



THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION
(PZHAC) WILL HOLD A **SPECIAL MEETING** AT THE MESILLA TOWN HALL, 2231
AVENIDA DE MESILLA. FRIDAY,
JULY 8, 2022, AT 10:00 A.M
AGENDA

1. PLEDGE OF ALLEGIANCE

2. ROLL CALL AND DETERMINATION OF A QUORUM

3. CHANGES / APPROVAL OF AGENDA

4. PUBLIC INPUT

The public is invited to address the commission for up to 3 minutes. You can also email your comments to joep@mesillanm.gov at least twenty-four (24) hours prior to the meeting.

5. APPROVAL OF CONSENT AGENDA

Note: Items on the Consent Agenda, indicated by an asterisk (), will be voted on with one motion unless a commissioner requests that a specific item be removed for discussion.*

- a. *PZHAC MINUTES: June 21, 2022, Regular Minutes
- b. *PZHAC MINUTES: July 5, 2022, Regular Minutes
- c. *PZACH Case #061384 - ADMINISTRATIVE APPROVAL – 2260 Calle De Santiago submitted by Bill and Janice Cook to install rooftop solar system not visible from the street and AC combine panel and data monitoring unit, production meter and customer generation fusible AC disconnect. To add one more panel to the project **Zone: Historical Residential (HR)**
- d. *PZACH Case #061424 – ADMINISTRATIVE APPROVAL – 2755 Calle de San Albino, Submitted by ETMSS 2 LLC, To repair a section of roof that was torn off in recent storm, Replacing Decking and shingles on small shed. **Zone: Historical Residential (HR)**

6. NEW BUSINESS

- a. **PZHAC Case #061376**– Pappas Williamson seeking for a summary subdivision a Replat of U.S.R.S Tract 11A-199 & 11A – 198A within the Town of Mesilla, Dona Ana County, N.M. in section 25, T.23S R.1E of U.S.R.S. Surveys (2532 Calle De Norte), **Zoned: Historical Residential (HR)**.
- b. **PZHAC Case #061423** – 429 Bason Dr. Submitted by William Claude Wescott, Solar Installation of 23 Solar Panels on rooftop. **Zoned: Residential (R1)**.
- c. **PZHAC Case #061425** - 2337 Calle De Guadalupe Submitted by Butcho Fietze LLC: To Tear down Existing pergola and replace with new pergola structure using posts in ground with cement. **Zoned: Historical Commercial (HC)**
- d. **PZHAC Case #061426** – 2738 Highway 28 (Avenida De Mesilla) Remove existing chain link fence and replace with a 6 foot wood picket fence with 5 ½ wide pickets and pressure treated 4x4 posts put 2” into ground with concrete for stability. **Zoned: Historical Residential (HR)**
- e. **PZHAC Case #061383** – 2171 Calle de Parian, submitted by Robert Fountain, Repairs and Replacements on dwelling. **Zoned: Historical Commercial (HC)**

7. COMMISSIONERS / STAFF COMMENTS

8. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 7/6/2022 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristraman - 2531 Avenida de Mesilla, and the U.S. Post Office - 2253 Calle de Parian.



Town of Mesilla, New Mexico

**THE PLANNING, ZONING AND
HISTORICAL APPROPRIATENESS COMMISSION (PZHAC)
THURSDAY, June 21, 2022, 2:30 PM**

MINUTES

1. PLEDGE OF ALLEGIANCE

Chair Lucero led the Pledge of Allegiance.

2. ROLL CALL AND DETERMINATION OF QUORUM

Commissioner Nevarez not present; Jones, Walkinshaw, and Lucero present. Mayor Baraza declared a quorum.

3. CHANGES/APPROVAL OF THE AGENDA

Motion to approve agenda was made by Commissioner Jones and seconded by Commissioner Walkinshaw.

Roll Call Vote:

Commissioner Jones - Yes
Commissioner Walkinshaw - Yes
Commissioner Lucero - Yes
Commissioner Salas- Yes
Commissioner Nevarez- Absent

Motioned passed

4. PUBLIC INPUT

Susan Kreuger: There is an ongoing plan that shows a plan for the cannabis establishment has a guest house although it is identified as a dwelling. She believes another family added this an accessory to a single-family home and cannot be rented or used as a business. The other item has to do with the cannabis control commission and the demonstration of a water right. The state engineer's office has a form they will send to the cannabis control commission to determine whether the two water rights that this particular property has identified are in fact legal for watering cannabis. One of the water rights shows as a right for multiple domestic use and the second water right they presented has a tie to the Elephant Butte irrigation district which falls as a federally funded drop down and because the federal government doesn't recognize the legality of cannabis it can't be used for that.

52 **5. APPROVAL OF CONSENT AGENDA**

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- a. **PZHAC MINUTES: June 9, 2022, Regular Minutes**
- b. **PZACH Case #061388 – ADMINISTRATIVE APPROVAL** – 2134 Calle de Principal submitted by Eric Walkinshaw to construct shallow drain ditch to water retention swale, re-gravel the parking lot and refresh woodchips in landscaping. **Zoned: Historical Residential (HR)**

Motion to approve the Consent Agenda was made by Commissioner Jones and seconded by Commissioner Salas

Roll Call Vote:

- Commissioner Jones - Yes
- Commissioner Walkinshaw – administratively approved
- Commissioner Lucero - Yes
- Commissioner Salas – Yes
- Commissioner Nevarez – Absent

Motioned passed

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71 **6. NEW BUSINESS**

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- a. **PZHAC CASE #061419** – 1395 Snow Road, submitted Oscar Luevano to remove and replace barn siding. Color to match existing dwelling. **Zoned: Rural Farm (RF)**

Motion to approve was presented by Commissioner Walkinshaw and seconded by Commissioner Salas.

Staff presented facts of the case.

Roll Call Vote:

- Commissioner Jones – Yes
- Commissioner Walkinshaw - Yes
- Commissioner Lucero - Yes
- Commissioner Salas – Yes
- Commissioner Nevarez – Absent

Motioned passed

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- b. **PZHAC CASE #061420** – 1395 Snow Road submitted by Oscar Leuvano. Erect perimeter fencing with fencing within for added security purposes. **Zoned: Rural Farm (RF)**

Motion to approve was presented by Commissioner Salas and seconded by Commissioner Walkinshaw.

Staff presented facts of the case. Discussion followed.

Roll Call Vote:

- Commissioner Jones – Yes
- Commissioner Walkinshaw - Yes
- Commissioner Lucero – Yes with condition
- Commissioner Salas – Yes with condition

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103 Commissioner Nevarez – Absent

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105 **Motion passed**

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107 **7. COMMISSIONERS/STAFF COMMENTS**

108 Mr. Padilla wanted to express an apology to Mr. Maese for the last meeting as there was a lot of
109 system malfunction and he didn't have access to email. Everyone was called on the list however,
110 Mr. Maese was not on the list but has now been added.

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112 Request from Commissioner Lucero asked that the ordinance code be included in the packet to
113 know where comments are being cited from.

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115 Consultant Tom Maese reported that there was a case approved for a rock wall during the last
116 meeting or the meeting before. During inspections, there is an additional slab on that property that
117 appears to be used for an additional type of storage. He will be providing his findings. Also,
118 south of here where Mr. Alexander has his business, they have put up a big tent and does not
119 know the purpose for it

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121 Consultant Tom Maese said that Commissioner Walkinshaw is referring to the Nevarez property
122 north of town and they have been given approval, both by the town of Mesilla and the state to
123 allow them to put up the firework tent on the slab of concrete, but they followed proper
124 procedure. The one for Mr. Alexander has not been addressed at all.

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126 Commissioner Lucero advised that Mr. Padilla will need to inform the fire marshal's and codes to
127 address the issue.

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129 **8. ADJOURNMENT**

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131 Meeting adjourned at 2:51 p.m.

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133 **APPROVED THIS 21st DAY OF JUNE 2022.**

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Yolanda Lucero

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Chair

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143 **ATTEST:**

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Joe Padilla

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Community Development Coordinator

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 8, 2022,

BOT:

ITEM: PZACH Case #061384- ADMINISTRATIVE APPROVAL- 2260 Calle De Santiago submitted by Bill and Janice Cook to install rooftop solar system not visible from the street and AC combine panel and data monitoring unit, production meter and customer generation fusible AC disconnect. To add one more panel to the project **Zone: Historical Residential (HR)**

BACKGROUND AND ANALYSIS: 2260 Calle De Santiago submitted by Bill and Janice Cook to install rooftop solar system not visible from the street and AC combine panel and data monitoring unit, production meter and customer generation fusible AC disconnect. To add one more panel to the oroiect

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061384

Fee \$ 175.00

Fee \$ 150.00
Remainder \$ 25.00

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061384 ZONE: HR CODE: AC APPLICATION DATE: 5/6/22



Bill and Janice Cook 575-202-8794

Name of Property Owner Property Owner's Telephone Number

2260 Calle De Santiago Mesilla NM 88046

Property Owner's Mailing Address City State Zip Code

thepotteriesmesilla@gmail.com

Property Owner's E-mail Address

Organ Mountain Solar & Electric

Contractor's Name & Address (If none, indicate Self)

575-202-9268 03-401215-00-0 394801

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2260 Calle De Santiago Mesilla, NM 88046

Description of Proposed Work: Residential Rooftop Solar Installation with ZERO visibility from street.

\$ 9,430 Scott Burns 5/5/22

Estimated Cost Signature of Applicant Date

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: 6-3-22

Approved Date: 6-9-22 Disapproved Date: _____

Disapproved Date: _____ Approved with Conditions

Approved with conditions

PZHAC APPROVAL REQUIRED: YES ___ NO BOT APPROVAL REQUIRED: YES ___ NO

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

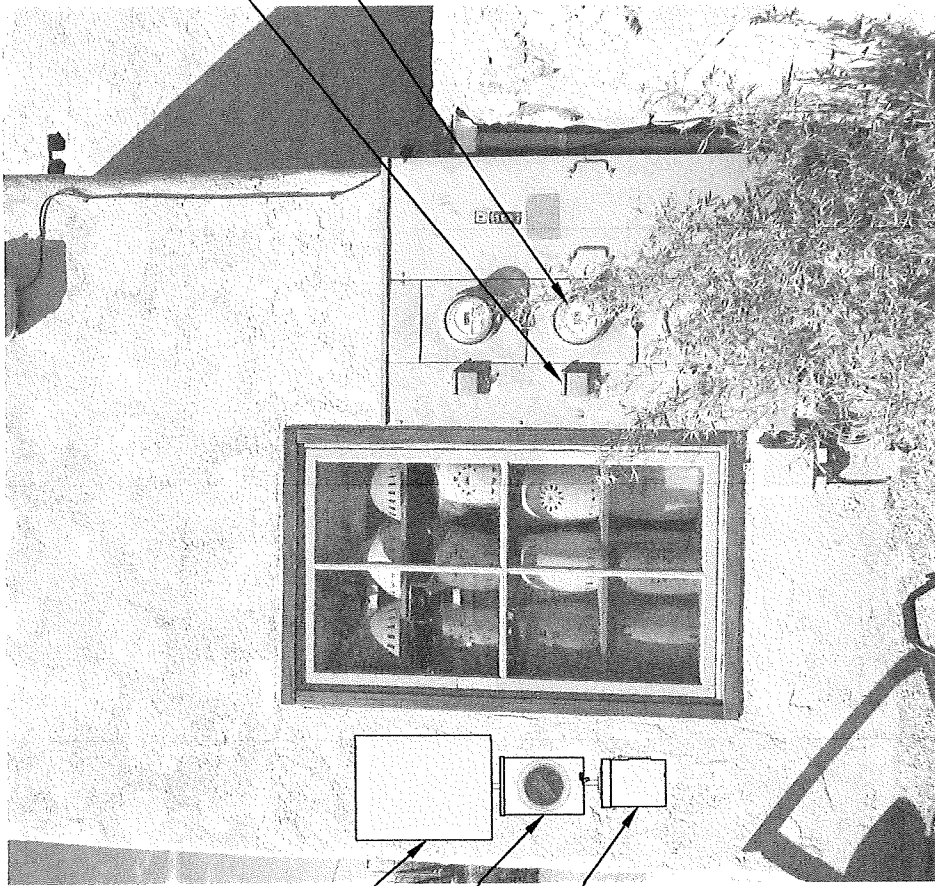
PERMISSION ISSUED / DENIED BY: [Signature] ISSUE DATE: 6-14-22

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses and dimensions.
- Cross section of walls
- Roof and floor framing plan
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the City Code or Community Development Department (See other side.)

Town of Mesilla
PLAN APPROVED
FOR COMPLIANCE WITH
TOWN ZONING CODE

By: [Signature] Date: 6-14-22



AC Combiner Panel
& Data Monitoring Unit

Production Meter

Customer Generation
Fusible AC Disconnect

Existing Main Service
Disconnect

Existing Utility Meter

Existing Service Panel
(Inside)

1 Partial Elevation

Scale: CUSTOM

REV	DESCRIPTION	DATE
0	Initial Release	5/2/22

DESIGNER: Polizois Dallis



Organ Mountain Solar
400 South Compress Road, Suite D
Las Cruces, NM 88005
(575) 288-1792

NM Electrical Contractor's License # 394801

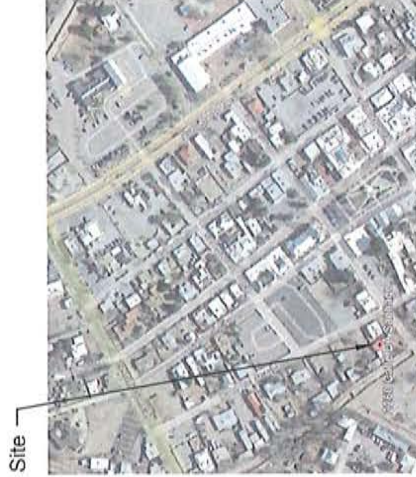
Owner

The Potteries

Utility-Interactive Photovoltaic System
System Size = 2.22 kWdc
2260 Calle de Santiago B
Mesilla, NM 88046

PV-1.2

Note:
-Special Access Instructions: None.



2
Vicinity Map
Scale: CUSTOM

- Roof Mounted Array
7 x Panasonic EverVolt Modules
with Enphase Microinverters
- Existing Utility Meter /
Main Service Disconnect (Outside)
- Customer Generation Fusible
AC Disconnect / Production Meter
AC Combiner Panel / Data Monitoring Unit
(Outside)

SHEET NOTES	
1	Exact location of equipment and conduit is subject to minor variations during installation.
2	Estimated annual energy production is based on existing site conditions and this array layout. Annual variations in weather and module degradation will affect production.
Design Approval I approve of this design showing all equipment and locations, and estimated production. Any change to this design may result in delays and additional costs.	
Approved By:	_____
Date:	_____



1
Site Plan
Scale: 3/32" = 1'-0"



Organ Mountain Solar
400 South Compress Road
Suite D
Las Cruces, NM 88005
(575) 288-1792
NM Electrical Contractor's
License # 394801

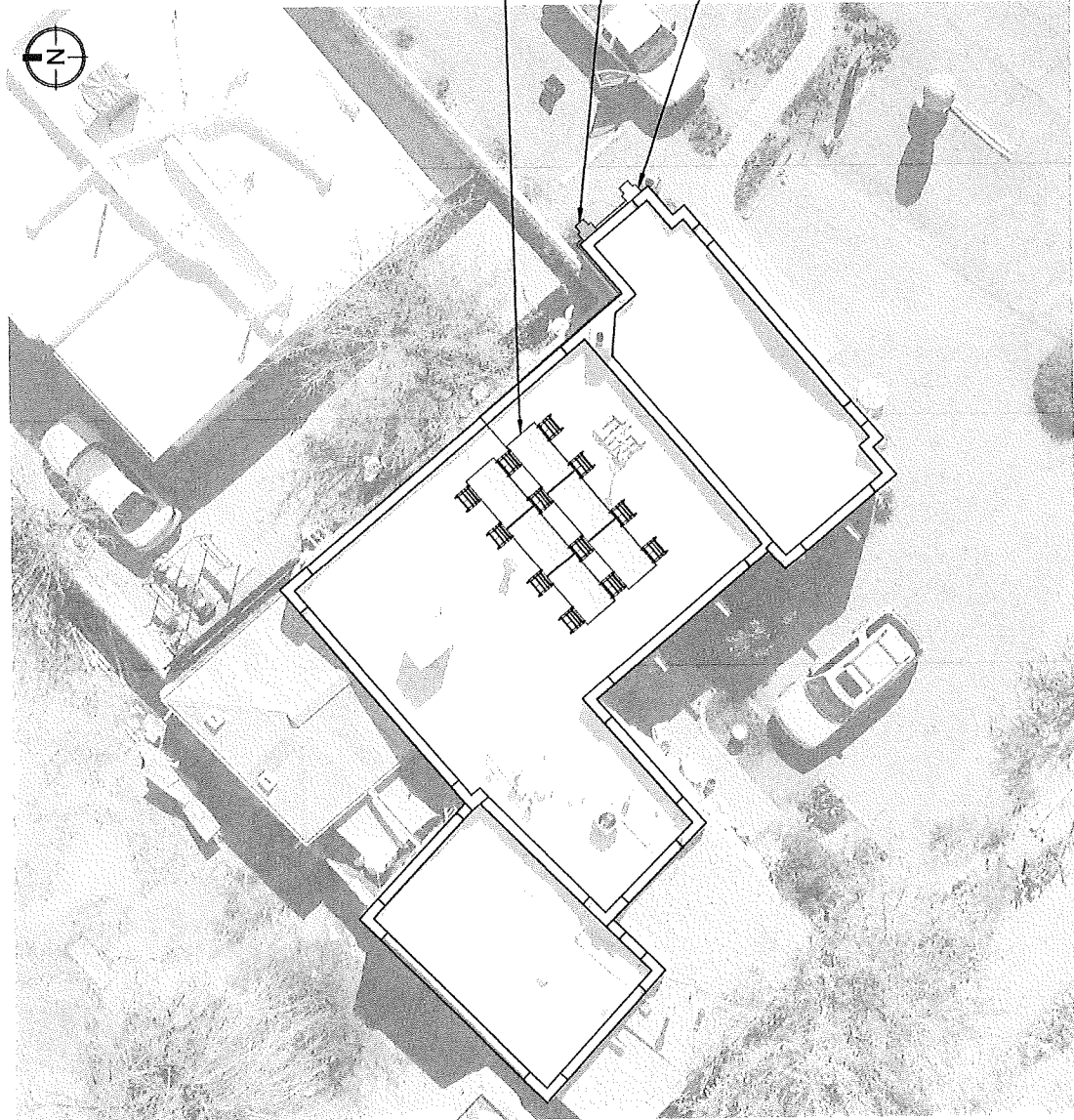
Owner
The Potteries
Utility-Interactive Photovoltaic System
System Size = 2.59 kWdc
2260 Calle de Santiago B
Mesilla, NM 88046
DESIGNER:
Polizois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	5/2/22
1	System Size Change	6/15/22

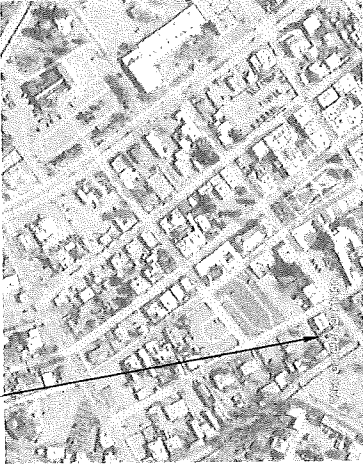
DESIGN SUMMARY	
Number of Modules	7
Module Tilt Angle	10°
Module Azimuth	140°
Average Annual Shading	3.00%
Year 1 Production Estimate	4705 kWh

SITE PLAN
PV-1.0

Note:
-Special Access Instructions: None.



1 Site Plan
Scale: 3/32" = 1'-0"



2 Vicinity Map
Scale: CUSTOM

- Roof Mounted Array
6 x Panasonic EverVolt Modules
with Enphase Microinverters
- Existing Utility Meter /
Main Service Disconnect (Outside)
- Customer Generation Fusible
AC Disconnect / Production Meter
AC Combiner Panel / Data Monitoring Unit
(Outside)

SHEET NOTES	
1	Exact location of equipment and conduit is subject to minor variations during installation.
2	Estimated annual energy production is based on existing site conditions and this array layout. Annual variations in weather and module degradation will affect production.
Design Approval	
I approve of this design showing all equipment and locations, and estimated production. Any change to this design may result in delays and additional costs.	
Approved By:	_____
Date:	_____



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(575) 288-1792
NM Electrical Contractor's
License # 394801

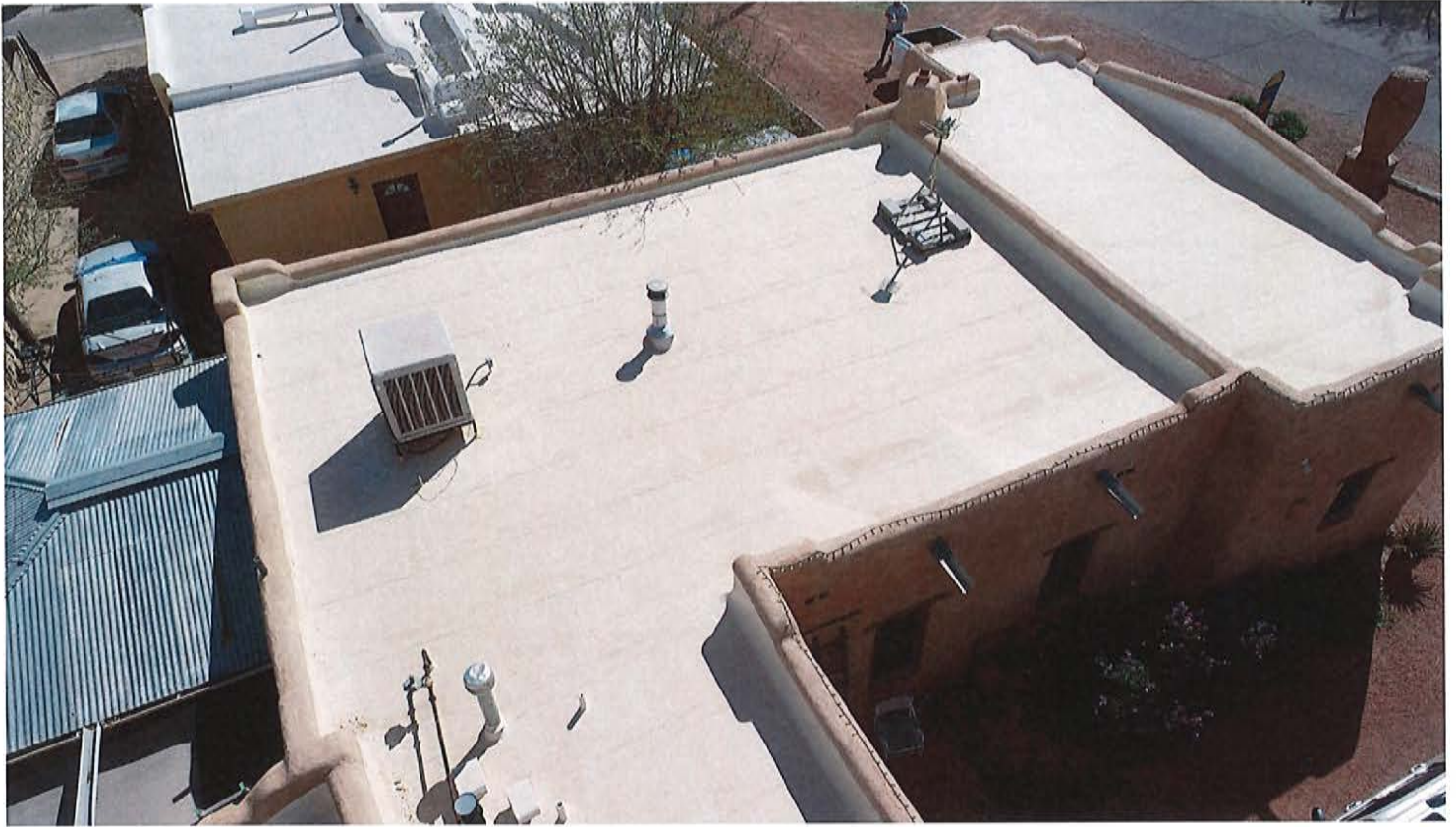
Owner
The Potteries
Utility-Interactive Photovoltaic System
System Size = 2.22 kWdc
2260 Calle de Santiago B
Mesilla, NM 88046

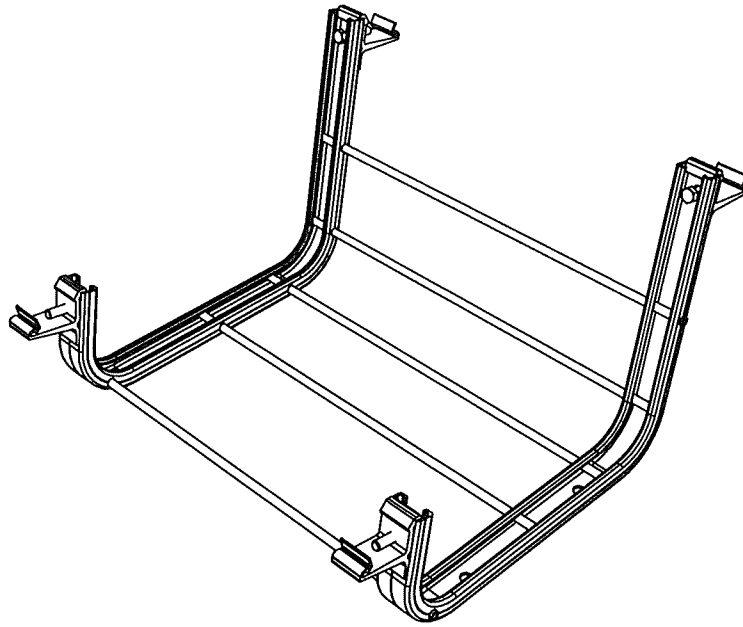
DESIGNER:
Polizois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	5/7/22

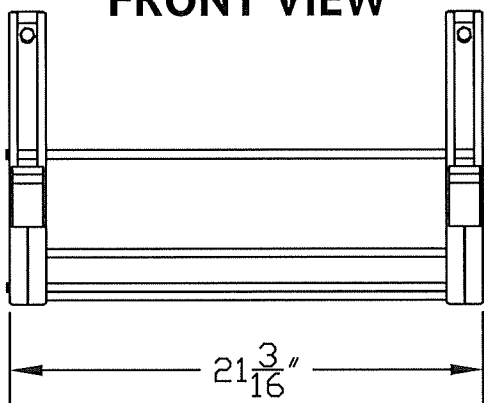
DESIGN SUMMARY	
Number of Modules	6
Module Tilt Angle	10°
Module Azimuth	140°
Average Annual Shading	3.00%
Year 1 Production Estimate	4033 kWh

SITE PLAN
PV-1.0

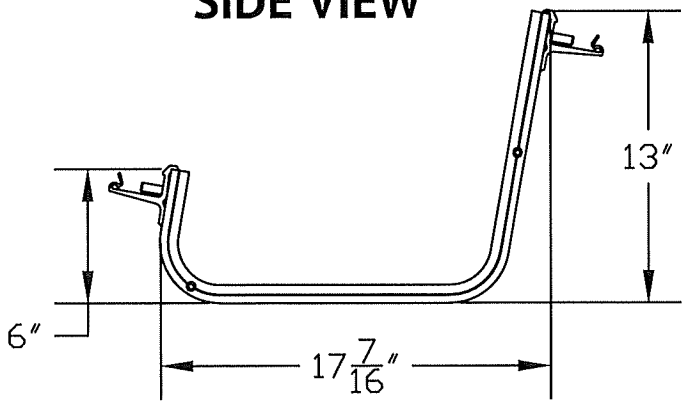




FRONT VIEW



SIDE VIEW



1411 BROADWAY BLVD NE
ALBUQUERQUE, NM 87102 USA

WWW.UNIRAC.COM

PRODUCT LINE:	RM
DRAWING TYPE:	COMPONENT ASSEMBLY
DESCRIPTION:	BAY & MODULE CLIPS
REVISION DATE:	APRIL - 2016

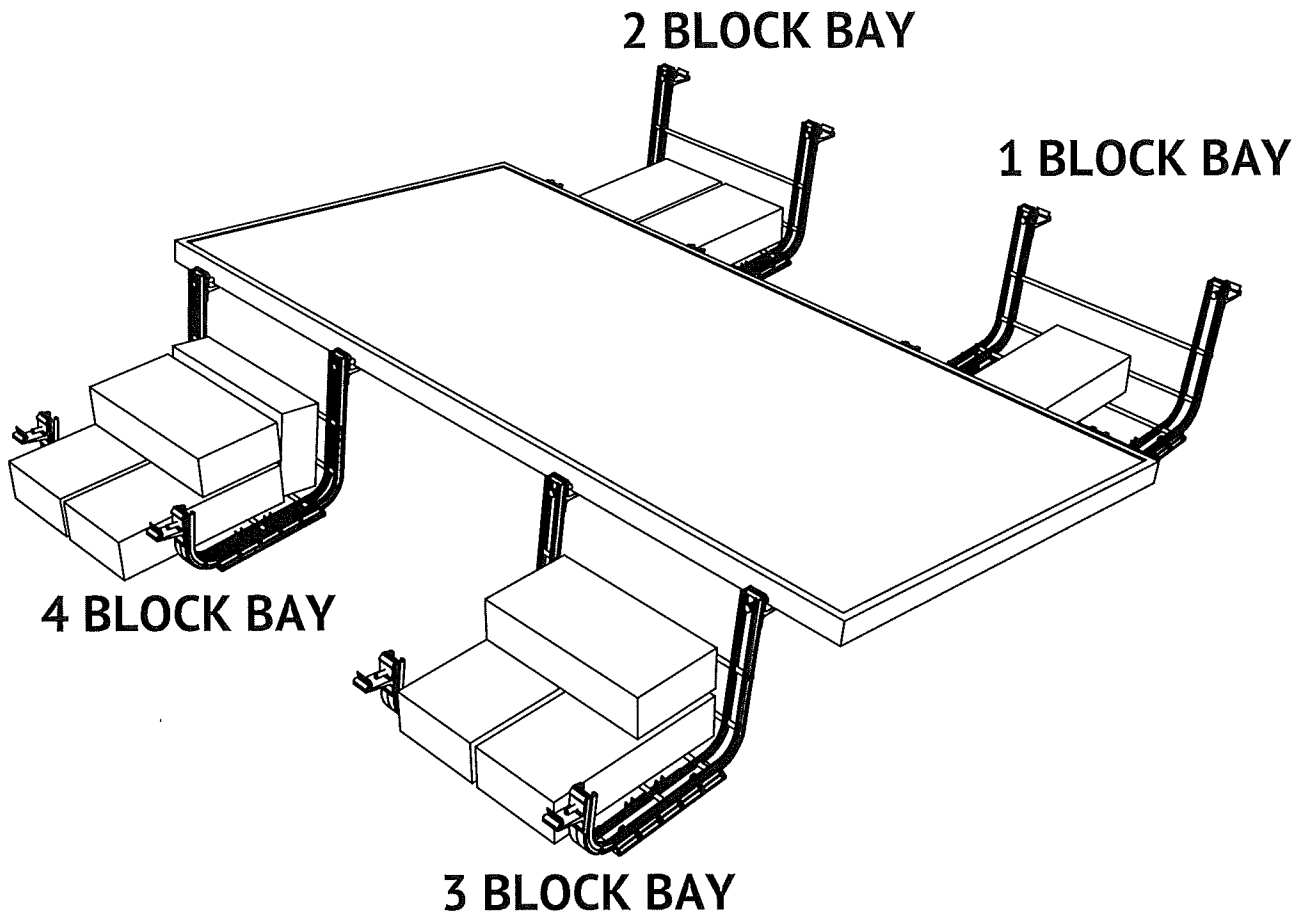
DRAWING NOT TO SCALE
ALL DIMENSIONS ARE NOMINAL

PRODUCT PROTECTED BY ONE
OR MORE US PATENTS

LEGAL NOTICE

RM-A01

SHEET



1411 BROADWAY BLVD NE
ALBUQUERQUE, NM 87102 USA

WWW.UNIRAC.COM

PRODUCT LINE:

RM

DRAWING TYPE:

ASSEMBLY

DESCRIPTION:

1-2-3-4 BLOCK RM
BAYS

REVISION DATE:

APRIL - 2016

DRAWING NOT TO SCALE
ALL DIMENSIONS ARE NOMINAL

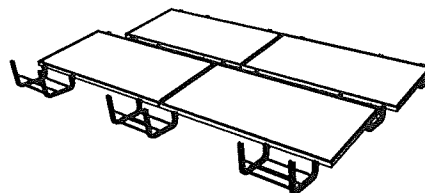
PRODUCT PROTECTED BY ONE
OR MORE US PATENTS

LEGAL NOTICE

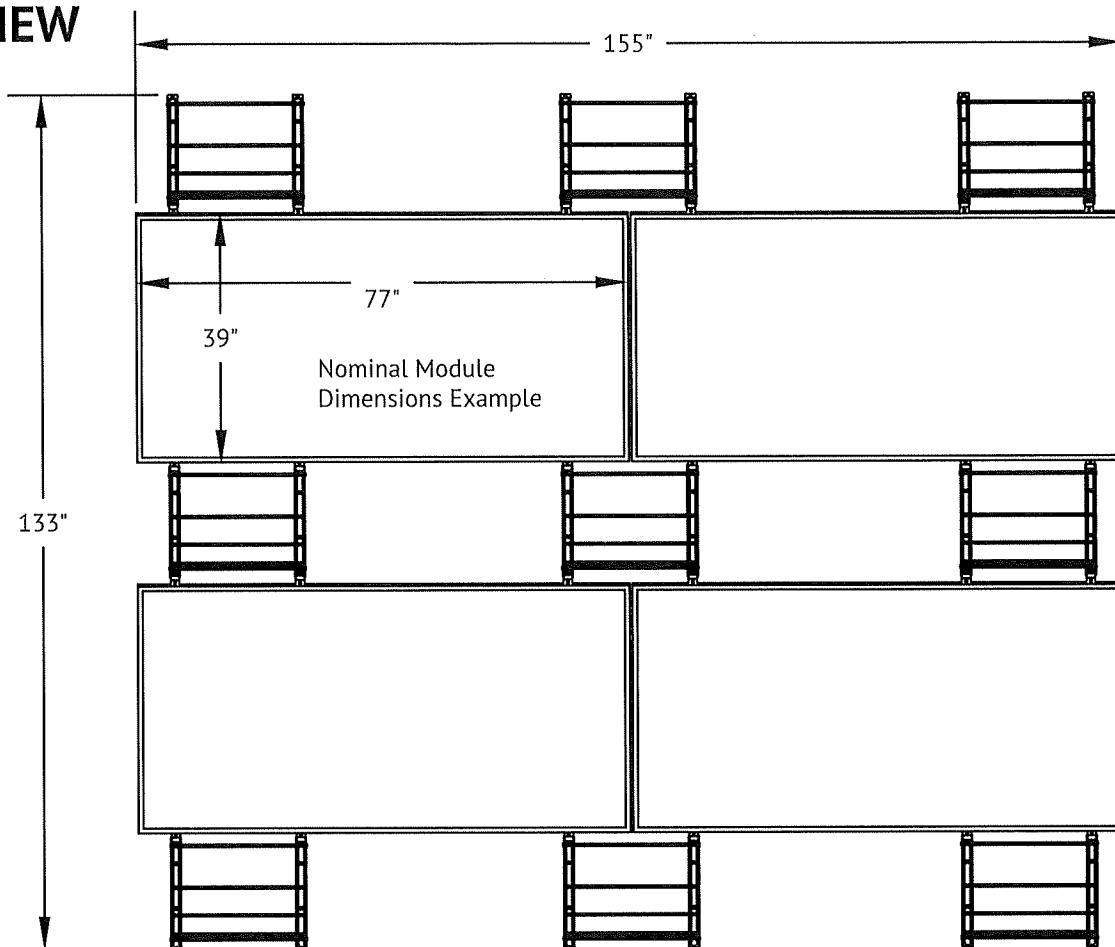
RM-A02

SHEET

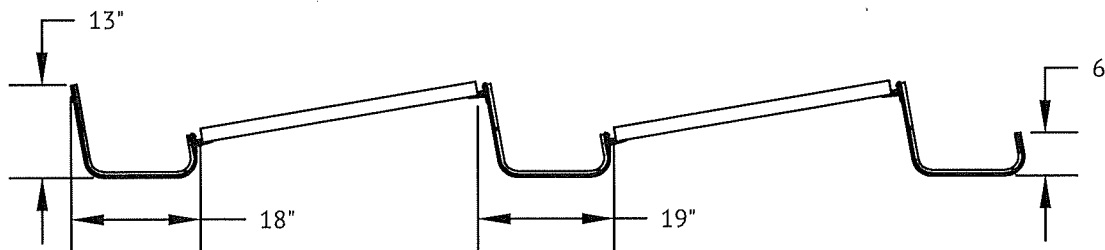
NOTE: ARRAY DIMENSIONS WILL VARY BASED ON
MODULE WIDTH, LENGTH AND RETURN FLANGE



TOP VIEW



SIDE VIEW



1411 BROADWAY BLVD NE
ALBUQUERQUE, NM 87102 USA

WWW.UNIRAC.COM

PRODUCT LINE:

RM

DRAWING TYPE:

ASSEMBLY

DESCRIPTION:

4 MODULE RM
LAYOUT

REVISION DATE:

APRIL - 2016

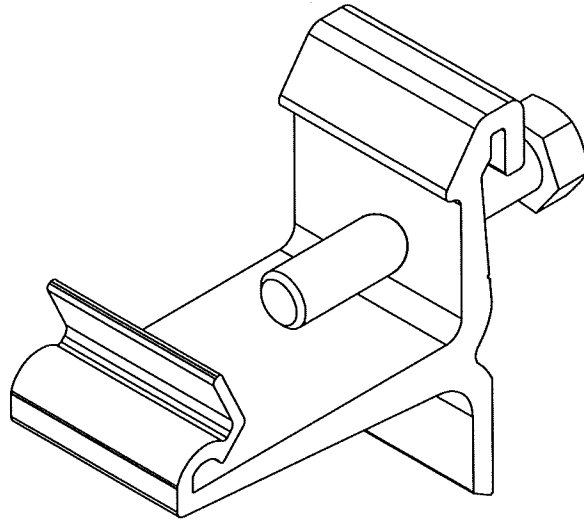
DRAWING NOT TO SCALE
ALL DIMENSIONS ARE NOMINAL

PRODUCT PROTECTED BY ONE
OR MORE US PATENTS

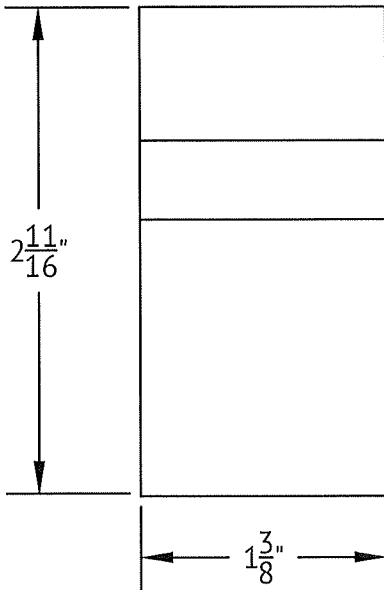
LEGAL NOTICE

RM-A03

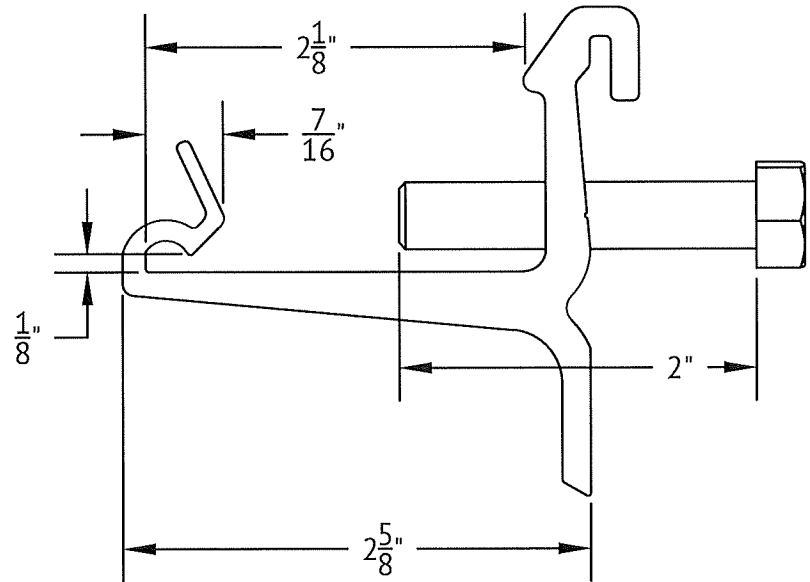
SHEET



FRONT VIEW



SIDE VIEW



1411 BROADWAY BLVD NE
ALBUQUERQUE, NM 87102 USA

WWW.UNIRAC.COM

PRODUCT LINE:	RM
DRAWING TYPE:	PART
DESCRIPTION:	RM CLIP & BOLT
REVISION DATE:	APRIL - 2016

DRAWING NOT TO SCALE
ALL DIMENSIONS ARE NOMINAL

PRODUCT PROTECTED BY ONE
OR MORE US PATENTS

LEGAL NOTICE

RM-P01

SHEET



**EL PASO ELECTRIC COMPANY
RESIDENTIAL REQUEST FOR SERVICE FORM**

Name: The Potteries Home Phone: (575) 202-8794 Work Phone: _____

Name: William D. Cook Home Phone: _____ Work Phone: _____

(Name and phone number of person to contact if other than customer.)

Service address: 2260 Calle De Santiago, Mesilla, NM, 88046

Mailing address: 2260 Calle De Santiago, Mesilla, NM, 88046 Box 64

New service classification:

- | | | |
|--------------------------------------|---|--|
| <input type="checkbox"/> Mobile Home | <input type="checkbox"/> Multiplex/Duplex | <input type="checkbox"/> Single Family (Sq. Ft.) |
| <input type="checkbox"/> Permanent | <input type="checkbox"/> Temporary | Date required: _____ |
| <input type="checkbox"/> Overhead | <input type="checkbox"/> Underground* | |

MINIMUM REQUIREMENTS FOR UNDERGROUND SERVICE WILL REQUIRE THE INSTALLATION OF A200 AMP METER CAN AND 2½" CONDUIT. FOR INFORMATION REGARDING O.H./U.G. SERVICE, CONTACT YOUR PLANNER.

THE FOLLOWING INFORMATION MUST BE MADE AVAILABLE TO YOUR EL PASO ELECTRIC COMPANY PLANNER IN ORDER TO INITIATE ENGINEERING DESIGN FOR AN ELECTRIC LINE EXTENSION:

400 S Compress Rd Suit

A) Builder: Organ Mountain Solar & Ele Mailing Add: Las Cruces, NM, 88005 Phone No. (575) 288-1792

B) Electrician: _____ Mailing Add: _____ Phone No. _____

C) Legal description:

(A plot or site plan with dimensions that include the legal description must be provided. No action will be taken by El Paso Electric Company Design Engineers until after this information has been provided. Please indicate the desired meter location. El Paso Electric Company reserves the right to designate the meter location. Please refer to the attached checklist.)

D) Electrical load information (check applicable items).

- | | | |
|--|---|--|
| <input type="checkbox"/> Refrigerator | <input type="checkbox"/> Elec. Oven | <input type="checkbox"/> Elec. Clothes Dryer |
| <input type="checkbox"/> Freezer | <input type="checkbox"/> Microwave | <input type="checkbox"/> Gas Furnace Blower |
| <input type="checkbox"/> Elec. Range | <input type="checkbox"/> Dishwasher | <input type="checkbox"/> Waterbed Heater |
| <input type="checkbox"/> Elec. Cooktop | <input type="checkbox"/> Elec. Clothes Washer | <input type="checkbox"/> Attic Fan |

Please check the following and indicate number of units and size.

- | | |
|---|----------------|
| <input type="checkbox"/> Electric Water Heater | _____ NO./SIZE |
| <input type="checkbox"/> Heat Pumps | _____ KW |
| <input type="checkbox"/> Electric Heat | _____ KW |
| <input type="checkbox"/> Evap. Cooler | _____ HP |
| <input type="checkbox"/> Refrigerated Air | _____ Tons |
| <input type="checkbox"/> Swimming Pool | _____ HP |
| <input type="checkbox"/> Jacuzzi | _____ HP |
| <input type="checkbox"/> Domestic Well | _____ HP |
| <input checked="" type="checkbox"/> Solar | _____ KW |
| <input type="checkbox"/> Other (Hand Tools, Welders, Etc.) Please indicate no. and size of equipment. | |

Conductors Per Phase _____ Main Size _____ Wire Size _____

E) A New Mexico Building Permit will be required if residence is located in Dona Ana County (525-6637).

F) THE COMPANY'S REPRESENTATIVES SHALL HAVE FREE AND EASY ACCESS AT ANY TIME TO EPE EQUIPMENT LOCATED ON THE PREMISES OF THE CUSTOMER AND RESERVE THE RIGHT TO REMOVE EPE METERS AND EQUIPMENT FOR PROPER CAUSE.

Signature: William D. Cook Date: 3.10.22



The parties to this Contract agree as follows:

1. Scope of Work. Description of the Project and Description of the Significant Materials to be Used and Equipment to be Installed:

1. Residential Roof Mount PV System

Contractor will provide materials and labor to supply and interconnect a roof mounted, grid-tied solar electric (PV) system at your premises. The "Solar PV System" has a rated capacity of 2.220 DC kW (STC) and includes the following major items:

- PV Modules: (6) Panasonic EVPV370K 370W, 120 half-cut cell monocrystalline HJT module, Black backsheet, 1000V max system Vdc
- Microinverters - grid-tie: (6) Enphase Energy IQ7PLUS-72-2-US (240V)

The Contractor shall furnish all the necessary design documents, permitting and utility interconnection agreements, and all materials, equipment, and labor to complete the defined scope of work. Commissioning & testing of the equipment will occur after the installation to ensure proper system functionality.

2. Time of Completion. The work to be performed under this contract is dependent on a variety of variables, including, but not limited to, completion of design site survey, customer design approval, financing, jurisdiction and utility permitting approval, project-related work outside the scope of work for the Contractor (e.g. roof work, electrical work, etc.)

3. Price and Payment Schedule. The Customer shall pay the Contractor for the work to be performed under this agreement in accordance with the following:

CONTRACT PRICE: \$9,430.00

Payment Method: cash

SCHEDULE OF PROGRESS PAYMENTS. Total Price will be paid according to the schedule defined below:

#	Event	Description	Portion	Amount
1	Project Closing	Engineering payment due at contract signing	\$2,000.00	\$2,000.00
2	Equipment Acquisition	Invoice sent 45 days prior to scheduled installation Date	32.21 % of Balance	\$2,715.00
3	Installation Date	Invoice sent on installation date	32.21 % of Balance	\$2,715.00
4	System Activation	Invoice sent for outstanding balance upon system activation	Balance	\$2,000.00
Contract Cost			Initial Here: <u>PK</u> <u>JC</u>	\$9,430.00

Deposit (if any) is due at time of contract signing. Payment to Contractor may be made by cash, check or wire transfer.



ATTACHMENT C: UTILITY INTERCONNECTION APPLICATION & DATA USAGE AUTHORIZATION

I/We authorize Organ Mountain Solar & Electric to submit the online interconnection application for my/our customer-owned generating facility on my/our behalf.

I/We authorize Organ Mountain Solar & Electric to work with my utility company to collect usage and rate plan information for my property in order to pursue a solar electric proposal.

CUSTOMER SIGNATURE(S)

Signed: William D. Cook Jr.
Name: William D. Cook Jr.
Date: March 18, 2022

Signed: Janice Cook
Name: JANICE COOK
Date: 3/18/2022

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 8, 2022,

BOT:

ITEM: PZACH Case #061424 – ADMINISTRATIVE APPROVAL – 2755 Calle de San Albino, Submitted by ETMSS 2 LLC, To repair a section of roof that was torn off in recent storm, Replacing Deckin and shingles on small shed. **Zone: Historical Residential (HR)**

BACKGROUND AND ANALYSIS: 2755 Calle de San Albino, Submitted by ETMSS 2 LLC, To repair a section of roof that was torn off in recent storm

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 54.00
 Review Fee \$ 9.00
 Total Fee \$ 63.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104



CASE NO. 061424 ZONE: HR CODE: MI APPLICATION DATE: 6-29-22

Name of Property Owner: ETMSS 2, LLC Property Owner's Telephone Number: 915-313-1973 or 575-649-6916

Property Owner's Mailing Address: PO Box 358 City: Mesilla Park State: NM Zip Code: 88047

Property Owner's E-mail Address: eandtmanagementllc@gmail.com

Contractor's Name & Address (If none, indicate Self): Stefina Landscape + Design

Contractor's Telephone Number: 602-377-0136 Contractor's Tax ID Number: 82-3352262 Contractor's License Number: 393805

Address of Proposed Work: 2755 Calle de San Albino

Description of Proposed Work: Repair section of roof torn off in recent storm. Replace decking and shingles. Damage was on small shed on the property.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

*3/8" Plywood Decking } to match existing roof
 30 year shingles
 Felt*

Estimated Cost: \$ 750.00 Signature of Applicant: [Signature] Date: 6/24/22

Application Fee is due at time of submittal. **Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit.** All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____
 Disapproved Date: _____
 Approved with conditions

BOT Approved Date: _____
 Disapproved Date: _____
 Approved with Conditions

PLAN APPROVED

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO
 CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

FOR COMPLIANCE WITH TOWN ZONING CODE

CONDITIONS: _____ By: [Signature] Date: 6/29/22

PERMISSION ISSUED / DENIED BY: [Signature] ISSUE DATE: 6/29/22

- Account Search
- View Created Reports
- Help
- Logout Public

Sheet of Document

Account: R0400393 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hucco Levy, Melead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.

Location

Situs Address 2755 CALLE DE SAN ALBINO
 Deed Holder
 Tax Area 2DIN_R - 2DIN_R
 Parcel Number 4-006-137-329-512
 Legal Summary S: 25 T: 23S R: 1E BRM 11A TR 6H:
 Neighborhood S11 - MESILLA

Owner Information

Owner Name FTMISS 2 LLC
 Owner Address PO BOX 358
 MESILLA PARK, NM 88047

Assessment History

Actual (2022 - Residential Cap applied) 5103.618
 Primary Taxable 534,539

Tax Area: 2DIN_R Mill Levy:
 23,490000

Type	Actual	Assessed	SQFT	Units
Residential Land	535,394	511,798	10454.000	1.000
Residential Improvement	568,224	522,741	1674.000	

Transfers

Record Sequence	Reception Number	Book Page	Sale Date	Grantor	Grantee	Doc Type	Parcel Number
2	1730025		12-12-2017	SANCHEZ ERIC L	FTMISS 2 LLC	A2	4006137329512
6	1720531		08-25-2017	SANCHEZ TERESAY ROBERTO L FRIEZE AND ELIZAF FRIEZE TRUST	SANCHEZ ERIC L	A2	4006137329512
2	1419331			SANCHEZ TERESAY ROBERTO L FRIEZE AND ELIZAF FRIEZE TRUST	SANCHEZ TERESAY	A3	4006137329512
4	1324429			FRIEZE ELIZAF ROBERTO L FRIEZE AND ELIZAF FRIEZE REVOCABLE TRUST	FRIEZE ELIZAF ROBERTO L FRIEZE AND ELIZAF FRIEZE TRUST	A3	4006137329512
3	0027406		12-08-2000	FRIEZE ROBERTO L ETAL	FRIEZE ROBERTO L TRSTE ETAL FRIEZE ELIZAF TRUST	A1	4006137021459
2	0027407		12-08-2000	FRIEZE ROBERTO L TRSTE ETAL FRIEZE ELIZAF TRUST	FRIEZE ROBERTO L	A1	4006137021459
1	9827712		10-28-1998	FRIEZE HURCJOR	FRIEZE HURCJOR TRSTE ETAL HURCJOR FRIEZE TRUST ETAL	A1	4006137021459

Images

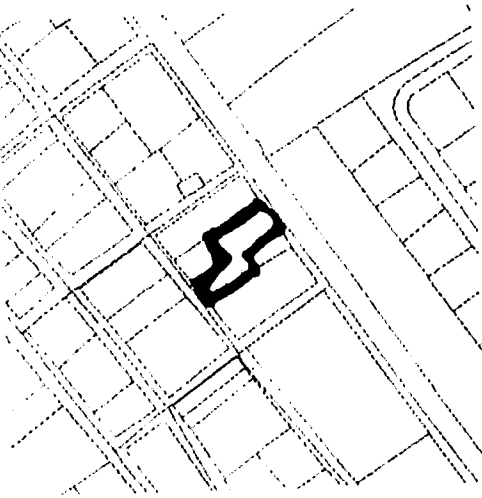
- Photo
- Sketch
- GIS

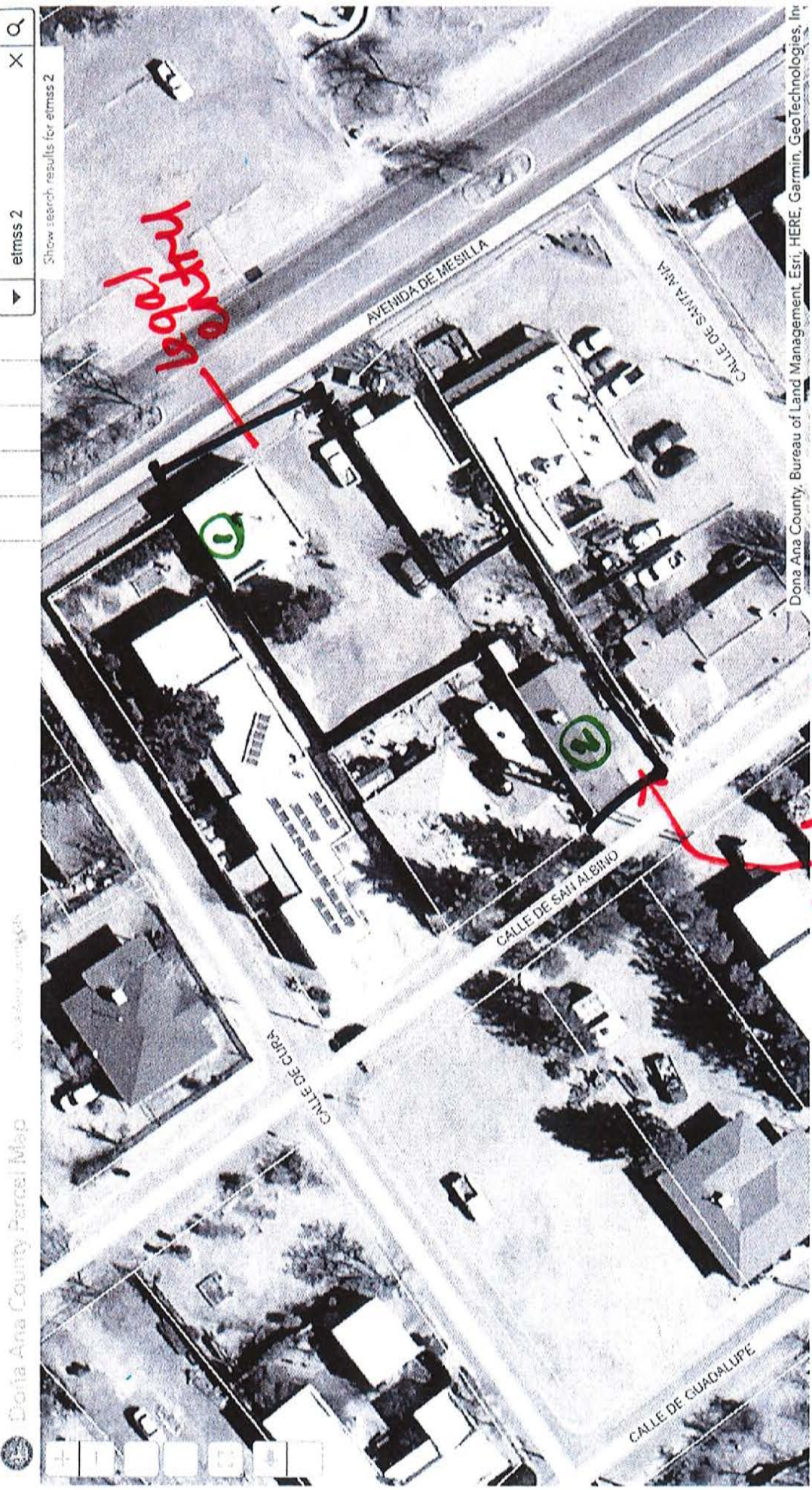
Tax Year

Taxes

*2022 5855.17
 2021 5830.20

* Estimated





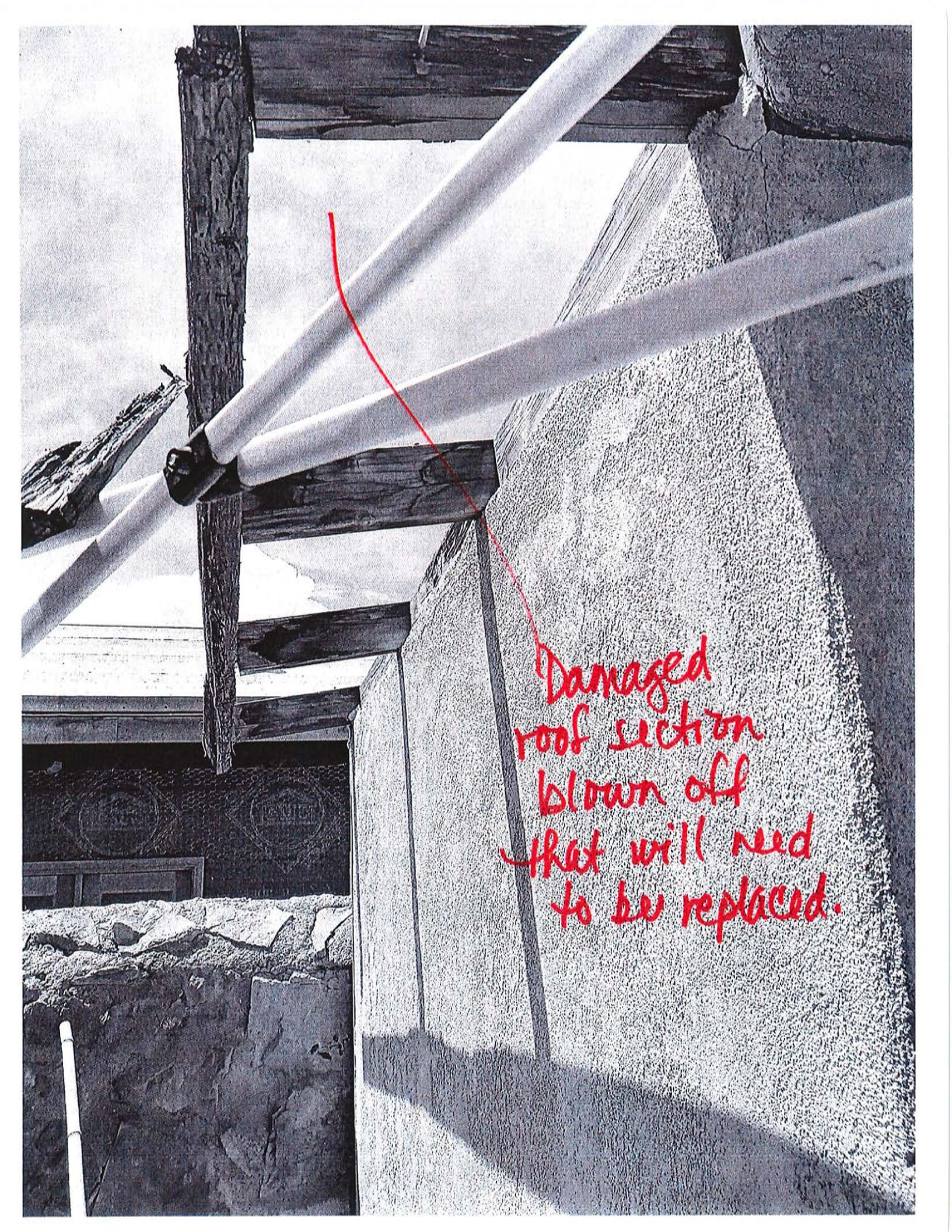
2 houses on this property.

① 2738 Highway 25 (Avenida de Mesilla)

② 2755 Calle de San Albino

} this is property that has shed.

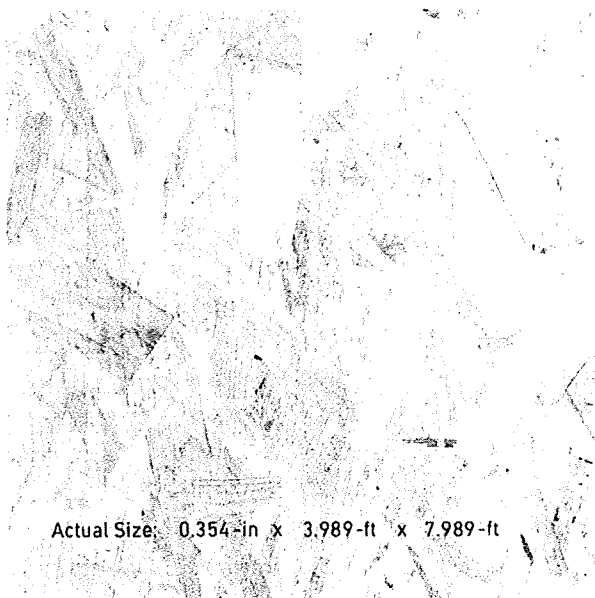
0 20 40ft



Damaged
roof section
blown off
that will need
to be replaced.

Section of
roof decking
that blew off.





\$22.85

\$21.71 when you choose the savings on eligible purchases every day. [Learn how](#)

THIS ITEM IS OUT OF STOCK
We'll notify you once this item is back in stock.

Dimensionally stable with consistent quality
SFI certified and environmentally friendly - no added urea-formaldehyde resin
Turquoise edge-seal for better moisture resistance

Pickup at Las Cruces Lowe's
 Pickup not available

Delivery
 Ship to Home - Unavailable
 Bulk order delivery - Unavailable

OVERVIEW

- Dimensionally stable with consistent quality
- SFI certified and environmentally friendly - no added urea-formaldehyde resin
- Turquoise edge-seal for better moisture resistance

Prop65 Warning Label
PDF

Residents: **Prop 65 Warning(s)**

SPECIFICATIONS

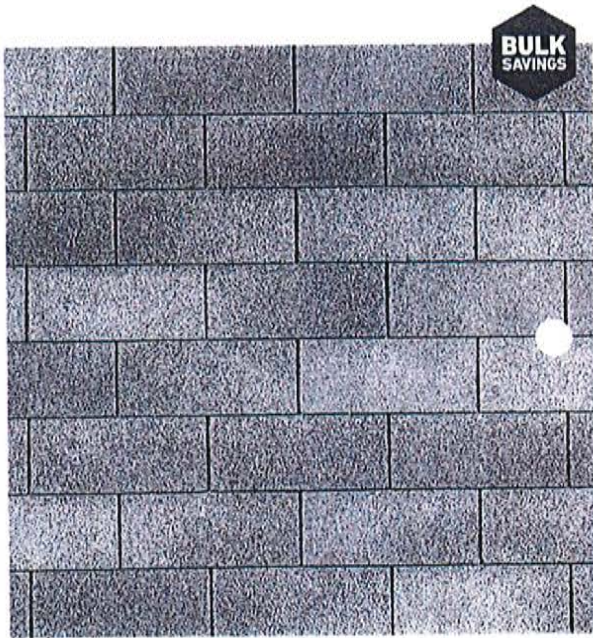
Industry Standard Min
thickness (Inches)

0.344

For Use with Siding

**Trubord 3/8-in x 4-ft x 8-ft
OSB Sheathing**

\$22.85



\$28.98

[Calculate your required quantity](#)

BUY 48 GET 10% OFF

\$27.53 when you choose 5% savings on eligible purchases every day
[Learn how](#)

28 Shingles per bundle
 Supreme AR shingles offer more performance in a value-priced shingle
 Traditional 3-tab shingles

Manufacturer Color/Finish: Desert Tan



[Show Less](#)

Pickup at Las Cruces Lowe's

Free Store & Curbside Pickup

7/7, 9am - 6pm daily

Apply 5% Buy 6

[Check product stores in your area](#)

Delivery

Ship to Home (Unavailable)

Scheduled Delivery with 550+ Order (Fee Applies)

Available

[Delivery Scheduling in Checkout](#)

1 +

BETTER TOGETHER



Owens Corning Supreme 33.33-sq ft Desert Tan 3-tab Roof Shingles

\$28.98

[Overview](#)

[Specifications](#)

[Reviews](#)

[Q&A](#)

[Product Features](#)

[Compare](#)

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Las Cruces Lowe's Open until 10 PM >



Prices, Promotions, styles, and availability may vary. Our local stores do not honor online pricing. Prices and availability of products and services are subject to change without notice. Errors will be corrected where discovered, and Lowe's reserves the right to revoke any stated offer and to correct any errors, inaccuracies or omissions including after an order has been submitted.

Building Supplies / Roofing / Roofing Underlayment

POC 36-in x 144-ft 432-sq ft Felt Roof Underlayment

Item #10306 Model #AP-0042

[Shop APOC](#) 44



BESTSELLER

\$34.63

\$32.90 when you choose 5% savings on eligible purchases every day. [Learn More](#)

- Lays flatter - heavy-duty design minimizes the wrinkling that can occur with cheaper felts
- Better protection - superior asphalt saturation means improved waterproofing
- Easier application - accurate lay lines allow for easier, more consistent shingle application

Pickup at Las Cruces Lowe's

Free Store & Curbside Pickup

Available for pickup today
Available by 12:00 PM
See all pickup options >

Delivery

Ship to Home - (If available)

Scheduled Delivery with \$90+ Order (Fee Applies)
Available
Delivery & Return info >

1 +



APOC 36-in x 144-ft 432-sq ft Felt Roof Underlayment

\$34.63



Overview

Specifications

Reviews

Q&A

Product Features

Compare

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 8, 2022,

BOT:

ITEM: PZHAC Case #061376- Pappas Williamson seeking for a summary subdivision a Replat of .S.R.S Tract 11A-199 & 11 A -198A within the Town of Mesilla, Dona Ana County, N.M. in section 25, T.23S R.1E of U.S.R.S. Surveys (2532 Calle De Norte), **Zoned: Historical Residential (HR)**

BACKGROUND AND ANALYSIS: Pappas Williamson Trust replat of 2532 Calle de Norte back section of the property to be split will be off Calle de Oeste this is the Preliminary Plat Procedure per Town Code 17.10.020

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOROF MESILLA
575-524-3262

REC#: 00181900 6/09/2022 8:05 AM
OPER: UTCIK TER14: 001
REF#: 150.00

TRAN: 110.0000 PERMITS/INSPECTIONS
061376 150.00CR
WILLIAMS, LES
2532 CALLE DEL NORTE
SUBD 150.00CR

TENDERED: 150.00 CHECK
APPLIED: 150.00-
CHANGE: 0.00

Pay Onl ine: www.mesilla.nm.gov

TOWN OF MESILLA
**SUBDIVISION
 APPLICATION**
 NEW MEXICO

OFFICIAL USE ONLY:

Case # 061376

Fee \$ 150.00

CASE NO. _____ ZONE: HR CODE: _____ APPLICATION DATE: _____
 Preliminary Plat Summary Subdivision Final Plat Vacation of Lot Line

Name of Applicant: Sylvia Williamson (Trustee) Applicant's Telephone/Cell Number: 505-660-3321

Mailing Address: 1329 Cordova Ave. NW City: Albuquerque State: NM Zip Code: 87107

Owner of Record: Address: Helen Williamson Revocable Living Trust City: Albuquerque State: NM Zip Code: 87107

Name of Engineer: _____ License # of Engineer: _____ Address: _____ Telephone/Cell Number: _____

Name of Architect: GILBERT CURVEZ License # of Architect: AMP 0832 Address: PO BOX 882, MESILLA NM 88046 Telephone/Cell Number: 575 649-7605

Subdivision Name: Pappao-Williamson Subdivision Location: 2532 Calle del Norte

Total Acreage: _____ Number of Lots: _____
 Acreage of Largest Lot: _____ Acreage of Smallest Lot: _____
 Legal Description: _____

Tax Map Property Code (s) R-0400177 Jacob's Map # 4.006-137-040-495

A ZONE CHANGE, VARIANCE, EXEMPTION, OR SPECIAL PERMIT IS ALSO BEING REQUESTED WITH THIS PROPERTY.

EXPLAIN: _____

By signing this application, you hereby acknowledge that ALL the information submitted on and with this application is true and correct to the best of your knowledge and that all provisions of the Town of Mesilla shall be met. No application will be accepted without the original signature of the owner(s) of record of the described property. If more than one owner, ALL owners must sign the application. (Attached an additional sheet if necessary).

Owner(s): Sylvia Williamson (Formerly H. Williamson) Trustee of the Helen Williamson Revocable Living Trust Date: 3-31-2022

Applicant(s) (if different than owner): _____ Date: _____

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

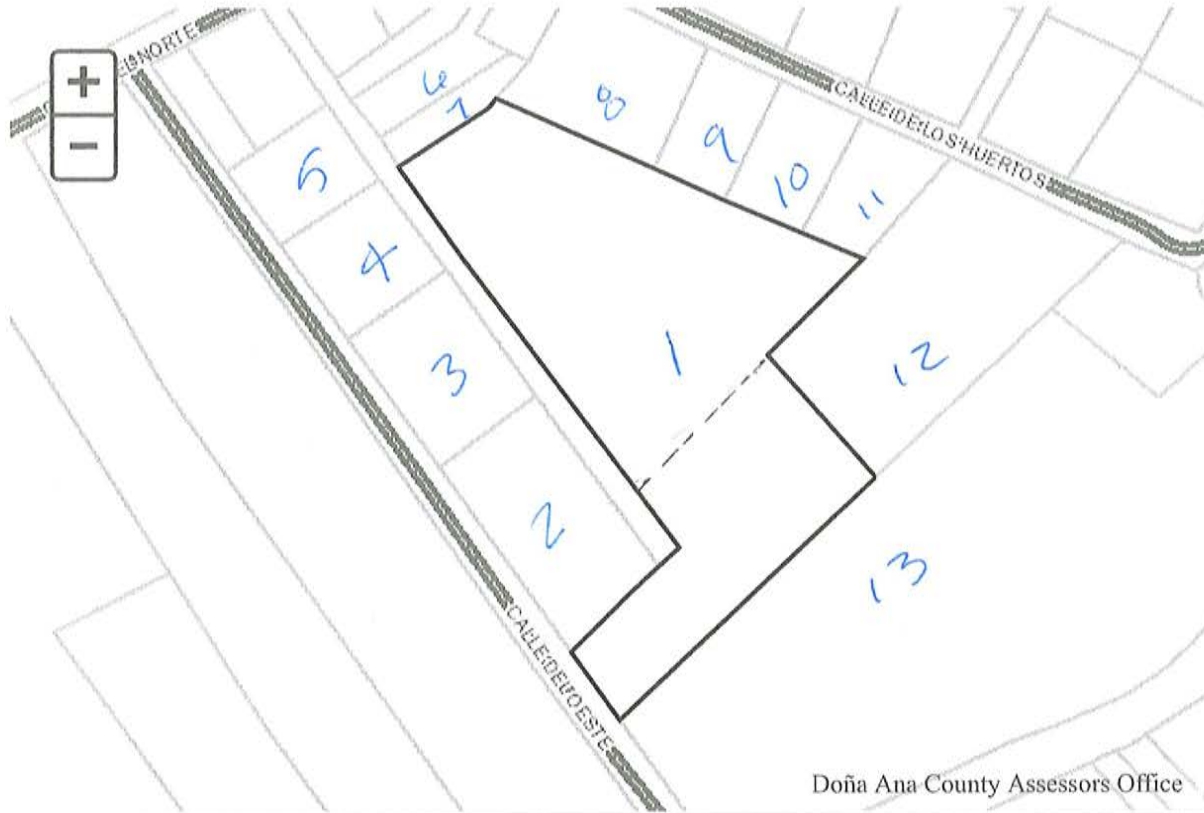
CONDITIONS: _____

Community Development Department

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

Layer Visibility:

- Roads
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

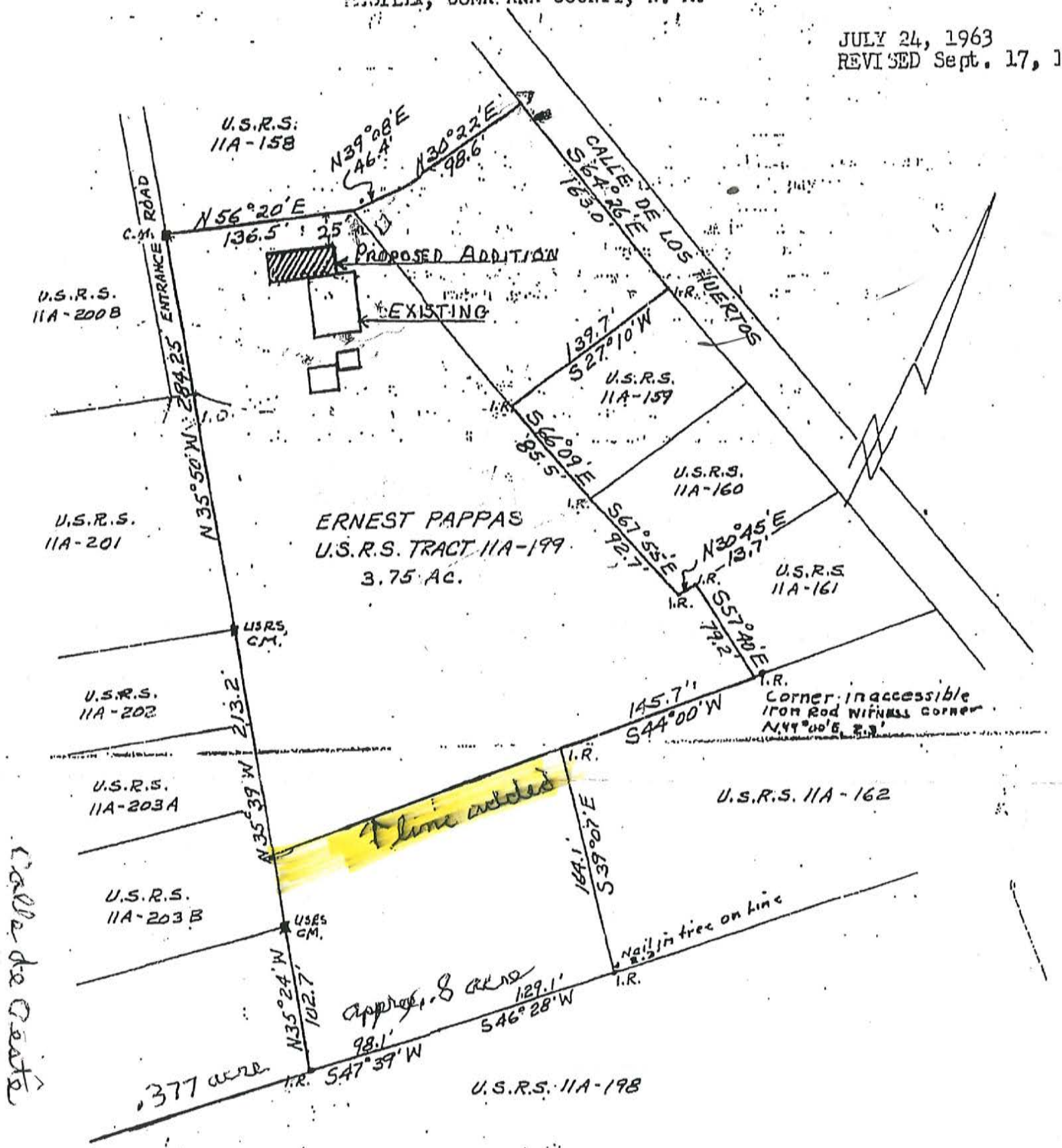


Doña Ana County Assessors Office

ACCOUNTNUMBER:	R0400177	PARCELNUMBER:	4006137040495
OWNERNAME:	WILLIAMSON HELEN PAPPAS	MAILADDR1:	PO BOX 613
CITY:	MESILLA	STATE:	NM
ZIP:	88046-0613	LOT:	
BLOCK:		SUBNAME:	
TRS:	23S 1E 25	SITUSADDRS:	2532 CALLE DEL NORTE
TOTALACRES:	3.45		

PLAT OF SURVEY OF
 A 3.75 ACRE TRACT
 U. S. R. S. TRACT 11A-199
 PROPERTY OF ERNEST PAPPAS
 MESILLA, DONA ANA COUNTY, N. M.

JULY 24, 1963
 REVISED Sept. 17, 1963



BOARD ACTION FORM

AGENDA DATE

PZHAC: July 8, 2022,

BOT:

ITEM: PZHAC Case #061423- 429 Bason Dr. Submitted by William Claude Wescott, Solar Installation of 23 Solar Panels on rooftop. **Zoned: Residential (RI).**

BACKGROUND AND ANALYSIS: 429 Bason Dr. Submitted by William Claude Wescott, Solar Installation of 23 Solar Panels on rooftop.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:
Case # 061423
Fee \$ 689.00

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061423 ZONE: R1 CODE: MC APPLICATION DATE: 6-16-22



William Claude Wescott		(575)642-4782	
Name of Property Owner		Property Owner's Telephone Number	
429 Bason Dr.	Las Cruces	NM	88005
Property Owner's Mailing Address	City	State	Zip Code
cwescott28@yahoo.com			
Property Owner's E-mail Address			
Sunwatt Energy/Aldo Parra		3023 Durazno Ave. El Paso, TX 79905	
Contractor's Name & Address (If none, indicate Self)			
(915)731-8580	86-1467674	EE98 #403283	
Contractor's Telephone Number	Contractor's Tax ID Number	Contractor's License Number	

Address of Proposed Work: 429 Bason Dr. Las Cruces, NM 88005

Description of Proposed Work: 23 Solar panels installed on roof.

\$ <u>42,338.00</u>	<u>Aldo Parra</u>	<u>06/06/2022</u>
Estimated Cost	Signature of Applicant	Date
Signature of property owner: <u>William Claude Wescott</u>		

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. _____ Site Plan with dimensions and details.
 3. _____ Foundation plan with details.
 4. _____ Floor plan showing rooms, their uses and dimensions.
 5. _____ Cross section of walls
 6. _____ Roof and floor framing plan
 8. _____ Proof of legal access to the property.
 9. _____ Drainage plan.
 10. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. _____ Proof of legal access to the property.
 13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

TOWN OF MESILLA

575-524-3262

***** R E P R I N T R E C E I P T*****

REC#: 00182595 7/06/2022 12:26 PM

OPER: UTCLK TERM: 001

REF#: 2815

TRAN: 110.0000 PERMITS/INSPECTIONS

061423 649.00CR

WESCOTT, WILLIAM

492 BASON DR

BLD 649.00CR

TENDERED: 649.00 CHECK

APPLIED: 649.00-

CHANGE: 0.00

Pay Online: www.mesillanm.gov

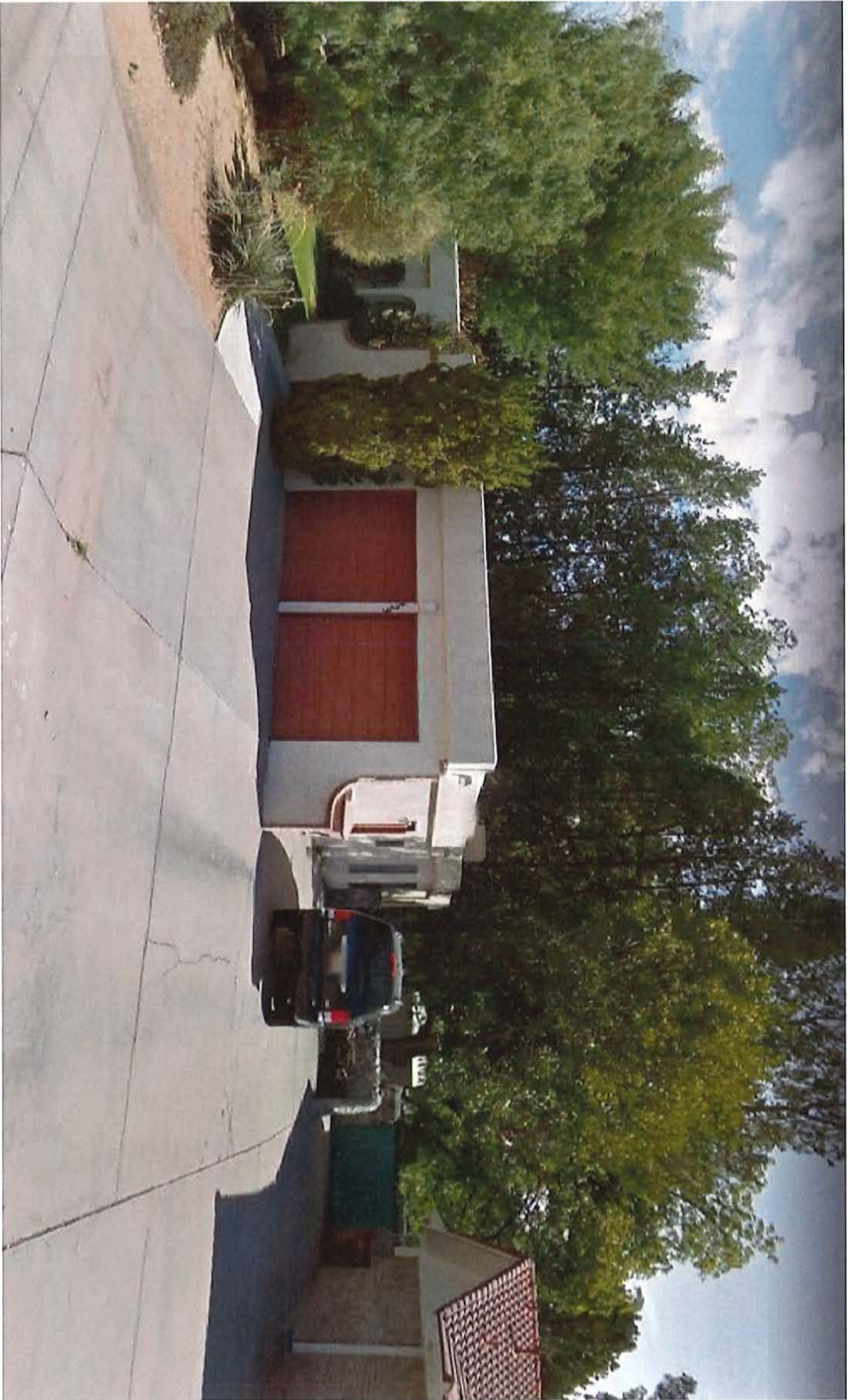
429 Bason Dr

Layer Visibility:

- Roads
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels



ACCOUNTNUMBER:	R0400839	PARCELNUMBER:	4007137307328
OWNERNAME:	WESCOTT W CLAUDE & CYNTHIA H	MAILADDR1:	429 BASON DR
CITY:	LAS CRUCES	STATE:	NM
ZIP:	88005-3717	LOT:	28
BLOCK:		SUBNAME:	BASON MANOR (BK 12 PG 11 - 754908) 807
TRS:	23S 2E 30	SITUSADDRS:	429 BASON DR
TOTALACRES:	0.19857668		





Scott E. Wyssling, PE
Jon P. Ward, SE, PE
Gregory T. Elvestad, PE

76 North Meadowbrook Drive
Alpine, UT 84004
office (201) 874-3483
swyssling@wysslingconsulting.com

May 4, 2022

SunWatt Energy
3023 Durazno Avenue
El Paso, TX 79905

Re: Engineering Services
Wescott Residence
429 Bason Drive, Las Cruces, NM
9.200 kW System

To Whom It May Concern:

We have received information regarding solar panel installation on the roof of the above referenced structure. Our evaluation of the structure is to verify the existing capacity of the roof system and its ability to support the additional loads imposed by the proposed solar system.

A. Site Assessment Information

1. Site visit documentation identifying attic information including size and spacing of rafters for the existing roof structure.
2. Design drawings of the proposed system including a site plan, roof plan and connection details for the solar panels. This information will be utilized for approval and construction of the proposed system.

B. Description of Structure:

Roof Framing: Prefabricated wood trusses with all truss members constructed of 2 x 4 dimensional lumber at 24" on center.
Roof Material: Composite Asphalt Shingles
Roof Slope: 5 degrees
Attic Access: Accessible
Foundation: Permanent

C. Loading Criteria Used

- **Dead Load**
 - Existing Roofing and framing = 7 psf
 - New Solar Panels and Racking Ballest = 3.41 psf
 - **Live Load** = 20 psf (reducible) – 0 psf at locations of solar panels
 - **Ground Snow Load** = 5 psf
 - **Wind Load** based on ASCE 7-10
 - Ultimate Wind Speed = 115 mph (based on Risk Category II)
 - Exposure Category B
- TOTAL = 10.41 PSF

Analysis performed of the existing roof structure utilizing the above loading criteria is in accordance with the 2015 International Residential Code, including provisions allowing existing structures to not require strengthening if the new loads do not exceed existing design loads by 105% for gravity elements and 110% for seismic elements. This analysis indicates that the existing rafters will support the additional panel loading without damage, if installed correctly.

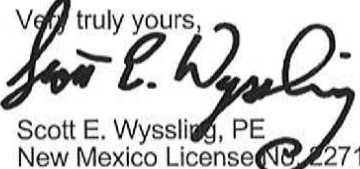
D. Solar Panel Anchorage

1. The solar panels shall be mounted to the ballast system in accordance with the most recent Unirac installation manual. If during solar panel installation, the roof framing members appear unstable or deflect non-uniformly, our office should be notified before proceeding with the installation.
2. Ballast system shall be placed on the roof in accordance with Unirac recommended layout and per there installation instructions.

Based on the above evaluation, this office certifies that with the racking and mounting specified, the existing roof system will adequately support the additional loading imposed by the solar system. This evaluation is in conformance with the 2015 International Residential Code, current industry standards, and is based on information supplied to us at the time of this report.

Should you have any questions regarding the above or if you require further information do not hesitate to contact me.

Very truly yours,


Scott E. Wyssling, PE
New Mexico License No. 22717



Date Signed 5/4/2022



U-BUILDER PROJECT REPORT

VERSION: 3.1.6

PROJECT TITLE

ROOFMOUNT RM10

PROJECT ID

DE49E790

CREATED

May 2, 2022, 10:03 a.m.

NAME	WILLIAM CLAUDE WESCOTT
ADDRESS	429 Bason Dr, Las Cruces, NM 88005
CITY, STATE	Las Cruces, NM
MODULE	Hanwha/Q-Cells Q.PEAK DUO BLK ML-G10+ 400

Designed by philip.wachna@gmail.com

ROOFMOUNT RM10

Hanwha/Q-Cells

23 - Q.PEAK DUO BLK ML-G10+ 400

485.78 ft²

9.20 KW



Signed 5/4/2022

ENGINEERING REPORT

Plan review

AVERAGE PSF	3.41 psf
TOTAL NUMBER OF MODULES	23
TOTAL KW	9.20 KW
TOTAL MODULE AREA	-749 ft ²
TOTAL WEIGHT ON ROOF	2554 lbs
RACKING WEIGHT	126 lbs
MODULE WEIGHT	1116 lbs
BALLAST WEIGHT	1312 lbs
MAX BAY LOAD (DEAD)	116 lbs
ATTACHMENT COUNT	0
TOTAL SEISMIC ATTACHMENTS REQUIRED	0

Loads Used for Design

BUILDING CODE	ASCE 7-10
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	0.00 psf
SEISMIC (Ss)	0.28
ELEVATION	4187.00 ft
WIND EXPOSURE	B
MRI	25
RISK CATEGORY	II
VELOCITY PRESSURE, QZ	12.55 psf

Loads Determined by Zip

CITY, STATE	Las Cruces, NM
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	0.00 psf

Inspection

PRODUCT	ROOFMOUNT RM10
MODULE MANUFACTURER	Hanwha/Q-Cells
MODEL	Q,PEAK DUO BLK ML-G10+ 400
MODULE WATTS	400 watts
MODULE LENGTH	74.00"
MODULE WIDTH	41.10"
MODULE THICKNESS	1.26"
MODULE WEIGHT	48.50 lbs
BALLAST BLOCK (CMU) WEIGHT	32.0 lbs
MAX BLOCKS PER NORTH BAY	6
MAX BLOCKS PER NON NORTH BAY	4
BUILDING HEIGHT	15.00 ft
ROOF TYPE	MINERAL_CAP
PARAPET HEIGHT	<= 1/2 Array Height (<= 6 inches)
RISK CATEGORY	II
ATTACHMENTS OPTIMIZATION CRITERIA	Maximize Ballast
ATTACHMENT TYPE	UNIRAC FLASHLOC RM
ATTACHMENT CAPACITY UPLIFT	620.0 lbs
ATTACHMENT CAPACITY SHEAR	523.0 lbs
CONTROLLING COMPONENT UPLIFT CAPACITY	RACKING
CONTROLLING COMPONENT SHEAR CAPACITY	RACKING

Roof Area 1 - Array 1

AVERAGE PSF	3.41 psf	MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
TOTAL NUMBER OF MODULES:	23	ARRAY TO ARRAY:	3.0"
TOTAL KW:	9.20 KW	TO FIXED OBJECT ON ROOF:	6.0"
TOTAL AREA:	749 ft ²	TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TOTAL WEIGHT ON ROOF:	2554 lbs	TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
RACKING WEIGHT:	126 lbs	MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
MODULE WEIGHT:	1116 lbs	MAX NUMBER OF NORTH-SOUTH ROWS:	32
BALLAST WEIGHT:	1312 lbs	MAX NUMBER OF EAST-WEST COLUMNS:	70
ATTACHMENT COUNT	0		
SEISMIC ATTACHMENT COUNT	0		

*In jurisdictions that follow SEAOC PV-1 methodology.

RM10 U-BUILDER PRODUCT ASSUMPTIONS

RM10 – Ballasted Flat Roof Systems

Limitations of Responsibility: It is the user's responsibility to ensure that inputs are correct for your specific project.

Unirac is not the solar, electrical, or building engineer of record and is not responsible for the solar, electrical, or building design for this project.

Building Assumptions

1. Risk Category III
2. Building Height \leq 50 ft
3. Building Height > 50 ft: only where (longest length of building \times building height)^{0.5} \leq 100 ft
4. Roof Slope \geq 0° (0:12) and \leq 3° (5/8:12) for Seismic Design Category C, D, E and F. For low seismic regions Seismic Design Category A and B (provided Array Importance factor = 1.0), Roof Slope \geq 0° (0:12) and \leq 7° (1 1/2:12).
5. Roofing Material Types: EDPM, PVC, TPO, or Mineral Cap
6. Surrounding Building Grade: Level

Ballast Blocks

The installer is responsible for procuring the ballast blocks (Concrete Masonry Units – CMU) and verifying the required minimum weight needed for this design. CMU should comply with ASM standard specification for concrete roof pavers designation (C1491 or C90 with an integral water repellent suitable for the climate it is placed. It is recommended that the blocks are inspected periodically for any signs of degradation. If degradation of the block is observed, the block should immediately be replaced.

The CMU ballast block should have nominal dimensions of 4"x8"x16". The actual block dimensions are 3/8" less than the nominal dimensions. Ballast blocks should have a weight as specified for the project in the "Inspection" section of this report.

Design Parameters

1. Risk Category I to III
2. Wind Design
 - a. Basic Wind Speed: 85-120 mph (ASCE 7-05)/110-150 mph (ASCE 7-10)/90-180 mph (ASCE 7-16)
 - b. Exposure: B, C or D (ASCE 7-05/ASCE 7-10)
 - c. 25 year Design Life/50 year Design Life for ASCE 7-16
 - d. Elevation: Insertion of the project at - grade elevation can result in a reduction of wind pressure. If your project is in a special case study region or in an area where wind studies have been performed, please verify with your jurisdiction to ensure that elevation effects have not already been factored into the wind speed. If elevation effects have been included in your wind speed, please select 0 ft as the project site elevation.
 - e. Wind Tunnel Testing: Wind tunnel testing coefficients have been utilized for design of the system.
3. Snow Design
 - a. Ground Snow Load: 0-80 psf (ASCE 7-10/ASCE 7-16)
 - b. Exposure Factor: 0.9
 - c. Thermal Factor: 1.2
 - d. Roof Snow Load: Calculation per Section 7.3 (ASCE 7-05/ASCE 7-10/ASCE 7-16)
 - e. Unbalanced/Drifting/Sliding: Results are based on the uniform snow loading and do not consider unbalanced, drifting, and sliding conditions
4. Seismic Design
 - a. Report *SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 – Structural Seismic Requirements and Commentary for Rooftop Solar Photovoltaic Arrays*
 - b. Seismic Site Class: A, B, C, or D (ASCE 7-05/ASCE 7-10/ASCE 7-16)
 - c. Importance Factor Array (Ip): 1.0
 - d. Importance Factor Building (Ie): 1.0
 - e. Site Class: D

Properties

1. Bay Weight: ~3.5 lbs
2. Module Gaps (E/W) = 0.25 in
3. Bays: North row bays overhang the module by ~19.5 inches.

Module Properties

1. Module return flange: Minimum of 0.9in (when using 1-3/4 in. clip bolts) is required.
2. Module return flange: Minimum of 0.65in (when using 2 in. clip bolts) is required.

Testing

1. Coefficient of Friction
2. Wind Tunnel
3. UL 2703
4. Component Testing (Bay and Clamp)

Setbacks

For the wind tunnel recommendations in U-Builder to apply, the following setbacks should be observed/followed for U-Builder wind design:

1. Modules should be placed a minimum of 3 feet from the edge of the building in any direction.
2. If the array is located near an obstruction that is 3.5 feet wide and 3.5 feet high or larger, the nearest module of the array must be located a distance from the obstruction that is greater than or equal to the height of the obstruction.
Exception: When using ASCE 7-16 Building Code and using the obstruction feature in the module editor to accurately model the size and location of obstruction.
3. Installations within the setbacks listed above require site specific engineering²
4. The setbacks above are for wind. High seismic areas, fire access isles, mechanical equipment, etc., may require larger setbacks than listed above for wind.

Site Specific Engineering

Conditions listed below are beyond the current capabilities of U-Builder. Site specific engineering is required.

1. Wind designs for a project design life exceeding 25 years^{1/ASCE 7-16}
2. Building assumptions and design parameters outside of U-Builder assumptions²
3. Attachments²
4. Risk Category III or IV projects (U-Builder can be adjusted for the correct wind, but not the seismic or snow design)²
5. Wind tunnel testing reduction factors are not permitted by the Authority Having Jurisdiction (AHJ)³
6. Seismic designs that fall outside SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 recommendations (>3% roof slope, or AHJ's that require shake table testing or non-linear site-specific response history analysis)³
7. Signed and sealed site-specific calculations, layouts, and drawings³

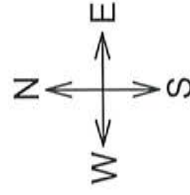
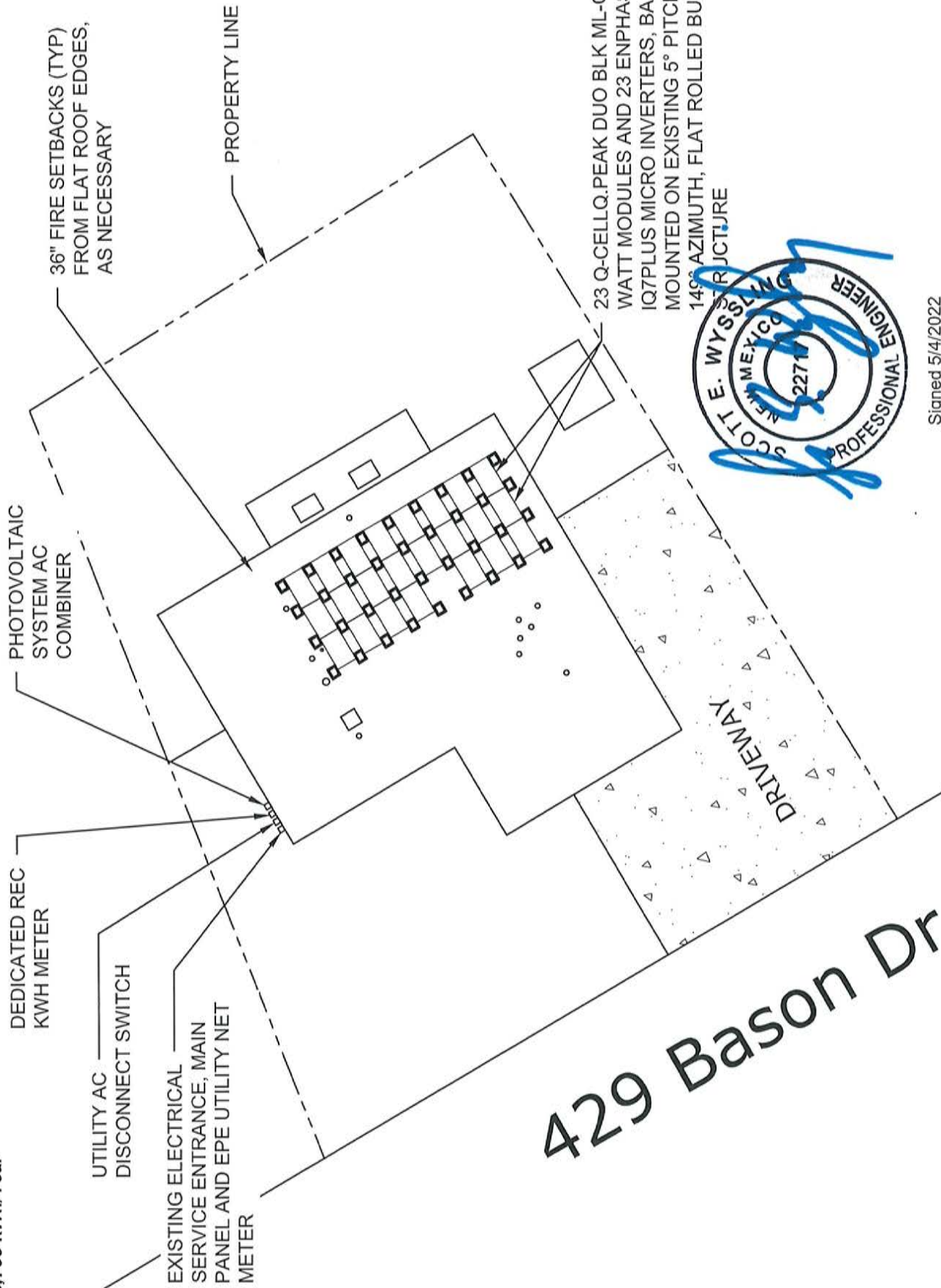
Notes:

¹Please contact info@unirac.com.

²Please contact EngineeringServices@unirac.com for more information.

³Please contact Theresa Allen with PZSE Structural Engineers at theresa@pzse.com. These items will require direct coordination with PZSE to complete the requested services.

ESTIMATED ANNUAL PRODUCTION:
 - 15,788 kWh/Year



NOT TO SCALE



Signed 5/4/2022

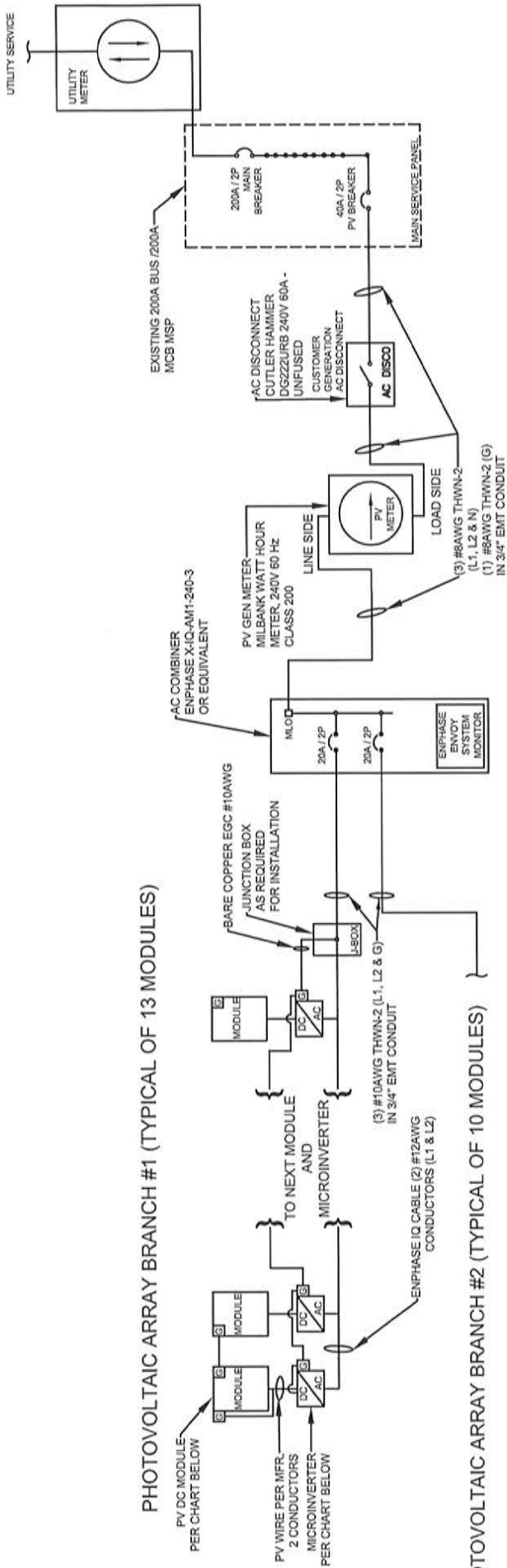
SunWatt Energy

3023 Durazno Ave.
 El Paso, TX 79905

PROJECT INFORMATION		PHIL W
A/HJ	CID	DATE
UTILITY	EPE	05/02/2022

SITE PLAN
 9.2 kW DC / 6.67 kW AC PV SYSTEM
 429 Bason Dr
 Las Cruces, NM 88005
 CUSTOMER: WILLIAM CLAUDE WESCOTT

ASSESSORS PARCEL NUMBER:
 4007137307328



PHOTOVOLTAIC ARRAY BRANCH #1 (TYPICAL OF 13 MODULES)

PHOTOVOLTAIC ARRAY BRANCH #2 (TYPICAL OF 10 MODULES)

CONDUCTOR SIZING PER NEC TABLE 310.15(B)(16) & 310.15(B)(2)(A) AND ADJUSTMENT FACTORS .58 (65-60°C) AND .82 (42-45°C).
OVERCURRENT DEVICE SIZING PER NEC 240.4(B) AND 240.6(A).

AC CALCULATIONS: PER NEC 690.8(A)(3) AND (B)(1):

- 1 X 1.25
- ARRAY #1 [(1.2 A)(13)] X 1.25 = 19.5 A
- ARRAY #2 [(1.2 A)(10)] X 1.25 = 15.0 A
- SYSTEM [(1.2 A)(23)] X 1.25 = 34.5 A

MINIMUM DISTANCE FROM CONDUIT TO ROOFTOP IS 3.5" PER NEC 310.15(B)(C)

ALL SUPPLIED EQUIPMENT IS UL LISTED

EQUIPMENT TO BE INSTALLED PER LISTING AND / OR LABELING TO 2017 NEC REQUIREMENTS.

GROUNDING CONDUCTORS CONNECTED TO EACH MODULE FRAME AND RACK ASSEMBLY

ALL SOLAR PANELS ARE LISTED TO UL1703 AND HAVE A CLASS C FIRE RATING.

- AC:
 - L1 = BLACK
 - L2 = RED
 - NEUTRAL = WHITE
 - GROUND = GREEN / BARE WIRE

PV MODULE RATINGS @STC	
MAKE AND MODEL: QCELLS Q.PEAK DUO-G10+ 400	
MAX POWER-POINT CURRENT I_{mp}	10.77 A
MAX POWER-POINT VOLTAGE V_{mp}	37.13 V
OPEN-CIRCUIT VOLTAGE V_{oc}	45.3 V
SHORT-CIRCUIT CURRENT I_{sc}	11.14 A
MAX SERIES FUSE (OCPD)	20 A
MAXIMUM POWER P_{max}	400 W
MAX VOLTAGE	1000 VDC
V_{oc} TEMPERATURE COEFFICIENT	-0.27 %/°K

INVERTER RATINGS	
MAKE AND MODEL: ENPHASE ENERGY IQ7PLUS-72-2-US	
MAX DC VOLTAGE RATING	60 V
MAX CONTINUOUS POWER	290 W
NOMINAL AC VOLTAGE	240 V
MAX AC CURRENT	1.2 A
MAX OCPD RATING	20 A

NEC 705.12(D)(2)
 BUS RATING x 120% ≥
 PV BREAKER(A) + MAIN BREAKER(A)
 200A X 1.20 = 240A
 40A PV BREAKER + 200A MAIN BREAKER = 240A

240A ≥ 240A, THEREFORE PV BREAKER IN MAIN MEETS NEC CODE REQUIREMENTS.

PROJECT INFORMATION		PHIL W
AHJ	CID	DATE
UTILITY	EPF	05/02/2022

SINGLE-LINE DIAGRAM
 9.2 kW DC / 6.67 kW AC PV SYSTEM
 429 Bason Dr
 Las Cruces, NM 88005

CUSTOMER: WILLIAM CLAUDE WESCOTT

AC COMBINER

WARNING

ELECTRIC SHOCK HAZARD
-DO NOT TOUCH TERMINALS-
TERMINALS ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

NOTICE

DEDICATED PHOTOVOLTAIC
SYSTEM COMBINER PANEL
DO NOT ADD LOADS TO
THIS PANEL

WARNING

INVERTER OUTPUT CONNECTION
DO NOT RELOCATE THIS
OVERCURRENT DEVICE

CONDUIT

**WARNING: PHOTOVOLTAIC
POWER SOURCE**

LABEL SHALL BE ALL CAPITAL LETTERS MIN. 3/8" HIGH.
WHITE LETTERS ON RED BACKGROUND.
MUST BE REFLECTIVE AND WEATHER RESISTANT.
TO BE PLACED ON INTERIOR AND EXTERIOR
CONDUIT, RACEWAYS, ENCLOSURES AND CABLE
ASSEMBLIES EVERY 10 FEET, WITHIN 1 FOOT OF
TURNS OR BENDS AND WITHIN 1 FOOT ABOVE AND
BELOW PENETRATIONS OF ROOF/CEILING
ASSEMBLIES, WALLS OR BARRIERS.

AC DISCONNECT

PHOTOVOLTAIC SYSTEM

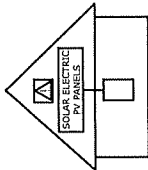
AC DISCONNECT
OPERATING CURRENT 27.6 AMPS
OPERATING VOLTAGE 240 VOLTS

WARNING

ELECTRIC SHOCK HAZARD
-DO NOT TOUCH TERMINALS-
TERMINALS ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

**SOLAR PV SYSTEM EQUIPPED
WITH RAPID SHUTDOWN**

TURN RAPID SHUTDOWN SWITCH
TO THE "OFF" POSITION
TO SHUT DOWN CONDUCTORS
OUTSIDE THE ARRAY.
CONDUCTORS WITHIN
THE ARRAY REMAIN
ENERGIZED IN SUNLIGHT.



**RAPID SHUTDOWN
INITIATOR DEVICE**

MAIN SERVICE PANEL

PHOTOVOLTAIC POWER SOURCE
SYSTEM AC VOLTAGE: 240 VAC
MAXIMUM AC CURRENT: 27.6 AMPS

WARNING

ELECTRIC SHOCK HAZARD
-DO NOT TOUCH TERMINALS-
TERMINALS ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

PANELBOARD IS ENERGIZED FROM TWO
SOURCES OF AC POWER
SOLAR - 27.6 A
UTILITY - 200A AT 240V

WARNING

INVERTER OUTPUT CONNECTION
DO NOT RELOCATE THIS
OVERCURRENT DEVICE

**PHOTOVOLTAIC SYSTEM
EQUIPPED WITH
RAPID SHUTDOWN**

DEDICATED PV SYSTEM
KHW METER

REC METER

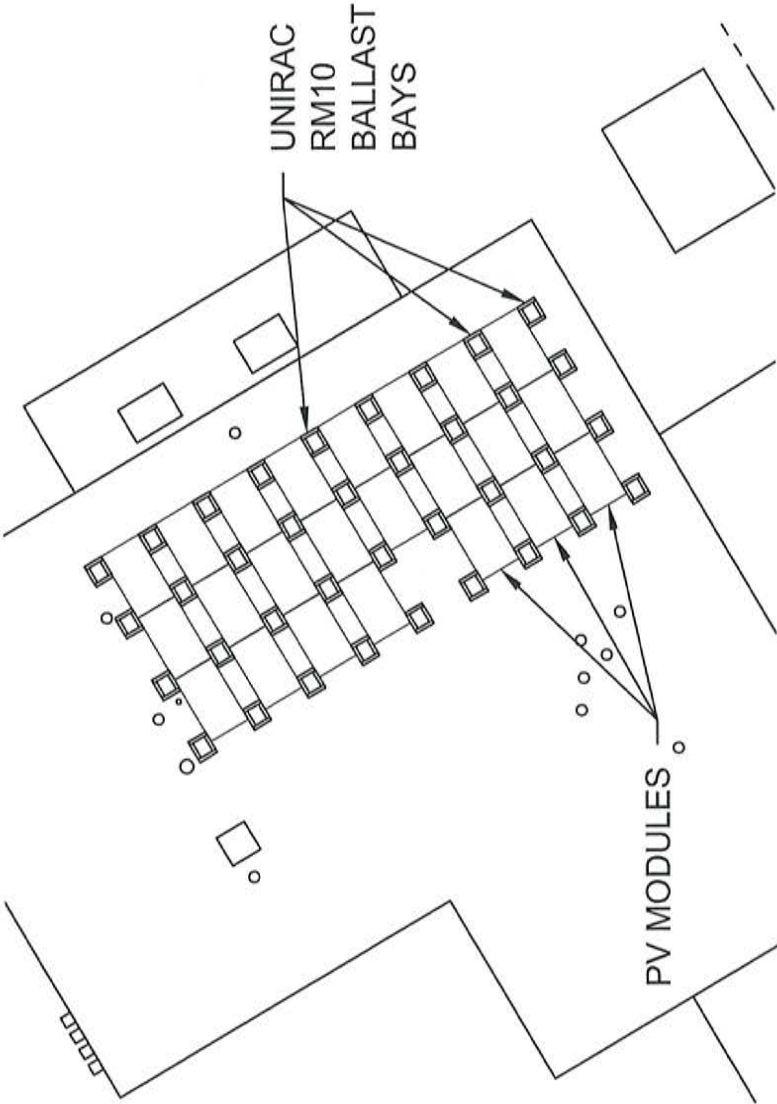
UTILITY METER

NET METER

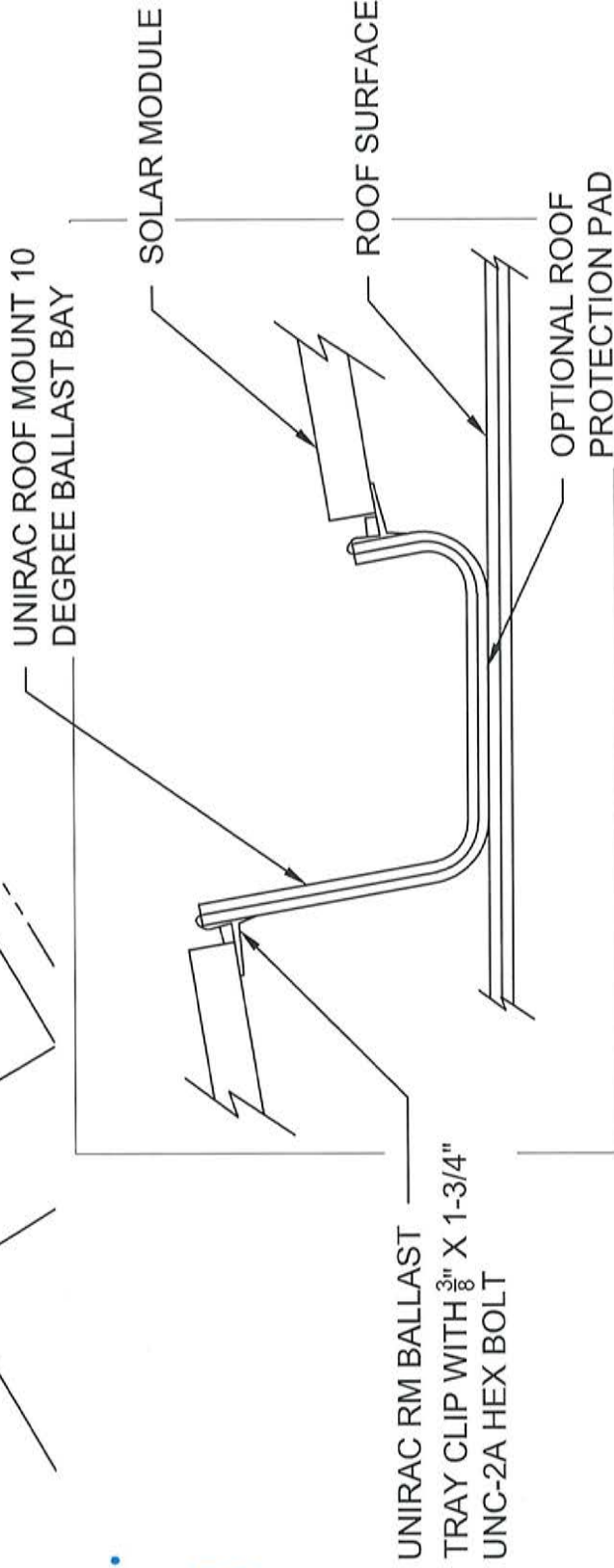
PROJECT INFORMATION		DRAWN	PHIL W
AHJ	CID	DATE	05/02/2022
UTILITY	EPE		

PLACARDS
9.2 kW DC/ 6.67 kW AC PV SYSTEM
429 Bason Dr
Las Cruces, NM 88005
CUSTOMER: WILLIAM CLAUDE WESCOTT

UNIRAC BALLAST SYSTEM-
INSTALLATION AND
ENGINEERING
REPORT SHOULD
ACCOMPANY THESE
PLANS.



Signed 5/4/2022



MOUNTING DETAIL

PROJECT INFORMATION		DRAWN	PHIL W
AHJ	CID	DATE	05/02/2022
UTILITY	EPE		

MODULE MOUNTING
9.2 kW DC/ 6.67 kW AC PV SYSTEM
429 Bason Dr
Las Cruces, NM 88005
CUSTOMER: WILLIAM CLAUDE WESCOTT

Single Family Dwelling Electrical Service Load Calculation

1. General Lighting Loads

Dwelling 2019 sq. ft X 3 VA = 6057 VA

Small appliance loads - 220-16(a) 1500 VA X 4 Circuits = 6000 VA

Laundry load - 220-16 (b) 1500 VA X 4 Circuits = 6000 VA

General Lighting Total 18,057VA

2. Cooking Equipment Loads - Nameplate Value

Range 40 Amps = 7580 VA

Cooktop Amps = 0 VA

Oven Amps = 0 VA

Cooking Equipment Total 7,680VA

3. Electric Dryer 220-18 (Nameplate, 5000 VA minimum)

Dryer Qty: 1 5000 VA

Dryer Total 5,000VA

4. Fixed Appliance Loads

① Amps X 240 Volts = 0 VA

② Amps X Volts = 0 VA

③ Amps X Volts = 0 VA

④ Amps X Volts = 0 VA

Fixed Appliance Total 0VA

Subtotal (add all above lines) 30,737VA

6. First 10,000 VA X 100%

Remainder 20,737 VA X 40% = 10,000 VA

7. Larger of heating or AC Load (nameplate)

50 Amps = 8,295 VA

New Load For Vehicle Charger = 12,000 VA

Total Load (from lines above) Amps = 30,295 VA

10. Existing Minimum Service Size = Total Load in VA = 126.23 Amps

240 volts

ELEC CALCS
 9.2 kW DC/ 6.67 kW AC PV SYSTEM
 429 Bason Dr
 Las Cruces, NM 88005
 CUSTOMER: WILLIAM CLAUDE WESCOTT

PROJECT INFORMATION
 AHJ CID
 UTILITY EPE
 DRAWN PHIL W
 DATE 05/02/2022

PROJECT TITLE

ROOFMOUNT RM10

PROJECT ID

DE49E790

CREATED

May 2, 2022, 10:03 a.m.

NAME WILLIAM CLAUDE WESCOTT

Designed by philip.wachna@gmail.com

ADDRESS 429 Bason Dr, Las Cruces, NM 88005

ROOFMOUNT RM10

CITY, STATE Las Cruces, NM

Hanwha/Q-Cells

MODULE Hanwha/Q-Cells Q.PEAK DUO BLK ML-G10+ 400

23 - Q.PEAK DUO BLK ML-G10+ 400

485.78 ft²

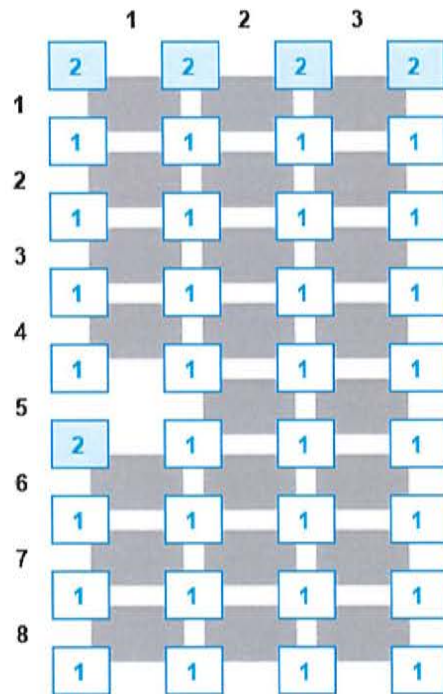
9.20 KW

INSTALLATION AND DESIGN PLAN

Roof Area 1



Roof Area 1 / Roof Area 1 - Array 1



Bay With Attachment

LEGEND



Module



Standard corner bay with CMU block count



Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

Layout Dimensions

NS DIMENSION ~ 41.61 ft

EW DIMENSION ~ 18.56 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
-----	---------	------	----------------------	----------------------

1	3	4	8	256
2	3	4	4	128
3	3	4	4	128
4	3	4	4	128
5	2	4	4	128
6	3	4	5	160
7	3	4	4	128
8	3	4	4	128
9	0	4	4	128

Enphase IQ 7 and IQ 7+ Microinverters

The high-powered smart grid-ready **Enphase IQ 7 Micro™** and **Enphase IQ 7+ Micro™** dramatically simplify the installation process while achieving the highest system efficiency.

Part of the Enphase IQ System, the IQ 7 and IQ 7+ Microinverters integrate with the Enphase IQ Envoy™, Enphase IQ Battery™, and the Enphase Enlighten™ monitoring and analysis software.

IQ Series Microinverters extend the reliability standards set forth by previous generations and undergo over a million hours of power-on testing, enabling Enphase to provide an industry-leading warranty of up to 25 years.



Easy to Install

- Lightweight and simple
- Faster installation with improved, lighter two-wire cabling
- Built-in rapid shutdown compliant (NEC 2014 & 2017)

Productive and Reliable

- Optimized for high powered 60-cell and 72-cell* modules
- More than a million hours of testing
- Class II double-insulated enclosure
- UL listed

Smart Grid Ready

- Complies with advanced grid support, voltage and frequency ride-through requirements
- Remotely updates to respond to changing grid requirements
- Configurable for varying grid profiles
- Meets CA Rule 21 (UL 1741-SA)

* The IQ 7+ Micro is required to support 72-cell modules.



Enphase IQ 7 and IQ 7+ Microinverters

INPUT DATA (DC)	IQ7-60-2-US / IQ7-60-B-US		IQ7PLUS-72-2-US / IQ7PLUS-72-B-US	
Commonly used module pairings ¹	235 W - 350 W +		235 W - 440 W +	
Module compatibility	60-cell PV modules only		60-cell and 72-cell PV modules	
Maximum input DC voltage	48 V		60 V	
Peak power tracking voltage	27 V - 37 V		27 V - 45 V	
Operating range	16 V - 48 V		16 V - 60 V	
Min/Max start voltage	22 V / 48 V		22 V / 60 V	
Max DC short circuit current (module I _{sc})	15 A		15 A	
Oversoltage class DC port	II		II	
DC port backfeed current	0 A		0 A	
PV array configuration	1 x 1 ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit			
OUTPUT DATA (AC)	IQ 7 Microinverter		IQ 7+ Microinverter	
Peak output power	250 VA		295 VA	
Maximum continuous output power	240 VA		290 VA	
Nominal (L-L) voltage/range ²	240 V / 211-264 V	208 V / 183-229 V	240 V / 211-264 V	208 V / 183-229 V
Maximum continuous output current	1.0 A (240 V)	1.15 A (208 V)	1.21 A (240 V)	1.39 A (208 V)
Nominal frequency	60 Hz		60 Hz	
Extended frequency range	47 - 68 Hz		47 - 68 Hz	
AC short circuit fault current over 3 cycles	5.8 Arms		5.8 Arms	
Maximum units per 20 A (L-L) branch circuit ³	16 (240 VAC)	13 (208 VAC)	13 (240 VAC)	11 (208 VAC)
Oversoltage class AC port	III		III	
AC port backfeed current	0 A		0 A	
Power factor setting	1.0		1.0	
Power factor (adjustable)	0.7 leading ... 0.7 lagging		0.7 leading ... 0.7 lagging	
EFFICIENCY	@240 V	@208 V	@240 V	@208 V
Peak CEC efficiency	97.6 %	97.6 %	97.5 %	97.3 %
CEC weighted efficiency	97.0 %	97.0 %	97.0 %	97.0 %
MECHANICAL DATA				
Ambient temperature range	-40°C to +65°C			
Relative humidity range	4% to 100% (condensing)			
Connector type (IQ7-60-2-US & IQ7PLUS-72-2-US)	MC4 (or Amphenol H4 UTX with additional Q-DCC-5 adapter)			
Connector type (IQ7-60-B-US & IQ7PLUS-72-B-US)	Friends PV2 (MC4 intermateable). Adaptors for modules with MC4 or UTX connectors: - PV2 to MC4: order ECA-S20-S22 - PV2 to UTX: order ECA-S20-S25			
Dimensions (WxHxD)	212 mm x 175 mm x 30.2 mm (without bracket)			
Weight	1.08 kg (2.38 lbs)			
Cooling	Natural convection - No fans			
Approved for wet locations	Yes			
Pollution degree	PD3			
Enclosure	Class II double-insulated, corrosion resistant polymeric enclosure			
Environmental category / UV exposure rating	NEMA Type 6 / outdoor			
FEATURES				
Communication	Power Line Communication (PLC)			
Monitoring	Enlighten Manager and MyEnlighten monitoring options. Both options require installation of an Enphase IQ Envoy.			
Disconnecting means	The AC and DC connectors have been evaluated and approved by UL for use as the load-break disconnect required by NEC 690.			
Compliance	CA Rule 21 (UL 1741-SA) UL 62109-1, UL1741/IEEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shut Down Equipment and conforms with NEC-2014 and NEC-2017 section 690.12 and C22.1-2015 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according manufacturer's instructions.			

1. No enforced DC/AC ratio. See the compatibility calculator at <https://enphase.com/en-us/support/module-compatibility>.

2. Nominal voltage range can be extended beyond nominal if required by the utility.

3. Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

To learn more about Enphase offerings, visit enphase.com



powered by

Q.ANTUM DUO Z

Q.PEAK DUO BLK ML-G10+ 385-405

ENDURING HIGH
PERFORMANCE



BREAKING THE 20% EFFICIENCY BARRIER

Q.ANTUM DUO Z Technology with zero gap cell layout boosts module efficiency up to 20.9%.



THE MOST THOROUGH TESTING PROGRAMME IN THE INDUSTRY

Q CELLS is the first solar module manufacturer to pass the most comprehensive quality programme in the industry: The new "Quality Controlled PV" of the independent certification institute TÜV Rheinland.



INNOVATIVE ALL-WEATHER TECHNOLOGY

Optimal yields, whatever the weather with excellent low-light and temperature behavior.



ENDURING HIGH PERFORMANCE

Long-term yield security with Anti LID Technology, Anti PID Technology¹, Hot-Spot Protect and Traceable Quality Tra.Q™.



EXTREME WEATHER RATING

High-tech aluminum alloy frame, certified for high snow (5400 Pa) and wind loads (4000 Pa).



A RELIABLE INVESTMENT

Inclusive 25-year product warranty and 25-year linear performance warranty².

¹ APT test conditions according to IEC / TS 62804-1:2015, method A (-1500V, 96h)

² See data sheet on rear for further information.



THE IDEAL SOLUTION FOR:



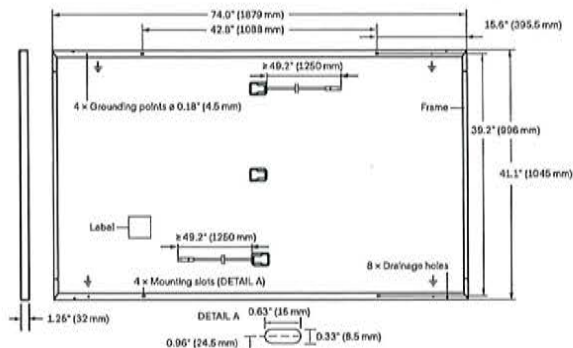
Rooftop arrays on
residential buildings

Engineered in Germany

Q CELLS

MECHANICAL SPECIFICATION

Format	74.0 in × 41.1 in × 1.26 in (including frame) (1879 mm × 1045 mm × 32 mm)
Weight	48.5 lbs (22.0 kg)
Front Cover	0.13 in (3.2 mm) thermally pre-stressed glass with anti-reflection technology
Back Cover	Composite film
Frame	Black anodized aluminum
Cell	6 × 22 monocrystalline Q.ANTUM solar half cells
Junction Box	2.09–3.98 in × 1.26–2.36 in × 0.59–0.71 in (53–101 mm × 32–60 mm × 15–18 mm), IP67, w/ bypass diodes
Cable	4 mm ² Solar cable; (+) ≥ 49.2 in (1250 mm), (–) ≥ 49.2 in (1250 mm)
Connector	Stäubli MC4; IP68

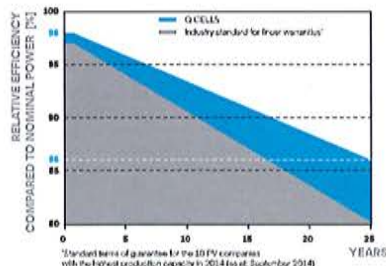


ELECTRICAL CHARACTERISTICS

POWER CLASS		385	390	395	400	405	
MINIMUM PERFORMANCE AT STANDARD TEST CONDITIONS, STC ¹ (POWER TOLERANCE +5 W / -0 W)							
Minimum	Power at MPP ¹	P_{MPP} [W]	385	390	395	400	405
	Short Circuit Current ¹	I_{SC} [A]	11.04	11.07	11.10	11.14	11.17
	Open Circuit Voltage ¹	V_{OC} [V]	45.19	45.23	45.27	45.30	45.34
	Current at MPP	I_{MPP} [A]	10.59	10.65	10.71	10.77	10.83
	Voltage at MPP	V_{MPP} [V]	36.36	36.62	36.88	37.13	37.39
	Efficiency ¹	η [%]	≥ 19.6	≥ 19.9	≥ 20.1	≥ 20.4	≥ 20.6
MINIMUM PERFORMANCE AT NORMAL OPERATING CONDITIONS, NMOT ²							
Minimum	Power at MPP	P_{MPP} [W]	288.8	292.6	296.3	300.1	303.8
	Short Circuit Current	I_{SC} [A]	8.90	8.92	8.95	8.97	9.00
	Open Circuit Voltage	V_{OC} [V]	42.62	42.65	42.69	42.72	42.76
	Current at MPP	I_{MPP} [A]	8.35	8.41	8.46	8.51	8.57
	Voltage at MPP	V_{MPP} [V]	34.59	34.81	35.03	35.25	35.46

¹Measurement tolerances $P_{MPP} \pm 3\%$; I_{SC} ; $V_{OC} \pm 5\%$ at STC: 1000 W/m², 25 ± 2 °C, AM 1.5 according to IEC 60904-3 • ²800 W/m², NMOT, spectrum AM 1.5

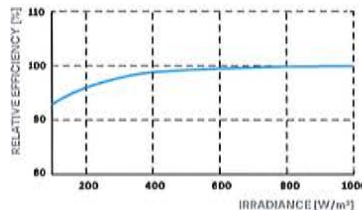
Q CELLS PERFORMANCE WARRANTY



At least 98% of nominal power during first year. Thereafter max. 0.5% degradation per year. At least 93.5% of nominal power up to 10 years. At least 86% of nominal power up to 25 years.

All data within measurement tolerances. Full warranties in accordance with the warranty terms of the Q CELLS sales organisation of your respective country.

PERFORMANCE AT LOW IRRADIANCE



Typical module performance under low irradiance conditions in comparison to STC conditions (25 °C, 1000 W/m²)

TEMPERATURE COEFFICIENTS

Temperature Coefficient of I_{SC}	α [%/K]	+0.04	Temperature Coefficient of V_{OC}	β [%/K]	-0.27
Temperature Coefficient of P_{MPP}	γ [%/K]	-0.34	Nominal Module Operating Temperature	NMOT [°F]	109 ± 5.4 (43 ± 3 °C)

PROPERTIES FOR SYSTEM DESIGN

Maximum System Voltage V_{SYS} [V]	1000 (IEC)/1000 (UL)	PV module classification	Class II
Maximum Series Fuse Rating [A DC]	20	Fire Rating based on ANSI/UL 61730	TYPE 2
Max. Design Load, Push / Pull ³ [lbs/ft ²]	75 (3600 Pa) / 55 (2660 Pa)	Permitted Module Temperature on Continuous Duty	-40 °F up to +185 °F (-40 °C up to +85 °C)
Max. Test Load, Push / Pull ³ [lbs/ft ²]	113 (5400 Pa) / 84 (4000 Pa)		

³ See Installation Manual

QUALIFICATIONS AND CERTIFICATES

UL 61730, CE-compliant.
Quality Controlled PV - TÜV Rheinland,
IEC 61215:2016, IEC 61730:2016,
U.S. Patent No. 9,893,215 (solar cells),
QCPV Certification ongoing.



PACKAGING INFORMATION

Horizontal packaging	76.4 in 1940 mm	43.3 in 1100 mm	48.0 in 1220 mm	1656 lbs 751 kg	24 pallets	24 pallets 32 modules

Note: Installation instructions must be followed. See the installation and operating manual or contact our technical service department for further information on approved installation and use of this product.

Hanwha Q CELLS America Inc.

400 Spectrum Center Drive, Suite 1400, Irvine, CA 92618, USA | TEL +1 949 748 59 96 | EMAIL inquiry@us.q-cells.com | WEB www.q-cells.us

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 8, 2022,

BOT:

ITEM: PZHAC Case #061425 - 2337 Calle De Guadalupe Submitted by Butcho Frieze LLC: To Tear down Existing pergola and replace with new pergola structure using posts in ground with cement. **Zoned:** Historical Commercial (HC)

BACKGROUND AND ANALYSIS: 2337 Calle De Guadalupe Submitted by Butcho Frieze LLC: To Tear down Existing pergola and replace with new pergola structure using posts in ground with cement.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 80.00
 Review Fee \$ 15.00
 Total Fee \$ 95.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104



CASE NO. 061425 ZONE: HC CODE: MISC APPLICATION DATE: 6-24-22

Name of Property Owner: Butcho Fretze, LLC Property Owner's Telephone Number: 915-313-1973 or 575-649-6916
 Property Owner's Mailing Address: PO Box 358 City: MESILLA PARK State: NM Zip Code: 88047
 Property Owner's E-mail Address: eandtmanagementllc@gmail.com

Contractor's Name & Address (If none, indicate Self): Stefina Landscape + Design
 Contractor's Telephone Number: 602-377-0136 Contractor's Tax ID Number: 82-3352262 Contractor's License Number: 393805

Address of Proposed Work: 2337 Calle de Guadalupe (Galeria Azul)

Description of Proposed Work: Tear down existing pergola and replace with new pergola structure using 6" diameter posts into ground with cement and matching crossbeams with 2.5"-4" round posts for latillas similar to structure in front of Town Hall.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. n/a Foundation plan with details.
4. n/a Floor plan showing rooms, their uses, and dimensions.
5. n/a Cross section of walls.
6. n/a Roof and floor framing plan.
7. Proof of legal access to the property.
8. n/a Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. n/a Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

Estimated Cost: \$2,500.⁰⁰ Signature of Applicant: [Signature] Date: 6/24/22

Application Fee is due at time of submittal. **Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit.** All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO
 CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

TOWN OF MESILLA

575-524-3262

***** R E P R I N T R E C E I P T*****

REC#: 00182382 6/27/2022 11:14 AM
OPER: UTCLK TERM: 001
REF#: 1337

TRAN: 110.0000 PERMITS/INSPECTIONS
061424 63.00CR
SANCHEZ, TERESA
2755 CALLE DE SAN ALBINO
BLD 63.00CR

TRAN: 110.0000 PERMITS/INSPECTIONS
061425 95.00CR
SANCHEZ, TERESA
2337 CALLE DE GUADALUPE
BLD 95.00CR

TRAN: 110.0000 PERMITS/INSPECTIONS
061426 118.00CR
SANCHEZ, TERESA
2738 AVENIDA DE MESILLA
BLD 118.00CR

TENDERED: 276.00 CHECK
APPLIED: 276.00-

CHANGE: 0.00

Pay Online: www.mesillanm.gov

- [Account Search](#)
- [View Created Report\(s\)](#)
- [Help?](#)
- [Logout Public](#)

Legal Ownership

Account: R0400321 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.

Location

Situs Address 2337 CALLE DE GUADALUPE
 Deed Holder
 Tax Area 2DIN_NR - 2DIN_NR
 Parcel Number 4-006-137-239-434
 Legal Summary S: 25 T: 23S R: 1E MAP 11A TR 36 CALLE DE SAN ALBINO
 Neighborhood S11 - MESILLA

Owner Information

Owner Name BUTCHO FRIETZE LLC
 Owner Address PO BOX 358
 MESILLA PARK , NM 88047

Assessment History

Actual (2022) \$86,728
 Primary Taxable \$28,909
 Tax Area: 2DIN_NR Mill Levy: 27.763000
 Type Actual Assessed SQFT
 Non-Residential Land \$55,825 \$18,608 7975.000
 Non-Residential Improvement \$30,903 \$10,301 1974.000

Transfers

Record Sequence	Reception Number	Book Page	Sale Date	Grantor	Grantee	Doc Type	Parcel Number
10	1730022		12/12/2017	SANCHEZ, ERIC L	BUTCHO FRIETZE LLC	A3	4006137239434
9	2100493		12/29/2020	SANCHEZ, ERIC L	SANCHEZ, ERIC L	A1	4006137239434
8	1720532		08/25/2017	SANCHEZ, ERIC L	SANCHEZ, ERIC L	A3	4006137239434
7	02475		01/04/2002	FRIETZE, ROBERTO L ETAL FRIETZE, ELIZA F ETAL	SANCHEZ, ERIC L ETUX	A2	4006137239434
6	02474		01/04/2002	FRIETZE, ROBERTO L ETAL FRIETZE, ELIZA F ETAL	SANCHEZ, ERIC L ETUX	A1	4006137239434
5	0129411		11/19/2001	FRIETZE, ROBERTO L ETUX	SANCHEZ, ERIC L ETUX	A2	4006137239434
4	0027406		12/08/2000	FRIETZE, ROBERTO L ETUX	FRIETZE, ROBERTO L-TRSTE-ETAL ROBERTO & ELIZA FRIETZE TR ETAL	A1	4006137021459
3	0027407		12/08/2000	FRIETZE, ROBERTO-TRSTE-ETAL FRIETZE, TIBURCIO R-EST-ETAL	FRIETZE, ROBERTO L	A1	4006137021459
2	9827712		10/28/1998	FRIETZE, TIBURCIO R	FRIETZE, TIBURCIO R-TRSTE-ETAL TIBURCIO R FRIETZE TRUST ETAL	A1	4006137021459
1	BK 141 PG 429					Conversion	4006137239434

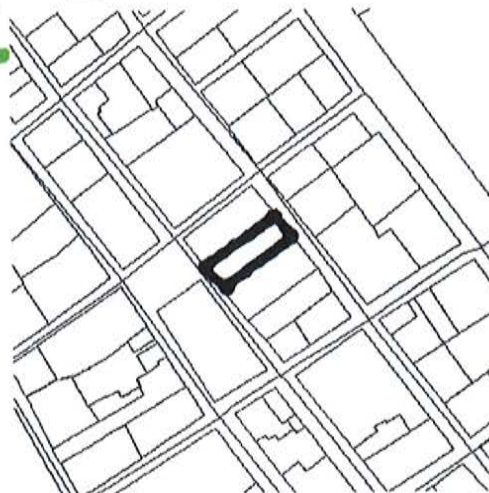
Images

- Photo
- Sketch
- GIS

Tax Year

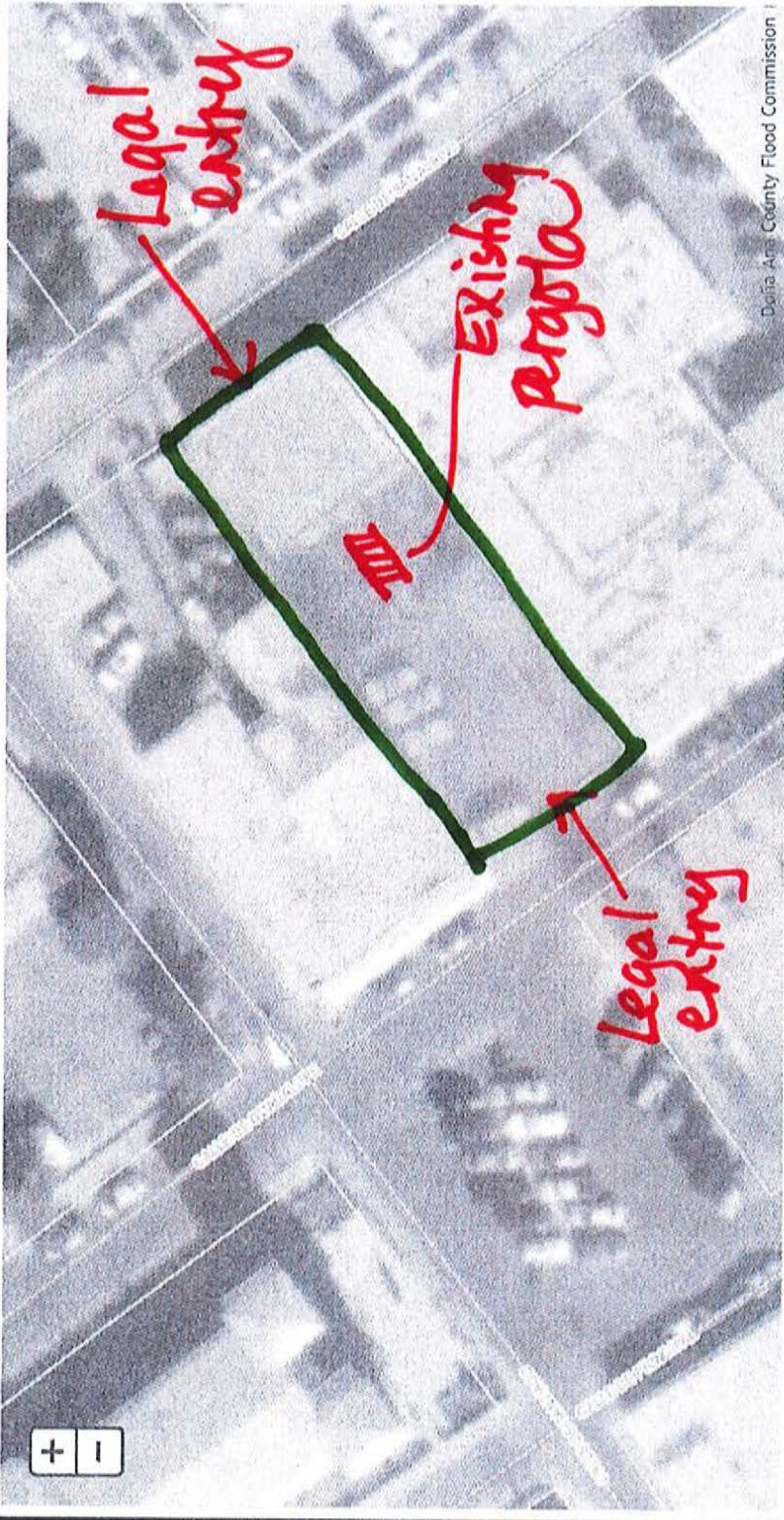
Taxes
 *2022 \$839.28
 2021 \$839.28

* Estimated



Doña Ana County, NM Parcel Map

Leticia Durze Benavidez, County Assessor



Doña Ana County Flood Commission

Map Legend

Map Layers

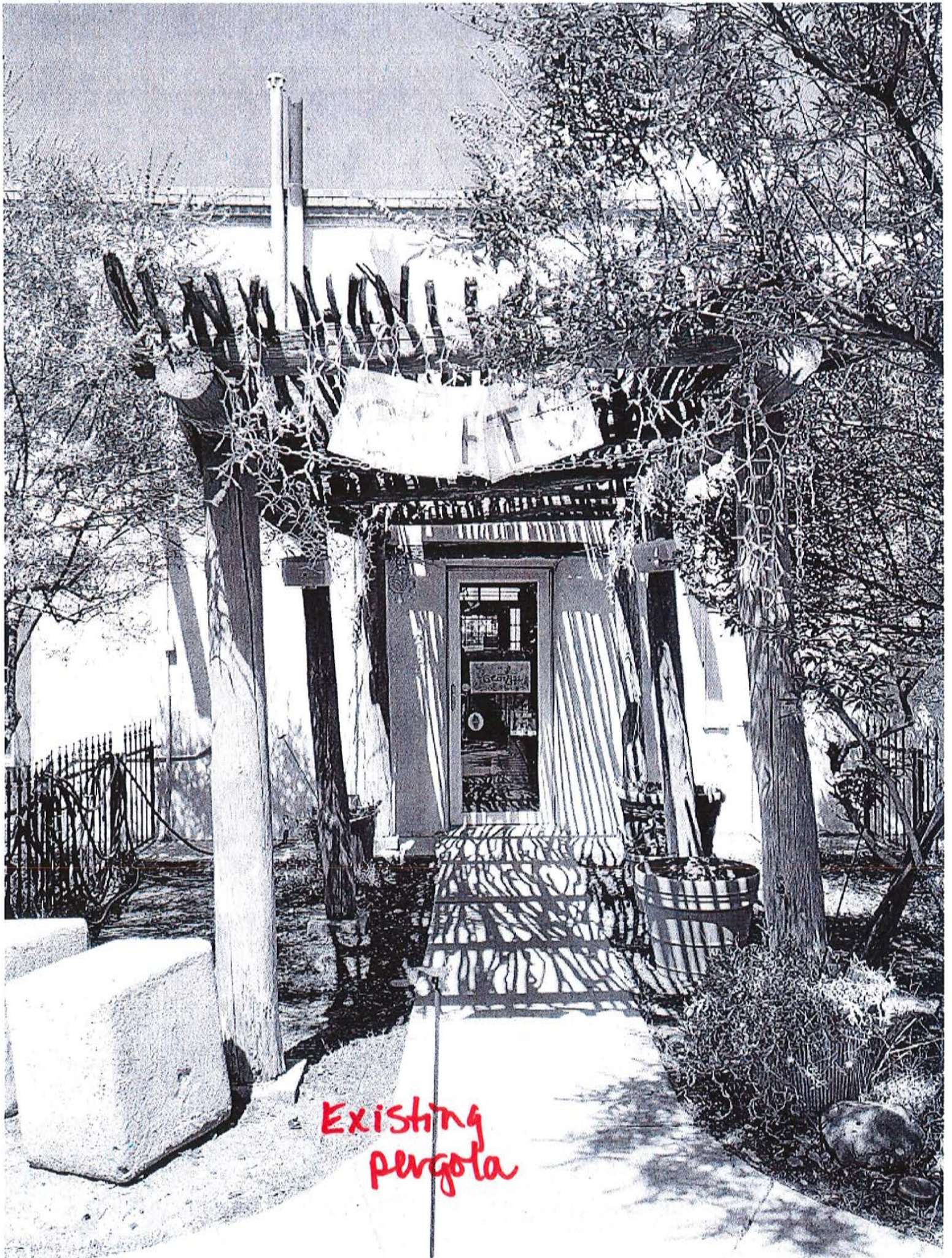
Layer Visibility:

- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

Select Search Type:
Account Number ▼

Enter Value:
R0400321

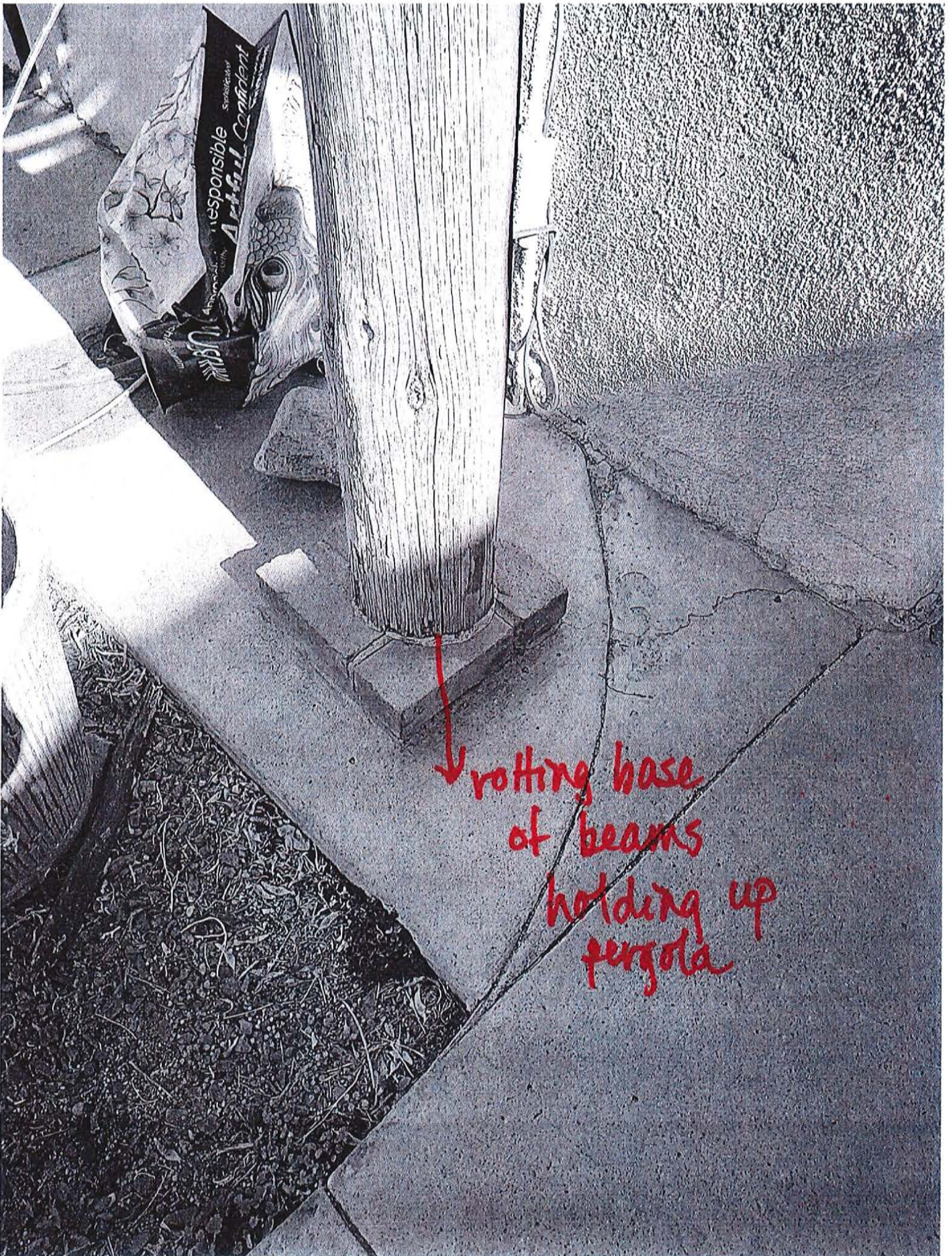
Account Number	Parcel Number	Owner	Mail Address	Subdivision	Property Address
R0400321	4006137239434	BUTCHO FRIETZE LLC	PO BOX 358		2337 CALLE DE GUADALUPE



Existing
pergola



Rolled
crossbeam
on
pergola



rotting base
of beams
holding up
pergola



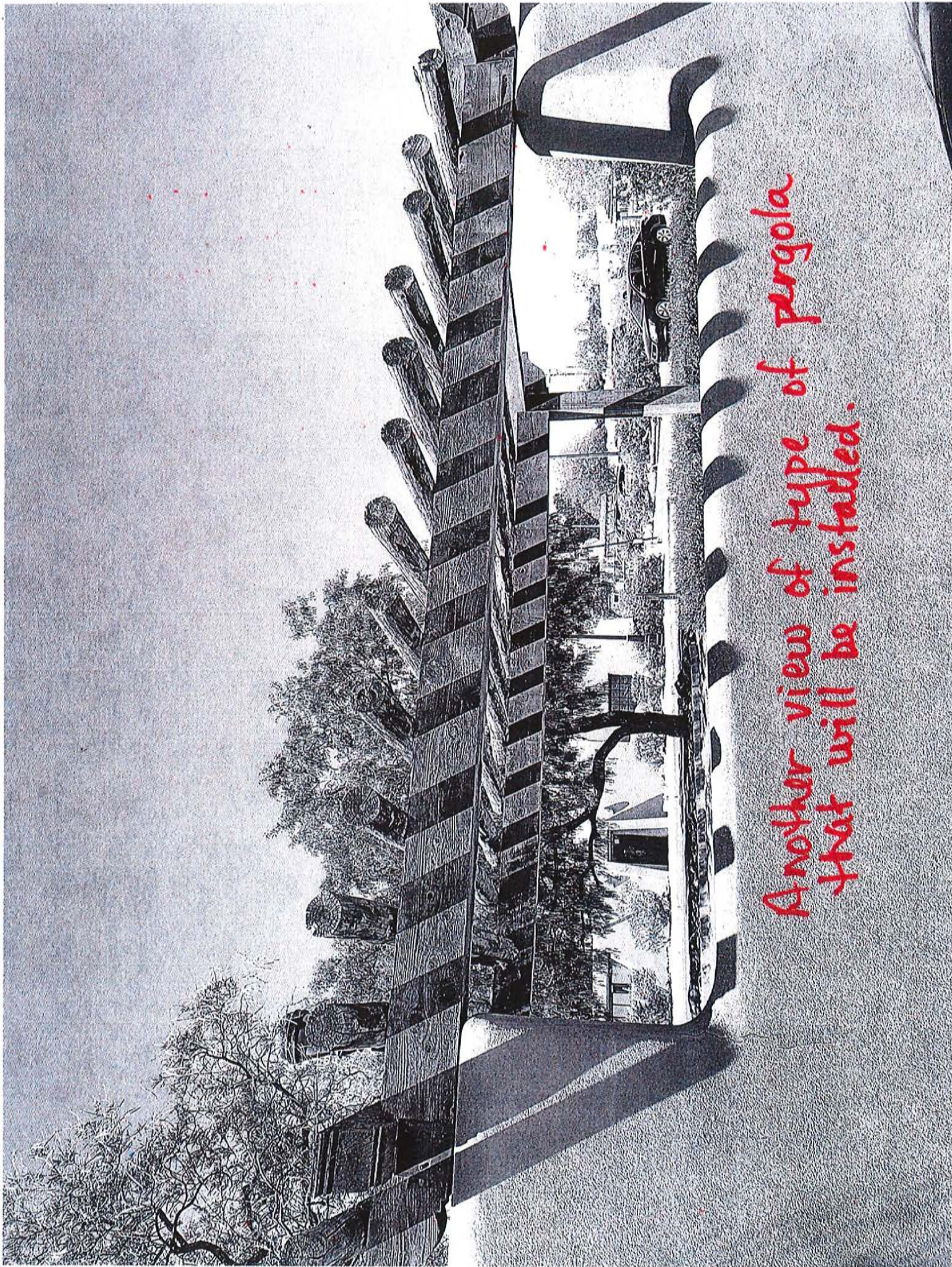
A

rotting wood
from pergola



Sample of type of pergola
that will be installed.

We will use 4x4 wood square
posts for beams into ground
and crossbeams. Round 3-4"
posts will be used across top.
Wood posts 2' into ground secured with concrete.



Another view of type of pergola that will be installed.

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 8, 2022,

BOT:

ITEM: PZHAC Case #061426- 2738 Highway 28 (Avenida De Mesilla) Remove existing chain link fence and replace with a 6 foot wood picket fence with 5 1/2 wide pickets and pressure treated 4x4 posts put 2" into ground with concrete for stability. **Zoned: Historical Residential (HR)**

BACKGROUND AND ANALYSIS: 2738 Highway 28 (Avenida De Mesilla) Remove existing chain link fence and replace with a 6 foot wood picket fence with 5 wide pickets and pressure treated 4x4 posts put 2" into ground with concrete for stability.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
APPLICATION FOR BUILDING PERMIT

Permit Fee \$ 118.00
 Review Fee \$ 100.00
 Total Fee \$ 18.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. De1426 ZONE: HR CODE: MI APPLICATION DATE 6/24/22



Name of Property Owner ETUSS 2, LLC Property Owner's Telephone Number 915-313-1973 or (575-649-6916)

Property Owner's Mailing Address PO Box 358 City MESILLA PARK State NM Zip Code 88247

Property Owner's E-mail Address eandtmanagementllc@gmail.com

Contractor's Name & Address (If none, indicate Self) Sletina Landscape + Design

Contractor's Telephone Number 602-377-0136 Contractor's Tax ID Number 82-3352262 Contractor's License Number 393805

Address of Proposed Work: 2738 Highway 28 (Avenida de Mesilla)

Description of Proposed Work: Remove existing chain link fence and replace with 6 foot high wood picket fence with 5 1/2" wide pickets and pressure treated 4x4 posts put 2' into ground with concrete for stability.

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses, and dimensions.
5. Cross section of walls.
6. Roof and floor framing plan.
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the Town Code or Community Development Department.

Estimated Cost \$4,000.00 Signature of Applicant [Signature] Date 6/24/22

Application Fee is due at time of submittal. Apart from administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a building permit. All Building permits expire after one year from date issued.

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED / DENIED BY: _____ ISSUE DATE: _____

TOWN OF MESILLA

575-524-3262

***** REPRINT RECEIPT*****

REC#: 00182382 6/27/2022 11:14 AM
OPER: UTCLK TERM: 001
REF#: 1337

TRAN: 110.0000 PERMITS/INSPECTIONS
061424 63.00CR
SANCHEZ, TERESA
2755 CALLE DE SAN ALBINO
BLD 63.00CR

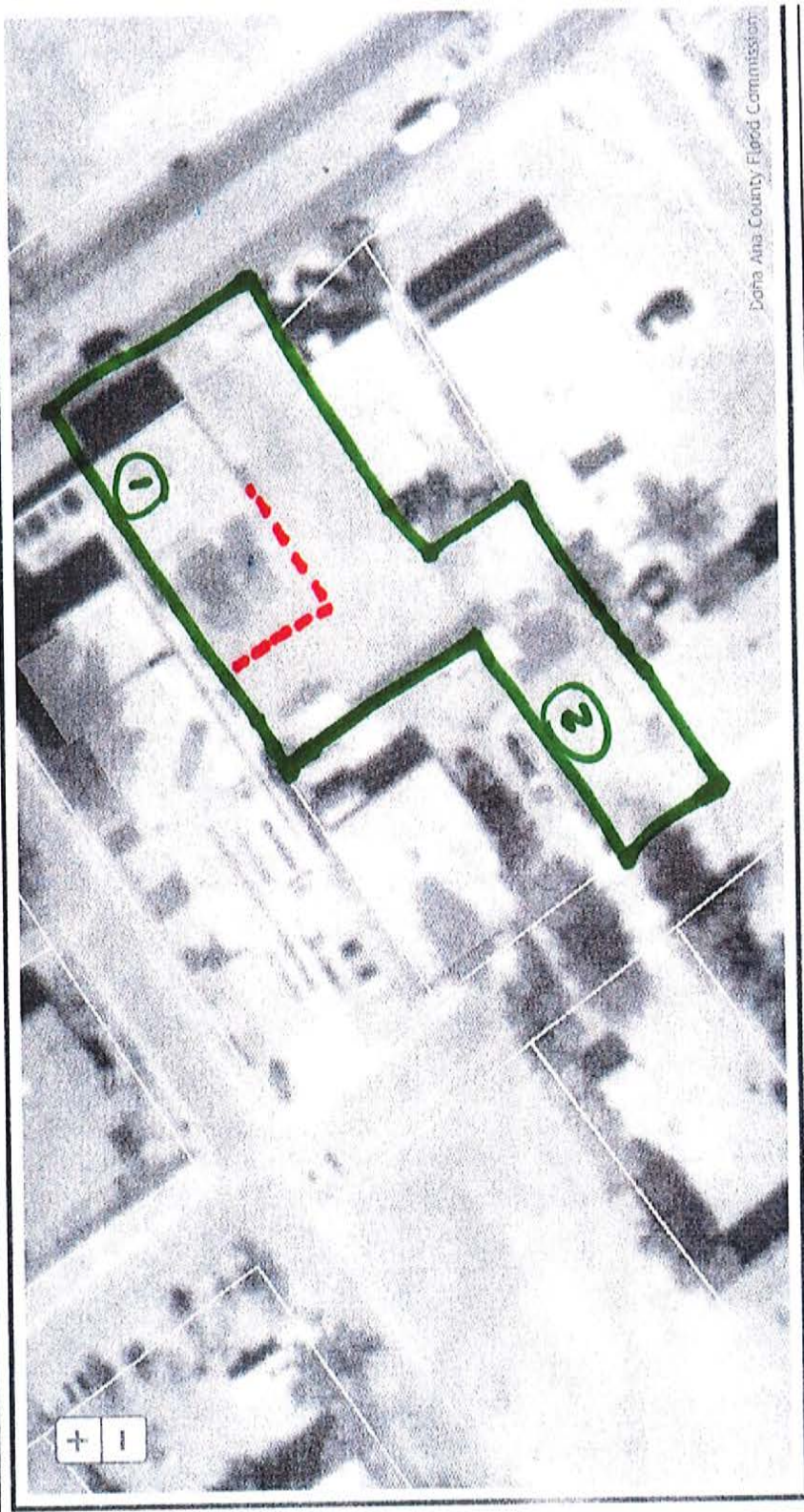
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061425 95.00CR
SANCHEZ, TERESA
2337 CALLE DE GUADALUPE
BLD 95.00CR

TRAN: 110.0000 PERMITS/INSPECTIONS
061426 118.00CR
SANCHEZ, TERESA
2738 AVENIDA DE MESILLA
BLD 118.00CR

TENDERED: 276.00 CHECK
APPLIED: 276.00-

CHANGE: 0.00

Pay Online: www.mesillanm.gov



Map Legend

- Map Layers
- Layer Visibility:
- Roads
 - Buildings
 - City Limits
 - MLS Zones
 - Address Labels
 - 2014 Aerial Photo
 - Parcels

Select Search Type:
Account Number ▾

Enter Value:
R0400393

Search

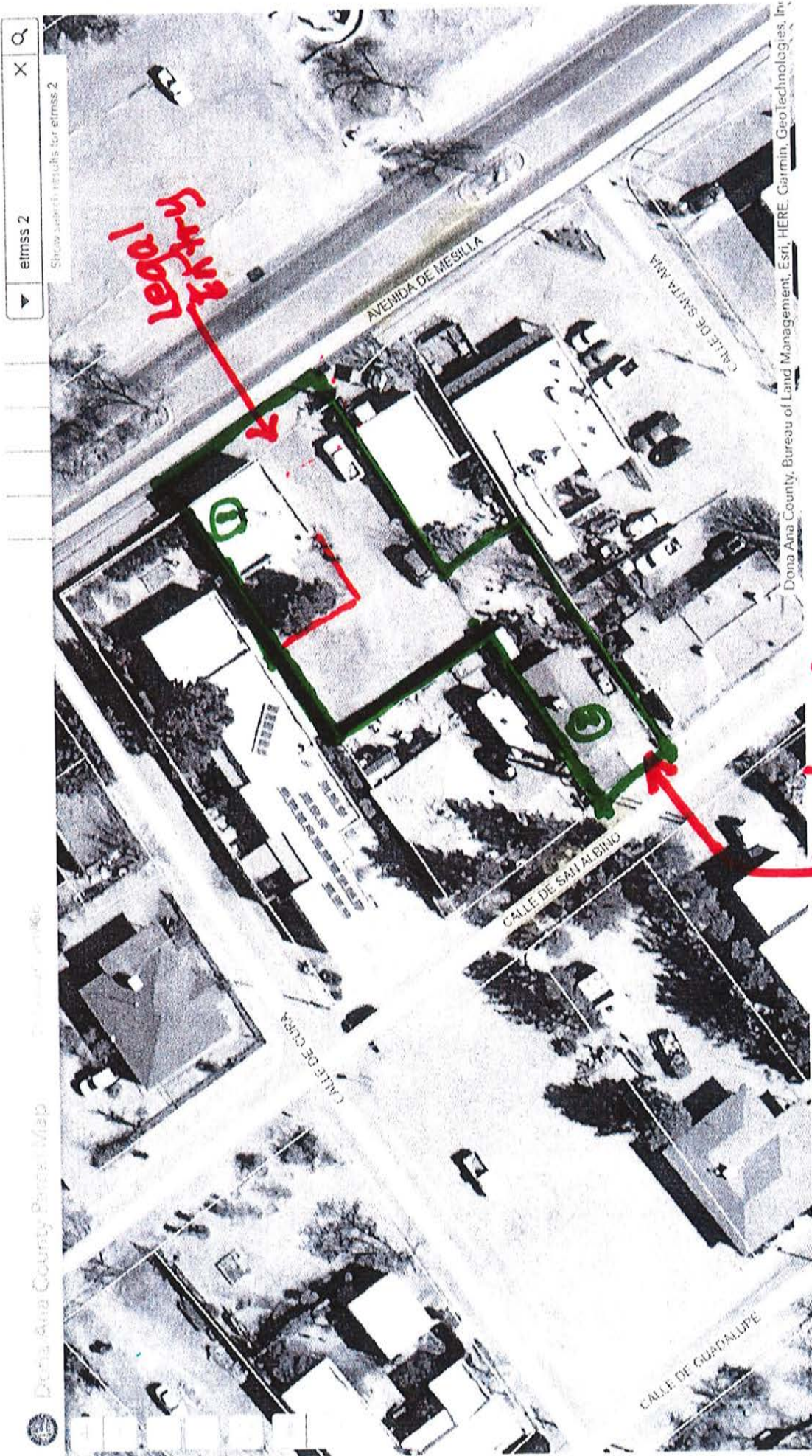
Account Number R0400393	Parcel Number 4006137329512	Owner ETMSS 2 LLC	Mail Address PO BOX 358	Subdivision	Property Address 2755 CALLE DE SAN ALBINO
----------------------------	--------------------------------	----------------------	----------------------------	-------------	--

This property has 2 houses and 2 addresses.

① 2738 Highway 28 (Avenida de Mesiqua)

② 2755 Calle de San Albino

— Proposed new fence.



Dona Ana County, Bureau of Land Management, Esri, HERE, Garmin, GeoTechnologies, Inc.

Legal Entry

Legal Entry

— Existing chain link fence.



- [Account Search](#)
- [View Created Report\(s\)](#)
- [Help?](#)
- [Logout Public](#)

Proof of Ownership

Account: R0400393 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.

<u>Location</u>	<u>Owner Information</u>	<u>Assessment History</u>
Situs Address 2755 CALLE DE SAN ALBINO	Owner Name ETMSS 2 LLC	Actual (2022 - Residential Cap applied) \$103,618
Deed Holder	Owner Address PO BOX 358	Primary Taxable \$34,539
Tax Area 2DIN_R - 2DIN_R	MESILLA PARK , NM 88047	Tax Area: 2DIN_R Mill Levy:
Parcel Number 4-006-137-329-512		23.490000
Legal Summary S: 25 T: 23S R: 1E BRM 11A TR 6B1		
Neighborhood S11 - MESILLA		
		Type Actual Assessed SQFT Units
		Residential Land \$35,394 \$11,798 10454.000 1.000
		Residential Improvement \$68,224 \$22,741 1674.000

Transfers

Record Sequence	Reception Number	Book Page	Sale Date	Grantor	Grantee	Doc Type	Parcel Number
7	1730025		12/12/2017	<u>SANCHEZ, ERIC L</u>	<u>ETMSS 2 LLC</u>	A3	4006137329512
6	1720531		08/25/2017	<u>SANCHEZ, TERESA V</u>	<u>SANCHEZ, ERIC L</u>	A3	4006137329512
5	1419331			<u>SANCHEZ, TERESA V ROBERTO L FRIETZE AND ELIZA F FRIETZE TRUST</u>	<u>SANCHEZ, TERESA V</u>	A3	4006137132512
4	1324429			<u>FRIETZE, ELIZA F ROBERTO L FRIETZE AND ELIZA F FRIETZE REVOCABLE TRUST</u>	<u>FRIETZE, ELIZA F ROBERTO L FRIETZE AND ELIZA F FRIETZE TRUST</u>	A3	4006137132512
3	0027406		12/08/2000	<u>FRIETZE, ROBERTO L ETUX</u>	<u>FRIETZE, ROBERTO L -TRSTE-ETAL FRIETZE, ELIZA F-TRSTE-ETAL ROBERTO & ELIZA FRIETZE TR ETAL</u>	A1	4006137021459
2	0027407		12/08/2000	<u>FRIETZE, ROBERTO -TRSTE-ETAL FRIETZE, TIBURCIO R-EST-ETAL</u>	<u>FRIETZE, ROBERTO L</u>	A1	4006137021459
1	9827712		10/28/1998	<u>FRIETZE, TIBURCIO R</u>	<u>FRIETZE, TIBURCIO R -TRSTE-ETAL TIBURCIO R FRIETZE TRUST ETAL</u>	A1	4006137021459

Images

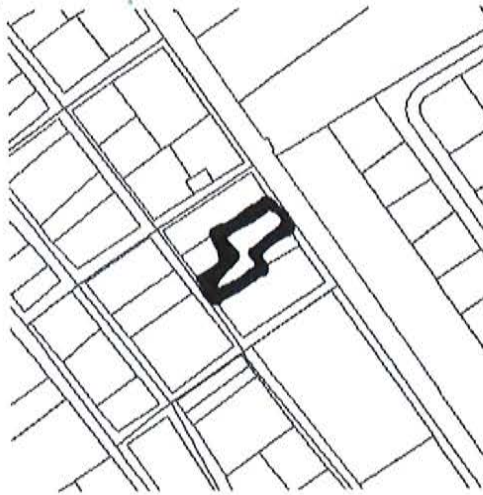
- [Photo](#)
- [Sketch](#)
- [GIS](#)

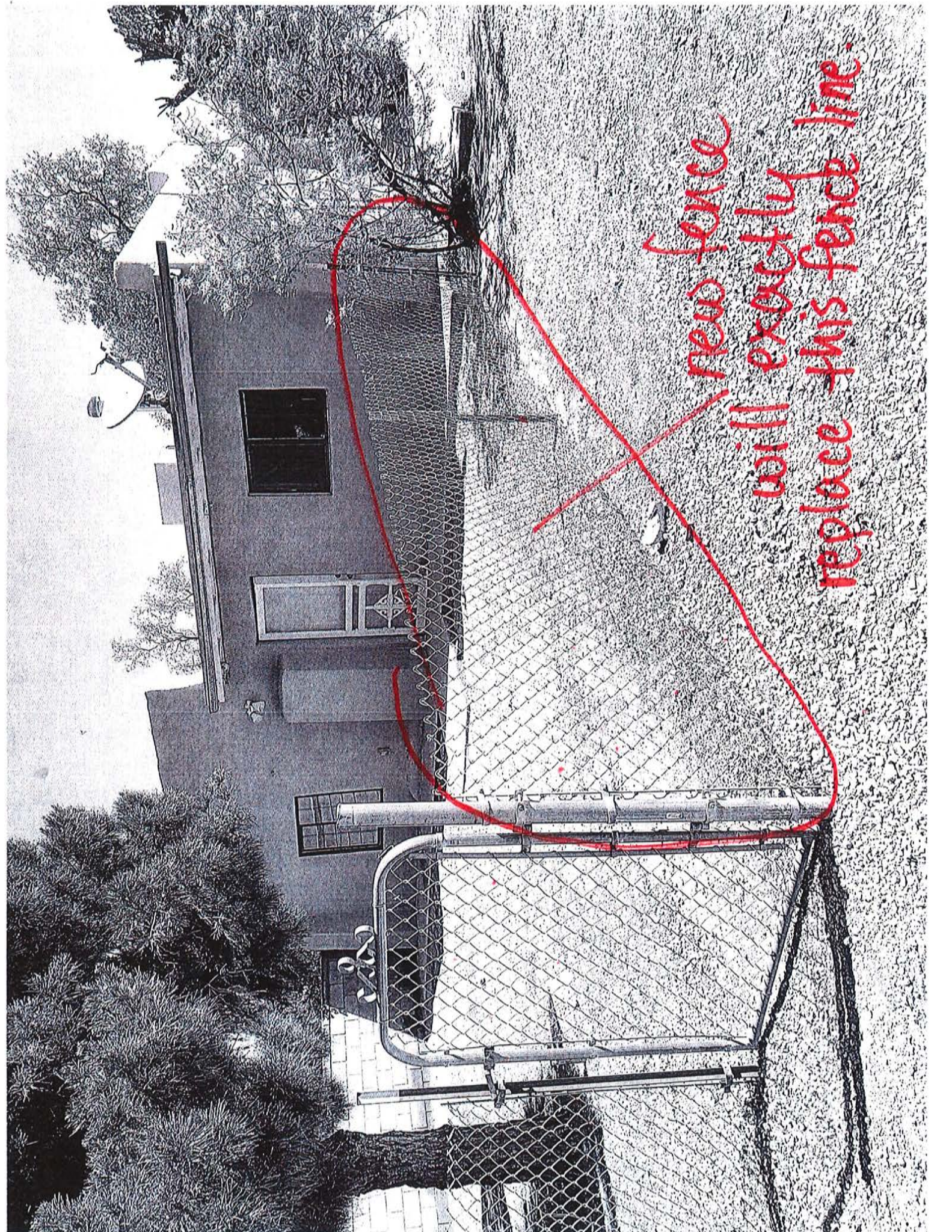
Tax Year

Taxes

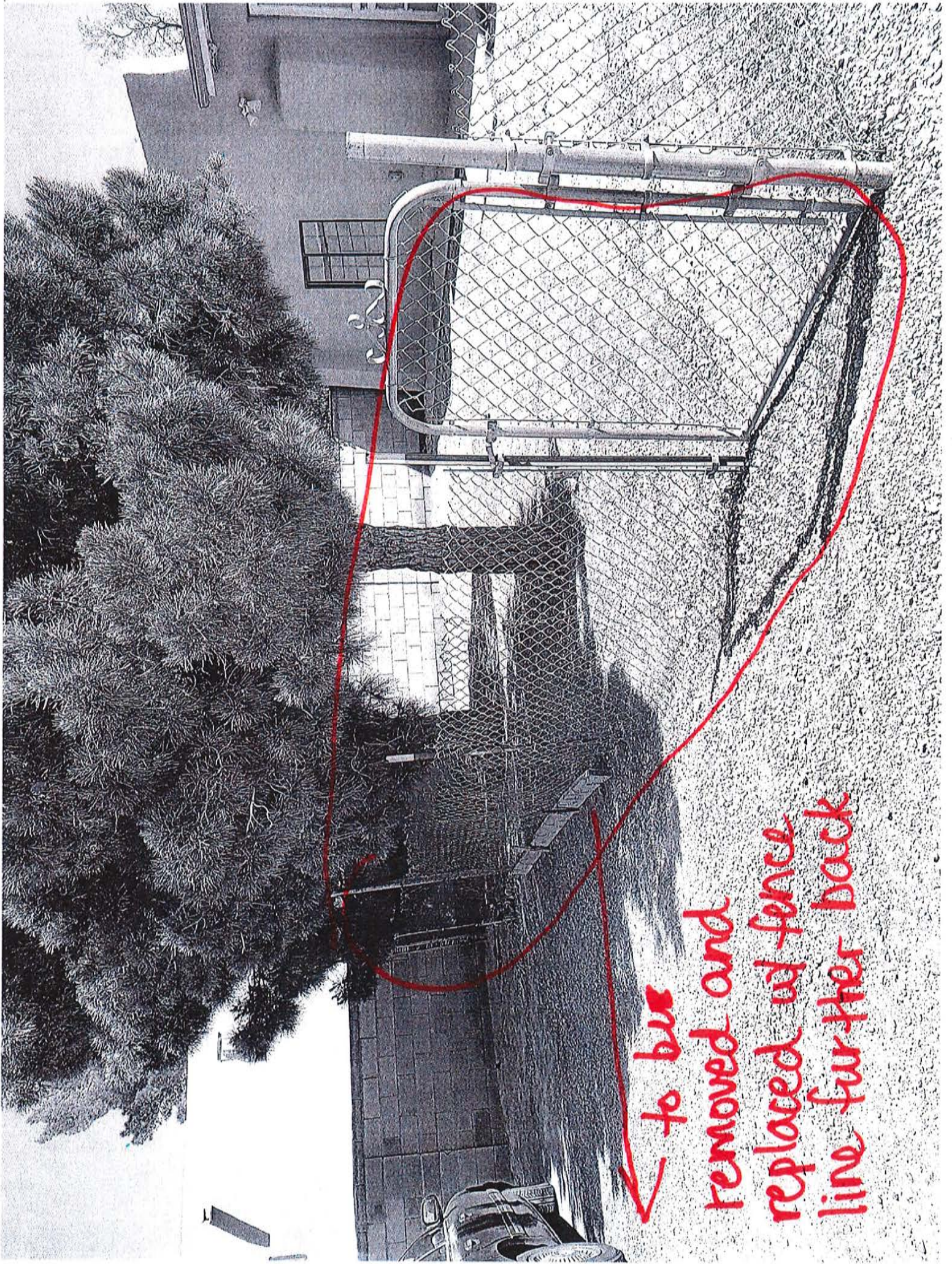
*2022	\$855.12
2021	\$830.20

* Estimated





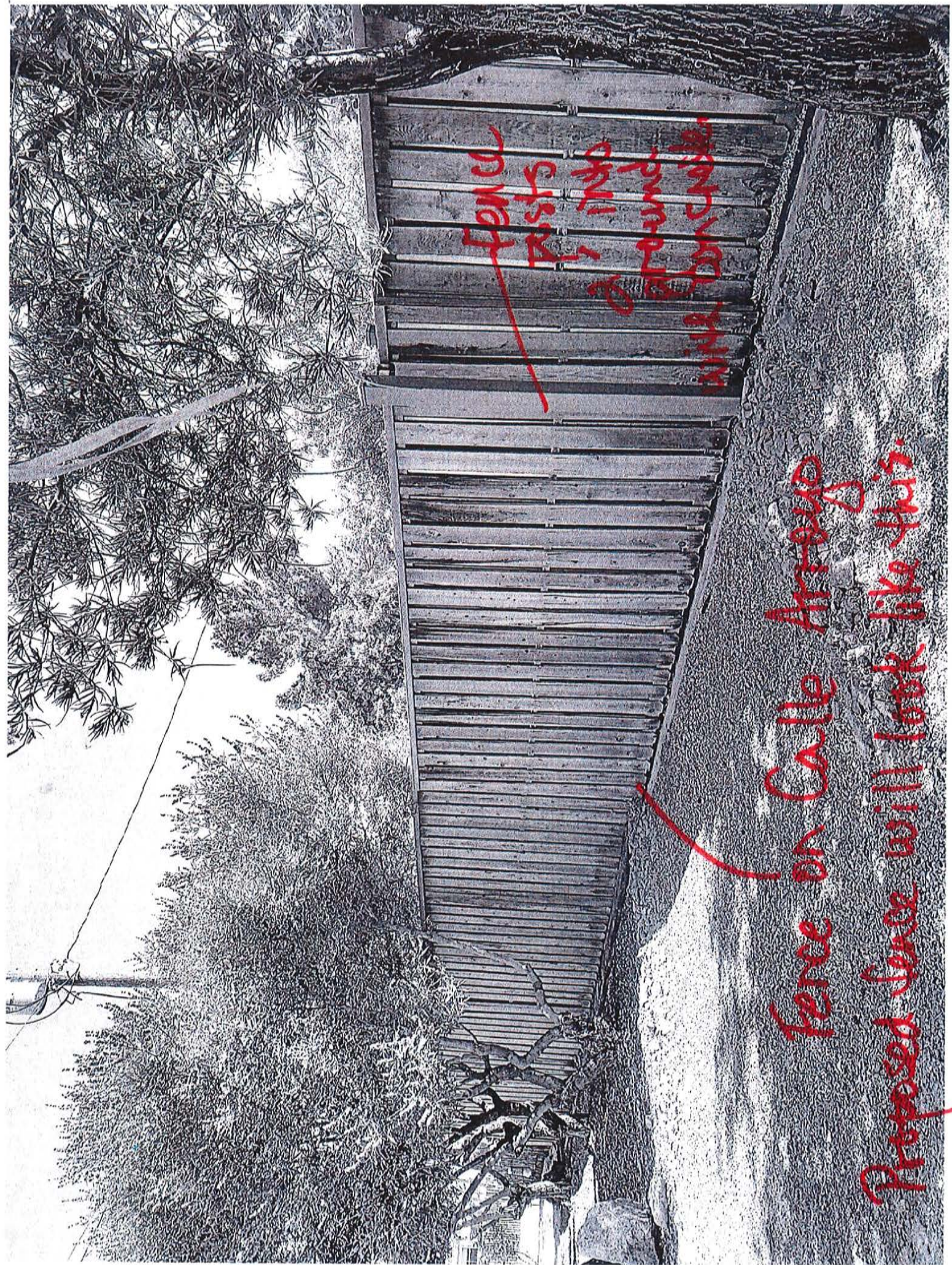
*new fence
will exactly
replace this fence line*



← to bus
Removed and
replaced w/ fence
line further back



new fence
will intersect here



Fence
Posts
& rails
around
with concrete

Fence on Calle Arroyo
Proposed fence will look like this.

Stetina Landscape & Design LLC

Quote

Las Cruces, NM
 tommystetina@yahoo.com
 Phone: 602 377 0136

Date June 17, 2022
 Quote # 127

Bill To:
 E&T Management, LLC
 2738 Highway 28
 Mesilla, NM

Prepared by: Thomas Stetina
 License # 393805
 Insured & Bonded

Description	AMOUNT
Removal of chain link fence	\$ 450.00
Install 75 linear foot picket fence and seal: Includes, delivery of panels; Installing up to 11 4x4 posts with concrete and installing 10 pre fab panels and sealing both sides with 1 coat of Thompsons water seal and isntalling 1 gate made to match fence. *not including price of lumber (other material and labor included)	\$ 2,150.00
10 prefab wood picket panels pressure treated cedar with 5 1/2" wide pickets. Panels to be 8 foot long and 6 foot high. 11 4x4 posts of pressure treated wood that will be 8 foot long. Adjust-a-Gate frame kit for wood picket panel gate. This price may increase if lumber costs go up before project begins.	\$ 1,025.00
Tax 8.3125%	\$ 301.33
TOTAL	\$3,926.33

Comments or special instructions: Price may vary depending on unforeseen obstacles or changing in material prices from quote date to job completion.

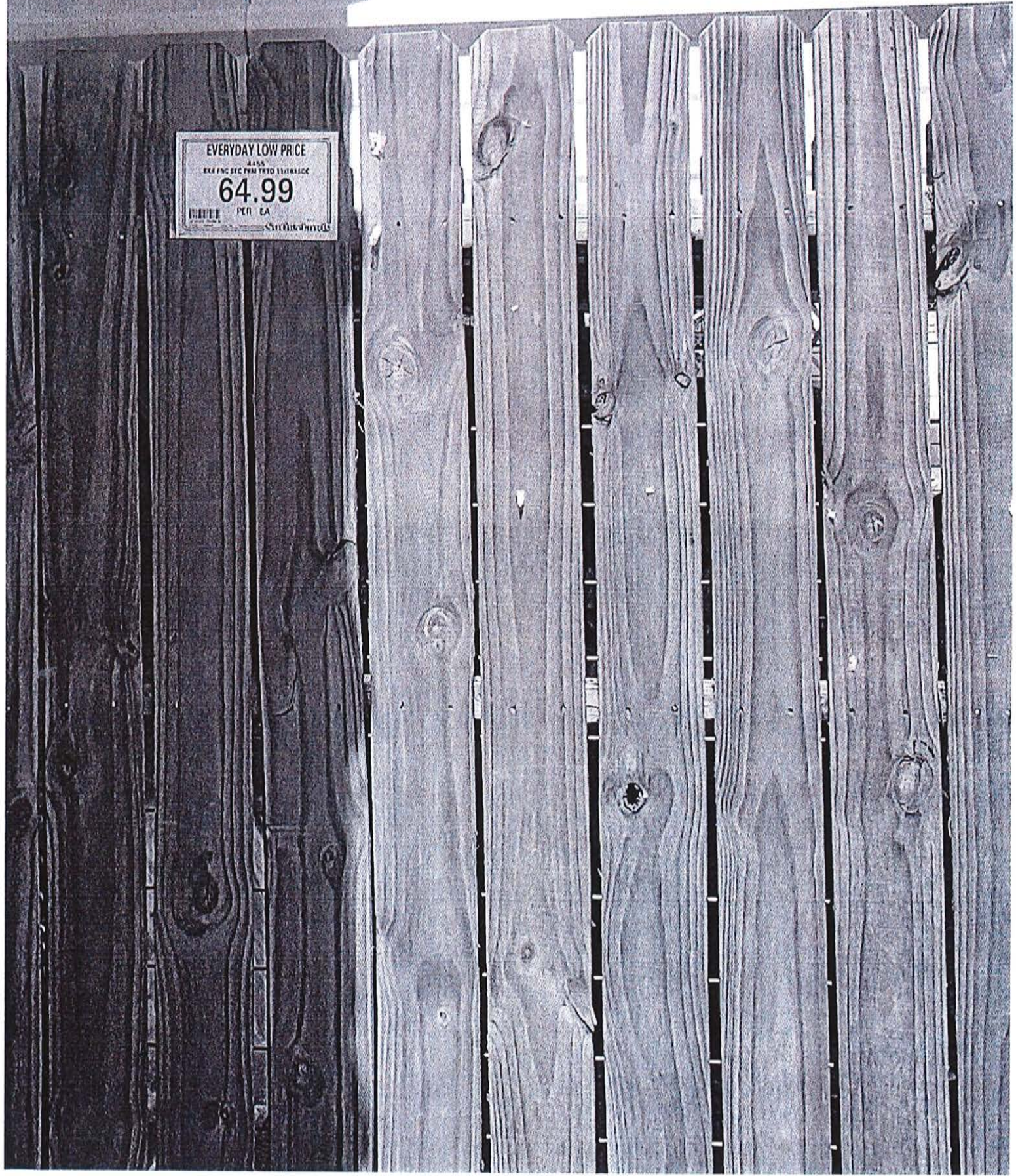
If you have any questions concerning this quote, please contact Thomas Stetina @ 602 377 0136

Tax is not included in quote but will be added to final bill.

THANK YOU FOR YOUR BUSINESS!

* Estimate is good for 2 weeks.

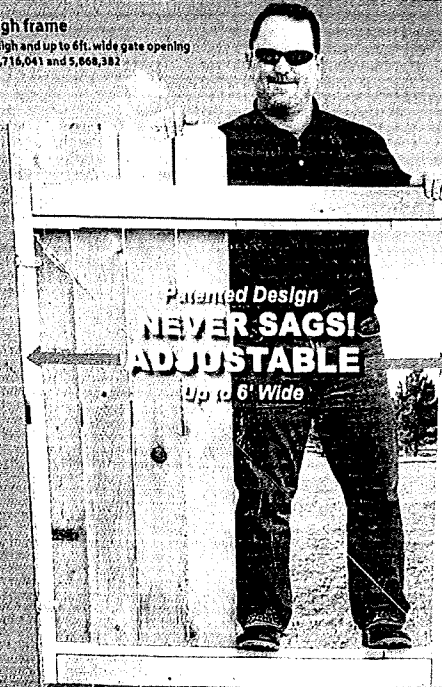
EVERYDAY LOW PRICE
4455
SEE FNC SIG FROM TRYS 1318RAGE
64.99
PER EA
SUNSHINE



ADJUST-A-GATE™ GATE FRAME KIT

Fits 4ft. - 6ft. High x Up to 6ft. Wide

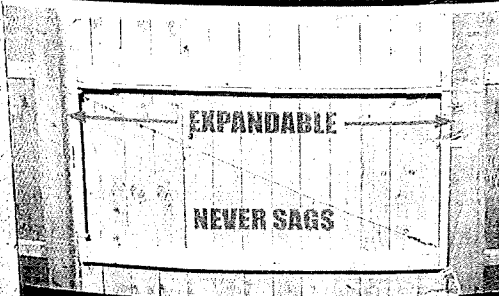
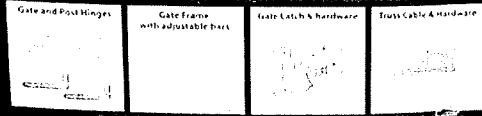
45in. high frame
4ft. - 6ft. High and up to 6ft. wide gate opening
Patent # 5,716,041 and 5,668,382



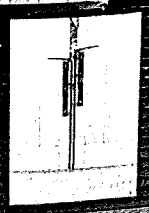
Patented Design
NEVER SAGS!
ADJUSTABLE
Up to 6' Wide

Works for any 4ft. - 6ft. high gate
with an opening up to 6ft. wide

Includes:



- Heavy-duty steel frame
- Perfect for building new or repairing existing gates
- Unique, Patented design will never sag or drag
- Simple, step-by-step instructions
- Use 2 kits to build a double-drive gate (also sold separately in stores)



Stetina Landscape & Design LLC

Quote

Las Cruces, NM
 tommystetina@yahoo.com
 Phone: 602 377 0136

Date June 17, 2022
 Quote # 125

Bill To:
 E&T Management, LLC (Galeria Azul)
 2337 Calle de Guadalupe
 Mesilla, NM

Prepared by: Thomas Stetina
 License # 393805
 Insured & Bonded

Description	AMOUNT
Remove entrance pergola and dispose of lumber (labor only)	\$ 600.00
Install similar looking entrance using 6" diameter posts and cross beams and 2.5"-4" latillas, attached to building wall for extra strength/durability and posts put into ground with concrete(material and labor included); This amount includes some additional amount for the expected lumber price increases while we wait. If the lumber is less, this savings will be passed on to customer.	\$ 1,705.00
Tax 8.3125%	\$ 191.60
TOTAL	\$2,496.60

Comments or special instructions: Price may vary depending on unforeseen obstacles or changing in material prices from quote date to job completion.

If you have any questions concerning this quote, please contact Thomas Stetina @ 602 377 0136

Tax is not included in quote but will be added to final bill.

THANK YOU FOR YOUR BUSINESS!

* Estimate is good for 2 weeks.

BOARD ACTION FORM

AGENDA DATE

PZHAC: July 8, 2022,

BOT:

ITEM: PZHAC Case #061383 – 2171 Calle de Parian, submitted by Albert Fountain, Repairs and Replacements on dwelling. **Zoned: Historical Commercial (HC)**

BACKGROUND AND ANALYSIS: Where needed: Repair and repaint Walls, Repair and replace flooring, plumbing and electrical, Repair and replace fixtures and equipment

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061383

Fee \$ 302.00

*Fee \$260.00
Return \$42.00*

**PERMISSION TO CONDUCT WORK
OR**

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

RECEIVED
5/4/22

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

ALBERT FOUNTAIN 575-496-1813

Name of Property Owner _____ Property Owner's Telephone Number _____

PO BOX 8 MESILLA NM 88046

Property Owner's Mailing Address _____ City _____ State _____ Zip Code _____

albiefontain@yahoo.com

Property Owner's E-mail Address _____

Contractor's Name & Address (If none, indicate Self) self - subcontractors will be responsible for CID requirements

Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2171 CALLE de PARIAN

Description of Proposed Work: where needed: repair + repaint walls
repair + replace floor covering, plumbing +
electrical repair, replace fixtures + equipment

\$ 20,000 Albert Fountain 5-4-22

Estimated Cost _____ Signature of Applicant _____ Date _____

Signature of property owner: Albert Fountain

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

MsSILIA
575-524-3262



REC#: 00182400 6/28/2022 3:59 PM
OPER: UTCLIK TERM: 001
HEF#: 1194

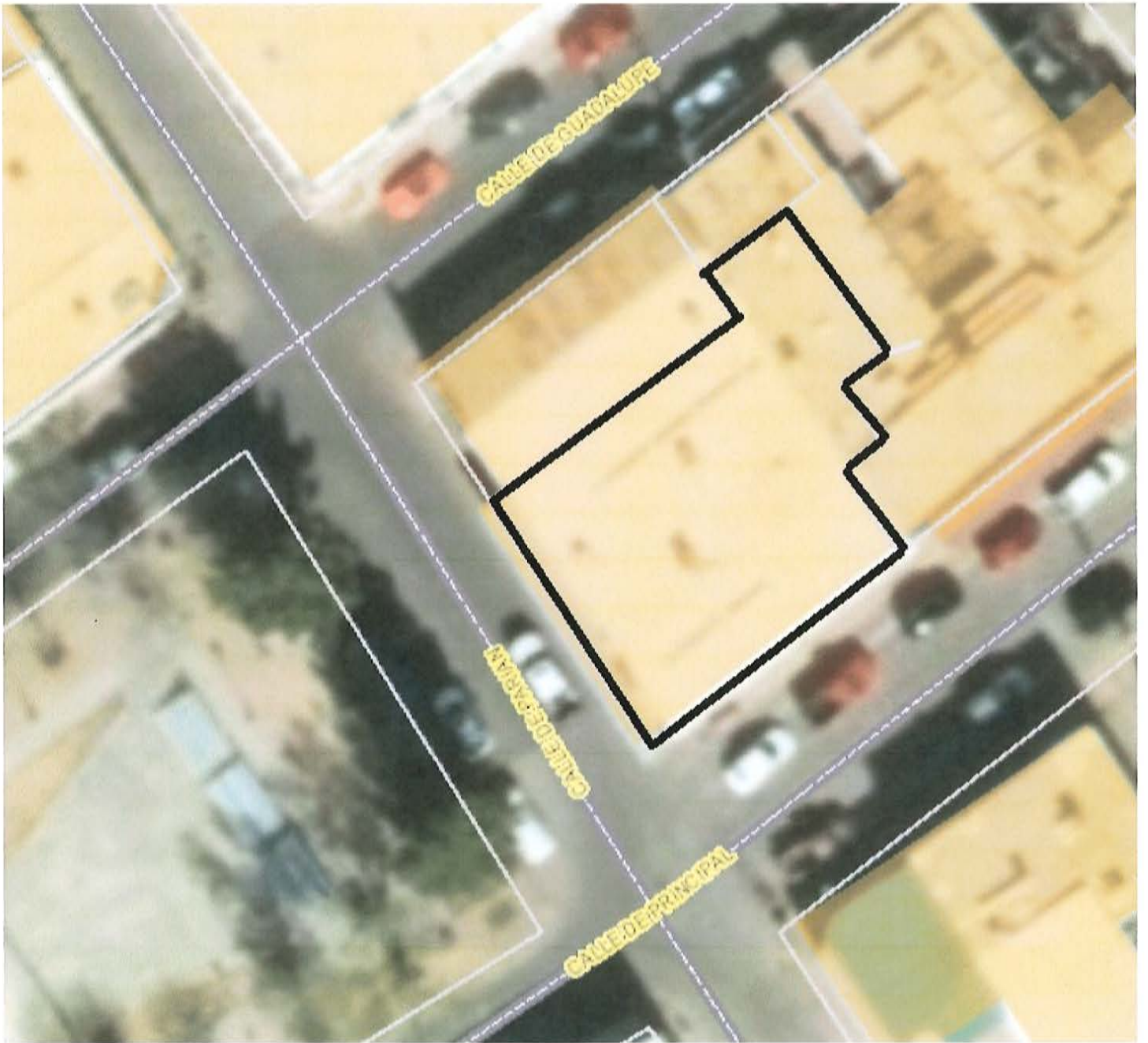
TRAN: 110.0000 PERMITS/INSPECTIONS
061383 302.00CR
FOUNTAIN, ALBERT
2171 CALLE DE PARIAN
BLD 302.00CR

TENDERED: 302.00 CHECK
APPLIED: 302.00-

CHANGE: 0.00

Pay Online: www.mesillanm.gov





Location

Situs Address 2171 CALLE DE PARIAN
Deed Holder
Tax Area 2DIN_NR - 2DIN_NR
Parcel Number 4-006-137-240-464
Legal Summary S: 25 T: 23S R: 1E PT OF USRS TR 11A-66-69

Neighborhood S11 - MESILLA

Owner Information

Owner Name FOUNTAIN ALBERT J III
Owner Address PO BOX 8
MESILLA, NM 88046

Transfers

Record Sequence	Reception Number	Book Page	Sale Date	Grantor
<u>3</u>	<u>0028265</u>		<u>12/20/2000</u>	<u>FOUNTAIN,ALBERT J III-PR-ETAL,JOHNSON,BARBARA A-PR-ETAL,FOUNTAIN,ARTHUR J-EST-ETAL</u>
<u>2</u>	<u>934469</u>		<u>02/23/1993</u>	<u>FOUNTAIN,ARTHUR-PR-ETAL,FOUNTAIN,CELIA P-EST-ETAL</u>
<u>1</u>	<u>BK 138 PG 473</u>			

Tax Year	Taxes
*2022	\$1,164.56
2021	\$1,164.56

* Estimated

[Photo](#)

[Sketch](#)

[GIS](#)



Im



OFFICE OF THE DONA ANA COUNTY ASSESSOR

LETICIA DUARTE BENAVIDEZ, ASSESSOR

845 N. Motel Blvd. • Las Cruces, NM 88007

Phone (575) 647-7400 or Toll Free 1-877-827-7200

Fax (575) 525-5538 • Website: www.donaanacounty.org

THIS IS THE ONLY NOTICE OF VALUE YOU WILL RECEIVE FOR THIS YEAR UNLESS YOU ARE THE OWNER OF REAL PROPERTY OR TAXABLE LIVESTOCK. INSTRUCTIONS ARE ON THE REVERSE SIDE. FOR ASSISTANCE, CALL (575) 647-7400, BETWEEN THE HOURS OF 8:00 AM - 5:00 PM MONDAY - FRIDAY.

RETAIN THIS PORTION FOR YOUR RECORDS

Property Listed and Valued as of January 1, 2022
THIS VALUE WILL BE A FACTOR IN DETERMINING YOUR 2022 PROPERTY TAX BILL

THIS IS NOT A TAX BILL

Official Mailing Date
April 1, 2022

Protest Deadline
May 2, 2022

Account Number
P0001242

EL PATIO CANTINA INC
c/o ALBERT FOUNTAIN JR
PO BOX 8
MESILLA, NM 88046

▲ NET TAXABLE VALUES WILL BE ALLOCATED TO GOVERNMENTAL UNITS IN SCHOOL DISTRICT

Tax Area	Property Type	Parcel Number	Tax Year	Owner #
2DIN NR	NON-RESIDENTIAL	4006137240464	2022	OWN772S893

PROPERTY DESCRIPTION	FULL VALUE	TAXABLE VALUE
	100%	33.33%

Site Address: 2171 CALLE DE PARIAN
Legal Descr: S: 25 T: 23S R: 1E

Personal Property
Current Year's Total Value
Adjustments
Total Adjustments
Net Taxable Value

\$235	\$704	\$235
\$235	\$704	\$235

THIS DOCUMENT CONSTITUTES A PROPERTY OWNER'S NOTICE OF VALUATION AS REQUIRED UNDER SECTION 7-38-20 OF THE NEW MEXICO PROPERTY TAX CODE.

NET TAXABLE VALUE IS TAXABLE VALUE LESS EXEMPTIONS AND IS THE VALUE UPON WHICH TAX IS IMPOSED. TAXABLE VALUE IS 33.33% OF FULL VALUE. FULL VALUE MEANS THE VALUE DETERMINED FOR PROPERTY TAXATION PURPOSES.

EL PATIO CANTINA INC
c/o ALBERT FOUNTAIN JR
PO BOX 8
MESILLA, NM 88046

RETURN THIS PORTION TO THE ASSESSOR'S OFFICE IF APPLICABLE. SEE INSTRUCTIONS ON BACK.

Account Number
P0001242

TO DETACH, TEAR ALONG PERFORATION

FOR MAILING ADDRESS CHANGE COMPLETE THE FOLLOWING BELOW, SIGN AND RETURN TO ASSESSOR - A COPY OF YOUR PHOTO ID IS REQUIRED

NAME _____ MAIN ADDRESS _____ CITY _____ STATE _____ ZIP CODE _____ HOME _____ WORK _____ TELEPHONE _____

DATE 11/11/11 CSB _____ SIGNATURE OF OWNER OR OWNER'S AUTHORIZED AGENT _____ X

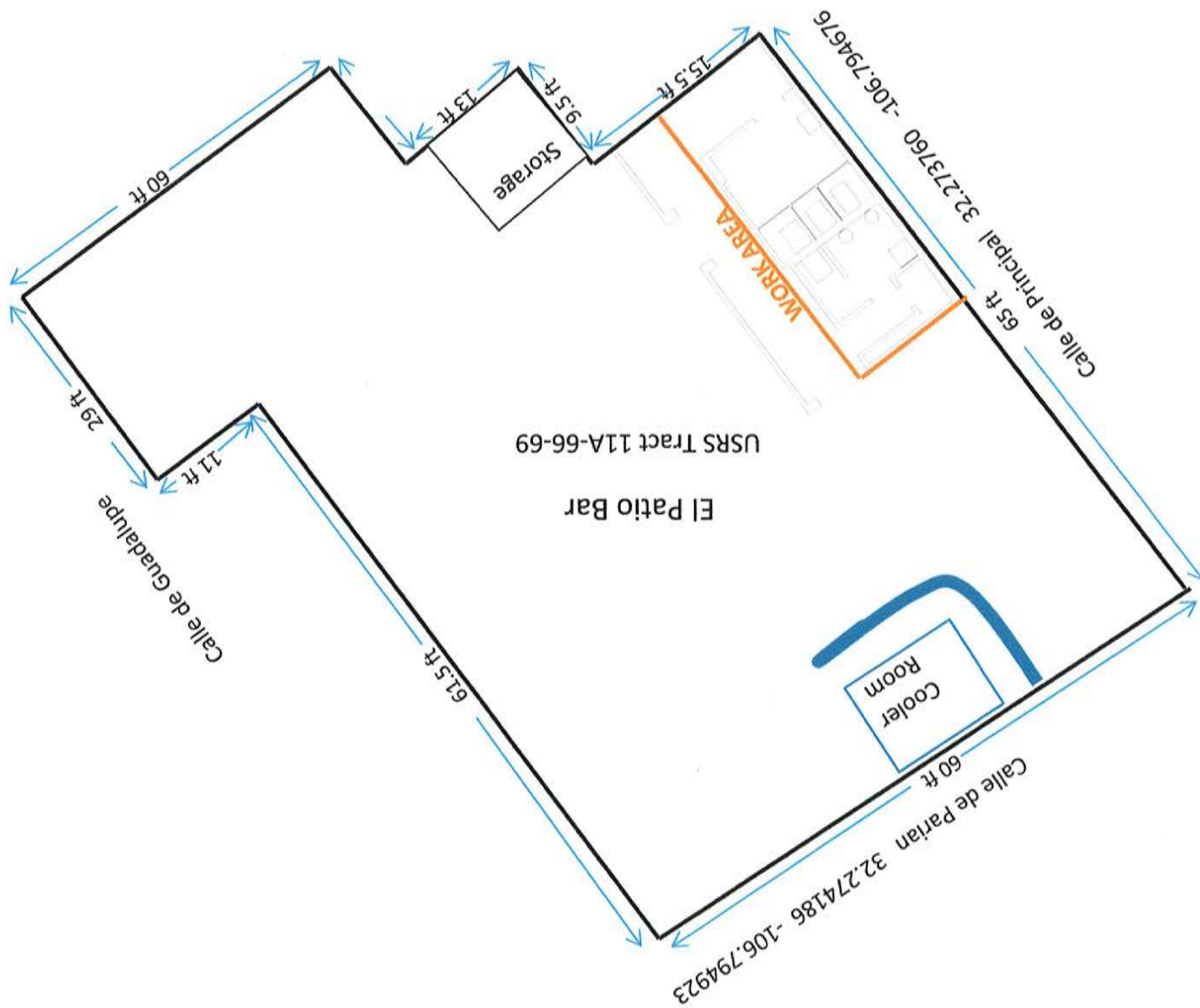
2022 PERSONAL PROPERTY NOTICE OF VALUE

TOWN OF MESILLA
 P.O. BOX 10
 MESILLA, NM 88046
 RETURN POSTAGE GUARANTEED
 ACCT. NO. 01-0810-00
 FOR BILLING INFO CALL 524-8244
 FOR WATER OR SEWER EMERGENCY CALL (575) 650-8830

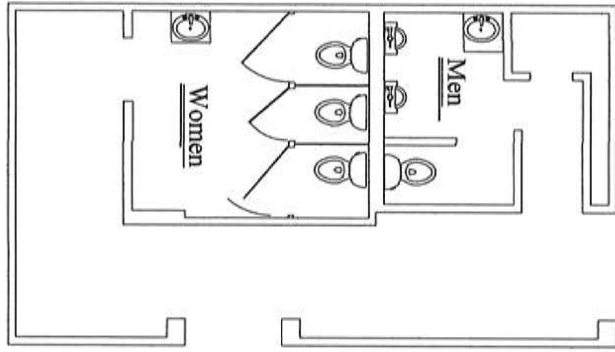
READING	CONSUMPTION	METER READING IN 1000 GALLONS	PER MCF
CURRENT	126	11	
PREVIOUS	115	13	

DATE	SERVICE	AMOUNT
03/18/22	WATER	54.48
03/18/22	SEWER	47.02
03/18/22	WTR ACQ CO	0.66
03/18/22	WTR MGT CO	0.55
03/18/22	TRASH	141.86
03/18/22	TAX	12.16

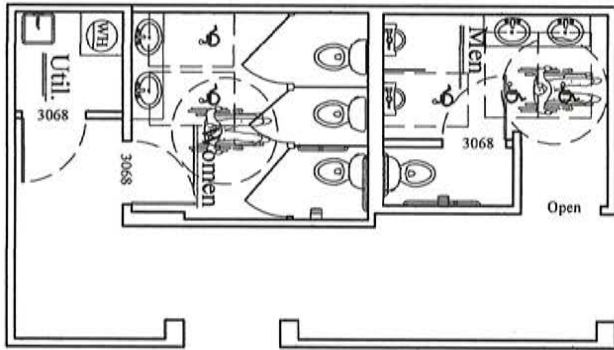
AMOUNT DUE \$ 256.73
 TOWN HALL PHONE NUMBER 575-524.3262
 UPDATE YOUR INFORMATION
 2171 PARIAN
 DUE DATE: 04/15/2022



CONSTRUCTION DRAWINGS FOR THE MODIFICATION OF THE EXISTING MENS AND WOMENS RESTROOMS IN EL PATIO BAR, IN MESILLA NEW MEXICO



EXISTING RESTROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"



Proposed floor plan with no revisions other than adding grab bars and clearances to restrooms

PROPOSED RESTROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"

