



THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A REGULAR MEETING ON **MONDAY, MARCH 21, 2022, AT 2:30 P.M.** IN PERSON IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

AGENDA

1. PLEDGE OF ALLEGIANCE

2. ROLL CALL AND DETERMINATION OF A QUORUM

3. CHANGES / APPROVAL OF AGENDA

4. PUBLIC INPUT

The public is invited to address the commission for up to 3 minutes. You can also email your comments to joep@mesillamm.gov at least twenty-four (24) hours prior to the meeting.

5. APPROVAL OF CONSENT AGENDA

Note: Items on the Consent Agenda, indicated by an asterisk (), will be voted on with one motion unless a commissioner requests that a specific item be removed for discussion.*

- a. *PZHAC MINUTES: March 7, 2022, Regular Minutes

6. NEW BUSINESS

- a. **PZHAC Case #061102** – 2785 Boldt, submitted by Steven Sypher for Barncastle Construction to renew permit to complete remodel of interior framing and stucco. **Zoned: Historic Residential (HR).**
- b. **PZHAC Case #061355** - 2481 Calle De Cuda, submitted by Jenn Soltero for Window World of Las Cruces to remove and replace four (4) widows located in den area of house, **Zoned: Historic Residential (HR).**
- c. **PZHAC Case #061357** – 2939 Estrada Rd, submitted by Eric Gallegos to erect fence with wood posts and horse fencing on adjacent lot owned by Mr. Gallegos, Zoned: Rural Agriculture (RA)
- d. **PZHAC Case #061360** – 2100 Stithes Rd, submitted by Adrian Aguirre to build metal garage with concrete foundation with additional concrete driveway and remove old carport. **Zoned: Rural Agriculture (RA)**

7. COMMISSIONERS / STAFF COMMENTS

8. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 3/18/2022 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristraman - 2531 Avenida de Mesilla, and the U.S. Post Office - 2253 Calle de Parian.



Town of Mesilla, New Mexico

**THE PLANNING, ZONING AND
HISTORICAL APPROPRIATENESS COMMISSION (PZHAC)
MONDAY, MARCH 7, 2022, 2:30 PM**

MINUTES

1. PLEDGE OF ALLEGIANCE

Chair Lucero led the Pledge of Allegiance.

2. ROLL CALL AND DETERMINATION OF QUORUM

Commissioners Jones, Walkinshaw, Lucero, Salas, and Nevarez were present. Community Development Coordinator Padilla declared a quorum.

3. CHANGES/APPROVAL OF THE AGENDA

Motion to approve agenda was made by Commissioner Nevarez and seconded by Commissioner Jones.

Motioned passed, Vote 5-0.

4. PUBLIC INPUT

Susan Kreuger - The zoning map of town of Mesilla Case Number 061336 is rural farm, however it's listed on the agenda as commercial. She was not aware that the zone has been changed. If it is in Zone C, by law the commission needs apply the conditions of Section 1845040. Specifically, Section J that requires an architectural style and design standard be submitted for a new development or re-development. She believes the zoning is rural farm which may change some of the conditions. There was nothing included in the packet that described that particular property and request.

5. APPROVAL OF CONSENT AGENDA

Motion to approve the Consent Agenda was made by Commissioner Salas and seconded by Commissioner Nevarez

Motioned passed, Vote 5-0.

52 6. **NEW BUSINESS**

53
54 a. **PZHAC CASE #061336** - 2001 Avenida de Mesilla submitted by Mr. Rogers. New
55 construction of commercial building, metal building with exterior stucco walls and wood
56 framing interior walls. **Zoned: Commercial (C).**

57
58 **Motion to approve was presented by Commissioner Salas and seconded by**
59 **Commissioner Jones**

60
61 Staff presented facts of the case. Discussion followed. Mr. Rogers was present to answer
62 questions.

63
64 **Motion passed, Vote 5-0.**

65
66 b. **PZHAC CASE #060959** - 1900 Calle de Pecana, submitted by Ray Carlson requesting to
67 renew building permit to complete construction of a home. **Zone: Historical Residential**
68 **(HR)**

69
70 **Motion to approve was presented by Commissioner Nevarez and seconded by**
71 **Commissioner Salas.**

72
73 Staff presented facts of the case. Discussion followed.

74
75 **Motion passed, Vote 5-0.**

76
77 c. **PZHAC CASE #061354** - 2795 Calle de Sur, submitted by DJ Walker Construction LLC to
78 remove existing roofing to exposed decking, inspect and replace decking as needed, install
79 GAF 3 PLV. **Zone: Rural Farm (RF)**

80
81 **Motion to approve was presented by Commissioner Salas and seconded by**
82 **Commissioner Nevarez.**

83
84 Staff presented facts of the case.

85
86 **Motion passed, Vote 5-0.**

87
88 7. **COMMISSION/STAFF COMMENTS**

89
90 The new town clerk/treasurer, Rani Bush was introduced.

91
92 Chair Lucero – She brought up the issue of metal containers. No current ordinance exists and
93 more are popping up, mostly in residential areas.

94
95 Mayor Baraza – She has been sending Codes out. Pod containers are treated as an additional
96 structure shed. Codes need to check with owners to see if they have submitted a permit. She will
97 need to have a work session with Board of Trustees and with Planning and Zoning to see if it
98 should be allowed, especially in historical residential areas.

99
100 Joe Padilla - The containers are like old shipping containers (Conex box).

101

102 Tom Maese - Speaking on behalf of the Construction Industries Division, more and more
103 containers are coming in and people are wanting them to be modified for residential and
104 commercial use. This issue growing. There is no current ordinance to address this. They are
105 being treated as a modular building which allows them to have it for one year, then must have
106 proper permit.
107

108 Mayor Baraza – The homeless under the bridge/coverts needs to be reported to Town of Mesilla
109 so Codes can address this and inform they cannot stay overnight in that area.
110

111
112 **8. ADJOURNMENT**

113
114 Meeting adjourned at 3:06 p.m.
115

116
117
118 **APPROVED THIS 21ST DAY OF MARCH 2022.**
119

120
121
122
123
124 _____
125 **Yolanda Lucero**
126 **Chair**

127
128 **ATTEST:**
129
130
131 _____
132 **Joe Padilla**
133 **Community Development Coordinator**

BOARD ACTION FORM

AGENDA DATE

PZHAC: March 21, 2022

BOT:

ITEM: PZHAC Case #061102 – 2785 Boldt, submitted by Steven Sypher for Barncastle Construction to renew permit to complete remodel of interior framing and stucco. Zoned: Historic Residential (HR).

BACKGROUND AND ANALYSIS: This case was reviewed by the Architectural Styles Committee (ASC) on March 17, 2022.

Barncastle Construction to renew permit to complete remodel of interior framing and stucco. Stucco was added to new application there for it is going through the process once again.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

Pending - completion of 1st permit per CID
TOWN OF MESILLA ZONING APPROVAL
See attached application Case # 061102

OFFICIAL USE ONLY:
Case # 061102
Fee \$ _____

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

Existing # 061102
Attached

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

NOVASIGHT Properties LLC 575 642-2331
Name of Property Owner Property Owner's Telephone Number
2521 N. MAIN ST STE 1-126 LAS CRUCES, NM 88001
Property Owner's Mailing Address City State Zip Code
STEVEN SYPKER @ GMAIL.COM
Property Owner's E-mail Address

needs to go

BARNCASTLE CONSTRUCTION PO BOX 544 LC, NM 88004
Contractor's Name & Address (If none, indicate Self)
505-319-3392 See Attached
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2785 Boldt mesilla

Description of Proposed Work: Remodel, Interior Framing, Stucco
HOA

\$ 30k [Signature] 10-29-2021
Estimated Cost Signature of Applicant Date

Signature of property owner: [Signature]

previous permit has expired needs

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

2758 Boldt, Building Permit

1 message

Nora L. Barraza <mayor@mesillanm.gov>

Fri, Oct 29, 2021 at 5:22 PM

To: Steven.Sypher@gmail.com

Cc: Cynthia Stoechner-Hernandez <cynthias-h@mesillanm.gov>, Gloria Maya <gloriam@mesillanm.gov>

Mr. Sypher:

Per our telephone conversation today, we are in receipt of your Residential Building Permit for 2758 Boldt. Your request was to renew your previous building permit #061102, approved by Mr. Shannon on August 12, 2020. In reviewing your application you have added stucco work to the building permit, therefore, we cannot renew permit #061102 and this new permit will have to go through the P & Z commission approval process.

We will need a color sample of the stucco you are proposing in addition to a letter from the Mesilla Farms HOA approving the proposed stucco work and color. I will make a copy of the site plan that is attached to the previous permit.

If you have any questions or concerns, please let me know.

Sincerely,

Mayor Barraza

--

Nora L. Barraza
Mayor, Town of Mesilla

☎ (575) 524-3262

Fax: (575) 541-6327

mayor@mesillanm.gov

Check out our website!

www.mesillanm.gov

CONFIDENTIALITY NOTICE: The contents of this email message and any attachments are intended solely for the addressee(s) and may contain confidential and/or privileged information and may be legally protected from disclosure. If you are not the intended recipient of this message or their agent, or if this message has been addressed to you in error, please immediately alert the sender by reply email and then delete this message and any attachments. If you are not the intended recipient, you are hereby notified that any use, dissemination, copying, or storage of this message or its attachments is strictly prohibited.

image009.png
55K

November 5, 2021

RE: The exterior color for repainting of the home at 2785 Boldt Street (Lot 9, Block C, Mesilla Farms Subdivision), Mesilla, NM
Owner of Record: Novasight Properties, LLC

Dear Board Members and Town of Mesilla,

I have researched the impact of the homeowner's request to repaint/recoat the exterior stuccoed walls of the above-referenced property. There will be no expansion of the home's footprint.

The description of the work to be done indicates either color selected is well within the "color wheel" acceptable for the subdivision and historic district. It is assumed that the work will be performed in a professional manner. The Mesilla Farms Homeowners Association approves the issuing of a permit for the described work from the Town of Mesilla.

Sincerely,



Architectural Committee

Concurrence By:

Marcy Toomey

Mesilla Farms HOA President

- [Account Search](#)
- [View Created Report\(s\)](#)
- [Help?](#)
- [Logout Public](#)

Account: R0401043 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.



Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor

Map

Legend

Map Layers

Layer Visibility:

- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

Select Search Type:

Property Address ▼

Enter Value:

2785 boldt

Search



Account Number	Parcel Number	Owner	Mail Address
R0401043	4006137409472	NOVASIGHT PROPERTIES LLC	2521 NORTH MAIN ST STE 1-



NOTICE!

THE APPROVED PLAN MUST BE AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION

524 3262

52-7463

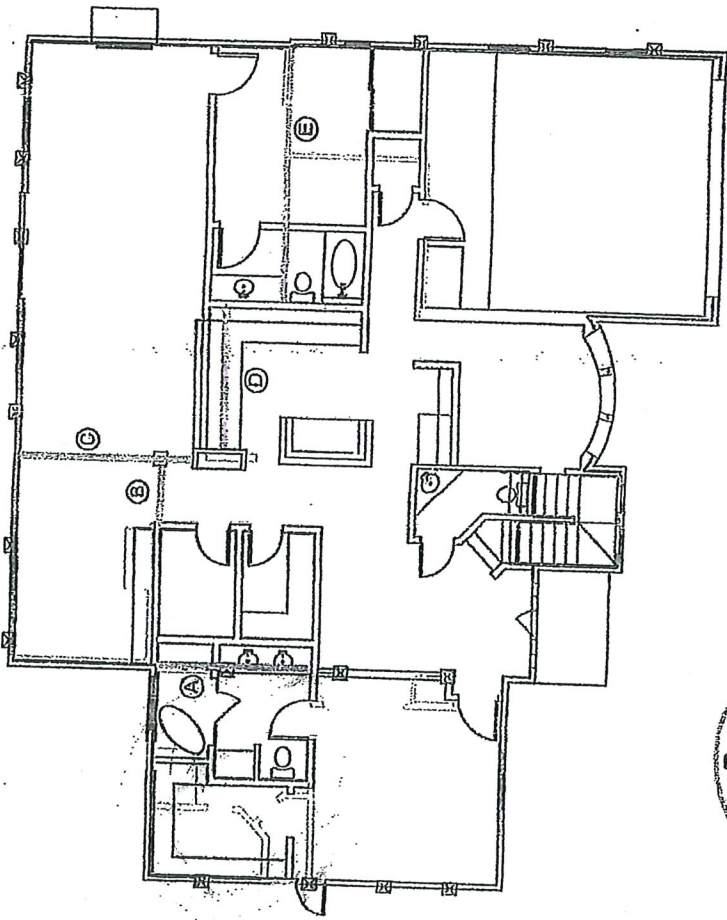
2004

SECTIONS 102.7.1.3

OF THE INTERNATIONAL RESIDENTIAL CODE MUST BE COPILED WITH (N.M. RESIDENTIAL BUILDING CODE)

HEADER TABLE

CUT SHEET ON SITE FOR LVL VERSA-LAM



A
L = 12' MAX
3/2 x 14 VERSA-LAM LVL, 2.1E 3100
3.4" MIN. BEARING LENGTH
OR
5/4 x 11 7/8 VERSA-LAM LVL 2.1E 3100
2.7" MIN. BEARING LENGTH
(3) 2x8 OR (4) 2x6 JACKS @ EACH END

B
L = 4'-8" MAX
2x12
(2) 2x6 JACKS @ ONE END, SIMPSON HANGAR FROM BEAM C @ OTHER END

C
USE SIMPSON HANGAR FOR PERPENDICULAR TJI
L = 13'-8" MAX
(2) 2x12 GIRDER
(2) 2x6 JACKS @ EACH END

D
L = 11' MAX
1 9/8 x 14 VERSA-LAM LVL, 2.1E 2800
3.4" MIN. BEARING LENGTH
OR
3/2 x 11 7/8 VERSA-LAM LVL, 2.1E 3100
2.8" MIN. BEARING LENGTH
(3) 2x6 @ EACH END

E
USE SIMPSON HANGAR FOR PERPENDICULAR TJI
L = 19' MAX
3/2 x 14 VERSA-LAM LVL, 2.1E 3100
1.8" MIN. BEARING LENGTH
OR
5/4 x 11 7/8 VERSA-LAM LVL 2.1E 3100
1.5" MIN. BEARING LENGTH
(3) 2x8 OR (4) 2x6 @ EACH END
TJI BEAR ON TOP OF LVL

NOTE
SECTIONS 102.7.1.3 OF THE INTERNATIONAL RESIDENTIAL CODE MUST BE COPILED WITH (N.M. RESIDENTIAL BUILDING CODE) **STRUCTURAL GLUED LAMINATED TIMBERS**

NOTE
SECTIONS 102.7.1 OF THE INTERNATIONAL RESIDENTIAL CODE MUST BE COPILED WITH (N.M. RESIDENTIAL BUILDING CODE) **ADDITIONS, ALTERATIONS, REPAIRS**



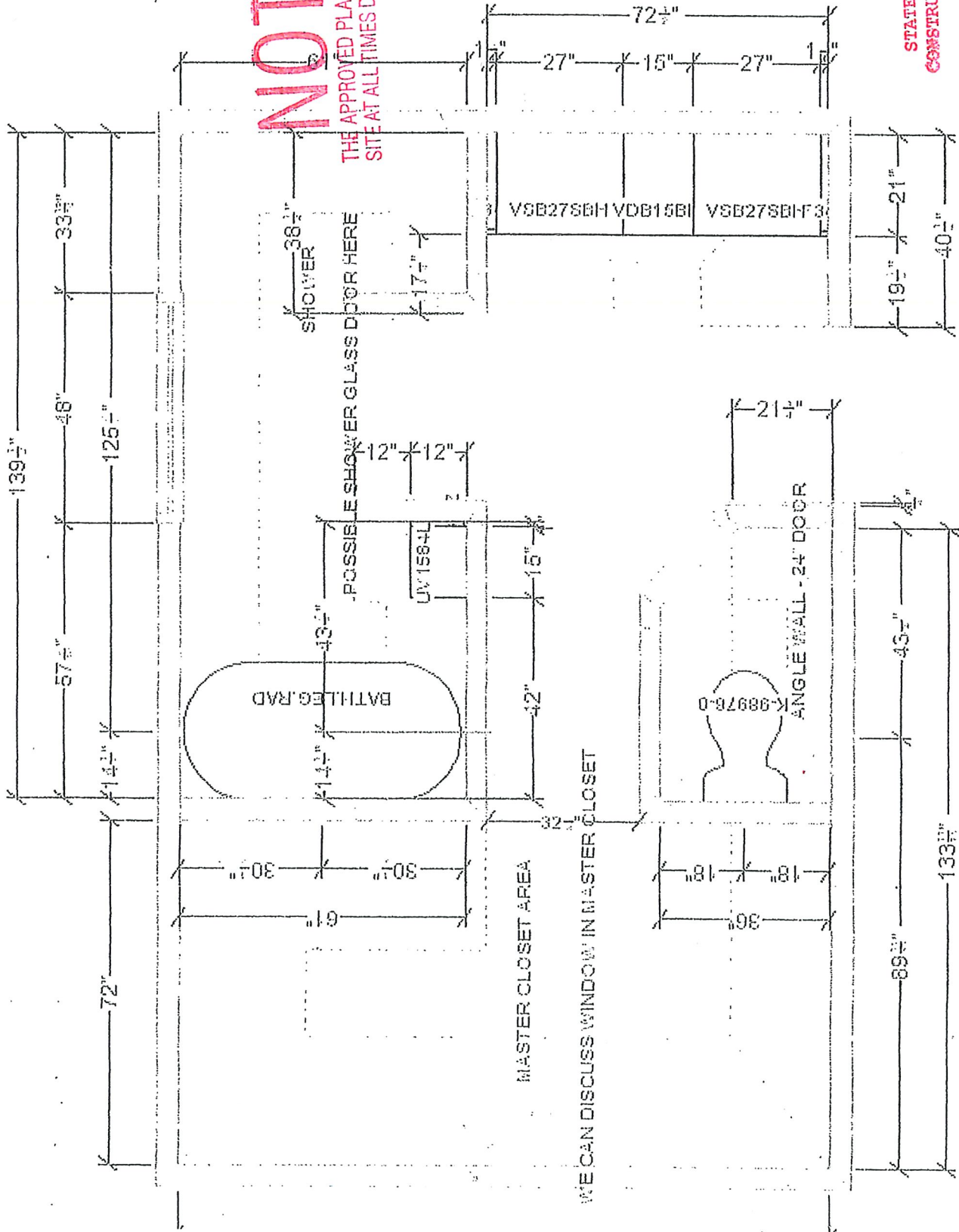
LILLEY ENGINEERING INC.
5160 CALLE BELLSIMA LAS CRUCES, NM 88011
(575) 521-0006

HEADER SIZING FOR REMODEL

2785 BOLDT ST., LAS CRUCES, NM

PROJECT	200628
CLIENT	SYPPER
DRAWING NO.	2785 BOLDT
REV. NO.	0
DRAWN BY	DL
DATE	06/28/20
	1 of 1

Plan 20200370574



NOTICE!
 THE APPROVED PLAN MUST BE AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION

Fixture circled on floor plan

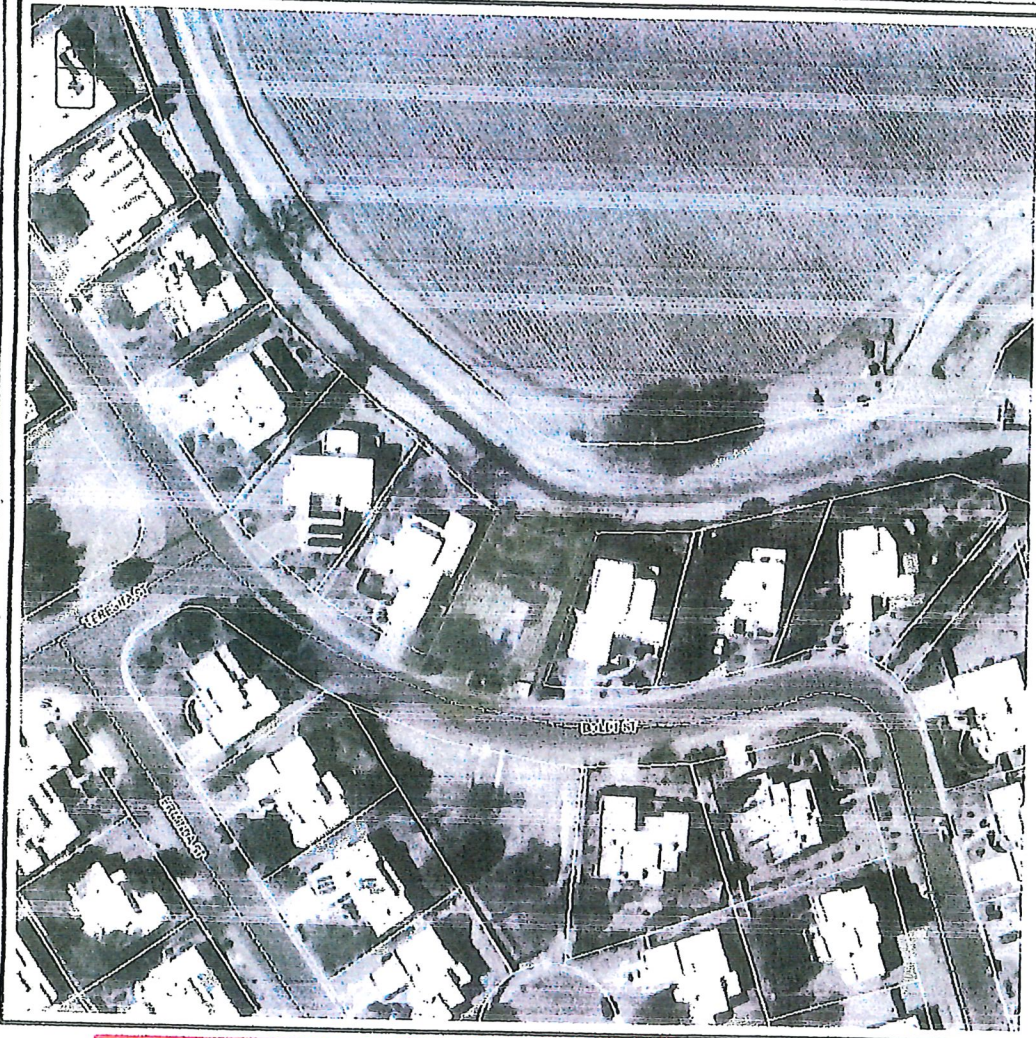
STATE OF NEW MEXICO
 CONSTRUCTION INDUSTRIES
 DIVISION

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number Enter Value:

Maps	Legend
Map Themes	
Parcels	
UDC Zoning	
Roads and Transportation	
NM House Districts	
NM Senate Districts	
County Commission Districts	
City Council Districts	
Median Household Income	
General Land Ownership	

Account Number: R0401043
Parcel Number: 4006137409472
Owner: NOVASIGHT PROPERTIES LLC
Mail Address: 2521 NORTH MAIN ST
STE 1-126
Subdivision: MESILLA FARMS
SUBDIVISION (BK 15 PG 389-390 -
8822094)
Property Address: 2785 BOLDDT ST
Acres: 0



NOTICE
Issuance of this Building Permit and the Certificate of Occupancy at Final Inspection DOES NOT certify compliance with the requirements of any other regulatory agency that has separate enforcement jurisdiction on this project. Contact the State Fire Marshal, the Department of Health, the Environment Department, and any other such regulatory agency that may have code enforcement jurisdiction on this project to ensure compliance with their procedures and/or to obtain their final approval.

PLANS APPROVED
Construction Industries Division
General Construction Bureau

NO EXCEPTIONS TAKEN
 EXCEPTIONS AS NOTED

By *Wendy Lewis*
Permit No. *GENR. 2020037054*
Does not include Mechanical or Electrical

NOTE
ALL SECTIONS OF THE
NEW MEXICO BUILDING
ELECTRICAL, MECHANICAL
AND PLUMBING CODES MUST
BE COMPLIED WITH

NOTE
APPROVED PLANS AND SPECIFICATIONS
SHALL NOT BE CHANGED WITHOUT
AUTHORIZATION FROM CONSTRUCTION
INDUSTRIES DIVISION.

NOTICE!
THE APPROVED PLAN MUST BE AT THE JOB
SITE AT ALL TIMES DURING CONSTRUCTION

STATE OF NEW MEXICO
CONSTRUCTION INDUSTRIES
DIVISION

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061102

Fee \$ 55.50

PERMISSION TO CONDUCT WORK
OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061102 ZONE: M-2 CODE: ALF APPLICATION DATE: 10/13/20

Name of Property Owner Uona Sight Properties LLC Property Owner's Telephone Number 575 642-2331

Property Owner's Mailing Address 2521 N. MAIN St Ste 1-126 City CAS CRUCE State NM Zip Code 88001

Property Owner's E-mail Address Stevens.Sopher@gmail.com

Contractor's Name & Address (if none, indicate Self) Barncastle Construction P.O. Box 544 88004

Contractor's Telephone Number 505-319-5592 Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2785 Boldt Mesilla 80081

Description of Proposed Work: Frame interior walls bathroom wall, living room & kitchen area

Estimated Cost \$ 30K Signature of Applicant [Signature] Date 08/10/2020

Signature of property owner: [Signature] 8/10/2020

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: n/a
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO EXTERIOR OR DWELLING

PERMISSION ISSUED DENIED BY: [Signature] ISSUE DATE: 8/12/20

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side).

STATE OF NEW MEXICO
CONSTRUCTION INDUSTRIES
DIVISION

POST IN A CONSPICUOUS PLACE

N O T I C E

RESIDENTIAL PERMIT NO: GENR_2020037054

PERMIT NAME: STEVE & JENNIFER SYPHER

**HAS BEEN ISSUED FOR THIS CONSTRUCTION BY
THE STATE OF NEW MEXICO
REGULATION AND LICENSING DEPARTMENT
CONSTRUCTION INDUSTRIES DIVISION
GENERAL CONSTRUCTION BUREAU**

JOB SITE ADDRESS

2785 BOLDT ST
MESILLA, NM 88005

Issued: November 20, 2020

Occupancy: R-3 Single Family/Duplex Residence/Child
Care 5 or Less/Congregate Living 15 or Less

PROPERTY OWNER

STEVE & JENNIFER SYPHER
PO BOX 544
LAS CRUCES, NM 88004
Phone: 5053193392

Type of Construction: VB Any Material (0 HR)

Square Footage: 1900

Valuation: \$39,140.00

Total Fees: \$84.00

CONTRACTOR

BARNCASTLE, CES
BARNCASTLE CONSTRUCTION
P.O. BOX 544
1042 MOON RIVER LOOP
LAS CRUCES, NM 88004
License #: 90931
Phone #: 5056478419

DESCRIPTION OF WORK

ALATERATIONS/REPIRS - MOVE INTERIOR WALLS & REBUILD

This is a General Construction Permit and does not cover electrical or mechanical permit requirements for the State of New Mexico.

Record of Inspections

GENERAL BUILDING			ELECTRICAL			MECHANICAL		
DATE	PURPOSE	DATE	PURPOSE	DATE	PURPOSE	DATE	PURPOSE	DATE
5/10/21	Frame through w/ribs	3/31	ROUGH IN DL	3/12/21	MRT			
				3/18/21	PTO			

NOTICE: IT IS THE REPOSIBILITY OF THE PERMIT HOLDER TO CALL FOR THE REQUIRED INSPECTIONS IN ADVANCE. PLEASE WAIT FOR THE INSPECTOR TO PERFORM THE INSPECTION.

NOTICE: If no inspections are performed within 180 days, the permit will expire and will be required to be renewed at full price.

To schedule an inspection please contact our call center at 505-222-9813 or 1-877-243-0979. You may also request an inspection by email to CID.Inspection@state.nm.us. If by email you must include permit number, site address, contact name and phone number. The email submission is an easy, efficient method for requesting inspections. Upon receipt of emailed inspection request, a confirmation email will be sent to the requestor.



Multi-Purpose State Building Application

State of New Mexico

Regulation and Licensing Department

Construction Industries Division

Santa Fe 2550 Cerrillos Rd
Albuquerque 5500 San Antonio NE
Las Cruces 505 S. Main St. Ste. 103

Santa Fe, NM 87505
Albuquerque, NM 87109
Las Cruces, NM 88004

Phone: (505) 476-4700
Fax: (505) 476-4685
(505) 222-9800 (505) 765-5670
(575) 524-6320 (575) 524-6319

Building Permit (Commercial includes electrical/mechanical/plumbing reviews)
New Construction Alteration/Repairs/Demolition
wood metal frame masonry adobe rammed earth metal structure other
Residential Commercial Pre-Bid
Additions Foundation only Reroof
Trade Review Only
Electrical Review
Mechanical/Plumbing Review

Description of work: Remodel finish

THE FOLLOWING INFORMATION MUST BE PROVIDED

Physical Address of job site (must provide a physical address) 2785 Boldt St
Nearest City/Town/Village town of Mesilla
Zip Code
County D. A.

GPS Coordinates optional X Coordinate Y Coordinate

MUST provide written Directions

Property Owner or Homeowner Information:

First Name Steve & Jennifer Last Name
E-mail address: Steven.Sypher@qmail.com
Address No. & Street / PO Box / Rural Route 2785 Boldt St
City State Zip Code Phone

Contractor Information (must provide proof of contract):

Company Name Barncastle Construction
Address No. & Street / PO Box / Rural Route P.O. Box 544
City State NM
E-Mail Address: barncastleconstruction@hotmail.com
Contact Information (Name) Phone 505-319-3392 Fax

Design Professional Information:

Company Name Lilley Engineering inc.
Address No. & Street / PO Box / Rural Route 5160 Calle bellissima
City State NM
E-mail address:
Phone 575-521-0006
NM State License # 11505

Type of Construction I II III IV V A B
Occupancy Group A B E F H J M R S U
Division 1 2 3 4 5
Square Footage: 1900
Valuation / Sign Contract: 4800
Energy Compliance Prescriptive Trade-off Performance
Climate Zone: 1 2 3 4 5 6 7
Fire Sprinklers Apply Y / N LP gas Appliance Apply Y / N

APPLICANT MUST READ AND SIGN THE FOLLOWING: I hereby acknowledge by my signature below that I have read this application and state that the above is correct. I agree to comply with the requirements for the New Mexico Building Code. I waive my right to require any inspector to possess a search warrant before they enter the premises to inspect the building covered by this permit. However, I waive this right only on the following conditions: The inspector must be approved by the Construction Industries Division and this inspection must be made at reasonable times for purpose of determining whether the work of building or structure on the premises complies with the New Mexico Building Code. I understand that the issuance of this permit shall not prevent the Construction Industries Division from requiring compliance with the provisions of the New Mexico Building Code.

X Signature Date 11/12/20

Official Use Only
Date Issued: Processed By: Tracking Number: GENR 20200371054
Received By: Total Fees Due: \$ 84.00
Paid By: Walk In Mail E-Mail Partial Payment:
Check Money Order Credit Card Purchase Order Balance Due:

PLANNING/ZONING APPROVED BY: attached Signature Date:
FLOOD PLAIN APPROVED BY: Signature Date:
GENERAL BUILDING APPROVED BY: Orlando Hernandez Signature Date: 11-20-2020
UPCI/UMC APPROVED BY: Signature Date:
NEC APPROVED BY: Signature Date:



QUOTE

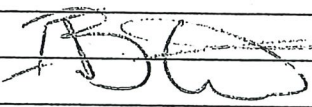

Cesar (Fred) Barncastle
 PHONE/FAX: 575-647-8419
 MOBILE: 505-319-3392
 E-MAIL: barncastle5@peoplepc.com

DATE: 10/16/20

CUSTOMER Nova Sight Properties LLC

PHONE 575-642-2331 FAX NO. _____

CONTACT NAME Steve or Jennifer

DESCRIPTION	AMOUNT
we will be extending master bathroom, we will also remodel kitchen, laundry room, 2nd bathroom, & pantry room. all we will do is frame interior walls, we will not touch the outside structure.	
	
Comments:	
 STATE OF NEW MEXICO CONSTRUCTION INDUSTRIES DIVISION	
QUOTED BY:	Sub Total
RESULT OF QUOTE	Tax
<input type="checkbox"/> ACCEPTED <input type="checkbox"/> REJECTED <input type="checkbox"/> NO RESPONSE	TOTAL <u>4800.00</u>

THIS QUOTATION IS GOOD FOR 60 DAYS FROM ABOVE DATE

Thank You



New Mexico E-Services for Contractor Licensing



[Home Page](#)

Company Details

Company Name	BARNCASTLE CONSTRUCTION	License Number	90931
Phone Number	5056478419	License Status	Active
Issue Date	08/16/2004	Expiry Date	08/31/2022
Volume	\$1000000.00 +		

Principal Place of Business Address

P.O. BOX 544			
City	LAS CRUCES		
State	NM	Zip Code	88004

QP Details

Name	Certificate No	Classification	Attach Date	Status
<u>CESAR A. A. BARNCASTLE</u>	104672	GB98	08/16/2004	Attached

[Back to search page](#) [Back](#)

Copyright 2000-2020 PSI. ALL RIGHTS RESERVED. Version 2.10.0.0

STATE OF NEW MEXICO
CONSTRUCTION INDUSTRIES
DIVISION

NOTICE!

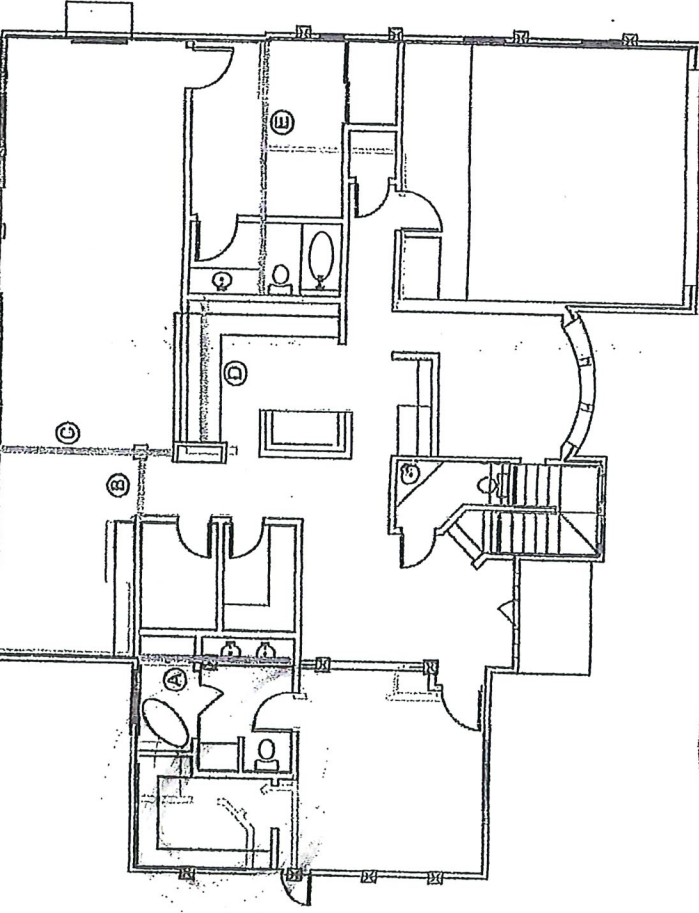
THE APPROVED PLAN MUST BE AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.

524 3262

652-7463

NOTE

SECTIONS 102.7.1 OF THE INTERNATIONAL RESIDENTIAL CODE MUST BE COPIED WITH (N.M. RESIDENTIAL BUILDING CODE)



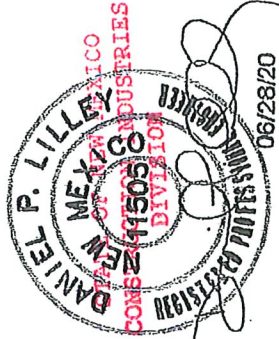
HEADER TABLE

- A** L = 12' MAX
3/4" x 14 VERSA-LAM LVL, 2.1E 3/00
3.4" MIN. BEARING LENGTH
OR
5/4" x 11 1/2" VERSA-LAM LVL 2.1E 3/00
2.7" MIN. BEARING LENGTH
(3) 2x8 OR (4) 2x6 JACKS @ EACH END
USE SIMPSON HANGAR FOR PERPENDICULAR TRUSSES AND REMAINDER BEAR ON TOP OF LVL
- B** L = 4'-6" MAX
2x12
(2) 2x6 JACKS @ ONE END, SIMPSON HANGAR FROM BEAM C @ OTHER END
USE SIMPSON HANGAR FOR PERPENDICULAR TJI
- C** L = 13'-6" MAX
(2) 2x12 GIRDER
(2) 2x6 JACKS @ EACH END
USE SIMPSON HANGAR FOR PERPENDICULAR TJI
- D** L = 11' MAX
1 3/4" x 14 VERSA-LAM LVL, 2.1E 2800
3.4" MIN. BEARING LENGTH
OR
3 3/4" x 11 1/2" VERSA-LAM LVL, 2.1E 3100
2.8" MIN. BEARING LENGTH
(3) 2x8 @ EACH END
USE SIMPSON HANGAR FOR PERPENDICULAR TJI
- E** L = 13' MAX
3 3/4" x 14 VERSA-LAM LVL, 2.1E 3100
1.9" MIN. BEARING LENGTH
OR
5 1/4" x 11 1/2" VERSA-LAM LVL 2.1E 3100
1.5" MIN. BEARING LENGTH
(3) 2x8 OR (4) 2x6 @ EACH END
TJI BEAR ON TOP OF LVL

NOTE
CUT SHEET ON SITE FOR LVL VERSA-LAM

NOTE
SECTIONS 602.1.3 OF THE INTERNATIONAL RESIDENTIAL CODE MUST BE COPIED WITH (N.M. RESIDENTIAL BUILDING CODE)
STRUCTURAL GLUFO LAMINATED TIMBERS

NOTE
SECTIONS 102.7.1 OF THE INTERNATIONAL RESIDENTIAL CODE MUST BE COPIED WITH (N.M. RESIDENTIAL BUILDING CODE)
ADDITIONS, ALTERATIONS, REPAIRS

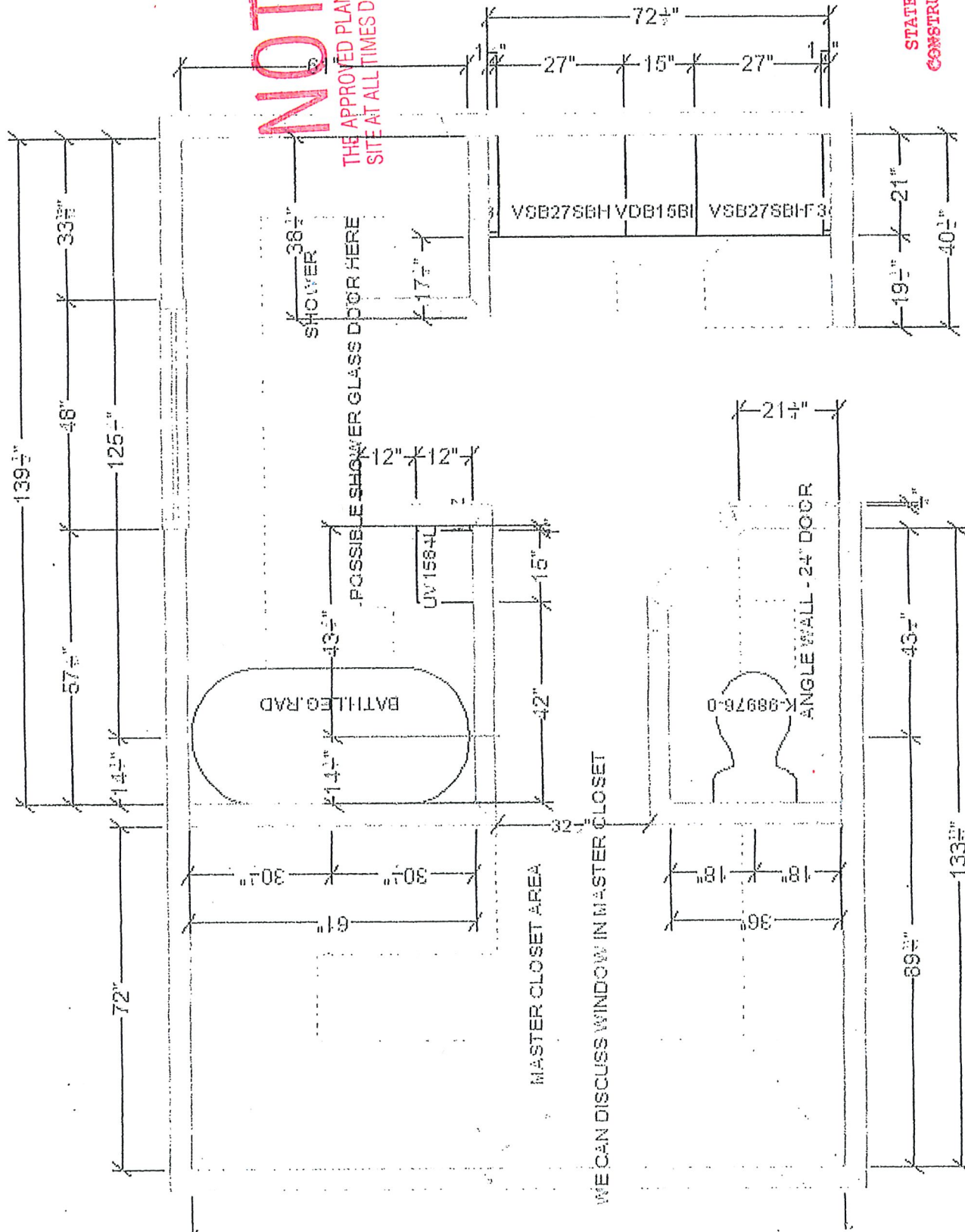


LILLEY ENGINEERING INC.
5160 CALLE BELLISIMA LAS CRUCES, NM 88011
(575) 521-0006

HEADER SIZING FOR REMODEL
2785 BOLDT ST., LAS CRUCES, NM

PROJECT	200628
CLIENT	SYPIHER
DRAWING NO.	2785 BOLDT
REV. NO.	0
DRAWN BY	DL
DATE	06/28/20
	1 of 1

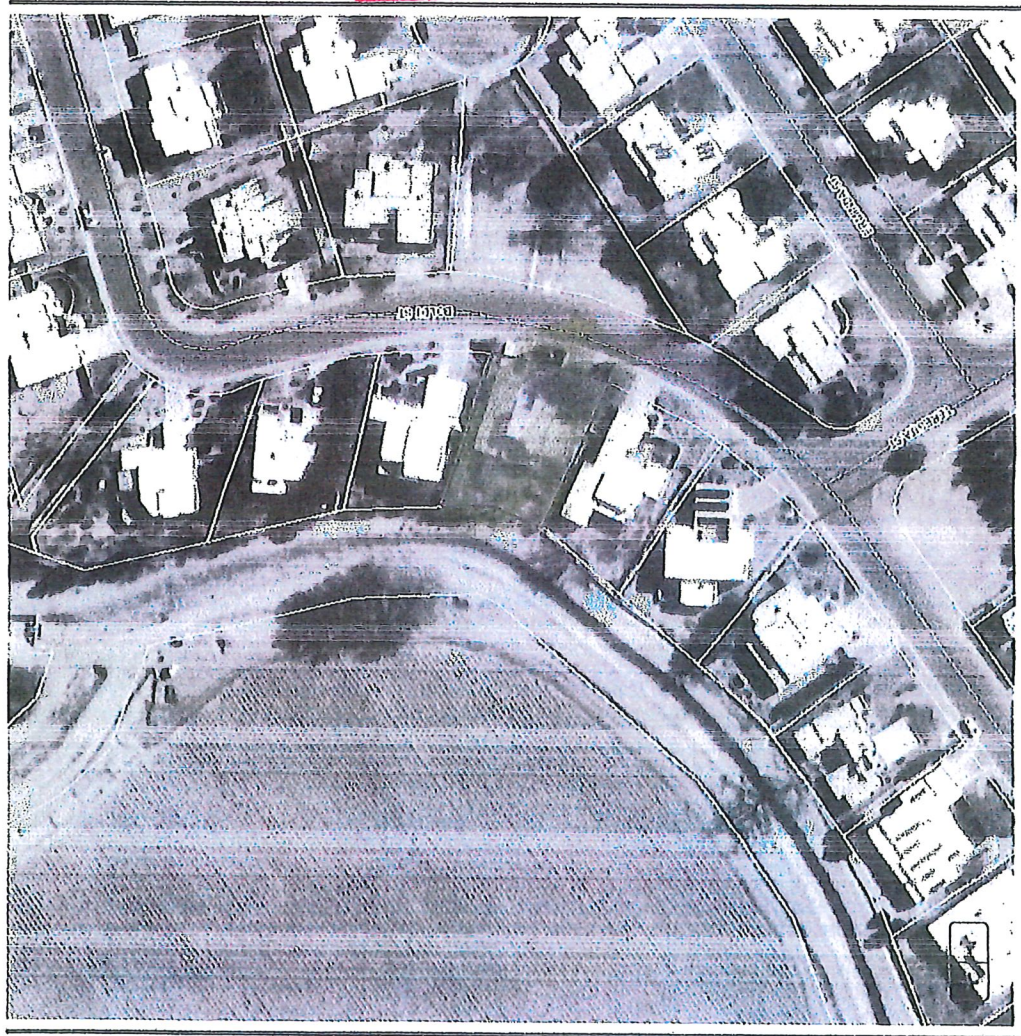
GENR 2020037054



NOTICE!
 THE APPROVED PLAN MUST BE AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION

Picture circled on floor plan

STATE OF NEW MEXICO
 CONSTRUCTION INDUSTRIES
 DIVISION



Maps	Legend
Map Themes	Parcels
UDC Zoning	Roads and Transportation
NM House Districts	NM Senate Districts
County Commission Districts	City Council Districts
Median Household Income	General Land Ownership

Account Number: R0401013
 Parcel Number: 4006137409472
 Owner: NOVASIGHT PROPERTIES LLC
 Mail Address: 2521 NORTH MAIN ST
 STE 1-126
 Subdivision: MESILLA FARMS
 SUBDIVISION (BK 15 PG 389-390 -
 8822094)
 Property Address: 2785 BOLDT ST
 Acres: 0

NOTICE

Issuance of this Building Permit and the Certificate of Occupancy at Final Inspection DOES NOT certify compliance with the requirements of any other regulatory agency that has separate enforcement jurisdiction on this project. Contact the State Fire Marshal, the Department of Health, the Environment Department, and any other such regulatory agency that may have code enforcement jurisdiction on this project to ensure compliance with their procedures and/or to obtain their final approval.

PLANS APPROVED

Construction Industries Division
 General Construction Bureau

- NO EXCEPTIONS TAKEN
- EXCEPTIONS AS NOTED

By *Julio de la Haza*
 Permit No. GEN R. 2020037054
 Does not include Mechanical or Electrical

NOTE

ALL SECTIONS OF THE
NEW MEXICO BUILDING
ELECTRICAL, MECHANICAL
AND PLUMBING CODES MUST
 BE COMPLIED WITH

NOTE

APPROVED PLANS AND SPECIFICATIONS
 SHALL NOT BE CHANGED WITHOUT
 AUTHORIZATION FROM CONSTRUCTION
 INDUSTRIES DIVISION.

NOTICE!

THE APPROVED PLAN MUST BE AT THE JOB
 SITE AT ALL TIMES DURING CONSTRUCTION
 STATE OF NEW MEXICO
 CONSTRUCTION INDUSTRIES
 DIVISION

BOARD ACTION FORM

AGENDA DATE

PZHAC: March 21, 2022

BOT:

ITEM: PZHAC Case #061355 -2481 Calle De Cura, submitted by Window World of Las Cruces to remove and replace four (4) located in the den of the home. Zoned: Historical Residential (HR)

BACKGROUND AND ANALYSIS: This case was reviewed by the Architectural Styles Committee (ASC) on March 17, 2022.

Window World of Las Cruces to remove and replace four (4) located in the den of the home, there will be no changes or modifications to the window openings.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
PERMISSION TO CONDUCT WORK
 OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 061355
 Fee \$ 106.05
 Fee 190
 Plan 2916150

2331 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO: _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

Name of Applicant/Owner Jenn Soltero Applicant's Telephone Number (575) 496-5300

Applicant's/Owner's Mailing Address 2481 Calle Cura Mesilla NM City Mesilla State NM Zip Code 88046

Applicant's/Owner's E-mail Address Window World Las Cruces

Contractor's Name & Address (If none, Indicate Self) Window World Las Cruces 250 N. Telford Las Cruces, NM 88011

Contractor's Telephone Number 575-532-9390 Contractor's Tax ID Number 81-4803551 Contractor's License Number 391055

Address of Proposed Work 2481 Calle Cura Mesilla NM 88046

Description of Proposed Work: Remove and replace 4 windows located in Den. No changes to openings.

Estimated Cost: \$ 3,137.¹⁵ Signature of Applicant: [Signature] Date: 26 Aug 2021

Signature of property owner if applicant is not the property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are not to be larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval: BOT Approved Date: _____
 Approves Date: _____ Disapproves Date: _____
 Disapproved Date: _____ Approved with Conditions

FIRE INSPECTION/APPRAVAL REQUIRED: YES NO SEE CONDITIONS
 CID PERMIT INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- This Application will include the following, if checked:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Site Plan with dimensions and details.
 3. Proof of legal access to the property.
 4. Drainage plan.
 5. Architectural style and color scheme -- diagrams or elevations (Historical and commercial zones only).
 6. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. Other information as necessary or required by the City Code or Community Development:



"Simply the Best for Less"

WEST COAST

WINDOW AND PATIO DOOR ORDER FORM

Phone: 866.716.5368 Fax: 866.618.2783

Account #	Sales Rep Name / #
Date	Customer P.O. #
8-26-21	MA Eco #19

Customer Name and Address: **Job Name:** Job Name 2:

Special Instructions: 2481 Call's Cont 8804

Order # 8-26-21

Job Name: Job Name 2:

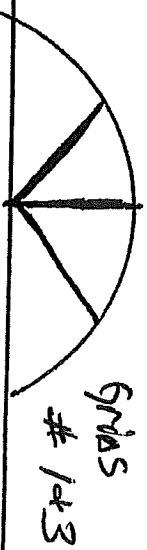
Special Instructions: ST-496-5300 or 915-203-3917

Order to form # 1 TOP to # 2 BOTTOM - Grids →
 Mail to form # 3 TOP to # 4 BOTTOM - Grids →

This entire order requires (where applicable): Head Expander Glass Breakage Warranty Foam Wrap

ALL PRODUCT CONFIGURATIONS MUST BE ORDERED AS VIEWED FROM THE EXTERIOR

LINE	QTY	MODEL	WNTL	COLOR	RD	DIMENSIONS	NOA	WIDTH	HEIGHT	FRAME	MAIL	ROOM	GRID	GLASS	ETC.	TINT'S	ORNL	WDRN	GRID	SCREEN	FOAM	NAIL	TEMP	
										TYPE	TYPE	LOCATION	ST. FT. OF FRENCH	HANGE (L/R/H)	OPTION	OPTION			STYLE	PATTERN	ENHANCED	FIN		
1	1	ALOS	01					X	X	RP		FRONT DENY		ICE										
2	1	OSY	01					X	X	RP		FRONT DENY		ICE										
3	1	ALOS	01					X	X	RP		FRONT DENY		ICE										
4	1	OSY	01					X	X	RP		FRONT DENY		ICE										
5								X	X															
6								X	X															
7								X	X															
8								X	X															
9								X	X															
10								X	X															
11								X	X															
12								X	X															
13								X	X															
14								X	X															
15								X	X															
16								X	X															
17								X	X															



01 = WHITE
 54 = ALUMINUM
 51 = DESERT CLAY
 52 = BRONZE EXT
 WITH WHITE INTERIOR

02 = DOUBLE
 03 = 1/4, 1/2, 1/4
 04 = STICKED
 C-CUSTOM

05 = GARY TINT
 06 = BRONZE TINT
 07 = GRAY TINT
 08 = ADJUSTABLE

09 = RAIN GLASS FULL
 10 = RAIN BOTTOM
 11 = GLUECHIP FULL
 12 = DOUBLE ORS FULL
 13 = NARROW NEED

14 = SOLARZONE ELITE
 15 = SOLARZONE PLUS
 16 = SOLARZONE 2
 17 = SOLARZONE T02
 18 = SOLARZONE T02 ELITE
 19 = LOW-EMD ARGON (7040 SERIES ONLY)

20 = FULL SCREEN (FIBERGLASS)
 21 = FIBERGLASS T02 SCREENS
 22 = ANE STRAIGHT

23 = SOLAR COOL LINOZE
 24 = SOLAR COOL GRAY
 25 = EMERGREEN
 26 = SOLEX

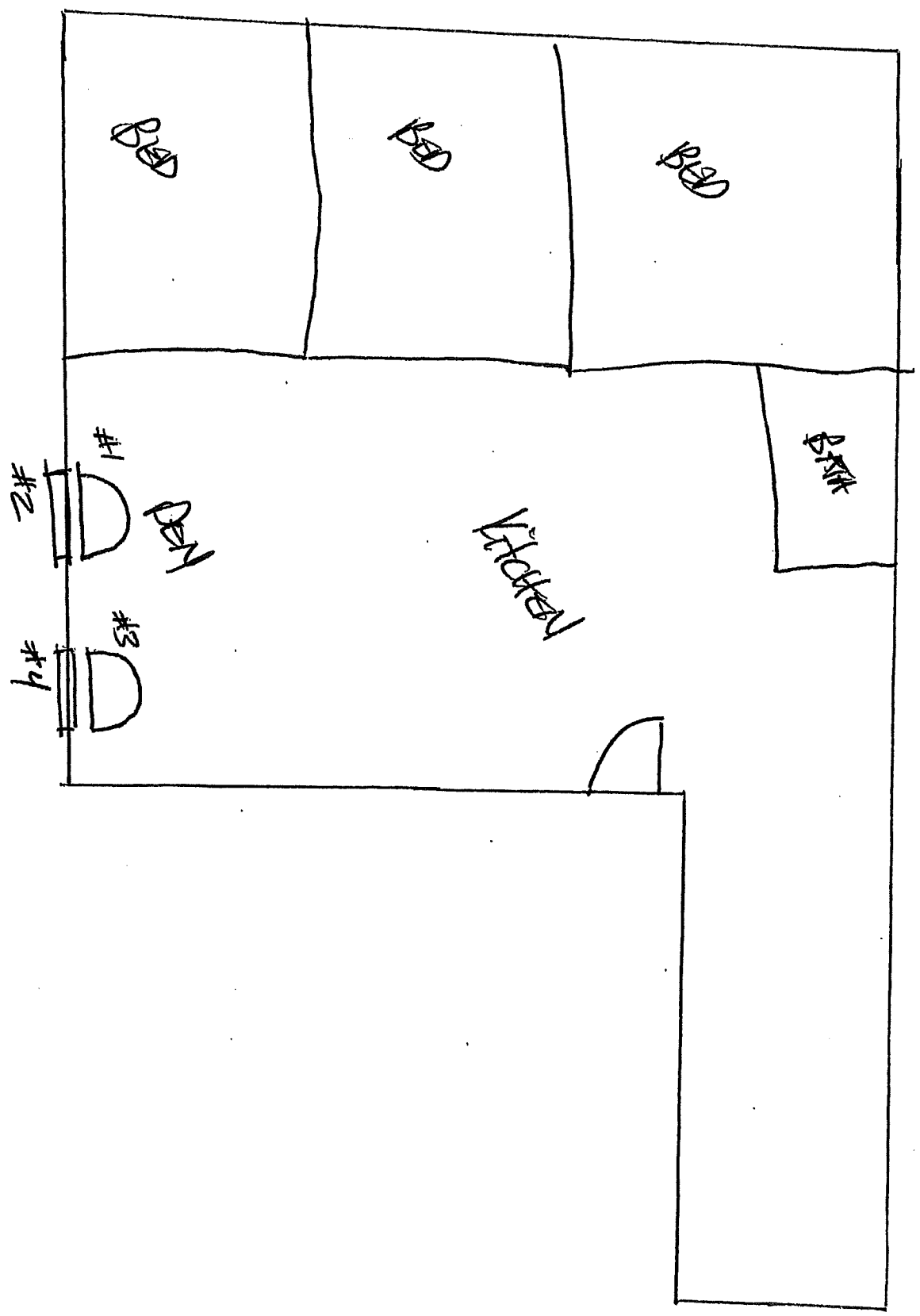
27 = BRICK MOLD 2"
 28 = BRICK MOLD 2"

29 = DARK OAK
 30 = SERIES ONLY

31 = SEE BACK OF ORDER FORM FOR GRID OPTIONS

Jenny SoHsks
2491 Calle Cava 88046
101-22m

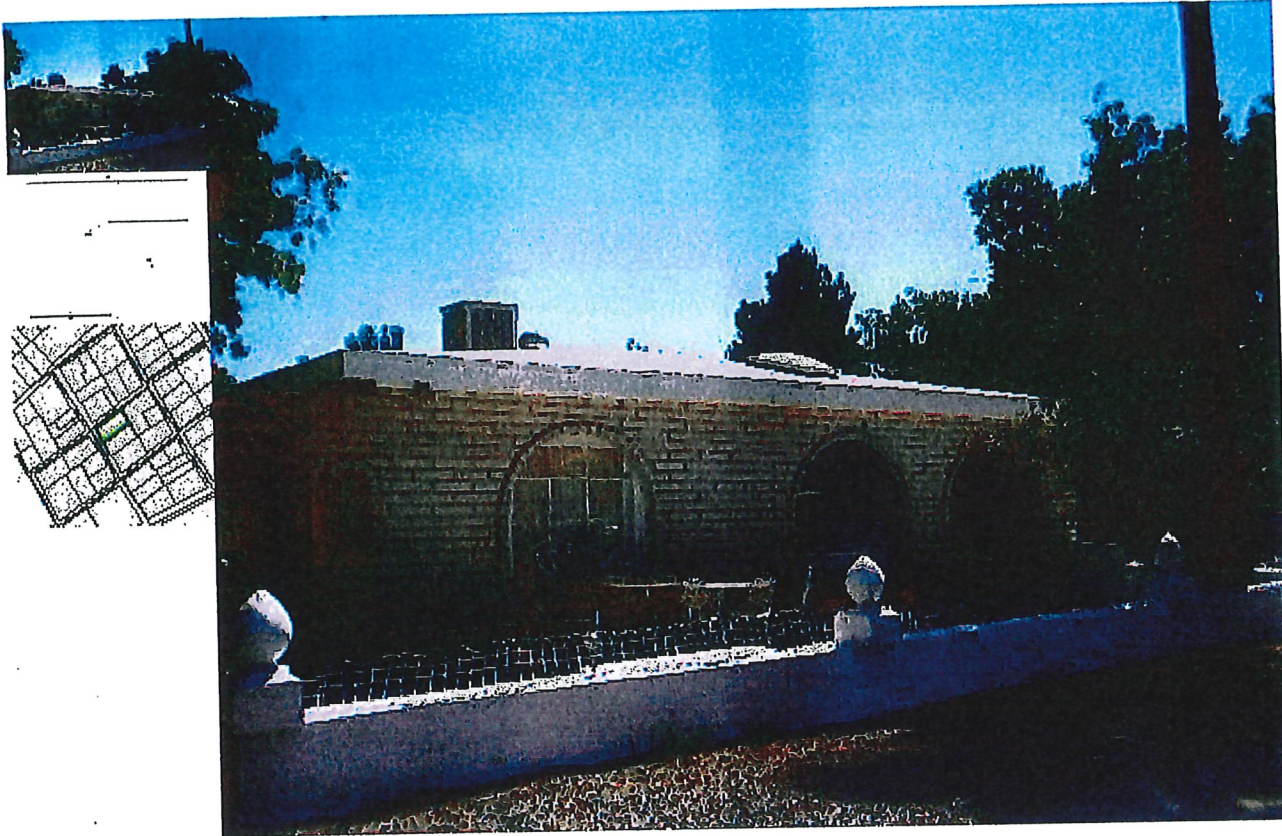
FRONT



1. All windows that originally meet egress will meet egress.
2. No Changes to existing construction.
3. All windows are energy efficient.

- [Account Search](#)
- [View Created Report\(s\)](#)
- [Help?](#)
- [Logout Public](#)

Account: R0400542 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.



Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor

Map

Legend

Map Layers

Layer Visibility:

- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

Select Search Type:

Account Number ▼

Enter Value:

Search



Parcel ID	Map Code	Name
R0400542	4006138184089	SOLTERO JENNIE

Sales Person:
19 - MARCO SAUCEDO



Customer Acknowledgement
Quote Date 9/10/2021
Date Ordered 11/2/2021

Dealer Name:
765480 WINDOW WORLD OF LAS CRUCES

Bill To:
WINDOW WORLD OF LAS CRUCES
250 N TELSHOR BLVD
LAS CRUCES NM 88011

Ship To:
WINDOW WORLD OF LAS CRUCES
250 N TELSHOR BLVD
LAS CRUCES NM 88011

Job Info

Phone: (575) 532-9390 Fax:

Order Notes:

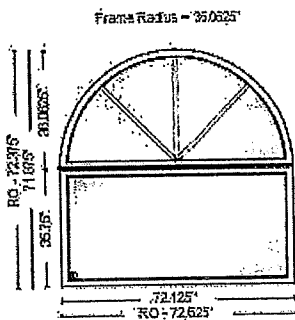
Delivery Notes:

Quote Name:
Soltero, Jenny

Project Name:
Soltero, Jenny

QUOTE #	RUSH	STATUS	PO#
3150707	No	Ordered	213-3028

Line Item #	Qty	Width x Height	U	Description
1	1	72.125" X 71.875"	145	



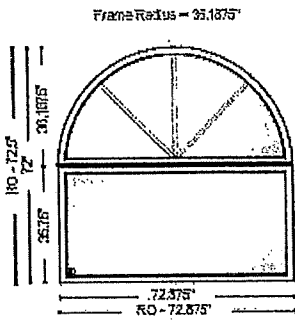
Row 1: 03S4-New 4000 Series Picture 72 1/8 x 35 3/4
 Row 2: A105-West Replacement Shapes Half Round Picture 72 1/8 x 36 1/16
 Unit 1, 2: Frame Width = 72.125, Frame Height = 35.75
 Unit 3, 4: Frame Width = 72.125, Frame Height = 36.0625, Frame Radius = 36.0625
 Operation / Venting = Picture
 Unit 1, 2: Frame Option = Standard Block Frame, Composite Reinforcement
 Unit 3, 4: 4000 Series
 Frame Color = White, Exterior Finish = No Exterior Finish
 Unit 1, 2: SolarZone Elite, Double Strength, Tempered
 Unit 3, 4: SolarZone Elite
 Unit 1, 2: U-Factor = 0.27, CR = 59, SHGC = 0.22, VT = 0.52, CPD = ASO-A-91-13922-00001
 Unit 3, 4: U-Factor = 0.27, CR = 62, SHGC = 0.2, VT = 0.46, CPD = ASO-A-91-15258-00002
 3/4" Contour, Colonial Spoke, Grid Color = White, CT02 Header Expander, Foam Wrap, Bent Sticky Trim, Net Overall, Net Overall
 Horizontal Factory 0.0625" thick, 72.125" length
Line Item Notes:

Comment / Room:

LINE 1 & 2

QUOTE #	RUSH	STATUS	PO#
3150707	No	Ordered	213-3028

Line Item #	Qty	Width x Height	UI	Description
2	1	72.375" X 72"	145	



Row 1: 03S4-New 4000 Series Picture 72 3/8 x 35 3/4
 Row 2: A105-West Replacement Shapes Half Round Picture 72 3/8 x 36 3/16
 Unit 1, 2: Frame Width = 72.375, Frame Height = 35.75
 Unit 3, 4: Frame Width = 72.375, Frame Height = 36.1875, Frame Radius = 36.1875
 Operation / Venting = Picture
 Unit 1, 2: Frame Option = Standard Block Frame, Composite Reinforcement
 Unit 3, 4: 4000 Series
 Frame Color = White, Exterior Finish = No Exterior Finish
 Unit 1, 2: SolarZone Elite, Double Strength, Tempered
 Unit 3, 4: SolarZone Elite
 Unit 1, 2: U-Factor = 0.27, CR = 59, SHGC = 0.22, VT = 0.52, CPD = ASO-A-91-13922-00001
 Unit 3, 4: U-Factor = 0.27, CR = 62, SHGC = 0.2, VT = 0.46, CPD = ASO-A-91-15258-00002
 3/4" Contour, Colonial Spoke, Grid Color = White, CT02 Header Expander, Foam Wrap, Bent Sticky Trim, Net Overall, Net Overall
 Horizontal Factory 0.0625" thick, 72.375" length
Line Item Notes:

Comment / Room:

LINE 3& 4

Customer Notes:

Total Unit Count:	4
-------------------	---

ATTENTION

Please note that all weights provided are estimates and subject to change based on actual order shipment. For Informational Purposes: All windows are viewed from the outside looking in.

NOTICE: The rating information provided on this quote is based upon the NFRC ratings at the time of quote. Such ratings are subject to changes in the standard by the applicable regulatory agencies and will be finalized at the time of manufacturing. All ratings printed on the NFRC label will supersede the NFRC rating set forth in the quote. Any changes made to an order after submission may also result in changes to the NFRC rating. Customer shall be solely responsible for determining whether the product ordered meets their jurisdiction's requirements.

In accordance with the state of California:

⚠ WARNING: Cancer and Reproductive Harm - www.p65Warnings.ca.gov

This order is subject to AMI's Standard Terms and Conditions, which can be found here: <https://www.associatedmaterials.com/resources/>

I have reviewed this order and certify that it is correct. I understand that this order is noncancellable, nonreturnable, and nonrefundable.

By _____ Authorized Representative

BOARD ACTION FORM

AGENDA DATE

PZHAC: March 21, 2022

BOT:

ITEM: PZHAC Case #061357 – 2939 Estrada Rd, submitted by Eric Gallegos to erect fence with wood posts and horse fencing on adjacent lot owned by Mr. Gallegos, Zoned: Rural Agriculture (RA)

BACKGROUND AND ANALYSIS: This case was reviewed by the Architectural Styles Committee (ASC) on March 17, 2022.

Mr. Gallegos purposes erect fence with wood posts and horse fencing on adjacent lot owned by Mr. Gallegos

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:
Case # 061357
Fee \$ 68.50

*Fee 58.00
Review 10.50*

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

ERIC GALLEGOS (575) 393-2112
Name of Property Owner Property Owner's Telephone Number
P.O. Box 825 MESILLA NM 88046
Property Owner's Mailing Address City State Zip Code
eric.d.gallegos@state.nm.us
Property Owner's E-mail Address
SELF
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2939 ESTRADA RD. ADJACENT LOT OWNED BY OWNER
Description of Proposed Work: FENCING w/ 2 1/2" x 2" x 6' POSTS (WOOD) (NOT NUMBERED)
WITH WIRE HORSE FENCING BETWEEN POSTS. 165', 75', 62.77 FT

\$ 1000.00 Estimated Cost
Eric D. Gallegos Signature of Applicant
12/28/2021 Date

Signature of property owner: Eric D. Gallegos

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. _____ Site Plan with dimensions and details.
3. _____ Foundation plan with details.
4. _____ Floor plan showing rooms, their uses and dimensions.
5. _____ Cross section of walls
6. _____ Roof and floor framing plan
8. _____ Proof of legal access to the property.
9. _____ Drainage plan.
10. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. _____ Proof of legal access to the property.
13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)



■ .350 ACRES
DOÑA ANA COUNTY
ASSESSORS OFFICE



STATE OF NEW MEXICO
 Office of the State Engineer
 Tom Blaine, P.E.
 State Engineer

Lower Rio Grande
 Adjudication
 Northern Mesilla Valley Section

Legend

- Irrigated Tract Boundary
Total Irrigated Acreage:
- EBID Assessed Tract Boundary
Total Assessed Acreage:
- Land with No Right

- Reservoir
- Irrigation Wells
- Domestic/Livestock Wells
- All Other Wells
- Land Formerly Irrigated

- Land with Water Rights Transferred Off
- Encroachments



Subfile Number
 LRN-280130133-A



12-NOV-2015

Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor

Map

Legend

Map Layers

Layer Visibility:

- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

Select Search Type:

Property Address ▼

Enter Value:

2939 estrada

Search



Parcel ID	Map Code	Name	Address
R0400464	4006138114226	GALLEGOS ERIC D	PO BOX 825





Post 3.5 in x 3.5 in

ERIC GAWEGOS
575.343.2412



about 165 ft

Tree (salt cedar)

8 ft between posts

All the way to neighbors property line

6 ft tall
3 ft depth

10 inch holes

corner

match neighbors fence

Big tree

Match dirt road

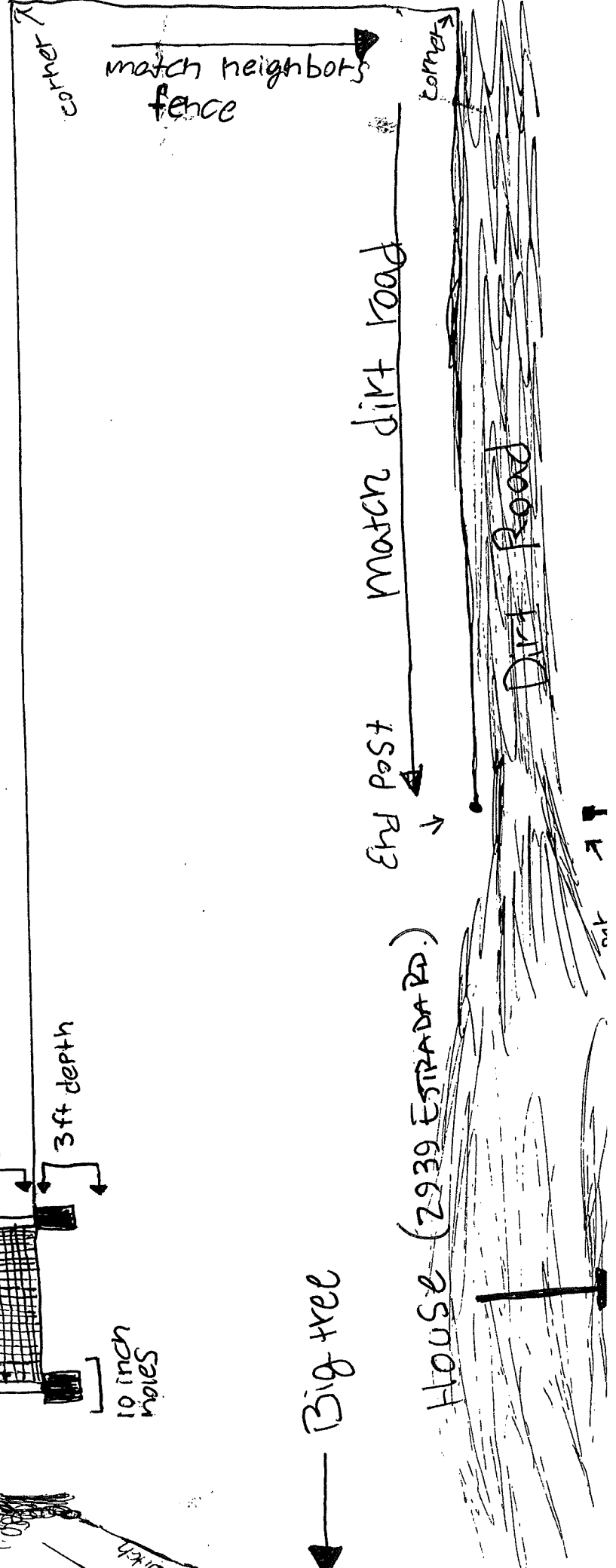
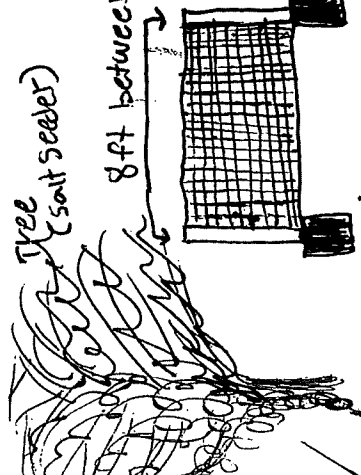
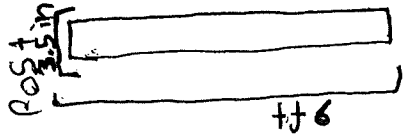
Erd Post

House (2939 Estrada Rd.)

Dirt Road

corner

cut at



BOARD ACTION FORM

AGENDA DATE

PZHAC: March 21, 2022

BOT:

ITEM: PZHAC Case #061360 – 2100 Stithes Rd, submitted by Adrian Aguirre to build metal garage with concrete foundation with additional concrete driveway and remove old carport. Zoned: Rural Agriculture (RA)

BACKGROUND AND ANALYSIS: This case was not reviewed by the Architectural Styles Committee (ASC) it is in the Residential Agricultural Zone.

Mr. Adrian Aguirre purposes to build metal garage with concrete foundation with additional concrete driveway and remove old carport

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Plans

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:
Case # 061360
Fee \$ _____

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

ADRIAN AGUIRRE 575-635-8657
Name of Property Owner Property Owner's Telephone Number
2100 STITHES RD MESILLA NM 88005
Property Owner's Mailing Address City State Zip Code

espiliotis@hotmail.com + aj.aguirre@gmail.com
Property Owner's E-mail Address

Self
Contractor's Name & Address (If none, indicate Self)

915-667-0792
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2100 STITHES RD

Description of Proposed Work: concrete foundation + metal garage 24'x35'x10' tall installed. additional driveway slab poured 15'x35'
Removal of old Carpet.

\$ 3,000.00
Estimated Cost Signature of Applicant Date 2/13/2022

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 - Site Plan with dimensions and details.
 - Foundation plan with details.
 - Floor plan showing rooms, their uses and dimensions.
 - Cross section of walls
 - Roof and floor framing plan
 - Proof of legal access to the property.
 - Drainage plan.
 - Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 - Proof of legal access to the property.
 - Other information as necessary or required by the City Code or Community Development Department (See other side.)

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

A. Completed application, including:

1. Applicant's name
2. Applicant/property owners contact information
3. Physical address of property
4. Description of work to be done, including dimensions of any construction or repairs
5. Value of work to be done
6. Property owner's signature on the application

B. Include all information required in the checklist at the bottom of the application.

C. Additional information required:

Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor

Map

Legend

Map Layers

Layer Visibility:

- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

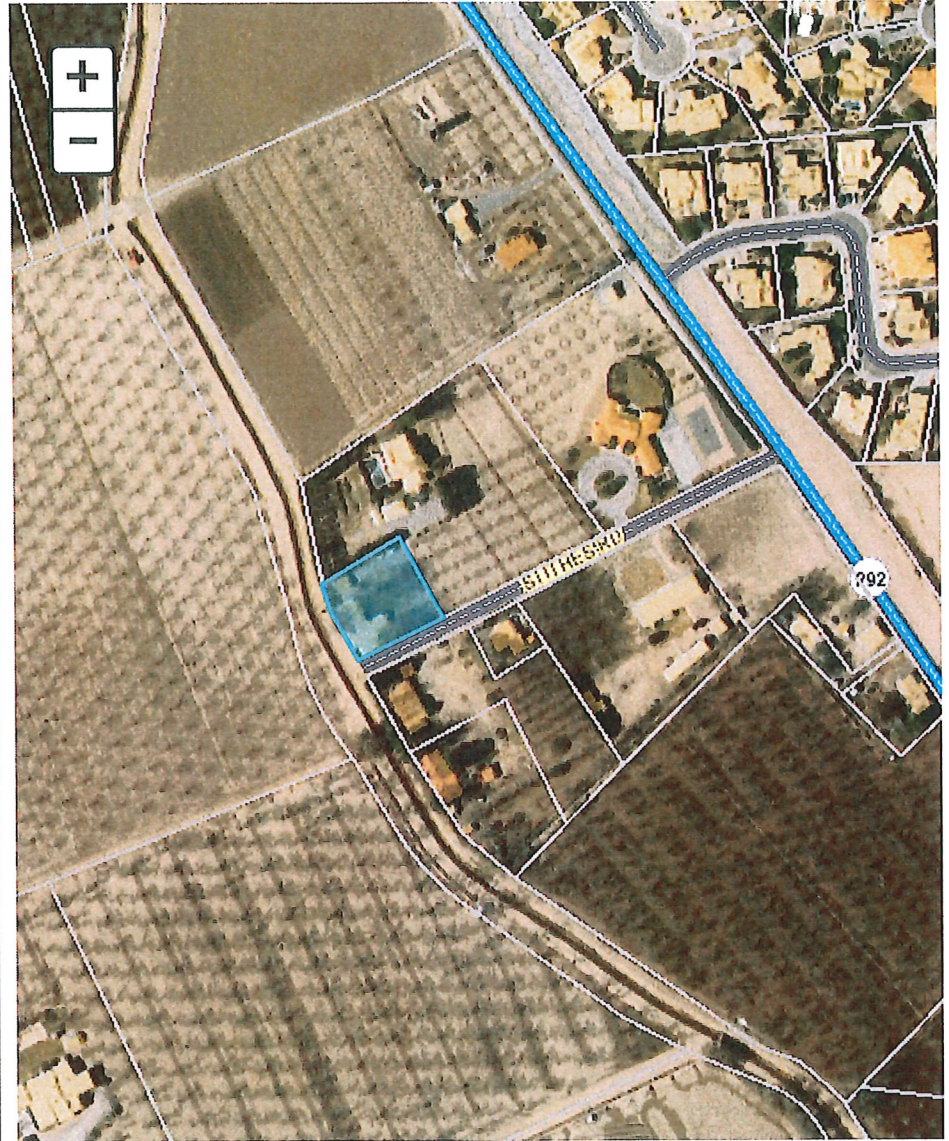
Select Search Type:

Property Address ▼

Enter Value:

337 CAPRI ARC

Search



Parcel ID	Map Code	Name
<u>R0400182</u>	4006137057239	AGUIRRE ADRIAN J

- [Account Search](#)
- [View Created Report\(s\)](#)
- [Help?](#)
- [Logout Public](#)

Account: R0400182 Real Property Account *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.



GLOBAL CONSTRUCTION LLC
 PO Box 13892
 Las Cruces, NM 88013
 5755719339
 glconstructionllc1@gmail.com

Estimate



ADDRESS

Zoe Spiliotis
 2100 Stithes
 Las Cruces, Nm 88005 USA

SHIP TO

Zoe Spiliotis
 2100 Stithes
 Las Cruces, Nm 88005 USA

ESTIMATE #

1095

DATE

01/04/2022

DESCRIPTION

QTY

RATE

AMOUNT

Concrete Slab for Metal Building 24' x 35' and Concrete Slab for Driveway 15' x 35'			7,380.00T
Demolition of old Carport and removal of all Debris (Roof And Walls)			5,000.00T
Reroute and Extend Power Line			1,800.00T
		SUBTOTAL	14,180.00
		TAX	957.15
		TOTAL	\$15,137.15

Accepted By

Accepted Date



PHYSICAL MAILING
1985 Calle De Colon P.O. BOX 1570
Mesilla NM, 88046 Mesilla NM, 88046

info@moysurveying.com
(575) 525-9683 F: (575) 524-3238
www.moysurveying.com

FEBUARY 24, 2022

DESCRIPTION OF A 0.497 ACRE TRACT

A tract land situated in the Town of Mesilla, Dona Ana County, New Mexico, in Section 25, T.23S., R.1E., N.M.P.M. of the U.S.R.S. Survey, being U.S.R.S. Tract 9D-86B, and being more particularly described as follows, to wit:

Beginning at a concrete monument found on the North line of Stithes Road for the Southeast corner of this tract being identical to the Southwest corner of Lot 2, Jurado Tracts, filed March 12, 1996, in Book 18, Page 432, Dona Ana County records;

Thence from the point of beginning and along the North line of Stithes Road, S.63°46'00"W., 145.31 feet to a concrete monument found on the East line of the Mesilla Lateral for the Southwest corner of this tract;

Thence along the East line of said Mesilla Lateral the following two courses and distances, N.28°14'27"W., 119.91 feet to a concrete monument found for an angle point of this tract;

Thence N14°36'07"W., 30.36 feet to a concrete monument found for the Northwest corner of this tract;

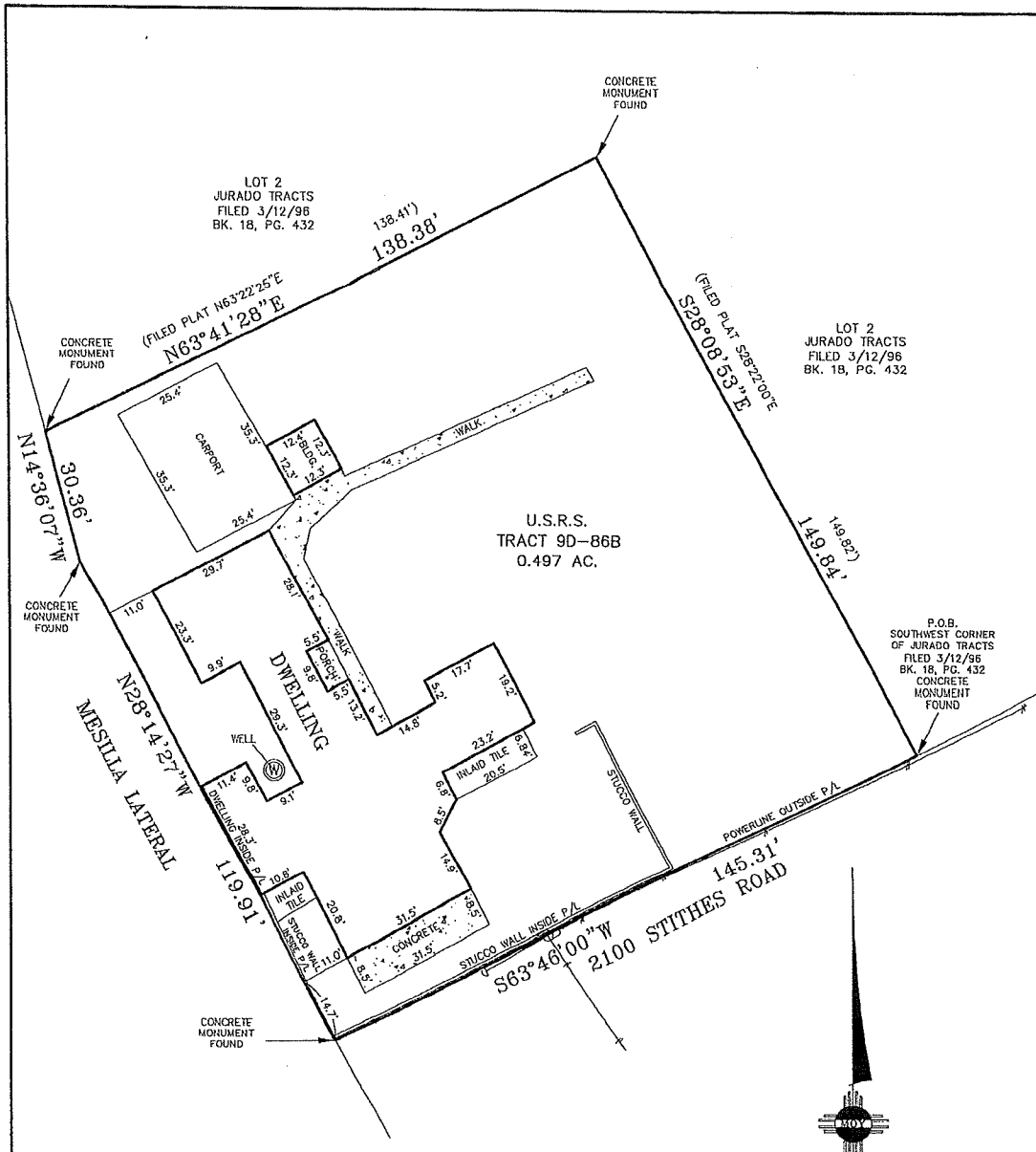
Thence leaving the Mesilla Lateral, N.63°41'28"E., 138.38 feet to a concrete monument found for the Northeast corner of this tract;

Thence S.28°08'53"E., 149.84 feet to the point of beginning, containing 0.497 acre of land, more or less. Subject to any easements and restrictions of record.

Information in the preparation of this description derives from Warranty Deed, filed April 7, 2016, Instrument #1607501, Dona Ana County records. Field notes by MOY SURVEYING INC., License #18078. All corners set a ½" iron rods with 1" plastic caps stamped #18078. All iron rods or monuments found, tagged, stamped #18078.

Job #22-0118
RI



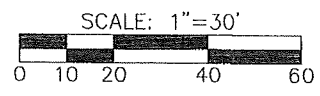


NOTE:

FLOOD ZONE "X"; AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN, IN MAP NO. 35029C1093 G, EFFECTIVE JUNE 6, 2016.

INFORMATION IN THE PREPARATION OF THIS PLAT DERIVES FROM WARRANTY DEED FILED APRIL 7, 2016, INSTRUMENT #1607501, DONA ANA COUNTY RECORDS.

FIELD NOTES BY MOY SURVEYING INC., LICENSE #18078. ALL CORNERS SET ARE 1/2" IRON RODS WITH 1" PLASTIC CAPS STAMPED #18078. ALL IRON RODS OR MONUMENTS FOUND, TAGGED, STAMPED #18078. UNLESS OTHERWISE NOTED DEED BEARINGS AND DISTANCES AND FIELD BEARING AND DISTANCES ARE THE SAME.



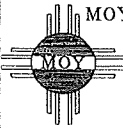
"INDEXING INFORMATION FOR COUNTY CLERK"	
PROPERTY OWNER:	AGUIRRE
PROPERTY LOCATION:	TOWN OF MESILLA
ACCOUNT NUMBER:	R04001872
PARCEL NUMBER:	4006137057239



PLAT OF SURVEY
 SHOWING THE LOCATION OF IMPROVEMENTS
 ON A 0.497 ACRE TRACT
 IN SECTION 25, T.23S., R.1E., N.M.P.M.
 OF THE U.S.R.S. SURVEYS
 BEING U.S.R.S. TRACT 9D-86B
 TOWN OF MESILLA
 DONA ANA COUNTY, NEW MEXICO

THIS IS TO CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT, MEETING THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
Henry Magallanez 18078

DATE: 2/24/22 HENRY MAGALLANEZ LICENSE NO. 18078
 414 N. DOWNTOWN MALL
 LAS CRUCES, NEW MEXICO 88001


MOY SURVEYING INC.
 1985 CALLE DE COLON
 MESILLA, N.M. 88046
 P.O. BOX 1670
 MESILLA, N.M. 88046
 info@moyssurveying.com
 PHONE: (575) 525-9683

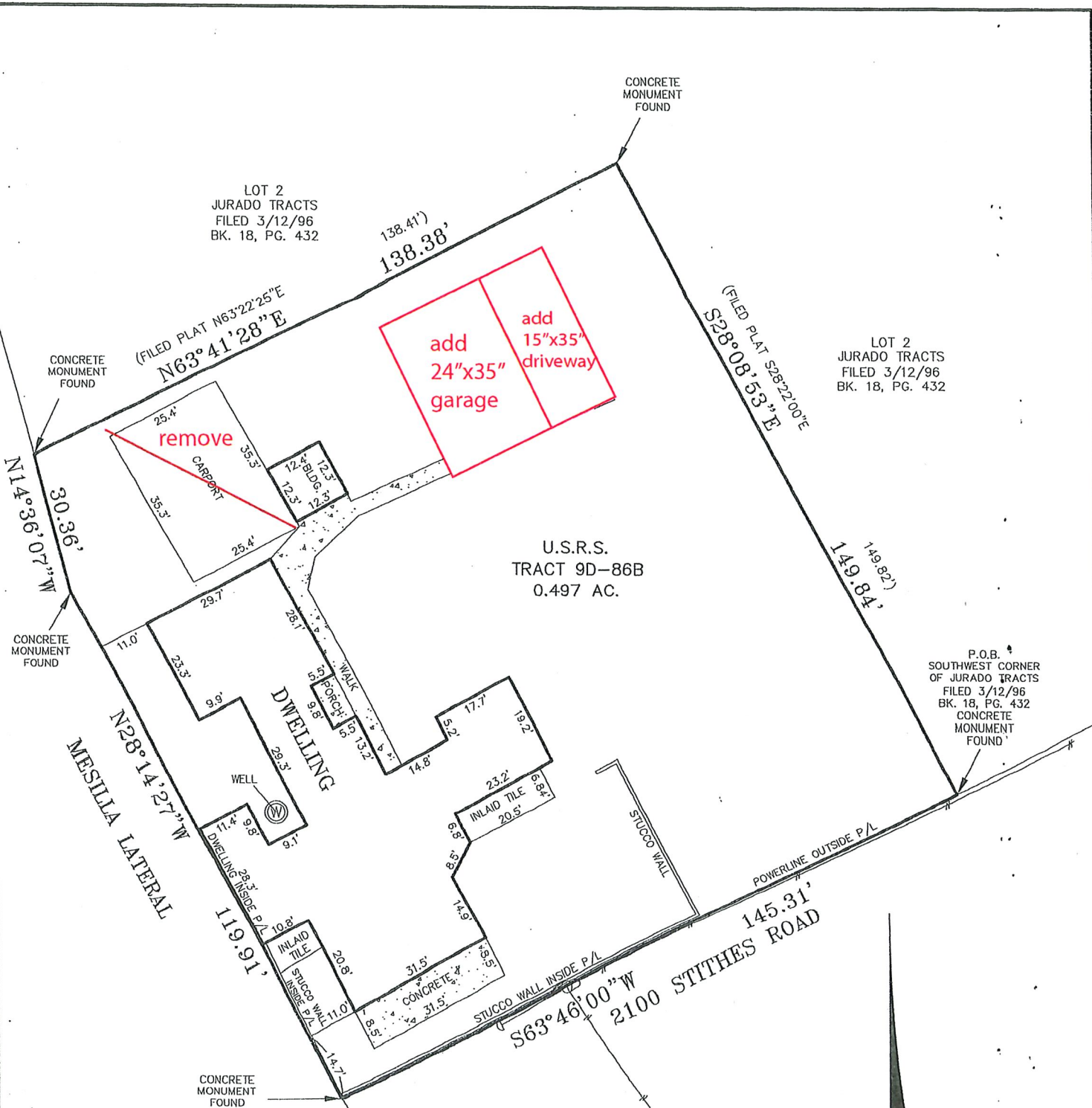
JOB NO. 22-0118
 DRAWN BY ROBERT E. LAWS
 FIELD BY KENNY & VICTOR
 DATE 2/24/22 SCALE: 1"=30'

LOT 2
JURADO TRACTS
FILED 3/12/96
BK. 18, PG. 432

LOT 2
JURADO TRACTS
FILED 3/12/96
BK. 18, PG. 432

U.S.R.S.
TRACT 9D-86B
0.497 AC.

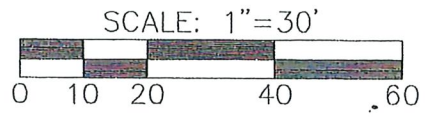
P.O.B.
SOUTHWEST CORNER
OF JURADO TRACTS
FILED 3/12/96
BK. 18, PG. 432
CONCRETE
MONUMENT
FOUND



NOTE:
FLOOD ZONE "X"; AREAS DETERMINED TO BE OUTSIDE
500-YEAR FLOOD PLAIN, IN MAP NO. 35029C1093 G,
EFFECTIVE JUNE 6, 2016.

INFORMATION IN THE PREPARATION OF THIS PLAT DERIVES
FROM WARRANTY DEED FILED APRIL 7, 2016, INSTRUMENT
#1607501, DONA ANA COUNTY RECORDS.

FIELD NOTES BY MOY SURVFYING INC. LIC#NSF #18078



"INDEXING INFORMATION FOR COUNTY CLERK"
PROPERTY OWNER: AGUIRRE

Eagle Carports

"Flying High with Great Deals"



STRUCTURAL DESIGN

ENCLOSED BUILDING

**MAXIMUM 30'- 0" WIDE X 20'- 0" HEIGHT-
BOX EAVE FRAME AND BOW FRAME**

19 August 2021

Revision 9

M&A Project No. 16166S/17207S/17293S/18012S/18260S/19320S/21169S

Prepared for:

**Eagle Carports
210 Airport Road
Mount Airy, NC 27030**

Prepared by:

Moore and Associates Engineering and Consulting, Inc.

**1009 East Avenue
North Augusta, SC 29841**

**401 S. Main Street, Suite 200
Mount Airy, NC 27030**



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING**

ART1301- Art Appreciation
Professor Spiliotis

Elements of Art - Photo Scavenger Hunt

Refer to the Module Part 1: Fundamentals- The Elements of Art on Blackboard
Chapters 1.1-1.6 from the Book
Elements of Art- Quick Reference Sheet Attached

The elements of art are the building blocks used by artists to create a work of art. It is impossible to create a work of art without using at least one of the elements of art. Artworks can also be analyzed according to the use of the elements in a work of art.

Objectives:

- Recognize that works of art are comprised of various artistic elements
- Identify how artistic elements are found in photographic compositions
- Compose photos that demonstrate knowledge of the visual elements

Directions:

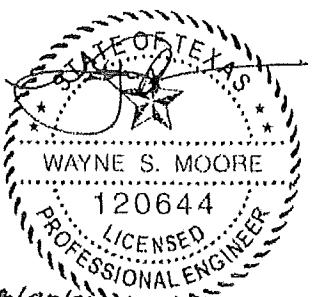
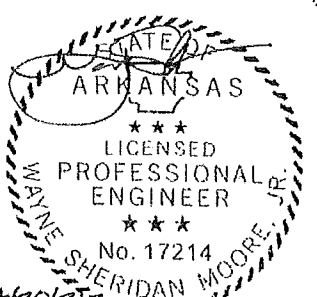


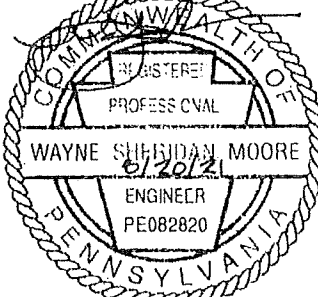
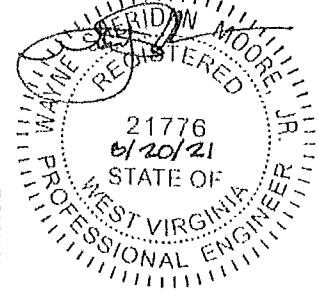
1. Using a digital camera or cell phone camera, compose and photograph an example of each of the Visual elements listed below.

*(In other words, I want to see examples of photos **you** take yourself, from the world around you that demonstrates these concepts. Not photos from the internet.)*

- line
 - shape
 - space
 - value
 - form
 - texture
 - color
2. Create an 8 slide Google Slide, or PowerPoint presentation - (Title page plus 7 slides)
 3. Add one element photo per slide and write a short description for each slide which tells me what element it is, how it can be seen in the photo and why you think your photograph is a good example of that element.

		<p>I HAVE RESEARCHED THIS CHAPTER AND THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.</p>	

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT		EAGLE CARPORTS 210 AIRPORT ROAD MOUNT AIRY, NC 27030 30'-0"x20'-0" SP ENCLOSED STRUCTURE	
	CHECKED BY: PDH			
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	CLIENT: EAGLE CARPORTS	SHT. 1	DWG. NO: SK-3	REV: 9

			
	<p>Professional Certification.</p> <p>I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 49744, Expiration Date 6/20/2021 <u>6/20/2022</u></p>		
			
			
			

<p align="center">MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.</p> <p><small>THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.</small></p>	<p>DRAWN BY: LT</p>	<p align="center">EAGLE CARPORTS 210 AIRPORT ROAD MOUNT AIRY, NC 27030</p>	
	<p>CHECKED BY: PDH</p>	<p align="center">30'-0"x20'-0" SP ENCLOSED STRUCTURE</p>	
	<p>PROJECT MGR: WSM</p>	<p>DATE: 8-19-21</p>	<p>SCALE: NTS JDB NO: 16166S/ 19260S/19320S/21169S</p>
	<p>CLIENT: EAGLE CARPORTS</p>	<p>SHT. 1A</p>	<p>DWG. NO: SK-3 REV: 9</p>

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SHEET 3A	LIST OF APPLICABLE BUILDING CODES
SHEET 4	TYPICAL SIDE AND END ELEVATIONS
SHEET 5	TYPICAL RAFTER/COLUMN END FRAMING SECTION (BOX EAVE RAFTER) (EXPOSURE B)
SHEET 5A	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE RAFTER) (EXPOSURE B)
SHEET 5B	TYPICAL RAFTER/COLUMN END FRAMING SECTION (BOX EAVE RAFTER) (EXPOSURE C)
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SHEET 7A	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOW RAFTER) (EXPOSURE B)
SHEET 7B	TYPICAL RAFTER/COLUMN END FRAMING SECTION (BOW RAFTER) (EXPOSURE C)
SHEET 7C	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOW RAFTER) (EXPOSURE C)
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SHEET 13	CONNECTION DETAILS
SHEET 14	LEAN-TO OPTIONS (BOX EAVE RAFTER)
SHEET 14A	LEAN-TO OPTIONS (BOX EAVE RAFTER)
SHEET 14B	LEAN-TO OPTIONS (BOX EAVE RAFTER) (EXPOSURE B)
SHEET 14C	LEAN-TO OPTIONS (BOX EAVE RAFTER) (EXPOSURE C)
SHEET 15	LEAN-TO OPTIONS (BOW RAFTER)
SHEET 15A	LEAN-TO OPTIONS (BOW RAFTER) (EXPOSURE B)
SHEET 15B	LEAN-TO OPTIONS (BOW RAFTER) (EXPOSURE C)
SHEET 16	VERTICAL ROOF/SIDING OPTION END AND SIDE ELEVATION AND SECTION
SHEET 17	SIDE WALL AND END WALL HEADER OPTIONS

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	CHECKED BY: PDH	PROJECT MGR: WSH	DATE: 8-19-21	SCALE: NTS
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INSTALLATION NOTES AND SPECIFICATIONS

- 1 DESIGN IS FOR MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES
- 2 DESIGN WAS DONE IN ACCORDANCE WITH ALL THE APPLICABLE BUILDING CODES LISTED ON SHEET 3A
- 3 DESIGN LOADS ARE AS FOLLOWS:
 - A) DEAD LOAD = 15 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 35 PSF
- NOTE: UNBALANCED LOADING DUE TO SNOW DRIFTING FROM AN ADJACENT TALLER STRUCTURE HAS NOT BEEN EVALUATED
- 4 3 SECOND GUST ULTIMATE WIND SPEED (V_{ULT}) 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH)
5. MAXIMUM RAFTER/POST AND END POST SPACING = 50 FEET (UNLESS NOTED OTHERWISE)
- 6 END WALL COLUMNS (POSTS) ARE EQUIVALENT TO SIDE WALL POSTS IN SIZE AND SPACING UNLESS NOTED OTHERWISE
- 7 RISK CATEGORY 1
8. WIND EXPOSURE CATEGORY B/C
- 9 SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2"x2 1/2"-14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS
- 10 AVERAGE PANEL FASTENER SPACING ON-CENTERS = 10" OC (MAX)
- 11 FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (3:12 PITCH) OR LESS. SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY. ROOF SLOPES LESS THAN 3:12 REQUIRE USE OF LAP JOINT SEALANT
- 12 ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL AT OR WITHIN 6" OF EVERY RAFTER COLUMN
- 13 STANDARD GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG AND MAY BE USED IN SUITABLE SOILS. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED
- 14 CONTRACTOR TO PROVIDE ADEQUATE BRACING FOR STRUCTURE SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE AND FOUNDATION ARE DESIGNED FOR A COMPLETED CONDITION ONLY AND, THEREFORE, REQUIRE ADDITIONAL SUPPORT TO MAINTAIN STABILITY BEFORE COMPLETION
- 15 WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
 - SOIL SITE CLASS = D
 - RISK CATEGORY 1
 - R = 325 $I_E = 1.0$
 - $S_{DS} = 2.039 g$ $V = C_s W$
 - $S_{D1} = 1.258 g$

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	CLIENT: EAGLE CARPORTS	SHT. 3	DWG. NO: SK-3	REV: 9

LIST OF APPLICABLE BUILDING CODES

2018 INTERNATIONAL BUILDING CODE (IBC 2018)

2015 INTERNATIONAL BUILDING CODE (IBC 2015)

2012 INTERNATIONAL BUILDING CODE (IBC 2012)

2009 INTERNATIONAL BUILDING CODE (IBC 2009)

2006 INTERNATIONAL BUILDING CODE (IBC 2006)

BUILDING CODE 2015 OF ALABAMA
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

2020 FLORIDA BUILDING CODE, 7TH EDITION

GEORGIA STATE MINIMUM STANDARD BUILDING CODE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

INDIANA BUILDING CODE, 2014 EDITION
(ADOPTS THE IBC 2012 WITH AMENDMENTS)

BUILDING CODE 2018 OF KANSAS
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

2018 KENTUCKY BUILDING CODE
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

BUILDING CODE 2015 OF LOUISIANA
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

BUILDING CODE 2018 OF MARYLAND
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

BUILDING CODE 2015 OF NEW MEXICO
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

2018 NORTH CAROLINA BUILDING CODE
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

OHIO BUILDING CODE 2017
(ADOPTS THE 2015 WITH AMENDMENTS)

BUILDING CODE 2015 OF OKLAHOMA
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

BUILDING CODE 2015 OF PENNSYLVANIA
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

2018 SOUTH CAROLINA BUILDING CODE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

BUILDING CODE 2012 OF TENNESSEE
(ADOPTS THE IBC 2012 WITH AMENDMENTS)

BUILDING CODE OF THE TEXAS INDUSTRIALIZED
HOUSING AND BUILDINGS PROGRAM
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

2018 VIRGINIA CONSTRUCTION CODE
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

BUILDING CODE 2015 OF WEST VIRGINIA
(ADOPTS THE IBC 2015 WITH AMENDMENTS)

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 3A

SCALE: NTS

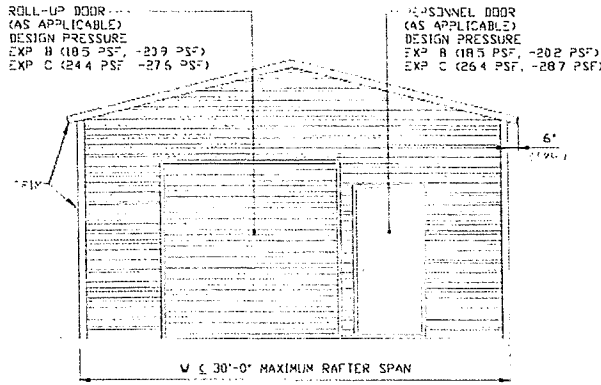
DWG. NO: SK-3

JOB NO: 16166S/
18260S/19320S/21169S

REV: 9

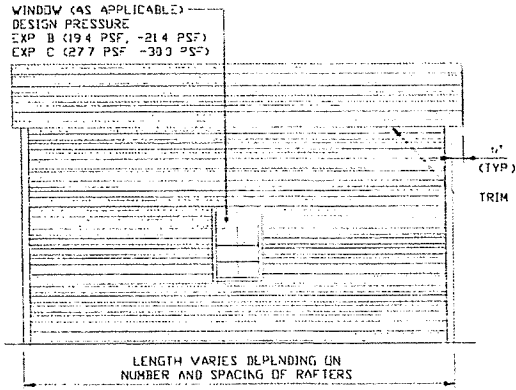
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BOX EAVE FRAME RAFTER STRUCTURE



TYPICAL END ELEVATION

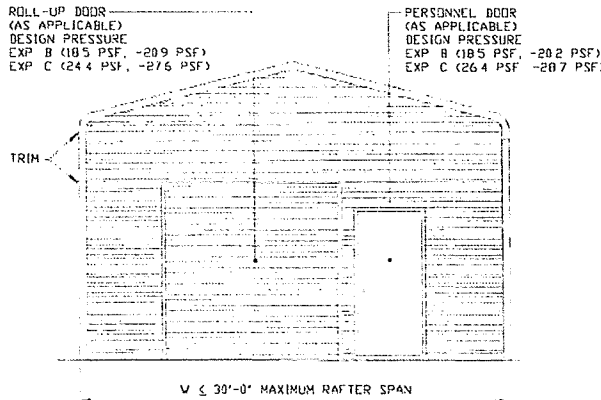
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TYPICAL SIDE ELEVATION

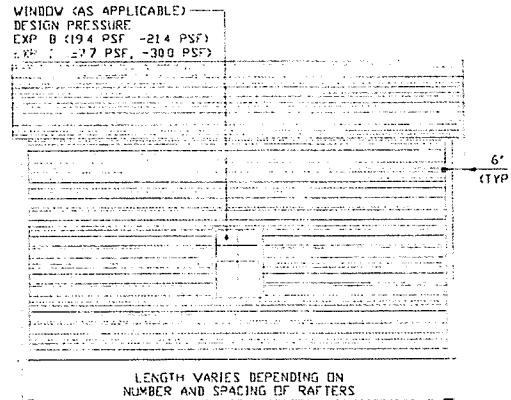
SCALE: NTS

BDW FRAME RAFTER STRUCTURE



TYPICAL END ELEVATION

SCALE: NTS



TYPICAL SIDE ELEVATION

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 4

SCALE: NTS

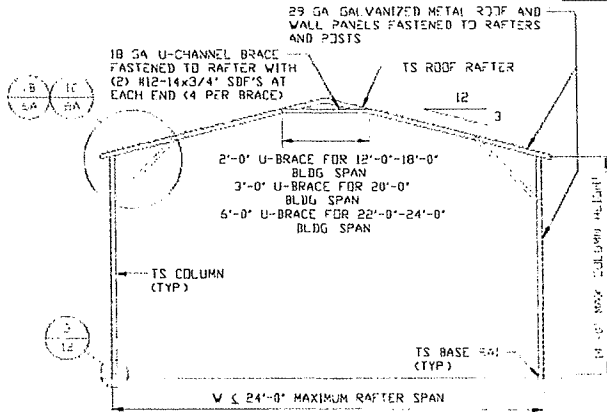
DWG. NO: SK-3

JDB NO: 16166S/
18260S/19320S/21169S

REV: 9

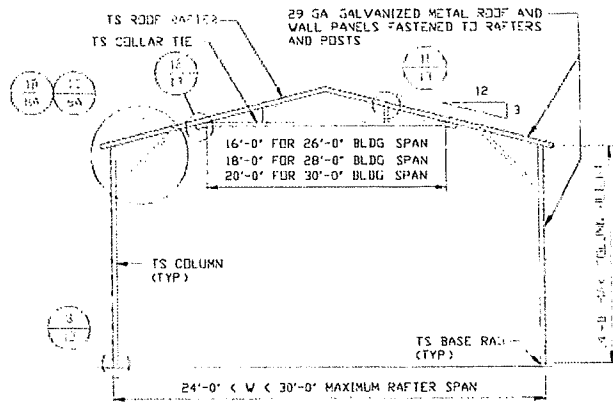
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EXPOSURE B



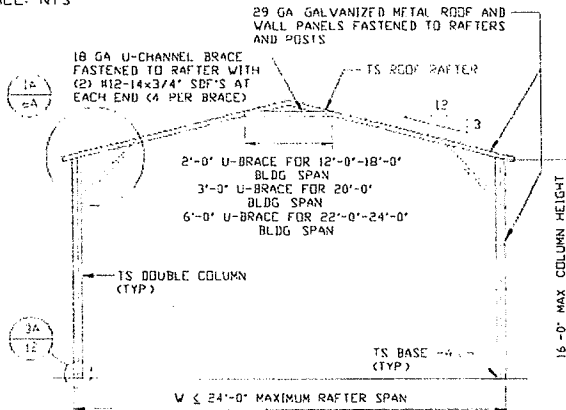
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



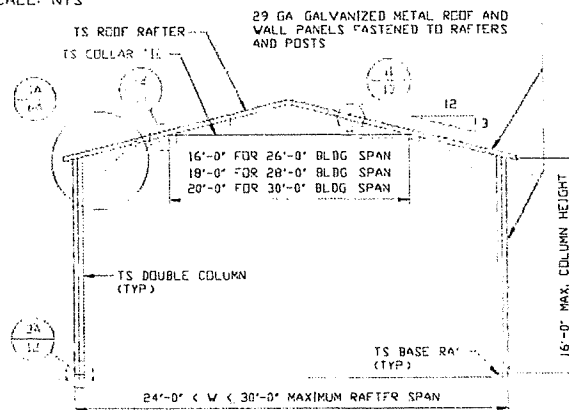
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 5

SCALE: NTS

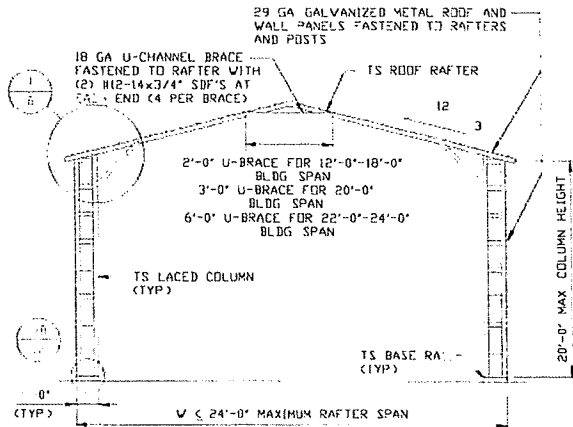
DWG. NO: SK-3

JOB NO: 16166S/
18260S/19320S/21169S

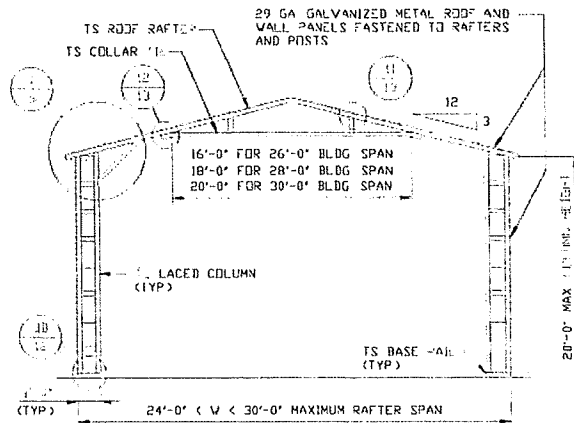
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EXPOSURE B

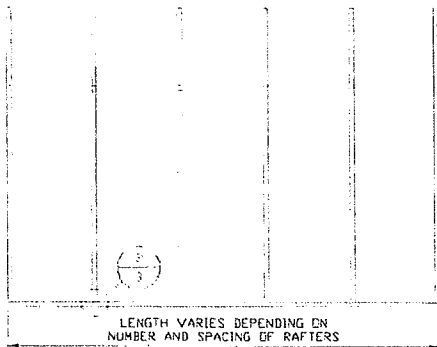


TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS

SEE NOTES
(SHEET 3)
FOR MAXIMUM
SPACING



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

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PROJECT MGR: WSM

DATE: 8-19-21

SCALE: NTS

JOB NO: 16166S/
18260S/19320S/21169S

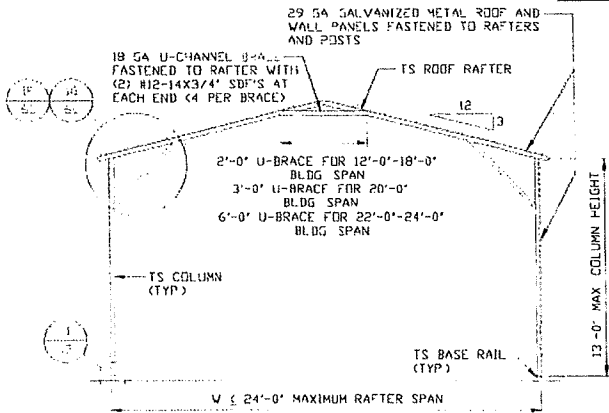
CLIENT: EAGLE CARPORTS

SHT. 5A

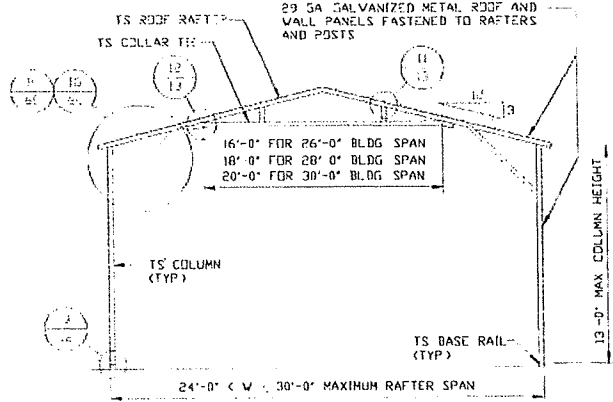
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REV: 9

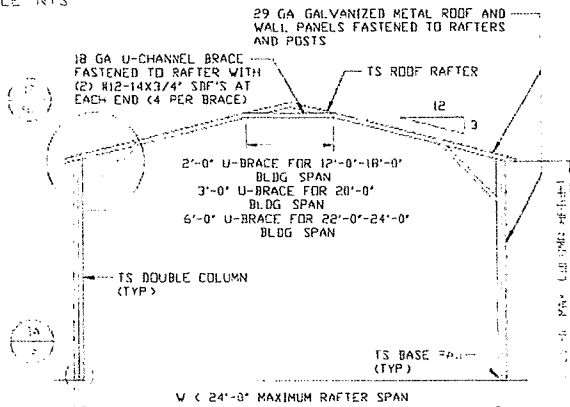
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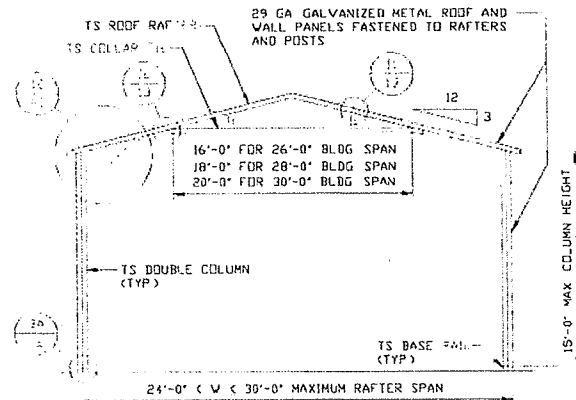
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 5B

SCALE: NTS

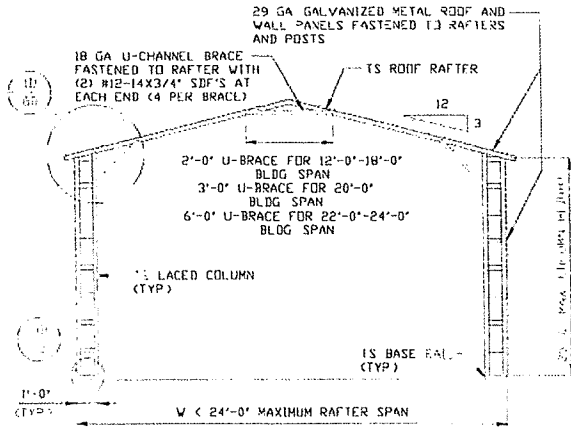
DWG. NO: SK-3

JOB NO: 16166S/
18260S/19320S/21169S

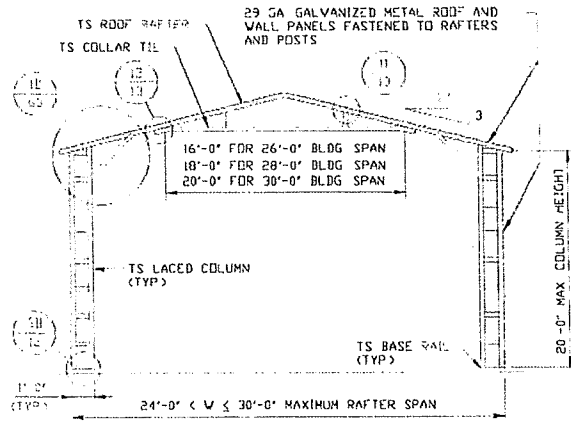
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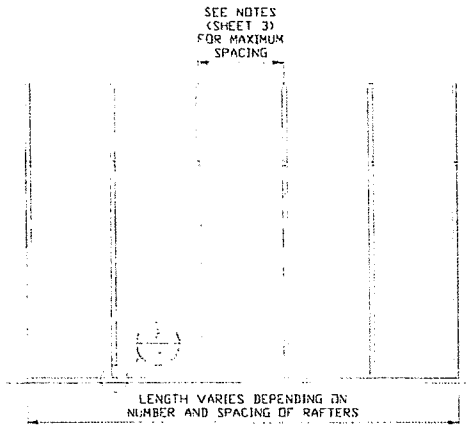
EXPOSURE C



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



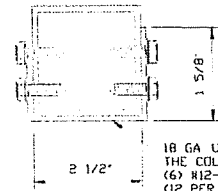
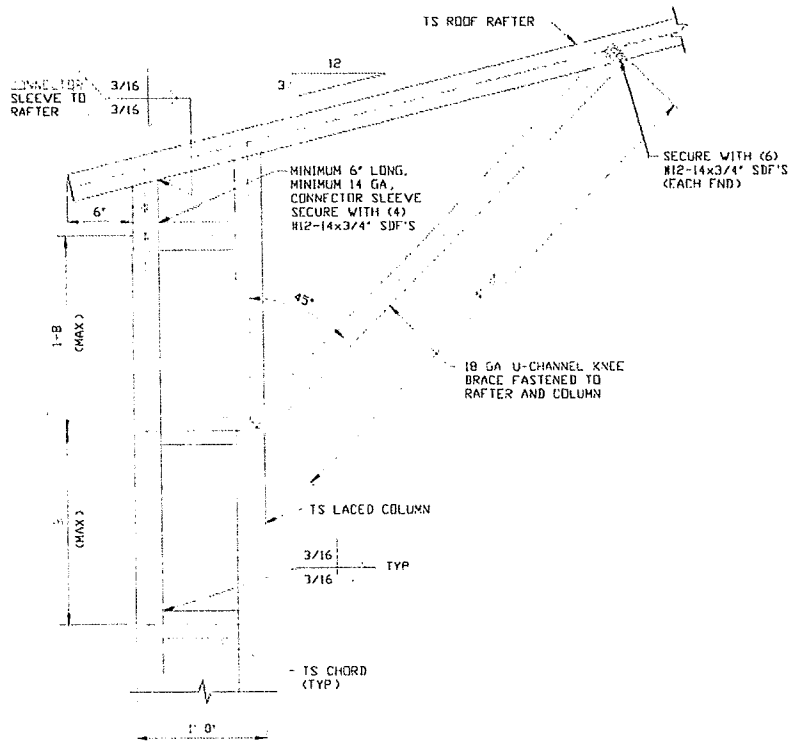
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	EAGLE CARPORTS 210 AIRPORT ROAD MOUNT AIRY, NC 27030 30'-0"x20'-0" SP ENCLOSED STRUCTURE		
	CHECKED BY: PDH	PROJECT MGR: WSM	DATE: 8-19-21	SCALE: NTS
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EXPOSURE B



BRACE SECTION
SCALE: NTS

**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 16'-0" < TO ≤ 20'-0"**

1

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SCALE: NTS

DWG. NO: SK-3

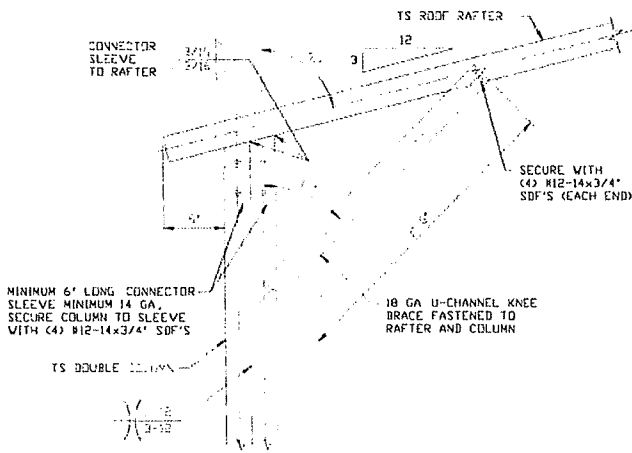
JOB NO: 16166S/
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SHT. 6

REV: 9

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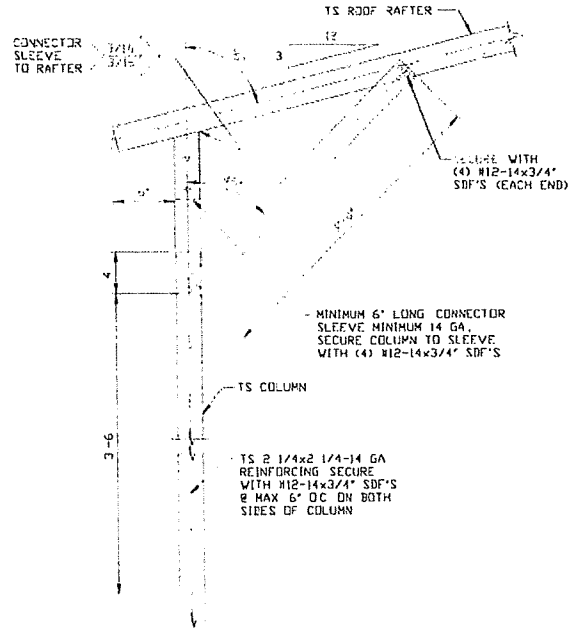
EXPOSURE B



**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 14'-0" < TO <= 16'-0"
WITH 10 PSF < TO <= 35 PSF SNOW LOAD
AND <= 105 MPH WIND SPEED
(12'-0" < TO <= 16'-0" WITH <= 10 PSF
SNOW LOAD AND 105 MPH < TO <= 140 MPH
WIND SPEED)**

1A

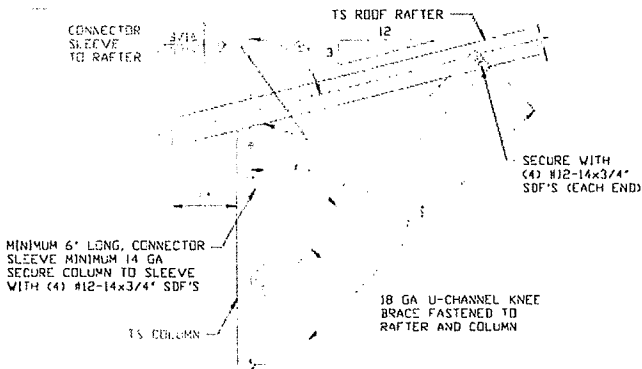
SCALE: NTS



**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 12'-0" < TO <= 14'-0"
WITH 10 PSF < TO <= 35 PSF SNOW LOAD
AND <= 105 MPH WIND SPEED
(11'-0" < TO <= 12'-0" WITH <= 10 PSF
SNOW LOAD AND 105 MPH < TO <= 140 MPH
WIND SPEED)**

1B

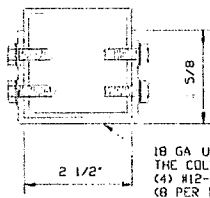
SCALE: NTS



**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS <= 12'-0"
WITH 10 PSF < TO <= 35 PSF SNOW LOAD
<= 11'-0" WITH <= 10 PSF SNOW LOAD AND
105 MPH < TO <= 140 MPH WIND SPEED**

1C

SCALE: NTS



BRACE SECTION

SCALE: NTS

18 GA U-CHANNEL BRACE FASTENED TO THE COLUMN AND ROOF BEAM, WITH (4) #12-14x3/4" SDF'S AT EACH END (8 PER BRACE)

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 6A

SCALE: NTS

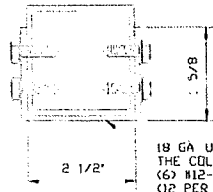
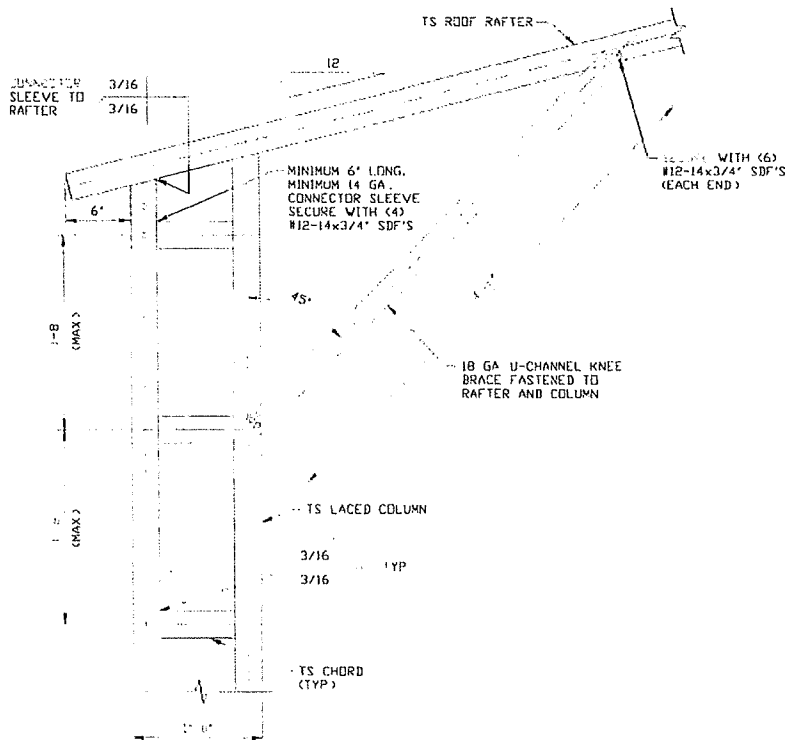
DWG. NO: SK-3

JDB NO: 16166S/
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EXPOSURE C

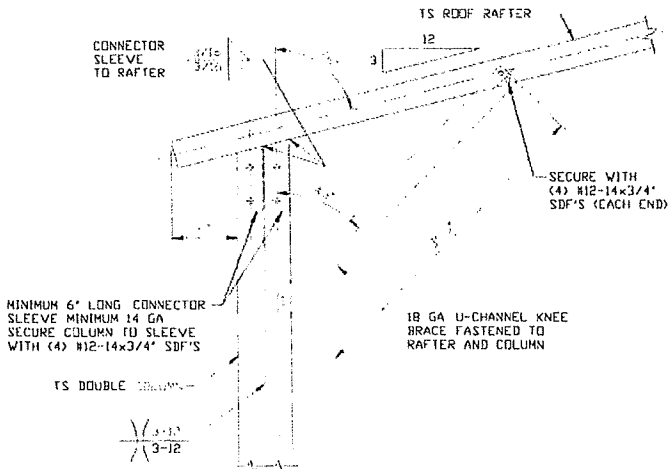


BRACE SECTION
SCALE: NTS

1D BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 15'-0" < TO ≤ 20'-0"
SCALE: NTS

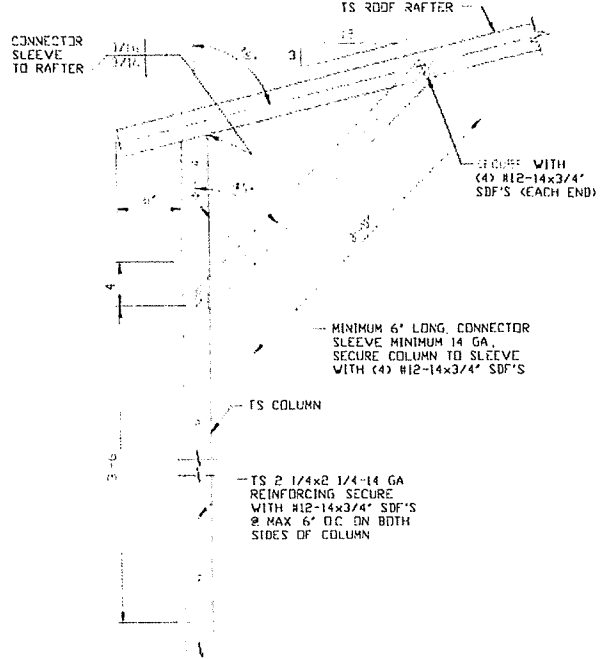
MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	EAGLE CARPORTS 210 AIRPORT ROAD MOUNT AIRY, NC 27030 30'-0"x20'-0" SP ENCLOSED STRUCTURE		
	CHECKED BY: PDH	PROJECT MGR: WSH	DATE: 8-19-21	SCALE: NTS
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EXPOSURE C



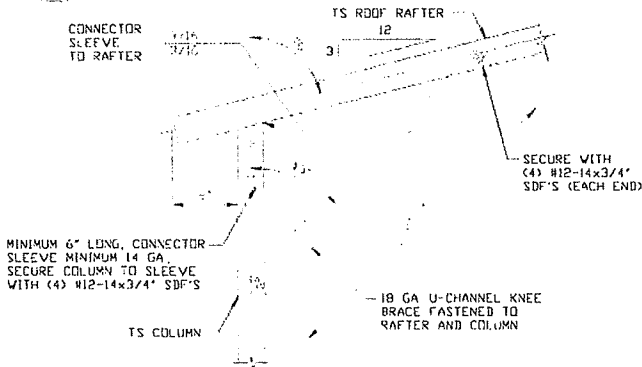
**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 13'-0" < TO <= 15'-0"
WITH 10 PSF < TO <= 35 PSF SNOW LOAD
AND <= 105 MPH WIND SPEED
(10'-0" < TO <= 15'-0" WITH <= 10 PSF
SNOW LOAD AND 105 MPH < TO <= 140 MPH
WIND SPEED)**

1E
SCALE: NTS



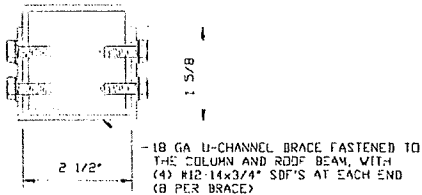
**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 11'-0" < TO <= 13'-0"
WITH 10 PSF < TO <= 35 PSF SNOW LOAD
AND <= 105 MPH WIND SPEED
(9'-0" < TO <= 10'-0" WITH <= 10 PSF SNOW
LOAD AND 105 MPH < TO <= 140 MPH WIND
SPEED)**

1F
SCALE: NTS



**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS <= 11'-0"
WITH 10 PSF < TO <= 35 PSF SNOW LOAD
<= 9'-0" WITH <= 10 PSF SNOW LOAD AND
105 MPH < TO <= 140 MPH WIND SPEED**

1G
SCALE: NTS



BRACE SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 6C

SCALE: NTS

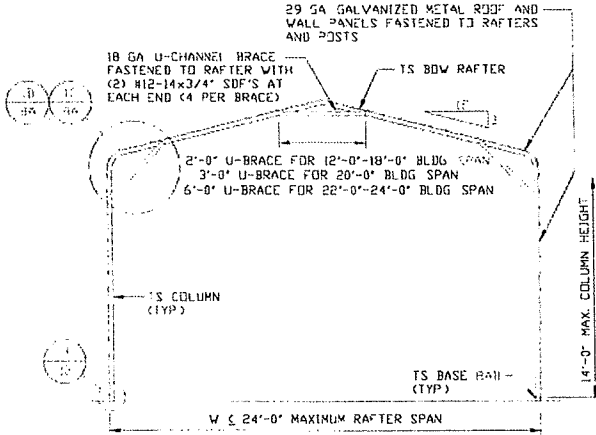
DWG. NO: SK-3

JOB NO: 16166S/
18260S/19320S/21169S

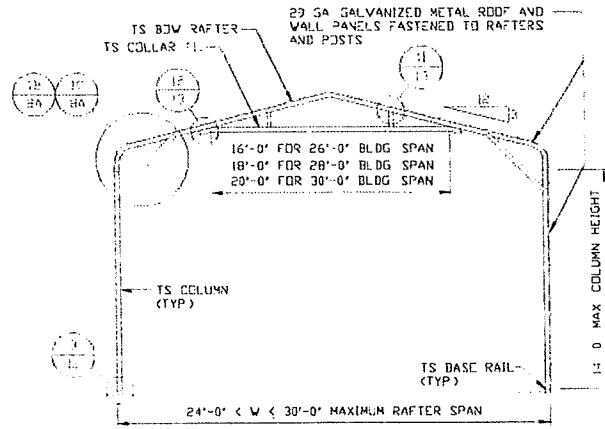
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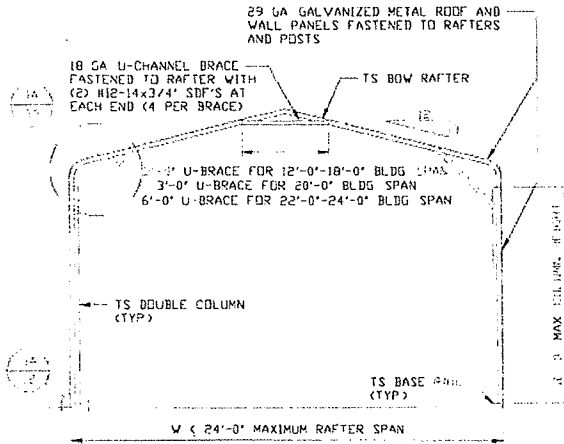
EXPOSURE B



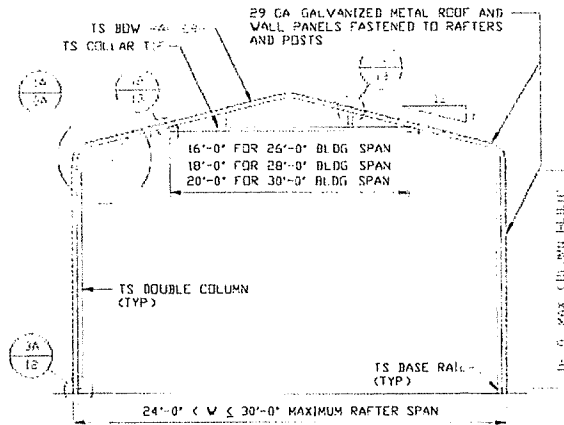
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 7

SCALE: NTS

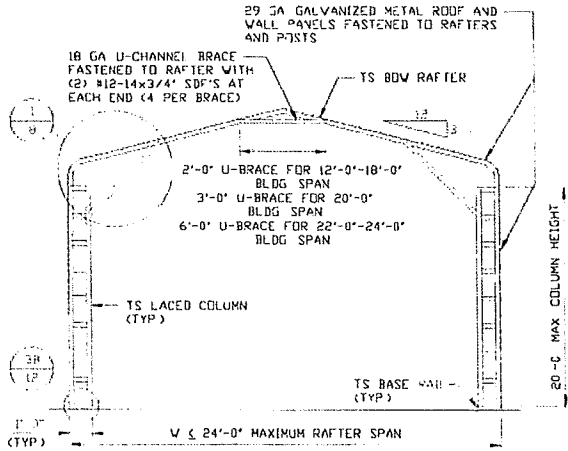
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JOB NO: 16166S/
18260S/19320S/21169S

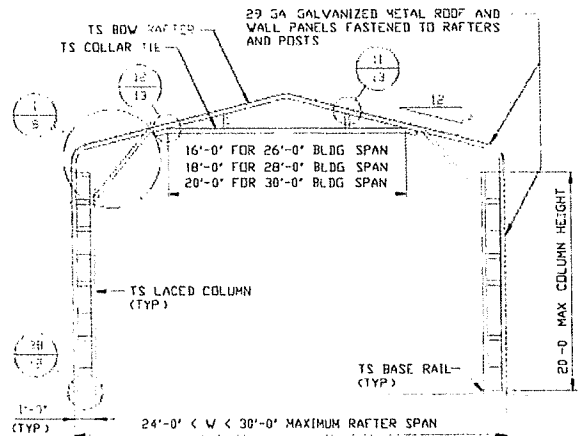
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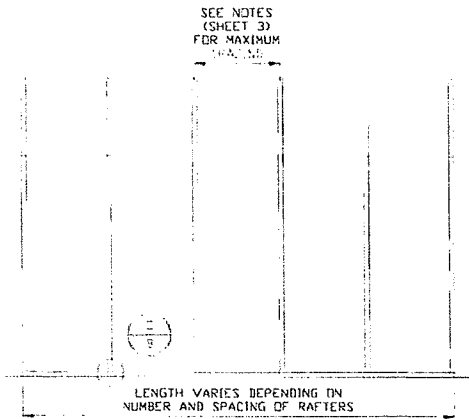
EXPOSURE B



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAMING SIDE SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 7A

SCALE: NTS

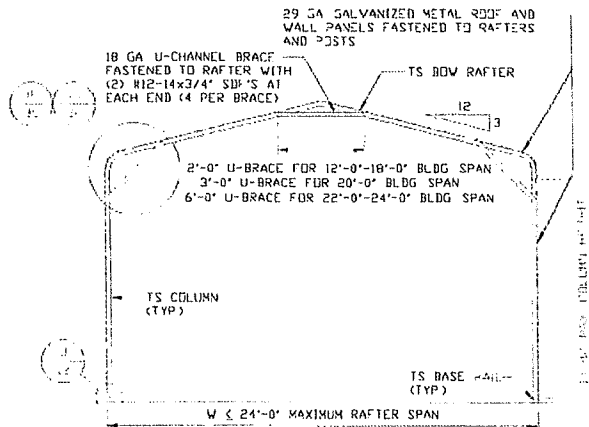
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JOB NO: 16166S/
18260S/19320S/21169S

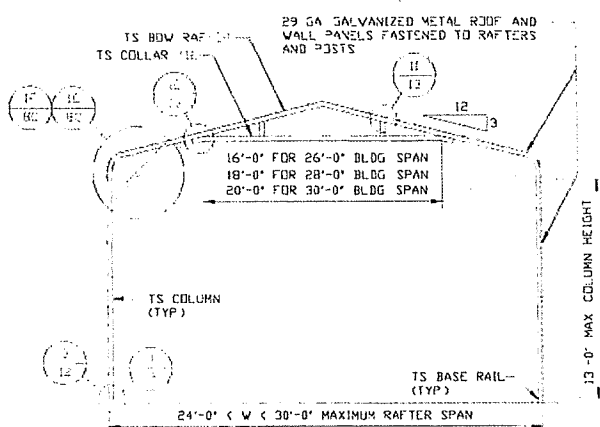
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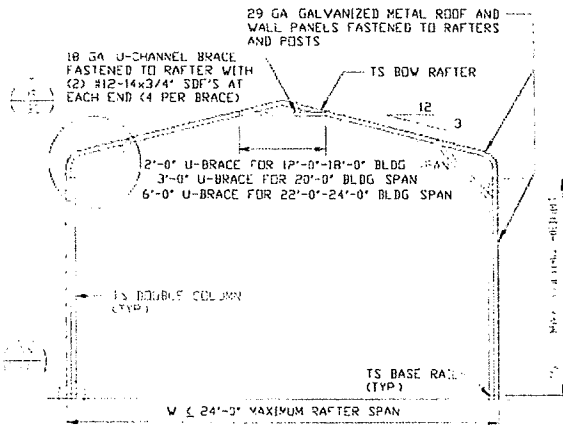
EXPOSURE C



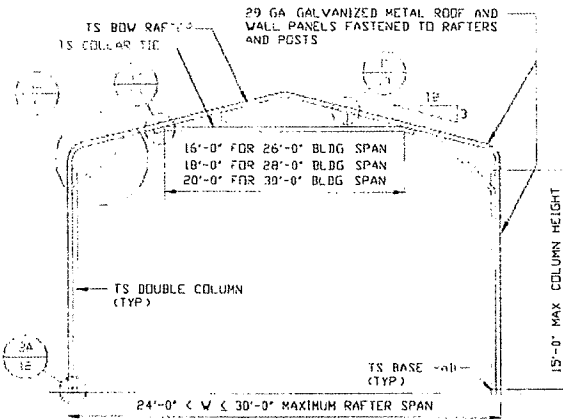
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PDH

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EAGLE CARPORTS
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MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

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SHT. 7B

SCALE: NTS

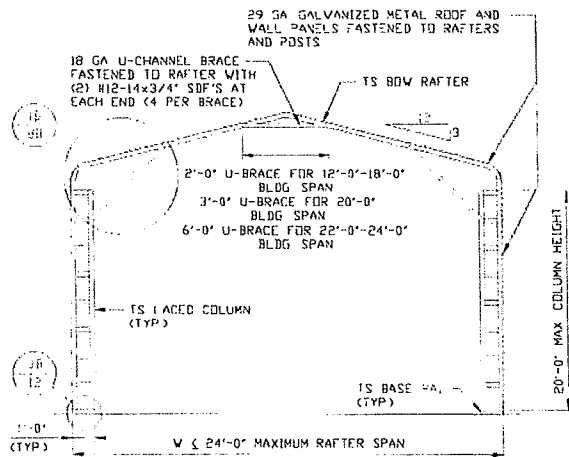
DWG. NO: SK-3

JOB NO: 16166S/
19260S/19320S/21169S

REV: 9

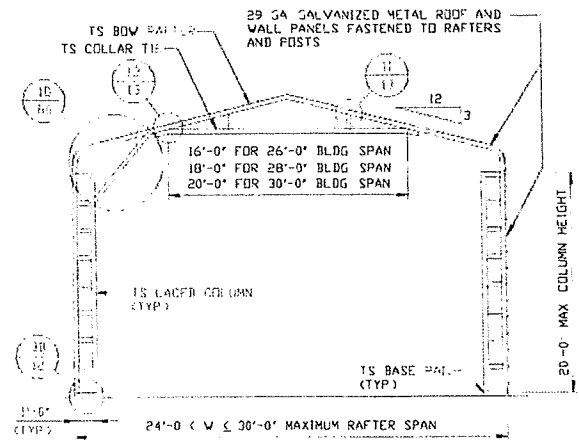
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EXPOSURE C



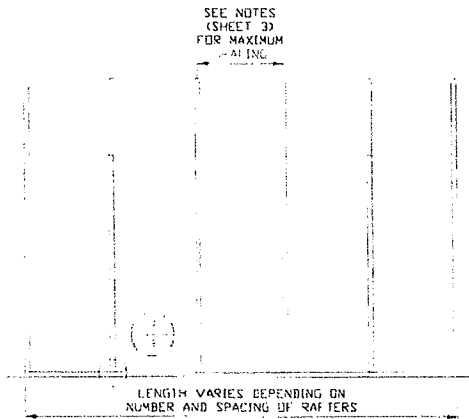
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN FRAMING SIDE SECTION

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0" x 20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SCALE: NTS

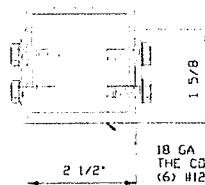
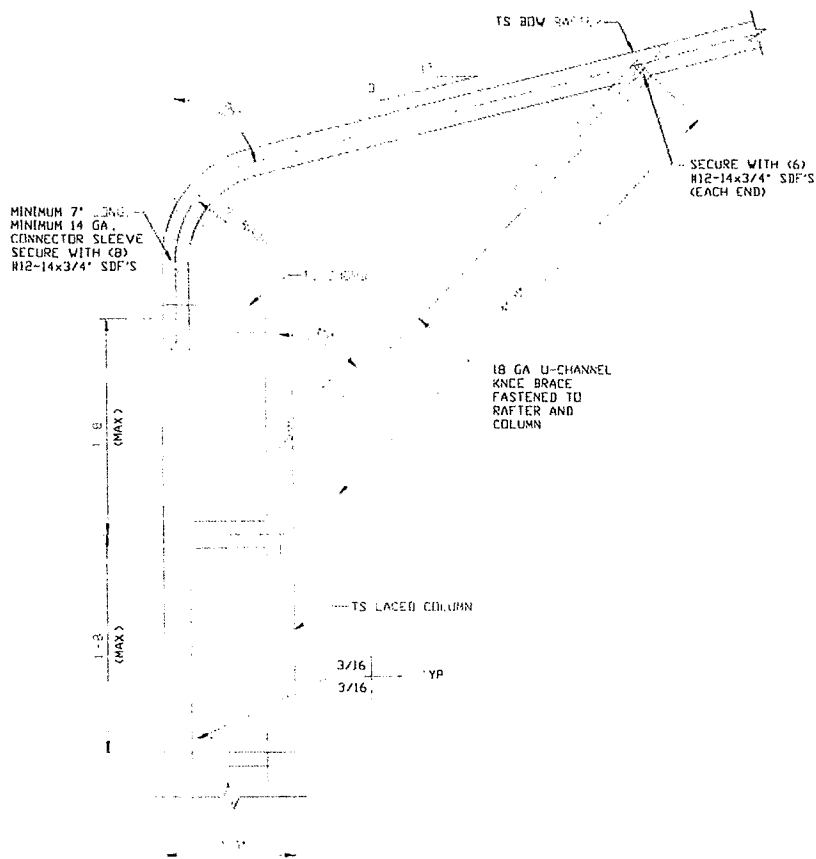
DWG. NO: SK-3

JOB NO: 16166S/
18260S/19320S/21169S

REV: 9

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EXPOSURE B



BRACE SECTION
SCALE: NTS

1 BDW RAFTER COLUMN CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"
SCALE: NTS

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

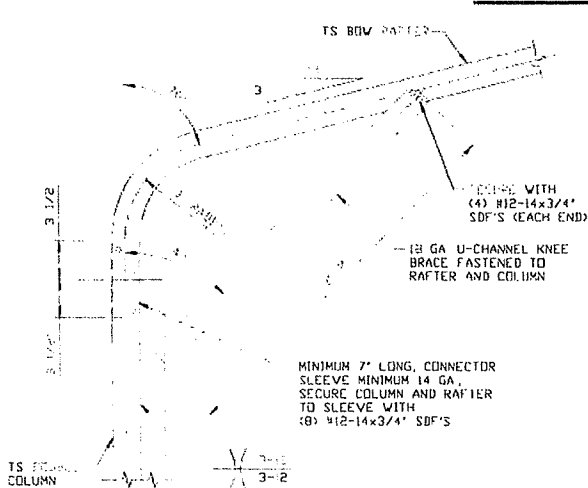
PROJECT MGR: WSH

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS 210 AIRPORT ROAD MOUNT AIRY, NC 27030 30'-0" x 20'-0" SP ENCLOSED STRUCTURE			
DATE: 8-19-21	SCALE: NTS	JOB NO: 16166S/ 18260S/19320S/21169S	
SHT. 8	DWG. NO: SK-3	REV.: 9	

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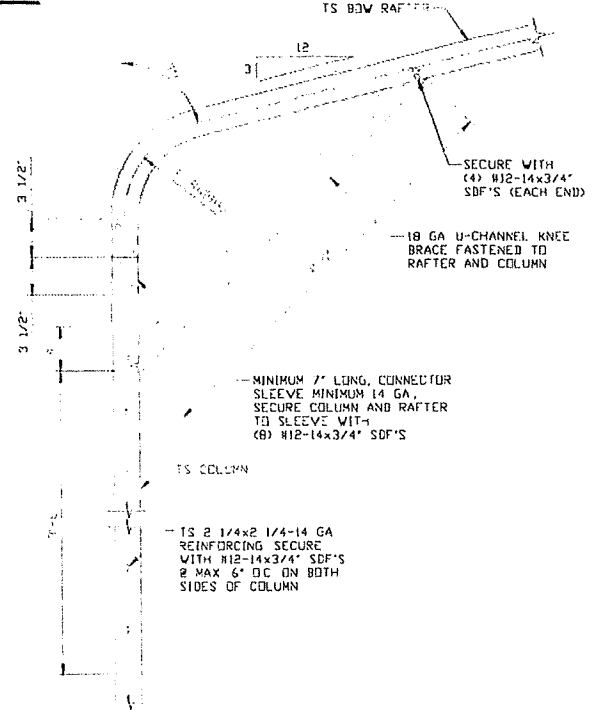
EXPOSURE B



**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 14'-0" < TO <= 16'-0"
WITH 10 PSF < TO <= 35 PSF SNOW LOAD
AND <= 105 MPH WIND SPEED
(12'-0" < TO <= 16'-0" WITH <= 10 PSF
SNOW LOAD AND 105 MPH < TO <= 140 MPH
WIND SPEED)**

1A

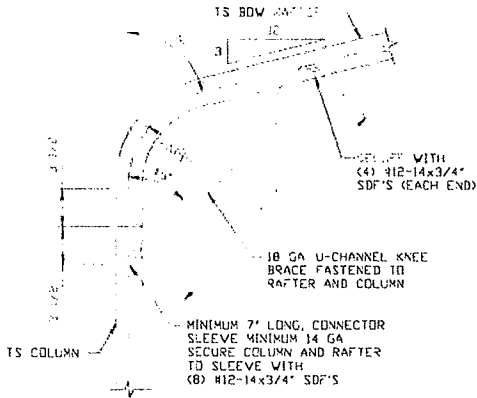
SCALE: NTS



**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 12'-0" < TO <= 14'-0"
WITH 10 PSF < TO <= 35 PSF SNOW LOAD
AND <= 105 MPH WIND SPEED
(11'-0" < TO <= 12'-0" WITH <= 10 PSF
SNOW LOAD AND 105 MPH < TO <= 140 MPH
WIND SPEED)**

1B

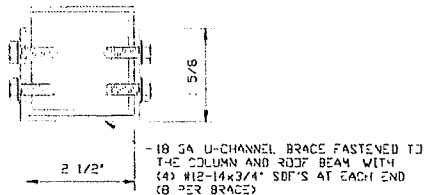
SCALE: NTS



**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS <= 12'-0"
WITH 10 PSF < TO <= 35 PSF SNOW LOAD
<= 11'-0" WITH <= 10 PSF SNOW LOAD AND
105 MPH < TO <= 140 MPH WIND SPEED**

1C

SCALE: NTS



BRACE SECTION

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0" x 20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 8A

SCALE: NTS

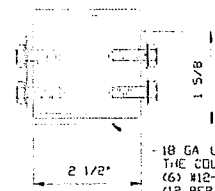
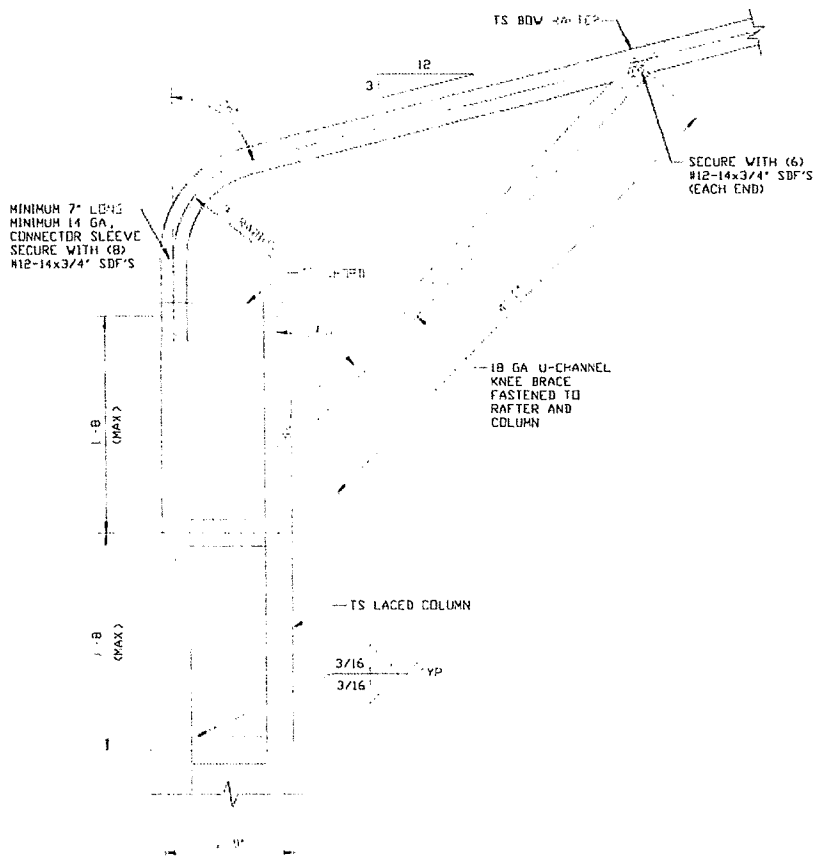
DWG. NO: SK-3

JOB NO: 16166S/
18260S/19320S/21169S

REV: 9

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EXPOSURE C



BRACE SECTION

SCALE: NTS

1D BOW EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 15'-0" < TO ≤ 20'-0"
 SCALE: NTS

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 ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

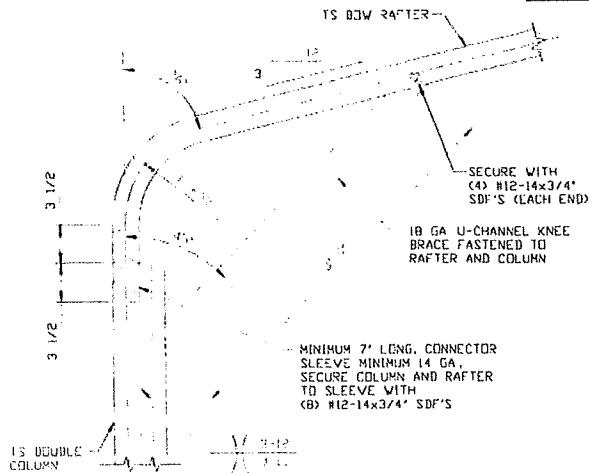
PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS 210 AIRPORT ROAD MOUNT AIRY, NC 27030 30'-0"x20'-0" SP ENCLOSED STRUCTURE			
DATE: 8-19-21	SCALE: NTS	JOB NO: 16166S/ 18260S/19320S/21169S	REV: 9
SHT. 08	DWG. NO: SK-3		

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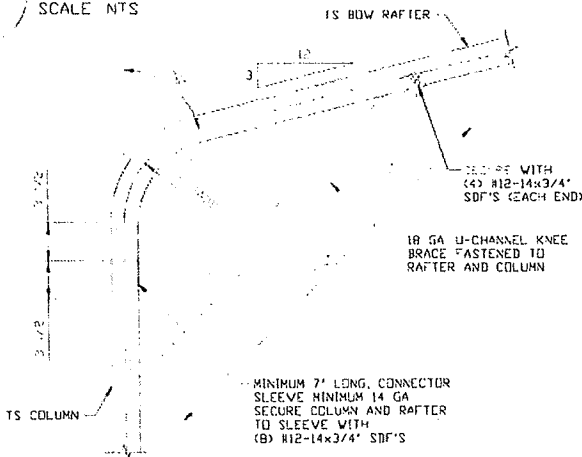
EXPOSURE C



**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 13'-0" < TO <= 15'-0"
WITH 10 PSF < TO <= 35 PSF SNOW LOAD
AND <= 105 MPH WIND SPEED
(10'-0" < TO <= 15'-0" WITH <= 10 PSF
SNOW LOAD AND 105 MPH < TO <= 140 MPH
WIND SPEED)**

1E

SCALE: NTS



**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 11'-0" < TO <= 13'-0"
WITH 10 PSF < TO <= 35 PSF SNOW LOAD
AND <= 105 MPH WIND SPEED
(9'-0" < TO <= 10'-0" WITH <= 10 PSF SNOW
LOAD AND 105 MPH < TO <= 140 MPH WIND
SPEED)**

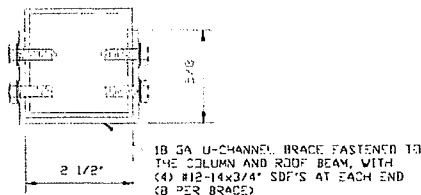
1F

SCALE: NTS

**BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS <= 11'-0"
WITH 10 PSF < TO <= 35 PSF SNOW LOAD
<= 9'-0" WITH <= 10 PSF SNOW LOAD AND
105 MPH < TO <= 140 MPH WIND SPEED**

1G

SCALE: NTS



BRACE SECTION

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 0C

SCALE: NTS

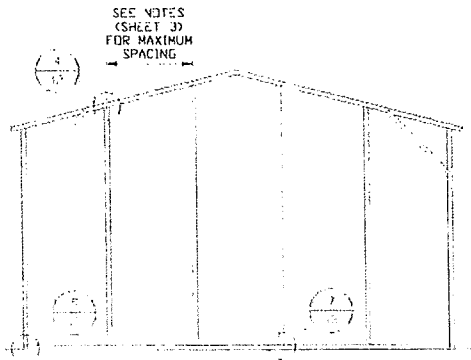
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JOB NO: 16166S/
10260S/19320S/21169S

REV: 9

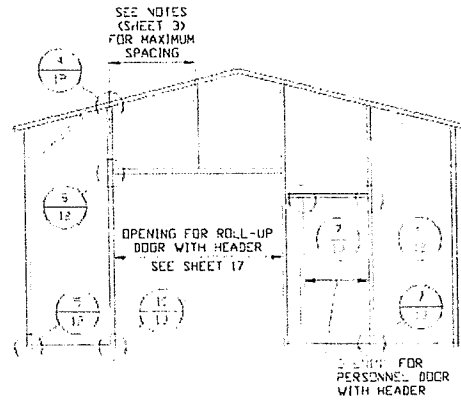
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BOX EAVE RAFTER END WALL AND SIDE WALL FRAMING SECTIONS



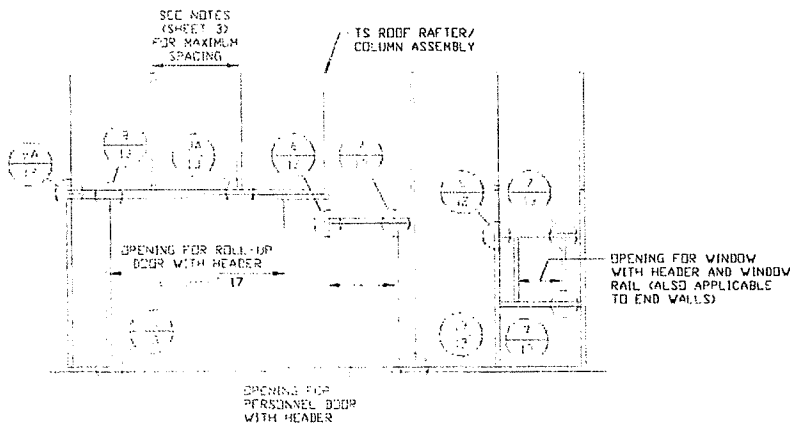
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0" x 20'-0" SP ENCLOSED STRUCTURE**

DATE: 8-19-21

SCALE: NTS

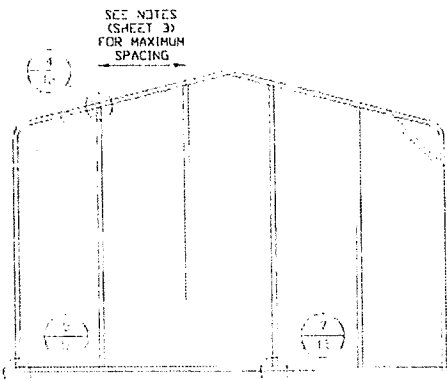
DWG. NO: SK-3

**JOB NO: 16166S/
18260S/19320S/21169S**

REV: 9

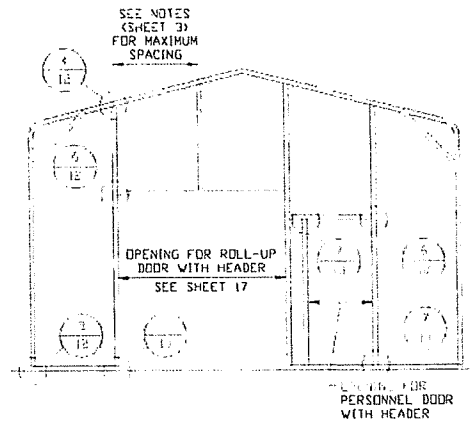
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BOW RAFTER END WALL AND SIDE WALL FRAMING SECTIONS



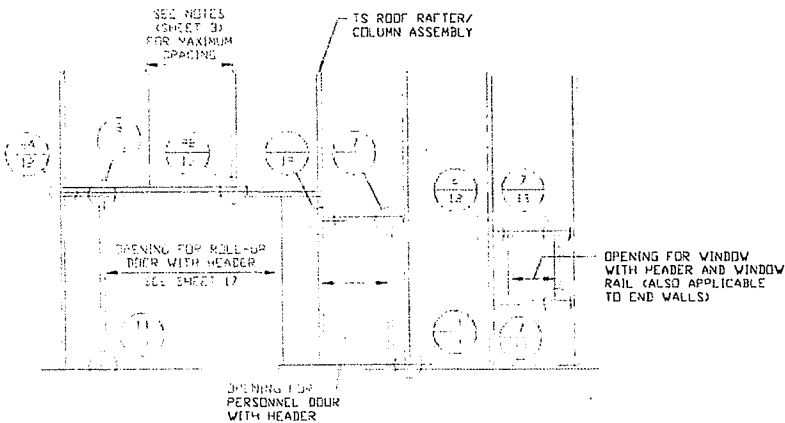
**TYPICAL BOW RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOW RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOW RAFTER SIDE
WALL OPENINGS FRAMING SECTION**

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0" x 20'-0" SP ENCLOSED STRUCTURE**

DATE: 8-19-21

SHT. 11

SCALE: NTS

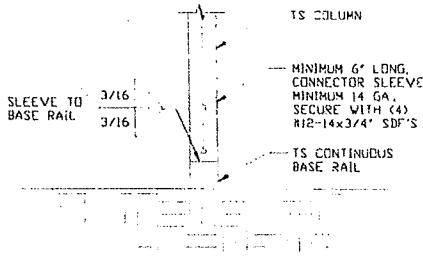
DWG. NO: SK-3

**JOB NO: 16166S/
18260S/19320S/21169S**

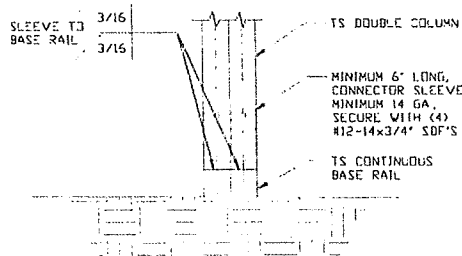
REV: 9

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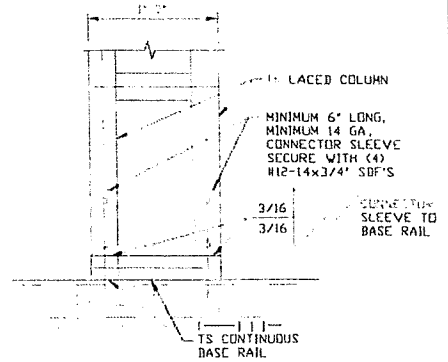
CONNECTION DETAILS



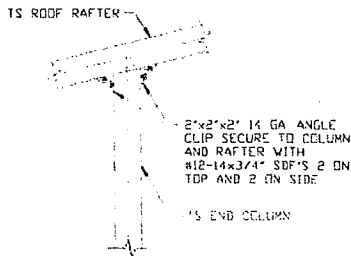
3 RAFTER COLUMN/
BASE RAIL
CONNECTION DETAIL
SCALE: NTS



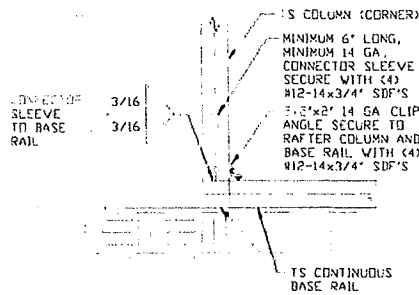
3A RAFTER COLUMN/
BASE RAIL
CONNECTION DETAIL
SCALE: NTS



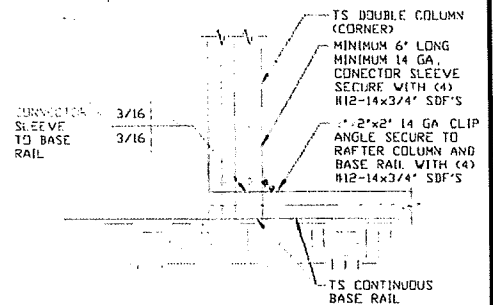
3B RAFTER COLUMN/
BASE RAIL
CONNECTION DETAIL
SCALE: NTS



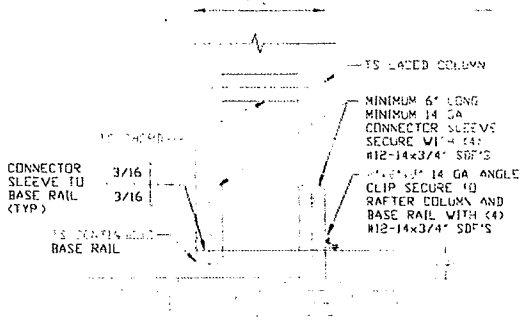
4 END COLUMN/RAFTER
CONNECTION DETAIL
SCALE: NTS



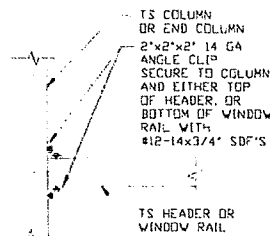
5 END COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



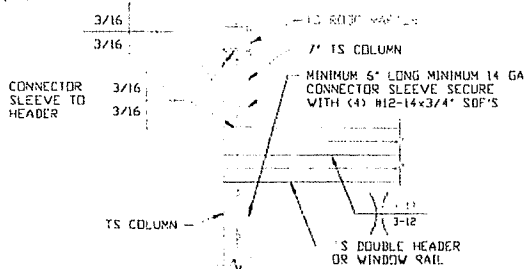
5A END COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



5B END COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



6 COLUMN OR WINDOW
RAIL TO POST
CONNECTION DETAIL
SCALE: NTS



6A DOUBLE HEADER TO COLUMN
CONNECTION DETAIL
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SCALE: NTS

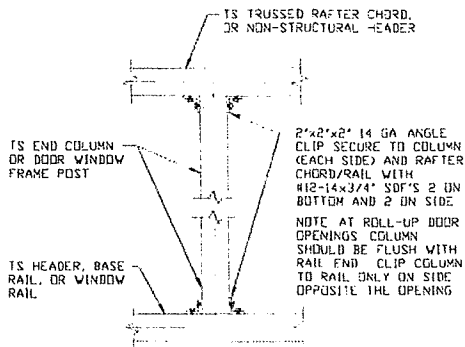
DWG. NO: SK-3

JOB NO: 16166S/
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REV: 9

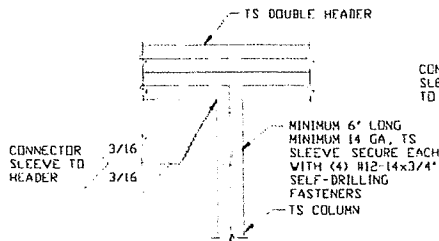
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CONNECTION DETAILS



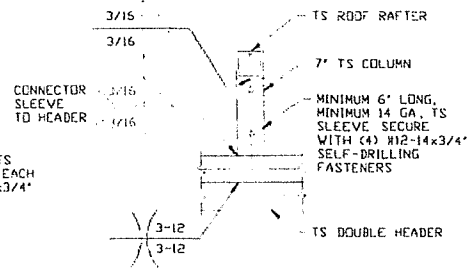
7 COLUMN TO WINDOW RAIL CONNECTION DETAIL

SCALE: NTS



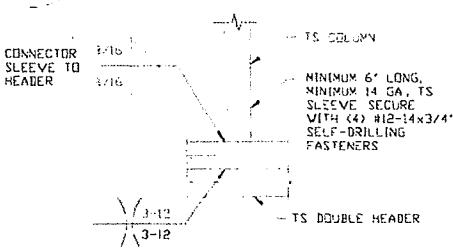
8 DOUBLE HEADER/COLUMN CONNECTION DETAIL

SCALE: NTS



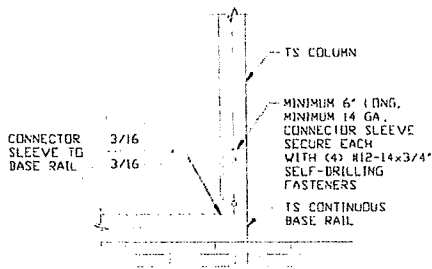
9A COLUMN/DOUBLE HEADER CONNECTION DETAIL

SCALE: NTS



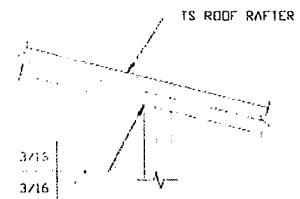
9B COLUMN/DOUBLE HEADER CONNECTION DETAIL

SCALE: NTS



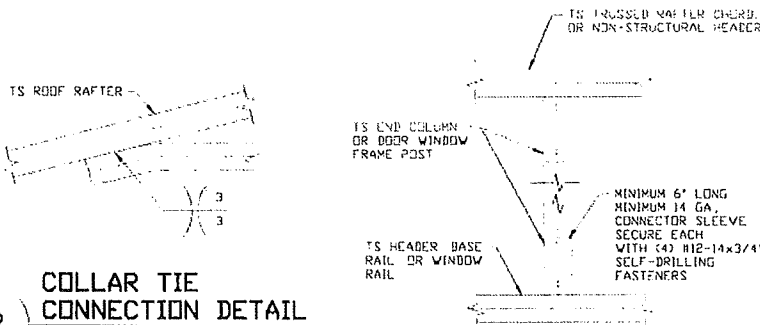
10 COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



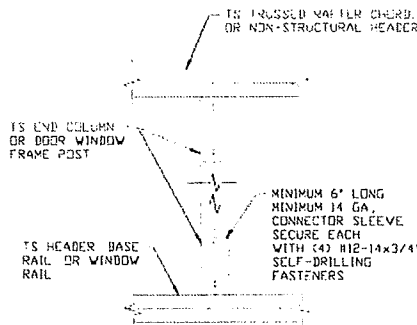
11 RAFTER TO CHORD CONNECTION DETAIL

SCALE: NTS



12 COLLAR TIE CONNECTION DETAIL

SCALE: NTS



13 COLUMN TO HEADER OR BASE RAIL CONNECTION DETAIL

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0" x 20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 13

SCALE: NTS

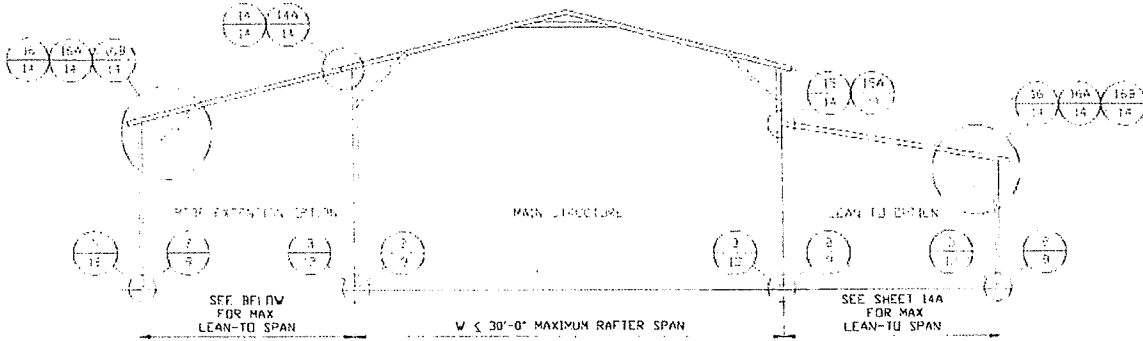
DWG. NO: SK-3

JOB NO: 16166S/
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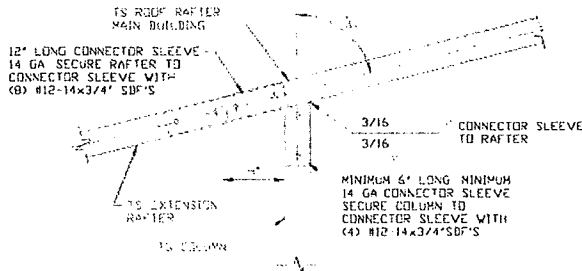
BOX EAVE RAFTER LEAN-TO OPTIONS



TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS

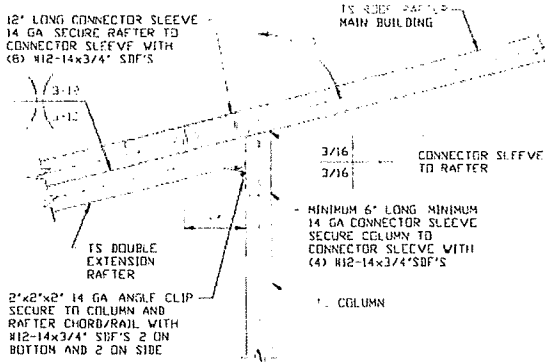
MAXIMUM WIDTH OF SINGLE MEMBER (RAFTER AND COLUMN) ROOF EXTENSION AND LEAN-TO IS 12'-0"
 MAXIMUM WIDTH OF DOUBLE MEMBER (RAFTER AND COLUMN) ROOF EXTENSION AND LEAN-TO IS 15'-0"
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE LACED COLUMNS FOR EAVE HEIGHTS 16'-0" < TO < 20'-0" FOR EXPOSURE B AND 15'-0" < TO < 20'-0" FOR EXPOSURE C
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE DOUBLE COLUMNS FOR EAVE HEIGHTS 14'-0" < TO < 16'-0" FOR EXPOSURE B AND 13'-0" < TO < 15'-0" FOR EXPOSURE C
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS WITH INSERTS FOR EAVE HEIGHTS 11'-0" < TO < 14'-0" FOR EXPOSURE B AND 9'-0" < TO < 13'-0" FOR EXPOSURE C
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS FOR EAVE HEIGHTS < 11'-0" FOR EXPOSURE B AND < 9'-0" FOR EXPOSURE C



14

SIDE EXTENSION RAFTER/ COLUMN DETAIL FOR RAFTER SPANS < 12'-0"

SCALE: NTS



14A

SIDE EXTENSION RAFTER/ COLUMN DETAIL FOR SPAN 12'-0" < TO < 15'-0"

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0" x 20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 14

SCALE: NTS

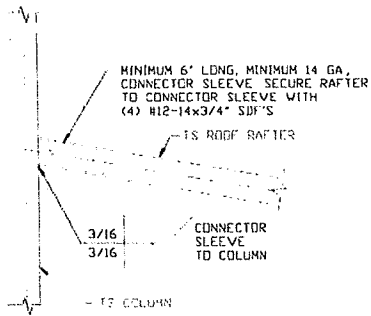
DWG. NO: SK-3

JOB NO: 16166S/
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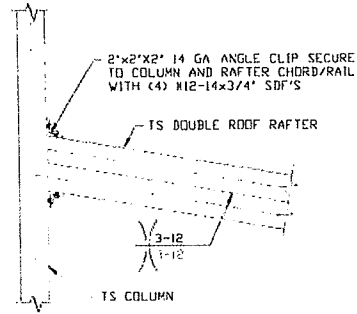
BOX EAVE RAFTER LEAN-TO OPTIONS



**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR RAFTER SPANS $\leq 12'-0''$**

15

SCALE: NTS
NOTE: ROOF PITCH OF 2:12 AND 1:12 ARE
ADEQUATE FOR LEAN-TO RAFTER



**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR RAFTER SPANS $12'-0'' < TO \leq 15'-0''$**

15A

SCALE: NTS
NOTE: ROOF PITCH OF 2:12 AND 1:12 ARE
ADEQUATE FOR LEAN-TO RAFTER

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0" x 20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 14A

SCALE: NTS

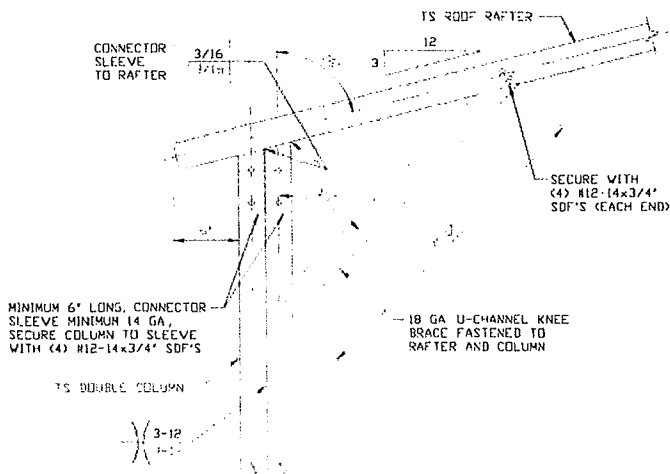
DWG. NO: SK-3

JOB NO: 16166S/
18260S/19320S/21169S

REV: 9

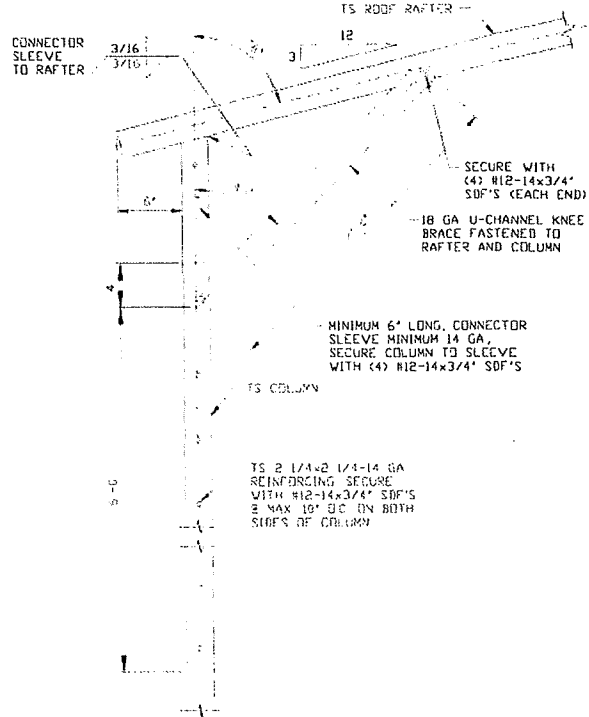
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BOX EAVE RAFTER LEAN-TO OPTION - EXPOSURE B



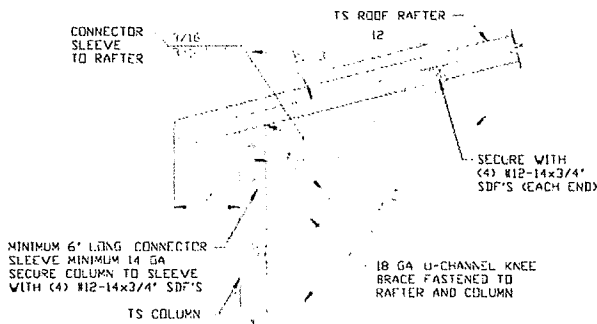
16 BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 15'-0" < TO <= 16'-0"

SCALE: NTS
HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)



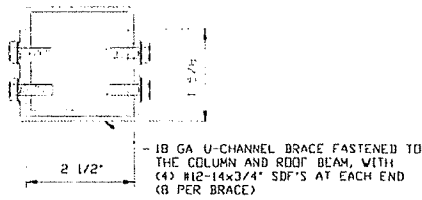
16A BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 14'-0" < TO <= 15'-0"

SCALE: NTS
HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)



16B BOX EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS < 14'-0"

SCALE: NTS
HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)



BRACE SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 14B

SCALE: NTS

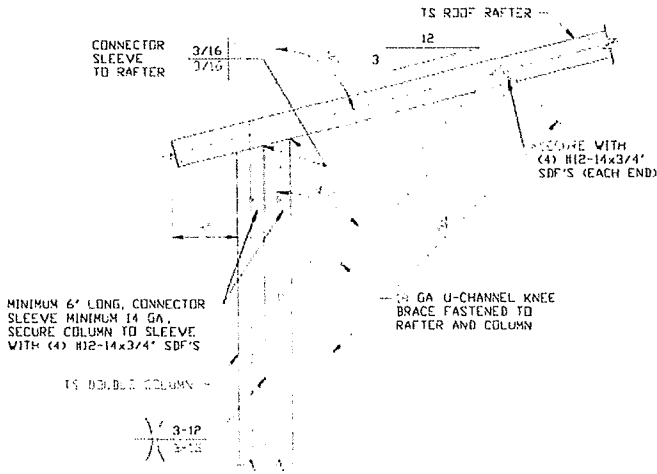
DWG. NO: SK-3

JOB NO: 16166S/
18260S/19320S/21169S

REV: 9

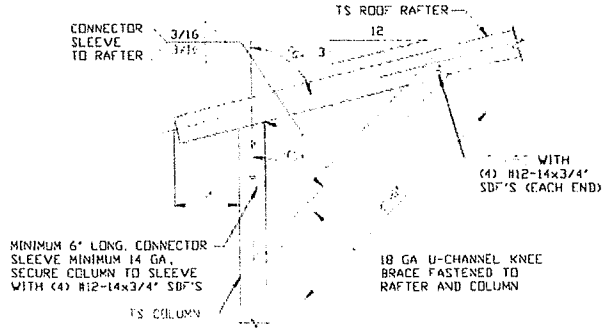
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BOX EAVE RAFTER LEAN-TO OPTION - EXPOSURE C



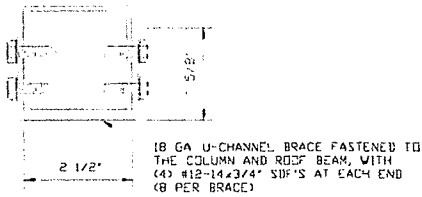
16C BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 13'-0" < TO ≤ 16'-0"

SCALE: NTS
HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)



16D BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS < 13'-0"

SCALE: NTS
HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)

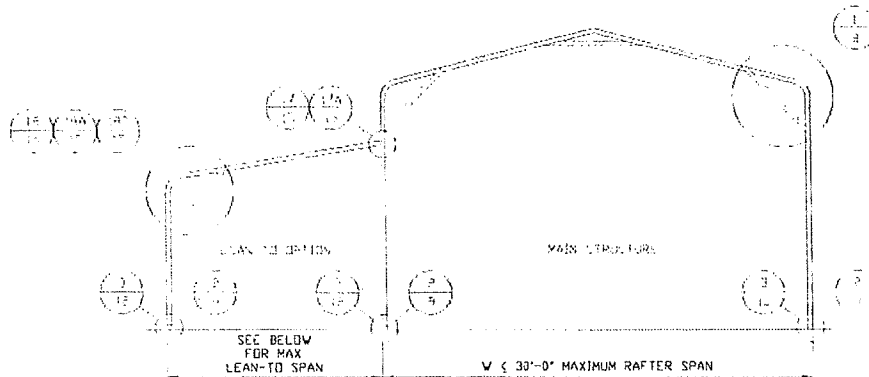


BRACE SECTION
SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	EAGLE CARPORTS 210 AIRPORT ROAD MOUNT AIRY, NC 27030 30'-0"x20'-0" SP ENCLOSED STRUCTURE		
	CHECKED BY: PDH			
PROJECT MGR: WSM	DATE: 8-19-21	SCALE: NTS	JOB NO: 16166S/ 18260S/19320S/21169S	
CLIENT: EAGLE CARPORTS	SHT. 14C	DWG. NO: SK-3	REV: 9	

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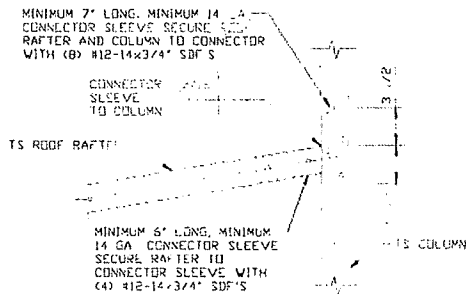
BOW RAFTER LEAN-TO OPTION



TYPICAL BOW RAFTER LEAN-TO OPTION FRAMING SECTION

SCALE: NTS

MAXIMUM WIDTH OF SINGLE MEMBER (RAFTER AND COLUMN) ROOF EXTENSION AND LEAN-TO IS 12'-0"
 MAXIMUM WIDTH OF DOUBLE MEMBER (RAFTER AND COLUMN) ROOF EXTENSION AND LEAN-TO IS 15'-0"
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE LACED COLUMNS FOR EAVE HEIGHTS 16'-0" < TO < 20'-0" FOR EXPOSURE B AND 15'-0" < TO < 20'-0" FOR EXPOSURE C
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE DOUBLE COLUMNS FOR EAVE HEIGHTS 14'-0" < TO < 16'-0" FOR EXPOSURE B AND 13'-0" < TO < 15'-0" FOR EXPOSURE C
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS WITH INSERTS FOR EAVE HEIGHTS 11'-0" < TO < 14'-0" FOR EXPOSURE B AND 9'-0" < TO < 13'-0" FOR EXPOSURE C
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS FOR EAVE HEIGHTS < 11'-0" FOR EXPOSURE B AND < 9'-0" FOR EXPOSURE C

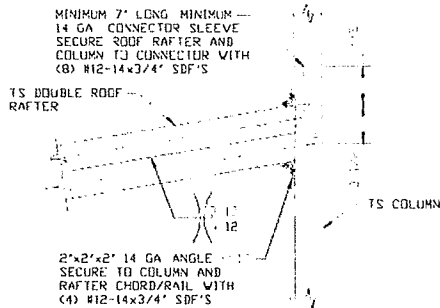


LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL FOR RAFTER SPANS $\leq 12'-0"$

(17)

SCALE: NTS

NOTE: ROOF PITCH OF 2:12 AND 1:12 ARE ADEQUATE FOR LEAN-TO RAFTER



LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL FOR RAFTER SPANS 12'-0" < TO < 15'-0"

(17A)

SCALE: NTS

NOTE: ROOF PITCH OF 2:12 AND 1:12 ARE ADEQUATE FOR LEAN-TO RAFTER

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 15

SCALE: NTS

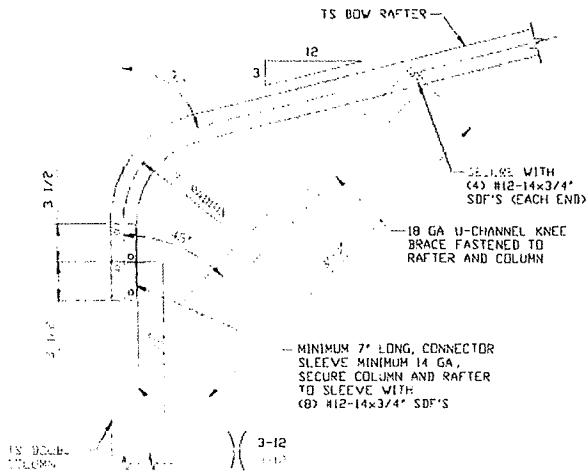
DWG. NO: SK-3

JOB NO: 16166S/
18260S/19320S/21169S

REV: 9

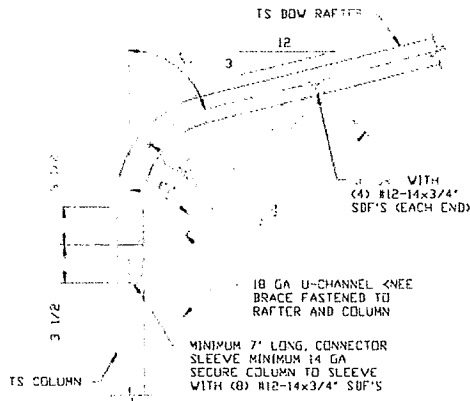
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BOW RAFTER LEAN-TO OPTION - EXPOSURE B



18 BOW EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 15'-0" < TO < 16'-0"

SCALE: NTS
HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)

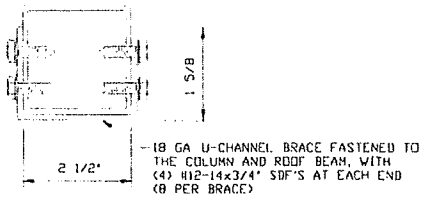


18A BOW EAVE RAFTER COLUMN CONNECTION
DETAIL FOR HEIGHTS 14'-0" < TO < 15'-0"

SCALE: NTS
HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)

18B BOW EAVE RAFTER COLUMN
CONNECTION DETAIL
FOR HEIGHTS < 14'-0"

SCALE: NTS
HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)



BRACE SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 15A

SCALE: NTS

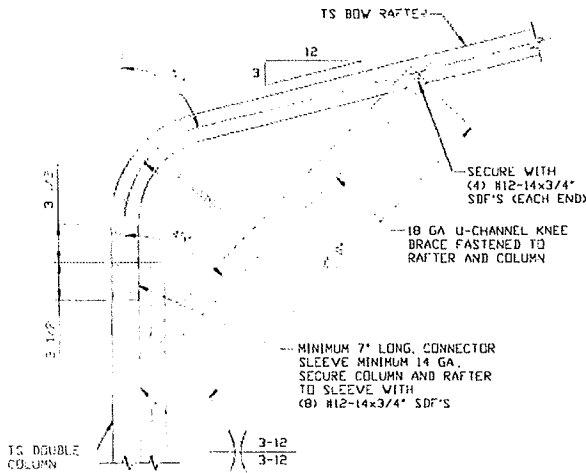
DWG. NO: SK-3

JOB NO: 16166S/
18260S/19320S/21169S

REV: 9

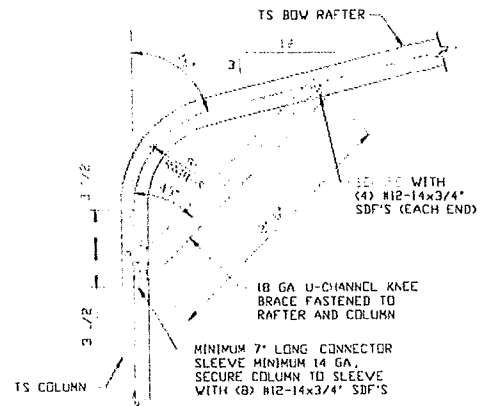
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BOW RAFTER LEAN-TO OPTION - EXPOSURE C



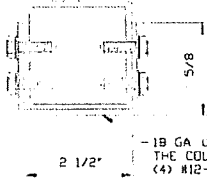
18C BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 13'-0" < TO ≤ 16'-0"

SCALE: NTS
HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)



18D BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 13'-0"

SCALE: NTS
HORSE BARN OPTION (REQUIRES A LEAN-TO ON BOTH SIDES OF THE MAIN BUILDING)



BRACE SECTION

SCALE: NTS

18 GA U-CHANNEL BRACE FASTENED TO THE COLUMN AND ROOF BEAM WITH (4) #12-14x3/4" SDF'S AT EACH END (8 PER BRACE)

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0"x20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SHT. 15B

SCALE: NTS

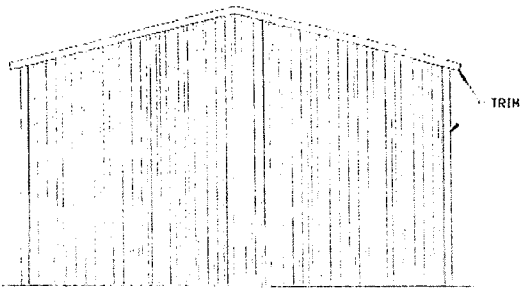
DWG. NO: SK-3

JOB NO: 16166S/
18260S/19320S/21169S

REV: 9

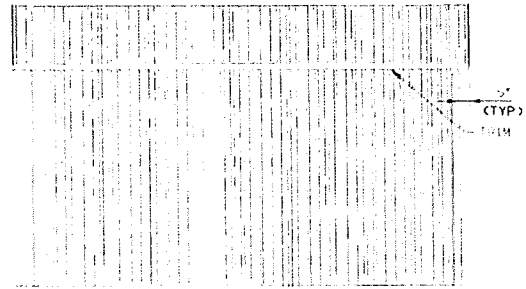
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BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



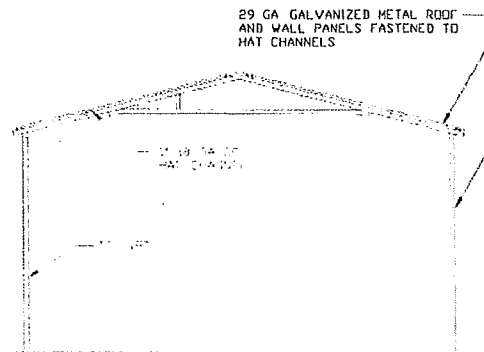
**TYPICAL END ELEVATION
VERTICAL ROOF/SIDING**

SCALE: NTS



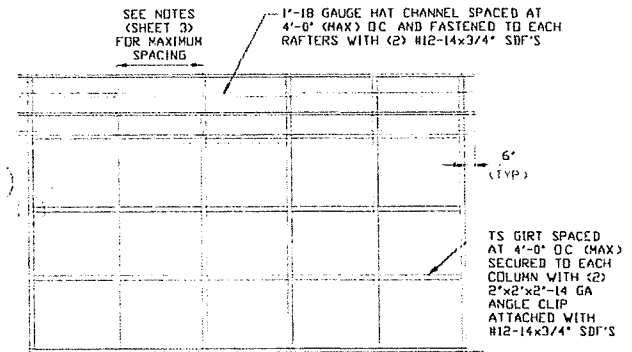
**TYPICAL SIDE ELEVATION
VERTICAL ROOF/SIDING**

SCALE: NTS



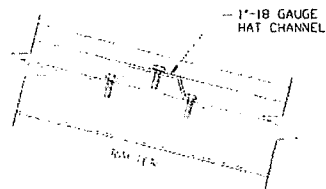
**TYPICAL SECTION VERTICAL
ROOF/SIDING OPTION**

SCALE: NTS



**TYPICAL FRAMING SECTION
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



PANEL ATTACHMENT

(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0" x 20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SCALE: NTS

DWG. NO: SK-3

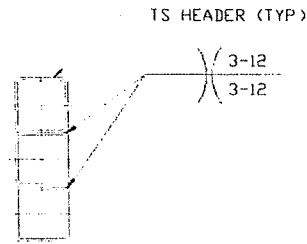
JOB NO: 16166S/
18260S/19320S/21169S

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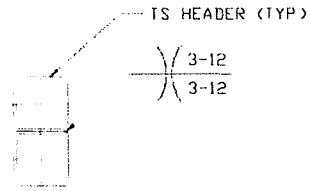
SHT. 16

REV: 9

SIDE WALL HEADER OPTIONS

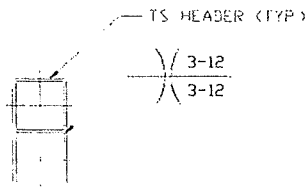


**HEADER DETAIL FOR
12'-0" < LENGTHS ≤ 16'-0"**
SCALE: NTS

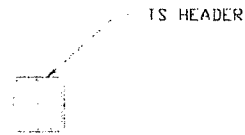


**HEADER DETAIL FOR
LENGTHS ≤ 12'-0"**
SCALE: NTS

END WALL HEADER OPTIONS



**HEADER DETAIL FOR
14'-0" < LENGTHS ≤ 20'-0"**
SCALE: NTS



**HEADER DETAIL FOR
LENGTHS ≤ 14'-0"**
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: EAGLE CARPORTS

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'-0" x 20'-0" SP ENCLOSED STRUCTURE

DATE: 8-19-21

SCALE: NTS

DWG. NO: SK-3

JOB NO: 16166S/
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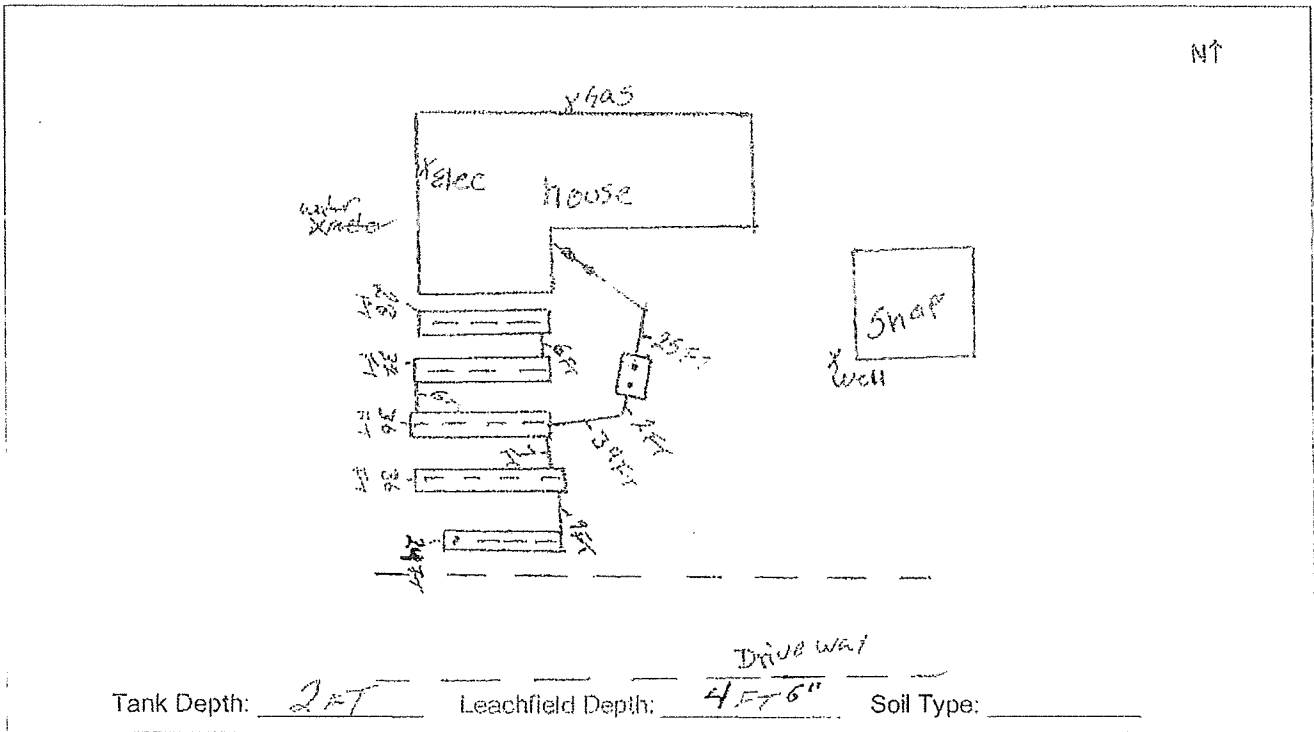
SHT. 17

REV: 9

"AS BUILT"

V. Site Plan: Sketch the lot. Show features such as the tank, the drainage field, any wells, property lines, residence and other structures, other septic systems. Be as accurate as possible. Show the distances between the (tank "treatment unit" and the drain field "disposal system") to the features listed on the form. These distances can be no closer to the system than listed in Table 301.1 on page 35 of the Liquid Waste Regulations.

Treatment Unit to: (Tank)	Features	Disposal System to: (Drain Field)
_____ ft.	Property line	_____ ft.
_____ ft.	Property line	_____ ft.
_____ ft.	Buildings	_____ ft.
_____ ft.	Structures	_____ ft.
_____ ft.	Wells	_____ ft.
_____ ft.	Irrigation	_____ ft.
_____ ft.	Arroyos	_____ ft.
_____ ft.	Surface water	_____ ft.



Permit #: DA150308 Date: 7/17/15
 Name on permit: boa Ganghan Submitted by: Johnny's Septic Tank Co.
 Address: 2100 Sittles Rd
 Subdivision: N/A Township 235 Range 1a Section 25
 Affidavit of installation signature D. Barula Attached Photos _____
 _____ Owner Contractor _____ Other

I certify that the methods and materials used for installation comply with 20 NMAC 7.3

Tracy

Bills Paid

Bill	Amount
199649876	674.49
199730618	781.61
199818834	781.55
199935499	811.07
200054806	820.20
200155974	828.52
200223399	801.99
200321459	848.19
200422249	819.73
200523039	861.41
200624047	865.92
200725777	891.58
200826538	926.70
200926577	960.22
201026603	1016.58
201126665	1035.61
201226850	1090.84
201326988	1141.71
201427011	1182.11
201527486	1222.45

[Return to Search](#)

TOWN OF MESILLA
P.O. BOX 10
MESILLA, NM 88046
RETURN POSTAGE GUARANTEED

524-8244
FOR WATER OR SEWER EMERGENCY
CALL (575) 650-8830

ACCT. NO. 04-0840-01

	READING	CONSUMPTION	
CURRENT	464	4	METER READING IN 1000 GALLONS
PREVIOUS	460	3	
			PER MCF

02-11
0000976787 JAN 26 2022
MAILED FROM ZIP CODE 88046

DATE	SERVICE	AMOUNT
01/18/22	WATER	20.72
01/18/22	WTR ACQ CO	0.24
01/18/22	TRASH	14.52
01/18/22	WTR MGT CO	0.20
	TAX	1.77

ADRIAN AGUIRRE
2100 STITHES
LAS CRUCES NM 88005

ACCT. NO. 04-0840-01

AMOUNT DUE 37.45
FEB. 12TH - FOR THE LOVE OF ART SHOW/5K
CUPID'S CHASE --- TOWN HALL 575.524.3262
2100 STITHES

AMOUNT DUE 37.45



DUE DATE: 02/15/2022

PLEASE RETURN THIS SLIP WITH YOUR PAYMENT.

John R. D Antonio, Jr., P.E.
State Engineer



Las Cruces Office
1680 HICKORY LOOP, SUITE J
LAS CRUCES, NM 88005

**STATE OF NEW MEXICO
OFFICE OF THE STATE ENGINEER**

Trn Nbr: 401724
File Nbr: LRG 14357 1
Well File Nbr: LRG 14357 POD2

Sep. 12, 2008

EDWARD D. GAUGHAN
P.O. BOX 1289
2100 STITHES ROAD
MESILLA, NM 88046

Greetings:

Enclosed is your copy of Proof of Completion of Well for the above numbered well which has been accepted for filing without benefit of field check by State Engineer Office personnel.

Sincerely,

A handwritten signature in cursive script, appearing to read "Sarah Rodriguez".

Sarah Rodriguez
(575) 524-6161

Enclosure
cc: Santa Fe Office

pcwrcv

File Number: LRG-14357-1
(For OSE Use Only)

NEW MEXICO OFFICE OF THE STATE ENGINEER
PROOF OF COMPLETION OF WELL

1. OWNER OF WELL (PERMITTEE)

Name: EDWARD D. GAUGHAN Work Phone: _____
Contact: _____ Home Phone: 524-1264
Address: 2100 STITHES RD
City: MESILLA State: NM Zip: 88046

2. LOCATION OF WELL ((A, B, C, or D required, E or F if known)

A. 1/4 SW 1/4 NW 1/4 Section: 25 Township: 23S Range: 1E N.M.P.M.
in _____ County.

B. X = 1,970,119 feet, Y = 466,110 feet, N.M. Coordinate System
Zone in the _____ Grant.
U.S.G.S. Quad Map _____

C. Latitude: N32 d 16 m 49.2 s Longitude: W106 d 48 m 3.3 s

D. East _____ (m), North _____ (m), UTM Zone 13, NAD _____ (27 or 83)

E. Tract No. _____, Map No. _____ of the _____ Hydrographic Survey

F. Lot No. _____, Block No. _____ of Unit/Tract _____ of the
_____ Subdivision recorded in DONA ANA County.

G. Other: _____

H. Give State Engineer File Number if existing diversion: _____

I. On land owned by (required): EDWARD D. GAUGHAN

3. WELL INFORMATION

Depth of well 120 feet; Is well cased: Yes;
Outside diameter of top casing (or hole if not cased) _____ inches;
If artesian, is well equipped with gate valve: _____
Name of well driller and driller license number Jivi's Well Drilling W0938
Date well completed: 7-17-08

RECEIVED
2008 SEP -9 PM 5:12
STATE ENGINEER OFFICE
LAS CRUCES, NEW MEXICO

Do Not Write Below This Line

File Number: _____
Form: wr-11

Trn Number: _____

File Number: _____
(For OSE Use Only)

NEW MEXICO OFFICE OF THE STATE ENGINEER
PROOF OF COMPLETION OF WELL

4. PUMP TEST

(To be supplied by person or firm making test)

Name and address of the person making the test: N/A

Date of test N/A; Length of test _____ hours;
Depth to water before test _____ feet (above or below) land surface;
Depth to water after test _____ feet (above or below) land surface;
Average discharge _____ GPM;
Specific capacity of well _____ GPM per foot drawdown.

Please attach pump test data.

5. PERMANENT PUMP EQUIPMENT

A. DESCRIPTION OF PUMP

Make: Grundfos 2HP; Type: submersible;
Size of discharge: 2" inches;
If turbine type, give size of column N/A inches;
Diameter of bowls _____ inches; Number of bowls _____;
Length of suction pipe _____ feet;
Total length of column, bowls and suction pipe _____ feet;
If centrifugal type, give size of pump _____ inches;
Rated capacity of pump, if known 75 GPM; At 30 rev. per min.,
From a depth of 60 feet.

B. DESCRIPTION OF POWER PLANT

Make, type, horsepower, etc., of power plant: N/A;
Type of drive connection to pump: _____
(direct, gearhead, or belt)

C. DISCHARGE OF PUMP

Actual discharge of pump 1" GPM, at _____ rev. per min.,
From a depth of 60 feet; Date of test _____.

6. DESCRIPTION OF STORAGE RESERVOIR

Length N/A feet; Width _____ feet; Average depth _____ feet.

Do Not Write Below This Line

File Number: _____
Form: wr-11

Trn Number: _____
page 2 of 3

File Number: _____
(For OSE Use Only)

NEW MEXICO OFFICE OF THE STATE ENGINEER
PROOF OF COMPLETION OF WELL

ACKNOWLEDGEMENT

(I, We) EDWARD D GAUGHAN affirm that the
(Please Print)
foregoing statements are true to the best of (my, our) knowledge and belief.

Edward D Gaughan _____
Permittee Signature Permittee Signature

STATEMENT OF THE STATE ENGINEER'S REPRESENTATIVE

Well record filed: 7-22-08; Field Check: _____;
(mm/dd/year) (mm/dd/year)

Comments: _____

By: Margie Chabal
Title: WES
Date: 9-12-08

Do Not Write Below This Line

File Number: _____
Form: wr-11

Trn Number: _____

Ed Appeler 591-3882 he will go thru
the migration process w/you.

