follows:

1. Scope of Work. Description of the Project and Description of the Significant Materials to be Used and Equipment to be Installed:

1. Residential Roof Mount PV System

Contractor will provide materials and labor to supply and interconnect a roof mounted, grid-tied solar electric (PV) system at your premises. The "*Solar PV System*" has a rated capacity of 2.220 DC kW (STC) and includes the following major items:

- PV Modules: (6) Panasonic EVPV370K
370W, 120 half-cut cell monocrystalline HJT module, Black backsheet, 1000V max system Vdc
- Microinverters - grid-tie: (6) Enphase Energy IQ7PLUS-72-2-US (240V)

The Contractor shall furnish all the necessary design documents, permitting and utility interconnection agreements, and all materials, equipment, and labor to complete the defined scope of work. Commissioning & testing of the equipment will occur after the installation to ensure proper system functionality.

2. Time of Completion. The work to be performed under this contract is dependent on a variety of variables, including, but not limited to, completion of design site survey, customer design approval, financing, jurisdiction and utility permitting approval, project-related work outside the scope of work for the Contractor (e.g. roof work, electrical work, etc.)

3. Price and Payment Schedule. The Customer shall pay the Contractor for the work to be performed under this agreement in accordance with the following:

CONTRACT PRICE: \$9,430.00

Payment Method: cash

SCHEDULE OF PROGRESS PAYMENTS. Total Price will be paid according to the schedule defined below:

#	Event	Description	Portion	Amount
1	Project Closing	Engineering payment due at contract signing	\$2,000.00	\$2,000.00
2	Equipment Acquisition	Invoice sent 45 days prior to scheduled installation Date	32.21 % of Balance	\$2,715.00
3	Installation Date	Invoice sent on installation date	32.21 % of Balance	\$2,715.00
4	System Activation	Invoice sent for outstanding balance upon system activation	Balance	\$2,000.00
Contract Cost			Initial Here: <u> </u> <u> </u>	\$9,430.00

Deposit (if any) is due at time of contract signing. Payment to Contractor may be made by cash, check or wire transfer.



ATTACHMENT C: UTILITY INTERCONNECTION APPLICATION & DATA USAGE AUTHORIZATION

I/We authorize Organ Mountain Solar & Electric to submit the online interconnection application for my/our customer-owned generating facility on my/our behalf.

I/We authorize Organ Mountain Solar & Electric to work with my utility company to collect usage and rate plan information for my property in order to pursue a solar electric proposal.

CUSTOMER SIGNATURE(S)

Signed: William D. Cook Jr.
Name: William D. Cook Jr.
Date: March 18, 2022

Signed: Janice Cook
Name: JANICE COOK
Date: 3/18/2022

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 5, 2022,

BOT:

ITEM: PZACH Case #061424 – ADMINISTRATIVE APPROVAL – 2755 Calle de San Albino, Submitted by ETMSS 2 LLC, To repair a section of roof that was torn off in recent storm, Replacing Decking and shingles on small shed. **Zone: Historical Residential (HR)**

BACKGROUND AND ANALYSIS: 2755 Calle de San Albino, Submitted by ETMSS 2 LLC, To repair a section of roof that was torn off in recent storm

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 54.00
 Review Fee \$ 9.00
 Total Fee \$ 63.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104



CASE NO. 061424 ZONE: HR CODE: MI APPLICATION DATE: 6-24-22

Name of Property Owner: ETNSS 2, LLC Property Owner's Telephone Number: 915-313-1973 or 575-649-6916

Property Owner's Mailing Address: PO Box 358 City: Mesilla Park State: NM Zip Code: 88047

Property Owner's E-mail Address: candtmanagementllc@gmail.com

Contractor's Name & Address (If none, indicate Self): Sofina Landscape + Design

Contractor's Telephone Number: 602-377-0136 Contractor's Tax ID Number: 82-3352262 Contractor's License Number: 393805

Address of Proposed Work: 2755 Calle de San Albino

Description of Proposed Work: Repair section of roof torn off in recent storm. Replace decking and shingles. Damage was on small shed on the property.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

*3/8" Plywood Decking } to match existing roof
 30 year shingles
 Felt*

Estimated Cost: \$ 750.00 Signature of Applicant: Jessica Sanchez Date: 6/24/22

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____ Disapproved Date: _____
 Approved with conditions

BOT Approved Date: _____
 Disapproved Date: _____
 Approved with Conditions

Town of Mesilla
PLAN APPROVED

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO
 CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____ By: [Signature] Date: 6/29/22

PERMISSION ISSUED / DENIED BY: [Signature] ISSUE DATE: 6/29/22

- Account Search
- View Created Reports
- Help
- Logout Public

View of Document

Account: R0400393 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hucco Levy, Melend Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.

Location

Situs Address 2755 CALLE DE SAN ALBINO
 Deed Holder
 Tax Area 2DIN_R - 2DIN_R
 Parcel Number 4-006-137-329-512
 Legal Summary S: 25 T: 23S R: 1E BRM 11A TR 6H:
 Neighborhood S11 - MESILLA

Owner Information

Owner Name ETMISS 2 LLC
 Owner Address PO BOX 358
 MESILLA PARK, NM 88047

Assessment History

Actual (2022 - Residential Cap applied) 5103.618
 Primary Taxable 534,530

Tax Area: 2DIN_R Mill Levy:
 23.490000

Type	Actual	Assessed	SQFT	Units
Residential Land	535,304	\$11,798	10454 000	1 000
Residential Improvement	568,224	\$22,741	1674 000	

Transfers

Record Sequence	Reception Number	Book Page	Sale Date	Grantor	Grantee	Doc Type	Parcel Number
2	1730025		12-12-2017	SANCHEZ ERIC L	ETMISS 2 LLC	A3	4006137329512
6	1720531		08-25-2017	SANCHEZ TERESAY	SANCHEZ ERIC L	A3	4006137329512
2	1419331			SANCHEZ TERESAY ROBERTO L FRIEZE AND ELIZAFRIEZE TRUST	SANCHEZ TERESAY	A3	4006137329512
4	1324429			FRIEZE ELIZAF ROBERTO L FRIEZE AND ELIZAF FRIEZE REVOCABLE TRUST	FRIEZE ELIZAF ROBERTO L FRIEZE AND ELIZAF FRIEZE TRUST	A3	4006137329512
2	0027406		12-08-2000	FRIEZE ROBERTO L TRUST	FRIEZE ROBERTO L TRUST ETAL FRIEZE ELIZAF TRUST ETAL ROBERTO & ELIZAF FRIEZE TRUST	A1	4006137021459
2	0027407		12-08-2000	FRIEZE ROBERTO TRUST ETAL FRIEZE HIBERCIO R TRUST ETAL	FRIEZE ROBERTO L	A1	4006137021459
1	9827712		10-28-1998	FRIEZE HIBERCIO R	FRIEZE HIBERCIO R TRUST ETAL HIBERCIO R FRIEZE TRUST ETAL	A1	4006137021459

Images

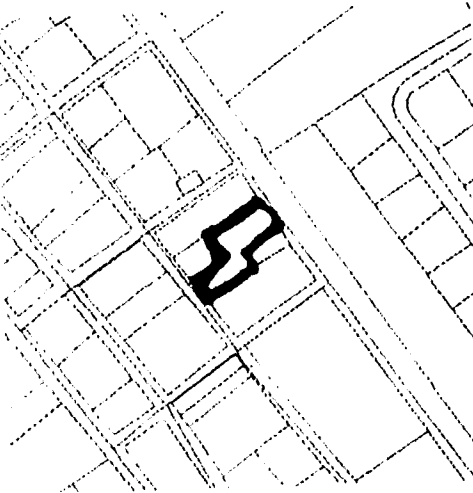
- Photo
- Sketch
- GIS

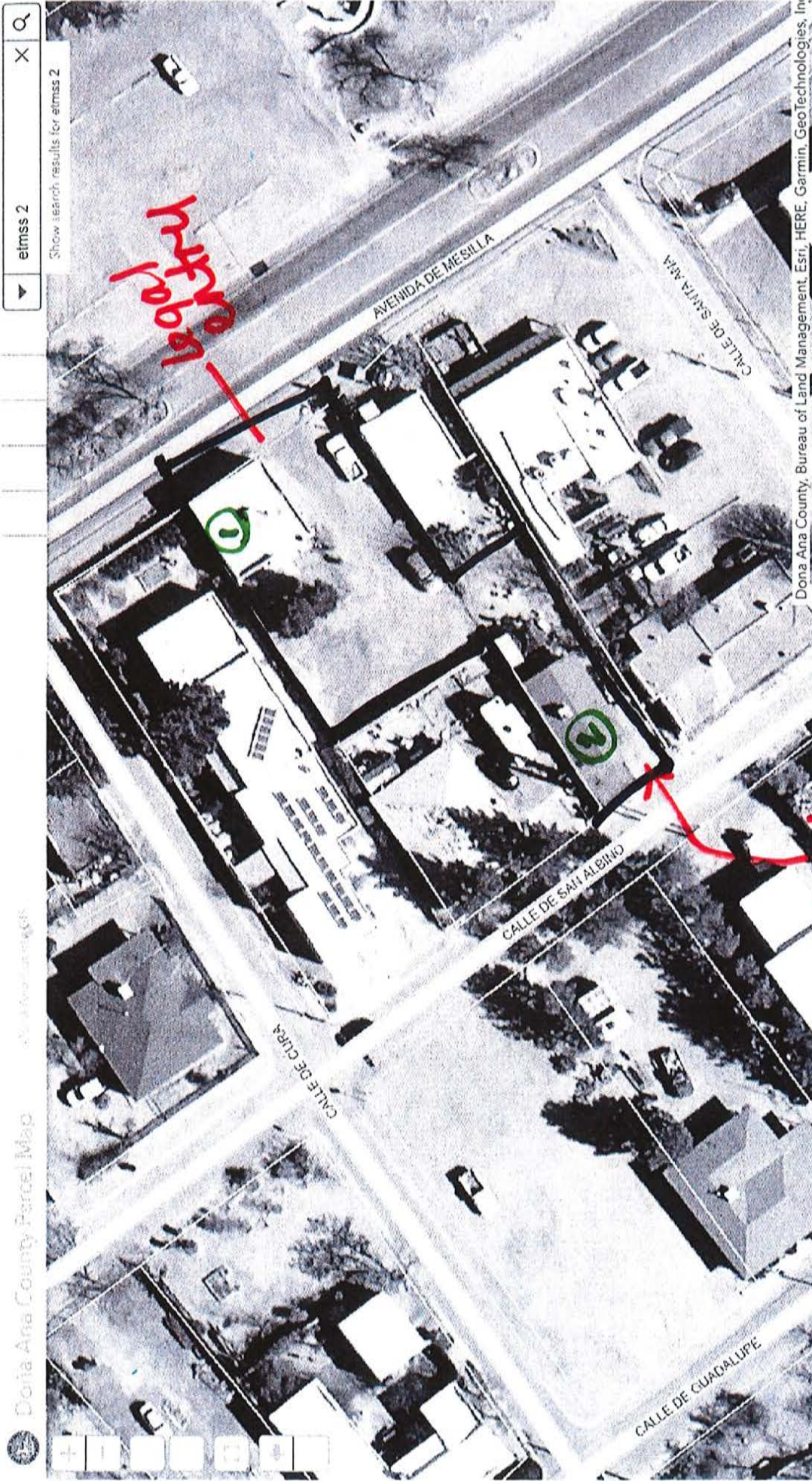
Tax Year

Taxes

*2022 5855.17
 2021 5830.20

* Estimated





Dona Ana County, Bureau of Land Management, Esri, HERE, Garmin, GeoTechnologies, Inc.

log on truck

2 houses on this property.

- ① 2738 Highway 28 (Avenida de Mesilla)
- ② 2755 Calle de San Albino

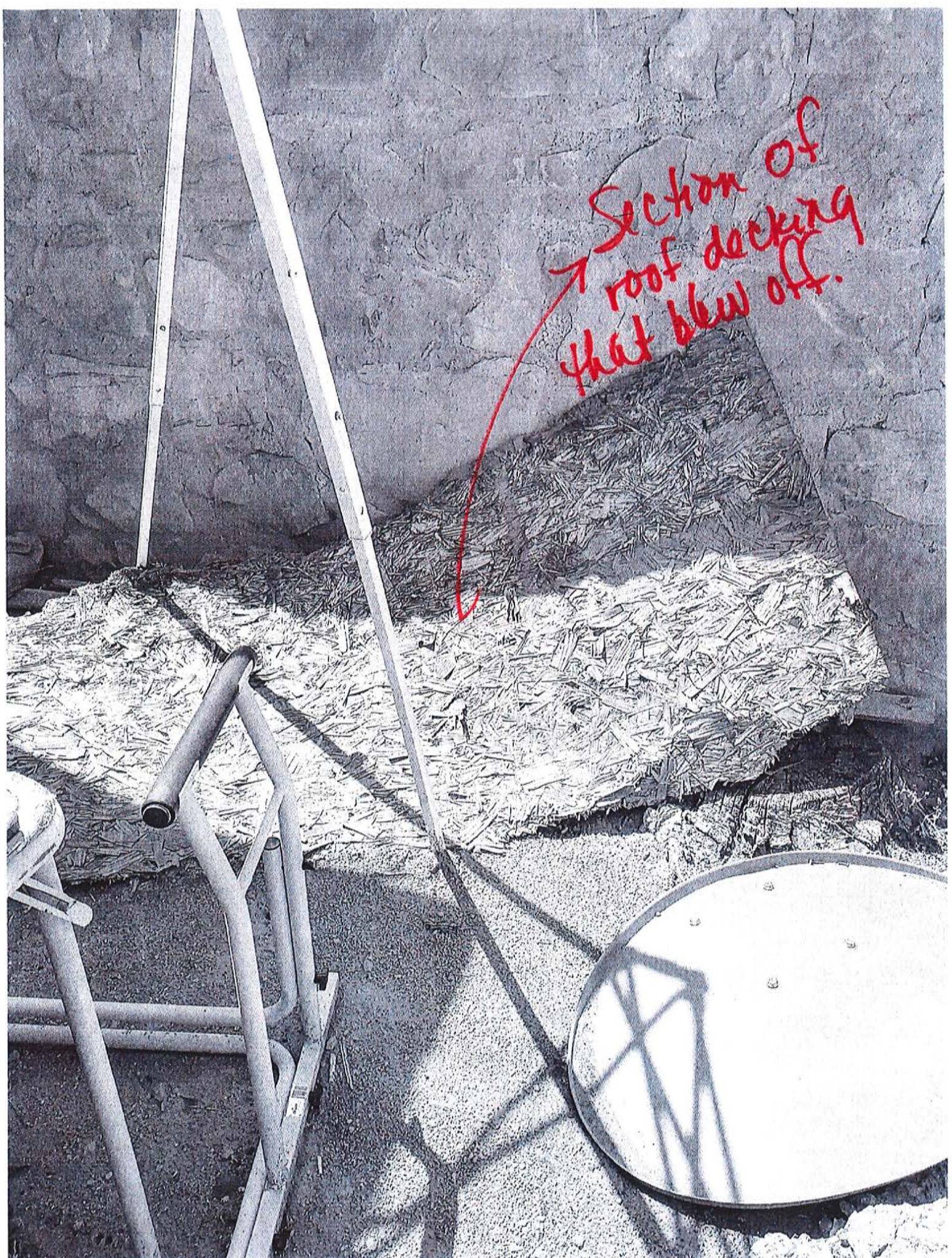
this is property that has shed.

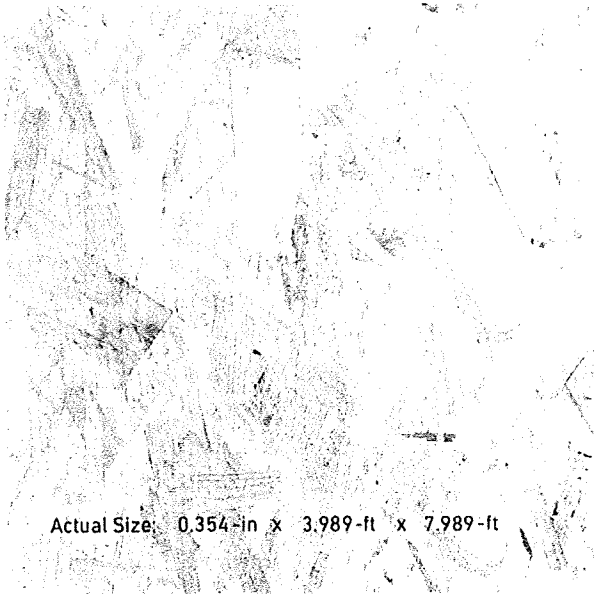




Damaged
roof section
blown off
that will need
to be replaced.

Section of
roof decking
that blew off.





\$22.85

\$21.71 when you choose the savings on eligible purchases every day. [Learn More](#)

THIS ITEM IS OUT OF STOCK
We'll notify you once this item is back in stock.

Dimensionally stable with consistent quality
SFI certified and environmentally friendly - no added urea-formaldehyde resin
Turquoise edge-seal for better moisture resistance

Pickup at Las Cruces Lowe's
 Pickup not available

Delivery
 Ship to Home - Unavailable
 Expedited Delivery - Unavailable

OVERVIEW

Dimensionally stable with consistent quality
SFI certified and environmentally friendly - no added urea-formaldehyde resin
Turquoise edge-seal for better moisture resistance

**Prop65
Warning
Label**
[PDF](#)

All Residents: [Prop 65 Warning\(s\)](#)

SPECIFICATIONS

Industry Standard Min
Thickness (Inches)

0.344

For Use with Siding

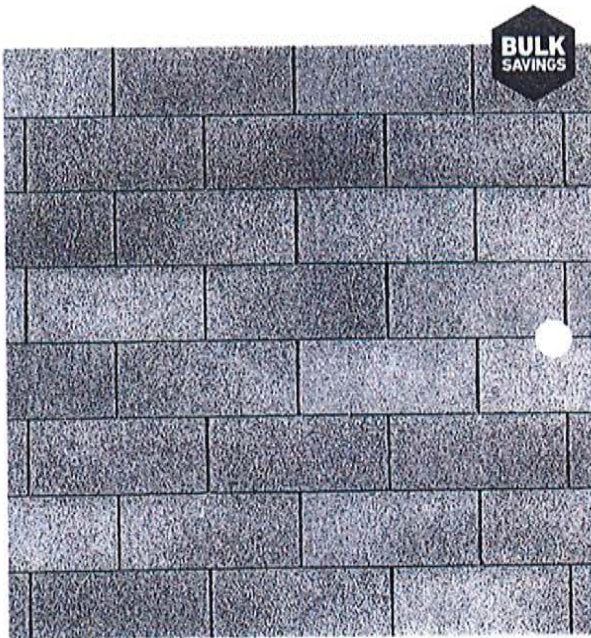


**Trubord 3/8-in x 4-ft x 8-ft
OSB Sheathing**

\$22.85



[Overview](#) [Specifications](#) [Reviews](#) [Q&A](#) [Product Features](#) [Compare](#)



BULK SAVINGS

\$28.98

[Calculate your required quantity](#)

BUY 45 GET 10% OFF

\$27.53 when you choose 5% savings on eligible purchases every day. [Learn how](#)

28 Shingles per bundle
 Supreme AR Shingles offer more performance in a value-priced 3-tab Traditional 3-tab shingles.

Manufacturer Color/Finish: Desert Tan



[Show Less](#)

Pickup at Las Cruces Lowe's

- Free Store & Curbside Pickup**
 15' Away from Store
- Appl. 50+ Buy 6**
[Check nearby stores to get more](#)

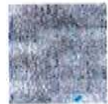
Delivery

- Ship to Home (Unavailable)**
- Scheduled Delivery with 500+ Order (Fee Applies)**
 Available
 Delivery Scheduling in Checkout

1 +

Get It Installed

BETTER TOGETHER



Owens Corning Supreme 33.33-sq ft Desert Tan 3-tab Roof Shingles

\$28.98

[Overview](#)

[Specifications](#)

[Reviews](#)

[Q&A](#)

[Product Features](#)

[Compare](#)

Search



Las Cruces Lowe's Open until 10 PM >



Prices, Promotions, styles, and availability may vary. Our local stores do not honor online pricing. Prices and availability of products and services are subject to change without notice. Errors will be corrected where discovered, and Lowe's reserves the right to revoke any stated offer and to correct any errors, inaccuracies or omissions including after an order has been submitted.

Building Supplies / Roofing / Roofing Underlayment

POC 36-in x 144-ft 432-sq ft Felt Roof Underlayment

Item #10306 Model #AP-0042

Shop APOC 44



BESTSELLER

\$34.63

~~\$32.90~~ when you choose \$10 savings on eligible purchases every day. [Learn More](#)

- Lays flatter - heavy-duty design minimizes the wrinkling that can occur with cheaper felts
- Better protection - superior asphalt saturation means improved waterproofing
- Easier application - accurate lay lines allow for easier, more consistent shingle application

Pickup at Las Cruces Lowe's

Free Store & Curbside Pickup

Free pickup

As of 12:00 PM

Order cutoff is 2:00 PM

Delivery

Ship to Home - Free available

Scheduled Delivery with \$99+ Order (Fee Applies)

Available

Delivery Roll of carpet - Check out



**APOC 36-in x 144-ft 432-sq ft
Felt Roof Underlayment**

\$34.⁶³

Overview

Specifications

Reviews

Q&A

Product Features

Compare

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 5, 2022,

BOT:

ITEM: PZHAC Case #061376– Pappas Williamson seeking for a summary subdivision a Replat of U.S.R.S Tract 11A-199 & 11A – 198A within the Town of Mesilla, Dona Ana County, N.M. in section 25, T.23S R.1E of U.S.R.S. Surveys (2532 Calle De Norte), **Zoned: Historical Residential (HR)**

BACKGROUND AND ANALYSIS: Pappas Williamson Trust replat of 2532 Calle de Norte back section of the property to be split will be off Calle de Oeste this is the Preliminary Plat Procedure per Town Code 17.10.020

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
**SUBDIVISION
 APPLICATION**
 NEW MEXICO

OFFICIAL USE ONLY:

Case # 061376

Fee \$ 150.00

CASE NO. _____ ZONE: HR CODE: _____ APPLICATION DATE: _____

Preliminary Plat Summary Subdivision Final Plat Vacation of Lot Line

Name of Applicant Sylvia Williamson (Trustee) Applicant's Telephone/Cell Number 505-660-3321

Mailing Address 1329 Cordova Ave. NW City Albuquerque State NM Zip Code 87107

Owner of Record: Address Helen Williamson Revocable Living Trust City Albuquerque State NM Zip Code 87107

Name of Engineer GILBERT CRUZ License # of Engineer AMP 0832 Address P.O. BOX 882, MESILLA, NM 88046 Telephone/Cell Number 575-649-7605

Name of Architect Pappas-Williamson License # of Architect _____ Address 2532 Calle del Norte Telephone/Cell Number _____

Subdivision Name Pappas-Williamson Subdivision Location 2532 Calle del Norte

Total Acreage _____ Number of Lots: _____

Acreage of Largest Lot: _____ Acreage of Smallest Lot: _____

Legal Description _____

Tax Map Property Code (s) 2-0400177 Jacob's Map # 4-006-137-040-495

A ZONE CHANGE, VARIANCE, EXEMPTION, OR SPECIAL PERMIT IS ALSO BEING REQUESTED WITH THIS PROPERTY.

EXPLAIN: _____

By signing this application, you hereby acknowledge that ALL the information submitted on and with this application is true and correct to the best of your knowledge and that all provisions of the Town of Mesilla shall be met. No application will be accepted without the original signature of the owner(s) of record of the described property. If more than one owner, ALL owners must sign the application. (Attached an additional sheet if necessary).

Sylvia Williamson (Formerly H. Williamson) Trustee of the Helen Williamson Revocable Living Trust 3-31-2022
 Owner(s) _____ Date _____

Applicant(s) (if different than owner) _____ Date _____

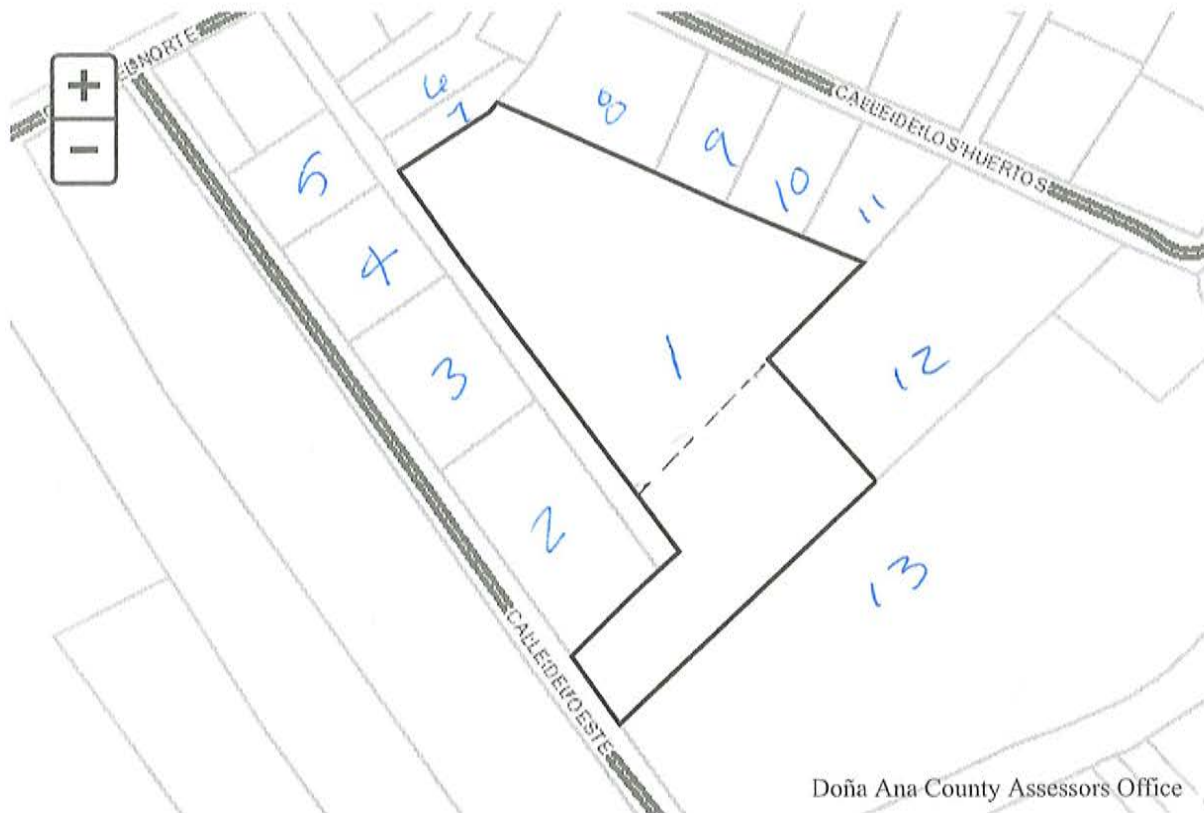
FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

CONDITIONS: _____

Layer Visibility:

- Roads
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

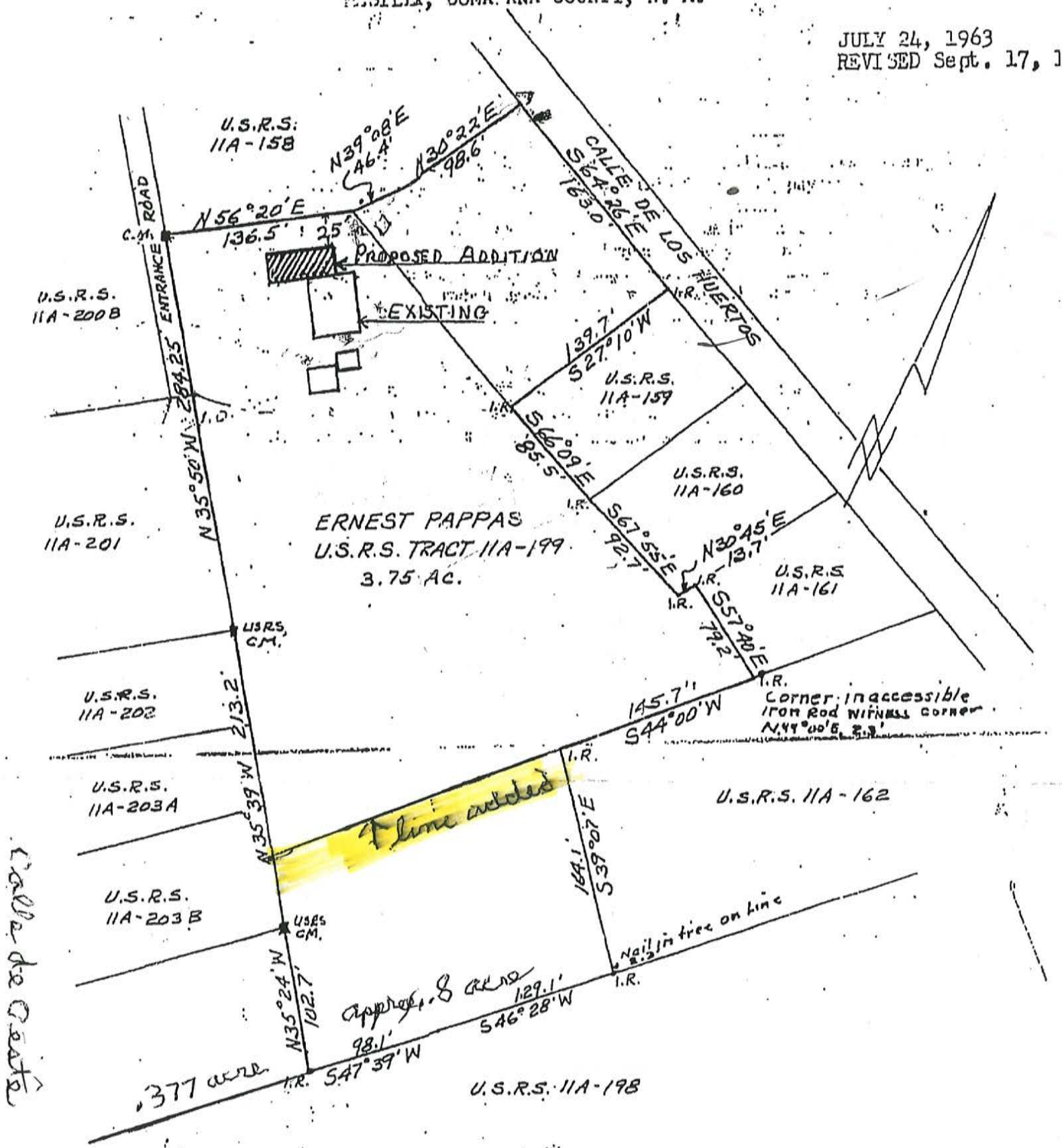


Doña Ana County Assessors Office

ACCOUNTNUMBER:	R0400177	PARCELNUMBER:	4006137040495
OWNERNAME:	WILLIAMSON HELEN PAPPAS	MAILADDR1:	PO BOX 613
CITY:	MESILLA	STATE:	NM
ZIP:	88046-0613	LOT:	
BLOCK:		SUBNAME:	
TRS:	23S 1E 25	SITUSADDRS:	2532 CALLE DEL NORTE
TOTALACRES:	3.45		

PLAT OF SURVEY OF
 A 3.75 ACRE TRACT
 U. S. R. S. TRACT 11A-199
 PROPERTY OF ERNEST PAPPAS
 MESSILIA, DONA ANA COUNTY, N. M.

JULY 24, 1963
 REVISED Sept. 17, 1963



CALLE DE CRISTO

TOWN OF MESTILLA
575-524-3262

REC#: 00181900 5/09/2022 8:05 AM
OPER: UTCLK TERM: 001
REF#: 150.00

TRAN: 110.0000 PERMITS/INSPECTIONS
061376 150.00CR
WILLIAMSON, LES
2532 CALLE DEL NORTE
SUBD 150.00CR

TENDERED: 150.00 CHECK
APPLIED: 150.00-

CHANGE: 0.00

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 5, 2022,

BOT:

ITEM: PZACH Case #061421 – Conquistadores Del Norte Replat, Being a replat of lots A and B, Filed March, 8, 2011, Book 23 Page 165 Dona Ana County records Town of Mesilla, Dona Ana County, New Mexico. (I 088 Calle Del Norte) **Zoned: Historical Residential (HR)**

BACKGROUND AND ANALYSIS: Conquistadores Del Norte Replat, Being a replat of lots A and B, Filed March, 8, 2011, Book 23 Page 165 Dona Ana County records Town of Mesilla, Dona Ana County, New Mexico. (I 088 Calle Del Norte)

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
**SUBDIVISION
 APPLICATION**
 NEW MEXICO

OFFICIAL USE ONLY:

Case # ~~0614121~~ 061421
 Fee \$ 150⁰⁰

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: 1/17/2022

Preliminary Plat Summary Subdivision Final Plat Vacation of Lot Line

Name of Applicant: Stephanie Quinonez /Anton Magallanez Applicant's Telephone/Cell Number: (575) 525- 9683

Mailing Address: 1985 Calle de Colon City: Mesilla State: NM Zip Code: 88046

Owner of Record: Address: 2527 MAYFIELD LN City: Las Cruces State: NM Zip Code: 88007

Name of Engineer License # of Engineer Address Telephone/Cell Number

Name of Architect License # of Architect Address Telephone/Cell Number

Subdivision Name: CONQUISTADORES DEL NORTE TRACTS Subdivision Location: CALLE DEL NORTE

Total Acreage: 0.595 Number of Lots: 2
 Acreage of Largest Lot: .404 Acreage of Smallest Lot: 0.191

Legal Description: Conquistadores Del Norte Replat Being a Replat of Lots A and B Filed March 8, 2011 Book 23, Page 165 Doña Ana County Records Town of Mesilla, Doña Ana County, Ne Mexico

Tax Map Property Code (s) _____ Jacob's Map # _____

A ZONE CHANGE, VARIANCE, EXEMPTION, OR SPECIAL PERMIT IS ALSO BEING REQUESTED WITH THIS PROPERTY.
 EXPLAIN: Lot line Adjustment

By signing this application, you hereby acknowledge that ALL the information submitted on and with this application is true and correct to the best of your knowledge and that all provisions of the Town of Mesilla shall be met. No application will be accepted without the original signature of the owner(s) of record of the described property. If more than one owner, ALL owners must sign the application. (Attached an additional sheet if necessary).

[Signature]
 Owner(s)

1/24/22
 Date

Applicant(s) (if different than owner)

1/24/2022
 Date

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

CONDITIONS: _____

**Town of Mesilla
Subdivision Checklist**

- | | | |
|--------------------------|--------------------------|-----------------------------------|
| Yes | No | |
| <input type="checkbox"/> | <input type="checkbox"/> | Application, completed and signed |
| <input type="checkbox"/> | <input type="checkbox"/> | Fee is paid \$ _____ |

FOR ENGINEER/ARCHITECT

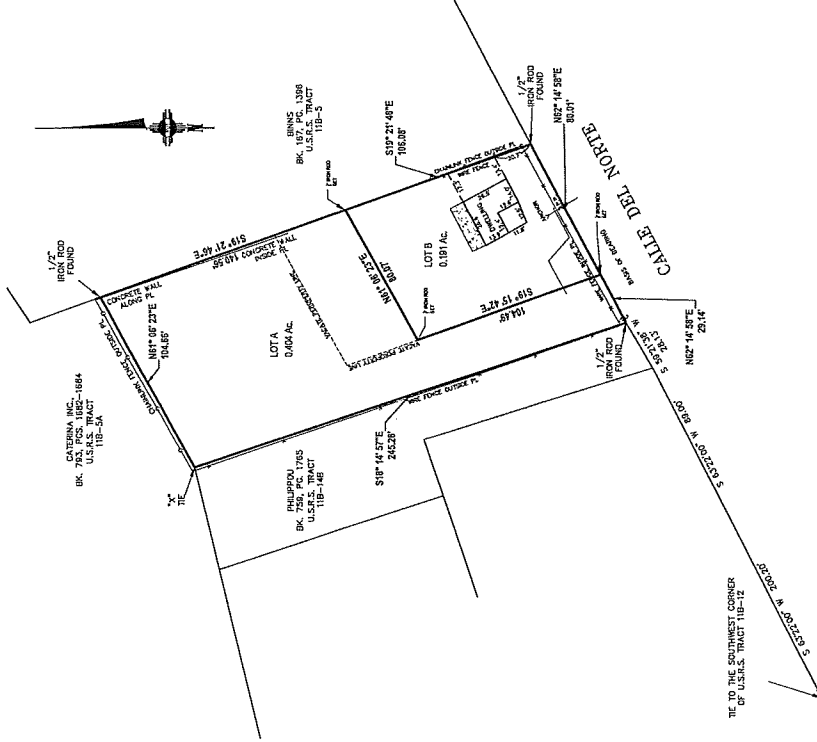
SUBDIVISION PLAT (8 COPIES) 18" X 24" INCLUDING:

- | | | |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Subdivision Name |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Location map (inscribed on plat) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Statement of ownership and dedication w/location for signature and notary |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Subdivider's name |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Subdivider's address |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Certification block for Mayor and Town Clerk |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Certification block for Planning & Zoning Commission Chairman & Secretary |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Certification block of each utility, as applicable (electric, cable, telephone, etc...) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Certification block and recording block for Dona Ana County Clerk |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Certification block for Professional Land Surveyor, seal and date of survey |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Scale and North arrow |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Benchmark location and description of all monuments found of set |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Plat boundary lines (bearings in degrees, minutes and seconds with distances in feet and hundredths) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Lot Lines (bearings in degrees, minutes and seconds with distances in feet and hundredths) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Acreage of each lot |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Address of each lot |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Lot or block numbers |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Adjacent land conditions (within 150 feet) note subdivision names and filing date |
| <input type="checkbox"/> | <input type="checkbox"/> | Easements on site (location, dimension and purpose) |
| <input type="checkbox"/> | <input type="checkbox"/> | Easements adjacent (location, dimension and purpose) |
| <input type="checkbox"/> | <input type="checkbox"/> | Public rights-of-way on site (approved name, width and curve data) |
| <input type="checkbox"/> | <input type="checkbox"/> | Public sire delineated (location, dimension and purpose) |
-
- | | | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Plan and profile of proposed utilities prepared by P.E. and sealed (1 copy) |
| <input type="checkbox"/> | <input type="checkbox"/> | Plan and Profile of proposed streets prepared by P.E. and sealed (1 copy) |
-
- | | | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Storm drainage analysis plan prepared by P.E. and sealed to include: |
| <input type="checkbox"/> | <input type="checkbox"/> | Topographic map (1 copy) |
| <input type="checkbox"/> | <input type="checkbox"/> | Aerial Photograph, with subdivision delineated |
| <input type="checkbox"/> | <input type="checkbox"/> | Storm Drainage Analysis Report (1 copy) |
| <input type="checkbox"/> | <input type="checkbox"/> | Grading Plan (1 copy) |
-
- | | | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Deed restrictions (signed and notarized) |
| <input type="checkbox"/> | <input type="checkbox"/> | Improvement Completion Report |
| <input type="checkbox"/> | <input type="checkbox"/> | Disclosure statement (if applicable) |
| <input type="checkbox"/> | <input type="checkbox"/> | Request for Variances (if applicable) |
| <input type="checkbox"/> | <input type="checkbox"/> | NMED Approval (if applicable) |
| <input type="checkbox"/> | <input type="checkbox"/> | NMDOT Permit (if applicable) |
| <input type="checkbox"/> | <input type="checkbox"/> | Other: _____ |

CONQUISTADORES DEL NORTE REPLAT

BEING A REPLAT OF LOTS A AND B
CONQUISTADORES DEL NORTE.
FILED MARCH 8, 2011

BOOK 23, PAGE 165 DOÑA ANA COUNTY, NEW MEXICO
AUGUST, 2010 TOWN OF MESILLA, DOÑA ANA COUNTY, NEW MEXICO
TOTAL ACRES 0.288



LEGEND:
 [Symbol] IRON ROD FOUND
 [Symbol] SHINER FOUND
 [Symbol] POWER POLE

UTILITY APPROVAL
 THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE UTILITY SERVICE BY THE UNDERSIGNED COMPANIES TO THE SUBDIVISION.
 EASEMENTS SHOWN HEREON, COPIES OF WHICH HAVE BEEN PRESENTED TO THE CITY OF LAS CRUCES FOR REVIEW AND APPROVAL TO MEET THE NEEDS FOR INSTALLATION AND MAINTENANCE OF (UNDERGROUND) (OVERHEAD), (UNDERGROUND AND/OR OVERHEAD) FEEDER, (UNDERGROUND AND/OR OVERHEAD) FEEDER, CABLE TELEVISION/INTERNET UTILITIES, AND DESIGNATED OVERHEAD FEEDER, (UNDERGROUND AND/OR OVERHEAD) FEEDER TELEPHONE FACILITIES.
 COMCAST COMMUNICATIONS CORPORATION
 BY: _____ DATE: _____

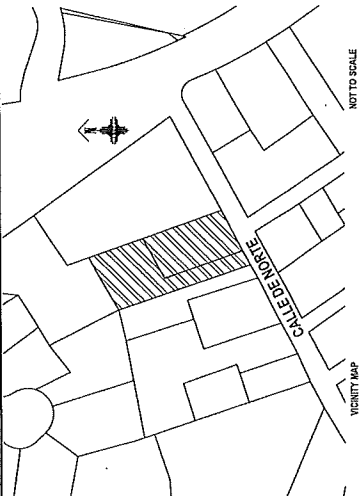
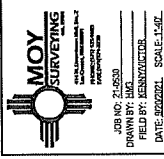
EASEMENTS SHOWN HEREON, COPIES OF WHICH HAVE BEEN PRESENTED TO THE CITY OF LAS CRUCES FOR REVIEW AND APPROVAL TO MEET THE NEEDS FOR INSTALLATION AND MAINTENANCE OF (UNDERGROUND) (OVERHEAD), (UNDERGROUND AND/OR OVERHEAD) FEEDER, (UNDERGROUND AND/OR OVERHEAD) FEEDER, CABLE TELEVISION/INTERNET UTILITIES, AND DESIGNATED OVERHEAD FEEDER, (UNDERGROUND AND/OR OVERHEAD) FEEDER TELEPHONE FACILITIES.
 EL PASO ELECTRIC COMPANY
 BY: _____ DATE: _____

EASEMENTS SHOWN HEREON, COPIES OF WHICH HAVE BEEN PRESENTED TO THE CITY OF LAS CRUCES FOR REVIEW AND APPROVAL TO MEET THE NEEDS FOR INSTALLATION AND MAINTENANCE OF (UNDERGROUND) (OVERHEAD), (UNDERGROUND AND/OR OVERHEAD) FEEDER, (UNDERGROUND AND/OR OVERHEAD) FEEDER, CABLE TELEVISION/INTERNET UTILITIES, AND DESIGNATED OVERHEAD FEEDER, (UNDERGROUND AND/OR OVERHEAD) FEEDER TELEPHONE FACILITIES.
 QWEST CORPORATION, DBA CENTURILINK CO.
 BY: _____ DATE: _____

TOWN OF MESILLA BOARD OF TRUSTEES APPROVAL
 THE ACCOMPANYING SUBDIVISION BEING WITHIN THE CORPORATE LIMITS OF THE TOWN OF MESILLA HAS BEEN PRESENTED AND APPROVED BY THE BOARD OF TRUSTEES OF THE TOWN OF MESILLA
 _____ DATE: _____
 MAYOR OF THE TOWN OF MESILLA

TOWN OF MESILLA PLANNING AND ZONING COMMISSION APPROVAL
 THIS PLAT HAS BEEN SUBMITTED TO AND CHECKED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF MESILLA AND IS HEREBY APPROVED AS TO THE COMPLIANCE OF THE DEDICATIONS AND IN ACCORDANCE WITH THE LAND REGULATIONS OF THE TOWN OF MESILLA.
 THIS _____ DAY OF _____, 20____
 _____ DATE: _____
 CHAIRMAN
 _____ DATE: _____
 SECRETARY

HENRY MAGALLANZ A NEW MEXICO PROFESSIONAL SURVEYOR HAS CONDUCTED THIS SURVEY AND/OR WAS DONE UNDER HIS DIRECTION, AND THAT THIS SURVEY IS CORRECT TO THE BEST OF HIS KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.
 HENRY MAGALLANZ N.M.P.S. #8078
 DATE: 02/22/21 SCALE: 1"=40'



DEDICATION
 THE 0.288 ACRE TRACT OF LAND SHOWN HEREON IS TO BE KNOWN AS CONQUISTADORES DEL NORTE REPLAT

ALL RIGHTS OF WAY AND PUBLIC AREAS SHOWN HEREON ARE DEDICATED TO THE PUBLIC USE OF THE CITY OF LAS CRUCES, NEW MEXICO. THE UTILITY COMPANIES THAT ARE SIGNATORY TO THIS PLAT AND THE CITY OF LAS CRUCES, ALL RULES AND REGULATIONS OF THE CITY OF LAS CRUCES AND SAID UTILITIES WILL APPLY TO THESE EASEMENTS. ALL OTHER EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED TO THE PUBLIC USE OF THE CITY OF LAS CRUCES, NEW MEXICO. INTEREST IN THE USE EASEMENT AS SHOWN ON THE PLAT IS ALLOWED.

THIS SUBDIVISION HAS BEEN DEDICATED IN ACCORDANCE WITH THE WISHES OF THE UNDERSIGNED OWNERS OF THE LAND SHOWN HEREON.
 INSTRUMENT OF OWNERSHIP, AS FILED APRIL 13, 2008
 INSTRUMENT #811331, DOÑA ANA COUNTY RECORDS.
 I, THE UNDERSIGNED OWNER, HEREBY SET MY HAND AND SEAL, THIS _____ DAY OF _____, 20____

CONQUISTADORES DEVELOPMENT LLC
 RECON BARRIOS
 LAS CRUCES, NM 88008

STATE OF NEW MEXICO)
 COUNTY OF DOÑA ANA)
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS
 DAY OF _____, 20____
 AND _____

MY COMMISSION EXPIRES _____
 STATE OF NEW MEXICO)
 COUNTY OF DOÑA ANA)
 ROTARY PUBLIC _____ SEAL

PLAT NO. _____ RECEPTION NO. _____
 STATE OF NEW MEXICO)
 COUNTY OF DOÑA ANA)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THIS
 DATE OF _____, 20____, AT _____ AM/P.M. AND
 FILED IN THE RECORDS OF THE COUNTY CLERK, DOÑA ANA COUNTY, NEW MEXICO.
 COUNTY CLERK _____ DEPUTY COUNTY CLERK _____

- NOTES:
- FLOOD ZONE "X" AREAS DETERMINED TO BE OUTSIDE EMPLOYER FLOOD ZONE, AS PER MAP NO. 20051006 G, REVISION 6/14/04.
 - FIELD NOTES BY MOY SURVEYING INC., LICENSE #1878, ALL CORNERS SET ARE 2" IRON ROD FOUND, 1" SHINER FOUND, UNLESS OTHERWISE NOTED. BEARINGS AND DISTANCES AND FIELD BEARING AND DISTANCES ARE THE SAME.
 - INFORMATION IN THE PRESENTATION OF THIS PLAT DERIVES FROM SUBMISSION PLAT FILED MARCH 18, 2011 BOOK 23, PAGE 165, DOÑA ANA COUNTY RECORDS.
 - THIS SYMBOL REPRESENTS AN LOT POINING. ALL LOTS THAT CONTAIN THIS SYMBOL ARE TO BE CONSIDERED AS BEING RESPONSIBLE FOR ON LOT PAID MAINTENANCE STANDARDS. PROPERTY OWNER IS RESPONSIBLE FOR ON LOT PAID MAINTENANCE STANDARDS NECESSARY TO PROVIDE UTILITY SERVICE TO LOTS CONTAINED HEREIN.

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 5, 2022,

BOT:

ITEM: PZHAC Case #061423 – 429 Bason Dr. Submitted by William Claude Wescott, Solar Installation of 23 Solar Panels on rooftop. **Zoned: Residential (R1).**

BACKGROUND AND ANALYSIS: 429 Bason Dr. Submitted by William Claude Wescott, Solar Installation of 23 Solar Panels on rooftop.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant’s request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant’s property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:
Case # 061423
Fee \$ 649.00

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88016 (575) 524-3262 ext. 104

CASE NO. 061423 ZONE: R1 CODE: AC APPLICATION DATE: 06/06/22



William Claude Wescott	(575)642-4782
Name of Property Owner	Property Owner's Telephone Number
429 Bason Dr.	Las Cruces NM 88005
Property Owner's Mailing Address	City State Zip Code
cwescott28@yahoo.com	
Property Owner's E-mail Address	
Sunwatt Energy/Aldo Parra	3023 Durazno Ave. El Paso, TX 79905
Contractor's Name & Address (If none, indicate Self)	
(915)731-8580	86-1467674 EE98 #403283
Contractor's Telephone Number	Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 429 Bason Dr. Las Cruces, NM 88005

Description of Proposed Work: 23 Solar panels installed on roof.

\$ 42,338.00 Estimated Cost
Aldo Parra Signature of Applicant 06/06/2022 Date

Signature of property owner: William Claude Wescott

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

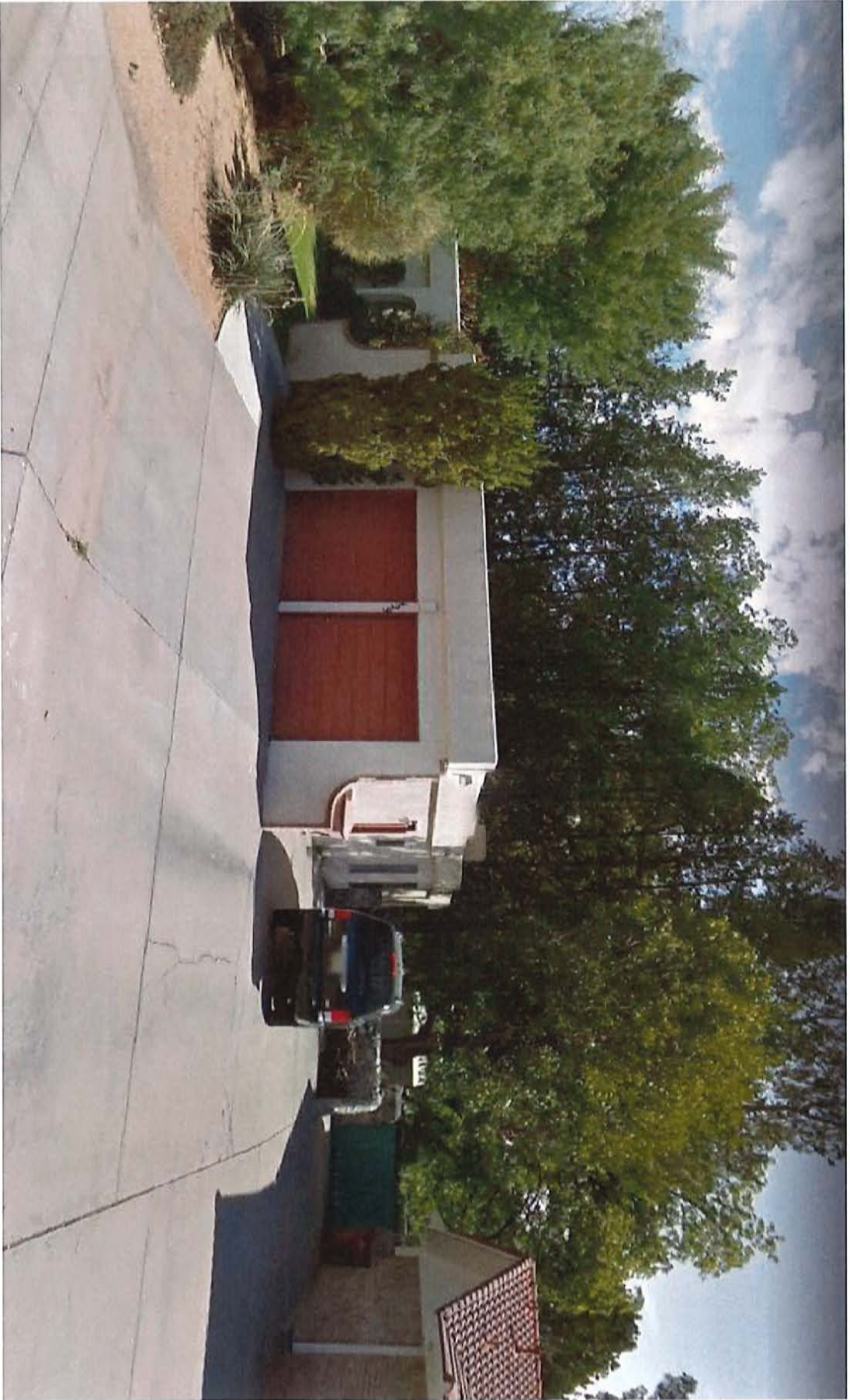
429 Bason Dr

Layer Visibility:

- Roads
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels



ACCOUNTNUMBER:	R0400839	PARCELNUMBER:	4007137307328
OWNERNAME:	WESCOTT W CLAUDE & CYNTHIA H	MAILADDR1:	429 BASON DR
CITY:	LAS CRUCES	STATE:	NM
ZIP:	88005-3717	LOT:	28
BLOCK:		SUBNAME:	BASON MANOR (BK 12 PG 11 - 754908) 807
TRS:	23S 2E 30	SITUSADDRS:	429 BASON DR
TOTALACRES:	0.19857668		





Scott E. Wyssling, PE
Jon P. Ward, SE, PE
Gregory T. Elvestad, PE

76 North Meadowbrook Drive
Alpine, UT 84004
office (201) 874-3483
swyssling@wysslingconsulting.com

May 4, 2022

SunWatt Energy
3023 Durazno Avenue
El Paso, TX 79905

Re: Engineering Services
Wescott Residence
429 Bason Drive, Las Cruces, NM
9.200 kW System

To Whom It May Concern:

We have received information regarding solar panel installation on the roof of the above referenced structure. Our evaluation of the structure is to verify the existing capacity of the roof system and its ability to support the additional loads imposed by the proposed solar system.

A. Site Assessment Information

1. Site visit documentation identifying attic information including size and spacing of rafters for the existing roof structure.
2. Design drawings of the proposed system including a site plan, roof plan and connection details for the solar panels. This information will be utilized for approval and construction of the proposed system.

B. Description of Structure:

Roof Framing: Prefabricated wood trusses with all truss members constructed of 2 x 4 dimensional lumber at 24" on center.
Roof Material: Composite Asphalt Shingles
Roof Slope: 5 degrees
Attic Access: Accessible
Foundation: Permanent

C. Loading Criteria Used

- **Dead Load** ○ TOTAL = 10.41 PSF
 - Existing Roofing and framing = 7 psf
 - New Solar Panels and Racking Ballest = 3.41 psf
- **Live Load** = 20 psf (reducible) – 0 psf at locations of solar panels
- **Ground Snow Load** = 5 psf
- **Wind Load** based on ASCE 7-10
 - Ultimate Wind Speed = 115 mph (based on Risk Category II)
 - Exposure Category B

Analysis performed of the existing roof structure utilizing the above loading criteria is in accordance with the 2015 International Residential Code, including provisions allowing existing structures to not require strengthening if the new loads do not exceed existing design loads by 105% for gravity elements and 110% for seismic elements. This analysis indicates that the existing rafters will support the additional panel loading without damage, if installed correctly.

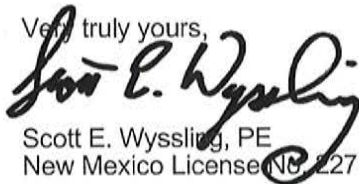
D. Solar Panel Anchorage

1. The solar panels shall be mounted to the ballast system in accordance with the most recent Unirac installation manual. If during solar panel installation, the roof framing members appear unstable or deflect non-uniformly, our office should be notified before proceeding with the installation.
2. Ballast system shall be placed on the roof in accordance with Unirac recommended layout and per there installation instructions.

Based on the above evaluation, this office certifies that with the racking and mounting specified, the existing roof system will adequately support the additional loading imposed by the solar system. This evaluation is in conformance with the 2015 International Residential Code, current industry standards, and is based on information supplied to us at the time of this report.

Should you have any questions regarding the above or if you require further information do not hesitate to contact me.

Very truly yours,


Scott E. Wyssling, PE
New Mexico License No. 22717



Date Signed 5/4/2022



U-BUILDER PROJECT REPORT

VERSION: 3.1.6

PROJECT TITLE

ROOFMOUNT RM10

PROJECT ID

DE49E790

CREATED

May 2, 2022, 10:03 a.m.

NAME	WILLIAM CLAUDE WESCOTT
ADDRESS	429 Bason Dr, Las Cruces, NM 88005
CITY, STATE	Las Cruces, NM
MODULE	Hanwha/Q-Cells Q,PEAK DUO BLK ML-G10+ 400

Designed by philip.wachna@gmail.com

ROOFMOUNT RM10

Hanwha/Q-Cells

23 - Q,PEAK DUO BLK ML-G10+ 400

485.78 ft²

9.20 KW



Signed 5/4/2022

ENGINEERING REPORT

Plan review

AVERAGE PSF	3.41 psf
TOTAL NUMBER OF MODULES	23
TOTAL KW	9.20 KW
TOTAL MODULE AREA	~749 ft ²
TOTAL WEIGHT ON ROOF	2554 lbs
RACKING WEIGHT	126 lbs
MODULE WEIGHT	1116 lbs
BALLAST WEIGHT	1312 lbs
MAX BAY LOAD (DEAD)	116 lbs
ATTACHMENT COUNT	0
TOTAL SEISMIC ATTACHMENTS REQUIRED	0

Loads Used for Design

BUILDING CODE	ASCE 7-10
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	0.00 psf
SEISMIC (Ss)	0.28
ELEVATION	4187.00 ft
WIND EXPOSURE	B
MRI	25
RISK CATEGORY	II
VELOCITY PRESSURE, QZ	12.55 psf

Loads Determined by Zip

CITY, STATE	Las Cruces, NM
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	0.00 psf

Inspection

PRODUCT	ROOFMOUNT RM10
MODULE MANUFACTURER	Hanwha/Q-Cells
MODEL	Q.PEAK DUO BLK ML-G10+ 400
MODULE WATTS	400 watts
MODULE LENGTH	74.00"
MODULE WIDTH	41.10"
MODULE THICKNESS	1.26"
MODULE WEIGHT	48.50 lbs
BALLAST BLOCK (CMU) WEIGHT	32.0 lbs
MAX BLOCKS PER NORTH BAY	6
MAX BLOCKS PER NON NORTH BAY	4
BUILDING HEIGHT	15.00 ft
ROOF TYPE	MINERAL_CAP
PARAPET HEIGHT	<= 1/2 Array Height (<= 6 inches)
RISK CATEGORY	II
ATTACHMENTS OPTIMIZATION CRITERIA	Maximize Ballast
ATTACHMENT TYPE	UNIRAC FLASHLOC RM
ATTACHMENT CAPACITY UPLIFT	620.0 lbs
ATTACHMENT CAPACITY SHEAR	523.0 lbs
CONTROLLING COMPONENT UPLIFT CAPACITY	RACKING
CONTROLLING COMPONENT SHEAR CAPACITY	RACKING

Roof Area 1 - Array 1

AVERAGE PSF	3.41 psf	MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
TOTAL NUMBER OF MODULES:	23	ARRAY TO ARRAY:	3.0"
TOTAL KW:	9.20 KW	TO FIXED OBJECT ON ROOF:	6.0"
TOTAL AREA:	749 ft ²	TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TOTAL WEIGHT ON ROOF:	2554 lbs	TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
RACKING WEIGHT:	126 lbs	MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
MODULE WEIGHT:	1116 lbs	MAX NUMBER OF NORTH-SOUTH ROWS:	32
BALLAST WEIGHT:	1312 lbs	MAX NUMBER OF EAST-WEST COLUMNS:	70
ATTACHMENT COUNT	0		
SEISMIC ATTACHMENT COUNT	0		

*In jurisdictions that follow SEAOC PV-1 methodology.

RM10 U-BUILDER PRODUCT ASSUMPTIONS

RM10 – Ballasted Flat Roof Systems

Limitations of Responsibility: It is the user's responsibility to ensure that inputs are correct for your specific project. Unirac is not the solar, electrical, or building engineer of record and is not responsible for the solar, electrical, or building design for this project.

Building Assumptions

1. Risk Category III
2. Building Height \leq 50 ft
3. Building Height > 50 ft: only where (longest length of building x building height)^{0.5} \leq 100 ft
4. Roof Slope \geq 0° (0:12) and \leq 3° (5/8:12) for Seismic Design Category C, D, E and F. For low seismic regions Seismic Design Category A and B (provided Array Importance factor = 1.0), Roof Slope \geq 0° (0:12) and \leq 7° (1 1/2:12).
5. Roofing Material Types: EDPM, PVC, TPO, or Mineral Cap
6. Surrounding Building Grade: Level

Ballast Blocks

The installer is responsible for procuring the ballast blocks (Concrete Masonry Units – CMU) and verifying the required minimum weight needed for this design. CMU should comply with ASTM standard specification for concrete roof pavers designation (C1491 or C90 with an integral water repellent suitable for the climate it is placed. It is recommended that the blocks are inspected periodically for any signs of degradation. If degradation of the block is observed, the block should immediately be replaced.

The CMU ballast block should have nominal dimensions of 4"x8"x16". The actual block dimensions are 3/8" less than the nominal dimensions. Ballast blocks should have a weight as specified for the project in the "Inspection" section of this report.

Design Parameters

1. Risk Category I to III
2. Wind Design
 - a. Basic Wind Speed: 85-120 mph (ASCE 7-05)/110-150 mph (ASCE 7-10)/90-180 mph (ASCE 7-16)
 - b. Exposure: B, C or D (ASCE 7-05/ASCE 7-10)
 - c. 25 year Design Life/50 year Design Life for ASCE 7-16
 - d. Elevation: Insertion of the project at - grade elevation can result in a reduction of wind pressure. If your project is in a special case study region or in an area where wind studies have been performed, please verify with your jurisdiction to ensure that elevation effects have not already been factored into the wind speed. If elevation effects have been included in your wind speed, please select 0 ft as the project site elevation.
 - e. Wind Tunnel Testing: Wind tunnel testing coefficients have been utilized for design of the system.
3. Snow Design
 - a. Ground Snow Load: 0-80 psf (ASCE 7-10/ASCE 7-16)
 - b. Exposure Factor: 0.9
 - c. Thermal Factor: 1.2
 - d. Roof Snow Load: Calculation per Section 7.3 (ASCE 7-05/ASCE 7-10/ASCE 7-16)
 - e. Unbalanced/Drifting/Sliding: Results are based on the uniform snow loading and do not consider unbalanced, drifting, and sliding conditions
4. Seismic Design
 - a. Report *SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 – Structural Seismic Requirements and Commentary for Rooftop Solar Photovoltaic Arrays*
 - b. Seismic Site Class: A, B, C, or D (ASCE 7-05/ASCE 7-10/ASCE 7-16)
 - c. Importance Factor Array (Ip): 1.0
 - d. Importance Factor Building (Ie): 1.0
 - e. Site Class: D

Properties

1. Bay Weight: ~3.5 lbs
2. Module Gaps (E/W) = 0.25 in
3. Bays: North row bays overhang the module by ~19.5 inches.

Module Properties

1. Module return flange: Minimum of 0.9in (when using 1-3/4 in. clip bolts) is required.
2. Module return flange: Minimum of 0.65in (when using 2 in. clip bolts) is required.

Testing

1. Coefficient of Friction
2. Wind Tunnel
3. UL 2703
4. Component Testing (Bay and Clamp)

Setbacks

For the wind tunnel recommendations in U-Builder to apply, the following setbacks should be observed/followed for U-Builder wind design:

1. Modules should be placed a minimum of 3 feet from the edge of the building in any direction.
2. If the array is located near an obstruction that is 3.5 feet wide and 3.5 feet high or larger, the nearest module of the array must be located a distance from the obstruction that is greater than or equal to the height of the obstruction.
Exception: When using ASCE 7-16 Building Code and using the obstruction feature in the module editor to accurately model the size and location of obstruction.
3. Installations within the setbacks listed above require site specific engineering²
4. The setbacks above are for wind. High seismic areas, fire access isles, mechanical equipment, etc., may require larger setbacks than listed above for wind.

Site Specific Engineering

Conditions listed below are beyond the current capabilities of U-Builder. Site specific engineering is required.

1. Wind designs for a project design life exceeding 25 years^{1/ASCE 7-16}
2. Building assumptions and design parameters outside of U-Builder assumptions²
3. Attachments²
4. Risk Category III or IV projects (U-Builder can be adjusted for the correct wind, but not the seismic or snow design)²
5. Wind tunnel testing reduction factors are not permitted by the Authority Having Jurisdiction (AHJ)³
6. Seismic designs that fall outside SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 recommendations (>3% roof slope, or AHJ's that require shake table testing or non-linear site-specific response history analysis)³
7. Signed and sealed site-specific calculations, layouts, and drawings³

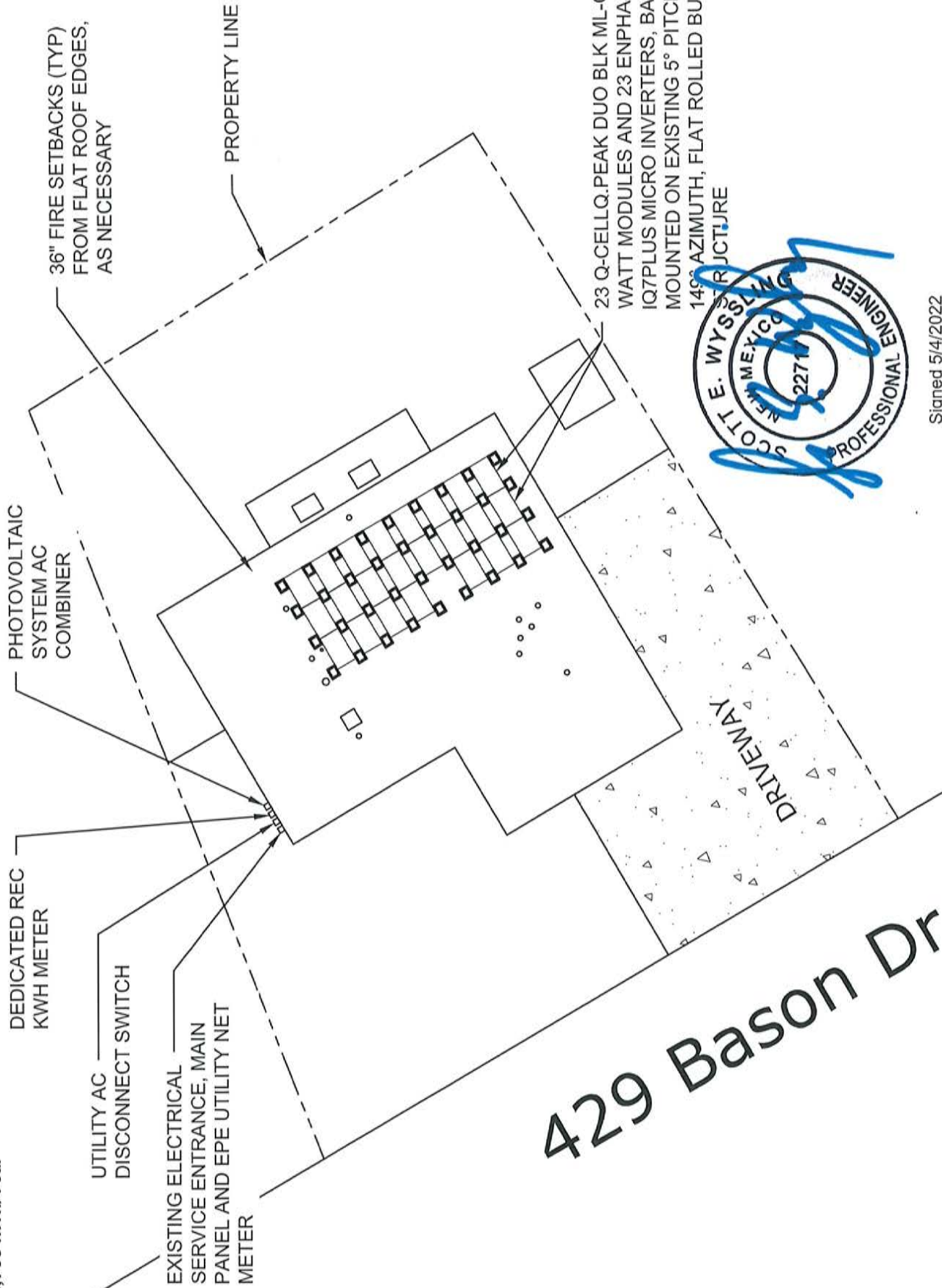
Notes:

¹Please contact info@unirac.com.

²Please contact EngineeringServices@unirac.com for more information.

³Please contact Theresa Allen with PZSE Structural Engineers at theresa@pzse.com. These items will require direct coordination with PZSE to complete the requested services.

ESTIMATED ANNUAL PRODUCTION:
- 15,788 kWh/Year



429 Bason Dr



Signed 5/4/2022

ASSESSORS PARCEL NUMBER:
4007137307328

NOT TO SCALE

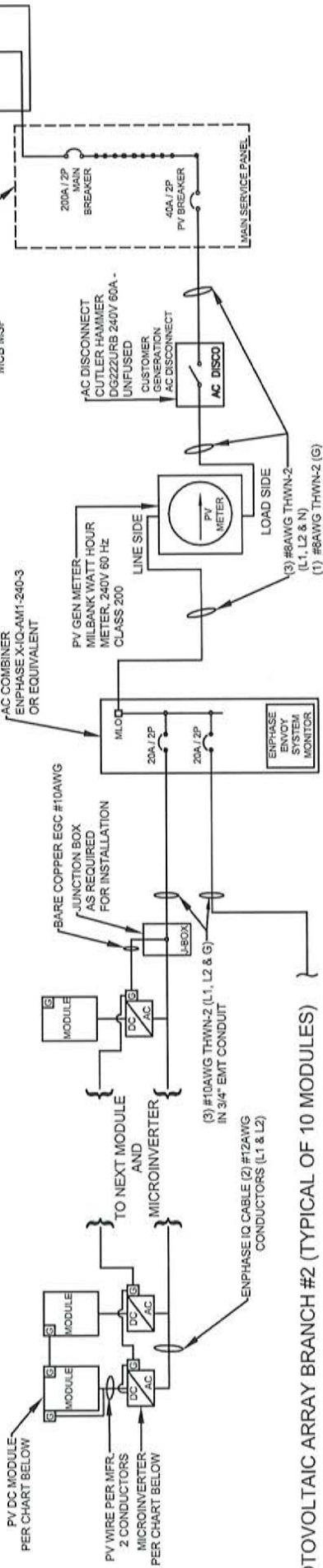
PROJECT INFORMATION		DRAWN	PHIL W
AHJ	CID	DATE	05/02/2022
UTILITY	EPE		
SITE PLAN			
9.2 kW DC / 6.67 kW AC PV SYSTEM			
429 Bason Dr			
Las Cruces, NM 88005			
CUSTOMER: WILLIAM CLAUDE WESCOTT			

1

SunWatt Energy

3023 Durazno Ave.
El Paso, TX 79905

PHOTOVOLTAIC ARRAY BRANCH #1 (TYPICAL OF 13 MODULES)



PHOTOVOLTAIC ARRAY BRANCH #2 (TYPICAL OF 10 MODULES)

CONDUCTOR SIZING PER NEC TABLE 310.15(B)(16) & 310.15(B)(2)(A) AND ADJUSTMENT FACTORS .58 (55-60°C) AND .82 (42-45°C). OVERCURRENT DEVICE SIZING PER NEC 240.4(B) AND 240.6(A).

AC CALCULATIONS: PER NEC 690.8(A)(3) AND (B)(1):

- 1 X 1.25
- ARRAY #1 [(1.2 A)(13)] X 1.25 = 19.5 A
- ARRAY #2 [(1.2 A)(10)] X 1.25 = 15.0 A
- SYSTEM [(1.2 A)(23)] X 1.25 = 34.5 A

MINIMUM DISTANCE FROM CONDUIT TO ROOFTOP IS 3.5' PER NEC 310.15(B)(c)

ALL SUPPLIED EQUIPMENT IS UL LISTED

EQUIPMENT TO BE INSTALLED PER LISTING AND / OR LABELING TO 2017 NEC REQUIREMENTS.

GROUNDING CONDUCTORS CONNECTED TO EACH MODULE FRAME AND RACK ASSEMBLY

ALL SOLAR PANELS ARE LISTED TO UL1703 AND HAVE A CLASS C FIRE RATING.

- AC:
 - L1 = BLACK
 - L2 = RED
 - NEUTRAL = WHITE
 - GROUND = GREEN / BARE WIRE

PV MODULE RATINGS @STC	
MAKE AND MODEL: QCELLS Q.PEAK DUO-G10+ 400	
MAX POWER-POINT CURRENT I_{mp}	10.77 A
MAX POWER-POINT VOLTAGE V_{mp}	37.13 V
OPEN-CIRCUIT VOLTAGE V_{oc}	45.3 V
SHORT-CIRCUIT CURRENT I_{sc}	11.14 A
MAX SERIES FUSE (OCPD)	20 A
MAXIMUM POWER $P_{mp,max}$	400 W
MAX VOLTAGE	1000 VDC
V_{gc} TEMPERATURE COEFFICIENT	-0.27 %/°K

INVERTER RATINGS	
MAKE AND MODEL: ENPHASE ENERGY IQ7PLUS-72-2-US	
MAX DC VOLTAGE RATING	60 V
MAX CONTINUOUS POWER	290 W
NOMINAL AC VOLTAGE	240 V
MAX AC CURRENT	1.2 A
MAX OCPD RATING	20 A

NEC 705.12(D)(2)
 BUS RATING x 120% ≥
 PV BREAKER(A) + MAIN BREAKER(A)
 200A X 1.20 = 240A
 40A PV BREAKER + 200A MAIN BREAKER
 =240A

240A ≥ 240A, THEREFORE PV BREAKER IN MAIN MEETS NEC CODE REQUIREMENTS.

PROJECT INFORMATION		PHIL W
AHJ	CID	DATE
UTILITY	EPE	

SINGLE-LINE DIAGRAM
 9.2 kW DC / 6.67 kW AC PV SYSTEM
 429 Bason Dr
 Las Cruces, NM 88005
 CUSTOMER: WILLIAM CLAUDE WESCOTT

AC COMBINER

WARNING

ELECTRIC SHOCK HAZARD
-DO NOT TOUCH TERMINALS-
TERMINALS ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

NOTICE

DEDICATED PHOTOVOLTAIC
SYSTEM COMBINER PANEL
DO NOT ADD LOADS TO
THIS PANEL

WARNING

INVERTER OUTPUT CONNECTION
DO NOT RELOCATE THIS
OVERCURRENT DEVICE

CONDUIT

**WARNING: PHOTOVOLTAIC
POWER SOURCE**

LABEL SHALL BE ALL CAPITAL LETTERS MIN. $\frac{3}{8}$ " HIGH.
WHITE LETTERS ON RED BACKGROUND.
MUST BE REFLECTIVE AND WEATHER RESISTANT.
TO BE PLACED ON INTERIOR AND EXTERIOR
CONDUIT, RACEWAYS, ENCLOSURES AND CABLE
ASSEMBLIES EVERY 10 FEET, WITHIN 1 FOOT OF
TURNS OR BENDS AND WITHIN 1 FOOT ABOVE AND
BELOW PENETRATIONS OF ROOF/CEILING
ASSEMBLIES, WALLS OR BARRIERS.

AC DISCONNECT

PHOTOVOLTAIC SYSTEM

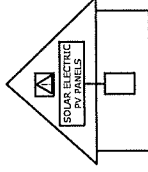
AC DISCONNECT
OPERATING CURRENT 27.6 AMPS
OPERATING VOLTAGE 240 VOLTS

WARNING

ELECTRIC SHOCK HAZARD
-DO NOT TOUCH TERMINALS-
TERMINALS ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

**SOLAR PV SYSTEM EQUIPPED
WITH RAPID SHUTDOWN**

TURN RAPID SHUTDOWN SWITCH
TO THE "OFF" POSITION
TO SHUT DOWN CONDUCTORS
OUTSIDE THE ARRAY.
CONDUCTORS WITHIN
THE ARRAY REMAIN
ENERGIZED IN SUNLIGHT.



**RAPID SHUTDOWN
INITIATOR DEVICE**

MAIN SERVICE PANEL

PHOTOVOLTAIC POWER SOURCE
SYSTEM AC VOLTAGE: 240 VAC
MAXIMUM AC CURRENT: 27.6 AMPS

WARNING

ELECTRIC SHOCK HAZARD
-DO NOT TOUCH TERMINALS-
TERMINALS ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

PANELBOARD IS ENERGIZED FROM TWO
SOURCES OF AC POWER
SOLAR - 27.6 A
UTILITY - 200A AT 240V

WARNING

INVERTER OUTPUT CONNECTION
DO NOT RELOCATE THIS
OVERCURRENT DEVICE

**PHOTOVOLTAIC SYSTEM
EQUIPPED WITH
RAPID SHUTDOWN**

DEDICATED PV SYSTEM
KHW METER

REC METER

UTILITY METER

NET METER

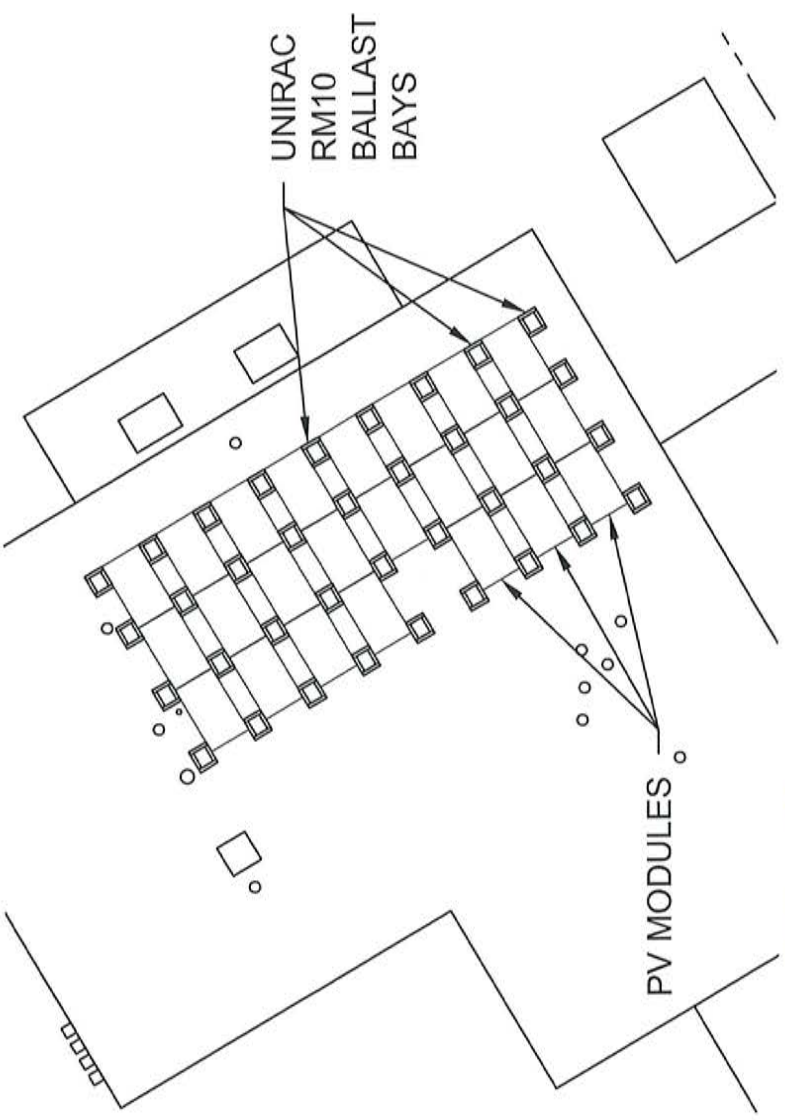
PLACARDS

9.2 kW DC/ 6.67 kW AC PV SYSTEM
429 Bason Dr
Las Cruces, NM 88005

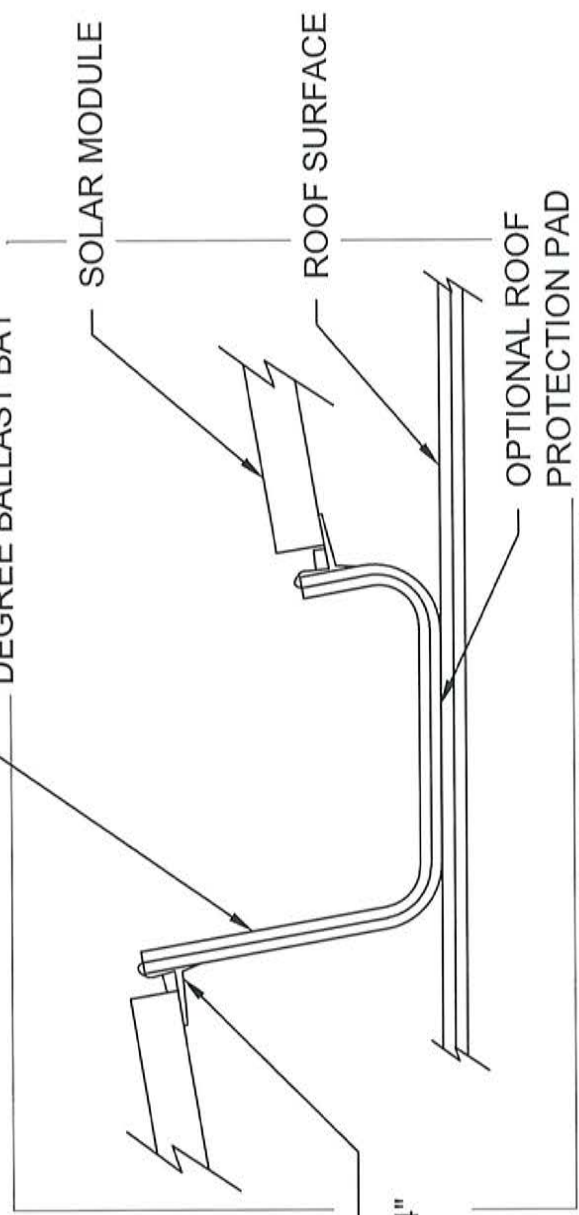
CUSTOMER: WILLIAM CLAUDE WESCOTT

PROJECT INFORMATION		DRAWN	PHIL W
A-H	CID	DATE	05/02/2022
UTILITY	EPE		

UNIRAC BALLAST SYSTEM-
INSTALLATION AND
ENGINEERING
REPORT SHOULD
ACCOMPANY THESE
PLANS.



Signed 5/4/2022



MOUNTING DETAIL

PROJECT INFORMATION		PHIL W
AHU	CID	DATE
UTILITY	EPE	
MODULE MOUNTING		
9.2 kW DC/ 6.67 kW AC PV SYSTEM		
429 Bason Dr		
Las Cruces, NM 88005		
CUSTOMER: WILLIAM CLAUDE WESCOTT		

SunWatt Energy

3023 Durazno Ave.
El Paso TX 79905

Single Family Dwelling Electrical Service Load Calculation

1. General Lighting Loads

Dwelling 2019 sq. ft X 3 VA = 6057 VA

Small appliance loads - 220-16(a) 1500 VA X 4 Circuits = 6000 VA

Laundry load - 220-16 (b) 1500 VA X 4 Circuits = 6000 VA

General Lighting Total 18,057 VA

2. Cooking Equipment Loads - Nameplate Value

Range 40 Amps = 7680 VA

Cooktop Amps = 0 VA

Oven Amps = 0 VA

Cooking Equipment Total 7,680 VA

3. Electric Dryer 220-18 (Nameplate, 5000 VA minimum)

Dryer qty: 1 5000 VA

Dryer Total 5,000 VA

4. Fixed Appliance Loads

Amps X 240 Volts = 0 VA

Amps X Volts = 0 VA

Amps X Volts = 0 VA

Amps X Volts = 0 VA

Fixed Appliance Total 0 VA

Subtotal (add all above lines) 30,737 VA

6. First 10,000 VA X 100%

Remainder 20,737 VA X 40% = 8,295 VA

7. Larger of heating or AC Load (nameplate)

50 Amps = 12,000 VA

New Load For Vehicle Charger = 0 VA

Total Load (from lines above) 30,295 VA

10. Existing Minimum Service Size = Total Load in VA = 126.23 Amps

240 volts

ELEC CALCS
9.2 kW DC/ 6.67 kW AC PV SYSTEM
429 Bason Dr
Las Cruces, NM 88005
CUSTOMER: WILLIAM CLAUDE WESCOTT

PROJECT INFORMATION
AHJ CID
UTILITY EPE
DRAWN PHIL W
DATE 05/02/2022



3023 Durazno Ave.
El Paso, TX 79905

PROJECT TITLE

ROOFMOUNT RM10

PROJECT ID

DE49E790

CREATED

May 2, 2022, 10:03 a.m.

NAME WILLIAM CLAUDE WESCOTT

Designed by philip.wachna@gmail.com

ADDRESS 429 Bason Dr, Las Cruces, NM 88005

ROOFMOUNT RM10

CITY, STATE Las Cruces, NM

Hanwha/Q-Cells

MODULE Hanwha/Q-Cells Q.PEAK DUO BLK ML-G10+ 400

23 - Q.PEAK DUO BLK ML-G10+ 400

485.78 ft²

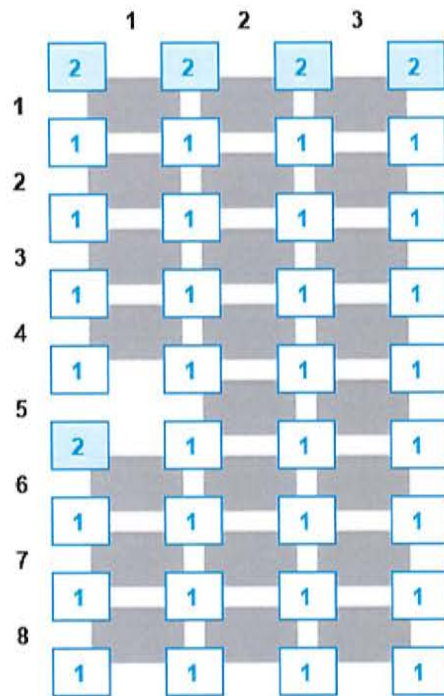
9.20 KW

INSTALLATION AND DESIGN PLAN

Roof Area 1



Roof Area 1 / Roof Area 1 - Array 1



Bay With Attachment

LEGEND



Module



Standard corner bay with CMU block count



Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

Layout Dimensions

NS DIMENSION ~ 41.61 ft

EW DIMENSION ~ 18.56 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
-----	---------	------	----------------------	----------------------

1	3	4	8	256
2	3	4	4	128
3	3	4	4	128
4	3	4	4	128
5	2	4	4	128
6	3	4	5	160
7	3	4	4	128
8	3	4	4	128
9	0	4	4	128

Enphase IQ 7 and IQ 7+ Microinverters

The high-powered smart grid-ready **Enphase IQ 7 Micro™** and **Enphase IQ 7+ Micro™** dramatically simplify the installation process while achieving the highest system efficiency.

Part of the Enphase IQ System, the IQ 7 and IQ 7+ Microinverters integrate with the Enphase IQ Envoy™, Enphase IQ Battery™, and the Enphase Enlighten™ monitoring and analysis software.

IQ Series Microinverters extend the reliability standards set forth by previous generations and undergo over a million hours of power-on testing, enabling Enphase to provide an industry-leading warranty of up to 25 years.



Easy to Install

- Lightweight and simple
- Faster installation with improved, lighter two-wire cabling
- Built-in rapid shutdown compliant (NEC 2014 & 2017)

Productive and Reliable

- Optimized for high powered 60-cell and 72-cell* modules
- More than a million hours of testing
- Class II double-insulated enclosure
- UL listed

Smart Grid Ready

- Complies with advanced grid support, voltage and frequency ride-through requirements
- Remotely updates to respond to changing grid requirements
- Configurable for varying grid profiles
- Meets CA Rule 21 (UL 1741-SA)

* The IQ 7+ Micro is required to support 72-cell modules.



Enphase IQ 7 and IQ 7+ Microinverters

INPUT DATA (DC)	IQ7-60-2-US / IQ7-60-B-US		IQ7PLUS-72-2-US / IQ7PLUS-72-B-US	
Commonly used module pairings ¹	235 W - 350 W +		235 W - 440 W +	
Module compatibility	60-cell PV modules only		60-cell and 72-cell PV modules	
Maximum input DC voltage	48 V		60 V	
Peak power tracking voltage	27 V - 37 V		27 V - 45 V	
Operating range	16 V - 48 V		16 V - 60 V	
Min/Max start voltage	22 V / 48 V		22 V / 60 V	
Max DC short circuit current (module Isc)	15 A		15 A	
Overvoltage class DC port	II		II	
DC port backfeed current	0 A		0 A	
PV array configuration	1 x 1 ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit			
OUTPUT DATA (AC)	IQ 7 Microinverter		IQ 7+ Microinverter	
Peak output power	250 VA		295 VA	
Maximum continuous output power	240 VA		290 VA	
Nominal (L-L) voltage/range ²	240 V / 211-264 V	208 V / 183-229 V	240 V / 211-264 V	208 V / 183-229 V
Maximum continuous output current	1.0 A (240 V)	1.15 A (208 V)	1.21 A (240 V)	1.39 A (208 V)
Nominal frequency	60 Hz		60 Hz	
Extended frequency range	47 - 68 Hz		47 - 68 Hz	
AC short circuit fault current over 3 cycles	5.8 Arms		5.8 Arms	
Maximum units per 20 A (L-L) branch circuit ³	16 (240 VAC)	13 (208 VAC)	13 (240 VAC)	11 (208 VAC)
Overvoltage class AC port	III		III	
AC port backfeed current	0 A		0 A	
Power factor setting	1.0		1.0	
Power factor (adjustable)	0.7 leading ... 0.7 lagging		0.7 leading ... 0.7 lagging	
EFFICIENCY	@240 V	@208 V	@240 V	@208 V
Peak CEC efficiency	97.6 %	97.6 %	97.5 %	97.3 %
CEC weighted efficiency	97.0 %	97.0 %	97.0 %	97.0 %
MECHANICAL DATA				
Ambient temperature range	-40°C to +65°C			
Relative humidity range	4% to 100% (condensing)			
Connector type (IQ7-60-2-US & IQ7PLUS-72-2-US)	MC4 (or Amphenol H4 UTX with additional Q-DCC-5 adapter)			
Connector type (IQ7-60-B-US & IQ7PLUS-72-B-US)	Friends PV2 (MC4 intermateable). Adaptors for modules with MC4 or UTX connectors: - PV2 to MC4: order ECA-S20-S22 - PV2 to UTX: order ECA-S20-S25			
Dimensions (WxHxD)	212 mm x 175 mm x 30.2 mm (without bracket)			
Weight	1.08 kg (2.38 lbs)			
Cooling	Natural convection - No fans			
Approved for wet locations	Yes			
Pollution degree	PD3			
Enclosure	Class II double-insulated, corrosion resistant polymeric enclosure			
Environmental category / UV exposure rating	NEMA Type 6 / outdoor			
FEATURES				
Communication	Power Line Communication (PLC)			
Monitoring	Enlighten Manager and MyEnlighten monitoring options. Both options require installation of an Enphase IQ Envoy.			
Disconnecting means	The AC and DC connectors have been evaluated and approved by UL for use as the load-break disconnect required by NEC 690.			
Compliance	CA Rule 21 (UL 1741-SA) UL 62109-1, UL1741/IEEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shut Down Equipment and conforms with NEC-2014 and NEC-2017 section 690.12 and C22.1-2015 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according manufacturer's instructions.			

1. No enforced DC/AC ratio. See the compatibility calculator at <https://enphase.com/en-us/support/module-compatibility>.

2. Nominal voltage range can be extended beyond nominal if required by the utility.

3. Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

To learn more about Enphase offerings, visit enphase.com



powered by

Q.ANTUM DUO Z

Q.PEAK DUO BLK ML-G10+

385-405

ENDURING HIGH
PERFORMANCE



BREAKING THE 20% EFFICIENCY BARRIER

Q.ANTUM DUO Z Technology with zero gap cell layout boosts module efficiency up to 20.9%.



THE MOST THOROUGH TESTING PROGRAMME IN THE INDUSTRY

Q CELLS is the first solar module manufacturer to pass the most comprehensive quality programme in the industry: The new "Quality Controlled PV" of the independent certification institute TÜV Rheinland.



INNOVATIVE ALL-WEATHER TECHNOLOGY

Optimal yields, whatever the weather with excellent low-light and temperature behavior.



ENDURING HIGH PERFORMANCE

Long-term yield security with Anti LID Technology, Anti PID Technology¹, Hot-Spot Protect and Traceable Quality Tra.Q™.



EXTREME WEATHER RATING

High-tech aluminum alloy frame, certified for high snow (5400 Pa) and wind loads (4000 Pa).



A RELIABLE INVESTMENT

Inclusive 25-year product warranty and 25-year linear performance warranty².

¹ APT test conditions according to IEC / TS 62804-1:2015, method A (-1500V, 96h)

² See data sheet on rear for further information.



THE IDEAL SOLUTION FOR:



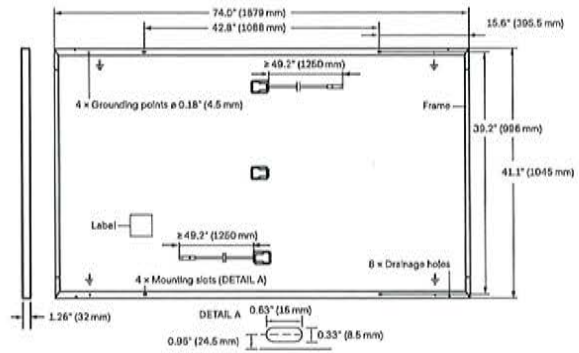
Rooftop arrays on
residential buildings

Engineered in Germany

Q CELLS

MECHANICAL SPECIFICATION

Format	74.0in x 41.1in x 1.26in (Including frame) (1879mm x 1045mm x 32mm)
Weight	48.5lbs (22.0kg)
Front Cover	0.13in (3.2mm) thermally pre-stressed glass with anti-reflection technology
Back Cover	Composite film
Frame	Black anodized aluminum
Cell	6 x 22 monocrystalline Q.ANTUM solar half cells
Junction Box	2.09-3.98in x 1.26-2.36in x 0.59-0.71in (53-101mm x 32-60mm x 15-18mm), IP67, with bypass diodes
Cable	4mm ² Solar cable; (+) ≥49.2in (1250mm), (-) ≥49.2in (1250mm)
Connector	Stäubli MC4; IP68

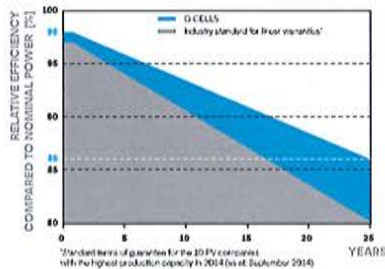


ELECTRICAL CHARACTERISTICS

POWER CLASS		385	390	395	400	405	
MINIMUM PERFORMANCE AT STANDARD TEST CONDITIONS, STC ¹ (POWER TOLERANCE +5W / -0W)							
Minimum	Power at MPP ¹	P _{MPP} [W]	385	390	395	400	405
	Short Circuit Current ¹	I _{SC} [A]	11.04	11.07	11.10	11.14	11.17
	Open Circuit Voltage ¹	V _{OC} [V]	45.19	45.23	45.27	45.30	45.34
	Current at MPP	I _{MPP} [A]	10.59	10.65	10.71	10.77	10.83
	Voltage at MPP	V _{MPP} [V]	36.36	36.62	36.88	37.13	37.39
	Efficiency ¹	η [%]	≥19.6	≥19.9	≥20.1	≥20.4	≥20.6
MINIMUM PERFORMANCE AT NORMAL OPERATING CONDITIONS, NMOT ²							
Minimum	Power at MPP	P _{MPP} [W]	288.8	292.6	296.3	300.1	303.8
	Short Circuit Current	I _{SC} [A]	8.90	8.92	8.95	8.97	9.00
	Open Circuit Voltage	V _{OC} [V]	42.62	42.65	42.69	42.72	42.76
	Current at MPP	I _{MPP} [A]	8.35	8.41	8.46	8.51	8.57
	Voltage at MPP	V _{MPP} [V]	34.59	34.81	35.03	35.25	35.46

¹Measurement tolerances P_{MPP} ±3%; I_{SC}; V_{OC} ±5% at STC: 1000W/m², 25±2°C, AM 1.5 according to IEC 60904-3 • *800W/m², NMOT, spectrum AM 1.5

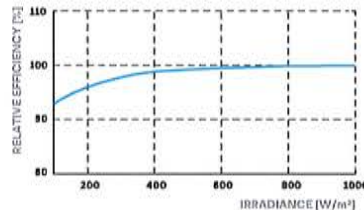
Q CELLS PERFORMANCE WARRANTY



At least 98% of nominal power during first year. Thereafter max. 0.5% degradation per year. At least 93.5% of nominal power up to 10 years. At least 86% of nominal power up to 25 years.

All data within measurement tolerances. Full warranties in accordance with the warranty terms of the Q CELLS sales organisation of your respective country.

PERFORMANCE AT LOW IRRADIANCE



Typical module performance under low irradiance conditions in comparison to STC conditions (25°C, 1000W/m²)

TEMPERATURE COEFFICIENTS

Temperature Coefficient of I _{SC}	α [%/K]	+0.04	Temperature Coefficient of V _{OC}	β [%/K]	-0.27
Temperature Coefficient of P _{MPP}	γ [%/K]	-0.34	Nominal Module Operating Temperature	NMOT [°F]	109±5.4 (43±3°C)

PROPERTIES FOR SYSTEM DESIGN

Maximum System Voltage V _{sys}	[V]	1000 (IEC)/1000 (UL)	PV module classification	Class II
Maximum Series Fuse Rating	[A DC]	20	Fire Rating based on ANSI/UL 61730	TYPE 2
Max. Design Load, Push/Pull ³	[lbs/ft ²]	75 (3600Pa)/55 (2660Pa)	Permitted Module Temperature on Continuous Duty	-40°F up to +185°F (-40°C up to +85°C)
Max. Test Load, Push/Pull ³	[lbs/ft ²]	113 (5400Pa)/84 (4000Pa)		

³ See Installation Manual

QUALIFICATIONS AND CERTIFICATES

UL 61730, CE-compliant, Quality Controlled PV - TÜV Rheinland, IEC 61215:2016, IEC 61730:2016, U.S. Patent No. 9,893,215 (solar cells), QCPV Certification ongoing.



PACKAGING INFORMATION

Horizontal packaging	76.4in 1940mm	43.3in 1100mm	48.0in 1220mm	1656lbs 751kg	24 pallets	24 pallets
						32 modules

Note: Installation instructions must be followed. See the Installation and operating manual or contact our technical service department for further information on approved installation and use of this product.

Hanwha Q CELLS America Inc.

400 Spectrum Center Drive, Suite 1400, Irvine, CA 92618, USA | TEL +1 949 748 59 96 | EMAIL inquiry@us.q-cells.com | WEB www.q-cells.us

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 5, 2022,

BOT:

ITEM: PZHAC Case #061425 - 2337 Calle De Guadalupe Submitted by Butcho Frieze LLC: To Tear down Existing pergola and replace with new pergola structure using posts in ground with cement. **Zoned: Historical Commercial (HC)**

BACKGROUND AND ANALYSIS: 2337 Calle De Guadalupe Submitted by Butcho Frieze LLC: To Tear down Existing pergola and replace with new pergola structure using posts in ground with cement.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA

575-524-3262

***** REPRINT RECEIPT*****

REC#: 00182382 6/27/2022 11:14 AM
OPER: UTCLK TERM: 001
REF#: 1337

TRAN: 110.0000 PERMITS/INSPECTIONS
061424 63.00CR
SANCHEZ, TERESA
2755 CALLE DE SAN ALBINO
BLD 63.00CR

TRAN: 110.0000 PERMITS/INSPECTIONS
061425 95.00CR
SANCHEZ, TERESA
2337 CALLE DE GUADALUPE
BLD 95.00CR

TRAN: 110.0000 PERMITS/INSPECTIONS
061426 118.00CR
SANCHEZ, TERESA
2738 AVENIDA DE MESILLA
BLD 118.00CR

TENDERED: 276.00 CHECK
APPLIED: 276.00-

CHANGE: 0.00

Pay Online: www.mesillanm.gov

**TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT**

Permit Fee \$ 80.00
 Review Fee \$ 15.00
 Total Fee \$ 95.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104



CASE NO. 061425 ZONE: HC CODE: MISC APPLICATION DATE: 6-24-22

Name of Property Owner: Butcho Fretze, LLC Property Owner's Telephone Number: 915-313-1973 or 575-649-6916

Property Owner's Mailing Address: PO Box 358 City: MESILLA PARK State: NM Zip Code: 88047

Property Owner's E-mail Address: eandlmanagementllc@gmail.com

Contractor's Name & Address (If none, Indicate Self): Stetina Landscape + Design

Contractor's Telephone Number: 602-377-0136 Contractor's Tax ID Number: 82-3352262 Contractor's License Number: 393805

Address of Proposed Work: 2337 Calle de Guadalupe (Galeria Azul)

Description of Proposed Work: Tear down existing pergola and replace with new pergola structure using 6" diameter posts into ground with cement and matching crossbeams with 2.5"-4" round posts for latillas similar to structure in front of Town Hall.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. n/a Foundation plan with details.
4. n/a Floor plan showing rooms, their uses, and dimensions.
5. n/a Cross section of walls.
6. n/a Roof and floor framing plan.
7. Proof of legal access to the property.
8. n/a Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. n/a Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

Estimated Cost: \$ 2500.⁰⁰ Signature of Applicant: [Signature] Date: 6/24/22

Application Fee is due at time of submittal. **Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit.** All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO
 CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

- [Account Search](#)
- [View Created Report\(s\)](#)
- [Help?](#)
- [Logout Public](#)

Legal Ownership

Account: R0400321 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.

Location

Situs Address 2337 CALLE DE GUADALUPE

Deed Holder

Tax Area 2DIN_NR - 2DIN_NR

Parcel Number 4-006-137-239-434

Legal Summary S: 25 T: 23S R: 1E MAP 11A TR 36 CALLE DE SAN ALBINO

Neighborhood S11 - MESILLA

Owner Information

Owner Name BUTCHO FRIETZE LLC

Owner Address PO BOX 358
MESILLA PARK , NM 88047

Assessment History

Actual (2022) \$86,728

Primary Taxable \$28,909

Tax Area: 2DIN_NR Mill Levy: 27.763000

Type Actual Assessed SQFT

Non-Residential Land \$55,825 \$18,608 7975.000

Non-Residential Improvement \$30,903 \$10,301 1974.000

Transfers

Record Sequence	Reception Number	Book Page	Sale Date	Grantor	Grantee	Doc Type	Parcel Number
10	1730022		12/12/2017	<u>SANCHEZ, ERIC L</u>	<u>BUTCHO FRIETZE LLC</u>	A3	<u>4006137239434</u>
9	2100493		12/29/2020	<u>SANCHEZ, ERIC L</u>	<u>SANCHEZ, ERIC L</u>	A1	<u>4006137239434</u>
8	1720532		08/25/2017	<u>SANCHEZ, ERIC L</u>	<u>SANCHEZ, ERIC L</u>	A3	<u>4006137239434</u>
7	02475		01/04/2002	<u>FRIETZE, ROBERTO L ETAL</u> <u>FRIETZE, ELIZA F ETAL</u>	<u>SANCHEZ, ERIC L ETUX</u>	A2	<u>4006137239434</u>
6	02474		01/04/2002	<u>FRIETZE, ROBERTO L ETAL</u> <u>FRIETZE, ELIZA F ETAL</u>	<u>SANCHEZ, ERIC L ETUX</u>	A1	<u>4006137239434</u>
5	0129411		11/19/2001	<u>FRIETZE, ROBERTO L ETUX</u>	<u>SANCHEZ, ERIC L ETUX</u>	A2	<u>4006137239434</u>
4	0027406		12/08/2000	<u>FRIETZE, ROBERTO L ETUX</u>	<u>FRIETZE, ROBERTO L -TRSTE-ETAL</u> <u>FRIETZE, ELIZA F -TRSTE-ETAL</u> <u>ROBERTO & ELIZA FRIETZE TR ETAL</u>	A1	<u>4006137021459</u>
3	0027407		12/08/2000	<u>FRIETZE, ROBERTO -TRSTE-ETAL</u> <u>FRIETZE, TIBURCIO R -EST-ETAL</u>	<u>FRIETZE, ROBERTO L</u>	A1	<u>4006137021459</u>
2	9827712		10/28/1998	<u>FRIETZE, TIBURCIO R</u>	<u>FRIETZE, TIBURCIO R -TRSTE-ETAL</u> <u>TIBURCIO R FRIETZE TRUST</u> <u>ETAL</u>	A1	<u>4006137021459</u>
1	BK 141 PG 429					Conversion	<u>4006137239434</u>

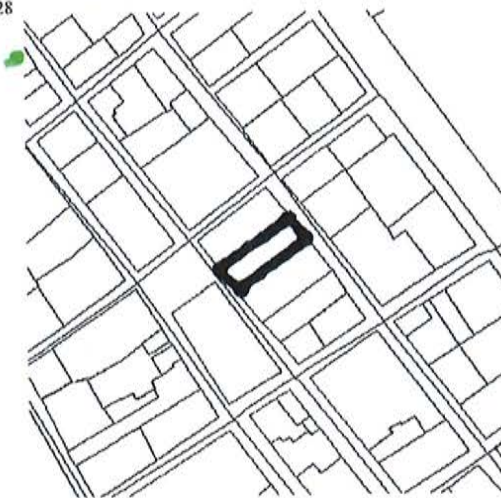
Images

- [Photo](#)
- [Sketch](#)
- [GIS](#)

Tax Year

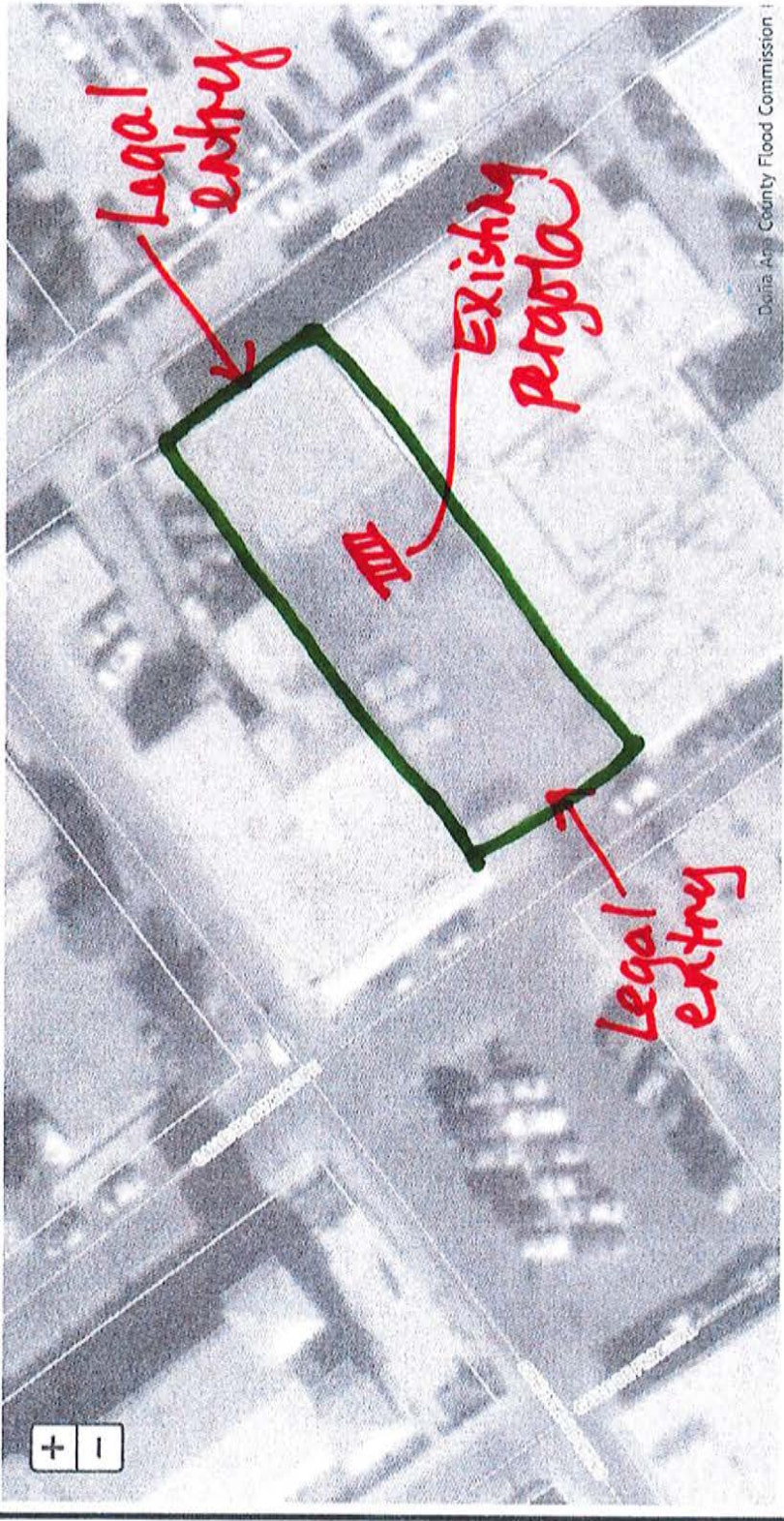
Taxes	Amount
*2022	\$839.28
2021	\$839.28

* Estimated



Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor



Doña Ana County Flood Commission

Map Legend

Map Layers

Layer Visibility:

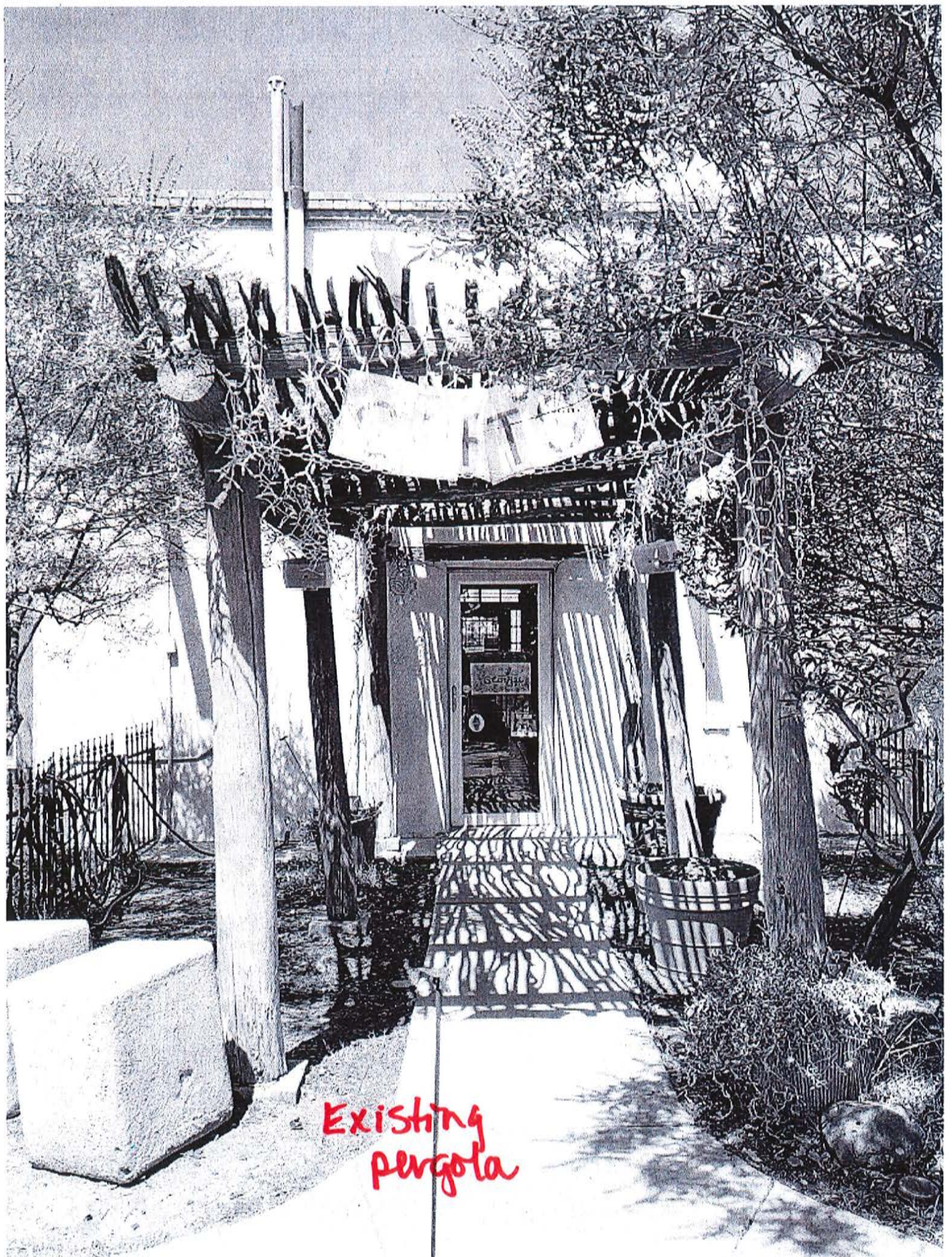
- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

Select Search Type:
Account Number ▼

Enter Value:
R0400321

Search

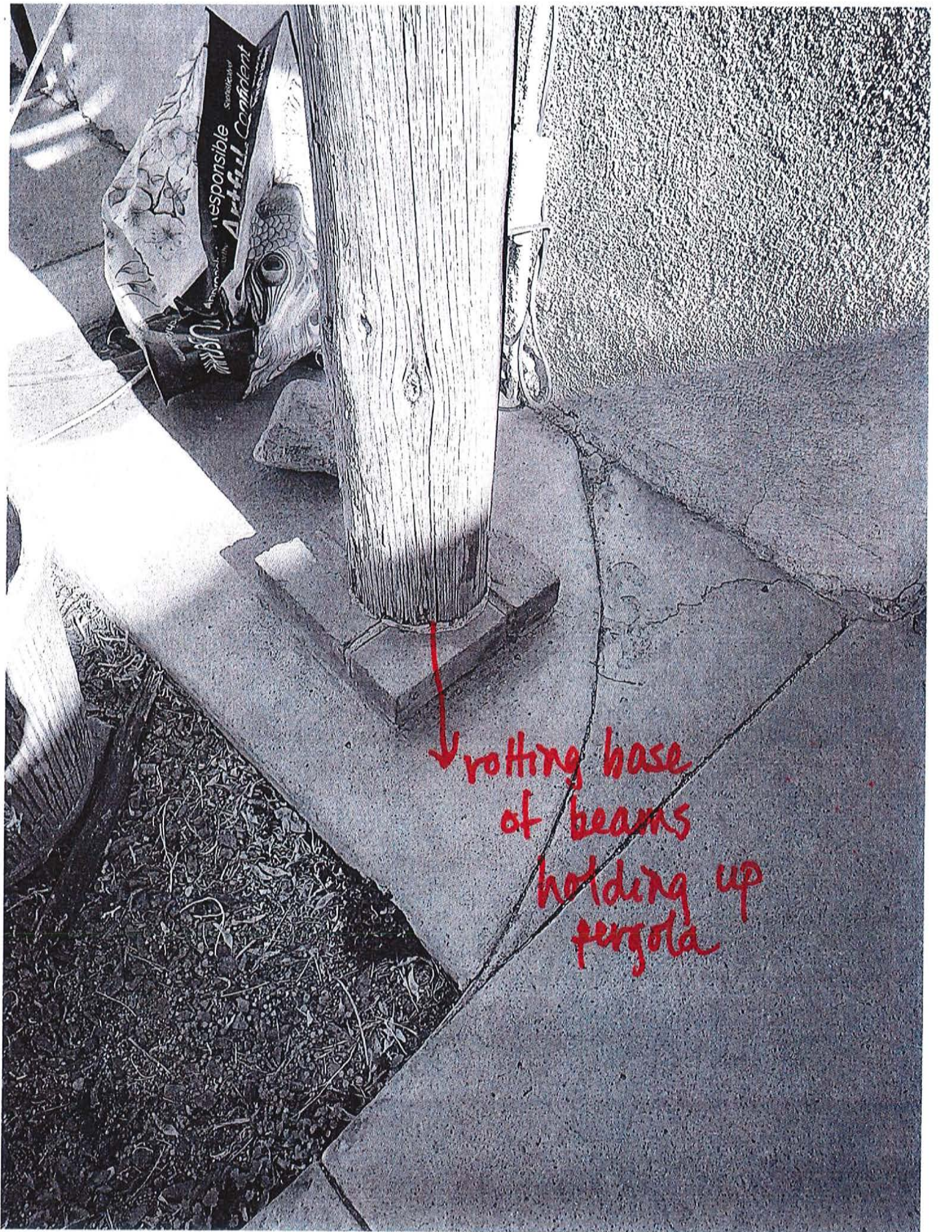
Account Number	Parcel Number	Owner	Mail Address	Subdivision	Property Address
R0400321	400613739434	BUTCHO FRIETZE LLC	PO BOX 358		2337 CALLE DE GUADALUPE



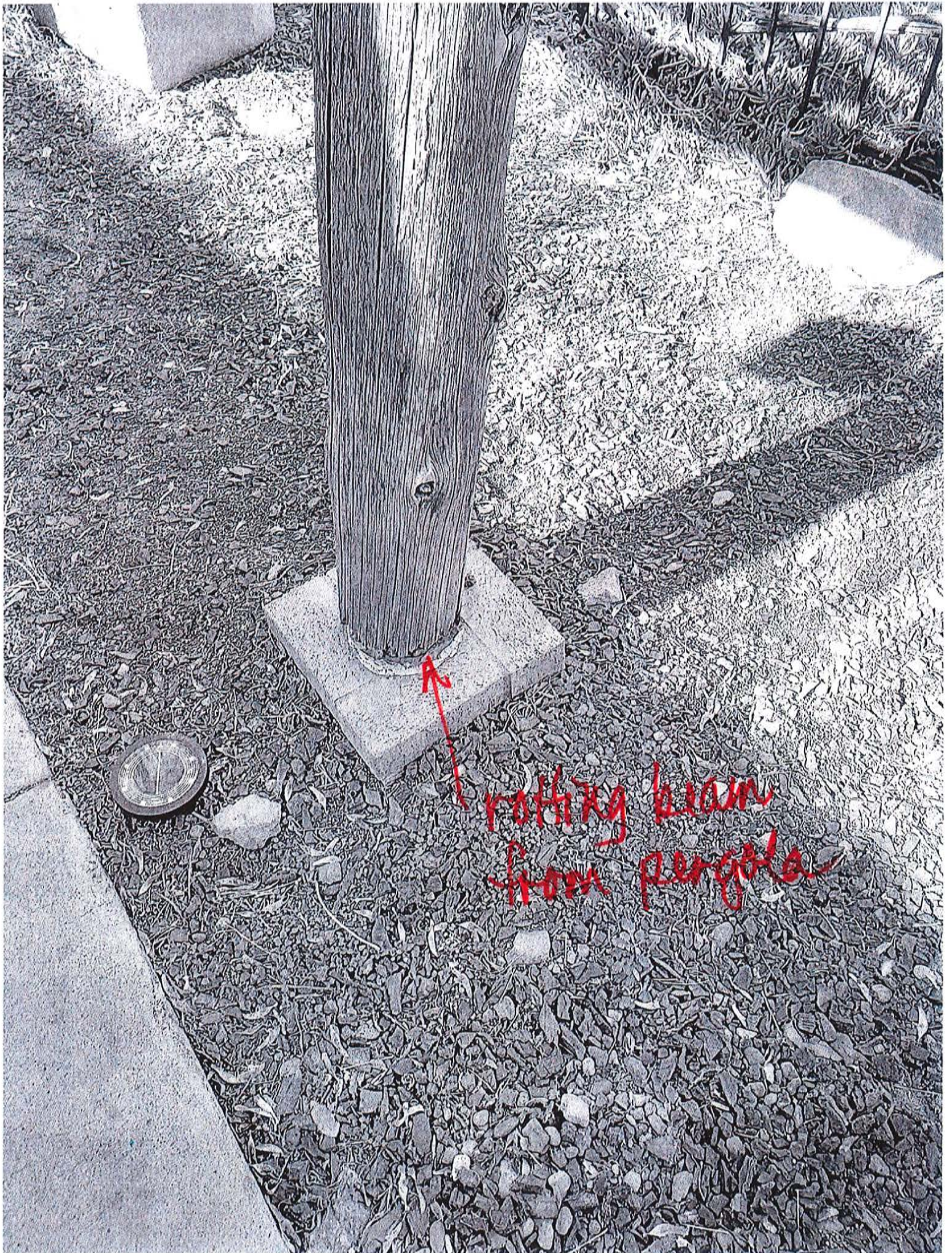
Existing
pergola



Rolled
crossbeam
on
pergola



rotting base
of beams
holding up
pergola

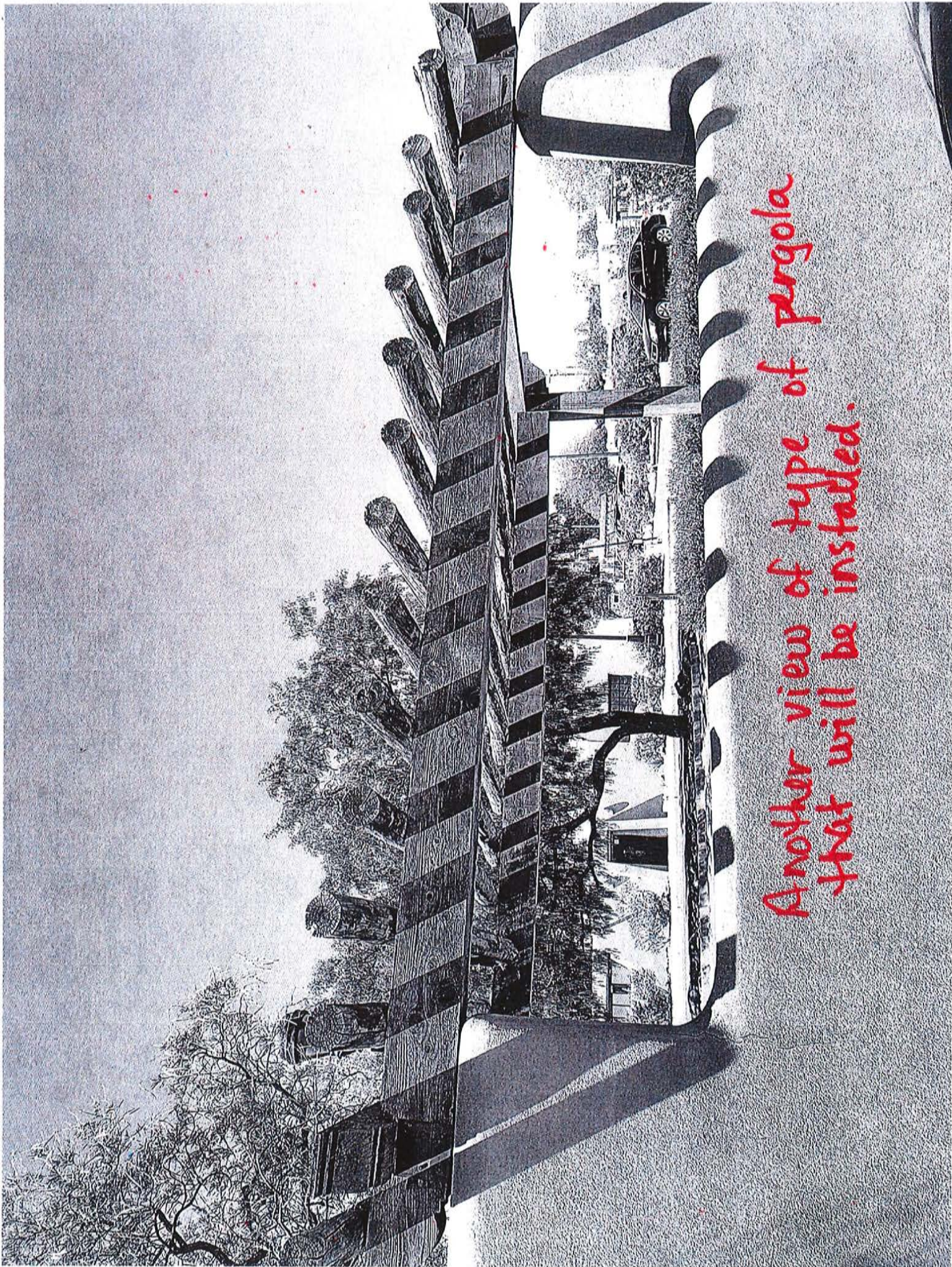


rotting beam
from pergola



Sample of type of pergola
that will be installed.

We will use 4x4 wood square
posts for beams into ground
and crossbeams. Round 3-4"
posts will be used across top.
Wood posts 2' into ground secured with concrete.



Another view of type of pergola that will be installed.

Stetina Landscape & Design LLC

Quote

Las Cruces, NM
 tommystetina@yahoo.com
 Phone: 602 377 0136

Date June 17, 2022
 Quote # 125

Bill To:
 E&T Management, LLC (Galeria Azul)
 2337 Calle de Guadalupe
 Mesilla, NM

Prepared by: Thomas Stetina
 License # 393805
 Insured & Bonded

Description	AMOUNT
Remove entrance pergola and dispose of lumber (labor only)	\$ 600.00
Install similar looking entrance using 6" diameter posts and cross beams and 2.5"-4" latillas, attached to building wall for extra strength/durability and posts put into ground with concrete(material and labor included); This amount includes some additional amount for the expected lumber price increases while we wait. If the lumber is less, this savings will be passed on to customer.	\$ 1,705.00
Tax 8.3125%	\$ 191.60
TOTAL	\$2,496.60

Comments or special instructions: Price may vary depending on unforeseen obstacles or changing in material prices from quote date to job completion.

If you have any questions concerning this quote, please contact Thomas Stetina @ 602 377 0136

Tax is not included in quote but will be added to final bill.

THANK YOU FOR YOUR BUSINESS!

* Estimate is good for 2 weeks.

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 5, 2022,

BOT:

ITEM: PZHAC Case #061426 – 2738 Highway 28 (Avenida De Mesilla) Remove existing chain link fence and replace with a 6 foot wood picket fence with 5 ½ wide pickets and pressure treated 4x4 posts put 2” into ground with concrete for stability. **Zoned: Historical Residential (HR)**

BACKGROUND AND ANALYSIS: 2738 Highway 28 (Avenida De Mesilla) Remove existing chain link fence and replace with a 6 foot wood picket fence with 5 ½ wide pickets and pressure treated 4x4 posts put 2” into ground with concrete for stability.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant’s request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant’s property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA

575-524-3262

***** REPRINT RECEIPT*****

REC#: 00182382 6/27/2022 11:14 AM
OPER: UTCLK TERM: 001
REF#: 1337

TRAN: 110.0000 PERMITS/INSPECTIONS
061424 63.00CR
SANCHEZ, TERESA
2755 CALLE DE SAN ALBINO
BLD 63.00CR

TRAN: 110.0000 PERMITS/INSPECTIONS
061425 95.00CR
SANCHEZ, TERESA
2337 CALLE DE GUADALUPE
BLD 95.00CR

TRAN: 110.0000 PERMITS/INSPECTIONS
061426 118.00CR
SANCHEZ, TERESA
2738 AVENIDA DE MESILLA
BLD 118.00CR

TENDERED: 276.00 CHECK
APPLIED: 276.00-

CHANGE: 0.00

Pay Online: www.mesillanm.gov

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 118.00
 Review Fee \$ 100.00
 Total Fee \$ 188.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. De1426 ZONE: HR CODE: MI APPLICATION DATE: _____

Name of Property Owner ETUSS 2, LLC Property Owner's Telephone Number 915-313-1973 or (575-649-6916)

Property Owner's Mailing Address PO Box 358 Mesilla PARK NM 8847
 City State Zip Code

Property Owner's E-mail Address eandtmanagementllc@gmail.com

Contractor's Name & Address (If none, indicate Self) Sletina Landscape + Design

Contractor's Telephone Number 602-377-0136 Contractor's Tax ID Number 82-3352262 Contractor's License Number 393805

Address of Proposed Work: 2738 Highway 28 (Avenida de Mesilla)

Description of Proposed Work: Remove existing chain link fence and replace with 6 foot high wood picket fence with 5 1/2" wide pickets and pressure treated 4x4 posts put 2' into ground with concrete for stability.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. N/A Foundation plan with details.
4. N/A Floor plan showing rooms, their uses, and dimensions.
5. N/A Cross section of walls.
6. N/A Roof and floor framing plan.
7. Proof of legal access to the property.
8. N/A Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. N/A Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

Estimated Cost \$4,000.00 Signature of Applicant Yerena Z. Sanchez Date 6/24/22

Application Fee is due at time of submittal. **Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit.** All Building permits expire after one year from date issued.

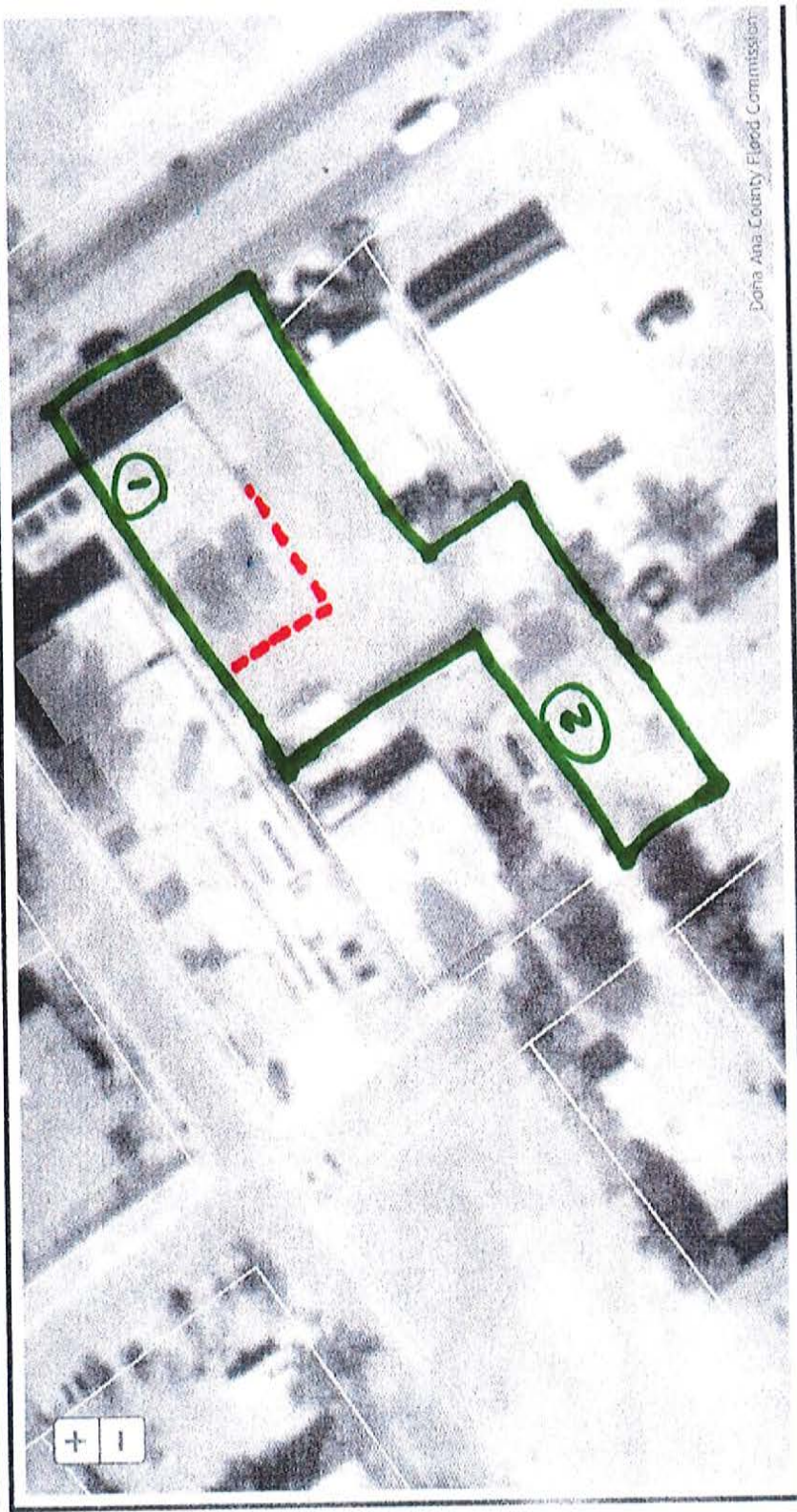
FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO
 CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____



Doña Ana County Flood Commission

Map Legend

Map Layers

Layer Visibility:

- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

Select Search Type:
 Account Number ▼

Enter Value:
 R0400393

Search

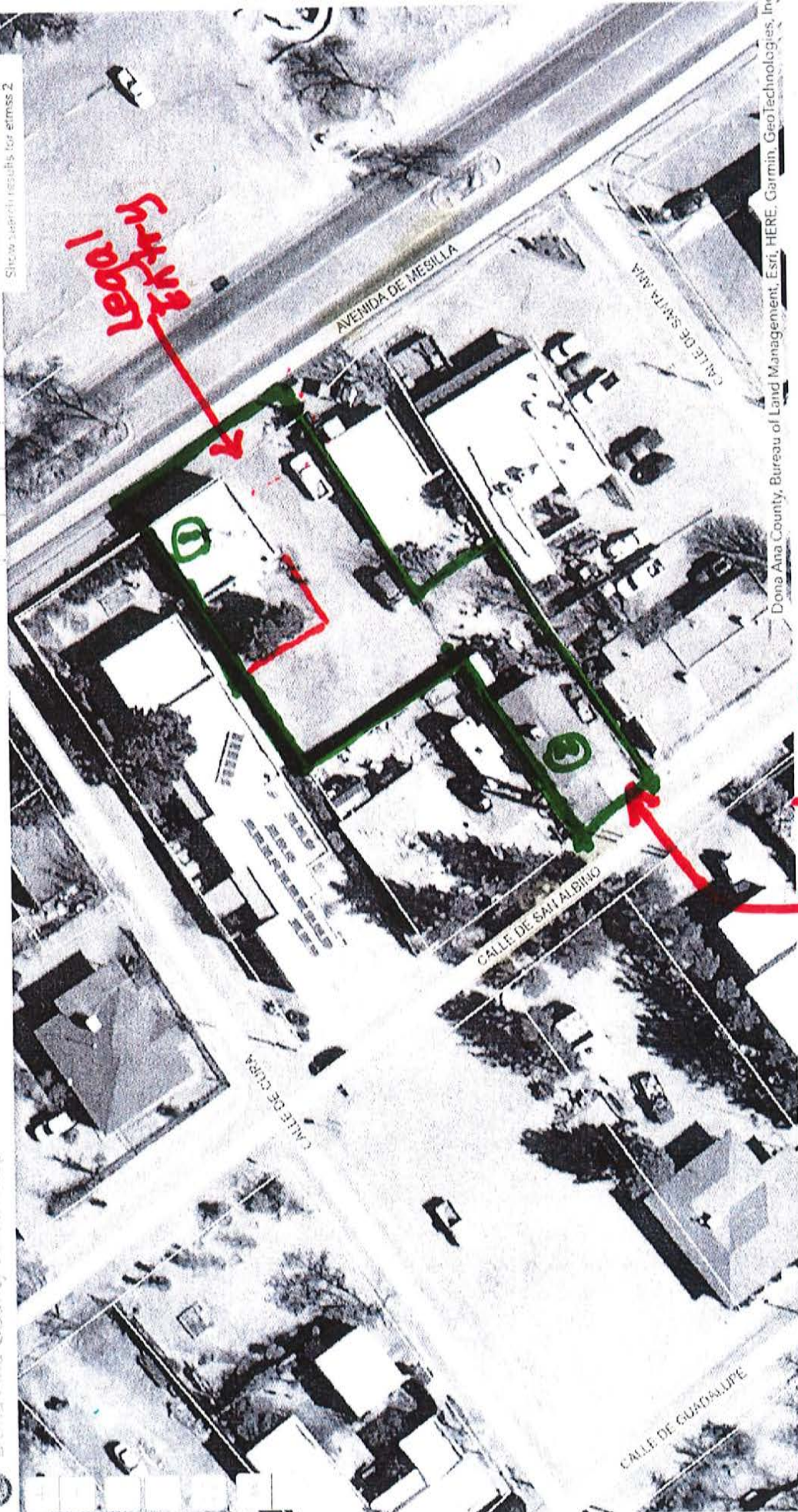
Account Number R0400393	Parcel Number 4006137329512	Owner ETMSS 2 LLC	Mail Address PO BOX 358	Subdivision	Property Address 2755 CALLE DE SAN ALBINO
-----------------------------------	--------------------------------	----------------------	----------------------------	-------------	--

This property has 2 houses and 2 addresses.

① 2738 Highway 28 (Avenida de Mesilla)

② 2755 Calle de San Albino

— Proposed new fence.



Legal Entry

Legal Entry

Existing chain link fence.

- [Account Search](#)
- [View Created Report\(s\)](#)
- [Help?](#)
- [Logout Public](#)

Proof of Ownership

Account: R0400393 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.

Location

Situs Address 2755 CALLE DE SAN ALBINO
 Deed Holder
 Tax Area 2DIN_R - 2DIN_R
 Parcel Number 4-006-137-329-512
 Legal Summary S: 25 T: 23S R: 1E BRM 11A TR 6B1
 Neighborhood S11 - MESILLA

Owner Information

Owner Name ETMSS 2 LLC
 Owner Address PO BOX 358
 MESILLA PARK , NM 88047

Assessment History

Actual (2022 - Residential Cap applied)	\$103,618
Primary Taxable	\$34,539
Tax Area: 2DIN_R Mill Levy:	
23.490000	
Type	Actual Assessed SQFT Units
Residential Land	\$35,394 \$11,798 10454.000 1.000
Residential Improvement	\$68,224 \$22,741 1674.000

Transfers

Record Sequence	Reception Number	Book Page	Sale Date	Grantor	Grantee	Doc Type	Parcel Number
7	1730025		12/12/2017	<u>SANCHEZ, ERIC L</u>	<u>ETMSS 2 LLC</u>	A3	<u>4006137329512</u>
6	1720531		08/25/2017	<u>SANCHEZ, TERESA V</u>	<u>SANCHEZ, ERIC L</u>	A3	<u>4006137329512</u>
5	1419331			<u>SANCHEZ, TERESA V ROBERTO L FRIETZE AND ELIZA F FRIETZE TRUST</u>	<u>SANCHEZ, TERESA V</u>	A3	<u>4006137132512</u>
4	1324429			<u>FRIETZE, ELIZA F ROBERTO L FRIETZE AND ELIZA F FRIETZE REVOCABLE TRUST</u>	<u>FRIETZE, ELIZA F ROBERTO L FRIETZE AND ELIZA F FRIETZE TRUST</u>	A3	<u>4006137132512</u>
3	0027406		12/08/2000	<u>FRIETZE, ROBERTO L ETUX</u>	<u>FRIETZE, ROBERTO L-TRSTE-ETAL FRIETZE, ELIZA F-TRSTE-ETAL ROBERTO & ELIZA FRIETZE TR ETAL</u>	A1	<u>4006137021459</u>
2	0027407		12/08/2000	<u>FRIETZE, ROBERTO-TRSTE-ETAL FRIETZE, TIBURCIO R-EST-ETAL</u>	<u>FRIETZE, ROBERTO L</u>	A1	<u>4006137021459</u>
1	9827712		10/28/1998	<u>FRIETZE, TIBURCIO R</u>	<u>FRIETZE, TIBURCIO R-TRSTE-ETAL TIBURCIO R FRIETZE TRUST ETAL</u>	A1	<u>4006137021459</u>

Images

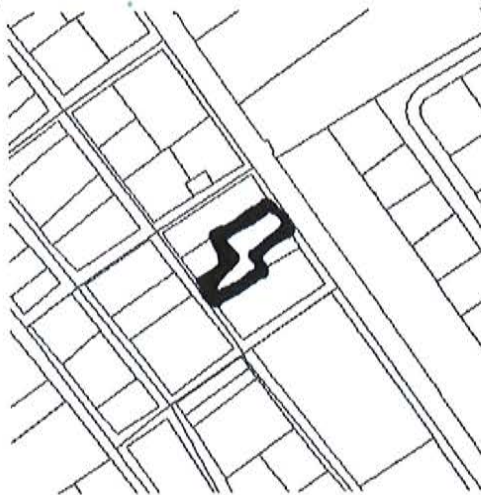
- [Photo](#)
- [Sketch](#)
- [GIS](#)

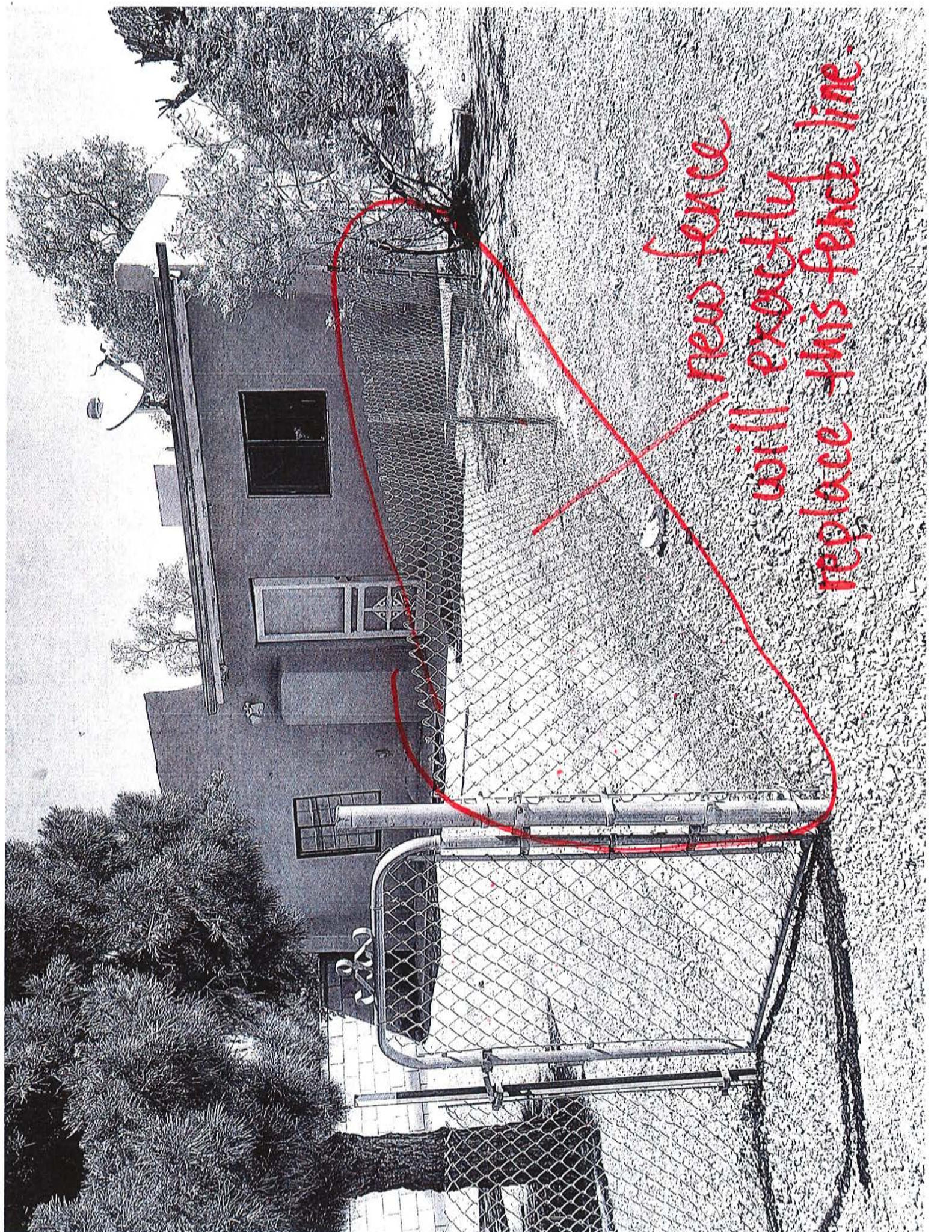
Tax Year

Taxes

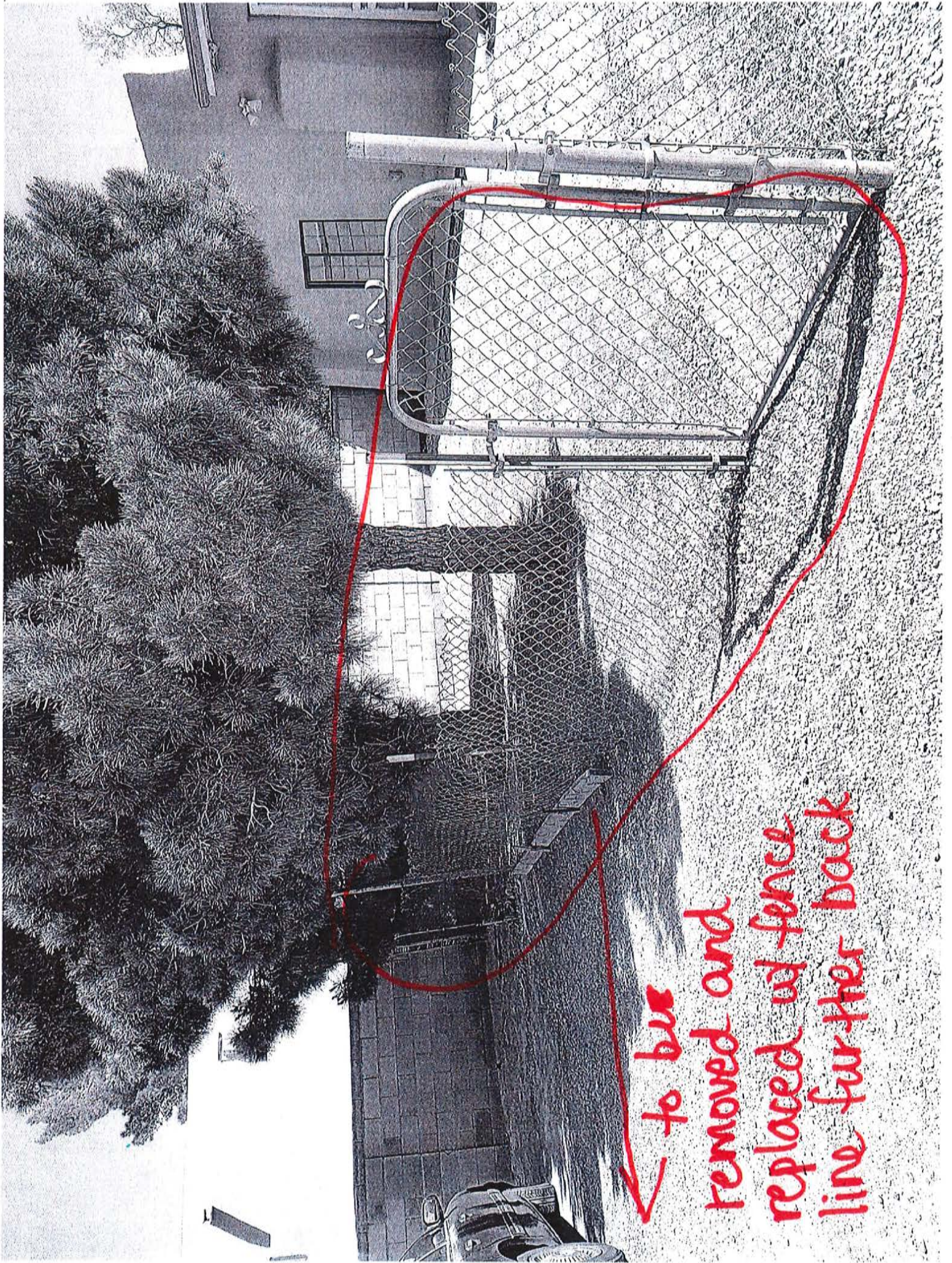
*2022	\$855.12
2021	\$830.20

* Estimated





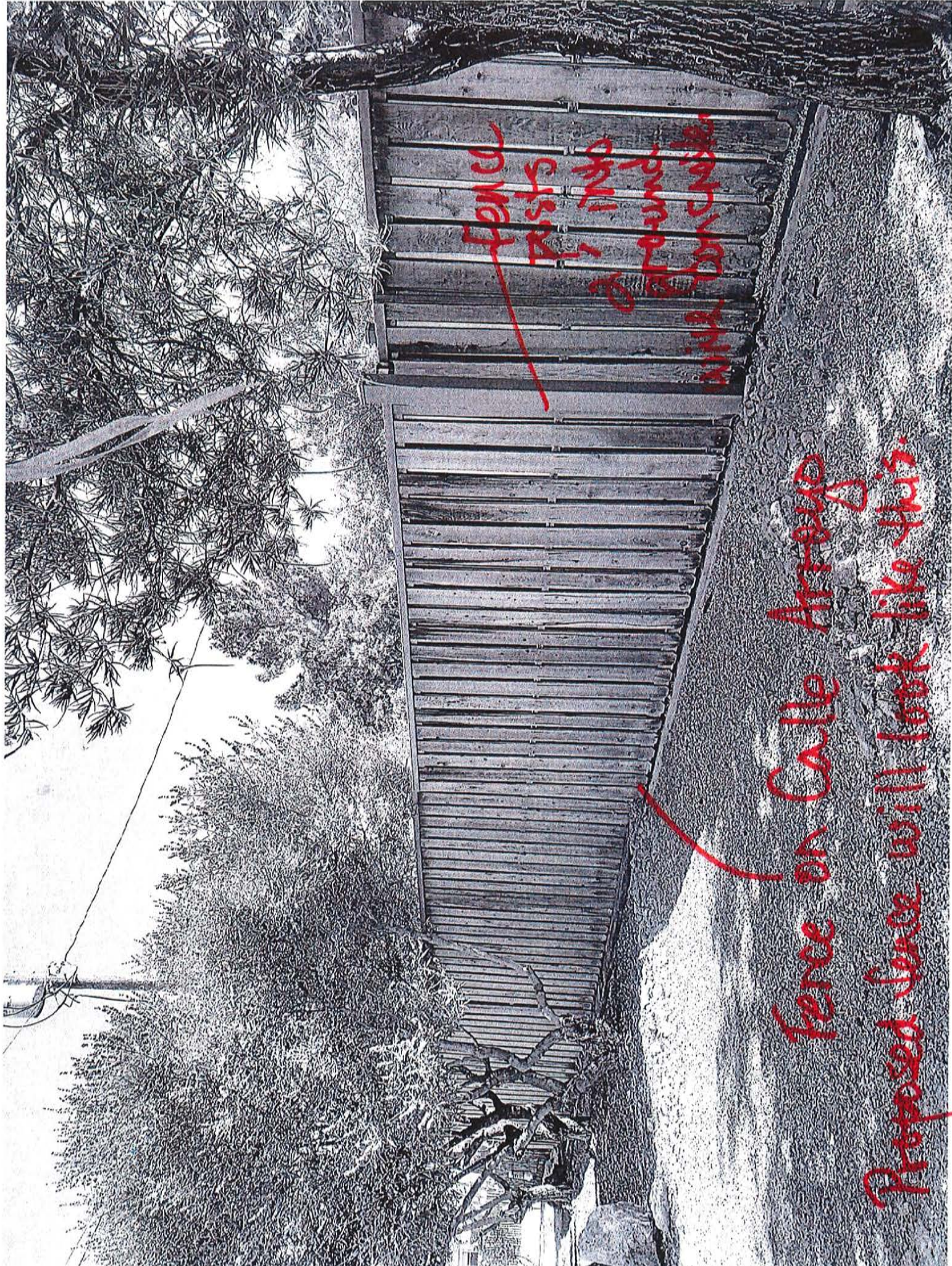
New fence
will exactly
replace this fence line.



← to bus
removed and
replaced w/ fence
line further back



new fence
will intersect here



Fence
Posts
1 1/2"
around
with 2x4s

Fence on Calle Arroyo
Proposed fence will look like this.

Stetina Landscape & Design LLC

Quote

Las Cruces, NM
 tommystetina@yahoo.com
 Phone: 602 377 0136

Date June 17, 2022
 Quote # 127

Bill To:
 E&T Management, LLC
 2738 Highway 28
 Mesilla, NM

Prepared by: Thomas Stetina
 License # 393805
 Insured & Bonded

Description	AMOUNT
Removal of chain link fence	\$ 450.00
Install 75 linear foot picket fence and seal: Includes, delivery of panels; Installing up to 11 4x4 posts with concrete and installing 10 pre fab panels and sealing both sides with 1 coat of Thompsons water seal and isntalling 1 gate made to match fence. *not including price of lumber (other material and labor included)	\$ 2,150.00
10 prefab wood picket panels pressure treated cedar with 5 1/2" wide pickets. Panels to be 8 foot long and 6 foot high. 11 4x4 posts of pressure treated wood that will be 8 foot long. Adjust-a-Gate frame kit for wood picket panel gate. This price may increase if lumber costs go up before project begins.	\$ 1,025.00
Tax 8.3125%	\$ 301.33
TOTAL	\$3,926.33

Comments or special instructions: Price may vary depending on unforeseen obstacles or changing in material prices from quote date to job completion.

If you have any questions concerning this quote, please contact Thomas Stetina @ 602 377 0136

Tax is not included in quote but will be added to final bill.

THANK YOU FOR YOUR BUSINESS!

* Estimate is good for 2 weeks.

EVERYDAY LOW PRICE
CLASS
BEARING SEC FROM THIS ISLAND
64.99
PER EA
SUNSHINE

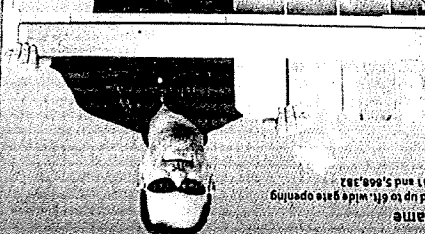


ADJUST-A-GATE™

GATE FRAME KIT

Fits 4ft. - 6ft. High x Up to 6ft. Wide

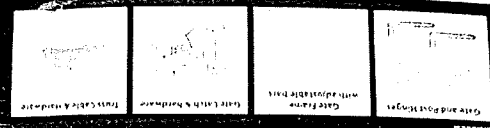
45in. high frame
4ft. - 6ft. High and up to 6ft. wide gate opening
Patent # 5,716,041 and 5,698,382



NEVER SAGS!
Patented Design

Up to 6' Wide

Works for any 4ft. - 6ft. high gate
with an opening up to 6ft. wide



- Heavy-duty steel frame
- Perfect for building new or repairing existing gates
- Unique, Patented design will never sag or drag
- Simple, step-by-step instructions
- Use 2 kits to build a double-drive gate (see kit and post separately in kit)



BOARD ACTION FORM

AGENDA DATE

PZHAC: July 5, 2022,

BOT:

ITEM: PZHAC Case #061383 – 2171 Calle de Parian, submitted by Robert Fountain, Repairs and Replacements on dwelling. **Zoned: Historical Commercial (HC)**

BACKGROUND AND ANALYSIS: Where needed: Repair and repaint Walls, Repair and replace flooring, plumbing and electrical, Repair and replace fixtures and equipment

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
575-524-3262



REC#: 00182400 6/28/2022 3:59 PM
OPER: UTCLK TERM: 001
REF#: 1194

TRAN: 110.0000 PERMITS/INSPECTIONS
061383 302.00CR
FOUNTAIN, ALBERT
2171 CALLE DE PARIAN
BLD 302.00CR

TENDERED: 302.00 CHECK
APPLIED: 302.00-

CHANGE: 0.00

Pay Online: www.mesillanm.gov

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061383

Fee \$ 302.00

*Rec'd 2600
Lump \$ 42.00*

**PERMISSION TO CONDUCT WORK
OR**

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

RECEIVED
5/14/22

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

ALBERT FOUNTAIN 575-496-1813
Name of Property Owner Property Owner's Telephone Number

PO BOX 8 MESILLA NM 88046
Property Owner's Mailing Address City State Zip Code

albie.fountain@yahoo.com
Property Owner's E-mail Address

self - subcontractors will be responsible for CID requirements
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

2171 CALLE de PARIAN
Address of Proposed Work:

where needed: repair + repaint walls
repair + replace floor covering, plumbing +
electrical repair, replace fixtures + equipment
Description of Proposed Work:

\$ 20,000 Albert Fountain 5-4-22
Estimated Cost Signature of Applicant Date

Albert Fountain
Signature of property owner:

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. N/A Roof and floor framing plan
8. Proof of legal access to the property.
9. N/A Drainage plan.
10. N/A Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

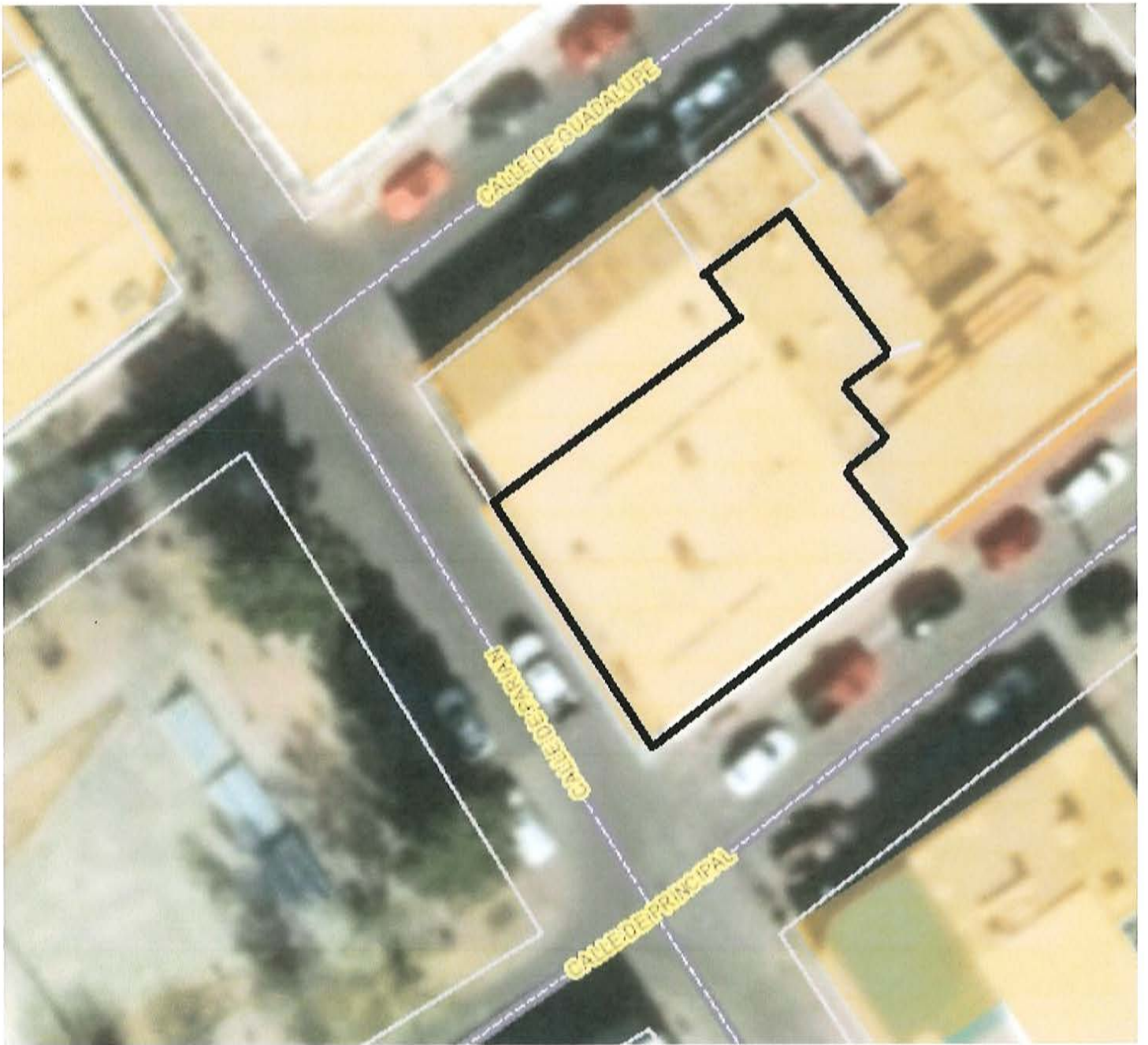
A. Completed application, including:

1. Applicant's name
2. Applicant/property owners contact information
3. Physical address of property
4. Description of work to be done, including dimensions of any construction or repairs
5. Value of work to be done
6. Property owner's signature on the application

B. Include all information required in the checklist at the bottom of the application.

C. Additional information required:





Location

Situs Address 2171 CALLE DE PARIAN
Deed Holder
Tax Area 2DIN_NR - 2DIN_NR
Parcel Number 4-006-137-240-464
Legal Summary S: 25 T: 23S R: 1E PT OF USRS TR 11A-66-69

Neighborhood S11 - MESILLA

Owner Information

Owner Name FOUNTAIN ALBERT J III
Owner Address PO BOX 8
MESILLA, NM 88046

Transfers

Record Sequence	Reception Number	Book Page	Sale Date	Grantor
<u>3</u>	<u>0028265</u>		<u>12/20/2000</u>	<u>FOUNTAIN,ALBERT J III-PR-ETAL JOHNSON, BARBARA A-PR-ETAL FOUNTAIN,ARTHUR J-EST-ETAL</u>
<u>2</u>	<u>934469</u>		<u>02/23/1993</u>	<u>FOUNTAIN,ARTHUR-PR-ETAL FOUNTAIN, CELIA P-EST-ETAL</u>
<u>1</u>	<u>BK 138 PG 473</u>			

Tax Year	Taxes
*2022	\$1,164.56
2021	\$1,164.56

* Estimated

[Photo](#)

[Sketch](#)

[GIS](#)



Im



OFFICE OF THE DONA ANA COUNTY ASSESSOR

LETICIA DUARTE BENAVIDEZ, ASSESSOR

845 N. Motel Blvd. • Las Cruces, NM 88007

Phone (575) 647-7400 or Toll Free 1-877-827-7200

Fax (575) 525-5538 • Website: www.donaanacounty.org

THIS IS THE ONLY NOTICE OF VALUE YOU WILL RECEIVE FOR THIS YEAR UNLESS YOU ARE THE OWNER OF REAL PROPERTY OR TAXABLE LIVESTOCK. INSTRUCTIONS ARE ON THE REVERSE SIDE. FOR ASSISTANCE, CALL (575) 647-7400, BETWEEN THE HOURS OF 8:00 AM - 5:00 PM MONDAY - FRIDAY.

THIS IS NOT A TAX BILL

Property Listed and Valued as of January 1, 2022

THIS VALUE WILL BE A FACTOR IN

DETERMINING YOUR 2022

PROPERTY TAX BILL

RETAIN THIS PORTION FOR YOUR RECORDS

Official Mailing Date
April 1, 2022

Protest Deadline
May 2, 2022

Account Number
P0001242

▲ NET TAXABLE VALUES WILL BE ALLOCATED TO GOVERNMENTAL UNITS IN SCHOOL DISTRICT

EL PATIO CANTINA INC
c/o ALBERT FOUNTAIN JR
PO BOX 8
MESILLA, NM 88046

Tax Area	Property Type	Parcel Number	Tax Year	Owner #
2DIN_NR	NON-RESIDENTIAL	4006137240464	2022	OWN725893

PROPERTY DESCRIPTION

Full Value	Taxable Value	33.33%
\$704	\$235	\$235
\$704	\$235	\$235
<p>Personal Property Current Year's Total Value Adjustments Total Adjustments Net Taxable Value</p>		

Site Address: 2171 CALLE DE PARIAN
Legal Descr: S: 25 T: 23S R: 1E

THIS DOCUMENT CONSTITUTES A PROPERTY OWNER'S NOTICE OF VALUATION AS REQUIRED UNDER SECTION 7-38-20 OF THE NEW MEXICO PROPERTY TAX CODE.

RETURN THIS PORTION TO THE ASSESSOR'S OFFICE IF APPLICABLE. SEE INSTRUCTIONS ON BACK.

TO DETACH, TEAR ALONG PERFORATION

EL PATIO CANTINA INC
c/o ALBERT FOUNTAIN JR
PO BOX 8
MESILLA, NM 88046

Account Number
P0001242

FOR MAILING ADDRESS CHANGE COMPLETE THE FOLLOWING BELOW, SIGN AND RETURN TO ASSESSOR - A COPY OF YOUR PHOTO ID IS REQUIRED

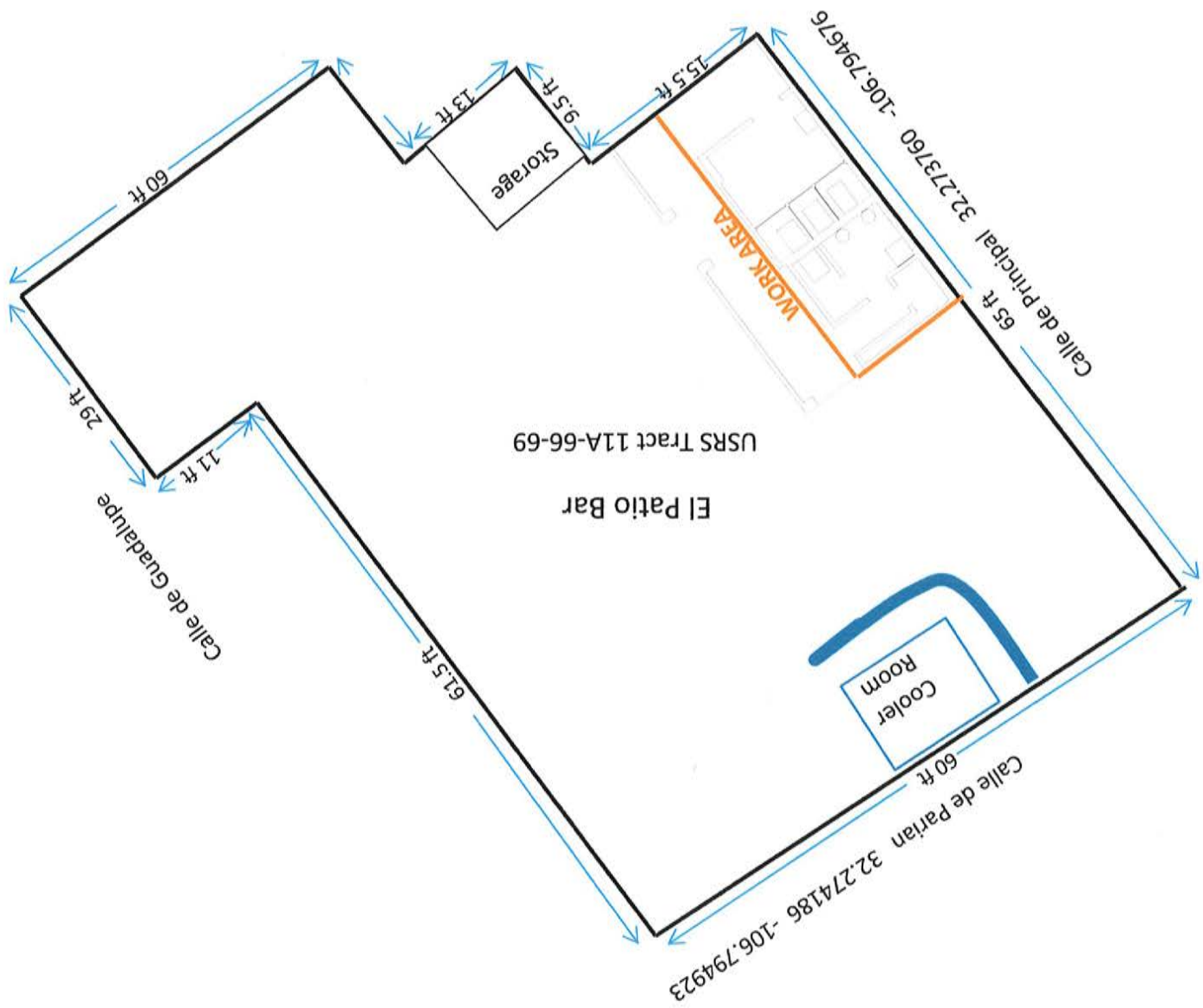
Name _____
Mailing Address _____
City _____ State _____ Zip Code _____
Home Telephone _____
Work Telephone _____
Signature of Owner or Owner's Authorized Agent _____ X
DATE 11/11/11 CSB

TOWN OF MESILLA
 P.O. BOX 10
 MESILLA, NM 88046
 RETURN POSTAGE GUARANTEED
 ACCT. NO. 01-0810-00
 FOR BILLING INFO CALL 524-8244
 FOR WATER OR SEWER EMERGENCY CALL (575) 650-8830

READING	CONSUMPTION	METER READING IN 1000 GALLONS	PER MCF
CURRENT	126	11	
PREVIOUS	115	13	

DATE	SERVICE	AMOUNT
03/18/22	WATER	54.48
03/18/22	SEWER	47.02
03/18/22	WTR ACQ CO	0.66
03/18/22	WTR MGT CO	0.55
03/18/22	TRASH	141.86
03/18/22	TAX	12.16

AMOUNT DUE 256.73
 TOWN HALL PHONE NUMBER 575-524.3262
 UPDATE YOUR INFORMATION
 2171 PARIAN
 DUE DATE: 04/15/2022



USRS Tract 11A-66-69
El Patio Bar

Cooler Room

WORK AREA

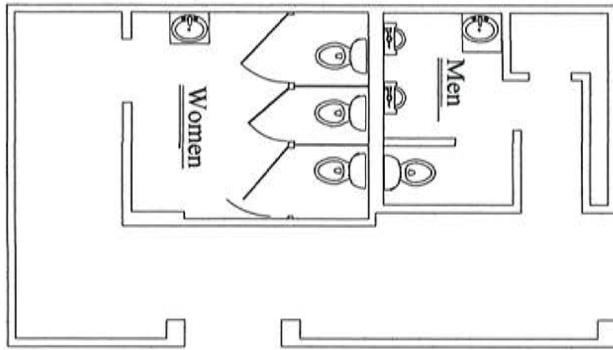
Storage

Calle de Guadalupe

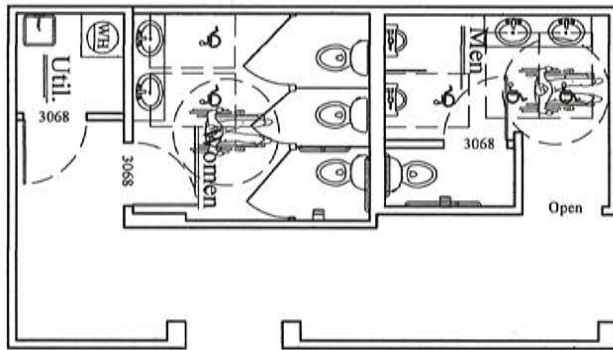
Calle de Parían 32,274,186 -106,794,923

Calle de Principal 32,273,760 -106,794,676

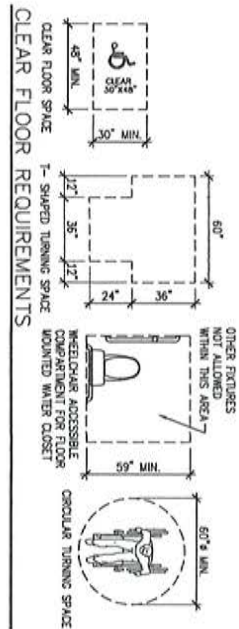
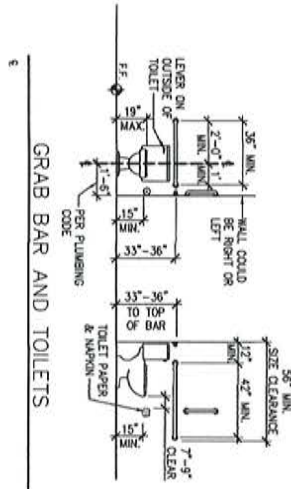
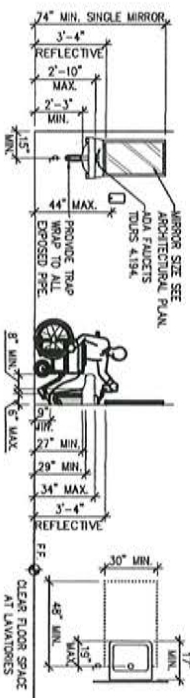
CONSTRUCTION DRAWINGS FOR THE
 MODIFICATION OF THE EXISTING MEN'S
 AND WOMEN'S RESTROOMS IN EL PATIO
 BAR, IN MESILLA NEW MEXICO



EXISTING RESTROOM FLOOR PLAN
 SCALE: 1/4" = 1'-0"



PROPOSED RESTROOM FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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 Las Vegas, NV 89102
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