

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A REGULAR MEETING ON MONDAY, MARCH 21, 2022, AT 2:30 P.M. IN PERSON IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

AGENDA

- 1. PLEDGE OF ALLEGIANCE
- 2. ROLL CALL AND DETERMINATION OF A QUORUM
- 3. CHANGES / APPROVAL OF AGENDA
- 4. PUBLIC INPUT

The public is invited to address the commission for up to 3 minutes. You can also email your comments to joep@mesillanm.gov at least twenty-four (24) hours prior to the meeting.

5. APPROVAL OF CONSENT AGENDA

Note: Items on the Consent Agenda, indicated by an asterisk (*), will be voted on with one motion unless a commissioner requests that a specific item be removed for discussion.

a. *PZHAC MINUTES: March 7, 2022, Regular Minutes

6. NEW BUSINESS

- a. <u>PZHAC Case #061102</u> 2785 Boldt, submitted by Steven Sypher for Barncastle Construction to renew permit to complete remodel of interior framing and stucco. **Zoned: Historic Residential (HR).**
- b. <u>PZHAC Case #061355</u> 2481 Calle De Cuda, submitted by Jenn Soltero for Window World of Las Cruces to remove and replace four (4) widows located in den area of house, **Zoned:** Historic Residential (HR).
- c. <u>PZHAC Case #061357</u> 2939 Estrada Rd, submitted by Eric Gallegos to erect fence with wood posts and horse fencing on adjacent lot owned by Mr. Gallegos, Zoned: Rural Agriculture (RA)
- d. <u>PZHAC Case #061360</u> 2100 Stithes Rd, submitted by Adrian Aguirre to build metal garage with concrete foundation with additional concrete driveway and remove old carport. **Zoned:** Rural Agriculture (RA)
- 7. COMMISSIONERS / STAFF COMMENTS
- 8. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 3/18/2022 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristraman - 2531 Avenida de Mesilla, and the U.S. Post Office - 2253 Calle de Parian.

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) MONDAY, MARCH 7, 2022, 2:30 PM

MINUTES

1. PLEDGE OF ALLEGIANCE

Chair Lucero led the Pledge of Allegiance.

2. ROLL CALL AND DETERMINATION OF QUORUM

Commissioners Jones, Walkinshaw, Lucero, Salas, and Nevarez were present. Community Development Coordinator Padilla declared a quorum.

3. CHANGES/APPROVAL OF THE AGENDA

Motion to approve agenda was made by Commissioner Nevarez and seconded by Commissioner Jones.

Motioned passed, Vote 5-0.

4. PUBLIC INPUT

Susan Kreuger - The zoning map of town of Mesilla Case Number 061336 is rural farm, however it's listed on the agenda as commercial. She was not aware that the zone has been changed. If it is in Zone C, by law the commission needs apply the conditions of Section 1845040. Specifically, Section J that requires an architectural style and design standard be submitted for a new development or re-development. She believes the zoning is rural farm which may change some of the conditions. There was nothing included in the packet that described that particular property and request.

5. APPROVAL OF CONSENT AGENDA

Motion to approve the Consent Agenda was made by Commissioner Salas and seconded by Commissioner Nevarez

Motioned passed, Vote 5-0.

52 6. **NEW BUSINESS** 53 54 a. PZHAC CASE #061336 - 2001 Avenida de Mesilla submitted by Mr. Rogers. New construction of commercial building, metal building with exterior stucco walls and wood 55 framing interior walls. Zoned: Commercial (C). 56 57 58 Motion to approve was presented by Commissioner Salas and seconded by 59 **Commissioner Jones** 60 Staff presented facts of the case. Discussion followed. Mr. Rogers was present to answer 61 62 questions. 63 Motion passed, Vote 5-0. 64 65 b. PZHAC CASE #060959 - 1900 Calle de Pecana, submitted by Ray Carlson requesting to 66 67 renew building permit to complete construction of a home. Zone: Historical Residential 68 (HR) 69 70 Motion to approve was presented by Commissioner Nevarez and seconded by Commissioner Salas. 71 72 73 Staff presented facts of the case. Discussion followed. 74 75 Motion passed, Vote 5-0. 76 77 c. PZHAC CASE #061354 - 2795 Calle de Sur, submitted by DJ Walker Construction LLC to remove existing roofing to exposed decking, inspect and replace decking as needed, install 78 79 GAF 3 PLV. Zone: Rural Farm (RF) 80 81 Motion to approve was presented by Commissioner Salas and seconded by Commissioner Nevarez. 82 83 84 Staff presented facts of the case. 85 Motion passed, Vote 5-0. 86 87 88 7. COMMISSON/STAFF COMMENTS 89 The new town clerk/treasurer, Rani Bush was introduced. 90 91 92 Chair Lucero – She brought up the issue of metal containers. No current ordinance exists and more are popping up, mostly in residential areas. 93 94 95 Mayor Baraza – She has been sending Codes out. Pod containers are treated as an additional 96 structure shed. Codes need to check with owners to see if they have submitted a permit. She will 97 need to have a work session with Board of Trustees and with Planning and Zoning to see if it 98 should be allowed, especially in historical residential areas. 99 100 Joe Padilla - The containers are like old shipping containers (Conex box). 101

102		Tom Maese - Speaking on behalf of the Construction Industries Division, more and more
103		containers are coming in and people are wanting them to be modified for residential and
104		commercial use. This issue growing. There is no current ordinance to address this. They are
105 106		being treated as a modular building which allows them to have it for one year, then must have
106		proper permit.
107		Mayor Baraza – The homeless under the bridge/coverts needs to be reported to Town of Mesilla
108		so Codes can address this and inform they cannot stay overnight in that area.
1109		so Codes can address this and inform they cannot stay overnight in that area.
111		
112	8.	ADJOURNMENT
113	0.	ADJOURIMENT
114		Meeting adjourned at 3:06 p.m.
115		Proceeding adjourned at 5.00 p.m.
116		
117		
118	A DD	ROVED THIS 21 ST DAY OF MARCH 2022.
119	ALL	ROVED THIS 21 DAT OF MARCH 2022.
120		
121		
122		
123		
124		Yolanda Lucero
125		Chair
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128	ATT:	EST:
129		
130		
131		
132		Padilla Republicano de la companya della companya della companya de la companya della companya d
133	Com	munity Development Coordinator

BOARD ACTION FORM

AGENDA DATE

PZHAC: March 21, 2022

BOT:

ITEM: PZHAC Case #061102 – 2785 Boldt, submitted by Steven Sypher for Barncastle Construction to renew permit to complete remodel of interior framing and stucco. Zoned: Historic Residential (HR).

BACKGROUND AND ANALYSIS: This case was reviewed by the Architectural Styles Committee (ASC) on March 17, 2022.

Barncastle Construction to renew permit to complete remodel of interior framing and stucco. Stucco was added to new application there for it is going through the process once again.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

• The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

- 1. Recommend approval of this case with findings stated above.
- 2. Recommend approval of this case with findings stated above and conditions.
- 3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

PERMISSION TO CONDUCT WORK

OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

Existing #061102

223	31 Avenida de Mesilla, P.	O. Box 10, Mesilla,	NM 88046 (575)	524-3262 ext. 104	17 MACUC
CASE NO	ZONE:	CODE:	AF	PLICATION DATE:	V
ame of Property Ov. 2521 N. roperty Owner's Ma	rner MAIN St S illing Address Ma Syphar mail Address	E1-126 City C GMA!	Property Owner's LAS CRU State L, CS M	STELEPHONE Number SCES NIM Z	88001 ip Code
シAIZNCA * ontractor's Name &	Address (If none, indicate 3392	Self) Contractor's Tax I		See Attac	end
ddress of Proposed	Work: 2785	Boldt	mesilla		
Description of Propo	sed Work: Remain	del, Ino	tenor Fr	Aming, St.	SCCO HOA
\$ 30 K Estimated Cost Signature of propert	Signature of App	licant		10 -29 - Date	2021.
With the exception of a before issuance of a	of administrative approvals zoning permit. Plan shee	, all permit requests ts are to be no larger	must undergo a re than 11 x 17 inches	view process from staff, s or shall be submitted el	PZHAC and/or BOT ectronically.
		FOR OFFICIAL	USE ONLY		
	☐ Administrative Approval		ВОТ	☐ Approved Date: _	
	☐ Approved Date:			□ Disapproved Date	e:
	☐ Disapproved Date:			☐ Approved with Co	onditions
	□ Approved with condition	ns			
PZHAC APPROVAL	REQUIRED: YES	_ NO BOT AP	PROVAL REQUIR	ED:YESNO	
CID PERMIT/INSPE	CTION REQUIRED:	YESNO _	SEE CONDITIO	ONS	
CONDITIONS:	_		_		
				8	
		7			
ERMISSION ISSU	ED/DENIED BY:	,		_ ISSUE DATE: _	
Plot plan w Verification existence pr Site Plan wil Foundation Floor plan sl Cross sectio Roof and flo Proof of lega Drainage pla	or framing plan al access to the property. an. chitectural style and color s	now existing structures LEGALLY subdivented in the	vided through the	Town of Mesilla or that zones) – diagrams and e	the lot has been in
Public Utility	wer service or a copy of providing water services). If access to the property, ation as necessary or requi				



2758 Boldt, Building Permit

1 message

Nora L. Barraza <mayor@mesillanm.gov>

Fri, Oct 29, 2021 at 5:22 PM

To: Steven.Sypher@gmail.com

Cc: Cynthia Stoehner-Hernandez <cynthias-h@mesillanm.gov>, Gloria Maya <gloriam@mesillanm.gov>

Mr. Sypher:

Per our telephone conversation today, we are in receipt of your Residential Building Permit for 2758 Boldt. Your request was to renew your previous building permit #061102, approved by Mr. Shannon on August 12, 2020. In reviewing your application you have added stucco work to the building permit, therefore, we cannot renew permit #061102 and this new permit will have to go through the P & Z commission approval process.

We will need a color sample of the stucco you are proposing in addition to a letter from the Mesilla Farms HOA approving the proposed stucco work and color. I will make a copy of the site plan that is attached to the previous permit.

If you have any questions or concerns, please let me know.

Sincerely,

Mayor Barraza

Nora L. Barraza Mayor, Town of Mesilla (575) 524-3262

(575) 524-3262 Fax: (575) 541-6327 mayor@mesillanm.gov

Check out our website! www.mesillanm.gov

CONFIDENTIALITY NOTICE: The contents of this email message and any attachments are intended solely for the addressee(s) and may contain confidential and/or privileged information and may be legally protected from disclosure. If you are not the intended recipient of this message or their agent, or if this message has been addressed to you in error, please immediately alert the sender by reply email and then delete this message and any attachments. If you are not the intended recipient, you are hereby notified that any use, dissemination, copying, or storage of this message or its attachments is strictly prohibited.



image009.png

RE: The exterior color for repainting of the home at 2785 Boldt Street (Lot 9, Block C, Mesilla Farms Subdivision), Mesilla, NM
Owner of Record: Novasight Properties, LLC

Dear Board Members and Town of Mesilla,

I have researched the impact of the homeowner's request to repaint/recoat the exterior stuccoed walls of the above-referenced property. There will be no expansion of the home's footprint.

The description of the work to be done indicates either color selected is well within the "color wheel" acceptable for the subdivision and historic district. It is assumed that the work will be performed in a professional manner. The Mesilla Farms Homeowners Association approves the issuing of a permit for the described work from the Town of Mesilla.

Sincerely,

e de l'allocatai committe

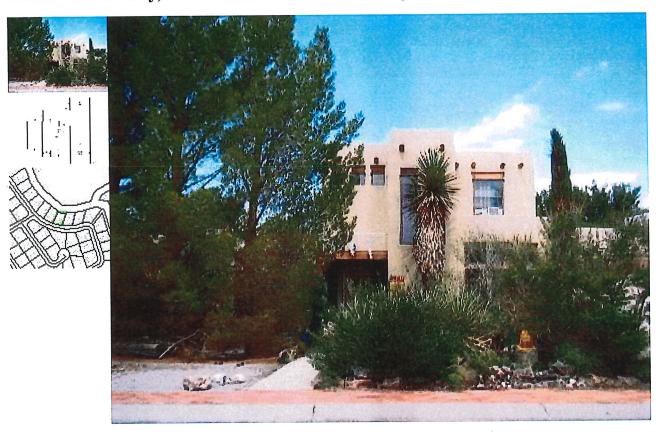
Concurrence By:

Marcy Toomey

Mesilla Farms HOA President

- Account Search
- View Created Report(s)
- Help
- Logout Public

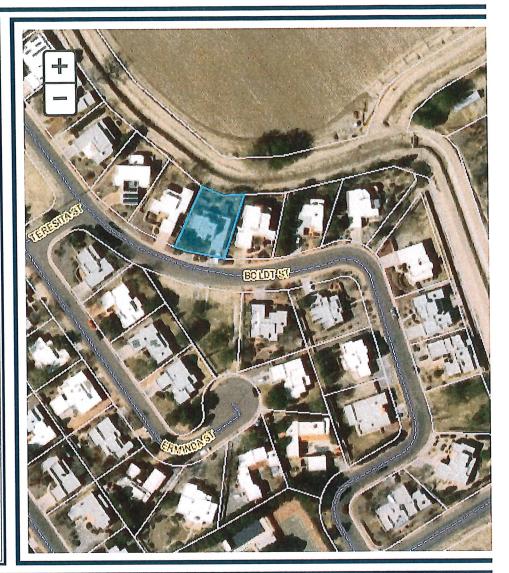
Account: R0401043 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.



Doña Ana County, NM Parcel Map Leticia Duarte Benavidez, County Assessor

Legend Мар **Map Layers** Layer Visibility: Roads □Buildings ☐ City Limits □MLS Zones ☐ Address Labels Parcels Select Search Type:

Property Addres ♥ Enter Value: 2785 boldt Search



	Account Number	Parcel Number	Owner	Mail Address
l	R0401043	4006137409472	NOVASIGHT PROPERTIES LLC	2521 NORTH MAIN ST STE 1



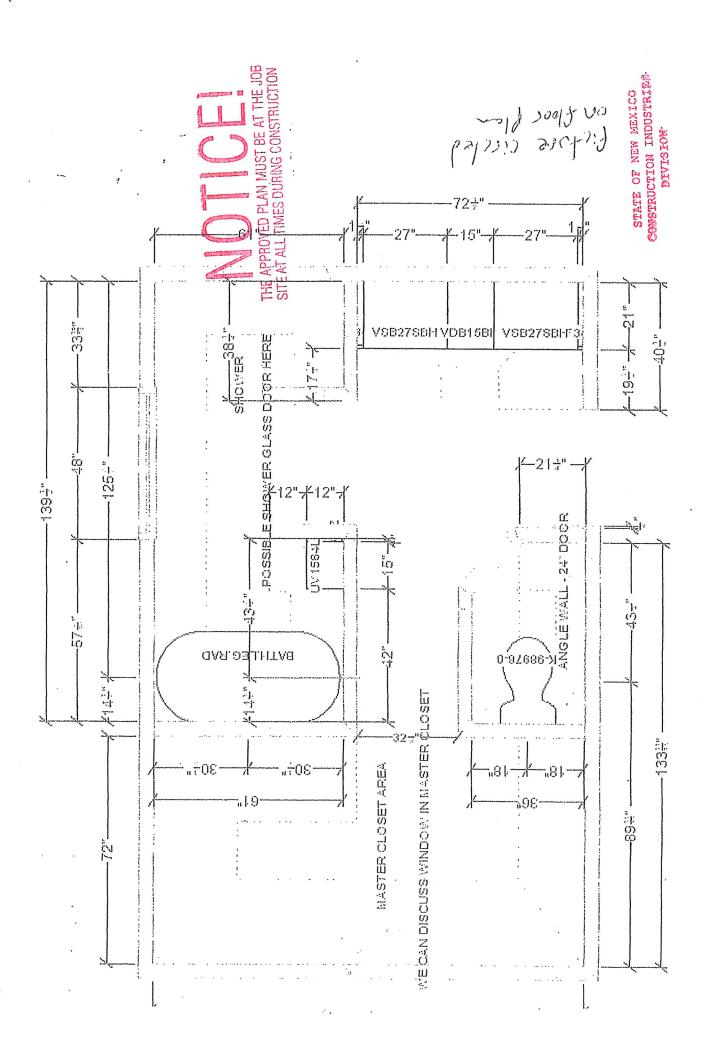
DL 05/28/20 (3) 2x5 @ EACH END CLIENT DRAWING NO. REV. NO. DRAWN BY DATE 3 CODE MUST BE COPLIED 702.7. PROJECT CODE MUST BE COPLIED L=11' MAX L=19' MAX HEADER TABLE 182-7463 RODITIONS 2785 BOLDT ST., LAS CRUCES, NM Ш (2) 2x6 JACKS @ ONE END, SIMPSON HANGAR FROM BEAM C @ OTHER END (3) 2x8 OR (4) 2x6 JACKS @ EACH END USE SIMPSON HANGAR FOR PERPENDICULAR TRUSSES AND REMAINDER BEAR ON TOP OF 54×11% VERSA-LAM LVL 2.1E 3100 HEADER SIZING FOR REMODEL 3½ × 14 VERSA-LAM LVL, 2.1E 3100 3.4" MIN. BEARING LENGTH 2.7" MIN. BEARING LENGTH USE SIMPSON HANGAR FOR PERPENDICULAR TJI (2) 2x6 JACKS @ EACH END (2) 2x12 GIRDER L=4".5" MAX L= 13'-6" MAX L= 12' MAX 125 yes 2x12 0 WITH (N.M. RESIDENTIAL BUILDING COOR) **(III)** OF THE INTERNATIONAL RESIDENTIAL 02.1.3 CODE MUST BE COPLIED 0 THE APPROVED PLAN MUST BE AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION 0 SECTIONS 5160 CALLE BELLISIMA LAS CRUCES, NIM 88011 (575) \$21-0006 0 NGINEERING INC. 0 @ PRIES WICO X LILEY 06/28/20 13) 7 450500 **©** ON EL P.

3% 11% Versa-Law LVL, 2.1e 3100 2.8" Win. Bearing Length SYPHER LVL VERSA-LAM 1% × 14 VERSA-LAM LVE, 2.1E 2800 3.4" MIN. BEARING LENGTH 200628 SOP SOP 5% x 11% VERSA-LAM LVL 2.1E 3100 1.5" WIN. BEARING LENGTH WITH. (N.M. RESIDENTIAL BUILDING CODE) 3% x 14 VERSA-LAM LVL, 2.1E 3100 1.9" MIN. BEARING LENGTH WITH. (N.M. RESIDENTIAL BUILDING CODE) (3) 2x8 OR (4) 2x6 @ EACH END OF THE INTERNATIONAL RESIDENTIAL USE SIMPSON HANGAR FOR PERPENDICULAR TJI CS SEED OF THE INTERNATIONAL RESIDENTIAL SITC TJI BEAR ON TOP OF LVL

F 202037

2785 BOLDT

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Doña Ana County, NM General Reference Maps

2014 Aerial Addresses County Address Points

Select Search Type: Account Numbe ∨ Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

Cily Council Districts

Median Household Income

General Land Ownership

Account Number: R0401043
Parcel Number: 4006137409472
Owner: NOVASIGHT PROPERTIES LLC
Mail Address: 2521 NORTH MAIN ST

Subdivision: MESILLA FARAIS SUBDIVISION (BK 15 PG 389-390 -

Property Address: 2785 BOLDT ST

suance of this Building Permit and the Certificate occupancy at Final Inspection <u>DOES NOT</u> certificate ompliance with the requirements of any oth any other



SHALL NOT BE CHANGED WITHOUT AUTHORIZATION FROM CONSTRUCTION APPROVED PLANS AND SPECIFICATIONS INDUSTRIES DIVISION.

BE

COMPLIED

THE APPROVED PLAN MUST BE AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION CONSTRUCTION INDUSTRIES STATE OF NEW MEXICO

APPROVED

Construction Industries Division General Construction Bureau NO EXCEPTIONS TAKEN CEPTIONS AS NOTED

Does not include Mechanical or Electrical

Permit No.

2020037054

W MEXICO BUILDIN LL SECTIONS OF THE

TOWN OF MESILLA ZONING APPROVAL

OFFICIAL USE ONLY: Case # 061102 Fee\$ 55.50

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104	
	· · · · · · · · · · · · · · · · · · ·
Name of Property Owner 2521 N. MAIN St Ste 1-126 (AB CRUCE) NM 88001	
Property Owner's Mailling Address City State Zip Code Steven Syphen @ GMAII. Com	
Property Owner's E-mall Address South Custle Construction P.D. Box 544 88004 Contractor's Name & Address (If none, Indicate Self) 505-319-3592	
Contractor's Telephone Number Contractor's Tax ID Number, Contractor's License Number	
Address of Proposed Work: 2785 Bold+ Mesilla 80081	
Description of Proposed Work: Frame interior would	
Civingroom & Kitchen area.	
\$ 30 K 18 () 08/10/2020	•
Estimated Cost Signature of Applicant Date	
Signature of property owner: 5/10/2028	
With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.	
FOR OFFICIAL USE ONLY	6
PZHAC BOT D Approved Date: N FA	
☐ Approved Date: ☐ Disapproved Date:	
☐ Disapproved Date: ☐ Approved with Conditions	
☐ Approved with conditions PZHAC APPROVAL REQUIRED:YESYESYNO BOT APPROVAL REQUIRED:YESYNO	
CID PERMIT/INSPECTION REQUIRED:YES NO SEE CONDITIONS	
CONDITIONS: NO CLIMNGES TO EXTENDIONED WELLINGS YER NOT A THE TOTAL THE TOT	s a real car is seen
CONDITIONS. TO CONTRACT OF STREET OF	the ofference to do
PERMISSION ISSUEDIDENIED BY: 4. Sh. ISSUE DATE: 8/12/20	
THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING: 1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & selbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.	
2. Site Plan with dimensions and details. 3. Foundation plan with details. STATE OF NEW MEXICO	
4 Floor plan showing rooms, their uses and dimensions. Construction industries 5 Cross section of walls DIVISION	
6 Roof and floor framing plan	
8 Proof of legal access to the property. 9 Drainage plan.	
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.	
Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).	
12 Proof of legal access to the property. 13 Other information as necessary or required by the City Code or Community Development Department (See other side.)	* ,
,	

POST IN A CONSPICUOUS PLACE

N O T I C E

RESIDENTIAL PERMIT NO: GENR_2020037054

PERMIT NAME: STEVE & JENNIFER SYPHER

HAS BEEN ISSUED FOR THIS CONSTRUCTION BY
THE STATE OF NEW MEXICO
REGULATION AND LICENSING DEPARTMENT
CONSTRUCTION INDUSTRIES DIVISION
GENERAL CONSTRUCTION BUREAU

JOB SITE ADDRESS

2785 BOLDT ST MESILLA, NM 88005

PROPERTY OWNER

STEVE & JENNIFER SYPHER PO BOX 544 LAS CRUCES, NM 88004

Phone: 5053193392

CONTRACTOR

BARNCASTLE, CES
BARNCASTLE CONSTRUCTION
P.O. BOX 544

1042 MOON RIVER LOOP LAS CRUCES, NM 88004

License #: 90931 Phone #: 5056478419 Issued: November 20, 2020

Occupancy: R-3 Single Family/Duplex Residence/Child

Care 5 or Less/Congregate Living 15 or Less

Type of Construction: VB Any Material (0 HR)

Square Footage: 1900

Valuation: \$39,140.00

Total Fees: \$84.00

DESCRIPTION OF WORK

ALATERATIONS/REPIRS - MOVE INTERIOR WALLS & REBUILD

This is a General Construction Permit and does not cover electrical or mechanical permit requirements for the State of New Mexico.

Record of Inspections

GENERAL BUILDING	1	ELECTRICAL		MECHANICAL
DATE PURPOSE	DATE	PURPOSE	DATE	PURPOSE
5/10/7) Tame 11/19	731	ROUGH IN IX	3/12	2 MRT LEN
WI FIRES DIX	7	10 00 111 120	97.0	121 Dago Lan
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NOTICE: IT IS THE REPONSIBILITY OF THE PERMIT HOLDER TO CALL FOR THE REQUIRED INSPECTIONS IN ADVANCE.

PLEASE WAIT FOR THE INSPECTOR TO PERFORM THE INSPECTION.

NOTICE: If no inspections are performed within 180 days, the permit will expire and will be required to be renewed at full price.

To schedule an inspection please contact our call center at 505-222-9813 or 1-877-243-0979. You may also request an inspection by email to CID.Inspection@state.nm.us. If by email you must include permit number, site address, contact name and phone number. The email submission is an easy, efficient method for requesting inspections. Upon receipt of emailed inspection request, a confirmation email will be sent to the requestor.

Multi- Purpose State Building Application State of New Mexico Regulation and Licensing Department Construction Industries Division	
Santa Fe 2550 Cerrillos Rd Santa Fe, NM 87505 Phone: (505) 476 - 4700 Fax: (505) 476 - 4685	
Albuquerque 5500 San Antonio NE Albuquerque, NM 87109 (505) 222 - 9800 (505) 765 - 5670 Las Cruces 505 S. Main St. Ste. 103 Las Cruces, NM 88004 (575) 524 - 6320 (575) 524 - 6319	
Building Permit (Commercial Includes electrical/mechanical/plumbing reviews) Residential Commercial Pre-Bid Trade Review Only	
New Construction Alteration/Repairs/Demolition Additions Foundation only Reroof Electrical Review	
wood metal frame masonry adobe rammed earth metal structure other Mechanical/Plumbing Review	
Destripction of work: (PMIC)	
THE FOULOWING INFORMATION MUST BE PROVIDED	
1 2 165 Bold + St. town of Mesilla 1) A. 1	1
Physical Address of job site (must provide a physical address) Nearest City/Town/Village Zip Code County GPS Coordinates	
optional X Coordinate Y Coordinate	
MUST provide written Directions	
Property Owner or Homeowner Information: Steve Semi-fer Scheso and	-1 .
	1. Cool
6185 Dollar St.	· · · · · · · · · · · · · · · · · · ·
Address No. & Street / PO Box / Rural Route City State Zip Code Phone	
Contractor Information (must provide proof of contract): Sacricus + 1 P (CONS + TVC + ON)	
Company Name	:./ .
Address No. & Street / PO Box / Rural Route City State F-Mail Address;	ail. Con
Cesar.	
Contact Information (Name) Phone Fax	
Design Professional Information: Liley Engineering inc. #11.50.5	í
Company Name NM State License #	•
SILO Calle bellisima LC. WM 88011 Address No. & Street / PO Box / Rural Route City State	
Dan 6: 1/e - 575521-cool	4
Contact Information (Name) Phone. E-mail address:	:
Type of Construction L III IV V A B Energy Compliance Climate Zone: Occupancy Group A B Energy Compliance Climate Zone: Occupancy Group A B F F H M R S U Prescriptive 1 2 3 4 5 6 7	^ · · · · · ·
Occupancy Group A B E F H J M R S U Prescriptive 1 2 3 4 5 6 7 . Division Trade-off Trade-	
Square Footage: Performance Energy Code Not Applicatable	. :
Valuation / Sign Contract: Fire Sprinklers Apply Y / N / LP gas Appliance Apply Y / N	
APPLICANT: MUST READ AND SIGN THE FOLLOWING: I hereby acknowledge by my signature below that I have read this application and state that the above is correct. I agree to comply with the requirements for the New Mexico Building Code. I waive my right to regulie any inspector to	
possess a search Warrant before they enter the premises to inspect the building covered by this permit. However, I walve this right only on the	<i></i>
following conditions: The inspector must be approved by the Construction Industries Division and this inspection must be made at reasonable	
I understand that the issuance of this permit shall not prevent the Construction Industries Division from requiring compliance with the provisions of the New Mexico, Building Code.	
of the New Mexico Bellium groupe.	
Signature	
Official Use Only	157
Date Issued: Processed By: Tracking Number:	
Received By: Walk in Mail Shell Payment Partial Payment Payment	
Paid By: Balance Due:	
Check Money Order Credit Card Purchase Order	
PLANNING/ZÖNING APPROVED BY:	
Signature FLOOD PLAIN APPROVED BY	
Signature Date:	•
GENERAL BUILDING APPROVED BY: Signature Signature	
UPC/UMC APPROVED BY:	
Signature	
NECAPPROVED BY Signature	
Revised 10/25/18	



QUOTE

Cesar (Fred) Barncastle PHONE/FAX: 575-647-8419 MOBILE: 505-319-3392

WATE: 10/16/70 MOBILE: 505-319-3392 E-MAIL: barneaslle5@peoplepc.com

CONTACT NAME Steve of Jennifer

DESCRIPTION		AMO	UNT
be will be extending master bothroom, we will also remadle	K.itche	A,	
rome all we will do is from	P ==		
touch the rufside structu	t .		
·			
The state of the s			
Comments:			
STATE OF NEW MEXICO CONSTRUCTION INDUSTRIES DIVISION	3		
QUOTED BY:	Sub Total		
RESULT OF QUOTE	Tax		
ACCEPTED REJECTED NO RESPONSE	TOTAL	4800	(20)

THIS QUOTATION IS GOOD FOR 60 DAYS FROM ABOVE DATE

Thank You



New Mexico E-Services for Contractor Licensing





Company Details					
Company Name	BARNCASTLE CON	ISTRUCTION	License Number	90931	
Phone Number	5056478419		License Status	Active	
Issue Date	08/16/2004		Expiry Date	08/31/2022	2
Volume	\$1000000.00 +				
Principal Place of Business Address					
P.O. BOX 544					
City	LAS CRUCES				
State	NM		Zip Code	88004	
QP Details					
Name		Certificate No	Classification	Attach Date	Status
CESAR A. A. BARI	NCASTLE	104672	GB98	08/16/2004	Attached
Back to search page	Back				

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STATE OF NEW MEXICO CONSTRUCTION INDISTRUCTION DIVISION

LVL VERSA-LAM WITH. (N.M. RESIDENTIAL BUILDING CODE (3) 2x8 OR (4) 2x6 @ EACH END TJI BEAR ON TOP OF LVL CLIENT DRAWING NO. REV. NO. DRAWN BY CODE MUST BE COPLIED 102.7. PROJECT CODE MUST BE COPLIED L= 11' MAX L = 19' MAX HEADER TABLE W52-741.5 labitions. SECTIONS 2785 BOLDT ST., LAS CRUCES, NM (2) 2x6 JACKS @ ONE END, SIMPSON HANGAR FROM BEAM C @ OTHER END (3) 2x8 OR (4) 2x6 JACKS @ EACH END USE SIMPSON HANGAR FOR PERPENDICULAR TRUSSES AND REMAINDER BEAR ON TOP OF LVI. 54×11% VERSA-LAM LVL 2.1E 3100 HEADER SIZING FOR REMODEL 3½ × 14 VERSA-LAM LVL, 2.1E 3100 3.4" MIN. BEARING LENGTH 27" MIN. BEARING LENGTH USE SIMPSON HANGAR FOR PERPENDICULAR TJI (2) 2x6 JACKS @ EACH END (2) 2x12 GIRDER L=13'-6" MAX L= 12' MAX L=4"-6" MAX 225 yrs a 2×12 WITH. (N.M. RESIDENTIAL BUILDING CODE) CALUED LAMINATED OF THE INTERNATIONAL RESIDENTIAL (11) 202.1.3 CODE MUST BE COPLIED THE APPROVED PLAN MUST BE AT THE JOB STRUCTURAL SITE AT ALL TIMES DURING CONSTRUCTION 0 SECTIONS 5160 CALLE BELLISIMA LAS CRUCES, NIN 88011 (575) 521-0006 **©** ENGINEERING INC. 如 @ TCO MITES SWINGS 44505 **(4)** CONTRACT P.

OF THE INTERNATIONAL RESIDENTIAL

WITH, (N.M. RESIDENTIAL BUILDING CODE)

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 $3\% \times 11\%$ Versa-Law LVL, 2.1E 3100 2.8" Min. Bearing Length

(3) 2×5 @ EACH END

USE SIMPSON HANGAR FOR PERPENDICULAR TJI

3½ x 14 VERSA-LAM LVL, 2.1E 3100 1.9" MIN. BEARING LENGTH

5½ x 11% VERSA-LAM LVL 2.1E 3100 1.5" MIN. BEARING LENGTH

OF THE INTERNATIONAL RESIDENTIAL

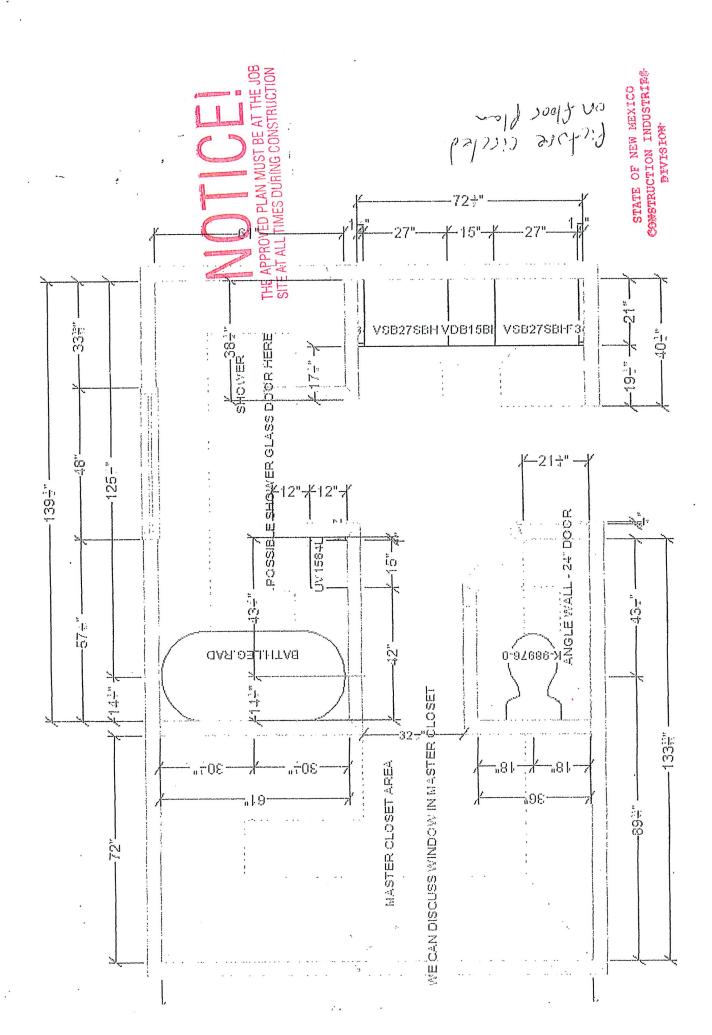
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BE COMPLIED WITH

APPROVED PLANS AND SPECIFICATIONS

AUTHORIZATION FROM CONSTRUCTION SHALL NOT BE CHANGED WITHOUT

INDUSTRIES DIVISION.

ELECTRICAL, MECHANI

NEW MEXICO BUILDIN ALL SECTIONS OF THE

2020037054

Permit No.

B

Construction Industries Division

General Construction Bureau

EXCEPTIONS TAKEN

County Address Points 2014 Aerial Addresses

Waps

Parcels **Wap Themes**

MM House Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: R0401043 Parcel Number: 4006/37409472 Mail Address: DSD1 NORTH MAIN ST STE 1-126

Health, the Environment Departme

sance of this Building Permit and the Certific NOTICE

SITE AT ALL TIMES DURING CONSTRUCTION

CONSTRUCTION INDUSTRIES STATE OF NEW MEXICO

MOISIAID

THE APPROVED PLAN MUST BE AT THE

Property Address: 2785 BOLDT ST

8822094) Subdivision (BK 15 PG 389-390 Resilla Frrms

MM Senale Districts

Roads and Transportation

UDC Zoning

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BOARD ACTION FORM

AGENDA DATE

PZHAC: March 21, 2022

BOT:

ITEM: PZHAC Case #061355 -2481 Calle De Cura, submitted by Window World of Las Cruces to remove and replace four (4) located in the den of the home. Zoned: Historical Residential (HR)

BACKGROUND AND ANALYSIS: This case was reviewed by the Architectural Styles Committee (ASC) on March 17, 2022.

Window World of Las Cruces to remove and replace four (4) located in the den of the home, there will be no changes or modifications to the window openings.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

• The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

- 1. Recommend approval of this case with findings stated above.
- 2. Recommend approval of this case with findings stated above and conditions.
- 3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA

PERMISSION TO CONDUCT WORK

OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

2231 Avenida do Mesilla, P.O. Box 10, Mesilla, NM 88046	(575) 524-3262 ext. 104 Plan 29 16,50
CASE NO: ZONE: CODE:	APPLICATION DATE:
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None of Applicant/Owner & (496-5300
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Applicant s/Owner's Making Address City Star	1 88096
atol Calle Cura Las Crucos Al	M SSO46
Accides	1000
Contractor's Name & Address (If none, Indicate Self)	20 N. Telshor Las Crucus
2+5-532-9390 XI-UXN2=1	30.
Contractor's Telephone Number Contractor's Tax ID Number	341055 Contractata Li
Address of Proposed Work, 2481 Calle Cura k	Contractor's License Number
Description of Proposed Work: Remove and replace	70000
located in Den. 100 cheplan	Ce 4 windows
and charge	s to openings.
3 137 15	
S. 3,137. Estimated Cos: Signature of Applicant	24 Ayea, 2021
	Date
Signature of property owner if applicant is not the property owner:	
With the exception of administrative approvals, all permit requests must undergo a before issuance of a building permit. Recorded proof of ownership with legal descriptor	New process from staff PZUAC
before issuance of a building permit. Recorded proof of ownership with legal description verification of legally subdivided status of the property are required. Fig. sheets are too the property are required.	on of property (deed or current tax bill) along with
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PZHAC III Administrative Abstract SCT	
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Architectural style and color scheme – diagrams or elevations (Historical and cor	mmercial zones only)
Public Utility providing water services)	ervice (well permit or statement from the
Other information as necessary or required by the City Code or Community Devel	lancont
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WEST COAST

WINDOW AND PATIO DOOR ORDER FORM Phone: 866.716.5368 Fax: 866.618.2783

Account #

Date 8-26-21

Customer P.O. #

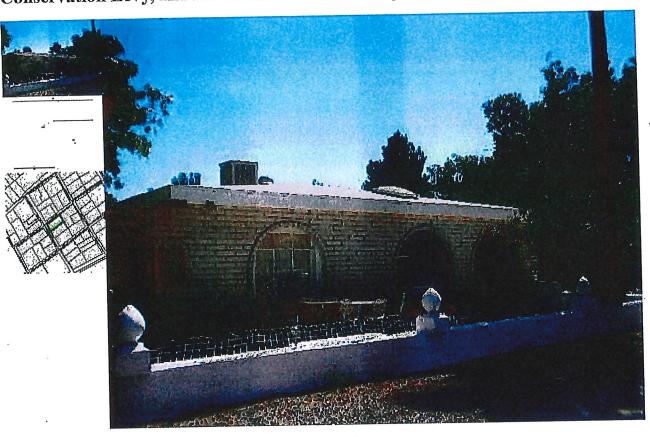
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2401 CALLE CUA 88046 No Changes to existing construction.
 All windows are energy efficient.

1. All windows that originally meet egress will meet egress.

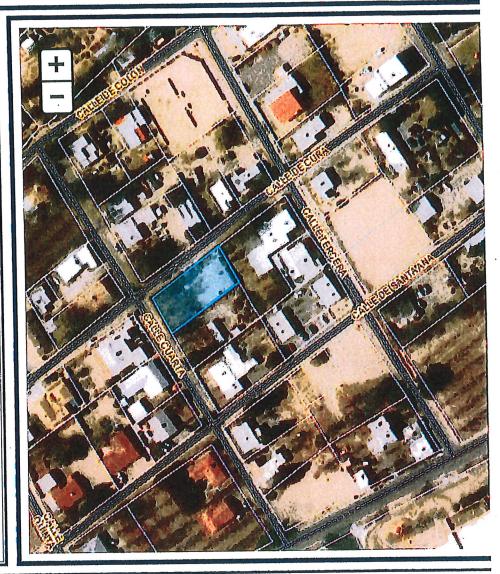
- Account Search
- View Created Report(s)
- Help?
- Logout Public

Account: R0400542 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.



Doña Ana County, NM Parcel Map Leticia Duarte Benavidez, County Assessor

Мар	Legend	
	Map Layers	
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Enter Valu	le:	<u> </u>
Search]	



Parcel ID	Map Code	Name	·
R0400542	4006138184089	SOLTERO JENNIE	

Sales Person: 19 - MARCO SAUCEDO



Customer Acknowledgement

Quote Date 9/10/2021

Date Ordered 11/2/2021

Dealer Name:

765480 WINDOW WORLD OF LAS CRUCES

Bill To:

WINDOW WORLD OF LAS CRUCES
250 N TELSHOR BLVD

LAS CRUCES

NM 88011

Ship To:

WINDOW WORLD OF LAS CRUCES

250 N TELSHOR BLVD

LAS CURCES

NM 88011

Job Info

Phone: (575) 532-9390 Fax:

Order Notes:

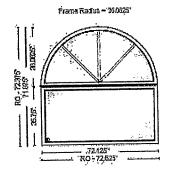
Delivery Notes:

Quote Name: Soltero, Jenny Project Name:

Soltero, Jenny

QUOTE#	RUSH	STATUS	PO#
3150707	No	Ordered	213-3028

3150	707		No			Ordered		Z13-C	0028	
Line Item#	Qty	Widt	h x Height	UĮ:	Description					
1	1	72,12	25" X 71.875"	145						



Row 1: 03S4-New 4000 Series Picture 72 1/8 x 35 3/4 Row 2: A105-West Replacement Shapes Half Round Picture 72 1/8 x 36 1/16 Unit 1, 2: Frame Width = 72.125, Frame Height = 35.75 Unit 3, 4: Frame Width = 72.125, Frame Height = 36.0625, Frame Radius = 36.0625 Operation / Venting = Picture Unit 1, 2: Frame Option = Standard Block Frame, Composite Reinforcement Unit 3, 4: 4000 Series Frame Color = White, Exterior Finish = No Exterior Finish Unit 1, 2: SolarZone Elite, Double Strength, Tempered Unit 3, 4: SolarZone Elite Unit 1, 2: U-Factor = 0.27, CR = 59, SHGC = 0.22, VT = 0.52, CPD = ASO-A-91-13922-00001 Unit 3, 4: U-Factor = 0.27, CR = 62, SHGC = 0.2, VT = 0.46, CPD = ASO-A-91-15258-00002 3/4" Contour, Colonial Spoke, Grid Color = White, CT02 Header Expander, Foam Wrap, Bent Sticky Trim, Net Overall, Net Overall Horizontal Factory 0.0625" thick, 72.125" length Line Item Notes:

Comment / Room:

LINE 1 & 2

OUOTE:#	BIIGH	STATUS	PO#
3150707	KUSH	Ordered	213-3028
	l No l	Oldered	710 0000

Description Qty Width x Height UI Line Item #

72,375" X 72" 2 1

145

7/ama Radys = 35.1875 - .72.575° RO-72.575°

Row 1: 03S4-New 4000 Series Picture 72 3/8 x 35 3/4 Row 2: A105-West Replacement Shapes Half Round Picture 72 3/8 x 36 3/16 Unit 1, 2: Frame Width = 72.375, Frame Height = 35.75 Unit 3, 4: Frame Width = 72.375, Frame Height = 36.1875, Frame Radius = 36.1875 Operation / Venting = Picture Unit 1, 2: Frame Option = Standard Block Frame, Composite Reinforcement Unit 3, 4: 4000 Series Frame Color = White, Exterior Finish = No Exterior Finish Unit 1, 2: SolarZone Elite, Double Strength, Tempered Unit 3, 4: SolarZone Elite Unit 1, 2: U-Factor = 0.27, CR = 59, SHGC = 0.22, VT = 0.52, CPD = ASO-A-91-13922-00001 Unit 3, 4: U-Factor = 0.27, CR = 62, SHGC = 0.2, VT = 0.46, CPD = ASO-A-91-15258-00002 3/4" Contour, Colonial Spoke, Grid Color = White, CT02 Header Expander, Foam Wrap, Bent Sticky Trim, Net Overall, Net Overall

Horizontal Factory 0.0625" thick, 72.375" length

Comment / Room:

LINE 3& 4

Customer Notes:

Total Unit Count

ATTENTION

Please note that all weights provided are estimates and subject to change based on actual order shipment. For Informational Purposes: All windows are viewed from the outside looking in.

Line Item Notes:

NOTICE: The rating information provided on this quote is based upon the NFRC ratings at the time of quote. Such ratings are subject to changes in the standard by the applicable regulatory agencies and will be finalized at the time of manufacturing. All ratings printed on the NFRC label will supersede the NFRC rating set forth in the quote. Any changes made to an order after submission may also result in changes to the NFRC rating. Customer shall be solely responsible for determining whether the product ordered meets their jurisdiction's requirements.

In accordance with the state of California:

WARNING: Cancer and Reproductive Harm - www.p65Warnings.ca.gov

This order is subject to AMI's Standard Terms and Conditions, which can be found here: https://www.associatedmaterials.com/resources/

I have reviewed this order and certify that it is correct, I understand that this order is noncancellable, nonreturnable, and nonrefundable.

By

Authorized Representative

BOARD ACTION FORM

AGENDA DATE

PZHAC: March 21, 2022

ITEM: PZHAC Case #061357 – 2939 Estrada Rd, submitted by Eric Gallegos to erect fence with wood posts and horse fencing on adjacent lot owned by Mr. Gallegos, Zoned: Rural Agriculture (RA)

BOT:

BACKGROUND AND ANALYSIS: This case was reviewed by the Architectural Styles Committee (ASC) on March 17, 2022.

Mr. Gallegos purposes erect fence with wood posts and horse fencing on adjacent lot owned by Mr. Gallegos

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

• The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

- 1. Recommend approval of this case with findings stated above.
- 2. Recommend approval of this case with findings stated above and conditions.
- 3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA ZONING APPROVAL

OFFICIAL USE ONLY: Case # (61357) Fee \$ (8150)

PERMISSION TO CONDUCT WORK OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

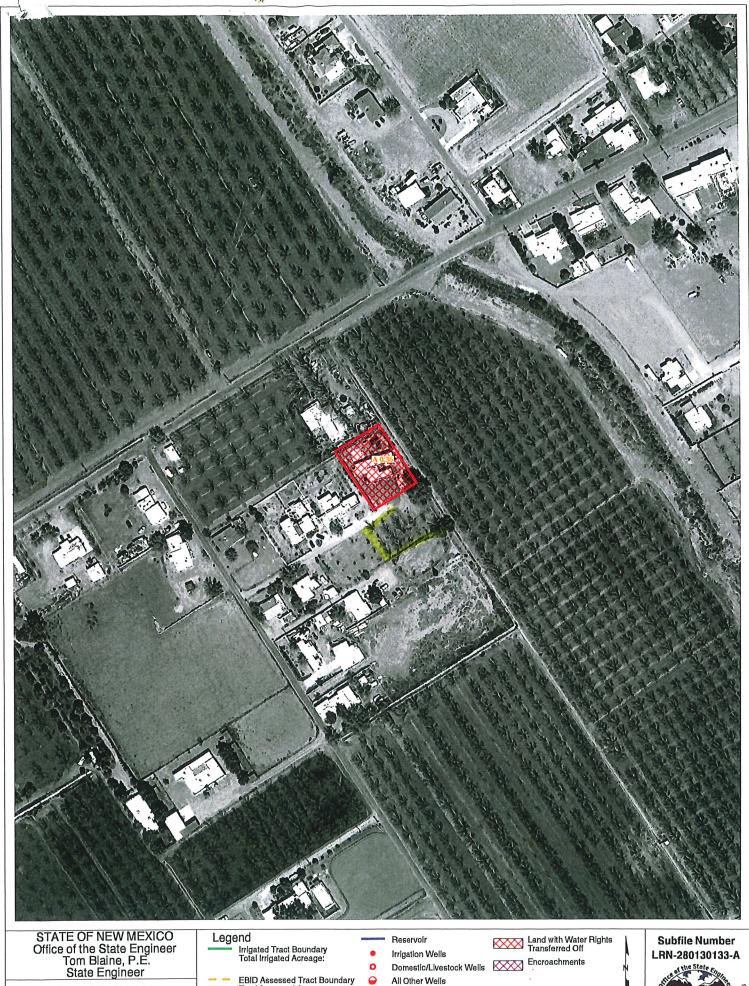
Fee 5800 Review 1050

	2231 Avenida de Mesilla	, P.O. Box 10, Mesilla, CODE:		PLICATION DATE	
CASE NO	ZONE:	CODE	AFI	LIOATION DATE	
DIL GU	aut gos		(575)3	93-2112	
lame of Property	Owner		Property Owner's	Telephone Number	CENA
Rroperty Owner's		ÎLLA City	State		Zip Code
	iallegos e s	tate .nm.v			Zip Godo
roperty Owner's					
SELF	- 0 Addus - (If a india	oto Colf)			-
Contractor's Nam	e & Address (If none, indicate	ate Self)			
Contractor's Tele	phone Number	Contractor's Tax II	D Number	Contractor's Licen	se Number
Address of Propo	sed Work: <u>1939</u> E	STRADA RD	ADJACE	NT WIT	OWNED BY
	posed Work: FENC				
W HIW	IPE HOPSE FE	NCING BETW	REN POS	rs. 1651	751.62.77
				1	
1000 es	_ CiD.	SMgs.	•	12 28 20	21
Estimated Cost	Signature of	Applicant	•	Date	
Signature of prop	perty owner:	SMESS.	•		
With the exception	on of administrative approv	vals, all permit requests	must undergo a rev	iew process from st	aff, PZHAC and/or BO
efore issuance of	of a zoning permit. Plan s	heets are to be no larger	than 11 x 17 inches	or shall be submitte	d electronically.
		FOR OFFICIAL	USE ONLY		
PZHAC	☐ Administrative Appro	oval	вот	☐ Approved Date	e:
	☐ Approved Date:			☐ Disapproved [)ate:
	☐ Disapproved Date: _			☐ Approved with	Conditions
	□ Approved with cond				
PZHAC APPROV	AL REQUIRED: YES	NO BOT AP	PROVAL REQUIRE	D:YESN	0
CID PERMIT/INS	PECTION REQUIRÉD: _	YESNO	SEE CONDITIO	NS	
CONDITIONS:					
ERMISSION IS	SUED/DENIED BY:			_ ISSUE DATE:	
IIS APPLICATIO	N SHALL INCLUDE ALL O	F THE FOLLOWING:			
Plot plan	with legal description to	show existing structure			
	on <u>shall</u> show that the lo	t was <u>LEGALLY</u> subdiv	rided through the T	own of Mesilla or th	nat the lot has been i
	with dimensions and detai	ls.			
Foundati	on plan with details.				
	n showing rooms, their use ction of walls	s and dimensions.			
	l floor framing plan				
	legal access to the property	7.	* 8		
Drainage	plan.				
	f architectural style and col				
	sewer service or a cop ility providing water service		i, proor or water s	ervice (well permit	or statement from th
	egal access to the property	•			

13._____ Other information as necessary or required by the City Code or Community Development Department (See other side.)



DONA ANA COUNTY ASSESSONS OFFICE



Lower Rio Grande Adjudication Northern Mesilla Valley Section

EBID Assessed Tract Boundary Total Assessed Acreage:

Land with No Right

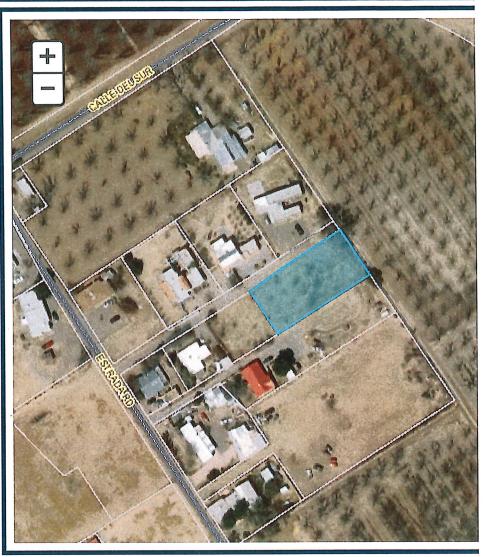
Land Formerly Irrigated

SCALE 1:2400

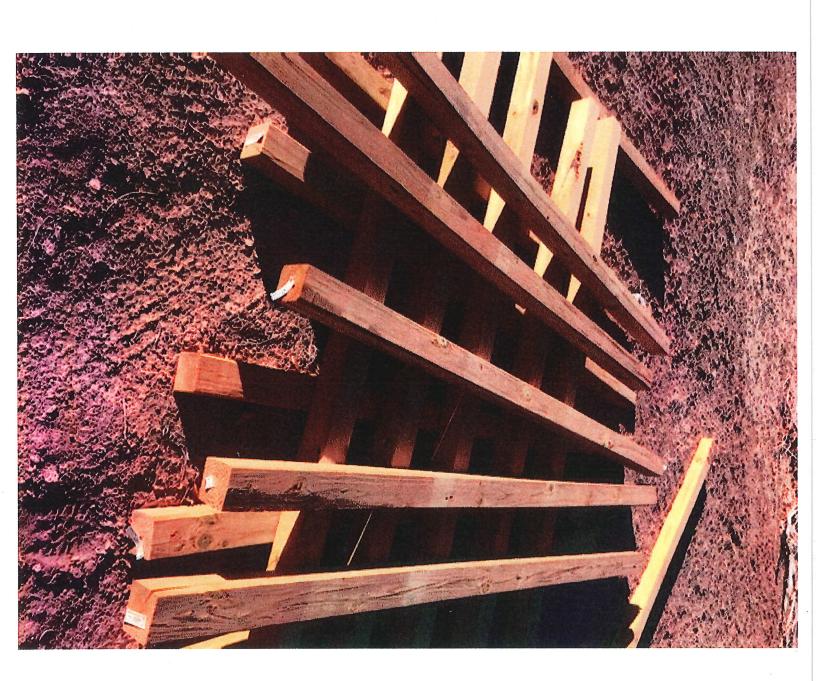


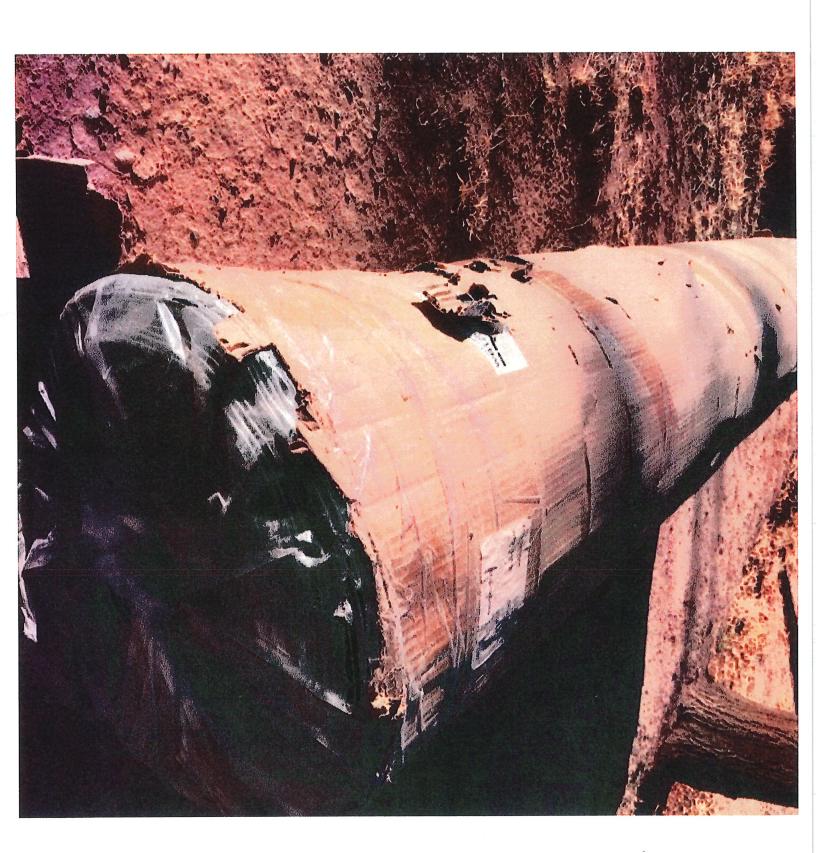
Doña Ana County, NM Parcel Map Leticia Duarte Benavidez, County Assessor

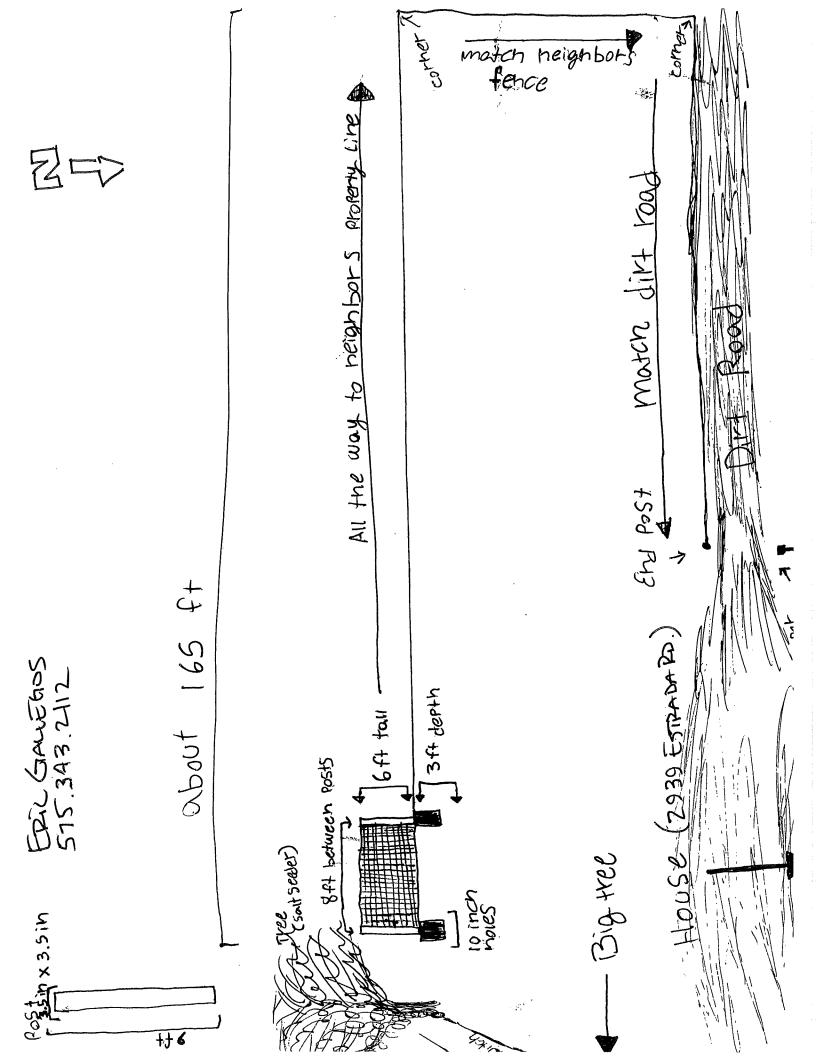




Parcel ID	Map Code	Name	Address	
R0400464	4006138114226	GALLEGOS ERIC D	PO BOX 825	







BOARD ACTION FORM

AGENDA DATE

PZHAC: March 21, 2022

BOT:

ITEM: PZHAC **Case** #061360 – 2100 Stithes Rd, submitted by Adrian Aguirre to build metal garage with concrete foundation with additional concrete driveway and remove old carport. Zoned: Rural Agriculture (RA)

BACKGROUND AND ANALYSIS: This case was not reviewed by the Architectural Styles Committee (ASC) it is in the Residential Agricultural Zone.

Mr. Adrian Aguirre purposes to build metal garage with concrete foundation with additional concrete driveway and remove old carport

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

• The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

- 1. Recommend approval of this case with findings stated above.
- 2. Recommend approval of this case with findings stated above and conditions.
- 3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA ZONING APPROVAL

OFFICIAL USE ONLY: Case #_O6/360 Fee \$____

PERMISSION TO CONDUCT WORK

OR OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

223	1 Avenida de Mesilla, P.O.	. Box 10, Mesilla, I	NM 88046 (575) 5	24-3262 ext. 104	1	
CASE NO	ZONE:	CODE:	API	PLICATION DAT	E:	
Name of Property Ow	AGUIRR		Property Owner's	-635 -		
2100 S	TITHES RI	> MESIL	Property Owner's	Telephone Numbe	88005	
Property Owner's Ma Property Owner's E-r	iling Address tis Cohotmai	City	State -aj.asu	irre@g		
Contractor's Name & 915 - Colo	Address (If none, indicate Se チーのチタス	elf)				
Contractor's Telepho	ne Number	Contractor's Tax ID	Number	Contractor's Lic	ense Number	
Address of Proposed	Work: 2100 S7	TITHES R	.0			
Description of Proposition of Propos	sed Work: Concrete additional Splanture of Applic	drivewas	, ,	A A	2 24×35× 15'×35' 3/2022	'IC
Signature of property	y owner:	I fr				
With the exception o before issuance of a	f administrative approvals, a zoning permit. Plan sheets	all permit requests r are to be no larger t	nust undergo a rev han 11 x 17 inches	iew process from or shall be submit	staff, PZHAC and/or BOT ted electronically.	
	F	OR OFFICIAL	USE ONLY			
	☐ Administrative Approval		вот	☐ Approved D	ate:	
[☐ Approved Date:	eta .		☐ Disapproved	d Date:	
I	☐ Disapproved Date:			☐ Approved w	ith Conditions	
	☐ Approved with conditions					
PZHAC APPROVAL	REQUIRED: YES	NO BOT APP	ROVAL REQUIRE	D: YES	NO	
CID PERMIT/INSPE	CTION REQUIRED: YI	ES NO	SEE CONDITIO	NS		
CONDITIONS:						
ERMISSION ISSU	ED/DENIED BY:			ISSUE DAT	E:	
	HALL INCLUDE ALL OF THI	E EOLLOWING:				
Plot plan wi Verification	th legal description to show shall show that the lot was for to February 1972.	w existing structure	s, adjoining street ded through the T	s, driveway(s), in own of Mesilla or	provements & setbacks. that the lot has been in	
Site Plan wit	h dimensions and details.					
	olan with details. nowing rooms, their uses and	dimensions.				
Cross sectio	n of walls					
	or framing plan					
Proof of lega Drainage pla	I access to the property.					
Details of arc	chitectural style and color sch					
	wer service or a copy of providing water services).	septic tank permit;	proof of water s	ervice (well perm	nit or statement from the	7
/	I access to the property.				\	
	ation as necessary or require	ed by the City Code	or Community Deve	elopment Departme	ent (See other side.)	

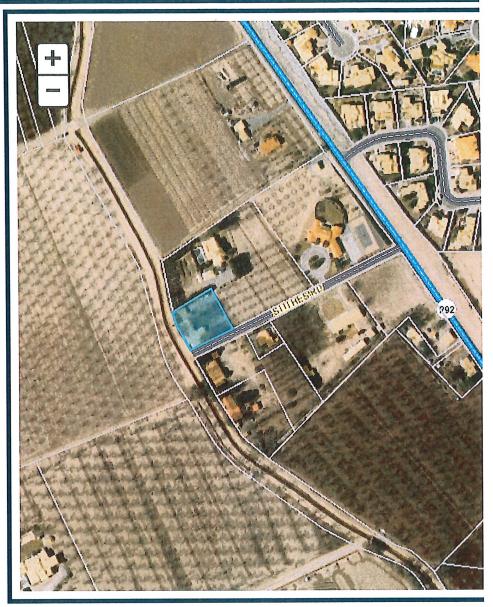
The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

A.	Com	pleted application, including:
	1.	Applicant's name
	2.	Applicant/property owners contact information
	3.	Physical address of property
	4.	Description of work to be done, including dimensions of any construction or repairs
	5.	Value of work to be done
	6.	Property owner's signature on the application
В. С.		lude all information required in the checklist at the bottom of the application.
	,	

Doña Ana County, NM Parcel Map Leticia Duarte Benavidez, County Assessor





Parcel ID	Map Code	Name	
R0400182	4006137057239	AGUIRRE ADRIAN J	

- Account Search
- View Created Report(s)
- Help?
- Logout Public

Account: R0400182 Real Property Account *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.



GLOBAL CONSTRUCTION LLC

PO Box 13892

Las Cruces, NM 88013

5755719339

glconstructionllc1@gmail.com

ADDRESS

Zoe Spiliotis 2100 Stithes

Las Cruces, Nm 88005 USA

Estimate



SHIP TO

Zoe Spiliotis 2100 Stithes

Las Cruces, Nm 88005 USA

ESTIMATE#

DATE

1095

01/04/2022

DESCRIPTION		QTY	RATE	AMOUNT
Concrete Slab for Metal Building 24' x 35' and Concre	ete Slab for Driveway 15' x 35'			7,380.00T
Demolition of old Carport and removal of all Debris (F	Roof And Walls)			5,000.00T
Reroute and Extend Power Line				1,800.00T
	SUBTOTAL			14,180.00
	TAX			957.15
	TOTAL		\$1	5 137 15

Accepted By

Accepted Date



1985 Calle De Colon Mesilla NM, 88046 Mesilla NM, 88046

P.O. BOX 1570

info@moysurveying.com (575) 525-9683 - F: (575) 524-3238 www.moysurveying.com

FEBUARY 24, 2022

DESCRIPTION OF A 0.497 ACRE TRACT

A tract land situated in the Town of Mesilla, Dona Ana County, New Mexico, in Section 25, T.23S., R.1E., N.M.P.M. of the U.S.R.S. Survey, being U.S.R.S. Tract 9D-86B, and being more particularly described as follows, to wit:

Beginning at a concrete monument found on the North line of Stithes Road for the Southeast corner of this tract being identical to the Southwest corner of Lot 2, Jurado Tracts, filed March 12, 1996, in Book 18, Page 432, Dona Ana County records;

Thence from the point of beginning and along the North line of Stithes Road, S.63°46'00"W., 145.31 feet to a concrete monument found on the East line of the Mesilla Lateral for the Southwest corner of this tract;

Thence along the East line of said Mesilla Lateral the following two courses and distances, N.28°14'27"W., 119.91 feet to a concrete monument found for an angle point of this tract;

Thence N14°36'07"W., 30.36 feet to a concrete monument found for the Northwest corner of this tract;

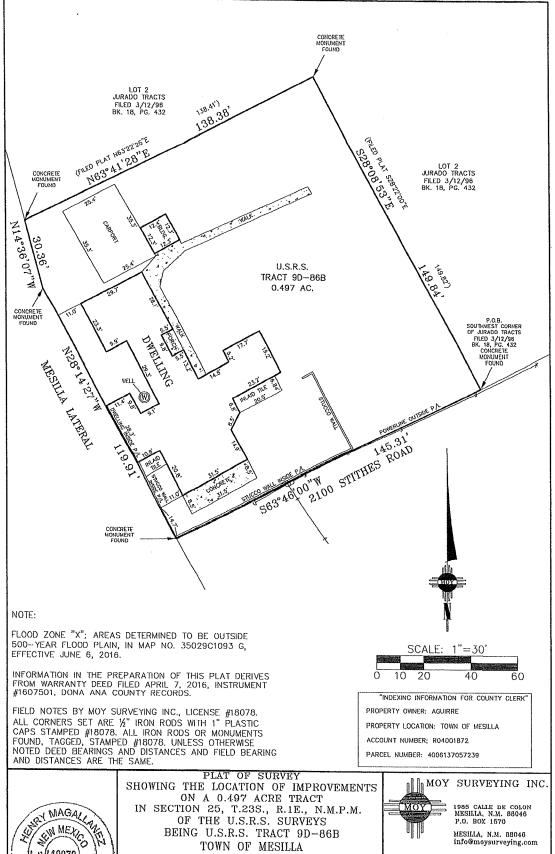
Thence leaving the Mesilla Lateral, N.63°41'28"E., 138.38 feet to a concrete monument found for the Northeast corner of this tract;

Thence S.28°08'53"E., 149.84 feet to the point of beginning, containing 0,497 acre of land, more or less. Subject to any easements and restrictions of record.

Information in the preparation of this description derives from Warranty Deed, filed April 7, 2016, Instrument #1607501, Dona Ana County records. Field notes by MOY SURVEYING INC., License #18078. All corners set a ½" iron rods with 1" plastic caps stamped #18078. All iron rods or monuments found, tagged, stamped #18078.

Job #22-0118 RI







DONA ANA COUNTY, NEW MEXICO

THIS ET O CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT THIS PLAT UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT, MEETING THE MANMAUA REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AND ADOPTED BY THE NEW MEXICO STATE BOAND OF REGISTRATION FOR PROTESSIONAL KNOWLERS AND LAND SURVEYS HE BEST OF MY

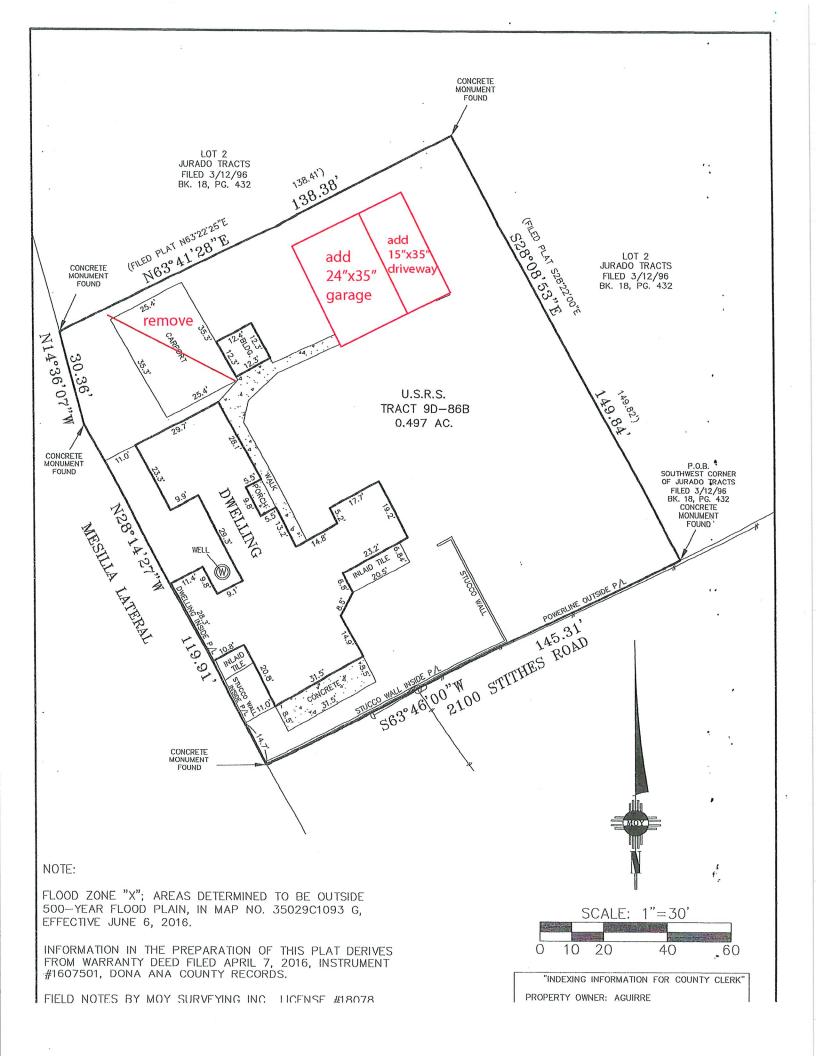
2/24/22

/ 22 HENRY MACADANEZ LICENSE NO. 18078

144 N. DOWNTOWN MALL
LAS CRUCES, NEW MEXICO 88001

PHONE: (575) 525-9683

JOB No. 22-0118 DRAWN BY ROBERT E. LAWS FIELD BY KENNY & VICTOR DATE 2/24/22 __SCALE: 1"=30'





STRUCTURAL DESIGN

ENCLOSED BUILDING

MAXIMUM 30'- 0" WIDE X 20'- 0" HEIGHT-BOX EAVE FRAME AND BOW FRAME

19 August 2021 Revision 9 M&A Project No. 16166S/17207S/17293S/18012S/18260S/19320S/21169S

Prepared for:

Eagle Carports 210 Airport Road Mount Airy, NC 27030

Prepared by:

Moore and Associates Engineering and Consulting, Inc.

1009 East Avenue North Augusta, SC 29841

401 S. Main Street, Suite 200 Mount Airy, NC 27030



ART1301- Art Appreciation Professor Spiliotis

Elements of Art - Photo Scavenger Hunt

Refer to the Module Part1: Fundamentals- The Elements of Art on Blackboard Chapters 1.1-1.6 from the Book Elements of Art- Quick Reference Sheet Attached

The elements of art are the building blocks used by artists to create a work of art. It is impossible to create a work of art without using at least one of the elements of art. Artworks can also be analyzed according to the use of the elements in a work of art.

Objectives:

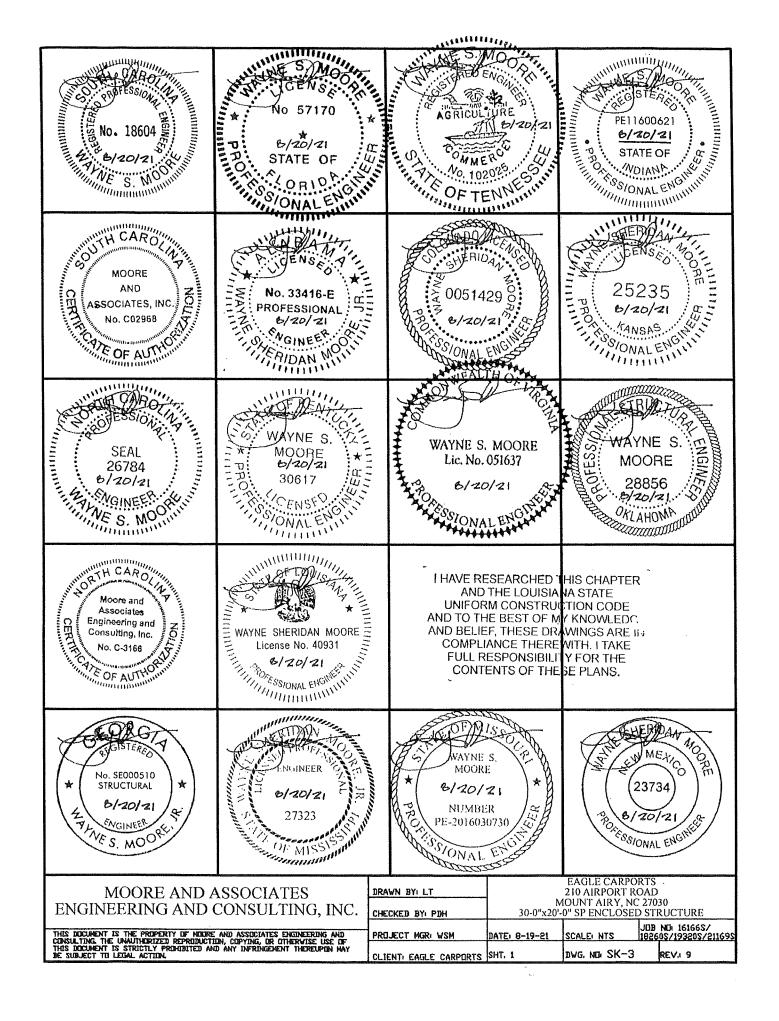
- Recognize that works of art are comprised of various artistic elements
- Identify how artistic elements are found in photographic compositions
- Compose photos that demonstrate knowledge of the visual elements

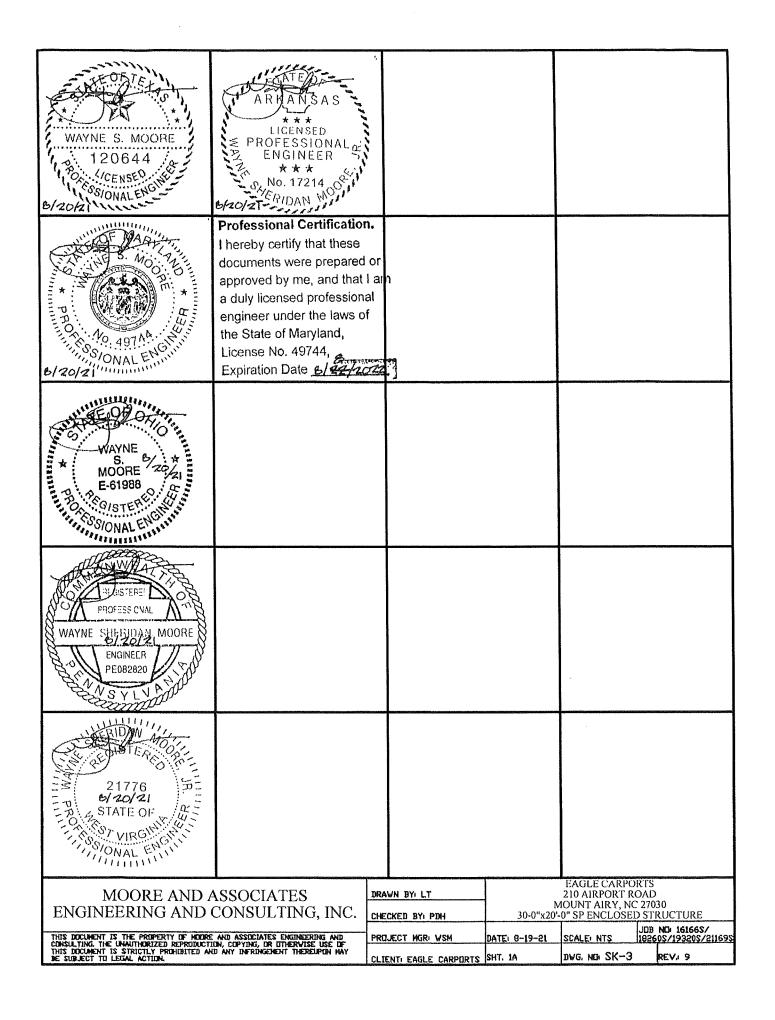
Directions:

1. Using a digital camera or cell phone camera, compose and photograph an example of each of the Visual elements listed below.

(In other words, I want to see examples of photos you take yourself, from the world around you that demonstrates these concepts. Not photos from the internet.)

- line
- shape
- space
- value
- form
- texture
- color
- 2. Create an 8 slide Google Slide, or PowerPoint presentation (Title page plus 7 slides)
- 3. Add one element photo per slide and write a short description for each slide which tells me what element it is, how it can be seen in the photo and why you think your photograph is a good example of that element.





DRAWING INDEX SHEET 1 PE SEAL COVER SHEET (1 OF 2) SHEET 1A PE SEAL COVER SHEET (2 OF 2) SHEET 2 DRAWING INDEX SHEET 3 INSTALLATION NOTES AND SPECIFICATIONS SHEET 3A LIST OF APPLICABLE BUILDING CODES SHEET 4 TYPICAL SIDE AND END ELEVATIONS TYPICAL RAFTER/COLUMN END FRAMING SECTION (BOX EAVE RAFTER) SHEET 5 (EXPOSURE B) SHEET 5A TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE RAFTER) (EXPOSURE B) SHEET 53 TYPICAL RAFTER/COLUMN END FRAMING SECTION (BOX EAVE RAFTER) (EXPOSURE C) TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE RAFTER) SHEET SC (EXPGSURE C) COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE) (EXPOSURE B) SHEET 6 SHEET 64 COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE) (EXPOSURE B) SHEET 6B COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE) (EXPOSURE C) SHEET SC COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE) (EXPOSURE C) SHEET 7 TYPICAL RAFTER/COLUMN END FRAMING SECTION (BOW RAFTER) (EXPESURE B) SHEET 7A TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOW RAFTER) (EXPOSURE B) SHEET 7B TYPICAL RAFTER/COLUMN END FRAMING SECTION (BOW RAFTER) (EXPOSURE C) SHEET 70 TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOW RAFTER) (EXPOSURE C) SHEET 8 COLUMN CONNECTION DETAILS (BOW RAFTER STRUCTURE) (EXPUSURE B) CCLUMN CONNECTION DETAILS (BOW RAFTER STRUCTURE) (EXPOSURE B) SHEET 8A SHEET BB COLUMN CONNECTION DETAILS (BOW RAFTER STRUCTURE) (EXPOSURE C) SHEET 80 COLUMN CONNECTION DETAILS (BOW RAFTER STRUCTURE) (EXPOSURE C) 9-400T 9 BASE RAIL ANCHORAGE OPTIONS TYPICAL END WALL AND SIDE WALL FRAMING SHEET 10 SECTIONS (BOX EAVE RAFTER) TYPICAL END WALL AND SIDE WALL FRAMING 5-EST 11 SECTIONS (BOW RAFTER) SHEET 12 CUNNECTION DETAILS SHEET 13 CONNECTION DETAILS SHEET 14 LEAN-IU UPTIONS (BOX EAVE RAFTER) THEET 14A LEAN-TO OPTIONS (BOX EAVE RAFTER) SHIET 14B LEAN-TO OPTIONS (BOX EAVE RAFTER) (EXPOSURE B) DHEET 140 LEAN-TO OPTIONS (BOX EAVE RAFTER) (EXPOSURE C) SHEET 15 LEAN-TO OPTIONS (BOW RAFTER) SHEET 15A LEAN-TO OPTIONS (BOW RAFTER) (EXPOSURE B) SHEET 15B LEAN-TO OPTIONS (BOW RAFTER) (EXPOSURE C) SHEET 16 VERTICAL ROOF/SIDING OPTION END AND SIDE ELEVATION AND SECTION SHEET 17 SIDE WALL AND END WALL HEADER OPTIONS

MOORE AND ASSOCIATES	DRAWN BY: LT		EAGLE CARPO 210 AIRPORT RO	DAD
ENGINEERING AND CONSULTING, INC.	CHECKED BY: PDH		10UNT AIRY, NC 0" SP ENCLOSEI	
THUS DOCUMENT IS THE PROPERTY OF HODRE AND ASSOCIATES ENGINEERING AND	PRELJECT MGR: VSM	DATE: 8-19-21		JDB ND 161665/
CONSULTING THE UNAUTHBRIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PRODUBITED AND ANY INFRINGEMENT THEREUPON HAY BE SUBJECT TO LEGAL ACTION.	CLIENT: EAGLE CARPORTS	SHT, 2	DAG' MO' 2K-3	REV19

INSTALLATION NOTES AND SPECIFICATIONS

- 1 DESIGN IS FOR MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES
- 2 DESIGN WAS DONE IN ACCORDANCE WITH ALL THE APPLICABLE BUILDING CODES LISTED ON SHEET 3A
- 3 DESIGN LOADS ARE AS FOLLOWS:

A) DEAD LOAD

= 15 PSF

= 12 PSF

B) LIVE LOAD C) GROUND SNOW LOAD - 35 PSF

NOTE: UNBALANCED LOADING DUE TO SNOW DRIFTING FROM AN ADJACENT TALLER STRUCTURE HAS NOT BEEN EVALUATED

- 4 3 SECOND GUST ULTIMATE WIND SPEED (VULT) 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH)
- 5. MAXIMUM RAFTER/POST AND END POST SPACING = 50 FEET (UNLESS NOTED OTHERWISE)
- 6 END WALL COLUMNS (27209) ARE EQUIVALENT TO SIDE WALL POSTS IN SIZE AND SPACING UNLESS NOTED OTHERWISE
- 7 RISK CATEGORY 1
- 8. WIND EXPOSURE CATEGORY B/C
- 9 SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2*x2 1/2*-14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS
- 10 AVERAGE PANEL FASTENER SPACING ON-CENTERS = 10° DC (MAX)
- 11 FASTENERS CONSIST OF #12-14x3/4* SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS
 SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14* (3:12 PITCH) OR LESS SPACING
 REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY ROOF SLOPES LESS THAN 3:12 REQUIRE USE OF LAP JOINT SEALANT
- 12 ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL AT OR WITHIN 6' OF EVERY RAFTER COLUMN
- 13 STANDARD GROUND ANCHORS (SOIL NAÎLS) CONSIST OF #4 REBAR W/ WELDED NUT x 36' LONG AND MAY BE USED IN SUITABLE SUILS OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED
- 14 CONTRACTOR TO PROVIDE ADEQUATE BRACING FOR STRUCTURE SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION THE STRUCTURE AND FOUNDATION ARE DESIGNED FOR A COMPLETED CONDITION ONLY AND, THEREFORE, REQUIRE ADDITIONAL SUPPORT TO MAINTAIN STABILITY BEFORE COMPLETION
- WIND FORCES GOVERN OVER SEISMIC FORCES SEISMIC PARAMETERS ANALYZED ARE SOIL SITE CLASS = D RISK CATEGORY I

R= 325

I_E= 10

S₀₅= 2039 g

V= C_SW

S₀₁= 1258 g

MOORE AND ASSOCIATES	DRAWN BY: LT
ENGINEERING AND CONSULTING, INC.	CHECKED BY: P
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	CHECKED BY PDH	MOUNT AIRY, NC 27030 30-0"x20'-0" SP ENCLOSED STRUCTURE						
4	PROJECT MGR: VSM	DATE: 8-19-21	SCALE: NTS		ND: 161665/ 0\$/193205/211695			
	CLIENT: EAGLE CARPORTS	знт. э	DAC' NEI 2K-3		REV, 9			

LIST OF APPLICABLE BUILDING CODES

2018 INTERNATIONAL BUILDING CODE (IBC 2018)

2015 INTERNATIONAL BUILDING CODE (IBC 2015)

2012 INTERNATIONAL BUILDING CODE (IBC 2012)

2009 INTERNATIONAL BUILDING CODE (IBC 2009)

2006 INTERNATIONAL BUILDING CODE (18C 2006)

BUILDING CODE 2015 OF ALABAMA (ADDPTS THE IBC 2015 WITH AMENDMENTS)

2020 FLORIDA BUILDING CODE, 7TH EDITION

GEORGIA STATE MINIMUM STANDARD BUILDING CODE (ADOPTS THE IBC 2018 WITH AMENDMENTS)

INDIANA BUILDING CODE, 2014 EDITION (ADOPTS THE IBC 2012 WITH AMENDMENTS)

BUILDING CODE 2016 OF KANSAS CADOPYS THE IBC 2018 WITH AMENDMENTS)

2018 KENTUCKY BUILDING CODE (ADOPTS THE IBC 2015 WITH AMENDMENTS)

ANAISIUUL OF COMPANA CANANAMA CANANAMA

BUILDING CODE 2018 OF MARYLAND CADOPTS THE IBC 2018 WITH AMENBMENTS)

BUILDING CODE 2015 OF NEW MEXICO (ADOPTS THE IBC 2015 WITH AMENDMENTS)

2018 NORTH CAROLINA BUILDING CODE (ADDPTS THE 18C 2015 WITH AMENDMENTS)

CATCHAMBRIANA HITM CIOS SHI LIPES CATCHAMBRIANA HITM CIOS SHI LIPES CATCHAMBRIANA HITM CA

BUILDING CODE 2015 OF OKLAHOMA CADOPTS THE IBC 2015 WITH AMENDMENTS)

AIMAYLYZMABA TO 2015 OF PENNSYLYAMIA CADOPTS THE IBC 2015 WITH AMENDMENTS

2018 SOUTH CAROLINA BUILDING CODE (ADDPTS THE 1BC 2018 WITH AMENDMENTS)

BUILDING CODE 2012 OF TENNESSEE (ADOPTS THE IBC 2012 WITH AMENDMENTS)

BUILDING CODE OF THE TEXAS INDUSTRIALIZED HOUSING AND BUILDINGS PROGRAM (ADDPTS THE 1BC 2015 WITH AMENDMENTS)

2018 VIRGINIA CONSTRUCTION CODE (ADOPTS THE IBC 2015 WITH AMENDMENTS)

BUILDING CODE 2015 OF WEST VIRGINIA (ADOPTS THE IBC 2015 WITH AMENDMENTS)

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		10UNT AIRY, NO		
CHECKED BY: PDH	30-0"x20'-	0" SP ENCLOSEI	O STRUCTURE	
 PROJECT MGR: WSM	DATE: 8-19-21	SCALE: NTS	JUB NU: 161665/ 182605/193205/21169	<u>s</u>
CLIENT: EAGLE CARPORTS	SHT. 3A	DVG, NO SK-3	REV.1 9	

BOX EAVE FRAME RAFTER STRUCTURE ROLL-UP DOOR ... (AS APPLICABLE) DESIGN PRESSURE EXP B (105 257, -239 257) EXP C (244 PSF, -275 257) PERSONNEL DOOR CAS APPLICABLE) DESIGN PRESSURE EXP B (185 PSF, -202 PSF) EXP C (264 PSF, -287 PSF) 6. (TYP) TRIM LENGTH VARIES DEPENDING ON NUMBER AND SPACING OF RAFTERS ¥ € 30'-0" MAXIMUM RAFTER SPAN TYPICAL END ELEVATION TYPICAL SIDE ELEVATION SCALE: NTS BOW FRAME RAFTER STRUCTURE - PERSONNEL DOOR (AS APPLICABLE) DESIGN PRESSURE EXP 8 (185 PSF, -202 PSF) EXP C (264 PSF -287 PSF) WINDOW (AS APPLICABLE)—DESIGN PRESSURE EXP B (194 PSF -214 PSF) EXP E = 77 PSF, -300 PSF)

TYPICAL END ELEVATION
SCALE NTS

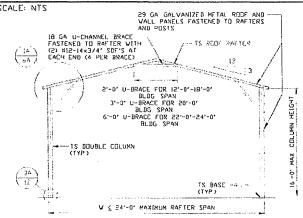
V & 30'-0' MAXIMUM RAFTER SPAN

TYPICAL SIDE ELEVATION

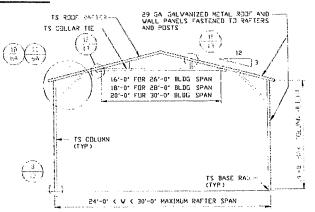
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EXPOSURE B PAGE FOR 12'-0'-18-0' 18 SA U-CHANNEL BRACE FOR 12'-0'-18-0' 19 SA U-CHANNEL BRACE FOR 12'-0'-18-0' 10 SA U-CHANNEL BRACE FOR 12'-0'-18-0' 11 SA LEC FOR 12'-0'-18-0' 12 SA LEC FOR 12'-0'-18-0' 13 SA LEC FOR 20'-0' 14 SA LEC FOR 20'-0' 15 SA LEC FOR 20'-0' 16 SA LEC FOR 20'-0' 17 SA LEC FOR 20'-0' 18 SA LEC FOR 20'-0' 19 SA LEC FOR 20'-0' 10 SA LEC FOR 20'-0' 11 SA LEC FOR 20'-0' 12 SA LEC FOR 20'-0' 13 SA LEC FOR 20'-0' 14 SA LEC FOR 20'-0' 15 SA LEC FOR 20'-0' 16 SA LEC FOR 20'-0' 17 SA LEC FOR 20'-0' 18 SA LEC FOR 20'-0' 19 SA LEC FOR 20'-0' 10 SA LEC FOR 20'-0' 11 SA LEC FOR 20'-0' 12 SA LEC FOR 20'-0' 13 SA LEC FOR 20'-0' 14 SA LEC FOR 20'-0' 15 SA LEC FOR 20'-0' 16 SA LEC FOR 20'-0' 17 SA LEC FOR 20'-0' 18 SA LEC FOR 20'-0' 19 SA LEC FOR 20'-0' 19 SA LEC FOR 20'-0' 10 SA LEC FOR 20'-0' 10 SA LEC FOR 20'-0' 11 SA LEC FOR 20'-0' 12 SA LEC FOR 20'-0' 13 SA LEC FOR 20'-0' 14 SA LEC FOR 20'-0' 15 SA LEC FOR 20'-0' 16 SA LEC FOR 20'-0' 17 SA LEC FOR 20'-0' 18 SA LEC FOR 20'-0' 19 SA LEC FOR 20'-0' 19 SA LEC FOR 20'-0' 10 SA LEC

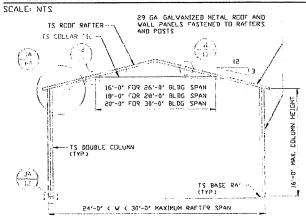
TYPICAL RAFTER/COLUMN END FRAME SECTION



TYPICAL RAFTER/COLUMN END FRAME SECTION



TYPICAL RAFTER/COLUMN END FRAME SECTION



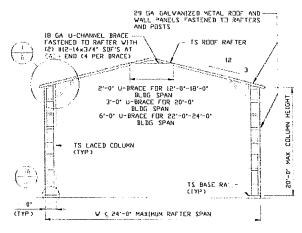
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS

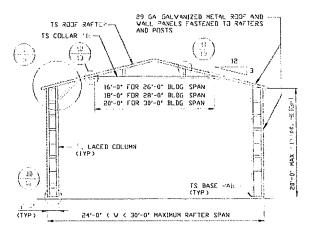
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CLIENT: EAGLE CARPORTS	SHT. 5	DAC' ME: 2K-3	REV+ 9		
PROJECT MGR: WSM	DATE: 8-19-21		JDB ND: 161665/		
CHECKED BY PDH		27030 STRUCTURE			
DRAWN BY: LT	EAGLE CARPORTS 210 AIRPORT ROAD				

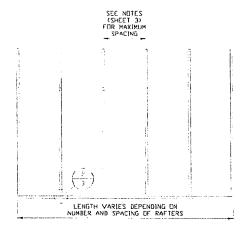
EXPOSURE B





TYPICAL RAFTER/COLUMN END FRAME SECTION SCALE NTS

TYPICAL RAFTER/COLUMN END FRAME SECTION SCALE NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION SCALE: NTS

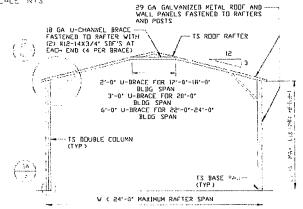
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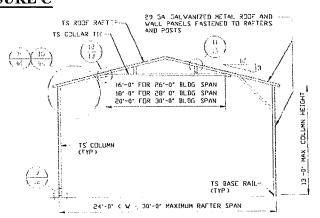
	DRAWN BY: LT	EAGLE CARPORTS 210 AIRPORT ROAD MOUNT ALBY NO 27030			
	CHECKED BY: PDH	MOUNT AIRY, NC 27030 30-0"x20'-0" SP ENCLOSED STRUCTURE			
_	PROJECT MOR! VSM	DATE: 8-19-21			ND: 16166\$/ 0\$/19320\$/21169\$
	CLIENT: EAGLE CARPURTS	SHT. 5A	DVG. ND: SK-3	,	REV: 9

29 SA SALVANIZED METAL ROOF AND WALL PANELS FASTENED TO RAFTERS AND POSTS 18 SA U-CHANNEL 9-AAND POSTS FASTENED TO RAFTER WITH (2) HIS-14X3/4' SDF'S AT EACH END (4 PER BRACE) 2'-O' U-BRACE FUR 12'-O'-18'-O' BLOG SPAN 3'-O' U-BRACE FUR 20'-O' BLOG SPAN G'-O' U-BRACE FUR 20'-O' BLOG SPAN 15 BASE RAIL (TYP) V £ 24'-O' MAXIMUM RAFTER SPAN

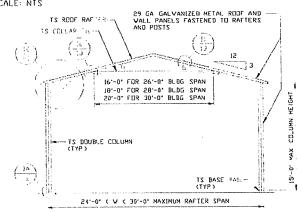
TYPICAL RAFTER/COLUMN END FRAME SECTION



TYPICAL RAFTER/COLUMN END FRAME SECTION SCALE NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION



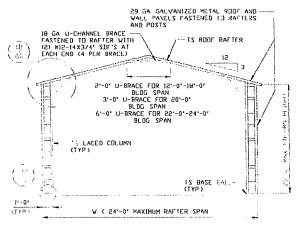
TYPICAL RAFTER/COLUMN END FRAME SECTION

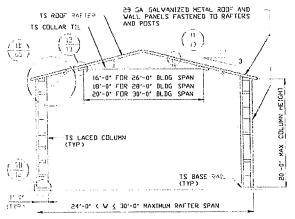
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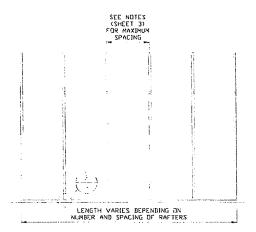
	DRAWN BY: LT	EAGLE CARPORTS 210 AIRPORT ROAD					
	CHECKED BY: PDH	MOUNT AIRY, NC 27030 30-0"x20'-0" SP ENCLOSED STRUCTURE					
-	PROJECT MGR: WSM	DATE: 8-19-21	SCALE: NTS		ND: 16166\$/ 0\$/19320\$/21169\$		
	CLIENT: EAGLE CARPURTS	SHT. 5B	DAC' NO ZK-3		REV. 9		

EXPOSURE C





TYPICAL RAFTER/COLUMN END FRAME SECTION SCALE NTS

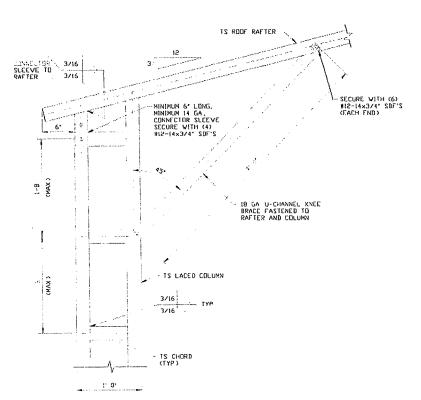


TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE NTS

MOORE AND ASSOCIATES	DRAWN BY: LT	. N	EAGLE CARPO 210 AIRPORT RO OUNT AIRY, NC	DAD
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THE PRESENT TO COUNTY V SOCIETIES AND ANY DESCRIPTION THEORETICS HAV	CLIENT: EAGLE CARPURTS	SHT. 5C	DVG. NO SK-3	REV. 9

EXPOSURE B



18 GA U-CHANNEL BRACE FASTENED TO
THE COLUMN AND ROOT BEAM, WITH
(IS PER BRACE)
(IS PER BRACE)

BRACE SECTION

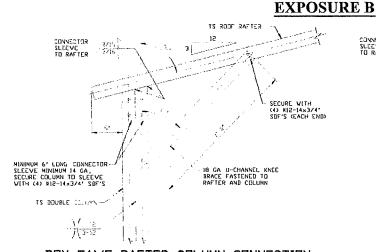
BOX EAVE RAFTER COLUMN CONNECTION

DETAIL FOR HEIGHTS 16'-0" < TO < 20'-0"

1

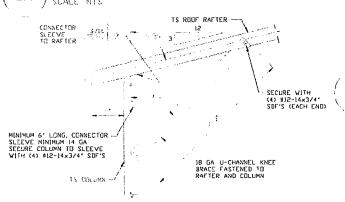
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	CHECKED BY: PDH	MOUNT AIRY, NC 27030 30-0"x20'-0" SP ENCLOSED STRUCTURE				
-	PROJECT MGR: WSM	DATE: 8-19-21	SCALE: NTS]: 16166\$/ 	
	CLIENT: EAGLE CARPORTS	знт. 6	DWG. NO SK-3	RE	EV# 9	

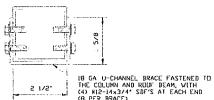


BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 14'-0' < TO ≤ 16'-0" WITH 10 PSF < TO \leq 35 PSF SNOW LOAD AND \leq 105 MPH WIND SPEED (12'-0" < TO \leq 16'-0" WITH \leq 10 PSF SNOW LOAD AND 105 MPH < TO < 140 MPH VIND SPEED)

1C



BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS < 12'-0' WITH 10 PSF < TO < 35 PSF SNOW LOAD ⟨≤ 11'-0' WITH ≤ 10 PSF SNOW LOAD AND
| 105 MPH < TO ≤ 140 MPH WIND SPEED</pre> / SCALE: NTS



SCALE NTS

- PATTAS TOCH ZT
CONNECTER 1771 17 17 17 17 17 17 17 17 17 17 17 1
(4) RI2-1433/4*
SBP'S (EACH END)
- MINIMUM 6' LUNG CONNECTOR SLEEVE MINIMUM 16 GA, SECURE COLUMN TO SLEEVE
TS COLUMN
TS 2 1/4×2 1/4-14 GA REINFURCING SECURE VITH ME1-4×2/4 SDF'S Q MAX 6' OC DN BOTH SIEES OF COLUMN

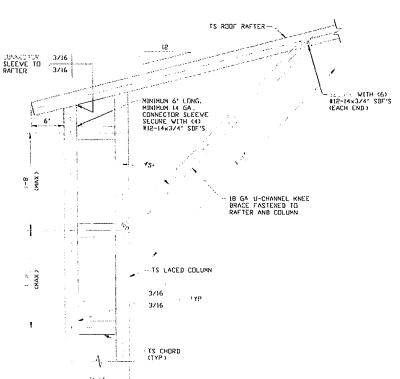
BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12'-0' < TO \(\) 14'-0' WITH 10 PSF < TO \(\) 35 PSF SNOW LOAD AND \(\) 105 MPH WIND SPEED (11'-0' < TO \(\) 12'-0' WITH \(\) 10 PSF SNOW LOAD AMD 105 MPH < TO \(\) 140 MPH WIND SPEED

1B SCALE NTS

	/5 .
2 1/2	18 GA U-CHANNEL BRACE FASTENED TO THE COLUMN AND ROUF BEAM, WITH (4) XIZ-I4x3/4" SDF'S AT EACH END (8) PER BRACE)
BRACE SECT	<u>ION</u>

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EXPOSURE C



18 GA U-CHANNEL BRACE FASTENED TO
THE COLUMN AND ROOF BEAK, VITH
(6) MIZ-14-3/4' SDF'S AT EACH END
(12 PER BRACE)

BRACE SECTION

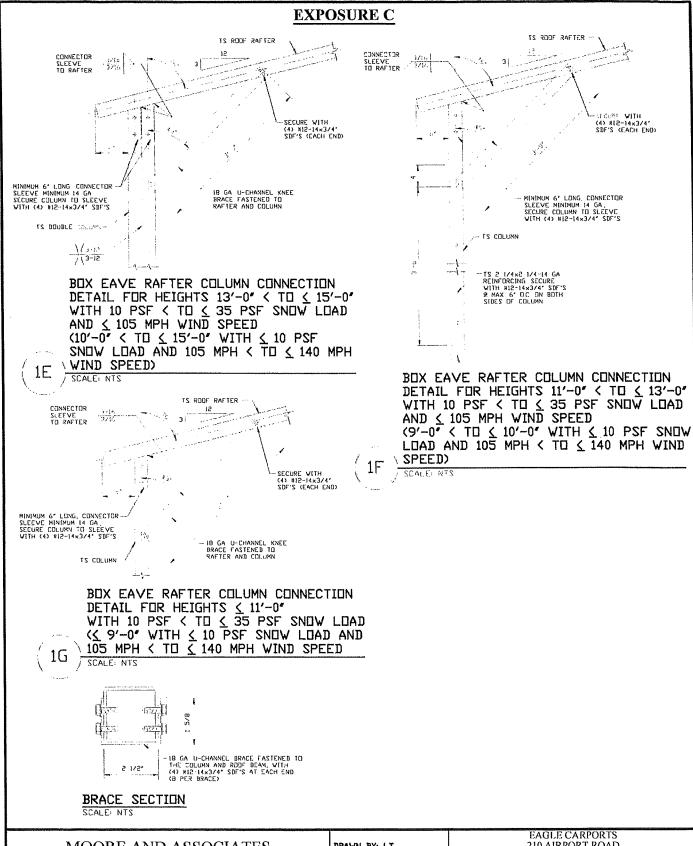
SCALE: NTS

BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 15'-0' < TO < 20'-0'

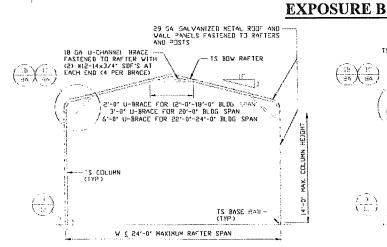
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	CLIENT: EAGLE CARPORTS	SHT. 6B	DAG' WEF 2K-3		REV. 9			
1	PREJECT HGR: VSH	DATE: 8-19-21			ND: 16166\$/ 0\$/19320\$/21169\$			
١	CHECKED BY: PDH	MOUNT AIRY, NC 27030 BY: PDH 30-0"x20'-0" SP ENCLOSED STRUC						
	DRAWN BY: LT	EAGLE CARPORTS 210 AIRPORT ROAD						



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TS COLLAR 11. 16'-0' FDR 26'-0' BL.DG SPAN 18'-0' FDR 28'-0' BL.DG SPAN 20'-0' FDR 30'-0' BL.DG SPAN

TYPICAL RAFTER/COLUMN END FRAME SECTION

TYPICAL RAFTER/COLUMN END FRAME SECTION SCALE N'S

SCALE NTS

29 GA GALVANIZED METAL RODE AND VALL PANELS FASTENED TO RAFTERS

NAND POSTS

18 GA U-CHANNEL BRACE
PASTENED TO RAFTER WITH
CO RIZ-143/4 SBT SA
EACH END (4 PER BRACE)

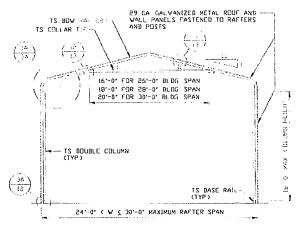
2º U-BRACE FOR 12'-0'-18'-0' BLDG SPAN
6'-0' U-BRACE FOR 22'-0'-24'-0' BLDG SPAN

-- TS DOUBLE COLUMN
(TYP)

V (24'-0' MAXIMUM RAFTER SPAN

TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE NTS

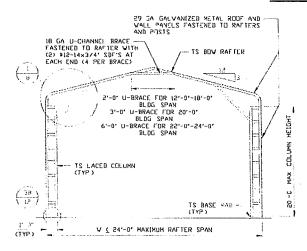


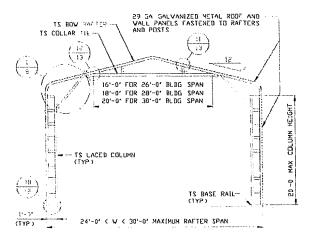
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS

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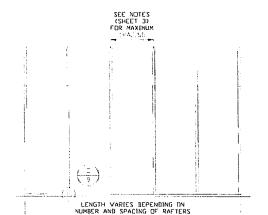
EXPOSURE B





TYPICAL RAFTER/COLUMN END FRAME SECTION

TYPICAL RAFTER/COLUMN END FRAME SECTION



TYPICAL RAFTER/COLUMN FRAMING SIDE SECTION SCALE NES

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ENGINEERING AND CONSULTING, INC.

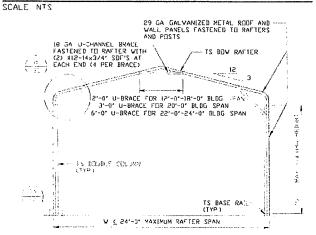
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		EAGLE CARPORTS					
	DRAVN BY: LT		210 AIRPORT ROAD				
		MOUNT AIRY, NC 27030					
	CHECKED BY: PDH	30-0"x20'-0" SP ENCLOSED STRUCTURE					
-	PROJECT MOR: VSM	DATE: 8-19-21	SCALE: NTS	JIB NO 161665/ 182605/193205/2116	98		
	CLIENT: EAGLE CARPORTS	SHT, 7A	DVG. NO: SK-3	REV. 9			

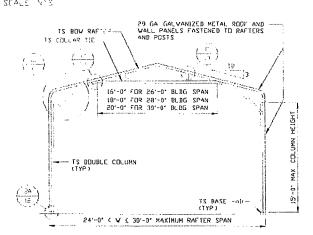
TS BDV RAF AND VALL PARELS FASTENED TO RAFTERS AND PASTS IS COLLAR 18 AND PASTS IS BASE RAIL 19 A

TYPICAL RAFTER/COLUMN END FRAME SECTION

TYPICAL RAFTER/COLUMN END FRAME SECTION



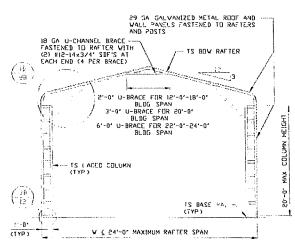
TYPICAL RAFTER/COLUMN END FRAME SECTION

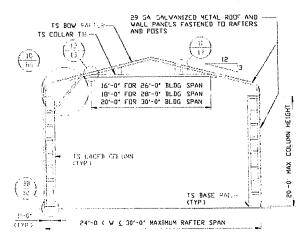


TYPICAL RAFTER/COLUMN END FRAME SECTION

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EXPOSURE C

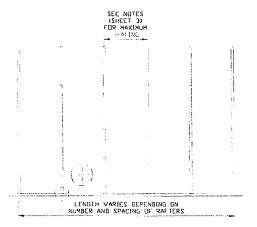




TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS

TYPICAL RAFTER/COLUMN END FRAME SECTION SCALE NEED

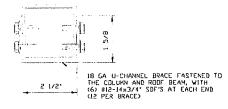


TYPICAL RAFTER/COLUMN FRAMING SIDE SECTION

SCAFF: N12

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EXPOSURE B TS BOY RAPPLY SECURE WITH (6) #12-14×3/4° SDF'S (EACH END) MINIMUM 7' LINE - Y MINIMUM 14 GA. CONNECTOR SLEEVE SECURE WITH (8) H12-14-374' SDF'S IB GA U-CHANNEL KNCE BRACE FASTENED TU RAFTER AND COLUMN --- TS LACED COLUMN

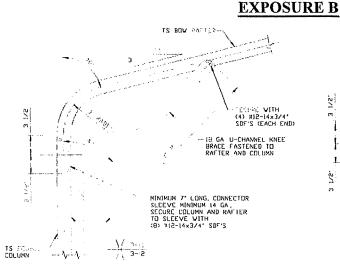


BRACE SECTION

BOW RAFTER COLUMN CONNECTION DETAIL \ FOR HEIGHTS 16'-0" < TO < 20'-0" SCALE NTS

	SCALE: NTS 18260	ъ.
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ENGINEEDING AND CONGULTING INC	MOUNT AIRY, NC 2703 20'-0" SP ENCLOSED STR	
MOORE AND ASSOCIATES BRAWN BY: LT	EAGLE CARPORTS 210 AIRPORT ROAD	

DRAWN BY: LT	210 AIRPORT ROAD				
	MOUNT AIRY, NC 27030				
CHECKED BY: PDH	30-0"x20	'-0" SP ENCLOSEI	O STRUCTURE		
PROJECT MGR: WSM	DATE: 8-19-21	SCALE: NTS	JDB ND 16166S/ 18260S/19320S/21169S		
CLIENT, EAGLE CASSISTE	SHT. B	DVG. ND SK-3	REV. 9		



BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 14'-0" < TO \(\) 16'-0"
WITH 10 PSF < TO \(\) 35 PSF SNOW LOAD
AND \(\) 105 MPH WIND SPEED
(12'-0" < TO \(\) 16'-0" WITH \(\) 10 PSF
SNOW LOAD AND 105 MPH < TO \(\) 140 MPH
WIND SPEED)

1A

IS BOV AND IS

15 BOV AND IS

16 GA U-CHANNEL KNEE
BRACE FASTENED III
RAFTER AND COLUMN

MINIMUM 7' LDNG, CONNECTOR
SIEEVE MINIMUM 14 GA
SICURE COLUMN AND RAFTER
TO SLEEVE VITH
(8) #12-14x3/4' SDF'S

BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS \(\) 12'-0' WITH 10 PSF \(\) TO \(\) 35 PSF SNOW LOAD \(\) 11'-0' WITH \(\) 10 PSF SNOW LOAD AND 105 MPH \(\) TO \(\) 140 MPH WIND SPEED SCALE NTS

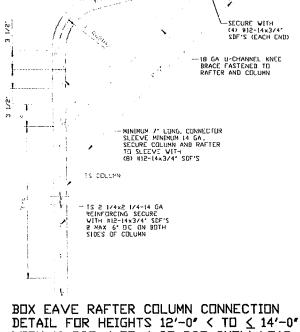
2 1/2'

1 SA U-CHANNEL BRACE FASTENED TJ
THE COLUMN AND RODE FASTENED TJ
THE COLUMN AND RODE AND RODE
(3) RICAS 1/4 SA 2/4 SA 2/

BRACE SECTION

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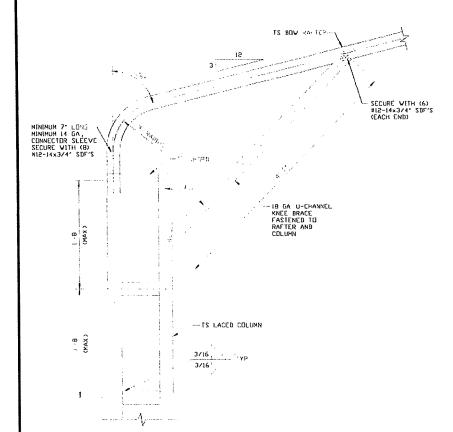
TS BOY RAFTER

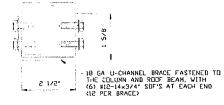
BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 12'-0' < TO \(\) 14'-0'
WITH 10 PSF < TO \(\) 35 PSF SNOW LOAD
AND \(\) 105 MPH WIND SPEED
<11'-0' < TO \(\) 12'-0' WITH \(\) 10 PSF
SNOW LOAD AMD 105 MPH < TO \(\) 140 MPH
\(\) WIND SPEED)

SCALE NIS

 a constituent of the constituence and before				The second secon		
	EAGLE CARPORTS					
DRAWN BY: LT	210 AIRPORT ROAD					
	MOUNT AIRY, NC 27030					
CHECKED BY: PDH		" SP ENCLOSED STRUCTURE				
 PROJECT MGR: WSM	DATE: 8-19-21	SCALE: NTS	1826 1826	ND: 161665/ 02/193202/211692		
CLIENT: EAGLE CARPORTS	SHT. 8A	DVG. NO: SK-3		REV. 9		

EXPOSURE C

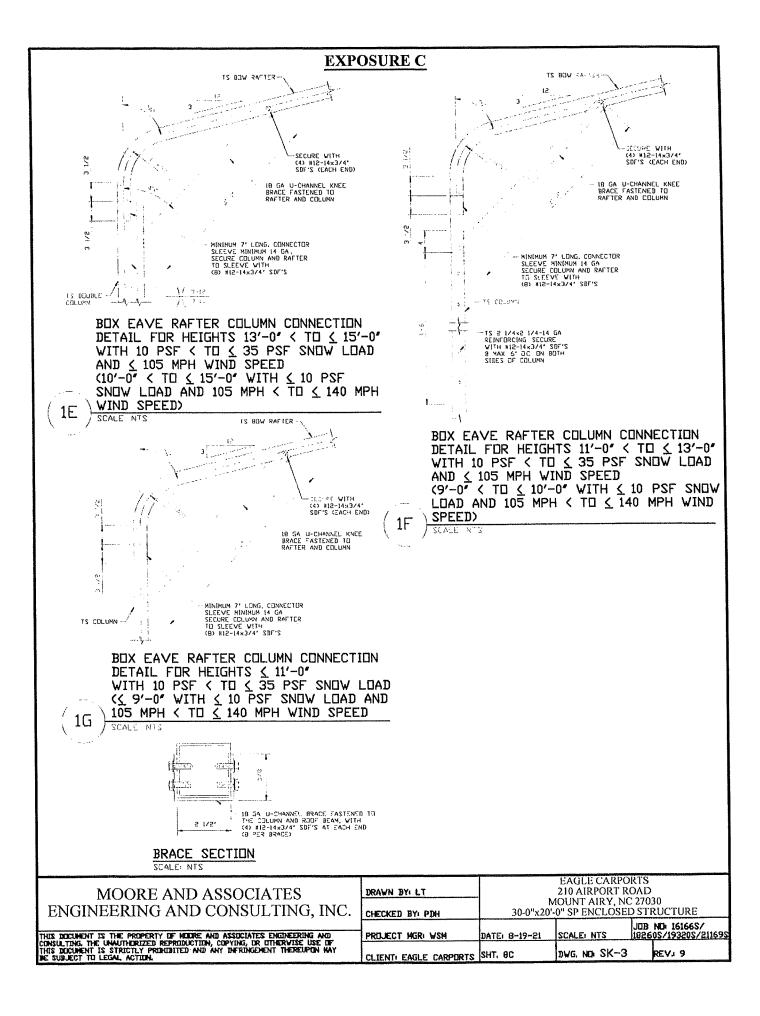




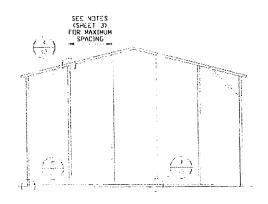
BRACE SECTION

BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 15'-0' < TO < 20'-0'

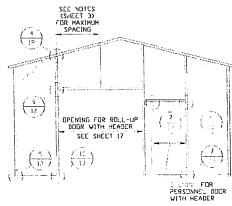
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BOX EAVE RAFTER END WALL AND SIDE WALL FRAMING SECTIONS

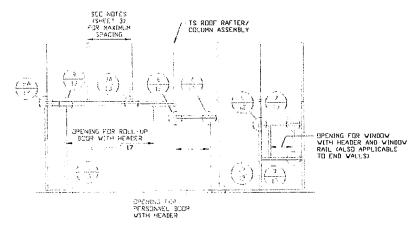


TYPICAL BOX EAVE RAFTER END WALL FRAMING SECTION



TYPICAL BOX EAVE RAFTER END WALL OPENINGS FRAMING SECTION

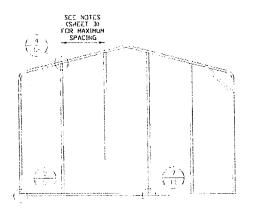
SCALE NTS



TYPICAL BOX EAVE RAFTER SIDE WALL OPENINGS FRAMING SECTION

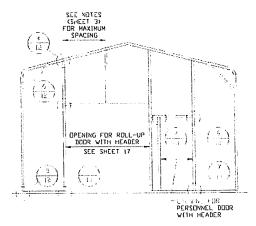
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ENCONDEDING AND CONCLUTING INC	CHECKED BY: PDH		10UNT AIRY, NO 0" SP ENCLOSEI	
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BOW RAFTER END WALL AND SIDE WALL FRAMING SECTIONS



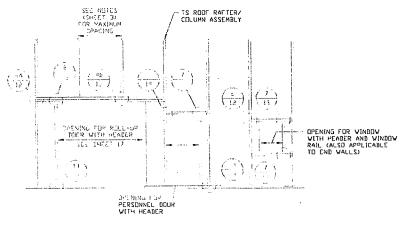
TYPICAL BOW RAFTER END WALL FRAMING SECTION

STACE NTS



TYPICAL BOW RAFTER END WALL OPENINGS FRAMING SECTION

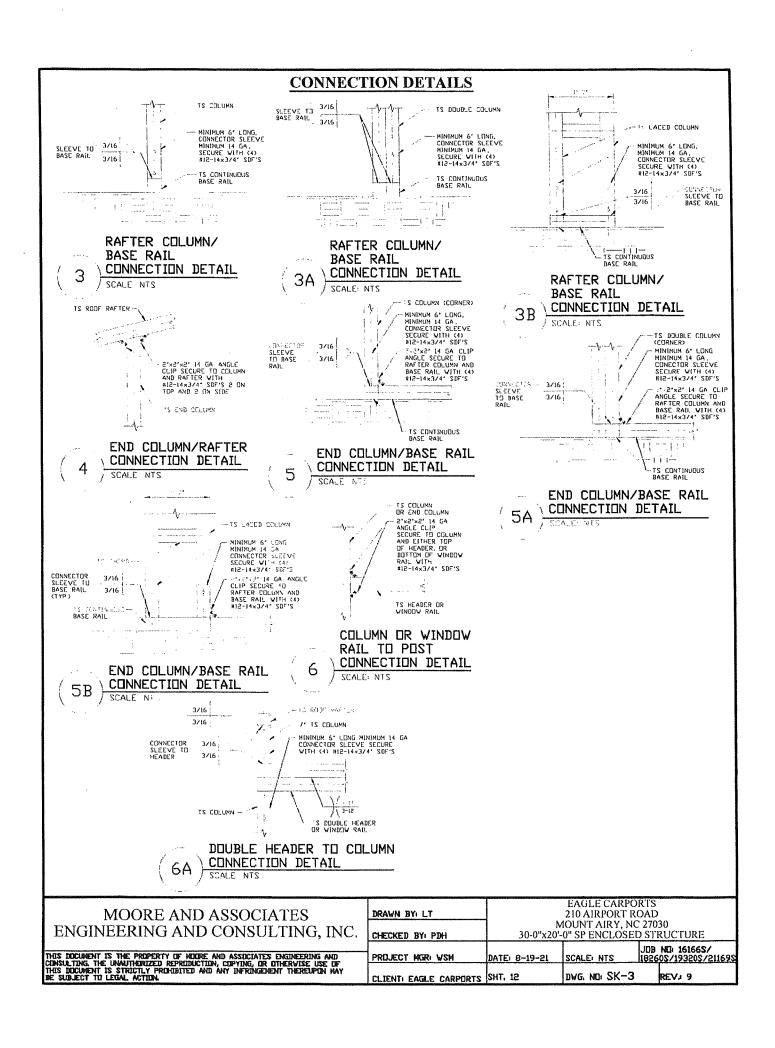
SCALE NTS

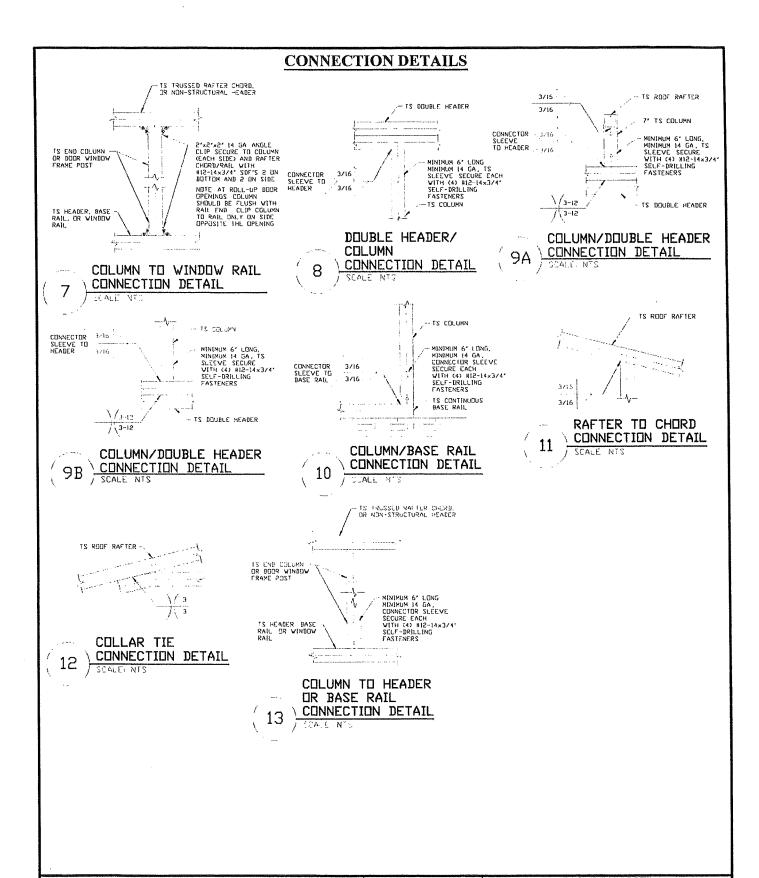


TYPICAL BOW RAFTER SIDE WALL OPENINGS FRAMING SECTION

SCALE NTS

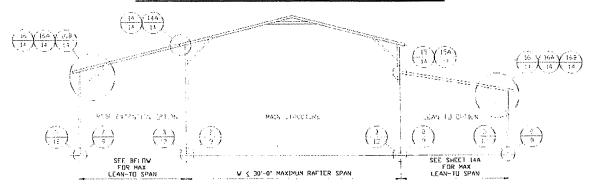
ENICHIERDING AND CONGULTING INC	DRAWN BY: LT CHECKED BY: PDH	EAGLE CARPO 210 AIRPORT R 4OUNT AIRY, NC -0" SP ENCLOSEI	OAD C 27030
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THE	CLIENT: EAGLE CARPORTS	SHT. 13	DAG WO 2K-3	REV ₁ 9	



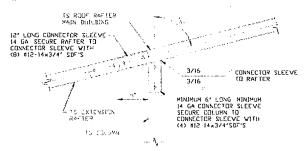


TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

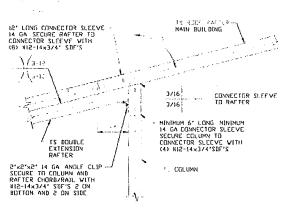
SCALE NTS

MAXIMUM WIDTH OF SINGLE MEMBER (RAFTER AND COLUMN) ROOF EXTENSION AND LEAN-TO IS 12'-0'
MAXIMUM WIDTH OF DOUBLE MEMBER (RAFTER AND COLUMN) ROOF EXTENSION AND LEAN-TO IS 15'-0'
MAXIMUM WIDTH OF DOUBLE MEMBER (RAFTER AND COLUMN) ROOF EXTENSION AND LEAN-TO IS 15'-0'
MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE LACED COLUMNS FOR EAVE HEIGHTS
16'-0' < TO < 20'-0' FOR EXPOSURE B AND 15'-0' < TO < 20'-0' FOR EXPOSURE C
MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE COLUMNS FOR EAVE HEIGHTS
14'-0' < TO < 16'-0' FOR EXPOSURE B AND 13'-0' < TO < 15'-0' FOR EXPOSURE C
MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS WITH INSERTS FOR
EAVE HEIGHTS 11'-0' < TO < 14'-0' FOR EXPOSURE B AND 9'-0' FOR EXPOSURE C
MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS FOR EAVE HEIGHTS

<p>(11'-0' FOR EXPOSURE B AND < 9'-0' FOR EXPOSURE C</p>



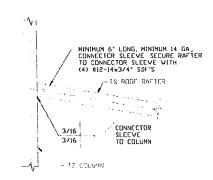
SIDE EXTENSION RAFTER/ COLUMN DETAIL FOR A RAFTER SPANS ≤ 12'-0' SOALE NIS



SIDE EXTENSION RAFTER/ COLUMN DETAIL FOR RAFTER SPANS 12'-0' < TO < 15'-0"

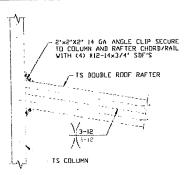
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BOX EAVE RAFTER LEAN-TO OPTIONS



LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL FOR RAFTER SPANS < 12'-0" 15

NOTE ROUF PITCH OF 212 AND HZ ARE ADEQUATE FOR LEAN-TO RAFTER



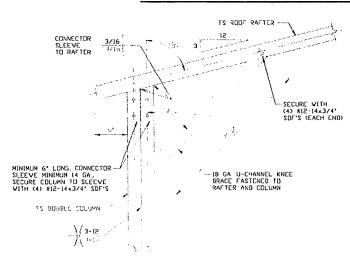
COLUMN CONNECTION DETAIL

FOR RAFTER SPANS 12'-0" < TO < 15'-0"

NUTE ROOF PICH OF 212 AND 140 ADDITION OF 212 ADDITION OF 212

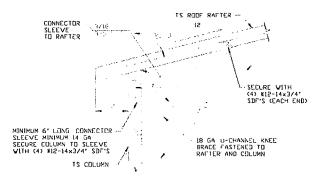
NUTE: ROOF PITCH OF 212 AND 112 ARE ADEQUATE FOR LEAN-TO RAFTER

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BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 15'-0" < TO \(\lefta \) 16'-0"

SCALE NTS HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BOUNDED



BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 14'-0" < TO < 15'-0"

TS 2 L/4×2 L/4-14 GA REINFORCING SECURE WITH #12-14×3/4' SDF'S 3 MAX 10' 8C ON BOTH STORY OF COLUMN

TS RODE RAFTER -

MINIMUM 6' LONG, CONNECTOR SLEEVE MINIMUM 14 GA, SECURE COLUMN TO SLEEVE WITH (4) #12-14×3/4' SDF'S

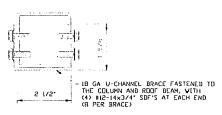
- SECURE WITH
(4) #12-14x3/4'
SOF'S (EACH END)

STALE N'S HORSC BARN OPTION (REQUIRES A LEAN-TO DN BOTH SIDES OF THE MAIN BUILDING)

ķ.

BOX EAVE RAFTER COLUMN CONNECTION 16B DETAIL FOR HEIGHTS & 14'-0"

SCALE: NTS HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)



BRACE SECTION

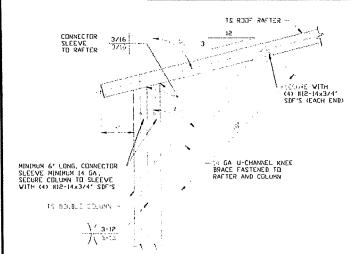
SCALE: NTS

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BOX EAVE RAFTER LEAN-TO OPTION - EXPOSURE B

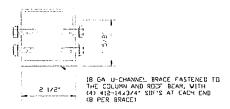
CONNECTOR 3/16 SLEEVE TO RAFTER 3/16

BOX EAVE RAFTER LEAN-TO OPTION - EXPOSURE C

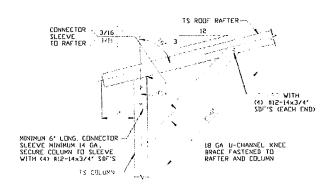


BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 13'-0' < TO < 16

16C | FUR HEIGHTS 13'-0' < TU & 16'-0' | SCALE: NTS | HURSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)



BRACE SECTION



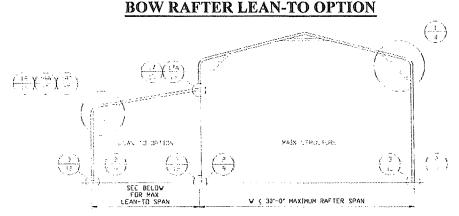
BOX EAVE RAFTER COLUMN CONNECTION

(16D) DETAIL FOR HEIGHTS

(16D) SCALE NIS

SCALE NTS
HORSE BARN OPTION (REQUIRES A LEAN-TO EN BOTH
SIDES OF THE MAIN BUILDING)

MOOKE THIS HOSCETTES	DRAWN BY: LT	N	EAGLE CARPORTS 210 AIRPORT ROAD MOUNT AIRY, NC 27030		
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TYPICAL BOW RAFTER LEAN-TO OPTION FRAMING SECTION

SCALE NTS

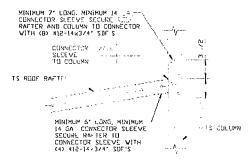
MAXIMUM WIDTH OF SINGLE MEMBER (RAFTER AND COLUMN) ROOF EXTENSION AND LEAN-TO IS 12'-0'
MAXIMUM WIDTH OF BOUBLE MEMBER (RAFTER AND COLUMN) ROOF EXTENSION AND LEAN-TO IS 15'-0'
MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE LACED COLUMNS FOR EAVE HEIGHTS
16'-0' < TO < 20'-0' FOR EXPOSURE B AND 15'-0' < TO < 20'-0' FOR EXPOSURE C

MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE DOUBLE COLUMNS FOR EAVE HEIGHTS
14'-0' < TO < 16'-0' FOR EXPOSURE B AND 13'-0' < TO < 15'-0' FOR EXPOSURE C

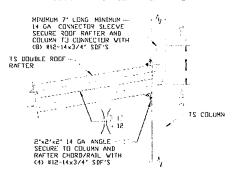
MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS WITH INSERTS FOR EAVE HEIGHTS I'-0' < TO < 10' FOR EXPOSURE B AND 9'-0' FOR EXPOSURE D AND 9'-0' CTO < 13'-0' FOR EXPOSURE C

MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS FOR EAVE HEIGHTS

(11'-0' FOR EXPOSURE B AND < 9'-0' FOR EXPOSURE C



LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL FOR RAFTER SPANS 12'-0"

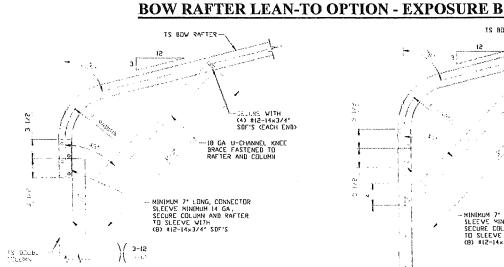


LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL FOR RAFTER SPANS 12'-0" < TO < 15'-0"

SCALE: NTS NOTE: ROOF PITCH OF 212 AND 112 ARE ADEQUATE FOR LEAN-TO RAFTER

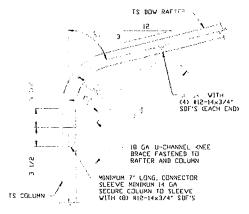
17A

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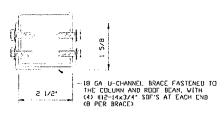
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 15'-0' < TO < 16'-0'

SCALE NTS HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)



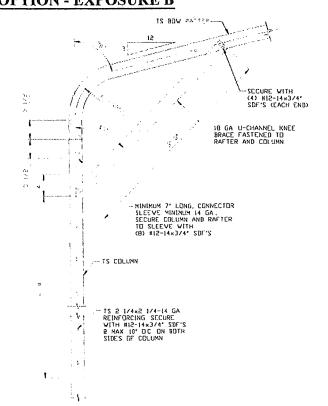
BOW EAVE RAFTER COLUMN CONNECTION DETAIL (18B) FOR HEIGHTS & 14'-0'

SCALE: NTS CHORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)



BRACE SECTION

SCALE NTS

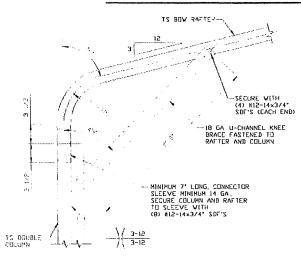


BOW EAVE RAFTER COLUMN CONNECTION 18A DETAIL FOR HEIGHTS 14'-0" < TO < 15'-0"

SCALE NTS HORSE BARN CPITION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)

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MOORE AND ASSOCIATES	DRAWN BY: LT		EAGLE CARPOR 210 AIRPORT RO	DAD

BOW RAFTER LEAN-TO OPTION - EXPOSURE C



BOW EAVE RAFTER COLUMN CONNECTION

(18C) DETAIL FOR HEIGHTS 13'-0" < TO < 16'-0"

SCALE NTS
HDRSE BARN OPTION (REQUIRES A LEAN-TO
ON BOTH SIDES OF THE MAIN BUILDING)

TS BOW RAFTER

IF WITH

(4) BI2-14x3/4*
SDF'S (EACH END)

IB GA U-CHANNEL KMEE
BRACE FASTENED TO
RAFTER AND COLUMN

MINIMUM 7* LONG CONNECTOR
SLEEVE MINIMUM 14 GA.
SECURE COLUMN ID SLEEVE
VITH (8) BI2-14x3/4* SDF'S

BOW EAVE RAFTER COLUMN CONNECTION DETAIL
FOR HEIGHTS & 13'-0"

HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)

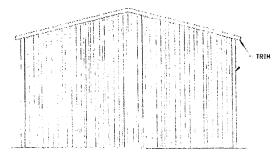
18D

1 18 GA U-CHANNEL BRACE FASTENED TO THE COLUMN AND ROOF BEAM VITH (4) MI2-14-32/4* SDF'S AT EACH END (B PER BRACE)

BRACE SECTION

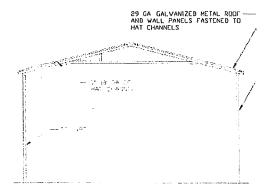
MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	### EAGLE CARPORTS #### 210 AIRPORT ROAD ####################################			AD 7030
<u> </u>	CHECKED BY: PDH	30-0"x20"-	1	DB NO 16166S/
CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF	PROJECT MGR: VSM CLIENT: EAGLE CARPORTS		DWG, NO SK-3	260\$/19320\$/21169\$ REV. 9

BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



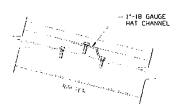
TYPICAL END ELEVATION VERTICAL ROOF/SIDING

SCALE: NTS



TYPICAL SECTION VERTICAL ROOF/SIDING OPTION

SCALE NTS

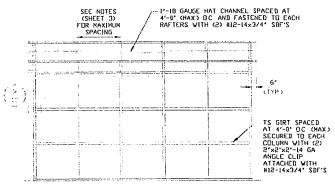


PANEL ATTACHMENT (ALTERNATE FOR VERTICAL ROOF PANELS) SCALE: NTS



TYPICAL SIDE ELEVATION VERTICAL ROOF/SIDING

SCALE: NTS



TYPICAL FRAMING SECTION VERTICAL ROOF/SIDING OPTION

SCALE: NTS

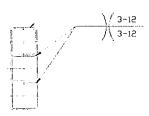
MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

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	CLIENT: EAGLE CARPORTS	SHT. 16	DWG, NO SK-3	REV.	9		
-	PROJECT MORI WSM	DATE: 8-19-21		16 40M 80U 19303581	166 S/ 20S/21169S		
	CHECKED BY: PDH	MOUNT AIRY, NC 27030 30-0"x20'-0" SP ENCLOSED STRUCTURE					
	DRAWN BY: LT	EAGLE CARPORTS 210 AIRPORT ROAD					

SIDE WALL HEADER OPTIONS

TS HEADER (TYP)

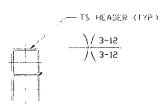


- IS HEADER (TYP) / 3-12 3-12

HEADER DETAIL FOR $\frac{12' - 0" < LENGTHS \le 16' - 0"}{SCALE N'S}$

HEADER DETAIL FOR LENGTHS < 12'-0"

END WALL HEADER OPTIONS



IS HEADER

JDB ND 161665/ 18260\$/19320\$/21169\$

HEADER DETAIL FOR 14'-0" < LENGTHS < 20'-0" HEADER DETAIL FOR LENGTHS < 14'-0"

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT		EAGLE CARPO 210 AIRPORT RO IOUNT AIRY, NO 0" SP ENCLOSED	OAD : 27030
THIS DOCUMENT IS THE PROPERTY OF HOORE AND ASSOCIATES ENGINEERING AND CONSULTING THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROPUMENTED AND ANY IMPROSEMENT THEOROPIN MAY		DATE: 8-19-21		JUB ND 161665/ 182605/193205/2

"AS BUILT"

V. Site Plan: Sketch the lot. Show features such as the tank, the drainage field, any wells, property lines, residence and other structures, other septic systems. Be as accurate as possible. Show the distances between the (tank "treatment unit" and the drain field "disposal system") to the features listed on the form. These distances can be no closer to the system than listed in Table 301.1 on page 35 of the Liquid Waste Regulations.

Treatment Unit to:	Features	Disposal System to:
(Tank) ft.	Property line	(Drain Field) ft.
ft.	Property line	ft.
ft.	Buildings	ft.
ft. ft.	Structures Wells	ft. ft.
ft.	Irrigation	ft.
ft.	Arroyos	ft.
ft.	Surface water	ft.
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water !	arec house	
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	Accordance participation are a recognistically	Drive Wal
Tank Depth:	Leachfield Depth:	4.57.6" Soil Type:
Permit #: <u>DA150308</u>	·	Date: 1/1/15
Name on permit: <u>kaa Oan</u>	ghan	Submitted by: Johnny's Septic Tank Co.
Address: 200 Shtub	ted	
Subdivision: NIM		Township 23 5 Range & Section 25
Affidavit of installation signature	TRANGE	Attached Photos
1,000	Company of the Compan	
Owner X	Contractor	Other
I certify that the methods and materia	als used for installation (comply with 20 NMAC 7.3

TRACY

Bills Paid

Bill	Amount
199649876	674.49
199730618	781.61
199818834	781.55
199935499	811.07
200054806	820.20
200155974	828.52
200223399	801.99
200321459	848.19
200422249	819.73
200523039	861.41
200624047	865.92
200725777	891.58
200826538	926.70
200926577	960.22
201026603	1016.58
201126665	1035.61
201226850	1090.84
201326988	1141.71
201427011	1182.11
201527486	1222.45

Return to Search

I UVVIV OF WESILLA P.O. BOX 10 MESILLA, NM 88046

524-8244

FOR WATER OR SEWER EMERGENCY CALL (575) 650-8830

RETURN POSTAGE GUARANTEED 04-0840-01 ACCT. NO.

			11 4 2
	READING	CONSUMPTION	
CURRENT PREVIOUS	464 460	4 3	METER READING: IN 1000 GALLONS
		L	PER MCF
DATE 01/18/22 01/18/22	SERV WATER WTR ACQ		AMOUNT 20.72 0.24
01/18/22 01/18/22	TRASH WTR MGT TAX	co	14.52 0.20 1.77

9.02.415 3208 32 MAL 78731.00006 MAILED PROMIZIP CODE 88046

ADRIAN AGUIRRE 2100 STITHES LAS CRUCES NM

88005

AMOUNT DUE 37.45
FEB.12TH-FOR THE LOVE OF ART SHOW/5K
CUPID'S CHASE---TOWN HALL 575.524.3262
2100 STITHES

AMOUNT DUE

ACCT. NO.

37.45

04-0840-01

DUE DATE: 02/15/2022

WITH YOUR PAYMENT.

John R. D Antonio, Jr., P.E. State Engineer



Las Cruces Office 1680 HICKORY LOOP, SUITE J LAS CRUCES, NM 88005

STATE OF NEW MEXICO OFFICE OF THE STATE ENGINEER

Trn Nbr: File Nbr:

401724

LRG 14357 1

Well File Nbr: LRG 14357 POD2

Sep. 12, 2008

EDWARD D. GAUGHAN
P.O. BOX 1289
2100 STITHES ROAD
MESILLA, NM 88046

Greetings:

Enclosed is your copy of Proof of Completion of Well for the above numbered well which has been accepted for filing without benefit of field check by State Engineer Office personnel.

Sincerely,

Enclosure

575) 524-6161

cc: Santa Fe Office

pcwrcv

·纳克·克克克克斯·维

File Number: LRG-14357- (For OSE Use Only)

NEW MEXICO OFFICE OF THE STATE ENGINEER PROOF OF COMPLETION OF WELL

	EDWA	en D. G				none:	24_12	164	
			s Pa						
City:	MESIL	.L A			State: <u>N</u>	<u>آ</u> Mzip: وَ	18046		t
2. LOCATION	OF WELL	((A, B, C, or I	D required, E or	F if known)		<u>1</u> =	_		
A1,	/4 <u>5w</u>	1/4 <u>VW</u> 1	./4 Section:	25 Townshi	ip: 23 5 Ra			.М. ty.	
B. X = 1	470, 119 Zo		Y = 466	110 1					one e-
C. Latit	ude: <u>N</u> 3	12 d 16	m <u>49.2</u>	s Longitude					•
D. East		(m), No	orth	(m), UTI	M Zone 13,	NAD	(27 or	83)	
E. Tract	No	, Map No	o of	the	H:	ydrograp	hic Sur	vey	
F. Lot N	o	_, Block No	o of ubdivision r	Unit/Tract recorded in	DONA ANG	<u>,</u>	of Coun	the ity.	
G. Other	:								
H. Give	State Er	ngineer Fil	le Number i	f existing d	iversion:				
I. On la	ınd owned	d by (requ	ired): <u>Enu</u>	raes A Go	MAHBU				
3. WELL INFO)RMATIO	N .							•
Outside If artes	diametes sian, is well dr	e	pped with gariller lic	ed: Ves ; ole if not c ate valve: _ ense number	Vivis Wel	inches; U Priffi	STATE ENGINEED OF	9 - 9 - PH	,8 二二二二二二二二二二二二二二二二二二二二二二二二二二二二二二二二二二二二
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File	Number	:			
		(For	OSE	Use	Only)

NEW MEXICO OFFICE OF THE STATE ENGINEER PROOF OF COMPLETION OF WELL

(To be supplied by person or Name and address of the person	firm making test) on making the test: $\begin{array}{c c} \mathcal{N} & \mathcal{A} \\ \end{array}$
Date of test; Lender Depth to water before test Depth to water after test Average discharge GPM Specific capacity of well	ngth of test hours; feet (above or below) land surface; feet (above or below) land surface; ; GPM per foot drawdown.
Please attach pump test dat	a.
PERMANENT PUMP EQUIPMENT	
A. DESCRIPTION OF PUMP	
If turbine type, give siz Diameter of bowls _ Length of suction p Total length of col	umn, bowls and suction pipe feet; e size of pump inches; f known 75 GPM; At rev. per min.,
B. DESCRIPTION OF POWER PLAN	VT
Make, type, horsepower, e Type of drive connection	to pump:(direct, gearhead, or belt)
C. DISCHARGE OF PUMP	
Actual discharge of pump From a depth of	g// GPM, at rev. per min., et; Date of test
DESCRIPTION OF STORAGE RESER	VOIR
Length MM feet; Width	feet; Average depth feet.
AVAILABLE OF THE STATE OF THE S	
Do 1	Not Write Below This Line
_	Trn Number:
ile Number: Form: wr-11	page 2 of 3

LRG-14357-1

File	Number	:			
		(For	OSE	Use	Only)

NEW MEXICO OFFICE OF THE STATE ENGINEER PROOF OF COMPLETION OF WELL

TACINITO	LEDGEMENT	
(I, We) EDWARD & GONGHAN		affirm that the
(Please Pr	rint)	
foregoing statements are true to the	e best of (my, our) knowledge and belief.
Gd of al Sound		
Permittee Signature	Permittee	Signature
STATEMENT OF THE STATE		
Well record filed: $\frac{7-22-08}{(mm/dd/year)}$; Fig.	eld Check:(mm/dd/	year)
Comments:		
Anair C Mina	- L. ()	
Title:		
Date: 4-12-00		
	•	
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	e Below This Line	
DO NOC WITE	C DCTOW THEO HALL	

Ed Upodaca 571-3882 Ile unch go them. ∌soo# returned to the put Jog , 02 HERMONE 4 ely more my \$******3**617()