



# Town of Mesilla, New Mexico

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A REGULAR MEETING ON TUESDAY, FEBRUARY 22, 2022, AT 2:30 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA. **\*\*FOR THE HEALTH & SAFETY OF ALL PUBLIC, MASKS ARE REQUIRED TO ENTER\*\***

1. **PLEDGE OF ALLEGIANCE**
2. **ROLL CALL AND DETERMINATION OF A QUORUM**
3. **CHANGES/APPROVAL OF THE AGENDA**
4. **PUBLIC INPUT** – The public is invited to address the Commission for up to 3 minutes.  
Space is limited and may require persons giving public input *IN PERSON* to rotate if capacity of the room is exceeded.
5. **APPROVAL OF CONSENT AGENDA:** (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk \*. These projects were approved in accordance with MTC 15.15.030 (B))
  - a) **\*PZHAC CASE #061345 – ADMINISTRATIVE APPROVAL** - 2305 Calle de Colon submitted by Gerard Nevarez a request for small patchwork on back patio roof and fill in cracks on inside porch wall. See attached **Zoned: Historic Residential (HR)**
  - b) **\*PZHAC CASE #061346 – ADMINISTRATIVE APPROVAL** – 2290 Calle de Parian submitted by Felix Armijo a request to retouch patio fence paint same color (white). See attached **Zoned: Historical Commercial (HC)**
  - c) **\*PZHAC CASE #061347 – ADMINISTRATIVE APPROVAL** – 2043 Calle de Correo, submitted by Alison Tinsley & Chris Fields a request to repair & repaint exterior courtyard door to preserve wood – same color blue as original. See attached **Zoned: Historic Residential (HR)**
  - d) **\*PZHAC CASE #061348 – ADMINISTRATIVE APPROVAL** – 2043 Calle de Correo, submitted by Alison Tinsley & Chris Fields a request to paint patches of undone stucco and behind swamp cooler same color as stucco. See attached **Zoned: Historic Residential**
  - e) **\*PZHAC CASE #061349 – ADMINISTRATIVE APPROVAL** – 2043 Calle de Correo, submitted by Alison Tinsley & Chris Fields a request to replace 2 swamp coolers with a mini-split system. Replacement condenser is significantly smaller than the current Master Cool. See attached **Zoned: Historic Residential (HR)**
6. **NEW BUSINESS**
  - a) **PZHAC CASE #061342** - 2912 Snow Road, submitted by Susan Krueger a request to place temporary fencing along northeast to northwest of property – fencing to consist of 4’ posts placed at 10’ intervals, webbing used for traffic control. See attached **Zoned: Rural Farm (RF)**
  - b) **PZHAC CASE #061343** – 2350 Calle de Parian, submitted by Joni Gutierrez & Lowell Catlett a request to repaint current Zia art on barn door with a stylized American flag. See attached **Zoned: Historic Residential (HR)**
  - c) **PZHAC CASE #061344** – 2060 Calle de Parian, submitted by Roberta Sylvis a request for a sign permit for Desert Ski Bling. See attached pictures **Zoned: Historical Commercial (HC)**

- d) **PZHAC CASE #061196** – Snow Road, submitted by Susan Krueger a request to renew building permit to place T-Posts along property line. See attached **Zoned: Rural Farm (RF)**
7. **PZHAC CASE #061350** – 804 Calle de El Paso (Hwy 28), submitted by Pataricia Molina a request for reroof. See attached **Zoned: Rural Farm (RF)**
8. **COMMISSION/STAFF COMMENTS**
9. **ADJOURNMENT**

#### **NOTICE**

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524.3262 at least 72 hours prior to the meeting. A copy of the agenda packet can be found online at [www.mesillanm.gov](http://www.mesillanm.gov).  
**Posted 02.18.2022** online and at the following locations: Town Clerk's Office at 2231 Avenida de Mesilla, Public Safety Building at 2670 Calle de Parian, Mesilla Community Center at 2251 Calle de Santiago, Shorty's at 2290 Avenida de Mesilla, Ristramn Chile Co. at 2531 Avenida de Mesilla, and U.S. Post Office at 2253 Calle de Parian.

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:  
Case # 061345  
Fee \$ 0

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

FEB - 9 2022

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Gerard Nevarez 575 642 3938  
Name of Property Owner Property Owner's Telephone Number

PO Box 1102 Mesilla NM 88046  
Property Owner's Mailing Address City State Zip Code

mesillaj3@aol.com  
Property Owner's E-mail Address

Self  
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 2305 Calle de Colon

Description of Proposed Work: small patch work on back patio roof. Fill in cracks on inside front patio wall neither seen from street

\$ 0 [Signature] 02-08-20  
Estimated Cost Signature of Applicant Date

Signature of property owner: \_\_\_\_\_

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

**PZHAC**  Administrative Approval **BOT**  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  - Site Plan with dimensions and details.
  - Foundation plan with details.
  - Floor plan showing rooms, their uses and dimensions.
  - Cross section of walls
  - Roof and floor framing plan
  - Proof of legal access to the property.
  - Drainage plan.
  - Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  - Proof of legal access to the property.
  - Other information as necessary or required by the City Code or Community Development Department (See other side.)

# Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor

Map Legend

## Map Layers

### Layer Visibility:

- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

### Select Search Type:

Account Number ▼

Enter Value:

Search



Parcel ID	Map Code	Name	Address
<a href="#">R0400572</a>	4006138208035	NEVAREZ GERARD R	PO BOX 1102







TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:  
Case # 061346  
Fee \$ 0

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 10 **FEB - 9 2022**

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Felix Armijo  
Name of Property Owner  
2004 W. Union Las Cruces NM 88005  
Property Owner's Mailing Address City State Zip Code

575-640-6713  
Property Owner's Telephone Number  
88005  
Zip Code

Property Owner's E-mail Address \_\_\_\_\_

Contractor's Name & Address (If none, indicate Self) \_\_\_\_\_

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 2290 Calle de Parian

Description of Proposed Work: Retouch Paint on Patio fence white paint

\$ 10.00 Estimated Cost  
Felix Armijo Signature of Applicant  
2-9-22 Date

Signature of property owner: Felix Armijo

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

**FOR OFFICIAL USE ONLY**

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 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

**PZHAC APPROVAL REQUIRED:** \_\_\_ YES \_\_\_ NO **BOT APPROVAL REQUIRED:** \_\_\_ YES \_\_\_ NO

**CID PERMIT/INSPECTION REQUIRED:** \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

**CONDITIONS:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**PERMISSION ISSUED/DENIED BY:** \_\_\_\_\_ **ISSUE DATE:** \_\_\_\_\_

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6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)



# Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor

Map Legend

## Map Layers

### Layer Visibility:

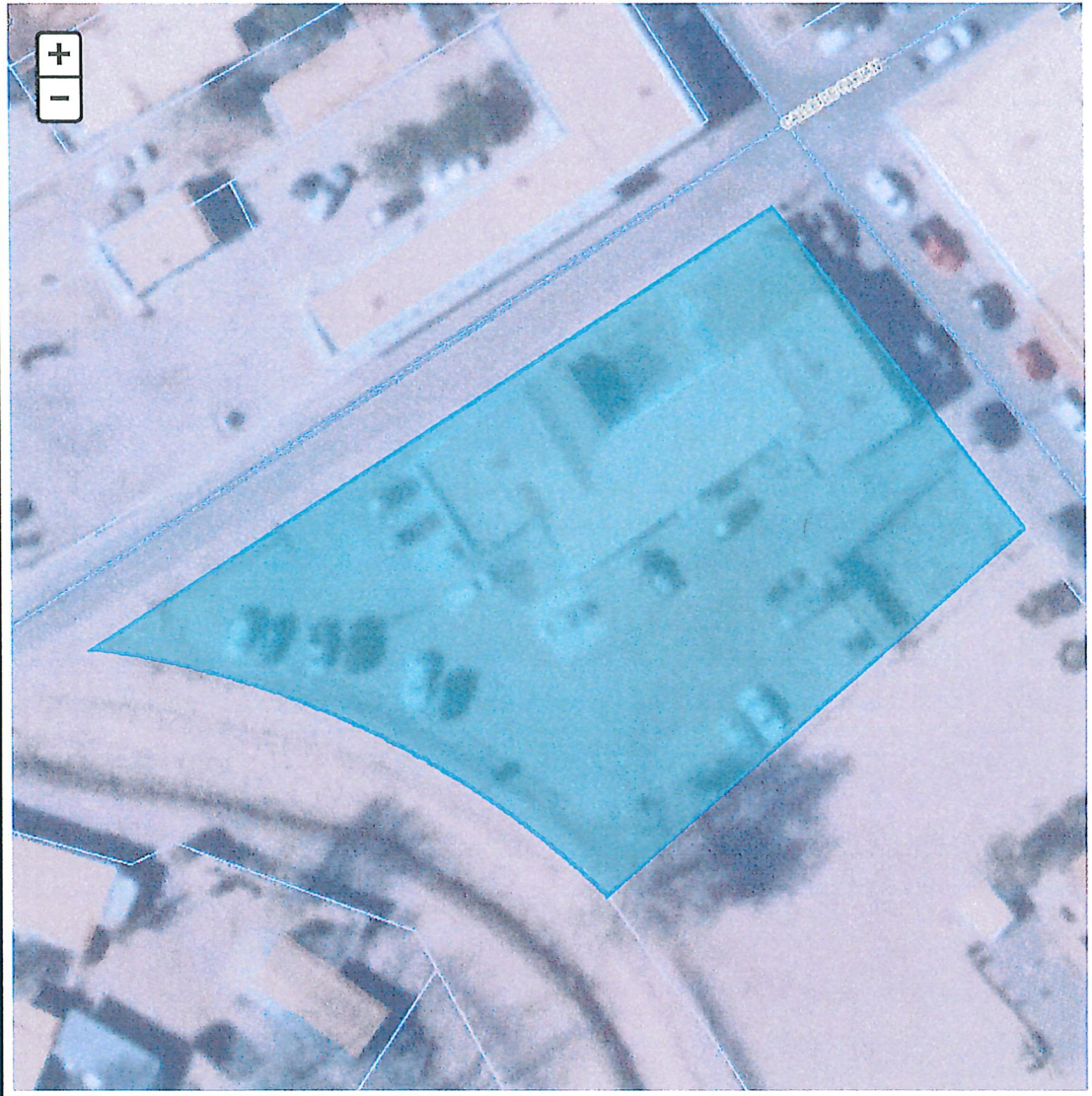
- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

### Select Search Type:

Account Number ▼

Enter Value:

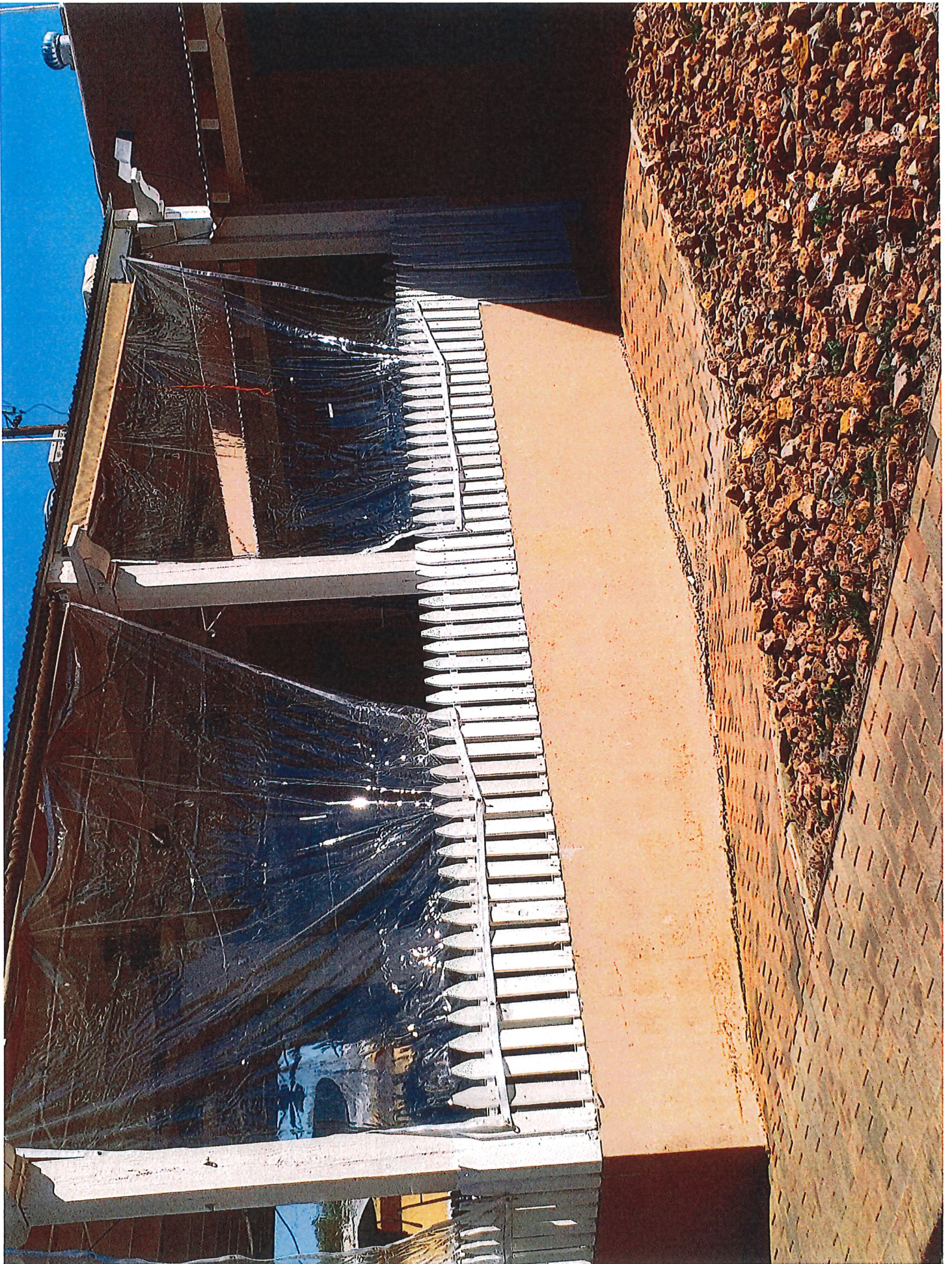
Search



Parcel ID	Map Code	Name	Ad
<a href="#">R0400315</a>	4006137229477	ARMIJO FELIX M & GUADALUPE R	2004 V







TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:  
Case # 061847  
Fee \$ 0

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

FEB 10 2022

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Alison Tinsley & Chris Fields 575-640-3764  
Name of Property Owner Property Owner's Telephone Number  
PO Box 604 Mesilla NM 88046  
Property Owner's Mailing Address City State Zip Code  
alistentinsley48@gmail.com  
Property Owner's E-mail Address  
self  
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 2043 Calle de Correo

Description of Proposed Work: repair & repaint exterior courtyard floor to preserve wood same color blue paint as original.

\$ 200<sup>00</sup> Alison Tinsley  
Estimated Cost Signature of Applicant Date

Signature of property owner: Alison Tinsley

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 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES  NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: Natal Bouay ISSUE DATE: 2/11/22

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12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

### BUILDING PERMIT REQUIREMENTS

A. Completed application, including:

1. Applicant's name
2. Applicant/property owners contact information
3. Physical address of property
4. Description of work to be done, including dimensions of any construction or repairs
5. Value of work to be done
6. Property owner's signature on the application

B. Include all information required in the checklist at the bottom of the application.

C. Additional information required:

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MESILLA VALLEY  
DISPOSAL  
575-541-2354

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:  
Case # 061348  
Fee \$ 0

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

FEB - 8 2022

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Name of Property Owner Alison Tinsley & Chris Fields Property Owner's Telephone Number 575-640-3764

Property Owner's Mailing Address POB 1604 Mesilla NM 88046 City State Zip Code

Property Owner's E-mail Address alisontinsley48@gmail.com

Contractor's Name & Address (If none, indicate Self) Oscar Arroyos

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 2043 Calle Correo

Description of Proposed Work: Painting patches left undone on stucco - painting behind swamp cooler (about 1 hr of work)

Estimated Cost ? Signature of Applicant Alison Tinsley Date 2/8/22

Signature of property owner: Alison Tinsley

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

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 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES  NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: Nora L. Boney ISSUE DATE: 2/11/22

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

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13. Other information as necessary or required by the City Code or Community Development Department (See other side.)



The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

**BUILDING PERMIT REQUIREMENTS**

A. Completed application, including:

1. Applicant's name
2. Applicant/property owners contact information
3. Physical address of property
4. Description of work to be done, including dimensions of any construction or repairs
5. Value of work to be done
6. Property owner's signature on the application

B. Include all information required in the checklist at the bottom of the application.

C. Additional information required:

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# Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor

Map Legend

## Map Layers

### Layer Visibility:

- Roads
- Buildings
- City Limits
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- 2014 Aerial Photo
- Parcels

### Select Search Type:

Account Number ▼

Enter Value:

Search

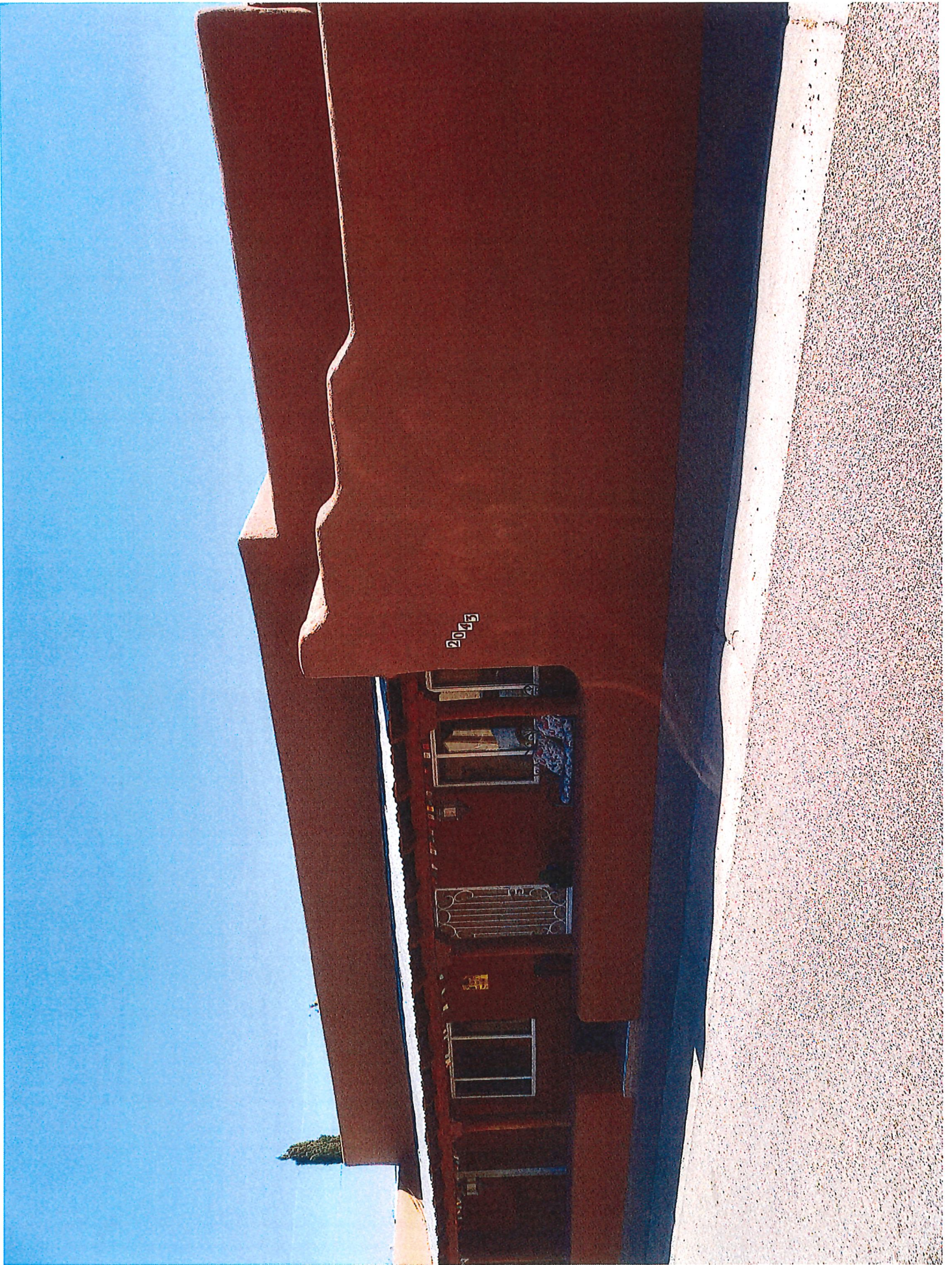


Parcel ID	Map Code	Name	Address
<a href="#">R0400356</a>	4006137272479	BRAZITO LLC	PO BOX 664



2043





TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:  
Case # 216349  
Fee \$ 95.00

80.00  
15.00

FEB 15 2016

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Alison Tinsley + Chris Fields 575-640-3764  
Name of Property Owner Property Owner's Telephone Number

PO Box 664 Mesilla NM 88046  
Property Owner's Mailing Address City State Zip Code

alisontinsley48@gmail.com  
Property Owner's E-mail Address

Francisco Ortega Self  
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2043 Calle Correo

Description of Proposed Work: Replacing 2 swamp coolers with a mini-split system. The replacement condensers (36" H x 42" L x 16" W) is significantly smaller than the MasterCool (37" H x 49" L x 42" W) and will be far less visible! Photos attached

\$2000 - \$3000 Alison Tinsley 2/15/22  
Estimated Cost Signature of Applicant Date

Signature of property owner: Alison Tinsley

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

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PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED:  YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: administrative approval ~ need to go to CID for a mechanical permit

PERMISSION ISSUED/DENIED BY: Nora L. Baum ISSUE DATE: 2/15/22

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- Drainage plan.
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## BOARD ACTION FORM

### AGENDA DATE

PZHAC: February 22, 2022

**BOT:**

**ITEM:** PZHAC CASE #061342 – Susan Krueger – 2912 Snow Road – Temporary fencing – Rural Farm (RF)

### BACKGROUND AND ANALYSIS:

The applicant is requesting to place temporary fencing along northeast to northwest of her property – fencing to consist of 4’ posts placed at 10’ intervals, material to be used for fencing will be webbing used for traffic control. (RF)

### IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant’s request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant’s property and not in Town of Mesilla right-of-way.

### ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

### DEPARTMENT INFORMATION:

MTC 18.10 Rural Farm Zone

18.60.340 Wall, fence, or hedge.

A. Height .

2. A four-foot maximum height above ground surface level shall be permitted on any part of the required setbacks of front yards or side yards abutting a street in R-1, RF and RA zones; provided, such wall, **fence** or hedge is in accord with subsection (D) of this section. A six-foot maximum height above ground surface level shall be permitted on any part of the required front yard or side yard abutting a street with openwork **fencing** in the RF and RA zones. “Open work” **fencing** is defined as **fencing** with 40 percent of the area transparent within each six-foot width of **fence**.

B. Walls, **fences** or hedges on any part of the lot that is to the rear of the required front yard must be in accord with subsection (D) of this section and constructed to Uniform Building Code Standards.c.Any wall retaining four or more

D. There shall be no fence, wall, hedge, or obstruction more than three feet above street curb level or ground level at edge of street in the clear sight triangle, measured 30 feet in both directions on the property line from a corner.

### SUPPORTING INFORMATION:

- Application
- Photos
- Diagrams

**TOWN OF MESILLA  
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061342

Fee \$ 0 ✓

**PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

**FEB - 1 2022**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: 1/31/2022

Name of Property Owner: SUSAN KRUEGER Property Owner's Telephone Number: 575 640-4266 (4pps)

Property Owner's Mailing Address: P.O. Box 1143 Mesilla NM 88046

Property Owner's E-mail Address: skrueger55@msn.com

Contractor's Name & Address (If none, indicate Self): Self - please see Deputy Diaz incident report attached

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 2912 SADDLE RD

Description of Proposed Work: Temporary fencing along tree edge of my pecan orchard along east wall for approx. 200' beginning at the SE corner of the orchard & consisting of 4" top posts placed at 10' intervals, connected to red 2x4s

Estimated Cost: \$ 2000 Signature of Applicant: [Signature] Date: 1/21/2022

Signature of property owner: [Signature]

warning, typically used for traffic control

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CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
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  11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  12. Proof of legal access to the property.
  13. Other information as necessary or required by the City Code or Community Development Department (See other side.)



The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

**BUILDING PERMIT REQUIREMENTS**

- A. Completed application, including:
  - 1. Applicant's name
  - 2. Applicant/property owners contact information
  - 3. Physical address of property
  - 4. Description of work to be done, including dimensions of any construction or repairs
  - 5. Value of work to be done
  - 6. Property owner's signature on the application
  
- B. Include all information required in the checklist at the bottom of the application.
  
- C. Additional information required:  

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# Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor

Map

Legend

## Map Layers

### Layer Visibility:

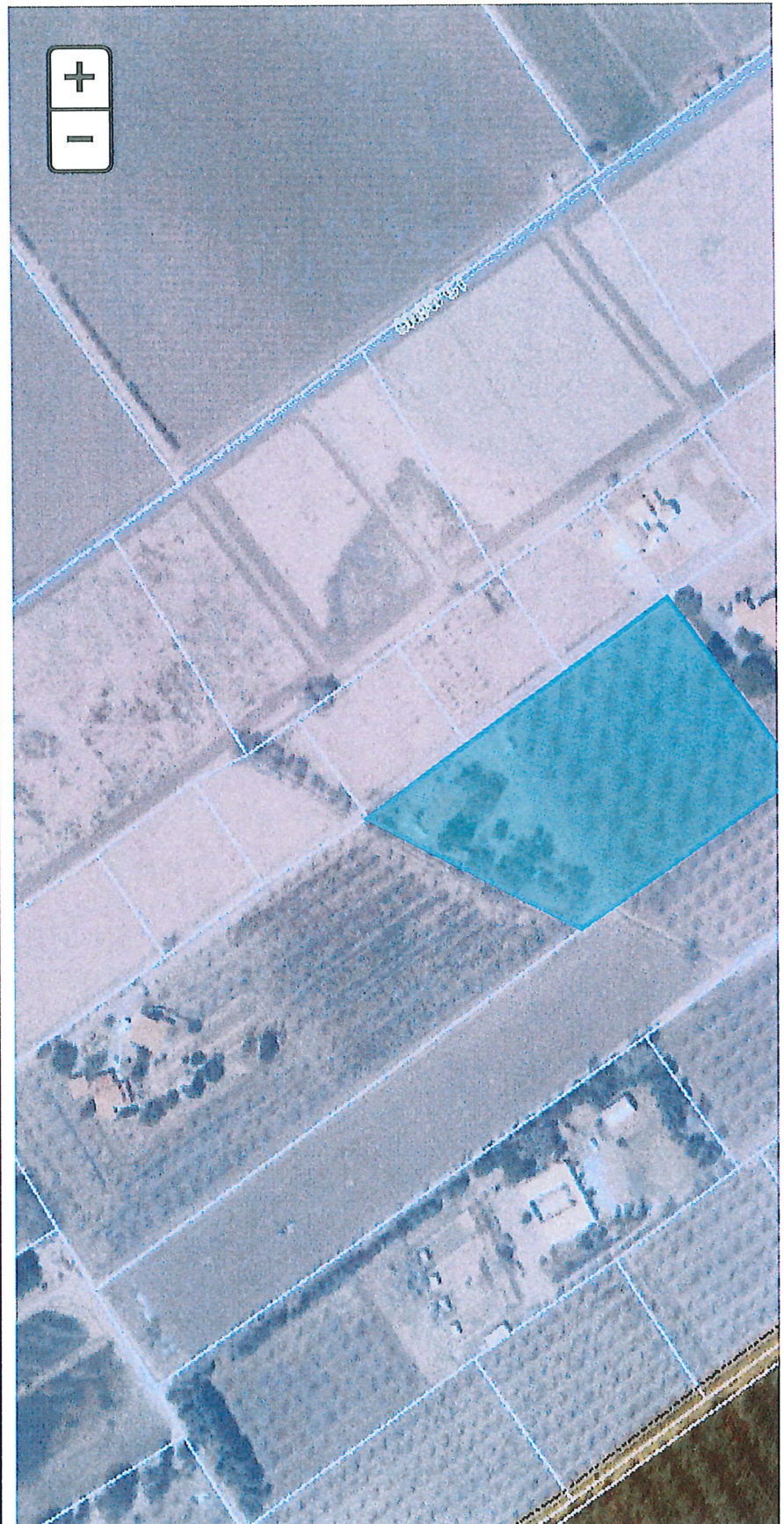
- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

Select Search Type:

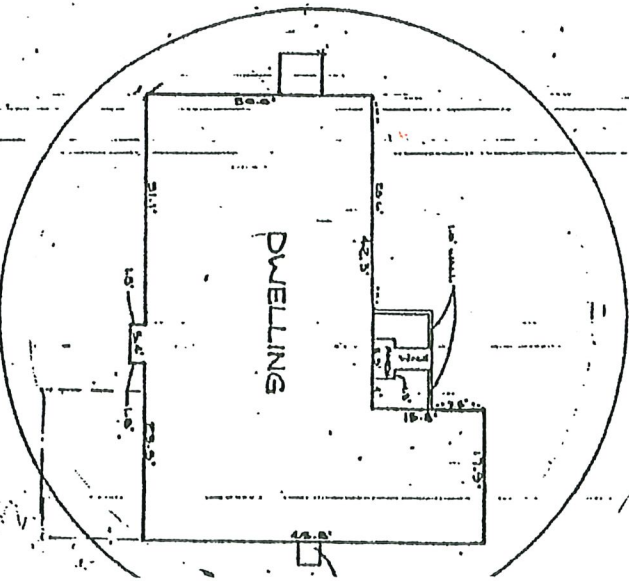
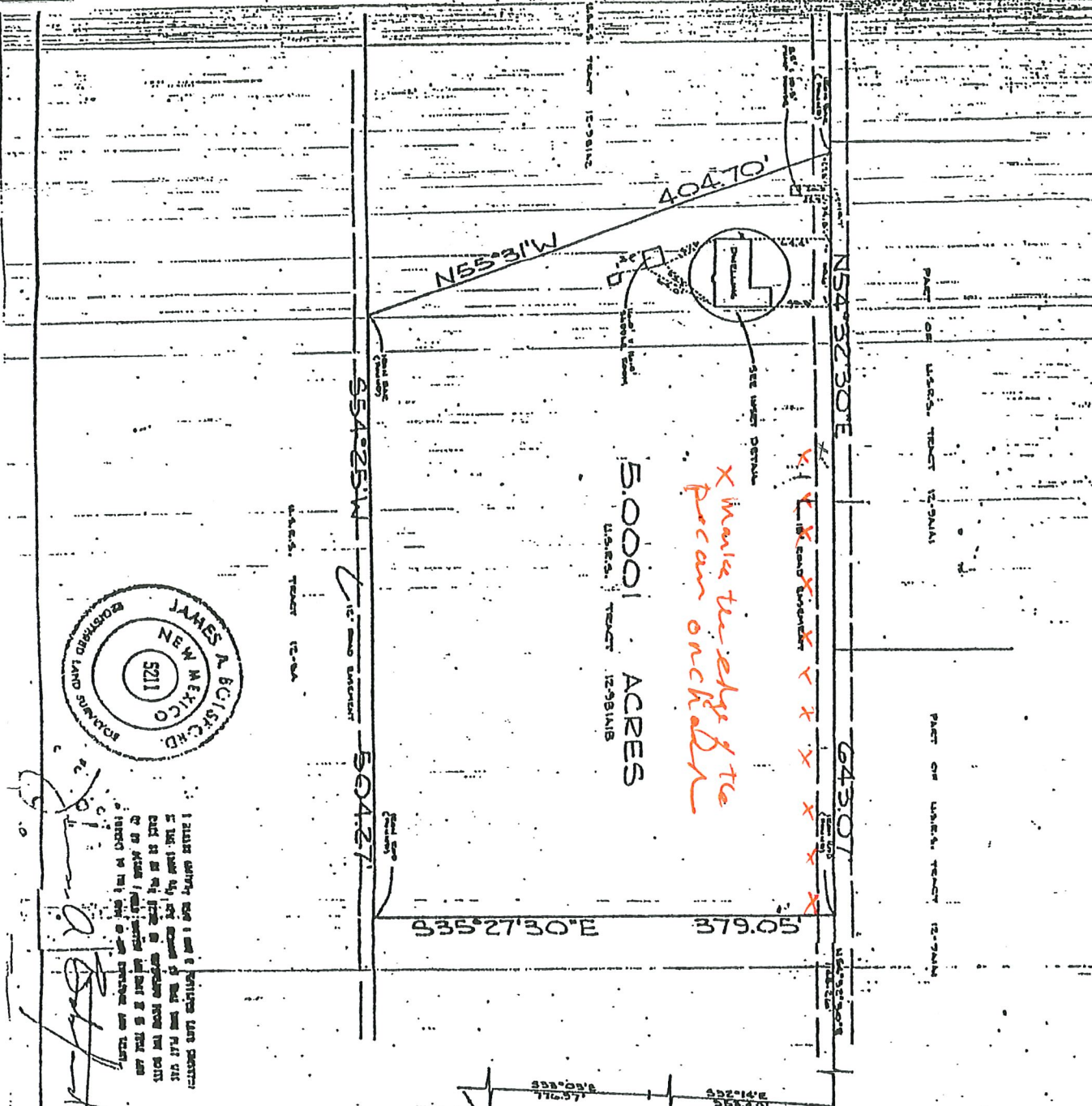
Account Number ▼

Enter Value:

Search



PLAT OF SURVEY SHOWING THE LOCATION OF IMPROVEMENTS ON A 5.0001 ACRE TRACT  
 SITUATE IN SECTION 35, T.23S., R.1E., N.M.P.M. FOR THE U.S.R.S. SURVEYS  
 AS U.S.R.S. TRACT 12-981A1B  
 SOUTHWEST OF MESILLA, DONA ANA COUNTY, NEW MEXICO  
 SCALE: 1" = 100'  
 JULY 27, 1984

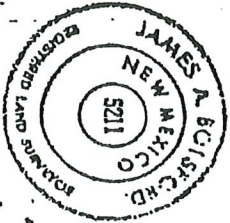


INSET DETAIL  
 SCALE: 1" = 20'

THE TOP CONCRETE REINFORCEMENT FOR THE DWELLING IS 10\"/>

*X Make the edge of the Porcan on the edge*

5.0001 ACRES



*A Botsford*

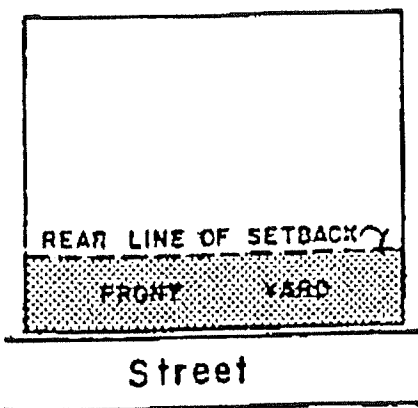
PRINT PRINTED

NOV 27 1984

BOTSFORD

BOTSFORD  
 LAS

Appendix A – Fences, Walls and Hedges

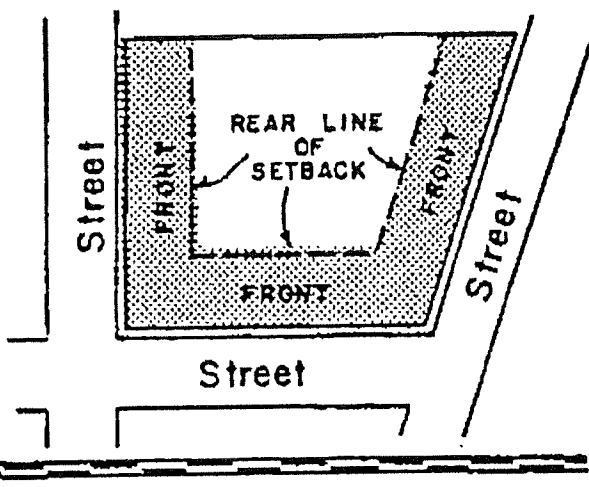


Interior Lot

Hedge, fence and wall height is restricted (see MTC 18.60.340) in the shaded area, except that in any clear sight triangle, the height shall be limited to three feet.

Corner and Multi-Front Lots

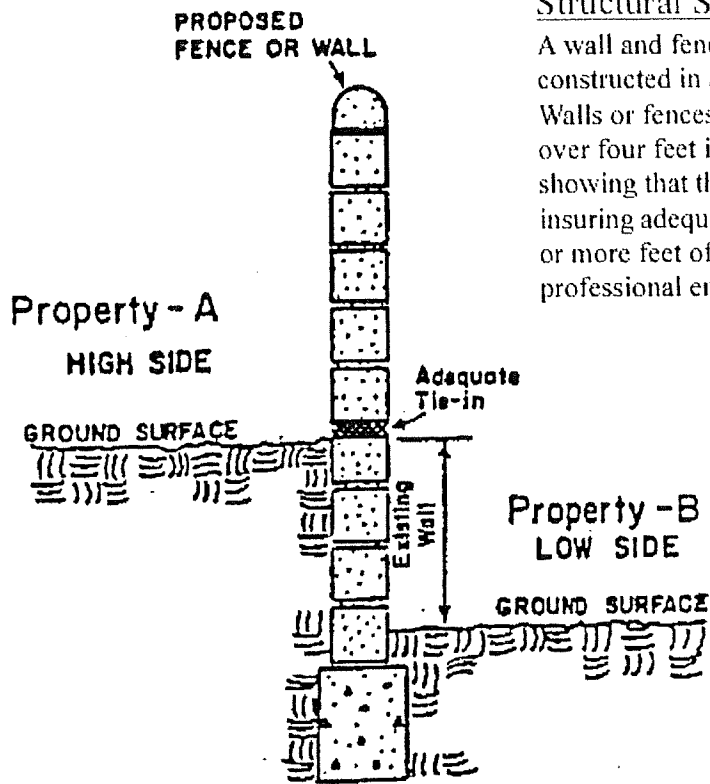
Hedge, fence and wall height is restricted (see MTC 18.60.340) in the shaded area, except that in any clear sight triangle, the height shall be limited to three feet.



Note: Ground surface level is defined as the level of ground abutting the fence or wall.

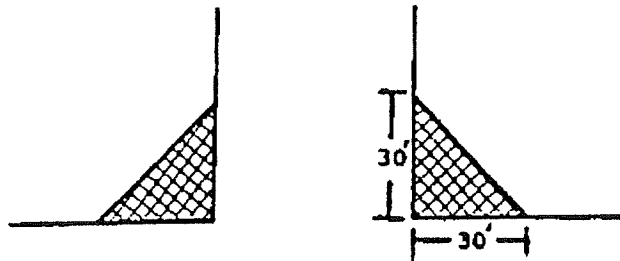
### Structural Strength and Bi-Level Grades

A wall and fence constructed on a bi-level grade shall be constructed in accord with the following provision: Walls or fences constructed on top of an existing wall that is over four feet in height shall require a structural detail showing that the fence below is structurally adequate and insuring adequate tie-in and bonding; and a wall retaining four or more feet of soil must be designed and stamped by a professional engineer registered in the state of New Mexico.



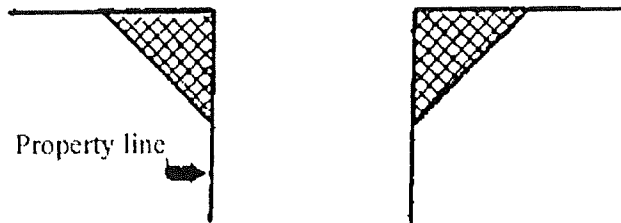
### Appendix B – Clear Sight Triangle

Clear sight triangle applies to both corner lots and off-street multiple parking area. For a definition, see “Clear sight triangle,” MTC 18.10.020.

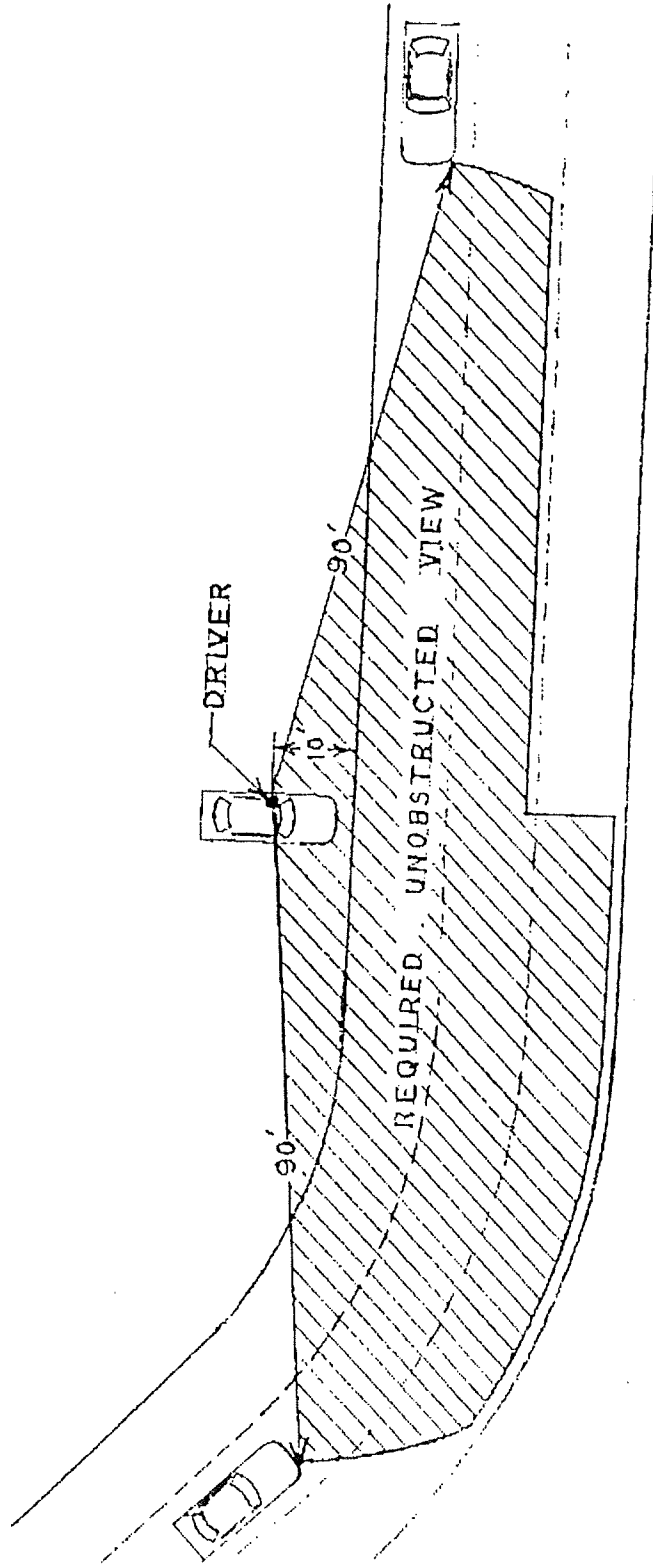
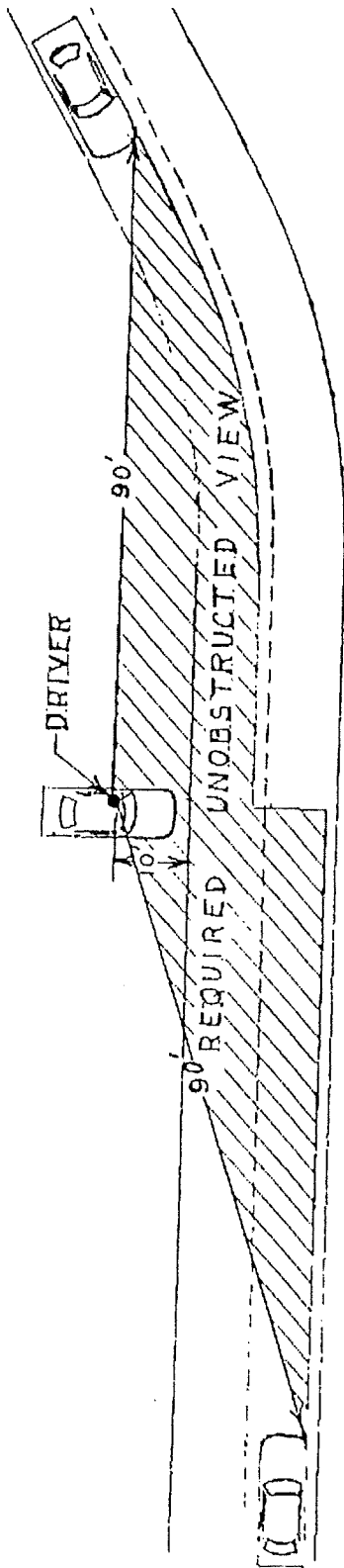


Clear Sight Triangle

STREET



Appendix C



Case Number

2022-00034



Town of Mesilla  
MESILLA MARSHAL'S DEPARTMENT  
2670 CALLE DE PARIAN  
MESILLA, NM , 88046

Case Report

Reported by: DEPUTY T DIAZ #333

Incident Types Label INFORMATION REPORT

Incident Disposition

Offender

Report Recorder      Manager/Supervisor On Duty      Manager/Supervisor Notified

DEPUTY T DIAZ #333

Incident Occurred Date      Incident Occurred End Date      Incident Discovered / Called In

01/23/2022 at 1300

01/23/2022 at 1300

01/23/2022 at 1300

Location      Specific Location

TOWN OF MESILLA

2908 SNOW RD

Secondary Location      Related Event

22-000266

Report Synopsis/Overview

Driving on Orchard

Contact # 1 (REPORTING PERSON)

Full Name

SUSAN KRUEGER

Drivers License      Drivers License State      Email Address

02884290

NM

Age      Date of Birth      Gender      Race

FEMALE

Addresses

Street Number      Street Direction      Street Name      Street Type      Apt./Suite

2908

SNOW

ROAD

City      State      Zip      Country      Address Type

MESILLA

NM

88046

Phones :

(N/A) 575-640-4266

Narrative text

On January 23, 2022, at approximately 1300 I Deputy Diaz was dispatched to contact Susan Krueger via telephone for a vandalism. I contacted Ms. Krueger and she advised of damage on the west side of the driveway at 2908 Snow Rd. I advised her I could meet her at the residence.

Ms. Krueger stated someone had driven a vehicle onto her pecan orchard. It appears as though someone had driven on the orchard a short distance to turn around. She believes it to be the company dropping off big rocks for what appears to be a rock wall . Mr. Krueger wanted the incident documented incase further incidents occur, and her orchard is damaged. Nothing further to report at this time.

Prepared By:

DEPUTY T DIAZ #333(m333)

Submitted Date

01/23/2022 1549

Signature

Reviewed By/Date



End of report.

**Prepared By:**

DEPUTY T DIAZ #333(m333)

**Submitted Date**

01/23/2022 1549

**Signature**



**Reviewed By/Date**

## BOARD ACTION FORM

### AGENDA DATE

PZHAC: February 9, 2022

**BOT:**

**ITEM:** PZHAC CASE #061343 – Joni Gutierrez & Lowell Catlett, 2350 Calle de Parian, permit to repaint art work on barn door.

**BACKGROUND AND ANALYSIS:** This case was reviewed by the Architectural Styles Committee (ASC) on February 15, 2022.

The applicant is requesting to repaint current Zia art on barn door with a stylized American flag similar to the previous American flags painted before.

### IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

### ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

### DEPARTMENT RECOMMENDATIONS:

### SUPPORTING INFORMATION:

- Application
- Photos

**TOWN OF MESILLA  
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 201343

Fee \$ \$13.10 ✓

62<sup>00</sup>/<sub>11</sub>

**FEB 10 2022**

**PERMISSION TO CONDUCT WORK  
OR**

**OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Joni Gutierrez & Lowell Catlett 575-496-5060

Name of Property Owner \_\_\_\_\_ Property Owner's Telephone Number \_\_\_\_\_

P.O. Box 842 Mesilla NM 88046

Property Owner's Mailing Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

LCATLETT1948@GMAIL.COM

Property Owner's E-mail Address \_\_\_\_\_

BOB DIVEN ARTIST

Contractor's Name & Address (If none, indicate Self) \_\_\_\_\_

575-642-7445

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 2350 CALLE DE PARIAN

Description of Proposed Work: REPAINT CURRENT ZIA ART ON BARN DOOR WITH A STYLIZED AMERICAN FLAG (ATTACHED) SIMILAR TO THE PREVIOUS AMERICAN FLAGS HE HAS PAINTED ON THE DOOR

\$1200.00 Blatlett 2/10/2022

Estimated Cost \_\_\_\_\_ Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

Signature of property owner: Blatlett

**With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

**FOR OFFICIAL USE ONLY**

<b>PZHAC</b>	<input type="checkbox"/> Administrative Approval	<b>BOT</b>	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

**THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:**

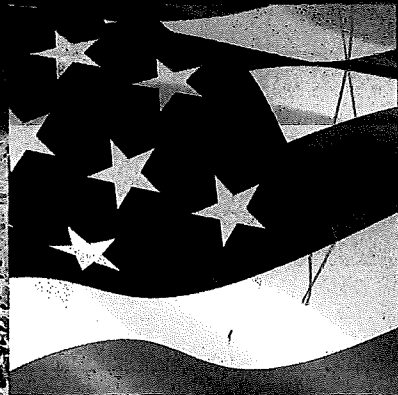
1. \_\_\_\_\_ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. \_\_\_\_\_ Site Plan with dimensions and details.
3. \_\_\_\_\_ Foundation plan with details.
4. \_\_\_\_\_ Floor plan showing rooms, their uses and dimensions.
5. \_\_\_\_\_ Cross section of walls
6. \_\_\_\_\_ Roof and floor framing plan
8. \_\_\_\_\_ Proof of legal access to the property.
9. \_\_\_\_\_ Drainage plan.
10.  Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. \_\_\_\_\_ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. \_\_\_\_\_ Proof of legal access to the property.
13. \_\_\_\_\_ Other information as necessary or required by the City Code or Community Development Department (See other side.)

Can't get printer to print in color

Blue

Red

White



# Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor

Map

Legend

## Map Layers

### Layer Visibility:

- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

### Select Search Type:

Account Number ▼

Enter Value:

Search



Parcel ID	Map Code	Name	Address
<a href="#">R0401196</a>	4006137168527	CATLETT LOWELL B TRUSTEE	PO BOX 842



## BOARD ACTION FORM

### AGENDA DATE

PZHAC: February 22, 2022

BOT:

ITEM: PZHAC CASE #061344 – Roberta Sylvis, 2060 Calle de Parian, sign permit for 2 signs.

**BACKGROUND AND ANALYSIS:** This case was reviewed by the Architectural Styles Committee (ASC) on February 15, 2022.

The applicant is requesting to place 2 signs for her business Desert Ski Bling.

### IMPACT:

Staff recommends the Planning, Zoning and Historical Appropriateness Commission (PZHAC) approve the application subject to the following findings:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work meets the requirements of MTC 18.65 Historic Signs.
- The proposed work meets the requirements of MTC 18.40 Historic Commercial.
- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

### ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

### DEPARTMENT RECOMMENDATIONS:

Staff recommends the PZHAC approve case #061344.

### SUPPORTING INFORMATION:

- Application
- Photos



OFFICIAL USE ONLY:

Case # 061344

Fee \$ 10<sup>00</sup> ✓

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Desert Ski Bling \_\_\_\_\_ 575 312 4867  
Business Name Business Telephone Number

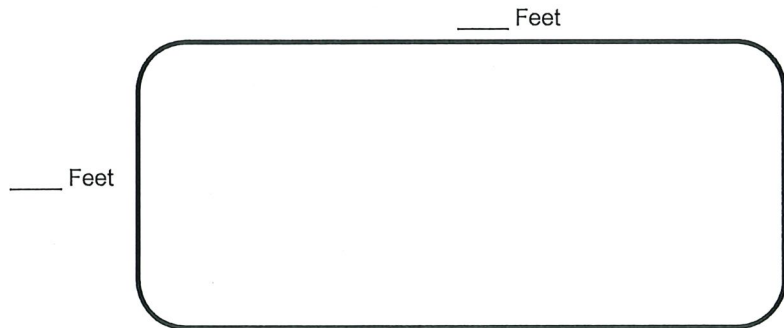
2060 Calle De Parian Las Cruces NM 88  
Business Address City State Zip Code

ROBERTA Sylvie \_\_\_\_\_ 575 312 4867  
Applicant Name Applicant Telephone/Cell Number

141 Key Deer Ct Las Cruces NM 88007  
Mailing Address City State Zip Code

Description of sign: Pics INCLUDED. OPEN sign, Banner

Please include dimensions, lettering, shape, material, texture, colors, and/or finish to be used on the diagram below.



Colors: Pink Black White

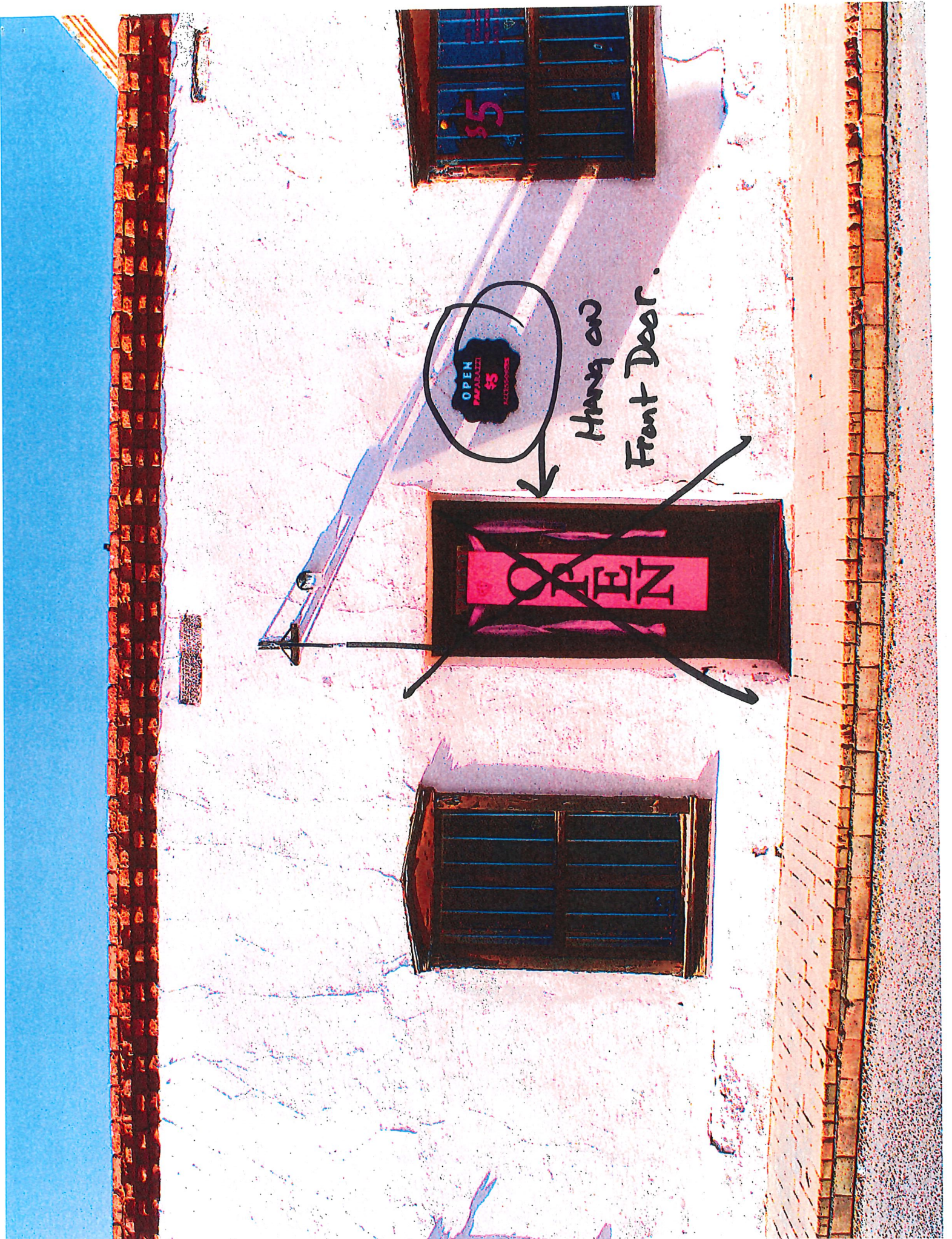
**FOR OFFICIAL USE ONLY**

- |       |   |     |   |
|-------|---|-----|---|
| PZHAC | <input type="checkbox"/> Administrative Approval  | BOT | <input type="checkbox"/> Approved Date: _____     |
|       | <input type="checkbox"/> Approved Date: _____     |     | <input type="checkbox"/> Disapproved Date: _____  |
|       | <input type="checkbox"/> Disapproved Date: _____  |     | <input type="checkbox"/> Approved with Conditions |
|       | <input type="checkbox"/> Approved with conditions |     |   |

CONDITIONS: \_\_\_\_\_

PERMIT ISSUED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_





OPEN  
PARALLEL  
ACCESSORIES  
\$5

Hang and  
Front Door.

~~OPEN~~



#2

Shop til you  
Drop!



\$5



2A+

Fashion  
Jewelry

LEAD &  
Nickel  
Free



2A+

This ONE WILL BE  
Secured on wall between  
Door AND LONG WINDOW

BLACK BOARD w/  
White lettering  
& Pink will be  
\$5

# 1

DESERT  
SKI  
BLING

\$5

PAPARAZZI  
ACCESSORIES

2 FT

14 18 IN

THIS ONE WILL HANG  
ABOVE DOOR 7' FROM  
GROUND UP.

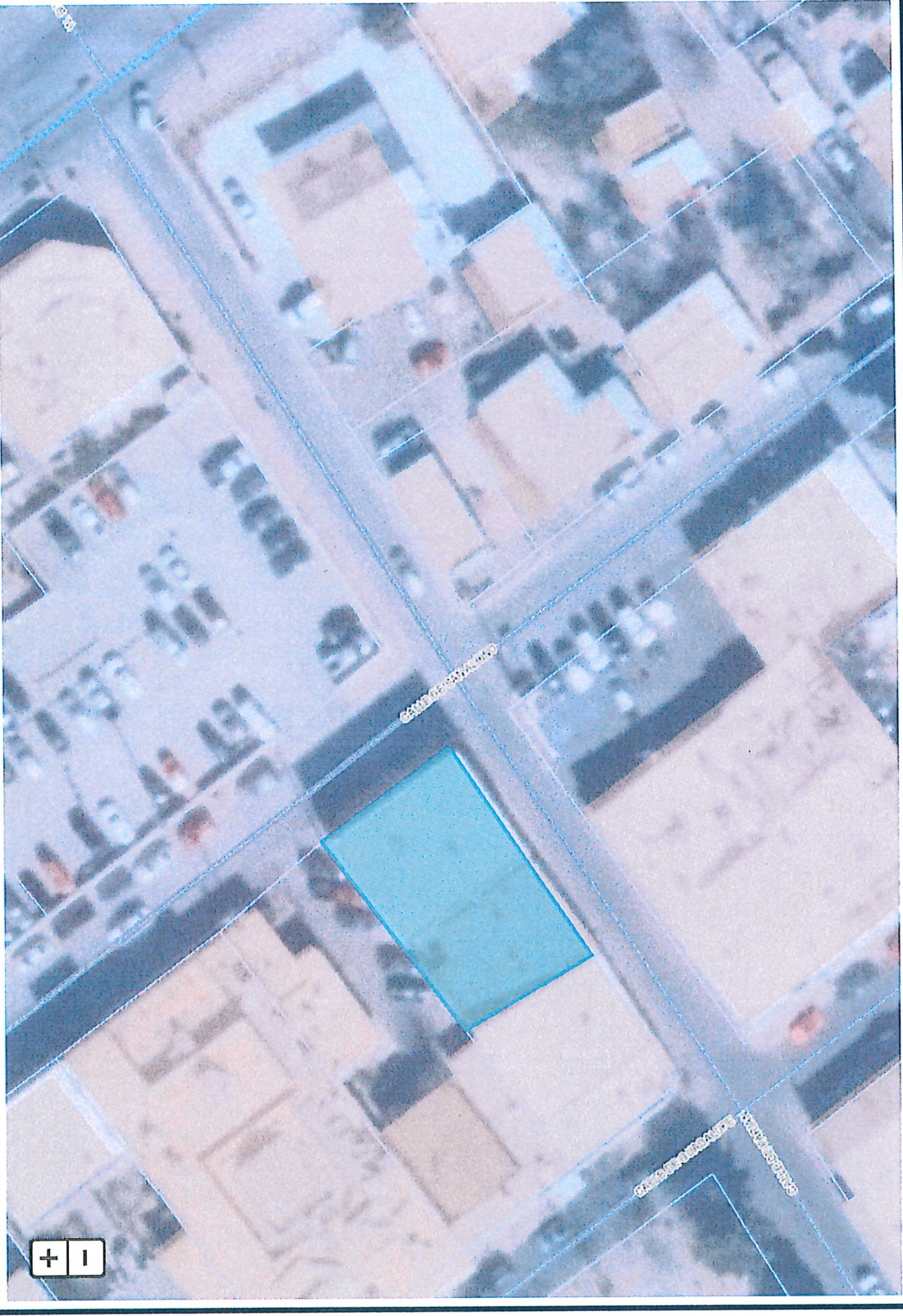
BLACK BOARD  
WHITE LETTERING

DESERT SKI BLING

2000 1000 DE B...

# Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor



Map Legend

### Map Layers

**Layer Visibility:**

- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

Select Search Type:

Account Number

Enter Value:

Parcel ID	Map Code	Name	Address	Subdivision
RD000335	406613752447	APPALLOOSA LIMITED LLC	5011 WILD HORSE ROAD	

*Deepest Ski Bling*

Roberta Sylvis

[paparazziaccessories.com/407567](http://paparazziaccessories.com/407567)

2060 Calle de Parícut  
Mesilla, NM 88046

575-312-4867



DESERT  
SKI  
BLING

\$5

PAPARAZZI  
ACCESSORIES

14 18 in

THIS ONE WILL HANG  
ABOVE DOOR 7' FROM  
GROUND UP.

BLACK Board  
white Lettering

DESERT SKI BLING  
2060 CALLE DE PATIA

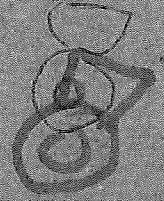
1

2 FT

Shop til you  
Drop!



\$5



2ft

Fashion  
Jewelry

LEAD &  
NICKEL  
FREE



2ft

This ONE WILL BE  
Secured on Wall between  
Door AND LONG WINDOW

BLACK BOARD w/  
White lettering  
& Pink will be  
\$5



## BOARD ACTION FORM

### AGENDA DATE

PZHAC: February 22, 2022

**BOT:**

**ITEM:** PZHAC CASE #061196 – Susan Krueger – Snow Road – T-post fencing – Rural Farm (RF)

### BACKGROUND AND ANALYSIS:

The applicant is requesting to renew her building application (approved by PZHAC 4/19/2021) to place T-posts along property line. (RF)

### IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

### ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

### DEPARTMENT INFORMATION:

MTC 18.10 Rural Farm Zone

18.60.340 Wall, fence, or hedge.

A. Height.

2. A four-foot maximum height above ground surface level shall be permitted on any part of the required setbacks of front yards or side yards abutting a street in R-1, RF and RA zones; provided, such wall, **fence** or hedge is in accord with subsection (D) of this section. A six-foot maximum height above ground surface level shall be permitted on any part of the required front yard or side yard abutting a street with openwork **fencing** in the RF and RA zones. "Open work" **fencing** is defined as **fencing** with 40 percent of the area transparent within each six-foot width of **fence**.

B. Walls, **fences** or hedges on any part of the lot that is to the rear of the required front yard must be in accord with subsection (D) of this section and constructed to Uniform Building Code Standards.

D. There shall be no fence, wall, hedge, or obstruction more than three feet above street curb level or ground level at edge of street in the clear sight triangle, measured 30 feet in both directions on the property line from a corner.

### SUPPORTING INFORMATION:

- Application
- Photos
- Diagrams

## BOARD ACTION FORM

### AGENDA DATE

PZHAC: February 22, 2022

BOT:

*06/19/21*  
ITEM: PZHAC CASE #061206 – Susan Krueger – Snow Road – T-post fencing – Rural Farm (RF)

### BACKGROUND AND ANALYSIS:

The applicant is requesting to renew her building application (approved by PZHAC 4/19/2021) to place T-posts along property line. (RF)

### IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

### ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

### DEPARTMENT INFORMATION:

MTC 18.10 Rural Farm Zone

18.60.340 Wall, fence, or hedge.

A. Height.

2. A four-foot maximum height above ground surface level shall be permitted on any part of the required setbacks of front yards or side yards abutting a street in R-1, RF and RA zones; provided, such wall, **fence** or hedge is in accord with subsection (D) of this section. A six-foot maximum height above ground surface level shall be permitted on any part of the required front yard or side yard abutting a street with openwork **fencing** in the RF and RA zones. "Open work" **fencing** is defined as **fencing** with 40 percent of the area transparent within each six-foot width of **fence**.

B. Walls, **fences** or hedges on any part of the lot that is to the rear of the required front yard must be in accord with subsection (D) of this section and constructed to Uniform Building Code Standards.

D. There shall be no fence, wall, hedge, or obstruction more than three feet above street curb level or ground level at edge of street in the clear sight triangle, measured 30 feet in both directions on the property line from a corner.

### SUPPORTING INFORMATION:

- Application
- Photos
- Diagrams

TOWN OF MESILLA  
ZONING APPROVAL

061214  
061196

OFFICIAL USE ONLY:  
Case # 061206  
Fee \$ 0

PERMISSION TO CONDUCT WORK  
OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: 2/1/2022

SUSAN KRUEGER 575 640-4266  
Name of Property Owner Property Owner's Telephone Number  
P.O. BOX 1143 Mesilla NM 88046  
Property Owner's Mailing Address City State Zip Code  
skrueger575@msn.com  
Property Owner's E-mail Address  
self  
Contractor's Name & Address (if none, indicate Self)

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: Snow Rd

Description of Proposed Work: Renewal of PZHAC Case 061206 to place posts along my property line at the snow rd. Done Ana Crumy District map attached showing proposed location.

\$1500 Estimated Cost Signature of Applicant: S Krueger Date: 2/1/2022

Signature of property owner: S Krueger 4/19/2021 my ce PZHAC

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses and dimensions.
- Cross section of walls
- Roof and floor framing plan
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the City Code or Community Development Department (See other side.)

# Doña Ana County, NM

General Reference Maps

2014 Aerial **Addresses** County Address Points

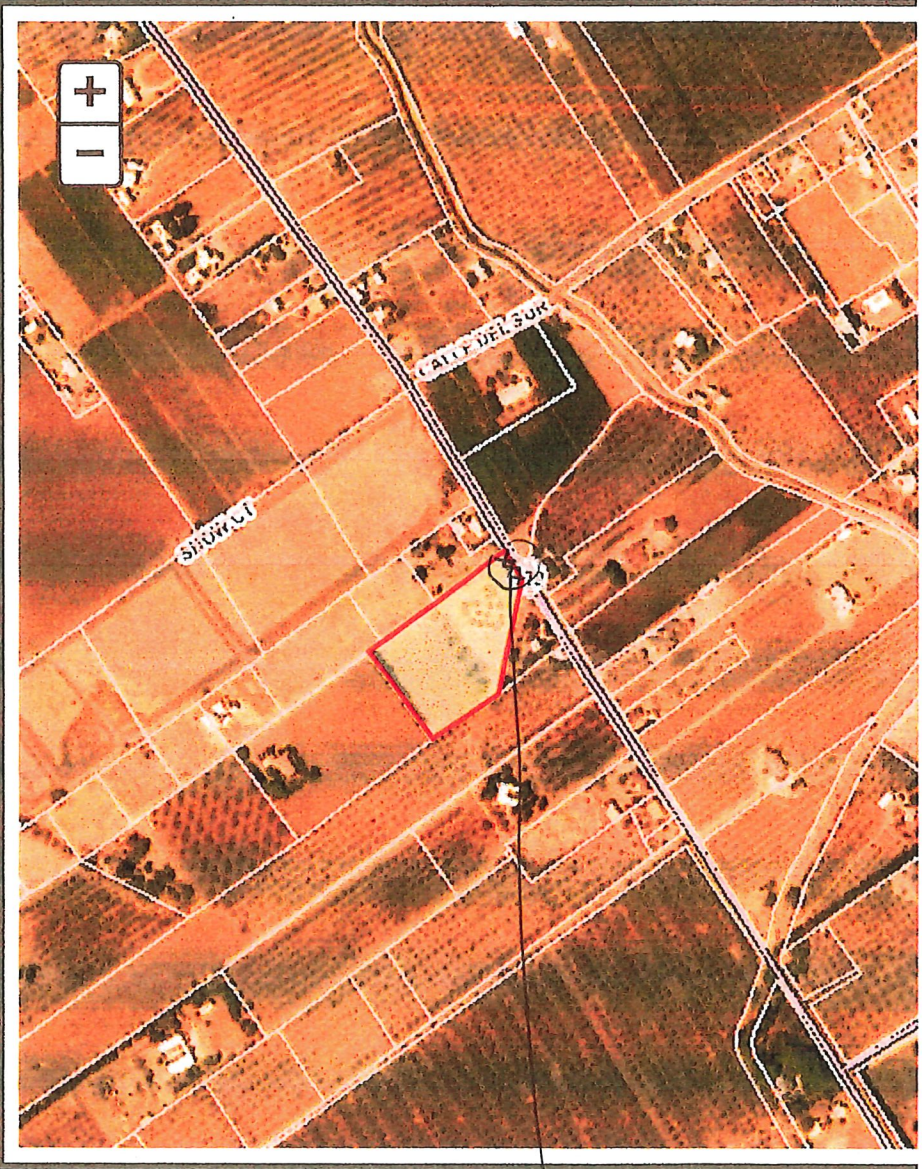
Select Search Type: Account Num

Maps Legend

### Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: **R0400127**  
 Parcel Number: 4005138454395  
 Owner: KRUEGER SUSAN A  
 Mail Address: PO BOX 1143  
 Subdivision:  
 Property Address: SNOW RD  
 Acres: 4.26



The 3 xxxs  
 mark proposed  
 location of fence  
 along snow rd. as  
 described in case  
 061206

*AK*

# Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor

Map

Legend

## Map Layers

### Layer Visibility:

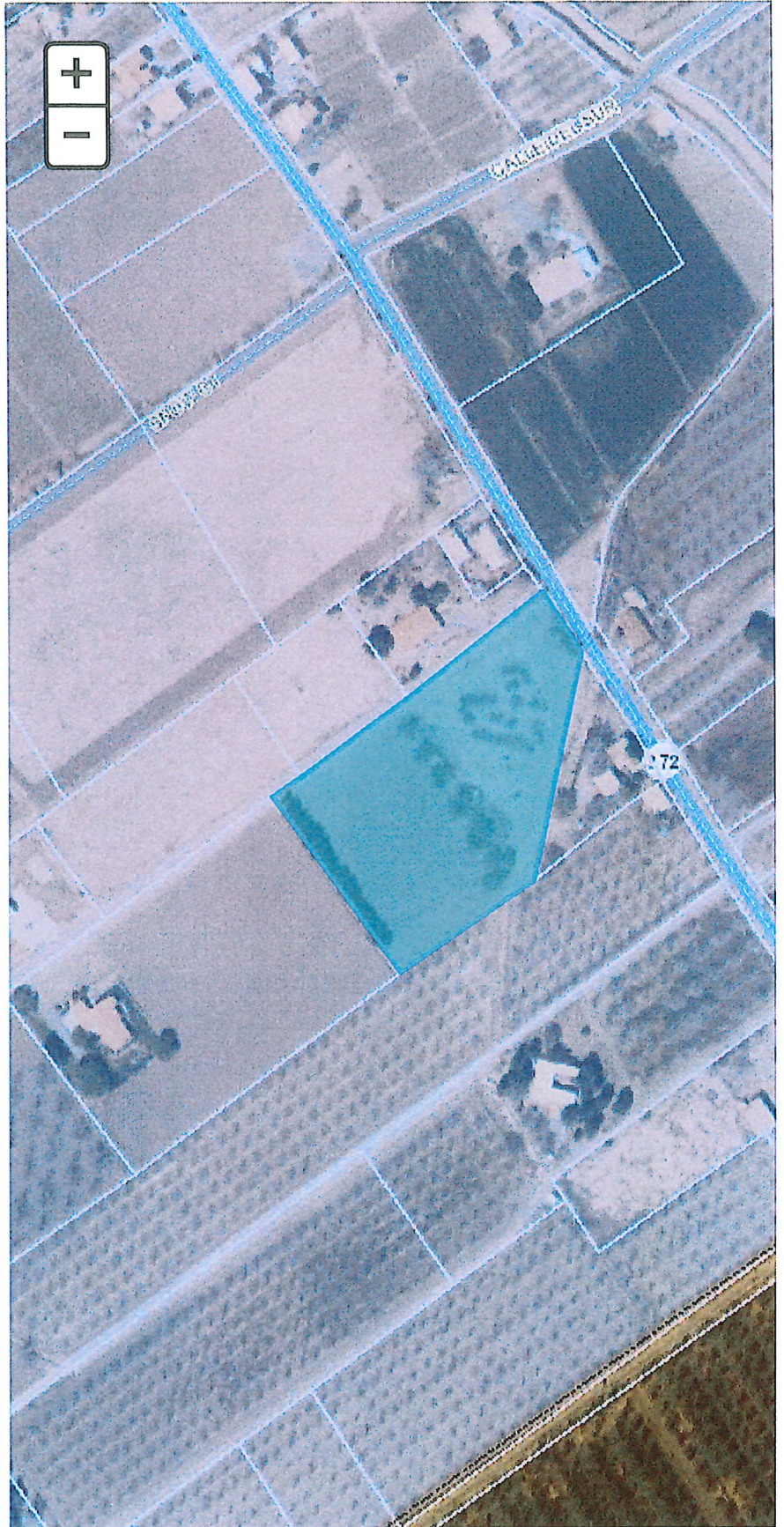
- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

### Select Search Type:

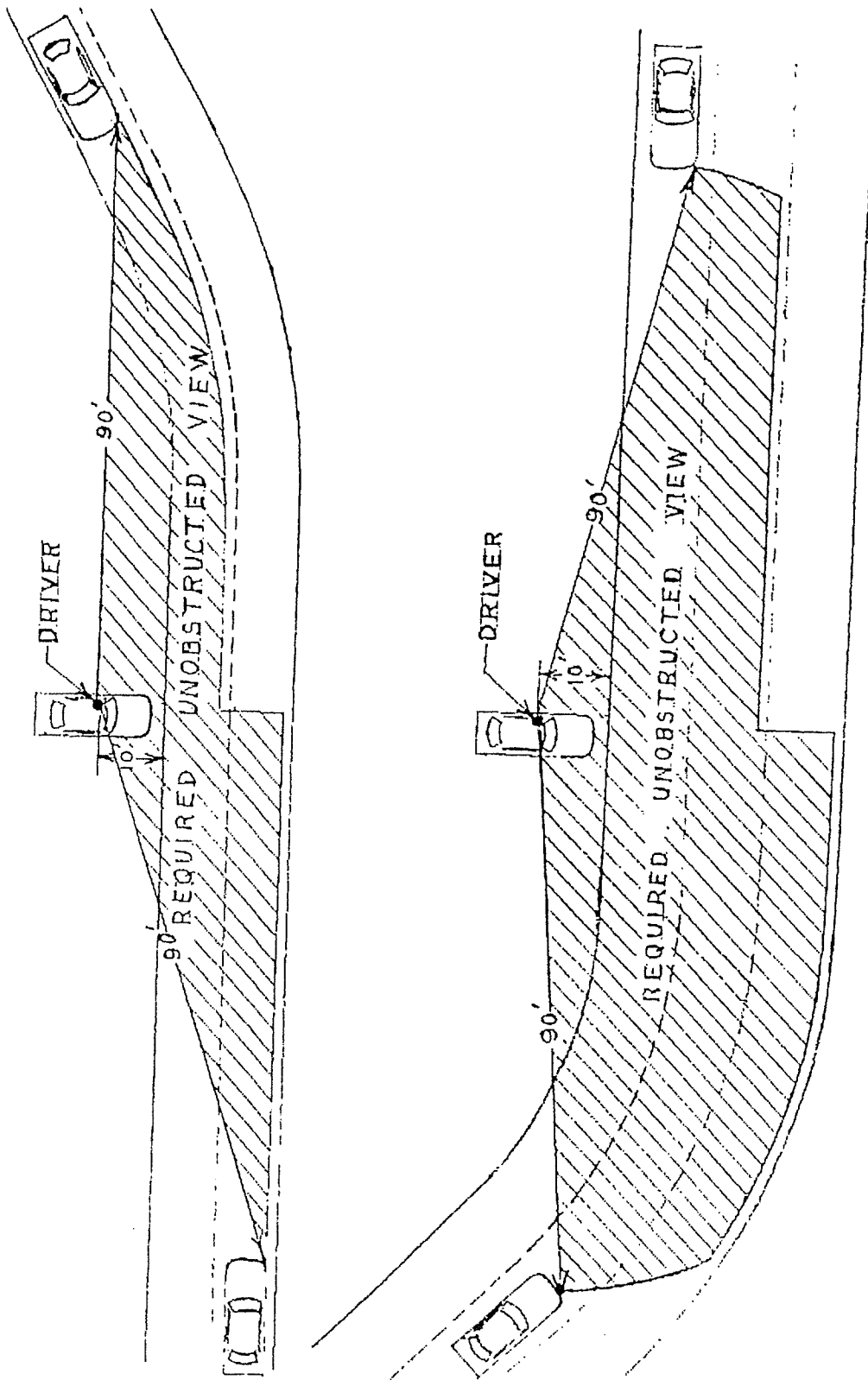
Account Number ▼

Enter Value:

Search

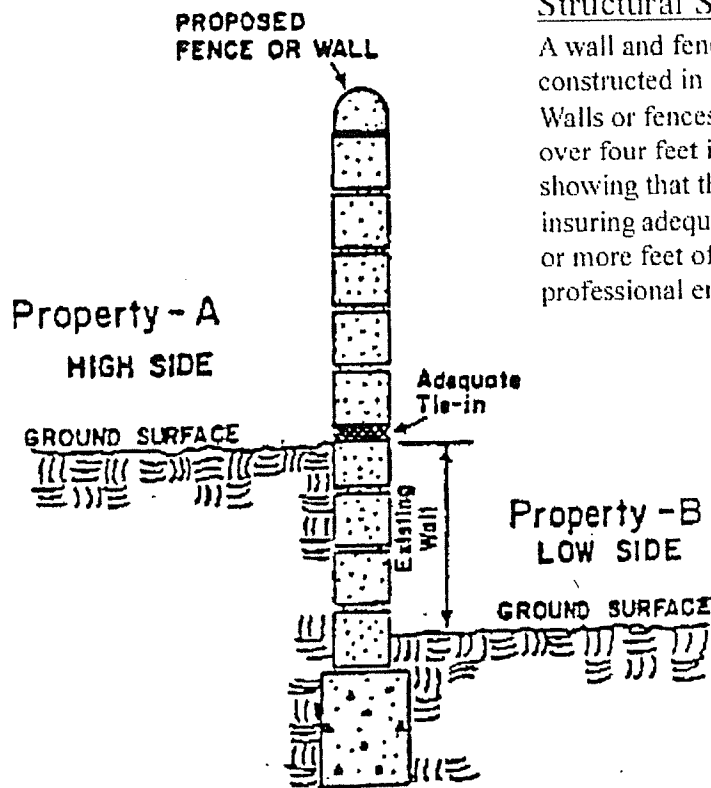


Appendix C



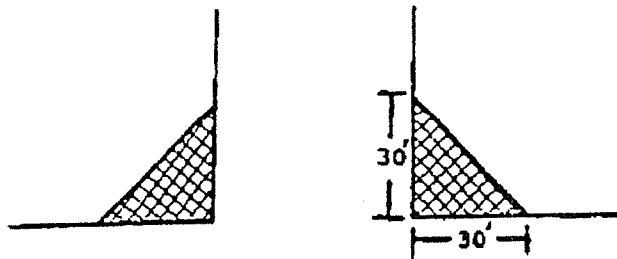
### Structural Strength and Bi-Level Grades

A wall and fence constructed on a bi-level grade shall be constructed in accord with the following provision:  
 Walls or fences constructed on top of an existing wall that is over four feet in height shall require a structural detail showing that the fence below is structurally adequate and insuring adequate tie-in and bonding; and a wall retaining four or more feet of soil must be designed and stamped by a professional engineer registered in the state of New Mexico.



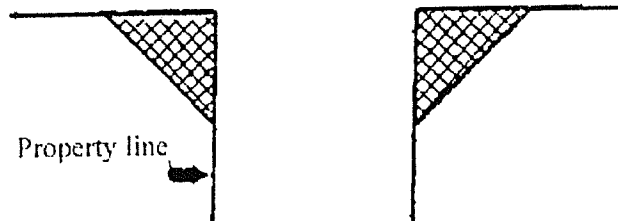
### Appendix B - Clear Sight Triangle

Clear sight triangle applies to both corner lots and off-street multiple parking area. For a definition, see "Clear sight triangle," MTC 18.10.020.

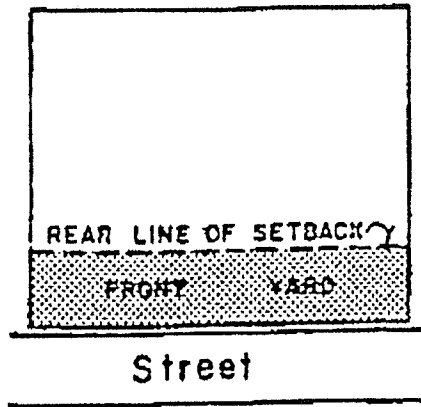


Clear Sight Triangle

STREET



Appendix A – Fences, Walls and Hedges

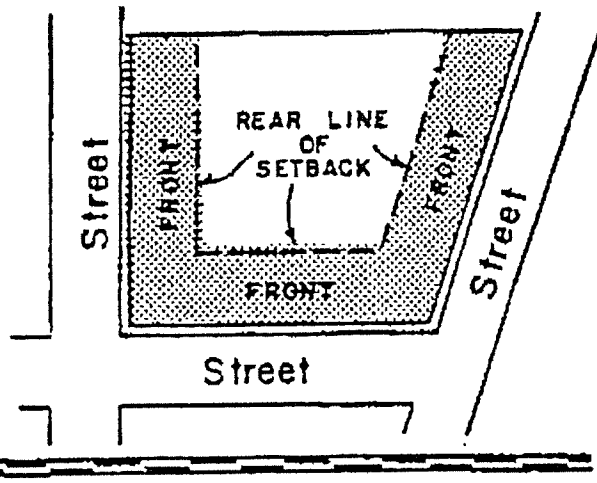


Interior Lot

Hedge, fence and wall height is restricted (see MTC 18.60.340) in the shaded area, except that in any clear sight triangle, the height shall be limited to three feet.

Corner and Multi-Front Lots

Hedge, fence and wall height is restricted (see MTC 18.60.340) in the shaded area, except that in any clear sight triangle, the height shall be limited to three feet.



Note: Ground surface level is defined as the level of ground abutting the fence or wall.



## BOARD ACTION FORM

### AGENDA DATE

PZHAC: February 22, 2022

BOT:

**ITEM:** PZHAC CASE #061350 – Patricia Molina, 804 Calle de El Paseo (Highway 292), reroof.

### BACKGROUND AND ANALYSIS:

The applicant is requesting to reroof her house – shingle to shingle – red color (same as current shingles) heavier shingle – architectural shingle – high wind resistance from Owen Corning (RF).

### IMPACT:

Staff recommends the Planning, Zoning and Historical Appropriateness Commission (PZHAC) approve the application subject to the following findings:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

- The proposed work meets the requirements of MTC 18.20 Rural Farm.
- The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

### ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.
2. Recommend approval of this case with findings stated above and conditions.
3. Deny the application.

### DEPARTMENT RECOMMENDATIONS:

Staff recommends the PZHAC approve case #061350.

### SUPPORTING INFORMATION:

- Application
- Photos

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:  
Case # 061350  
Fee \$ 210<sup>00</sup>

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

~~210<sup>00</sup>~~ 180<sup>00</sup>  
30<sup>00</sup>

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

FEB 17 2022

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Patricia Molina  
Name of Property Owner \_\_\_\_\_ Property Owner's Telephone Number \_\_\_\_\_

804 Calle De El Paso Las Cruces NM  
Property Owner's Mailing Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip Code 88005

Same  
Property Owner's E-mail Address \_\_\_\_\_

Mamolina24@gmail.com 16003 BreMerton El Paso TX 76928  
Contractor's Name & Address (if none, indicate Self) \_\_\_\_\_

YCF Construction - Daniel 26-2030826 56263  
Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

804 Calle De El Paso  
Address of Proposed Work: \_\_\_\_\_

Re Roof Shingle TO Shingle Red color shingle - From ower corning - heavier shingle - Architectural shingle - high wind resistance  
Description of Proposed Work: \_\_\_\_\_

12,500 Id Feb/17/22  
Estimated Cost \_\_\_\_\_ Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

Signature of property owner: \_\_\_\_\_

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. \_\_\_\_\_ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. \_\_\_\_\_ Site Plan with dimensions and details.
3. \_\_\_\_\_ Foundation plan with details.
4. \_\_\_\_\_ Floor plan showing rooms, their uses and dimensions.
5. \_\_\_\_\_ Cross section of walls
6. \_\_\_\_\_ Roof and floor framing plan
8. \_\_\_\_\_ Proof of legal access to the property.
9. \_\_\_\_\_ Drainage plan.
10. \_\_\_\_\_ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. \_\_\_\_\_ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. \_\_\_\_\_ Proof of legal access to the property.
13. \_\_\_\_\_ Other information as necessary or required by the City Code or Community Development Department (See other side.)

180  
30

# Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor

Map

Legend

## Map Layers

### Layer Visibility:

- Roads
- Buildings
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- MLS Zones
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- 2014 Aerial Photo
- Parcels

Select Search Type:

Account Number ▼

Enter Value:

Search



