



THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A **REGULAR MEETING ON MONDAY, SEPTEMBER 20, 2021**, AT 2:30 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA. **\*\*FOR THE HEALTH & SAFETY OF ALL PUBLIC, MASKS ARE REQUIRED TO ENTER\*\***

1. **PLEDGE OF ALLEGIANCE**

2. **ROLL CALL AND DETERMINATION OF A QUORUM**

3. **CHANGES/APPROVAL OF THE AGENDA**

4. **PUBLIC INPUT** – The public is invited to address the Commission for up to 3 minutes. Space is limited and may require persons giving public input IN PERSON to rotate if capacity of the room is exceeded.

5. **APPROVAL OF CONSENT AGENDA:** (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk \*. These projects were approved in accordance with MTC 15.15.030 (B))

- a) \***PZHAC CASE #061271** – 1937 Parian & 2411 San Albino, submitted by Velia Chavez, for a sealing of the roof(s) due to leaking. **Zoned: Historic Commercial (C).**
- b) \***PZHAC Case #061272** – 2235 Calle de Santa Ana, submitted by ASE construction for a roof repair due to leaking. **Zoned: Historic Residential (HR).**
- c) \***PZHAC Case #061273** – 216 Capri Rd., submitted by Don Peterson for the installation of a new front door. **Zoned: Single Family Residential (R-1).**
- d) \***PZHAC Case #061274** – 2546 Calle de Parian, submitted by Mike Lopez for a repaint of the house and trim the same color. **Zoned: Historic Residential (HR).**
- e) \***PZHAC Case #061275** – 2641 Calle de Guadalupe, submitted by Pat Taylor for a re-lime plastering of exterior walls and maintenance of paint to same color. **Zoned: Historic Commercial (HC).**

6. **NEW BUSINESS**

- a) **PZHAC Case #061276** – 216 Capri Road, submitted by Don Peterson for the installation of a 10x16 storage shed on an existing cement slab. **Zoned: Single Family Residential (R-1).**
- b) **PZHAC Case #061277** – 2322 Calle Principal, submitted by Pat Taylor for the installation of a new half round gutter (aluminum) and the installation of a rain barrel with screening behind Del Sol. **Zoned: Historic Commercial (HC).**
- c) **PZHAC Case #061278** – 1912 Calle de Santiago, submitted by Pat Taylor on behalf of Robert Tustin, for the installation of a new half round gutter (aluminum) on the north side of the roof at overhang. **Zoned: Historic Commercial (HC).**
- d) **PZHAC Case #061279** – 2220 Calle de Parian A, submitted by Glenn Cutter for a wall sign, a freestanding sign and parking signs. **Zoned: Historic Commercial (HC).**
- e) **PZHAC Case #061280** – 2750 Valle Grande, submitted by Victor Sloan for a poll room and outdoor kitchen. **Zoned: Rural Farm (RF).**
- f) **PZHAC Case #061281** – 1280 Rosita Court, submitted by Steven of Western Builders LLC for a new dwelling with a two car-garage. **Zoned: Single Family Residential (R-1).**
- g) **PZHAC Case #061282** – 2391 Calle de Parian, submitted by Robert Reynolds for the installation of a 4ft gate between his properties. **Zoned: Historic Residential (HR).**

**7. COMMISSION/STAFF COMMENTS**

**8. ADJOURNMENT**

**NOTICE**

If you need an accommodation for a disability to enable you to full participate in the hearing or meeting, please contact us at 524.3262 at least 72 hours prior to the meeting. A copy of the agenda packet can be found online at [www.mesillanm.gov](http://www.mesillanm.gov).

Posted 9/17/2021 at the following locations: Town Clerk's Office 2231 Avenida de Mesilla, Public Safety Building 2670 Calle de Parian, Mesilla Community Center 2251 Calle de Santiago, Shorty's Food Mart 2290 Avenida de Mesilla, Ristramn Chile Co., 2531 Avenida de Mesilla and the U.S. Post Office 2253 Calle de Parian.

**TOWN OF MESILLA  
ZONING APPROVAL**

**OFFICIAL USE ONLY:**  
Case # \_\_\_\_\_  
Fee \$ \_\_\_\_\_

**PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

130.00  
+ 22.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: HR CODE: \_\_\_\_\_ APPLICATION DATE: 9/7/21

Name of Property Owner: Mary Frances Leslie  
Property Owner's Telephone Number: \_\_\_\_\_  
Property Owner's Mailing Address: P.O. Box 961 City: Mesilla State: N.Mex Zip Code: 88046

Property Owner's E-mail Address: \_\_\_\_\_  
Contractor's Name & Address (If none, indicate Self): ASE Construction LLC 2001 E Kohman Ave Ste 110 # 268 LC NM 88001

Contractor's Telephone Number: 575 571 7999 Contractor's Tax ID Number: 03-529160-00-5 Contractor's License Number: 1102552

Address of Proposed Work: 2235 Calle de Santa Ana

Description of Proposed Work: Partial re-roof of aprox 200sqft of torch-down roofing membrane - roof is currently leaking

Estimated Cost: \$ 7,306.21 Signature of Applicant: Patricia Paul Date: 9/7/21

Signature of property owner: Mary F. Leslie

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

**FOR OFFICIAL USE ONLY**

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PERMISSION ISSUED/DENIED BY: Nora L. Bango ISSUE DATE: 9/7/21

**THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:**

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**TOWN OF MESILLA  
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061271

Fee \$ 152.50

*(Handwritten initials)*

**PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Name of Property Owner: Velia Chavez Property Owner's Telephone Number: 575. 572-7252  
 Property Owner's Mailing Address: P.O. Box 42 Mesilla City: \_\_\_\_\_ State: N.M. Zip Code: 88046

Property Owner's E-mail Address: \_\_\_\_\_

Contractor's Name & Address (If none, indicate Self): Self

Contractor's Telephone Number: \_\_\_\_\_ Contractor's Tax ID Number: \_\_\_\_\_ Contractor's License Number: \_\_\_\_\_

Address of Proposed Work: 1937 Parian e 2411 San Albino

Description of Proposed Work: Buildings are leaking due to rain - patch up all leaks by putting coating to seal cracks.

Estimated Cost: \$1500 Signature of Applicant: Velia Chavez Date: 09.03.2021

Signature of property owner: \_\_\_\_\_

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**FOR OFFICIAL USE ONLY**

PZHAC  Administrative Approval *(initials)* BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: Cynthia O'Leary ISSUE DATE: 9/3/21

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
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8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**Town of Mesilla  
PLAN APPROVED  
FOR COMPLIANCE WITH  
TOWN ZONING CODE**

By: (Signature) Date: 9/3/21

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

### BUILDING PERMIT REQUIREMENTS

A. Completed application, including:

1. Applicant's name
2. Applicant/property owners contact information
3. Physical address of property
4. Description of work to be done, including dimensions of any construction or repairs
5. Value of work to be done
6. Property owner's signature on the application

B. Include all information required in the checklist at the bottom of the application.

C. Additional information required:

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TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:  
Case # 061273  
Fee \$ 54.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: R1 CODE: M1 APPLICATION DATE: \_\_\_\_\_

Don Peterson 303.710.9689  
Name of Property Owner Property Owner's Telephone Number

216 Capri Rd Mesilla NM 88005  
Property Owner's Mailing Address City State Zip Code

SAGENU3@yahoo.com  
Property Owner's E-mail Address

SELF  
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 216 Capri Rd

Description of Proposed Work: INSTALL NEW FRONT DOOR, Paint color to match existing trim color (cream color)

\$ 500- [Signature] 8/25/2021  
Estimated Cost Signature of Applicant Date

Signature of property owner: SAME

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES  NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: Nora L. Boney ISSUE DATE: 9/14/21

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
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- Floor plan showing rooms, their uses and dimensions.
- Cross section of walls
- Roof and floor framing plan
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the City Code or Community Development Department (See other side.)

PLAN APPROVED FOR COMPLIANCE WITH TOWN ZONING CODE  
By: [Signature] Date: 9/14/21

**The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)**

**BUILDING PERMIT REQUIREMENTS**

A. Completed application, including:

1. Applicant's name
2. Applicant/property owners contact information
3. Physical address of property
4. Description of work to be done, including dimensions of any construction or repairs
5. Value of work to be done
6. Property owner's signature on the application

B. Include all information required in the checklist at the bottom of the application.

C. Additional information required:

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Existing door

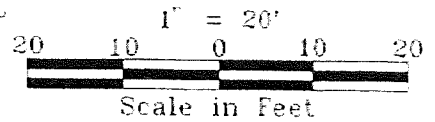




New door

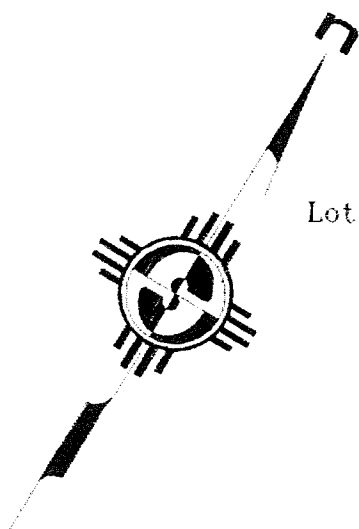
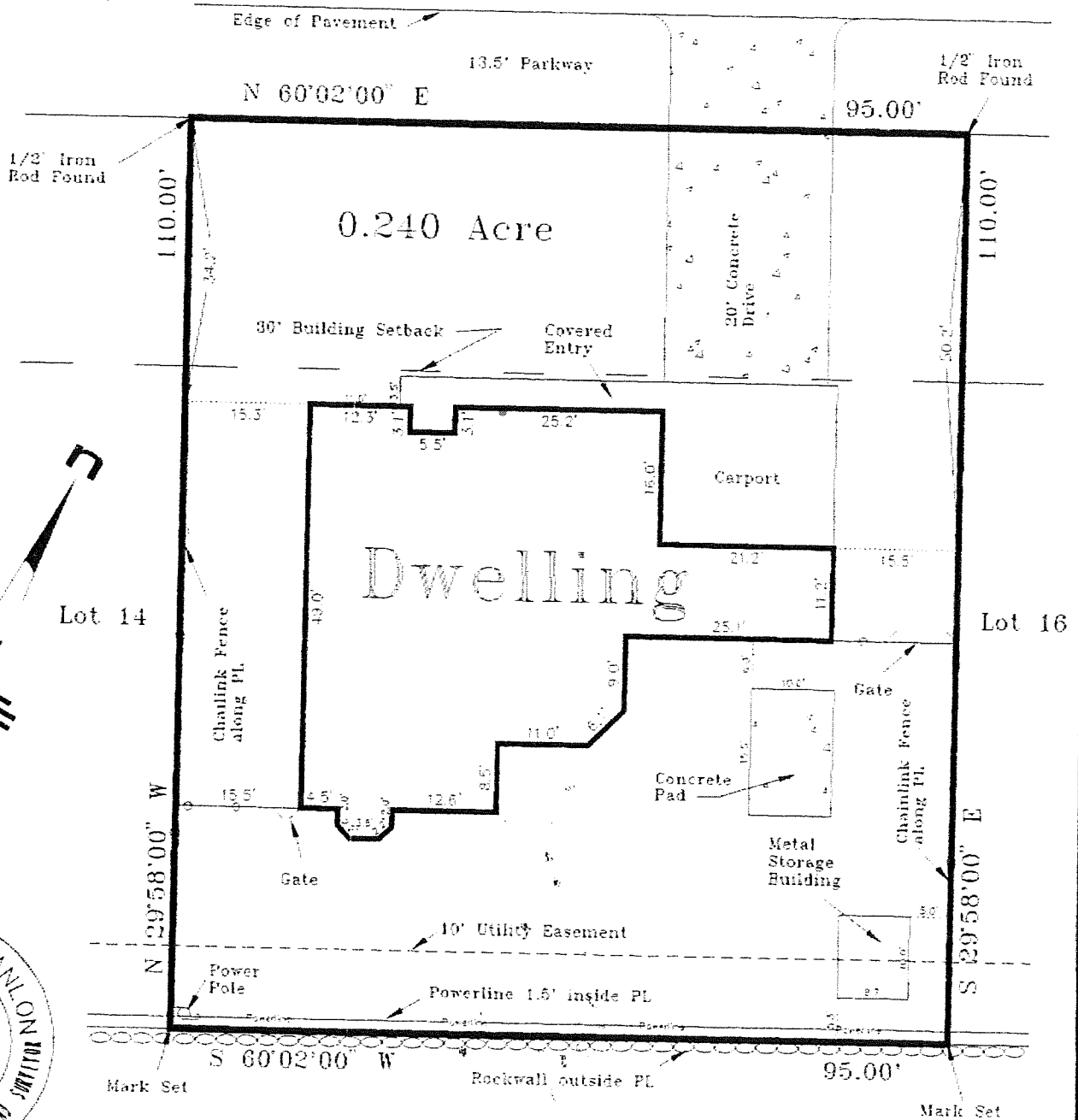
# PLAT OF SURVEY

PROPERTY IS IN AN 'X' DESIGNATED ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP. COMMUNITY PANEL NO. 35013C0633 E. EFFECTIVE SEPTEMBER 27, 1991.



LOT 15, BLOCK C  
MESILLA PARK MANOR PLAT 3C  
PLAT FILED JULY 20, 1964, IN  
BOOK 9, PAGE 35, OF THE  
DONA ANA COUNTY RECORDS  
TOWN OF MESILLA  
DONA ANA COUNTY  
NEW MEXICO

*216 Capri Road*  
(50' R/W)



SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT, MEETING THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Terence G. Scanlon*  
TERENCE G. SCANLON - REG. NO. 9433  
543 N. WATER STREET, LAS CRUCES, NM 88001

SEPT. 6, 2001  
DATE OF SURVEY

|           |               |
|-----------|---------------|
| DESIGN BY | BRADY         |
| FIELD BY  | D. MADRID     |
| JOB NO.   | 01-08-0599    |
| DATE      | SEPT. 6, 2001 |



**scanlon white inc.**  
540 North Water Street  
Las Cruces, New Mexico 88001  
Phone: (505) 525-2112  
Fax: (505) 525-1226

**TOWN OF MESILLA  
ZONING APPROVAL**

**OFFICIAL USE ONLY:**

Case # \_\_\_\_\_

Fee \$ \_\_\_\_\_

**PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Name of Property Owner: Mike B. Lopez Property Owner's Telephone Number: 575-642-1839  
 Property Owner's Mailing Address: P.O. Box 533 City: MESILLA State: N. Mexico Zip Code: 88046

Property Owner's E-mail Address: \_\_\_\_\_

Contractor's Name & Address (If none, indicate Self): \_\_\_\_\_

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 2546 Calle de Parian

Description of Proposed Work: repaint house & trim (same colors)

Estimated Cost: \$ 170.00 Signature of Applicant: Mike B. Lopez Date: 9-8-21

Signature of property owner: Mike B. Lopez

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**PZHAC**  Administrative Approval **BOT**  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES  NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: Nara L. Baurage ISSUE DATE: 9/16/21

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. \_\_\_\_\_ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. \_\_\_\_\_ Site Plan with dimensions and details.
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  4. \_\_\_\_\_ Floor plan showing rooms, their uses and dimensions.
  5. \_\_\_\_\_ Cross section of walls
  6. \_\_\_\_\_ Roof and floor framing plan
  8. \_\_\_\_\_ Proof of legal access to the property.
  9. \_\_\_\_\_ Drainage plan.
  10. \_\_\_\_\_ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  11. \_\_\_\_\_ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  12. \_\_\_\_\_ Proof of legal access to the property.
  13. \_\_\_\_\_ Other information as necessary or required by the City Code or Community Development Department (See other side.)

lgal  
~~Int Flat~~ House  
Ovat

ARMAGNAC  
165WZ103

rim

2009-5  
Fall Leaf

lgal  
~~Int Flat~~ House  
Ovat

ARMAGNAC  
165WZ103

rim

2009-5  
Fall Leaf

- [Account Search](#)
- [View Created Report\(s\)](#)
- [Help?](#)
- [Logout Public](#)

**Account: R0400468 \*Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.**



*2546 Calle de Parian*

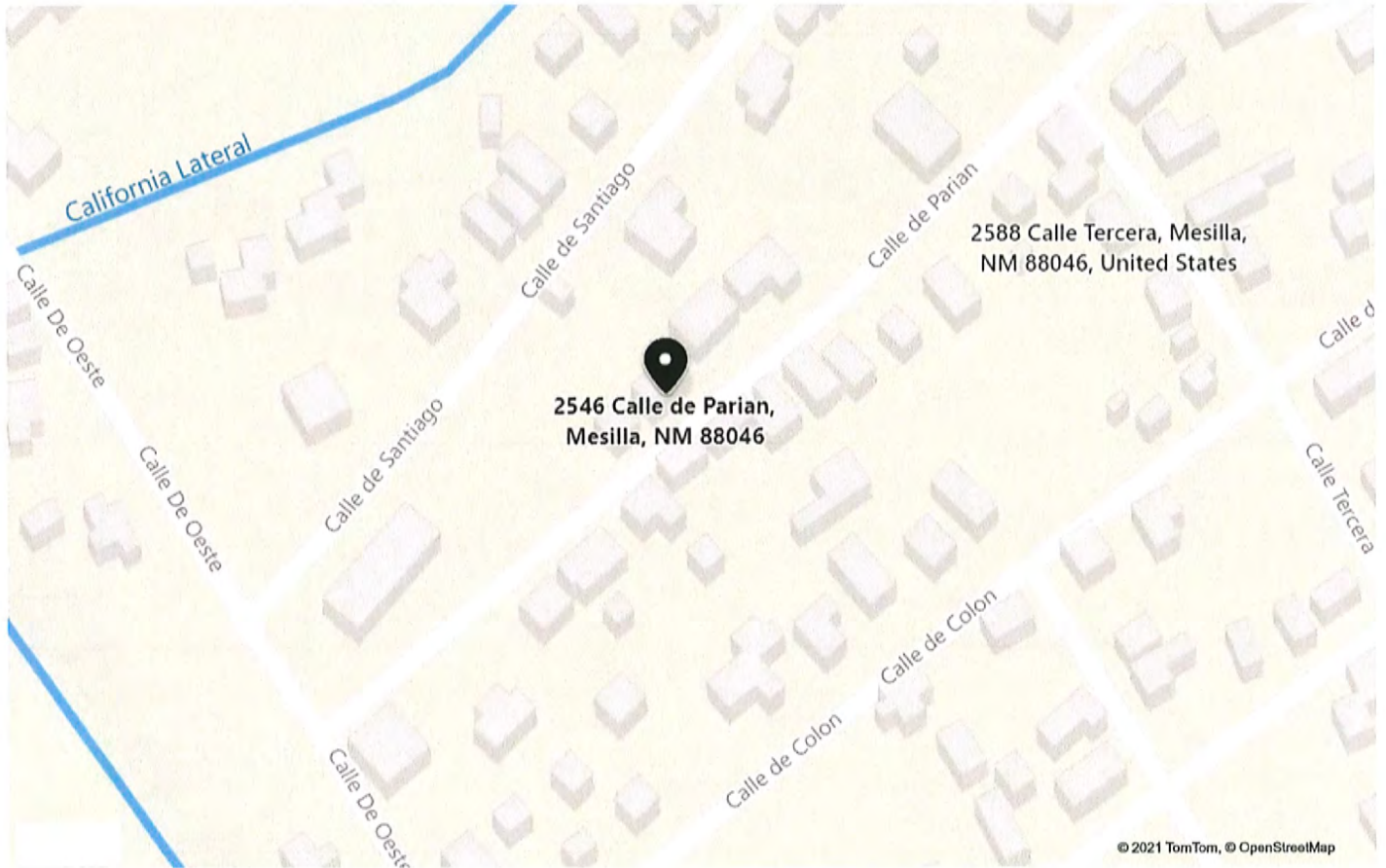




bing maps

**2546 Calle de Parian, Mesilla, NM 88046**

**Location:** 32.270912, -106.7990518



**TOWN OF MESILLA  
ZONING APPROVAL**

OFFICIAL USE ONLY:  
Case # \_\_\_\_\_  
Fee \$ \_\_\_\_\_

**PERMISSION TO CONDUCT WORK  
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2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

PAUL TAYLOR (PAUL TAYLOR REP) 575-526-~~82~~7995  
Name of Property Owner Property Owner's Telephone Number

PO BOX 133 Mesilla NM 88046  
Property Owner's Mailing Address City State Zip Code

pat.taylor@centcast.net  
Property Owner's E-mail Address

PAUL TAYLOR  
Contractor's Name & Address (If none, indicate Self)

575-526-7995 02-131095-005 365860  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2231 AVENIDA DE MESILLA

Description of Proposed Work: RE LINE PLASTERING EXTERIOR WALLS, MAINTENANCE COAT TO MATCH EXISTING. SEEKING ADMINISTRATIVE APPROVAL.

\$ 800 Estimated Cost  
[Signature] Signature of Applicant Date 9/8/21

Signature of property owner \_\_\_\_\_

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 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
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 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES  NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PERMISSION ISSUED/DENIED BY: Nora L. Baum ISSUE DATE: 9/16/21

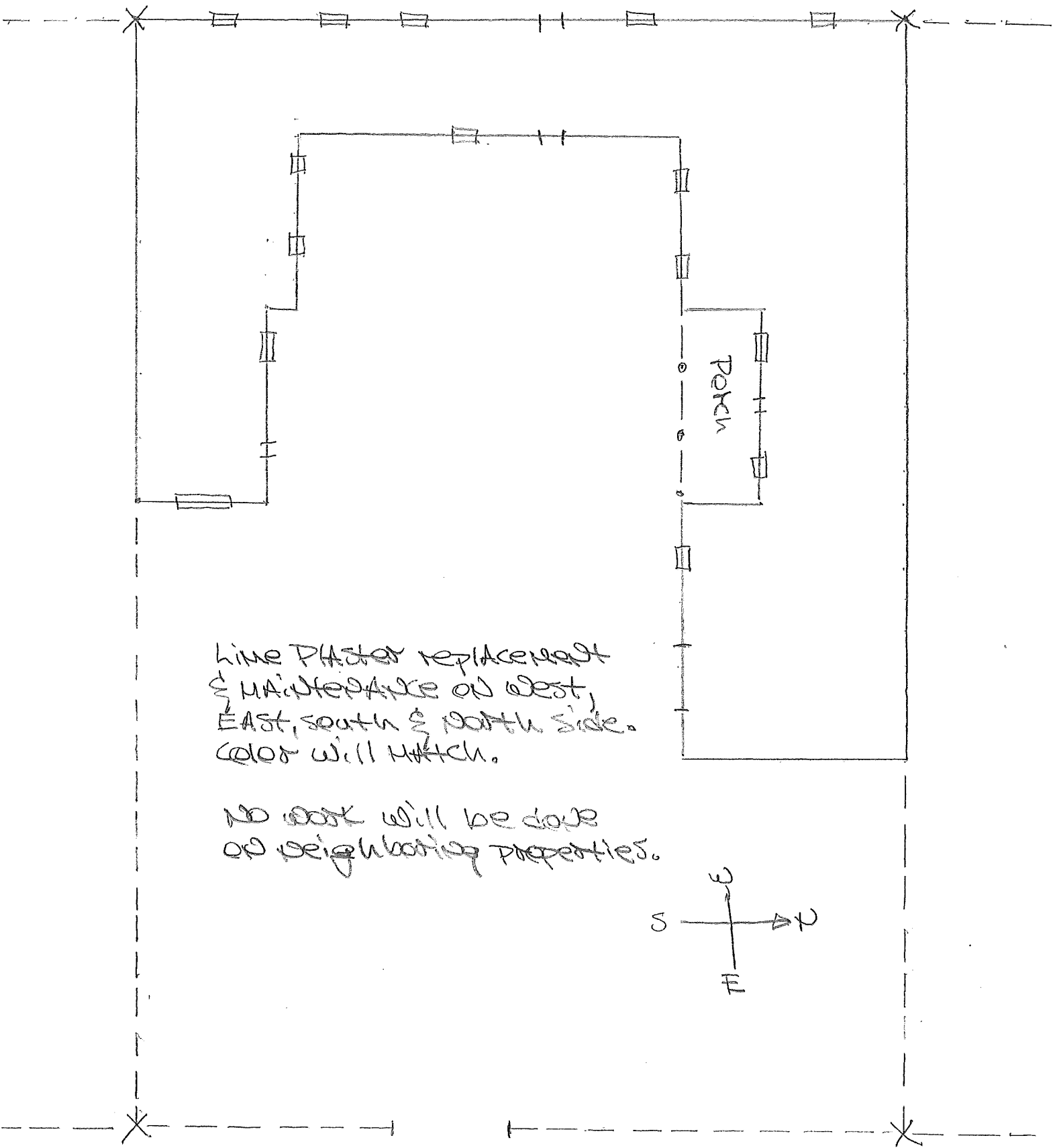
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  - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  - Proof of legal access to the property.



Site plan J. PAUL TAYLOR 2641 Calle Guadalupe

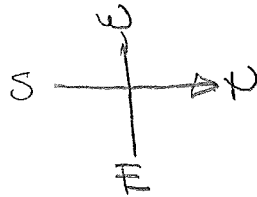
4

Calle Guadalupe



Line Plaster replacement  
 & MAINTENANCE ON WEST,  
 EAST, SOUTH & NORTH SIDE.  
 COLOR WILL MATCH.

NO WORK WILL BE DONE  
 ON NEIGHBORING PROPERTIES.



Calle San Albino

2641 Calle Guadalupe



# MOY SURVEYING, INC.

414 N. DOWNTOWN MALL • LAS CRUCES, NM 88001 • PHONE (505) 525-9683 • FAX (505) 524-3238

OCTOBER 21, 1991

## DESCRIPTION OF A 0.3320 ACRE TRACT

A tract of land situate in the Town of Mesilla, Dona Ana County, New Mexico, in Section 25, T.23S., R.1E., N.M.P.M. of the U.S.R.S. Surveys, being part of U.S.R.S. Tract 11A-49B and U.S.R.S. Tract 11A-49A and more particularly described as follows, to wit:

Beginning at an iron rod found on the East line of Calle De Guadalupe for the Northwest corner of the tract herein described; whence the Southwest corner of Section 25, T.23S., R.1E., bears S.85°09'05"W., a distance of 2859.21 feet;

Thence from the point of beginning and leaving the East line of Calle De Guadalupe and going through a building, N.47°27'18"E., 50.51 feet to a point;

Thence along the North line of a building, N.50°11'40"E., 17.40 feet to a point;

Thence continuing along the North line of said building, N.51°37'58"E., 28.92 feet to a point;

Thence N.51°47'19"E., 48.81 feet to an iron rod found on the West line of Calle De San Albino for the Northeast corner of this tract;

Thence along the West line of Calle De San Albino, S.39°32'30"E., 95.00 feet to an iron rod found for the Southeast corner of this tract;

Thence leaving the West line of Calle De San Albino, S.48°40'11"W., 149.46 feet to an iron rod found on the East line of Calle De Guadalupe for the Southwest corner of this tract;

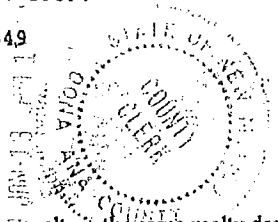
Thence along the East line of Calle De Guadalupe, N.37°18'38"W., 98.74 feet to the point of beginning, containing 0.3320 acre of land, more or less. Subject to any easements and restrictions of record.

Information in the preparation of this description derives from previous plat of survey by B & M surveys dated October 5, 1976 and survey by NMPLS No. 6832, dated April 3, 1984. A plat was prepared under Job #94-1849. Field Notes by Moy Surveying, Inc. License No. 5939.

Job #94-1849

TECHN0001061

596-597  
No. 3  
Michele...



The above realty is the same realty described as Property #1 and #8 in the Last Will of Lorenzo S. Fietze executed on December 15, 1988 and filed in the case styled In the Matter of the Estate of Maria Fietze and Lorenzo Fietze, Third Judicial District Court of New Mexico, No. FB-94-89. Said Property #1 and #8 are described as follows:

### PROPERTY #1

Remainder interest in the tract of land situated in Square No. 35 of the Town of Mesilla and containing thirty-six (36) varas in width from N.W. to S.E. and fifty (50) varas in depth from N.E. to S.W., being the identical real estate described in Special Master's Deed dated January 31, 1969, recorded in Deed Book 202, p. 145 of the records of Dona Ana County, N.M., which is subject to the life estate in favor of Lucia Fietze.

### PROPERTY #8

A 0.3277 acre tract situated within the town limits of Mesilla, Dona Ana County, N.M. in the S 1/2 of Section 25, T.23S., R.1E, N.M.P.M., U.S.R.S. Surveys and is all of U.S.R.S. Tract 11A-49A and is a portion of U.S.R.S. Tract 11A-49B.

507 596-597 A

**TOWN OF MESILLA  
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # \_\_\_\_\_

Fee \$ \_\_\_\_\_

**PERMISSION TO CONDUCT WORK  
OR**

**OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Don Peterson \_\_\_\_\_ 303.710.9689 \_\_\_\_\_  
Name of Property Owner Property Owner's Telephone Number

216 Capri Rd Mesilla \_\_\_\_\_ NM \_\_\_\_\_ 88005 \_\_\_\_\_  
Property Owner's Mailing Address City State Zip Code

SAGENULT3@YAHOO.COM \_\_\_\_\_  
Property Owner's E-mail Address

SELF \_\_\_\_\_  
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 216 Capri Rd \_\_\_\_\_

Description of Proposed Work: Construct 10' x 16' shed on existing pad where a shed once stood \_\_\_\_\_

\$ 4,000 \_\_\_\_\_ [Signature] \_\_\_\_\_ 8.19.2021 \_\_\_\_\_  
Estimated Cost Signature of Applicant Date

Signature of property owner: \_\_\_\_\_

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

**FOR OFFICIAL USE ONLY**

PZHAC  Administrative Approval  BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. \_\_\_\_\_ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. \_\_\_\_\_ Site Plan with dimensions and details.
  3. \_\_\_\_\_ Foundation plan with details.
  4. \_\_\_\_\_ Floor plan showing rooms, their uses and dimensions.
  5. \_\_\_\_\_ Cross section of walls
  6. \_\_\_\_\_ Roof and floor framing plan
  8. \_\_\_\_\_ Proof of legal access to the property.
  9. \_\_\_\_\_ Drainage plan.
  10. \_\_\_\_\_ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  11. \_\_\_\_\_ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  12. \_\_\_\_\_ Proof of legal access to the property.
  13. \_\_\_\_\_ Other information as necessary or required by the City Code or Community Development Department (See other side.)

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

**BUILDING PERMIT REQUIREMENTS**

A. Completed application, including:

1. Applicant's name
2. Applicant/property owners contact information
3. Physical address of property
4. Description of work to be done, including dimensions of any construction or repairs
5. Value of work to be done
6. Property owner's signature on the application

B. Include all information required in the checklist at the bottom of the application.

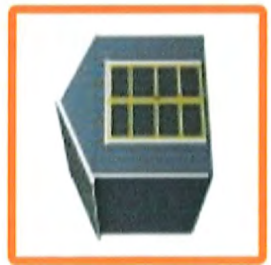
C. Additional information required:

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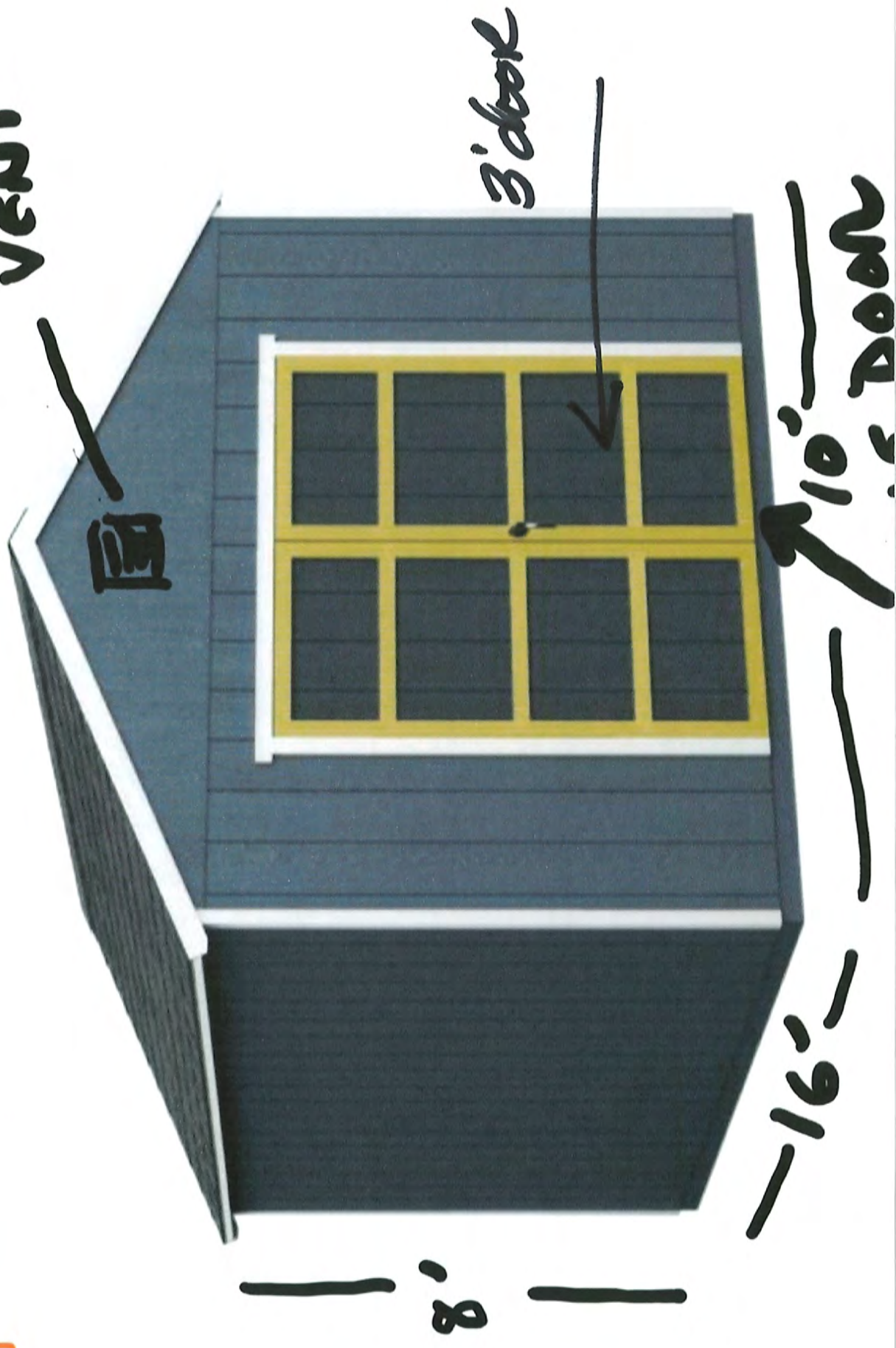
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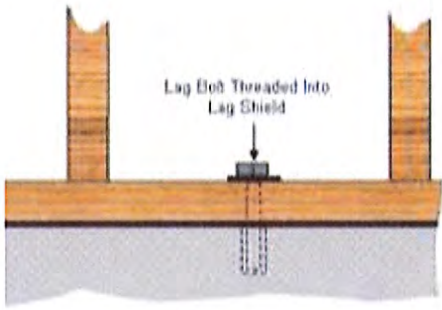
**PITCH TO MATCH ROOF  
SHINGLES TO MATCH ROOF**

**VENT**



**8'**

**10' DOOR**

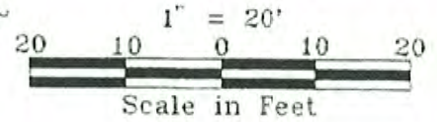


her wooden structure to a concrete pad



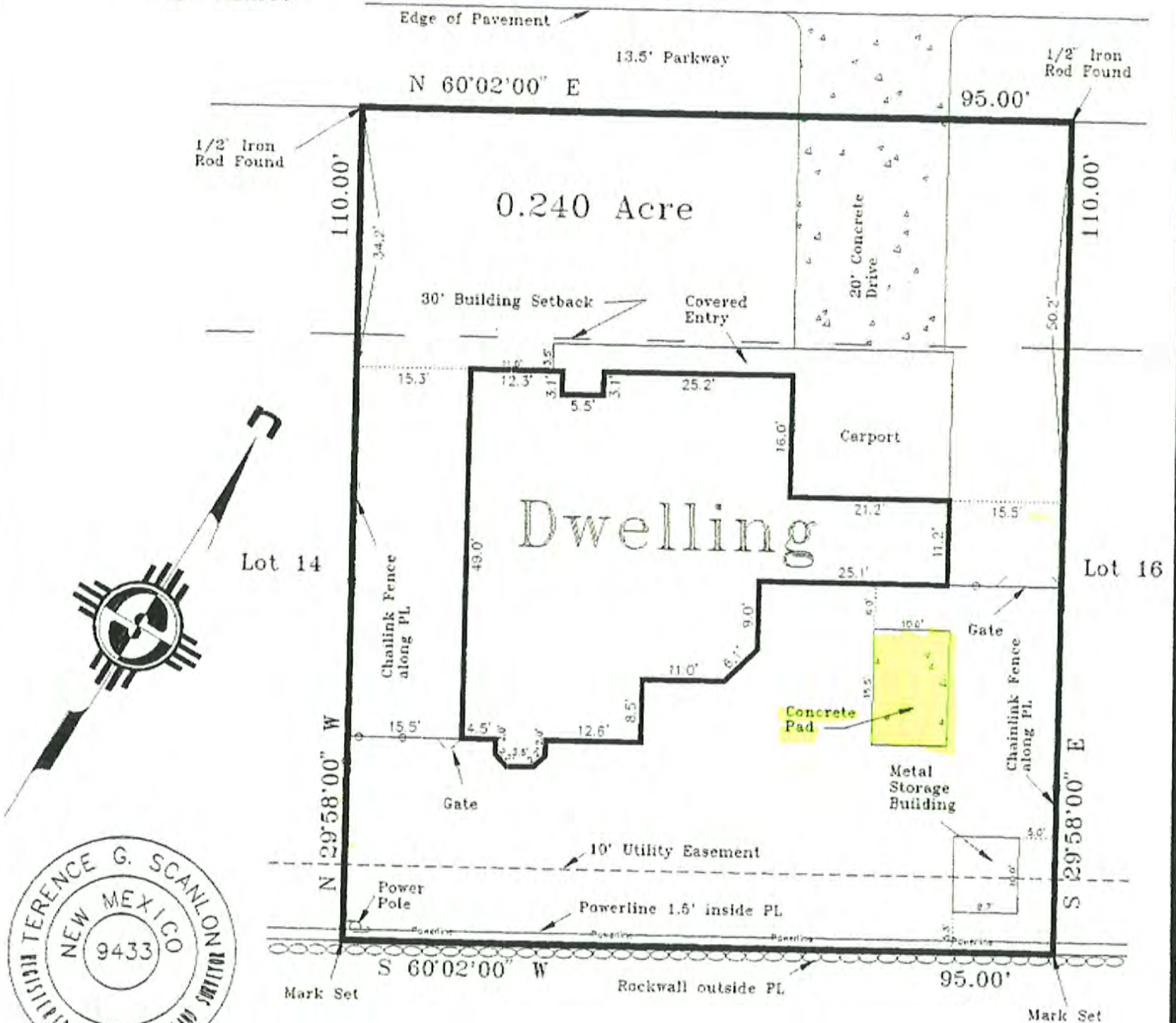
# PLAT OF SURVEY

PROPERTY IS IN AN 'X' DESIGNATED ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 35013C0633 E, EFFECTIVE SEPTEMBER 27, 1991.



LOT 15, BLOCK C  
MESILLA PARK MANOR PLAT 3C  
PLAT FILED JULY 20, 1964, IN  
BOOK 9, PAGE 35, OF THE  
DONA ANA COUNTY RECORDS  
TOWN OF MESILLA  
DONA ANA COUNTY  
NEW MEXICO

*216 Capri Road*  
(50' R/W)



SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT, MEETING THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Terence G. Scanlon*

TED G. SCANLON - P.S. NO. 9433  
540 N. WATER STREET, LAS CRUCES, NM 88001

SEPT. 6, 2001  
DATE OF SURVEY



|           |               |
|-----------|---------------|
| DRAWN BY: | BRADY         |
| FIELD BY: | D. MADRID     |
| JOB NO.:  | 01-08-0599    |
| DATE:     | SEPT. 6, 2001 |

540 North Water Street  
Las Cruces, New Mexico 88001  
Phone: (505) 525-2112  
Fax: (505) 525-1226







**TOWN OF MESILLA  
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # \_\_\_\_\_

Fee \$ \_\_\_\_\_

**PERMISSION TO CONDUCT WORK  
OR**

**OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

F. PAUL TAYLOR (PAT TAYLOR REPRESENTING) 575-526-7995  
Name of Property Owner Property Owner's Telephone Number

PO BOX 133 MESILLA, NM 88046  
Property Owner's Mailing Address City State Zip Code

pataylor@comcast.net  
Property Owner's E-mail Address

PAT TAYLOR  
Contractor's Name & Address (If none, indicate Self)

575-526-7995 02-131095-005 365860  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2322 Calle Principal

Description of Proposed Work: REPLACEMENT OF WEST SIDE GUTTER WITH NEW HALF ROUND GUTTER (ALUMINUM). INSTALLATION OF INLET PANEL ON SIDE NEAR DE SOL SHOP (SEE MAP)  
\$ RAIN WATER will be screened

Estimated Cost: \$2500 Signature of Applicant: [Signature] Date: 9/8/21

Signature of property owner: \_\_\_\_\_

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**FOR OFFICIAL USE ONLY**

**PZHAC**  Administrative Approval **BOT**  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
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  8. Proof of legal access to the property.
  9. Drainage plan.
  10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  12. Proof of legal access to the property.

EAST

2300 CALLE PRINCIPAL

DEL SOL SHOPS

NORTH

Gutter

SLAB

RAIN BARREL

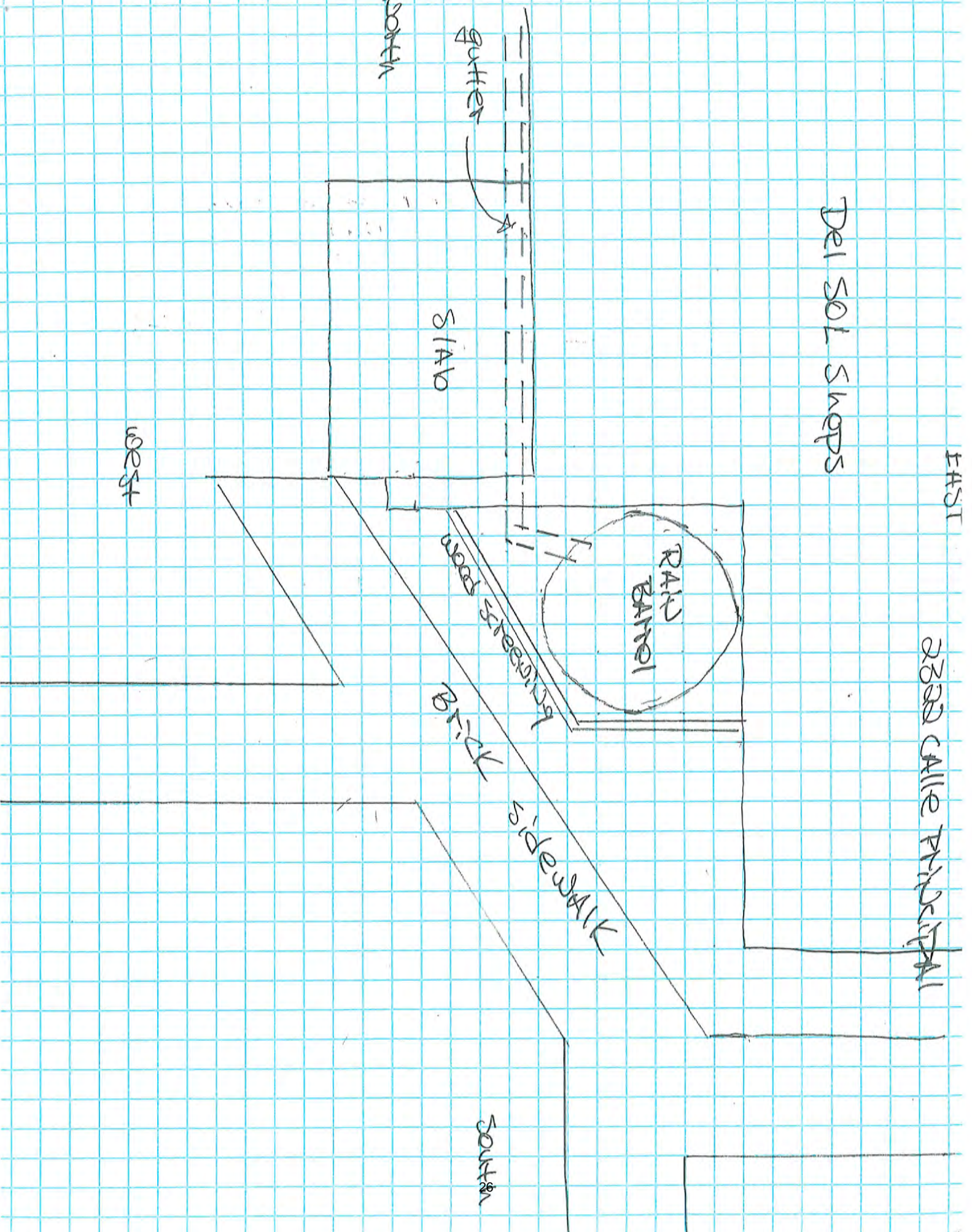
WOOD SCREENING

BRICK

sidewalk

WEST

SOUTH







TOWN OF MESILLA  
ZONING APPROVAL

Case # \_\_\_\_\_  
Fee \$ \_\_\_\_\_

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Robert Tustin 575-571-1248  
Name of Property Owner Property Owner's Telephone Number

11320 SE LINCOLN ST. TONTIAW OR 97216  
Property Owner's Mailing Address City State Zip Code

bobtstin@zianet.com  
Property Owner's E-mail Address

PA TAYLOR PO BOX 673 MESILLA, NM 88046  
Contractor's Name & Address (if none, indicate Self)

575 526 7995 02131095 Lic# 365860  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 1912 Calle Santiago

Description of Proposed Work: INSTALLATION OF GUTTER SYSTEM ON NORTH SIDE OF ROOF AT OVERHANG

\$ 4000 Robert Tustin 9/10/2021  
Estimated Cost Signature of Applicant Date

Signature of property owner: Robert Tustin

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FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval  Approved Date: \_\_\_\_\_  
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PZHAC APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

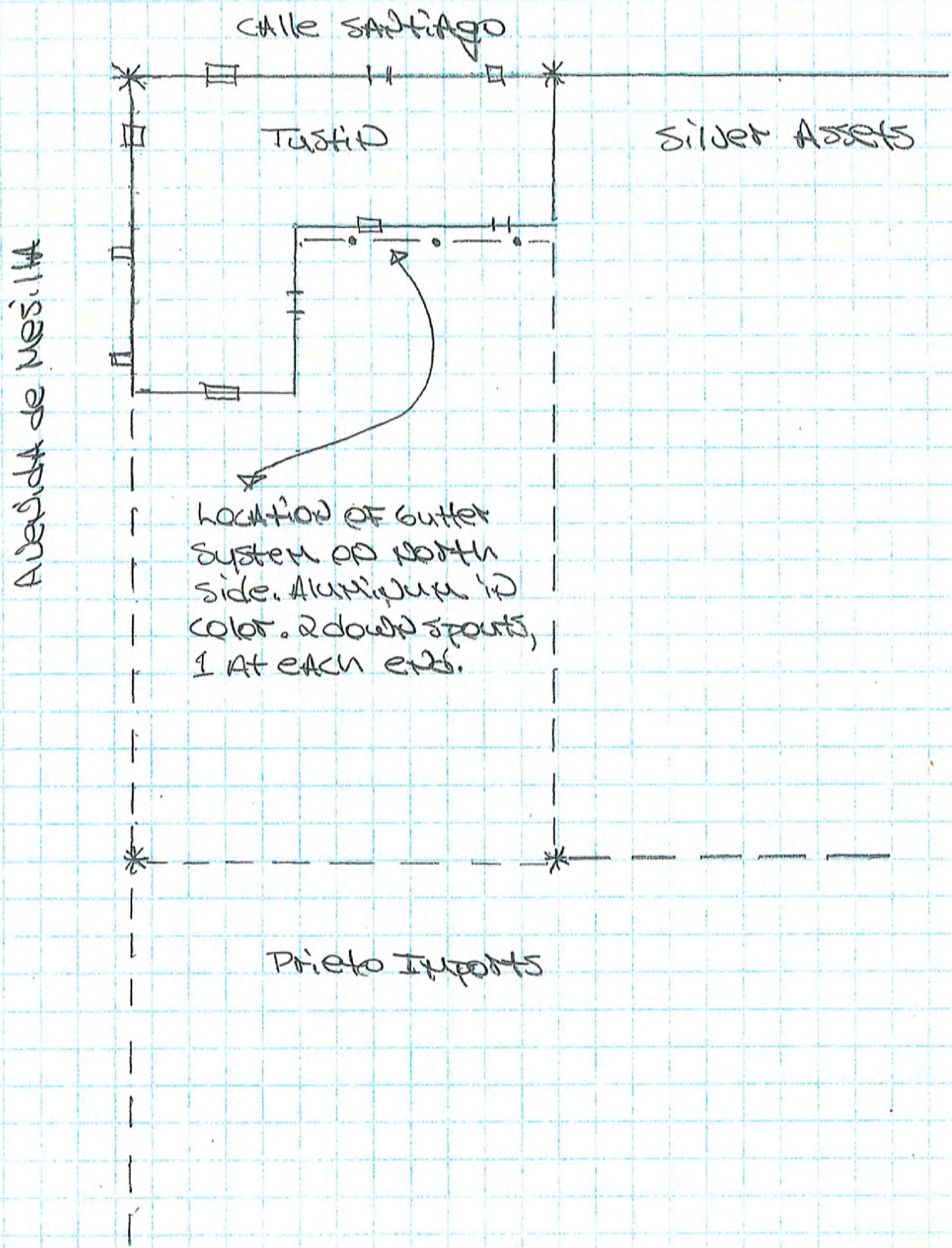
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12. Proof of legal access to the property.

Site Plan

ROBERT JUSTIN 1912 CALLE SANTIAGO

4



# Property Record Card

Doña Ana Assessor

**TUSTIN ROBERT LEE**

11320 SE LINCOLN ST  
PORTLAND, OR 97216

**Account: R0400337**

Tax Area: 2DIN\_R - 2DIN\_R

Acres: 0.000

**Parcel: 4-006-137-253-405**

Situs Address:  
1912 CALLE DE SANTIAGO  
Mesilla, 88046

Neighborhood

S11 - MESILLA

**Legal Description**

S: 25 T: 23S R: 1E BRM 11A TR 19B



**Land Occurrence 1**

|                 |                         |             |                   |
|-----------------|-------------------------|-------------|-------------------|
| Property Code   | 0100 - RESIDENTIAL LAND | Electricity | OE - OVER-ELECTRC |
| Gas             | G - GAS                 | Measure     | SF - PER-SQ-FOOT  |
| Sewer Type      | CM - COMM-SEWER         | Street Code | A - ASPHALT       |
| Topography Code | L - LEVEL               | SQFT        | 5227              |
| Zoning          | HC - HIST-COMMERL       |             |                   |

| SubArea | ACTUAL | EFFECTIVE | HEATED | FOOTPRINT |
|---------|--------|-----------|--------|-----------|
| Sq Ft   |        |           |        |           |
| Total   |        |           |        |           |

**Residential Occurrence 1**

|                     |                                |                      |                   |
|---------------------|--------------------------------|----------------------|-------------------|
| Property Code       | 0120 - RESIDENTIAL IMPROVEMENT | Actual Year Built    | 1800              |
| Architectural Style | PB - PUEBLO                    | Baths                | 1                 |
| Bedrooms            | 2                              | Building Type        | PS - PRNCPL-SNGLE |
| Condition           | AVERAGE                        | Construction Quality | F - FAIR          |
| Heating Fuel        | G - GAS                        | Heating Type         | NH - NO-HEAT      |
| Percent Complete    | 100                            | Roof Cover           | PR - PR-ROLL      |
| Roof Structure      | F - FLAT                       | Stories              | 1.0               |
| Exterior Wall       | AS - ADOBE-STUCOD              | Percent              | 100               |





OFFICIAL USE ONLY:

Case # \_\_\_\_\_

Fee \$ \_\_\_\_\_

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ APPLICATION DATE: 9-13-21

CUTTER Gallery  
Business Name

575-541-0658  
Business Telephone Number Cell 575-644-6039

2220 Calle de Porlan  
Business Address City

State Zip Code

Glenn CUTTER  
Applicant Name

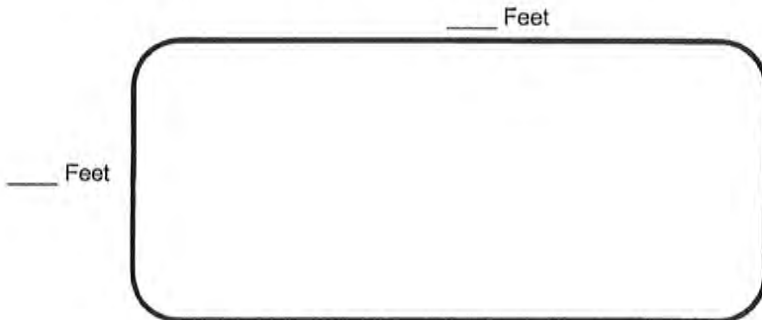
575-644-6039  
Applicant Telephone/Cell Number

P.O. Box 1360 Mesilla N.M  
Mailing Address City State

88046  
Zip Code

Description of sign: \_\_\_\_\_

Please include dimensions, lettering, shape, material, texture, colors, and/or finish to be used on the diagram below.



Attached are 2  
pages showing colors  
& dimensions of the  
sign - prepared by  
ABLE Signs

Colors: Maroon & Gold/Yellow

FOR OFFICIAL USE ONLY

- PZHAC  Administrative Approval
- Approved Date: \_\_\_\_\_
- Disapproved Date: \_\_\_\_\_
- Approved with conditions

- BOT  Approved Date: \_\_\_\_\_
- Disapproved Date: \_\_\_\_\_
- Approved with Conditions

CONDITIONS: \_\_\_\_\_

PERMIT ISSUED BY: \_\_\_\_\_

ISSUE DATE: \_\_\_\_\_

Community Development Department  
2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104  
www.mesilla-nm.gov

**From:** Able Sign Co. info@ablesignco.com  
**Subject:** Proofs and Estimate  
**Date:** September 8, 2021 at 11:19 AM  
**To:** GLENN CUTTER glenncutter@aol.com



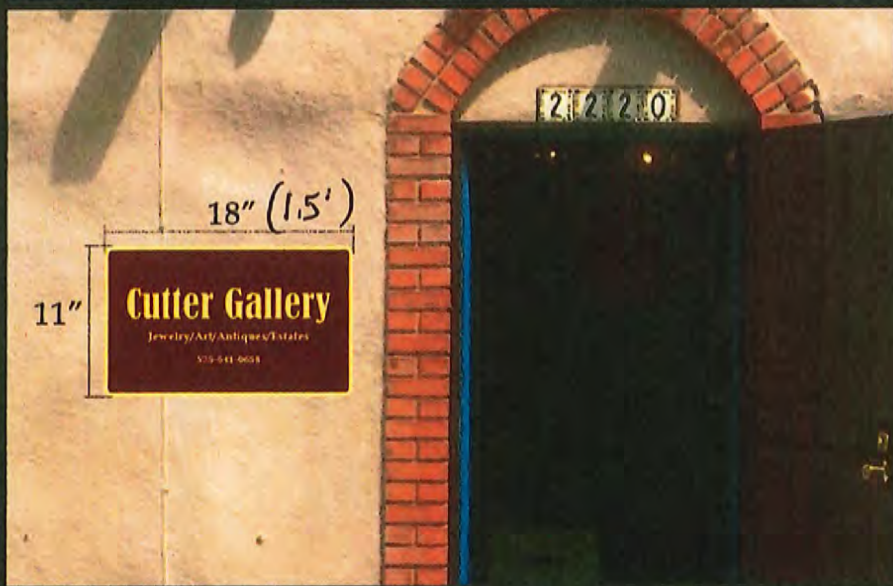
Good morning,  
Attached, are proofs and an estimate for your review.  
We look forward to working together.  
Thank you,  
Silvia

----- Forwarded Message -----  
**Subject:** Cutter Edited  
**Date:** Wed, 8 Sep 2021 11:12:39 -0600  
**From:** Colten <coltbauer1@gmail.com>  
**To:** Jeff Banegas <info@ablesignco.com>

Sent from [Mail](#) for Windows

# Cutter Gallery | EXTERIOR SIGN

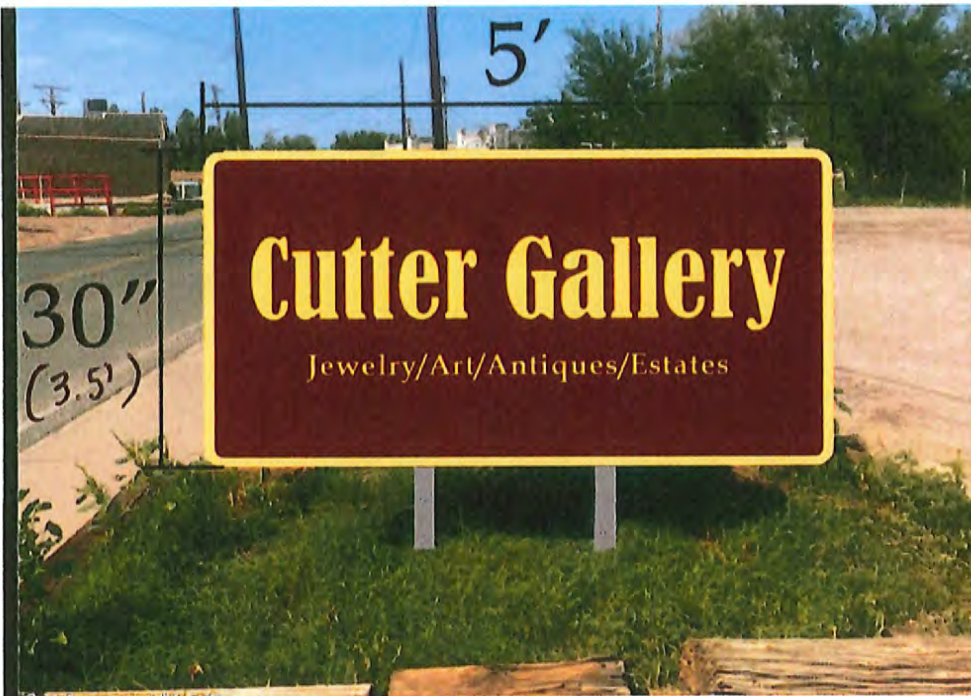
## WALL SIGN



✓ SIGNABOND  
ALUMINUM SHEETE  
IN MAROON VINYL  
WITH TAN VINYL  
LETTERING AND  
PINLINE.

## MONUMENT SIGN





**SIGNABOND  
ALUMINUM SHEETE  
IN MAROON VINYL  
WITH TAN VINYL  
LETTERING AND  
PINLINE. POLES  
PAINTED TAN.**



**SIGNABOND  
ALUMINUM SHEETE  
IN MAROON VINYL  
WITH TAN VINYL  
LETTERING AND  
PINLINE. PARKING  
SIGNS**

**ABLE SIGN CO.**  
811 2ND ST.  
LAS CRUCES, NM 88005  
575-525-1015

**Estimate**

| Date     | Estimate # |
|----------|------------|
| 9/8/2021 | 3033       |

| Name / Address  |
|---|
| Glenn Cutter Gallery<br>2220 Calle de Parian<br>Mesilla, NM 88046 |

| Ship To  |
|--|
| 2220 Calle de Parian<br>Mesilla, NM 88046<br>USA |

E&T Management, LLC  
PO Box 358  
Mesilla Park, NM 88047

September 14, 2021

Attn: Mayor Nora Barraza  
Town of Mesilla  
2231 Avenida de Mesilla  
Mesilla, NM 88046

Dear Mayor Barraza:

This letter is to confirm that Glenn Cutter is currently leasing the property at 2220 Calle de Parian that is owned by one of my LLC's. He does have my permission to develop a sign for his business that will be in compliance with the Town of Mesilla regulations.

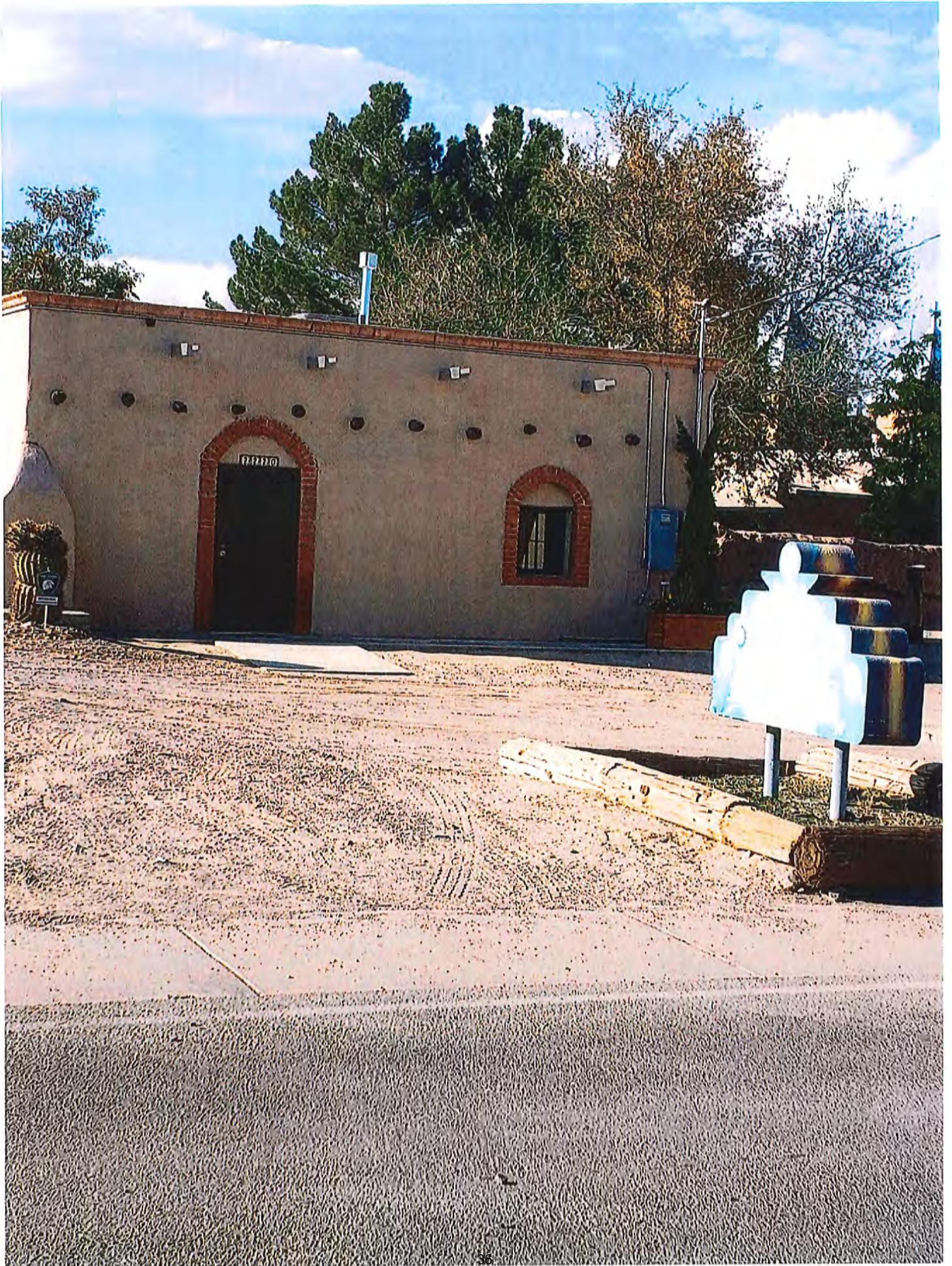
Mr. Cutter has been informed that he will need to submit an application, along with plans, for the sign to the appropriate committee at the Town of Mesilla for review and approval. He has been advised not to purchase the sign or any materials for the sign until he receives said approval.

Please feel free to call me at 915-313-1973 if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads "Teresa V-F Sanchez". The signature is written in a cursive style with a large initial "T" and "S".

Teresa V-F Sanchez, Owner  
TR Fietze, LLC







TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:  
Case # \_\_\_\_\_  
Fee \$ \_\_\_\_\_

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

VICTOR SLOAN (575) 644-8247  
Name of Property Owner Property Owner's Telephone Number

2750 VALLE GRANDE, LAS CRUCES, N.M. 88005  
Property Owner's Mailing Address City State Zip Code

Property Owner's E-mail Address

HAYNER CONSTRUCTION, LLC. 1010 N. ARMILLO LAS CRUCES, N.M. 88005  
Contractor's Name & Address (If none, indicate Self)

(575) 642-7152 03-307920-00-0 38A395  
Contractor's Telephone Number N.M. Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2750 Valle Grande

Description of Proposed Work: Pool Equ. Room & OUTDOOR KITCHEN

\$ 105,800<sup>00</sup> [Signature] 9/15/2021  
Estimated Cost Signature of Applicant Date

Signature of property owner: \_\_\_\_\_

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FOR OFFICIAL USE ONLY

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 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

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11. \_\_\_\_\_ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services). \*
12. \_\_\_\_\_ Proof of legal access to the property. \*
13. \_\_\_\_\_ Other information as necessary or required by the City Code or Community Development Department (See other side.)



1

### WARRANTY DEED

SWAT #036693 CS/es

E. P. Harvey Jr. and Carlitta C. Harvey, husband and wife, for consideration paid, grant to Victor Sloan and Melanie Dawson Sloan, husband and wife, as joint tenants with right of survivorship whose address is 2750 Valle Grande, Las Cruces, New Mexico 88005, the following described real estate in Dona Ana County, New Mexico:

A tract of land situate north of the Town of Mesilla, Dona Ana County, New Mexico, in Section 26, Township 23 South, Range 1 East, N.M.P.M., U.S.R.S. Surveys and is a portion of U.S.R.S. Tract 10-53A and is more particularly described as follows, to wit:

Beginning at a concrete monument found in place for the Southeast corner of this tract, and this also being identical to the southeast corner of U.S.R.S. Tract 10-53A and the Southwest corner of U.S.R.S. Tract 11B-7; Whence from the point of beginning the Southeast corner of the aforesaid Section 26 bears S.45°31'11"W., 1552.58 feet;

Thence from the point of beginning S.58°31'02"W., 323.57 feet to an "X" painted on the north side of a concrete ditch for the southwest corner of this tract; Thence N.27°22'12"W., 677.17 feet to a ½ inch rebar set for the northwest corner of this tract; Thence N.59°21'19"E., 323.28 feet to a concrete monument found for the northeast corner of this tract; Thence S.27°22'12"E., 672.54 feet to the point of beginning containing 5.000 acres of land, more or less.

SUBJECT TO: Restrictions, Reservations and Easements of record.

with warranty covenants.

Witness my hand(s) and seal this 24<sup>th</sup> day of June 2014.

*E. P. Harvey Jr.*  
E. P. Harvey Jr.

*Carlitta C. Harvey*  
Carlitta C. Harvey

### ACKNOWLEDGMENT FOR NATURAL PERSONS


STATE OF NEW MEXICO

COUNTY OF DONA ANA

This instrument was acknowledged before me on this 24<sup>th</sup> day of June 2014 by E. P. Harvey Jr. and Carlitta C. Harvey, husband and wife.

My Commission Expires: 02/10/17  
OFFICIAL SEAL  
CLAY SCHLOTHAUER  
NOTARY PUBLIC - STATE OF NEW MEXICO  
My commission expires: 2/10/17

*[Signature]*  
Notary Public

  
COUNTY OF DONA ANA ) WARRANTY DEED  
STATE OF NEW MEXICO ) ss PAGES: 1

I Heroby Certify That This Instrument Was Filed for Record On JUN 26, 2014 10:32:22 AM And Was Duly Recorded as Instrument # 1412792 Of The Records Of Dona Ana County



Witness My Hand And Seal Of Office,  
Lynn J. Ellms, County Clerk, Dona Ana, NM

Deputy Alma Arroyo



A tract of land situate within the village limits of Mesilla, Dona Ana County, New Mexico located in Section 26, T23S, R1E., N.M.P.M., U.S.R.S., Surveys being Tract No. 10-93A as shown on the U.S.R.S. Property Maps and being more particularly described as follows, to wit:

~~BEING~~ BEGINNING AT THE Northeast corner of the tract herein described whence the Southeast corner of Section 26, T23S, R1E bears S. 31° 30' 14" E. a distance of 2172.18 feet; thence along the West line of County Road No. 225 the following three courses and distances: S. 33° 30' E., 319.80 feet; thence 125.68 feet around the arc of a curve to the right having a radius of 879.93 feet, a central angle of 8° 11' and a chord of 125.57 feet bearing S. 26° 52' 30" E.; thence S. 22° 47' E., 27.24 feet to the Southeast corner of this tract; thence, leaving County Road No. 225, S. 58° 39' 12" W., 380.16 feet for the most part along the center of a concrete ditch to the Southwest corner of this tract; thence N. 27° 22' W., 677.19 feet to the Northwest corner of this tract thence N. 39° 21' 15" E., 327.50 feet to the place of beginning, containing 5.591 acres of land, more or less.

EXHIBIT "A"

WILLEY TRUST PROPERTY

A tract of land situate northwest of Mesilla, Dona Ana County, New Mexico, in Section 26, Township 23 South, Range 1 East N.M.P.M. of the U.S.R.S. Surveys, being U.S.R.S. Tract 10-53A2A Tract 2, and being more particularly described as follows, to wit:

**BEGINNING** at a spindle found for the southwest corner of the tract herein described, whence the southeast corner of Section 26, Township 23 South, Range 1 East, bears the following two courses and distances: North 58 deg. 32'02" East, 1596.24 feet; Thence South 45 deg. 31'11" East 1552.58 feet;

**THENCE** from the point of beginning North 27 deg. 22'12" West, 695.44 feet to a 1/2" inch rebar found, being the northwest corner of the tract herein described;

**THENCE** North 59deg. 21'19" East, 314.72 feet to a 1/2 inch rebar set, being the northeast corner of the tract herein described;

**THENCE** South 27 deg. 22'12" East, 690.92 feet to an "X" marked in a concrete ditch, being the southeast of the tract herein described:

**THENCE** South 58 deg. 32'02" West, 315.01 feet to the point beginning containing 5.000 acres, more or less.

**EXHIBIT "B"**

**DOYLE PROPERTY**

A tract of land situate North of Mesilla, Dona Ana County, New Mexico, located in Section 26, T.23S., R.1E., N.M.P.M. of the U.S.R.S. Surveys, as U.S.R.S. Tract 10-53A2A, Tract 1, and being more particularly described as follows, to wit:

**BEGINNING** at a spotter found on the Southerly line of a 55.00 foot wide road and utility easement (Valle Grande) for the Southeast corner of this tract; **WHENCE** the Southeast corner of Section 26, T.23S., R.1E., N.M.P.M. of the U.S.R.S. Surveys, bears the following two courses and distances: N.58°32'02"E., 964.14 feet; thence S.45°31'11"E., 1552.58 feet;

**THENCE**, from the point of beginning, and along the Southerly line of Valle Grande, S.58°32'02"W., a distance of 317.09 feet to an "X" found for the Southwest corner of this tract;

**THENCE**, leaving the Southerly line of Valle Grande, N.27°22'12"W., a distance of 690.92 feet to a 1/2 iron rod found for the Northwest corner of this tract;

**THENCE** N.59°21'19"E., a distance of 316.80 feet to a 1/2" iron rod found for the Northeast corner of this tract;

**THENCE** S.27°22'12"E., a distance of 686.36 feet to the point of beginning, enclosing 5.000 acres of land, more or less.

EXHIBIT "C"

DALLMAN PROPERTY

A tract of land situate North of the Town of Mesilla, Dona Ana County, New Mexico, in Section 26, T.23S., R.1E., N.M.P.M. of the U.S.R.S. Surveys, being U.S.R.S. Tract 10-53A2 and more particularly described as follows, to wit:

Beginning at a ½" iron rod found on the North line of a concrete ditch of the Southeast corner of the tract herein described; whence the Southeast corner of Section 26, T.23S., R.1E., N.M.P.M. of the U.S.R.S. Surveys bears the following two courses and distances:

N.58°32'02"E., 644.93 feet; thence S.45°31'11"E., 1552.58 feet;

Thence from the point of beginning and along the North line of said ditch, S.58°32'02"W., 319.21 feet to a shiner found for the Southwest corner of this tract;

Thence N.27°22'12"W., 686.36 feet to a ½" iron rod found for the Northwest corner of this tract;

Thence N. 59°21'19"E., 318.91 feet to a ½" iron rod found for the Northeast corner of this tract;

Thence S.27°22'12"E., 681.78 feet to the point of beginning, containing 5.000 acres of land, more or less.

EXHIBIT "D"

MENA PROPERTY

A tract of land situate north of Mesilla, Dona Ana County, New Mexico in Section 26, T.23S., R.1E., N.M.P.M. of the U.S.R.S. Surveys as part of U.S.R.S. Tract 10-53A2A and being more particularly described as follows: to-wit:

BEGINNING at a painted "+" found on the north side of a concrete irrigation ditch for the southeast corner of this tract; whence the southeast corner of Section 26, T.23S., R.1E., N.M.P.M. of the U.S.R.S. Surveys bears the following two courses and distances:

N.58°32'02"E., 323.57 feet to a concrete monument;

THENCE S.45°31'18"E., 1552.58 feet;

THENCE from the point of beginning along the north side of the concrete irrigation ditch S.58°32'02"W., 321.36 feet to a painted "+" found for the southwest corner of this tract;

THENCE leaving said ditch N.27°22'12"W., 681.78 feet to an iron rod found on the south line of another irrigation ditch for the northwest corner of this tract;

THENCE along the south side of said ditch N.59°21'19"E., 321.06 feet to an iron rod found for the northeast corner of this tract;

THENCE leaving said ditch S.27°22'12"E., 677.17 feet to the point of beginning, containing 5.000 acres of land more or less.

EXHIBIT "E"

KAMINSKY PROPERTY

A tract of land situate north of the Town of Mesilla, Dona Ana County, New Mexico, in Section 26, Township 23 South, Range 1 East, N.M.P.M., U.S.R.S. Surveys and is a portion of U.S.R.S. Tract 10-53A and is more particularly described as follows, to wit:

Beginning at a concrete monument found in place for the Southeast corner of this tract, and this also being identical to the southeast corner of U.S.R.S. Tract 10-53A and the Southwest corner of U.S.R.S. Tract 11B-7; Whence from the point of beginning the Southeast corner of the aforesaid Section 26 bears S.45°31'11"W., 1552.58 feet;  
Thence from the point of beginning S.58°31'02"W., 323.57 feet to an "X" painted on the north side of a concrete ditch for the southwest corner of this tract; Thence N.27°22'12"W., 677.17 feet to a ½ inch rebar set for the northwest corner of this tract; Thence N.59°21'19"E., 323.28 feet to a concrete monument found for the northeast corner of this tract; Thence S.27°22'12"E., 672.54 feet to the point of beginning containing 5.000 acres of land, more or less.

EXHIBIT "F"

SLOAN PROPERTY



Conventional-New  Conventional Modification  Registration  ATSI/ADS - New  ATSI/ADS Modification  ATSI Transfer  Commercial  Amendment

|   |                                      |   |  |  |                         |   |                       |
|---|--------------------------------------|---|--|--|-------------------------|---|-----------------------|
| <b>Section 1 General Information</b>  |                                      |   |  |  |                         | Liquid Waste Processing Number<br><b>012994</b>               |                       |
| Name (Property Legal owner, Inc., LLC, partnership, DBA, full legal name):<br><b>Sloan, Victor</b>  |                                      |   |  |  |                         | Field Office ID:<br><b>41</b>                                 |                       |
| Facility Name:  |                                      |   |  |  |                         | Application Date:<br><b>8-14-19</b>                           |                       |
| Phone:<br><b>(575) 551-6996 Fablan</b>  |                                      |   |  | E-mail address(es):<br><b>fabianerives@icloud.com</b>  |                         |   |                       |
| System Location: Physical Address, County - (if needed, attach map/parcel)<br><b>2750 Valle Grande (Shop)</b>                             |                                      |   |  |  |                         | Mailing Address (Invoices, permits, official correspondence): |                       |
| City:<br><b>Las Cruces</b>  | State:<br><b>NM</b>                  | Zip Code:<br><b>88005</b>   | City:<br><b>Las Cruces</b>   | State:   | Zip Code:               |   |                       |
| Uniform Property Code:<br><b>4-005-137-380-440</b>  | Year of Record:<br><b>06/24/2014</b> | Lot Size (0.01 acres):<br><b>5.00</b>   | Total No. LW Systems on Property:<br><b>2</b>  | Total Design Flow on Property:<br><b>500</b>   |                         |   |                       |
| Subdivision:  | Subdivision Plat Date:               | Unit/Phase:   | Block:   | Lot/Tract:   | Township:<br><b>23S</b> | Range:<br><b>1E</b>   | Section:<br><b>26</b> |
| Water Supply Source:<br><input checked="" type="checkbox"/> Onsite<br><input type="checkbox"/> Shared<br><input type="checkbox"/> Offsite | No. Connections:<br><b>Unknown</b>   | OSE Well Permit No.<br><b>Unknown</b>   | Private or Shared Water Well Location (long., lat. or physical address, city, state):<br><b>2750 Valle Grande, Las Cruces NM</b> |  |                         |   |                       |
| Public Water System Name:<br><b>N/A</b>   |                                      | Irrigation and flood irrigation area on lot?<br><input checked="" type="checkbox"/> YES <input type="checkbox"/> NO |  | Enter all LW permit nos. for lot:<br>LC191828 (Original Install)<br>DA633777 (Drainfield Replacement)<br>DA142224 (Onsite Replacement) |                         |   |                       |

|  |  |                                 |  |   |  |  |  |
|--|--|---------------------------------|--|---|--|--|--|
| <b>Section 2 Installer Information</b>   |  |                                 |  |   |  |  |  |
| No person shall construct, install or modify an onsite liquid waste system unless that person holds a valid and appropriate classification of contractor's license issued by New Mexico CID.   |  |                                 |  |   |  |  |  |
| Installer Name:<br><b>Dan Suggs</b>  |  | Phone:<br><b>(575) 526-5442</b> |  | Installer Company Name:<br><b>Johnny's Septic Tank Co. Inc.</b> |  | <input checked="" type="checkbox"/> Corp., Inc.<br><input type="checkbox"/> LLC<br><input type="checkbox"/> Sole Prop.<br><input type="checkbox"/> LP, LLP, GP |  |
| Mailing Address (street / PO Box, City, State, Zip):<br><b>2155 Dona Ana Rd, Las Cruces NM 88007</b>   |  |                                 |  | E-mail address:<br><b>info@johnnysseptic.com</b>                |  |  |  |
| CID License Classification:<br><input type="checkbox"/> MM-1 <input type="checkbox"/> MM-98 <input type="checkbox"/> MS-1 <input checked="" type="checkbox"/> MS-3 <input type="checkbox"/> Homeowner  |  |                                 |  | CID License No.:<br><b>25764</b>                                |  |  |  |
| I am a licensed contractor by the State of New Mexico Regulation Licensing Department, Construction Industries Division (CID). I will either personally install the work myself or authorize my employee(s), <b>Dan Barela</b> (named here) to provide the services and labor for this permit application under my direct supervision. |  |                                 |  |   |  |  |  |

|   |                                   |                                  |                                   |
|---|-----------------------------------|----------------------------------|-----------------------------------|
| <b>Section 3 Authentication / Verification</b>  |                                   |                                  |                                   |
| By signing below, I attest that the information in this application is correct and true to the best of my knowledge. I understand the issuing of this permit does not relieve me from the responsibility of complying with all applicable provisions of the New Mexico Plumbing Code and the New Mexico Liquid Waste Disposal and Treatment Regulations. Obtaining this permit does not relieve me from the responsibility of obtaining any permit required by state, city or county regulation or ordinance or other requirements of state or federal law. |                                   |                                  |                                   |
| <input checked="" type="checkbox"/> CID Licensed Contractor<br><input type="checkbox"/> Qualified Homeowner<br><input type="checkbox"/> Authorized Rep (Registrars Only)  | Printed Name:<br><b>Dan Suggs</b> |                                  | Date Signed:<br><b>08/12/2019</b> |
|   |                                   | Signature:<br><i>[Signature]</i> |                                   |

|  |  |  |  |  |  |   |
|--|--|--|--|--|--|---|
| <b>NMED CONSTRUCTION APPROVAL</b>  |  |  |  |  |  |   |
| A permit for construction of the Liquid Waste system described herein is hereby: <input checked="" type="checkbox"/> Granted <input type="checkbox"/> Granted with Conditions <input type="checkbox"/> Denied <input type="checkbox"/> Cancelled |  |  |  |  |  |   |
| Conditions, Reasons for Cancellation or Denial:  |  |  |  |  |  |   |
| NMED Inspector Name Printed:<br><b>Sandra Sias</b>   |  |  | NMED Inspector Signature:<br><i>[Signature]</i>  |  | Date:<br><b>8-16-19</b>                      |   |
| <b>NMED LIQUID WASTE FEES</b>  |  |  |  |  |  |   |
| <input checked="" type="checkbox"/> Conventional-New<br>\$100  | <input type="checkbox"/> Conventional Modification<br>\$50 | <input type="checkbox"/> Registration<br>\$100 | <input type="checkbox"/> ATSI/ADS - New<br>\$150 | <input type="checkbox"/> ATSI/ADS Modification<br>\$75 | <input type="checkbox"/> Commercial<br>\$150 | <input type="checkbox"/> Variance<br>\$50 |
| Total Fee Paid:  | <b>100</b>   | Date Paid:                                     | <b>8/19/19</b>                                   | Payment Received By:                                   |  |   |

|  |   |   |
|--|---|---|
| <b>NMED FINAL INSPECTION OF LW SYSTEM</b>                              |   |   |
| <input checked="" type="checkbox"/> Final Inspection conducted by NMED | Final Inspection Date:<br><b>10-11-19</b> | NMED Inspector Name Printed:<br><b>Sandra Sias</b>          |
| <input type="checkbox"/> Contractor inspection authorized:             | Inspection date:                          | Date photos received or Registration Form Received by NMED: |

|   |  |  |   |  |                          |  |
|---|--|--|---|--|--------------------------|--|
| <b>NMED OPERATIONAL APPROVAL</b>  |  |  |   |  |                          |  |
| A permit for operation of the Liquid Waste system described herein is hereby: <input checked="" type="checkbox"/> Granted <input type="checkbox"/> Granted with Conditions <input type="checkbox"/> Denied <input type="checkbox"/> Cancelled |  |  |   |  |                          |  |
| Conditions, Reasons for Cancellation or Denial:   |  |  |   |  |                          |  |
| NMED Inspector Name Printed:<br><b>Sandra Sias</b>  |  |  | NMED Inspector Signature:<br><i>[Signature]</i> |  | Date:<br><b>10-11-19</b> |  |

*DL*



If your lot has more than one LW system, you must fill out a separate application for each system. The site plan drawing must show all liquid waste systems located on your lot. Existing permitted systems must be identified with their LW Permit #. New, modified or unpermitted systems must be clearly labeled on the site plan. NHED agents are not authorized to amend or complete any portion of this application. Liquid Waste Processing Number: \_\_\_\_\_

**Treatment & Disposal System Design**

**Section 1: Design Flow, Hydrology, and Soil Description**

| A. Wastewater Sources & Design Flow Calculations                           |   |                           | B. Hydrology Data  |  |        | C. Soil Description:   |      |
|--|---|---------------------------|--|--|--------|--|------|
| Facility   | Units (enter number)  | (Q) Flow, calculated, gpd | Depth from ground surface to:  |  | Feet   | Type   | AR   |
| <input type="checkbox"/> Single Family Residence                           | Bedrooms:   | Total flow:               | Seasonal High Water table  |  | 10'10" | <input type="checkbox"/> Type Ia: Coarse Sand (or up to 30% gravel)                  | 1.25 |
| <input type="checkbox"/> Multiple Family Units                             | No. Units: Calculation Sheet Attached<br><input type="checkbox"/> YES <input type="checkbox"/> NO   | Total flow:               | Bedrock, calc. chert, light clay   |  | >20    | <input type="checkbox"/> Type Ib: Medium Sand, Loamy Sand                            | 2.0  |
| <input type="checkbox"/> Commercial / Institution (type):                  | Method of Design Flow Calculation:<br><input type="checkbox"/> Table 201.1<br><input type="checkbox"/> PE (Calc. Sheet)<br><input type="checkbox"/> Water Meter Data Attached | Total flow: 0             | Gravel, cobbles, highly permeable soil   |  | >20    | <input checked="" type="checkbox"/> Type II: Sandy Loam, Fine Sand, Loam             | 2.0  |
| <input checked="" type="checkbox"/> Other: Shop (Owner Use Only)           | No. of Units:   | Total flow:               | Test Hole / Soil Borings Used: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO   |  |        | <input type="checkbox"/> Type III: Silty Clay Loam, Silty Clay Loam, Sandy Clay Loam | 2.0  |
| <input type="checkbox"/> Cluster<br><input type="checkbox"/> Other (type): | No. of Units:   | Total flow:               | Soil Classification Methodology used: <input type="checkbox"/> Jar Test<br><input type="checkbox"/> Laboratory: <input type="checkbox"/> Hand Sampling<br><input checked="" type="checkbox"/> Other: |  |        | <input type="checkbox"/> Type IV: Sandy Clay, Silty Clay                             | 5.0  |
| Total Flow for this LW System: (see page 1 for total flow to property)     |   | Q 0                       |  |  |        |  |      |

**Section 2: Treatment Unit and Pump Design**

|   |   |  |  |   |   |   |
|---|---|--|--|---|---|---|
| 1 | Primary Treatment Unit<br><input checked="" type="checkbox"/> Septic Tank(s)  | No. Septic Tank(s): 1  | Manufacturer: Johnny's Septic Tank Co. Inc.  | Series / Model / Certification No.: NM-IJH-025-144821 | Capacity (gallons): 1115  | Burial Depth: 30"   |
| 2 | PUMP<br><input type="checkbox"/> Pump Tank<br><input type="checkbox"/> Dual Pump  | Manufacturer:  | Manufacturer:  | Series / Model:                                       | Pump Curve Attached:<br><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Effluent Pump:<br><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| 3 | ATS<br><input type="checkbox"/> Secondary<br><input type="checkbox"/> Tertiary<br><input type="checkbox"/> Disinfection | <input type="checkbox"/> Standard<br><input type="checkbox"/> Conditional<br><input type="checkbox"/> Experimental<br><input type="checkbox"/> UV<br><input type="checkbox"/> Ozone<br><input type="checkbox"/> Chlorine | <input type="checkbox"/> Required<br><input type="checkbox"/> Voluntary<br><input type="checkbox"/> Required<br><input type="checkbox"/> Voluntary | Manufacturer:   | Series / Model:   | Capacity (gallons):<br>Burial Depth:  |

**Section 3: Disposal System Design Components and Calculations**

A. Minimum Required absorption area, calculated (Multiply Design Flow (Q) times Application Rate (AR))

Q 0      150      X      AR 2      =      Min. Sq. Ft. Required: 300

B. Design Components:

Distribution Box     Tee     Drop Box     Alternating Drainfield Valve     Other:

|                       |   |  |                          |                       |                  |                 |                         |                        |                         |
|-----------------------|---|--|--------------------------|-----------------------|------------------|-----------------|-------------------------|------------------------|-------------------------|
| CONVENTIONAL DISPOSAL | <input type="checkbox"/> Pipe & Gravel  | Trench Width:                                  | Depth Gravel Below Pipe: | Total Linear Feet:    | No. of Trenches: | Trench Depth:   | Length, each trench:    | Trench Spacing (ft):   | Proposed Sq. Ft.:       |
|                       | <input checked="" type="checkbox"/> Chamber<br><input type="checkbox"/> Synthetic Agg.<br><input type="checkbox"/> Other: | Mfr. Model No. & Sizing Credit (L/W, or unit): |                          | Total Linear Feet: 56 | No. of Units: 14 | Trench Depth: 2 | Length, each trench: 56 | Trench Spacing (ft): 0 | Proposed Sq. Ft. 302.40 |
|                       | <input type="checkbox"/> Seepage Pit<br><input type="checkbox"/> Absorption Bed   | Dimensions (L x W):                            | Depth below invert:      | Proposed Sq. Ft.:     | Trench Depth:    | Notes:          |                         |                        |                         |

**Section 4: Alternative Disposal System (ADS) Design Components and Calculations**

For all ADS's - calculation sheets & site plan drawings (plan view with cross-section views) must be submitted with this permit application.

|   |   |   |   |   |  |  |
|---|---|---|---|---|--|--|
| ALTERNATIVE DISPOSAL SYSTEM<br>Non-Discharging  | <input type="checkbox"/> Wisconsin Mound  | <input type="checkbox"/> Elevated System      | <input type="checkbox"/> Unlined ET Bed | <input type="checkbox"/> Effluent Irrigation Re-use | <input type="checkbox"/> Sand-Lined Trench Sand ASTM Specs Attached?<br><input type="checkbox"/> YES <input type="checkbox"/> NO | <input type="checkbox"/> Bottomless Sand Filters Sand ASTM Specs Attached?<br><input type="checkbox"/> YES <input type="checkbox"/> NO |
|   | <input type="checkbox"/> LPD  | <input type="checkbox"/> LPP                  | <input type="checkbox"/> Graywater      | <input type="checkbox"/> Drip Irrigation            | <input type="checkbox"/> Other (description):  |  |
|   | <input type="checkbox"/> Split Flow (complete holding tank section & septic tank & conventional disposal section) |   |   | <input type="checkbox"/> Wetland                    |  |  |
|   | <input type="checkbox"/> Holding Tank   | No. of Tank(s):                               | Manufacturer:                           | NM Certification No.:                               | Capacity:  | Burial Depth:  |
| <input type="checkbox"/> Lined ET Bed Sand ASTM Specs Attached?<br><input type="checkbox"/> YES <input type="checkbox"/> NO | Linear Material & Thickness (mil):  | Dimensions (L x W) & sq. ft.:                 | <input type="checkbox"/> Lined Lagoon   | Linear Material & Thickness (mil):                  | Dimensions (L x W) & sq. ft.:  |  |
| <input type="checkbox"/> Vault  | <input type="checkbox"/> Privy (outhouse)   | <input type="checkbox"/> Other (description): |   |   |  |  |

**Section 5: Setbacks, Site Plan & Attachments (check those that apply)**

YES  NO 1. Does proposed system meet all setbacks required per 20.7.3.302 NMAC (see setback Table 302.1)?

YES  NO 2. Site plan attached w/ all structures shown, LW systems, wells & waters w/ 200' all setbacks clearly shown per 402.A.1 NMAC?

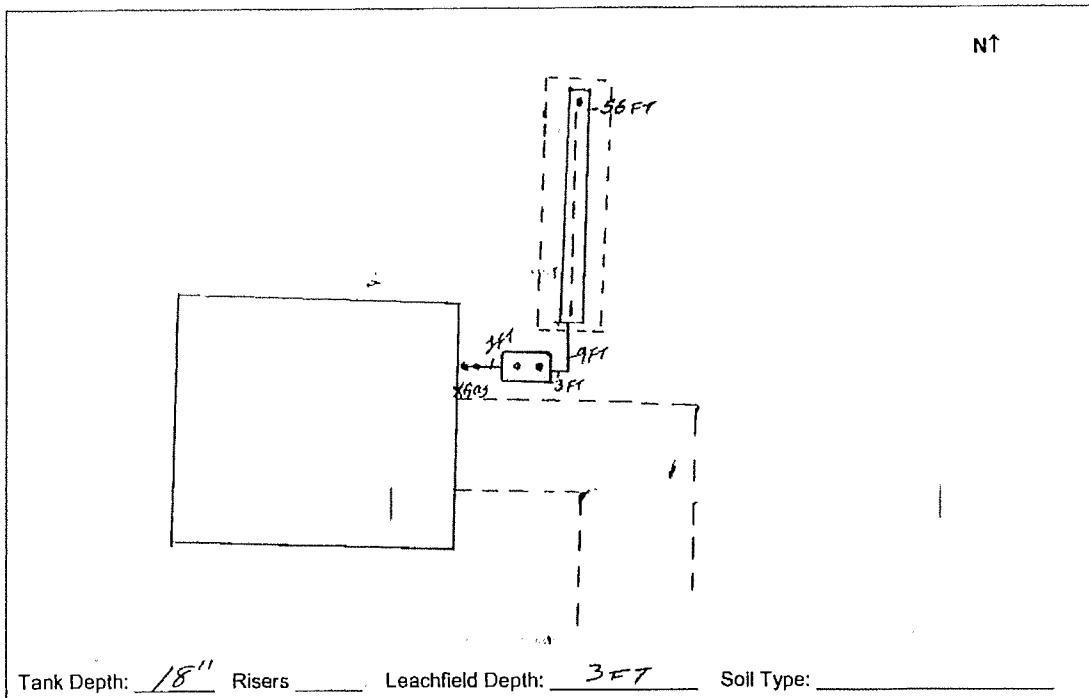
N/A  YES  NO 3. If ATS or ADS, all requirements under section 403 are submitted, including calculations and drawings?

Supporting Documents Included:  Survey     Plat     Floorplan     Warranty Deed     Tax Bill     Other: Site plan, Google Earth & Map

**"AS BUILT"**

V. Site Plan: Sketch the lot. Show features such as the tank, the drainage field, any wells, property lines, residence and other structures, other septic systems. Be as accurate as possible. Show the distances between the tank, "treatment unit" and the drain field, "disposal system" to the features listed on the form. These distances can be no closer to the system than listed in Table 301.1 on page 35 of the Liquid Waste Regulations.

| Treatment Unit to:<br>(Tank) | Features      | Disposal System to:<br>(Drain Field) |
|------------------------------|---------------|--------------------------------------|
| _____ ft.                    | Property line | _____ ft.                            |
| _____ ft.                    | Property line | _____ ft.                            |
| _____ ft.                    | Buildings     | _____ ft.                            |
| _____ ft.                    | Structures    | _____ ft.                            |
| _____ ft.                    | Wells         | _____ ft.                            |
| _____ ft.                    | Irrigation    | _____ ft.                            |
| _____ ft.                    | Arroyos       | _____ ft.                            |
| _____ ft.                    | Surface water | _____ ft.                            |



Permit #: 012994 Date: 10/11/19  
 Name on permit: Joan, Victor Submitted by: Anthony's Septic Tank Co.  
 Address: 2750 Valle Grande (Shop)  
 Subdivision: N/A Township 23's Range 1e Section 26  
 Installer's signature: D. Baeza Attached Photos \_\_\_\_\_

Sando

TLAW



APPLICATION FOR A LIQUID WASTE PERMIT OR REGISTRATION

Date NMED Received: 10/2/2014

NMED Permit Number: DA140224

NMED Use Only: Call 524-0200 to schedule an inspection a minimum of 2 working days prior to the inspection. Permit Fee: \$50

SYSTEM OWNER'S NAME: Last, First, MI Home Phone: Business Phone:

HARVEY, E.P. JR (Phil) & Carlita (575) 524-9316
MAILING ADDRESS: Street/PO Box City State Zip Code
P.O. Box 40 Mesilla NM 88046
SYSTEM LOCATION: Address, City, ZIP, County - (if needed, attach directions)

2750 Valle Grande Mesilla, NM 88046
SUBDSUBDIVISION UNIT/PHASE BLOCK LOT/TRACT

UNIFORM PROPERTY CODE: 4-005-137-380-440
TOWNSHIP RANGE SECTION QTR QTR QTR LATITUDE LONGITUDE ELEV
23S 1E 26

INSTALLER'S NAME: PHONE:
Johnny's Septic Tank Co. (575) 526-5442

MAILING ADDRESS: Street/PO Box City State ZIP
2155 Dona Ana Rd Las Cruces NM 88007
CID License No./Class MM-1 MM-98 MS-1 X MS-3 Homeowner
No.: 25764

I. PERMIT APPLICATION (instructions available on request)

Application is for: New Permit Registration - existing unpermitted system
X Modification of an existing system ATS ownership transfer
Existing Permit No. (if applicable): DAU030777

II. WASTEWATER SOURCES & DESIGN FLOWS IN GALLONS PER DAY (gpd)

A. Proposed liquid waste system use and design flow:
X Single family residence 5 no. of bedrooms 500 gpd
Multiple family units no. of units; no. bedrooms per unit
Seasonal residence
Commercial/institutional (type):
Other (type):
B. Are there other sewage sources on this property? Yes X No
TOTAL WASTEWATER FLOW ON PROPERTY 500 gpd

III. SITE INFORMATION

A. Lot Size: 5.00 Acres Date of Record: May-89
Ownership and lot size documentation attached: X Warranty deed Property tax receipt
Recorded survey Recorded plat Other, specify:

IV. SYSTEM DESIGN

A. Treatment Unit: X Septic tank Manufacturer: Johnny's Septic Tank Co. Capacity: 1700
X Certification No: Existing
ATS (Advanced Treatment System) Secondary Tertiary Sand filter
Disinfection Other (specify):
Manufacturer: Model:

B. Disposal System: X Trench Leaching Bed Scepage Pit
Privy Holding tank Elevated Bed Wisconsin Mound
Vault Lined Evapotranspiration (ET) Bed Unlined ET Bed
Irrigation Low pressure dosed Drip Gray water
Other (specify):
Materials: Pipe & Gravel X Gravelless (type): Quick + Infiltrators
Distribution box: Yes No

C. Minimum required absorption area:
AR 2 x Q 500 = 1000 SQ FT
(Q - Design Flow)
Trench or Bed width = 3 ft.
Gravel depth below pipe = N/A ft.
Total Trench or Bed Length = 208 ft.
Length of Trenches = (2) 74 & (2) 30 ft.
Number of Gravelless Units = 52 Units.
Proposed Absorption Area of System = 1000 SQ FT.

D. Depth from ground surface to bottom of absorption area = 3 ft.

B. Depth from Ground Surface to:
Seasonal High Water Table 10'10" feet
Bedrock, Caliche, Tight Clay >20 feet
Gravel, Cobbles, Highly permeable soil >20 feet
C. Soil Description:
USDA Soil Class Methodology & Verification Submitted? X Yes No
Type Ia=1.25 sft/gal/day Type Ib=2 sft/gal/day X Type II=2 sft/gal/day
Type III=2 sft/gal/day Type IV=5 sft/gal/day
D. Domestic Water Source:
X On-site Off-site X Private Public Shared
Irrigation well, or flood irrigated area on lot? X Yes No
State Engineer Well Permit #: Unknown
Name of Public Water System: N/A

Handwritten mark

NMED Processing Number:

DA140224

V. **SITE PLAN:** Attach plat, diagram or picture file of the lot and liquid waste system. Show setback distances from both the tank and disposal field to property lines, buildings, structures, wells, water lines, irrigation ditches, arroyos and surface waters within 200 feet of the system, and the direction of groundwater flow.

NMED Use:          A plat, drawing or picture, including setback distances, in accordance with 20.7.3.302:          IS attached

VII. The foregoing information is correct and true to the best of my knowledge. I understand the issuing of this permit does not relieve me from the responsibility of complying with all applicable provisions of the New Mexico Plumbing Code and the New Mexico Liquid Waste Disposal and Treatment Regulations. Obtaining this permit does not relieve me from the responsibility of obtaining any permit required by state, city or county regulation for drainage or other requirements of state or federal law.

Print Name Salvador Adres  
Signature [Signature] Date 10/23/14  
Owner          Owner's Authorized Representative           Owner's Authorized Representative and Contractor

VIII. **NMED PERMIT TO CONSTRUCT (For Registrations, ATS Ownership Transfer, or Permitting of Existing Unpermitted Systems installed after February 1, 2002 skip this section and go to Section VIII):** **NMED USE ONLY**

A permit for **CONSTRUCTION ONLY** of the liquid waste disposal system described herein is hereby:           
 Granted  Denied          NMED Permit to Construct No.         

Permit Conditions or Reasons for Denial: Must meet all setbacks & clearance

[Signature]  
NMED Representative          Date 10/6/14

NOTE: This permit may be canceled for failure to meet any condition specified; failure to complete the system within one year; for providing inaccurate or incomplete information; or for failure to notify NMED to schedule an inspection, a minimum of 2 working days prior to the inspection. If you have questions call:         

VIII. **NMED FINAL APPROVAL TO OPERATE LIQUID WASTE SYSTEM:**  
The system described above:          was inspected by NMED          Contractor photo inspection authorized

NMED Inspection History Site visit NMED Representative [Signature] Date 10/4/14

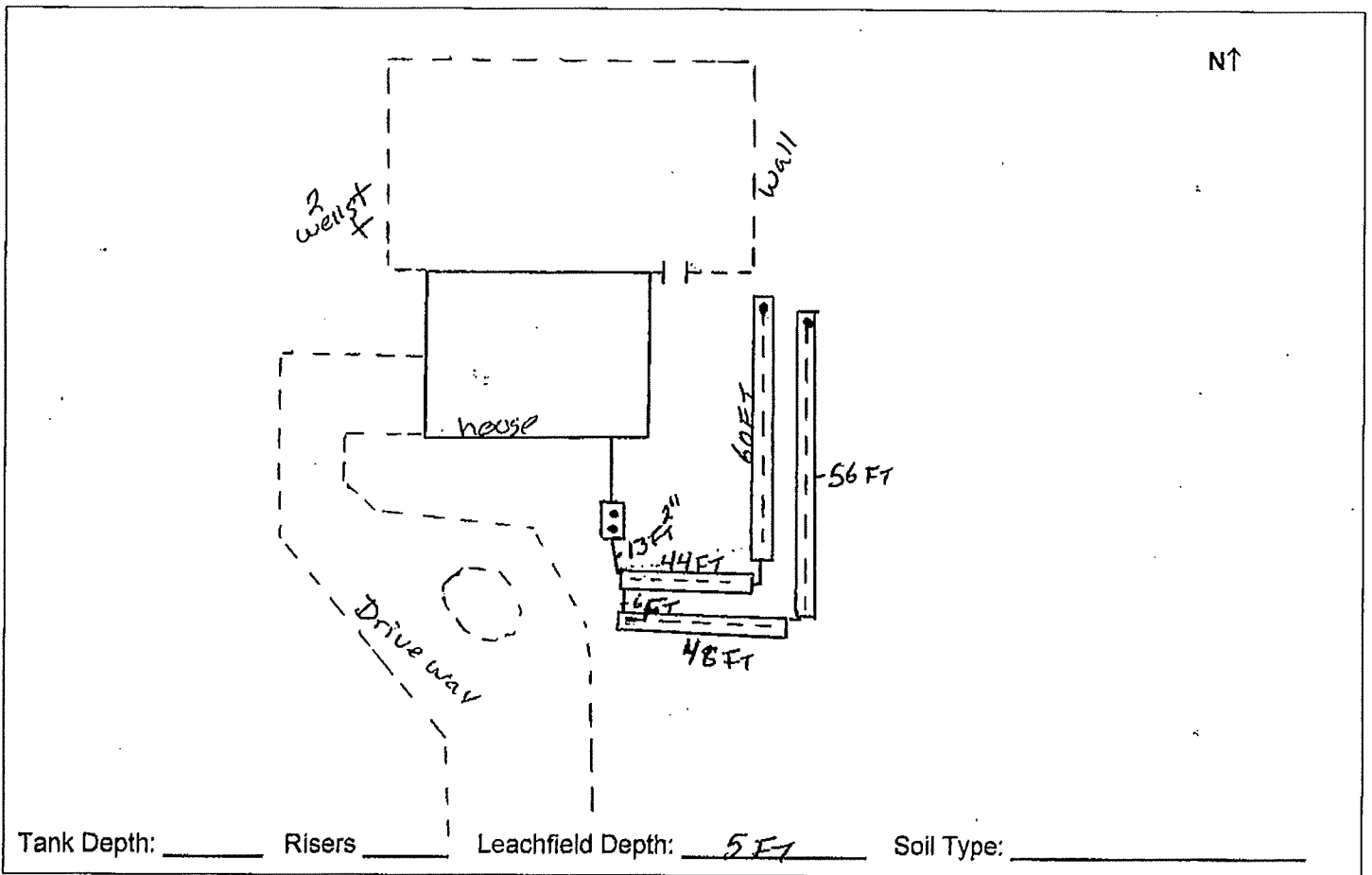
A permit for operation of the liquid waste disposal system described herein is hereby:           
 Granted  Denied          NMED Permit to Operate No.         

Conditions of Approval:           
NMED Representative [Signature] Date 10/23/14

## "AS BUILT"

V. Site Plan: Sketch the lot. Show features such as the tank, the drainage field, any wells, property lines, residence and other structures, other septic systems. Be as accurate as possible. Show the distances between the tank, "treatment unit" and the drain field, "disposal system" to the features listed on the form. These distances can be no closer to the system than listed in Table 301.1 on page 35 of the Liquid Waste Regulations.

| Treatment Unit to:<br>(Tank) | Features      | Disposal System to:<br>(Drain Field) |
|------------------------------|---------------|--------------------------------------|
| _____ ft.                    | Property line | _____ ft.                            |
| _____ ft.                    | Property line | _____ ft.                            |
| _____ ft.                    | Buildings     | _____ ft.                            |
| _____ ft.                    | Structures    | _____ ft.                            |
| _____ ft.                    | Wells         | _____ ft.                            |
| _____ ft.                    | Irrigation    | _____ ft.                            |
| _____ ft.                    | Arroyos       | _____ ft.                            |
| _____ ft.                    | Surface water | _____ ft.                            |



Tank Depth: \_\_\_\_\_ Risers \_\_\_\_\_ Leachfield Depth: 5 FT Soil Type: \_\_\_\_\_

Permit #: DA 14.0224

Date: 6/20/14

Name on permit: Harvey, E.P. Jr.

Submitted by: Johnny's Septic Tank Co.

Address: Valle Grande

Subdivision: n/a

Township 235 Range 1e Section 26e

Installer's signature: D. Barula

Attached Photos \_\_\_\_\_

*Tracy*

# Site Plan for New Pool House

Scale: 1" = 60'

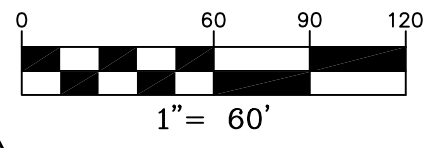
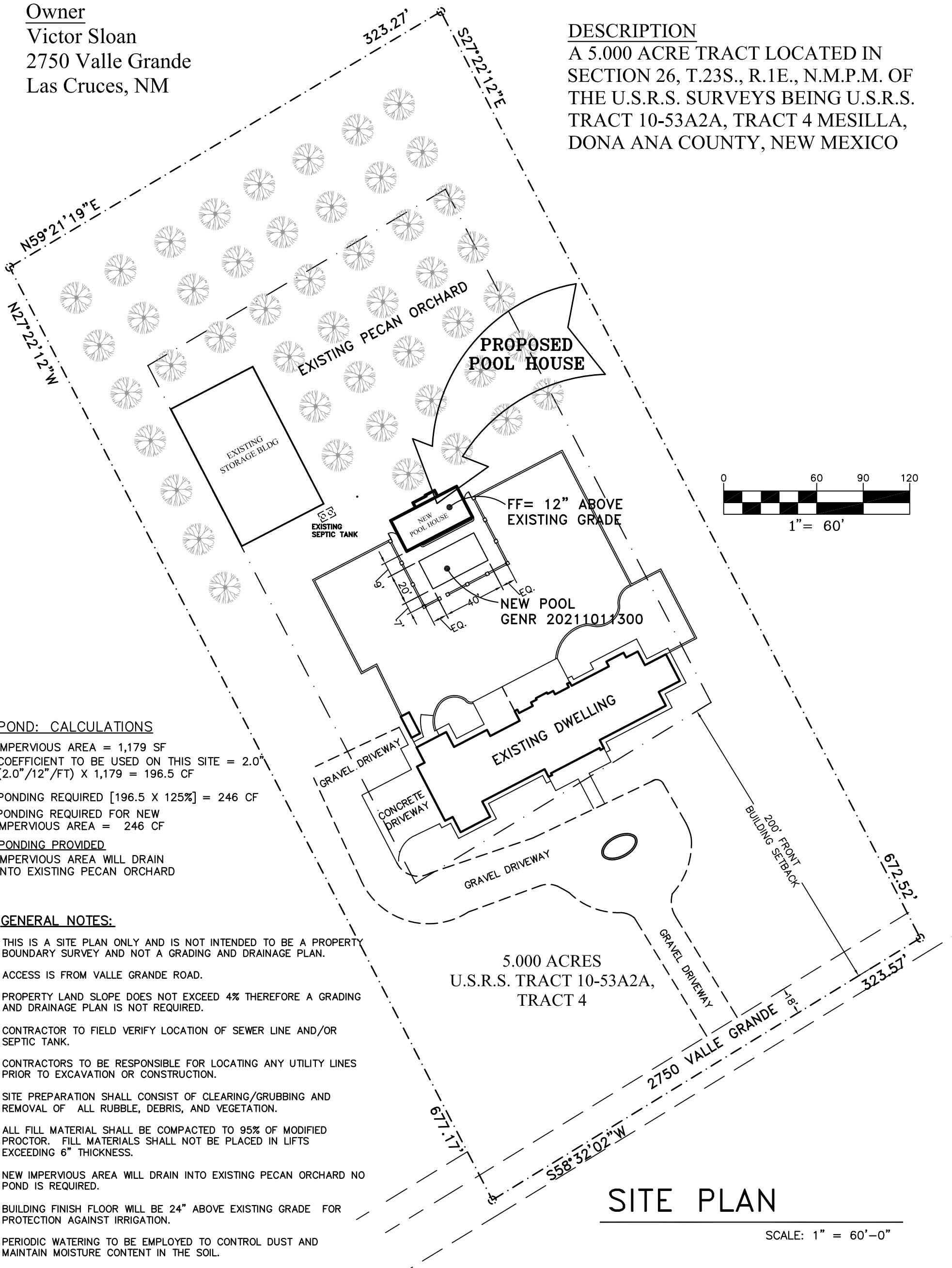
August 2021

**Owner**

Victor Sloan  
2750 Valle Grande  
Las Cruces, NM

**DESCRIPTION**

A 5.000 ACRE TRACT LOCATED IN SECTION 26, T.23S., R.1E., N.M.P.M. OF THE U.S.R.S. SURVEYS BEING U.S.R.S. TRACT 10-53A2A, TRACT 4 MESILLA, DONA ANA COUNTY, NEW MEXICO



**POND: CALCULATIONS**

IMPERVIOUS AREA = 1,179 SF  
 COEFFICIENT TO BE USED ON THIS SITE = 2.0"  
 (2.0"/12"/FT) X 1,179 = 196.5 CF  
 PONDING REQUIRED [196.5 X 125%] = 246 CF  
 PONDING REQUIRED FOR NEW IMPERVIOUS AREA = 246 CF

**PONDING PROVIDED**

IMPERVIOUS AREA WILL DRAIN INTO EXISTING PECAN ORCHARD

**GENERAL NOTES:**

1. THIS IS A SITE PLAN ONLY AND IS NOT INTENDED TO BE A PROPERTY BOUNDARY SURVEY AND NOT A GRADING AND DRAINAGE PLAN.
2. ACCESS IS FROM VALLE GRANDE ROAD.
3. PROPERTY LAND SLOPE DOES NOT EXCEED 4% THEREFORE A GRADING AND DRAINAGE PLAN IS NOT REQUIRED.
4. CONTRACTOR TO FIELD VERIFY LOCATION OF SEWER LINE AND/OR SEPTIC TANK.
5. CONTRACTORS TO BE RESPONSIBLE FOR LOCATING ANY UTILITY LINES PRIOR TO EXCAVATION OR CONSTRUCTION.
6. SITE PREPARATION SHALL CONSIST OF CLEARING/GRUBBING AND REMOVAL OF ALL RUBBLE, DEBRIS, AND VEGETATION.
7. ALL FILL MATERIAL SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR. FILL MATERIALS SHALL NOT BE PLACED IN LIFTS EXCEEDING 6" THICKNESS.
8. NEW IMPERVIOUS AREA WILL DRAIN INTO EXISTING PECAN ORCHARD NO POND IS REQUIRED.
9. BUILDING FINISH FLOOR WILL BE 24" ABOVE EXISTING GRADE FOR PROTECTION AGAINST IRRIGATION.
10. PERIODIC WATERING TO BE EMPLOYED TO CONTROL DUST AND MAINTAIN MOISTURE CONTENT IN THE SOIL.
11. THE INFORMATION FOR THIS SITE PLAN WAS DERIVED FROM DOÑA ANA COUNTY RECORDING INFORMATION.

## SITE PLAN

SCALE: 1" = 60'-0"



DRAFTING BY:



Civil, Commercial and Residential Drafting  
 1615 S.SOLANO DRIVE Las Cruces, New Mexico  
 Phone: 575-541-5050 88001

| REVISIONS | BY: |
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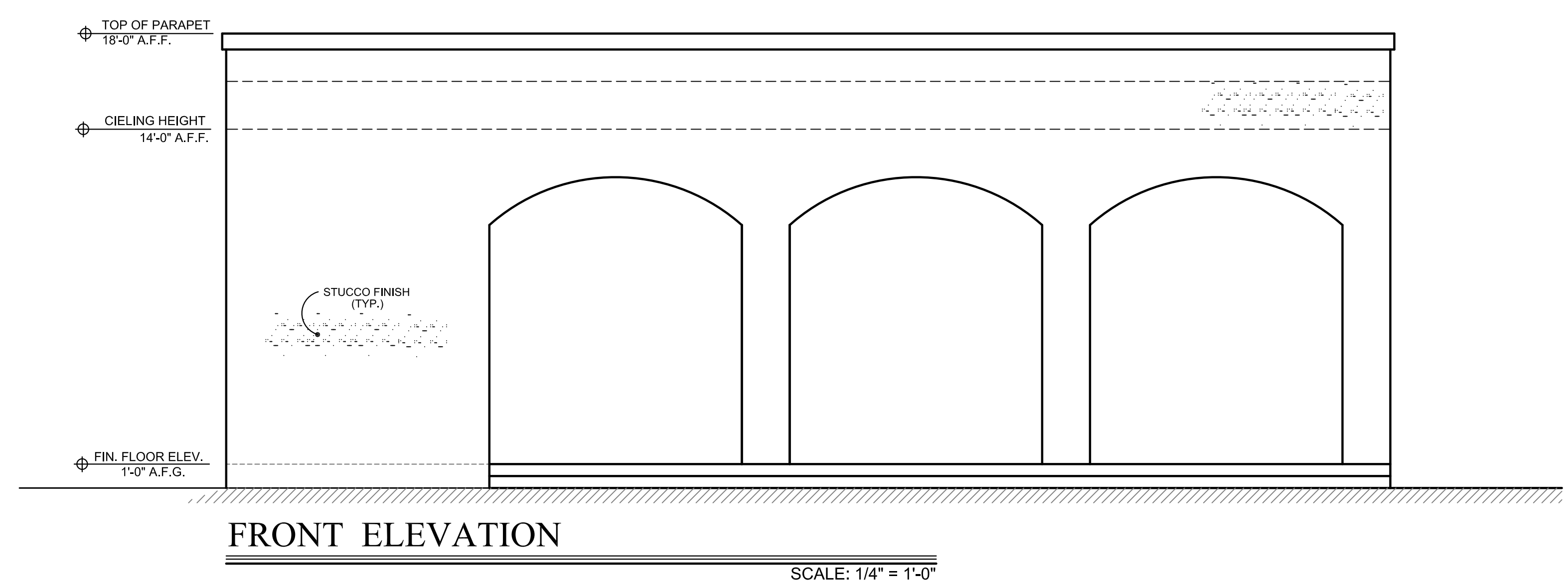
**NAVA TECH INC.**  
AND ASSOCIATES  
CONSTRUCTION PLAN PRODUCTION & COORDINATION  
Las Cruces, NM 89601  
Office: (575) 341-5060  
Fax: (575) 352-0660  
Email: [es@nava-tech.com](mailto:es@nava-tech.com)

DRAFTING BY:  
NEW POOL HOUSE PLANS FOR:  
Address  
2750 VALLE GRANDE  
LAS CRUCES, NM

2750 VALLE GRANDE  
ELEVATIONS, ELECTRICAL PLAN  
AND TYP. WALL SECTION

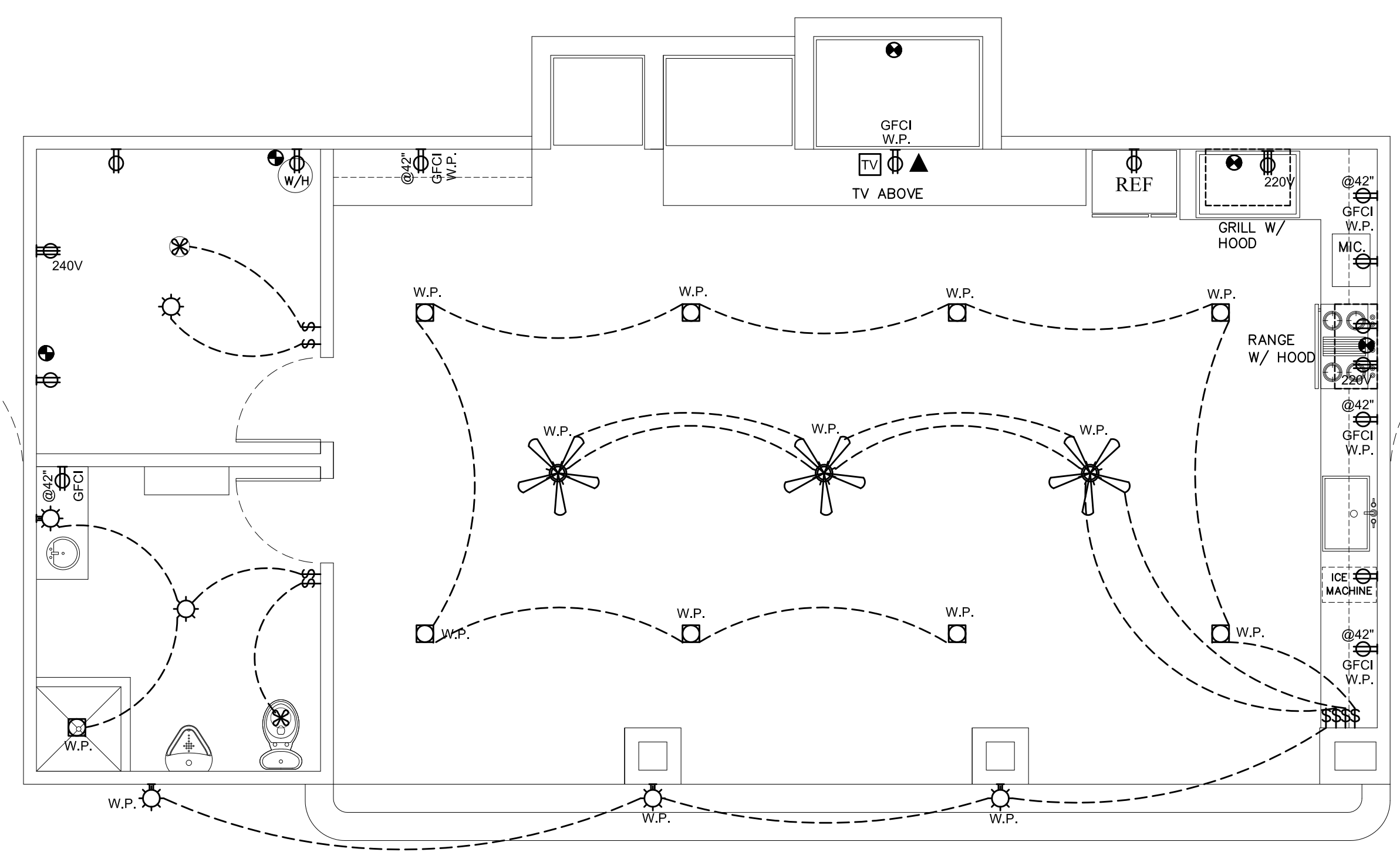
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ARM  
DATE:  
8/18/23  
SCALE:  
AS SHOWN  
SHEET NO.

**A-1**



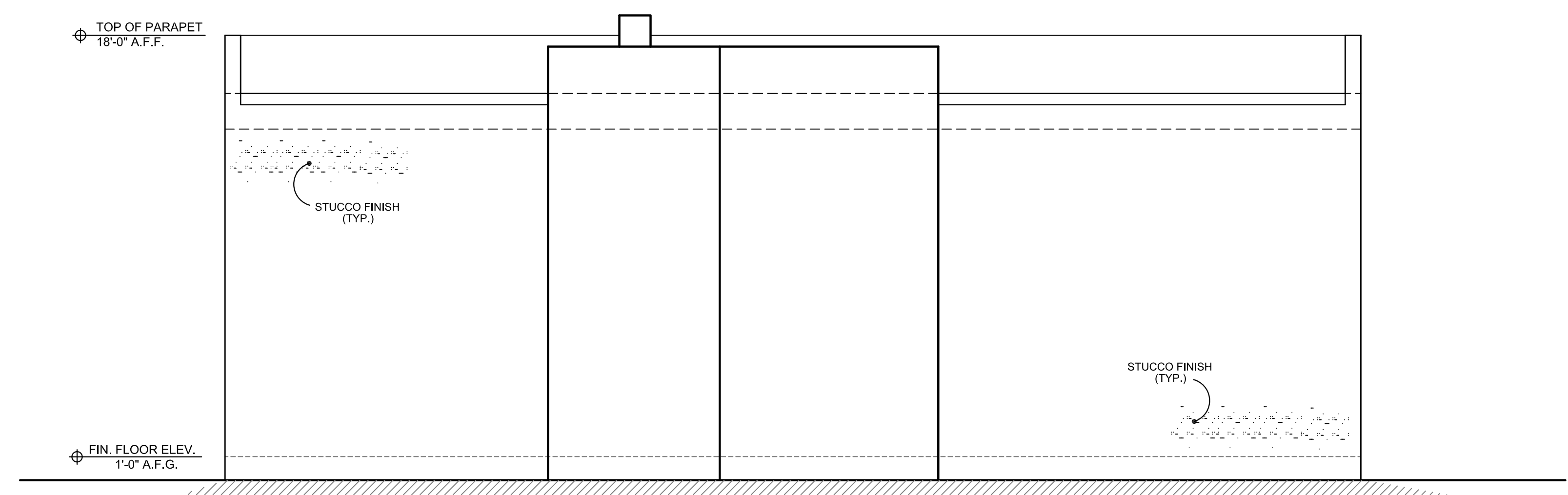
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



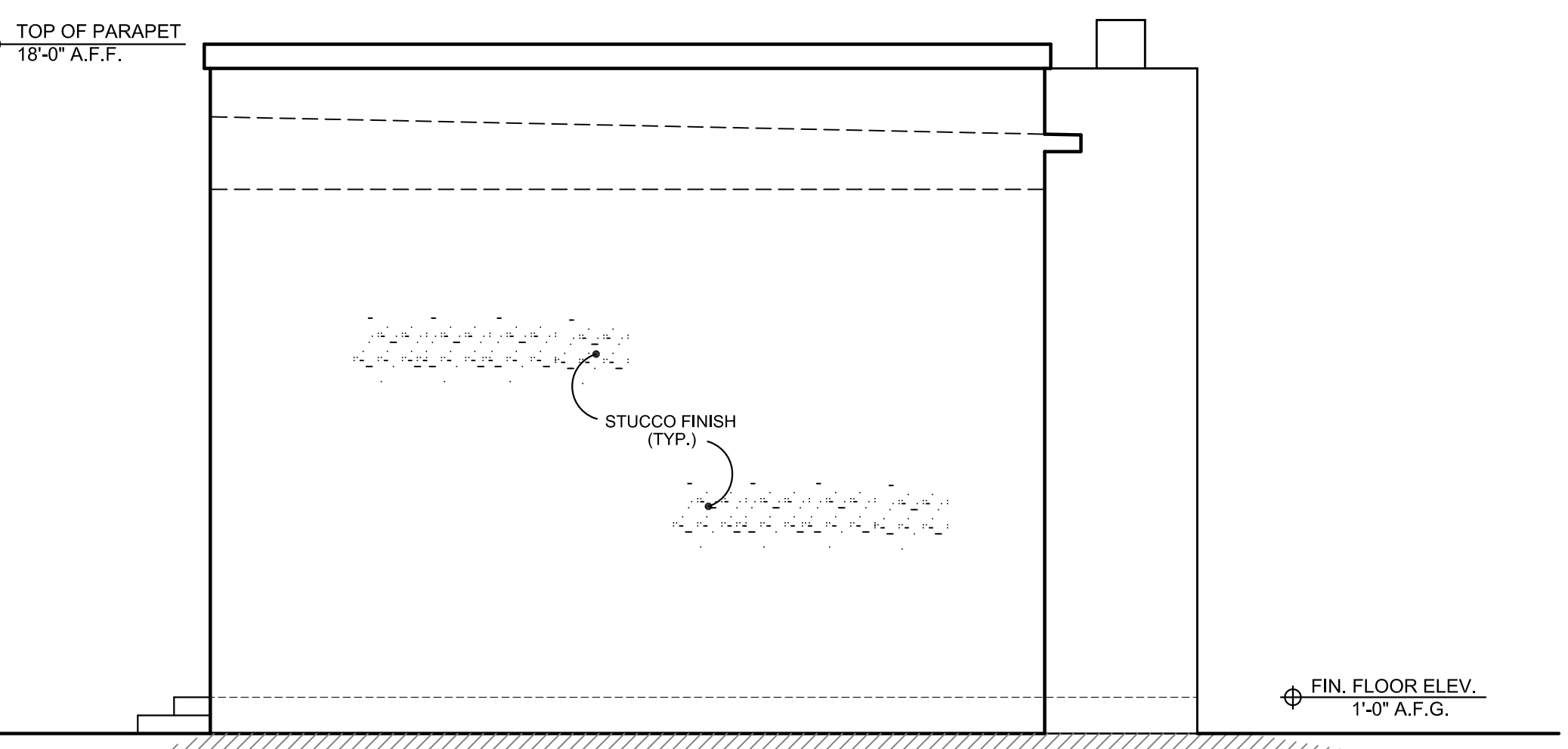
**ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"



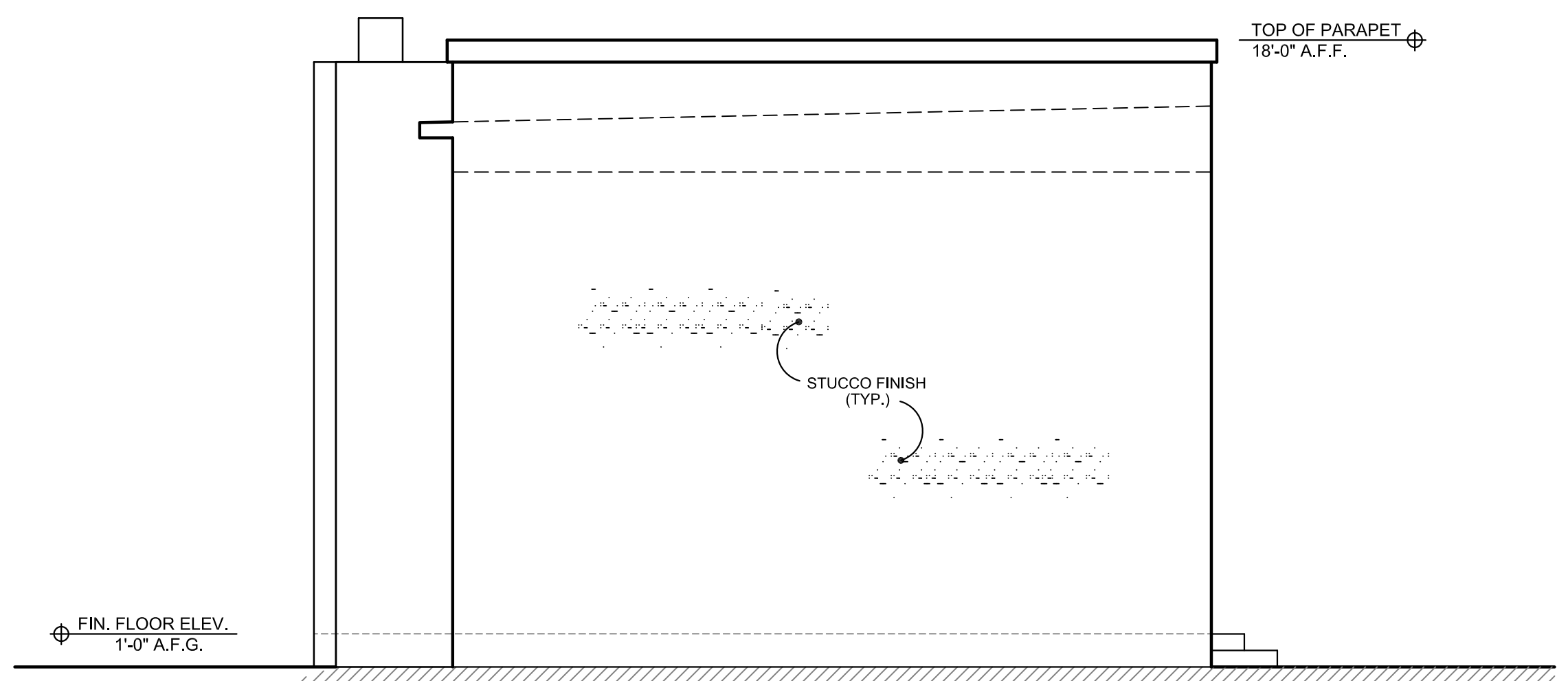
**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**

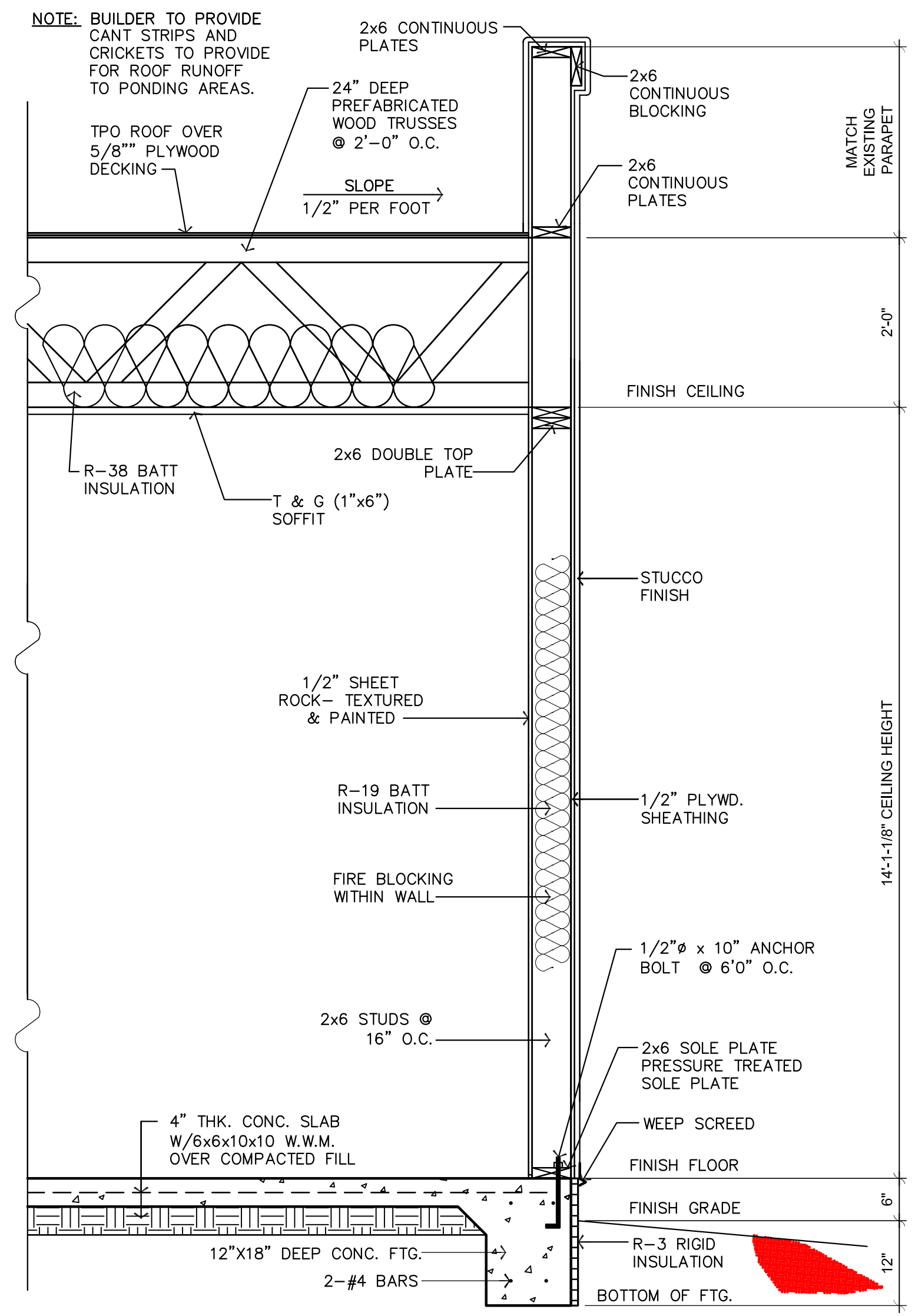
SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL CONFORM TO ALL IRC, STATE, AND LOCAL BUILDING CODES AND STANDARDS. ALL MEASUREMENTS, DIMENSIONS, BEARING MEMBERS, FOOTINGS, SPECIFICATIONS, AND STRUCTURAL INTEGRITY OF THIS PROJECT, INCLUDING ALL BUILDING MATERIALS, ARE TO BE CHECKED BY OWNER & CONTRACTOR PRIOR TO CONSTRUCTION & ARE THE RESPONSIBILITY OF THE OWNER & CONTRACTOR. THIS DRAWING IS AN INSTRUMENT OF NAVA-TECH INC. DRAFTING SERVICES, OWNER, & CONTRACTOR. THIS DRAWING MAY NOT BE REPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT THEIR WRITTEN PERMISSION.



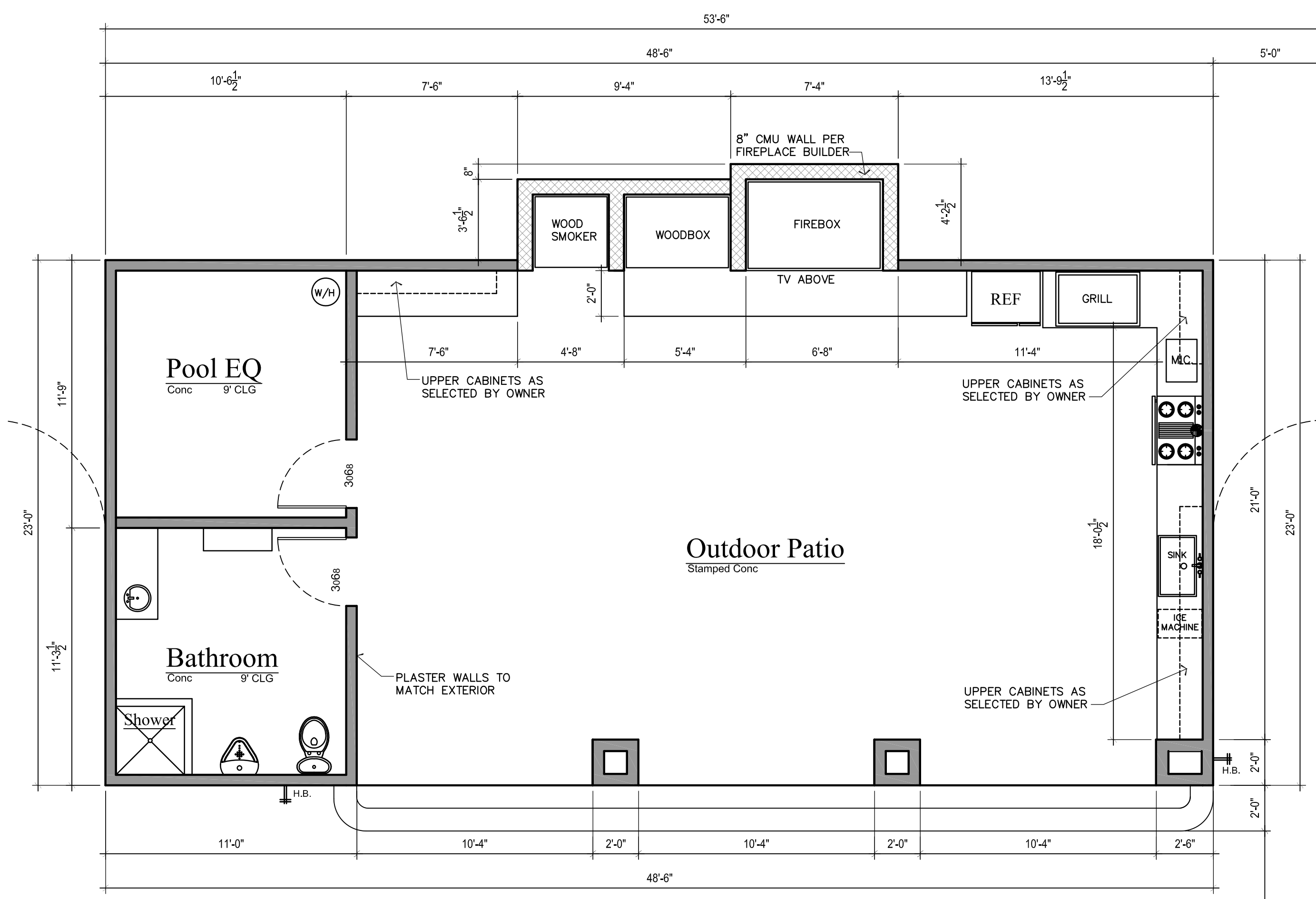
**WALL SECTION**

SCALE: 3/4" = 1'-0"

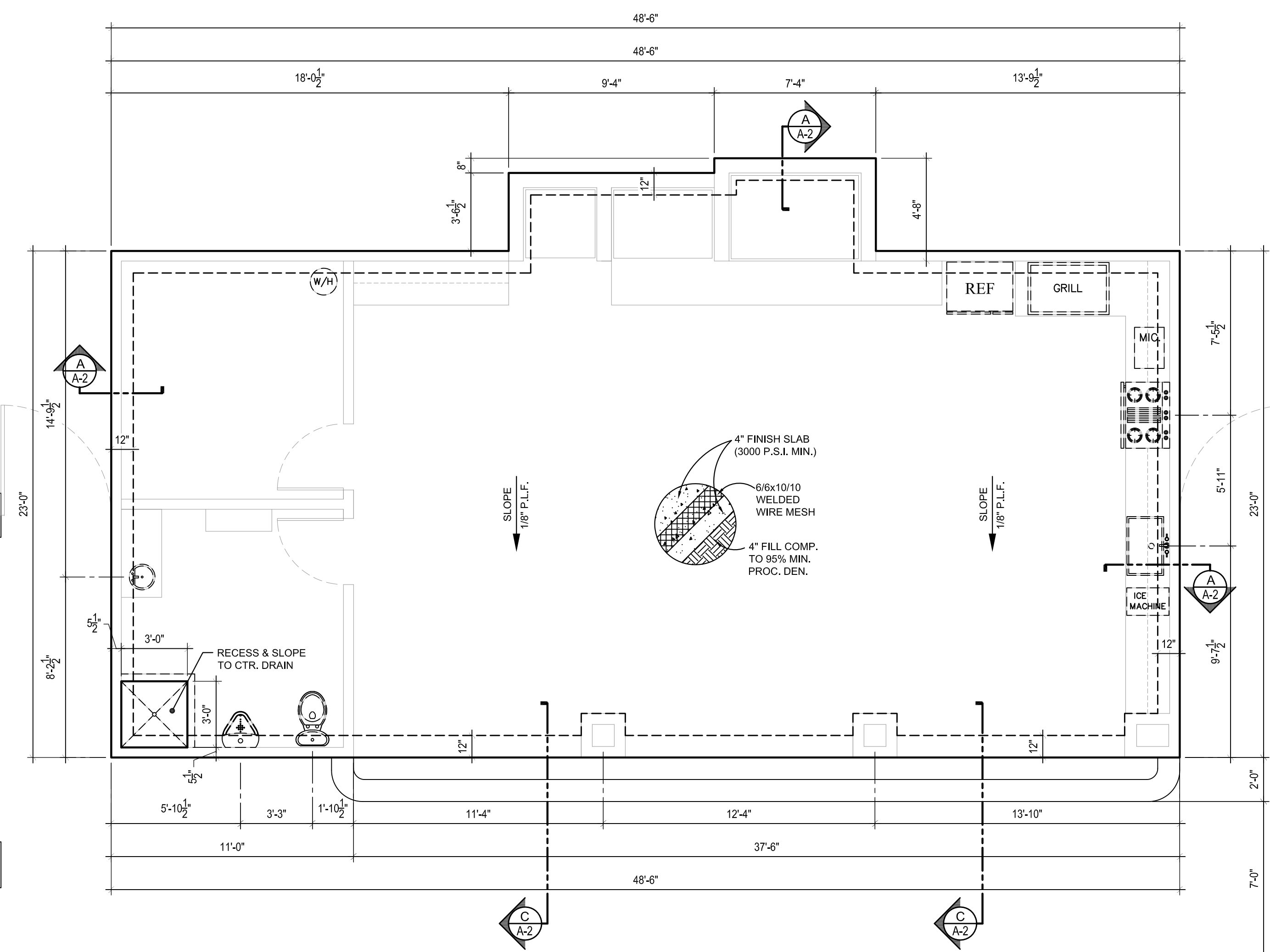


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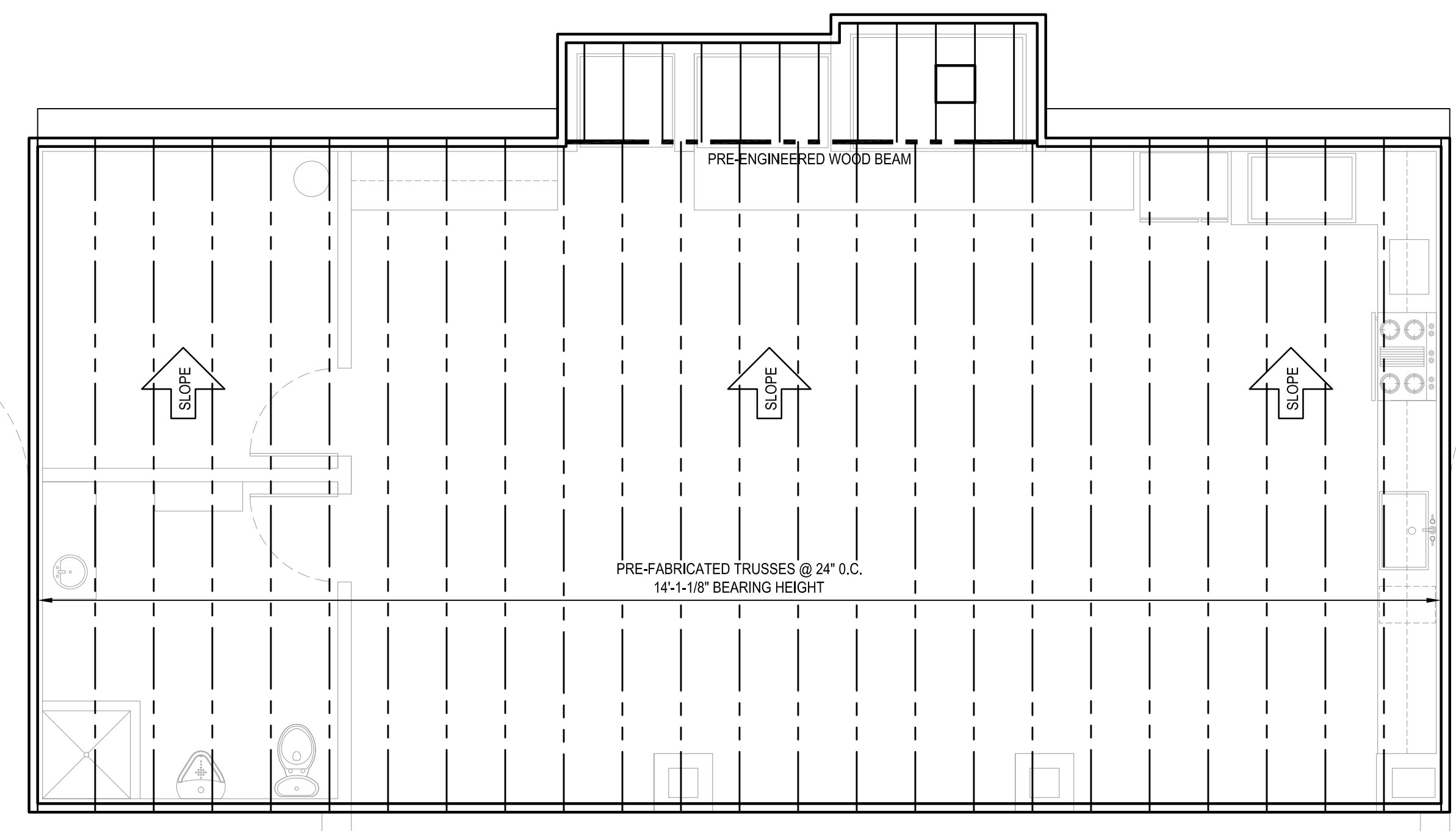
**NAVA TECH INC.**  
 AND ASSOCIATES  
 CONSTRUCTION PLAN PRODUCTION & COORDINATION  
 Las Cruces, NM 88601  
 Office: (575) 341-5060  
 Fax: (575) 932-0660  
 Email: [es@nava-techinc.com](mailto:es@nava-techinc.com)



**FLOOR PLAN**  
 AREA: 1,179 sq.ft.  
 SCALE: 1/4" = 1'-0"



**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"



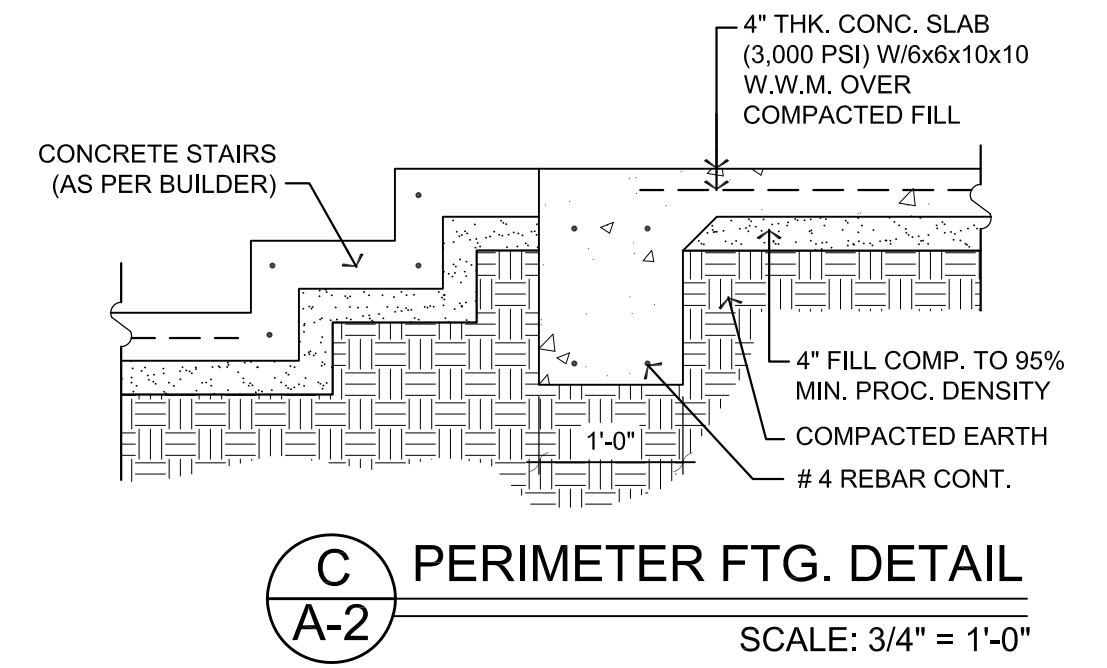
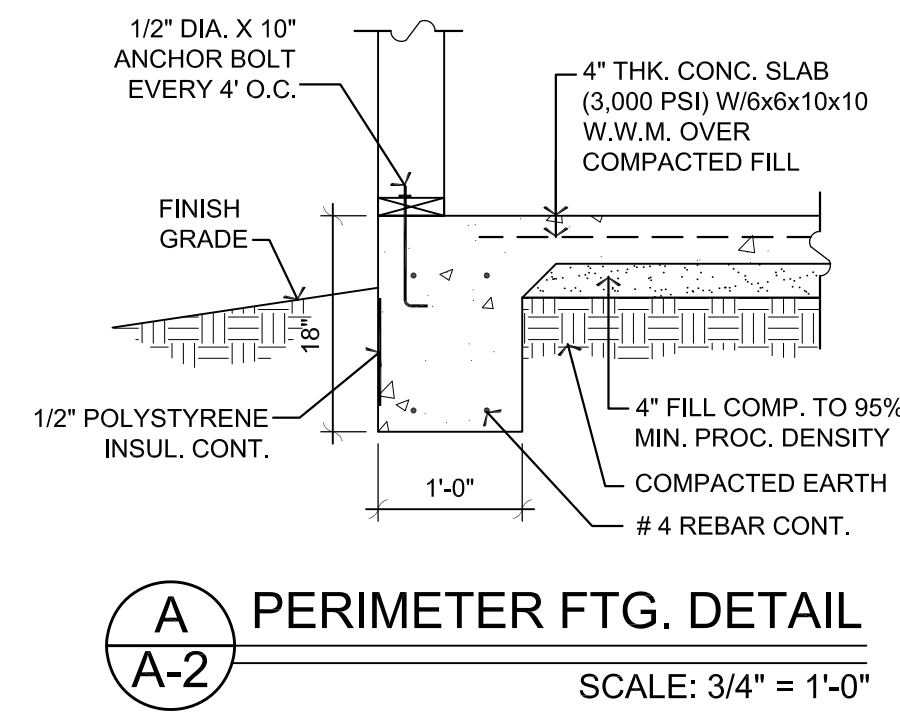
**ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**FRAMING NOTES**

- ALL HEADERS TO FOLLOW SIZING AS LISTED:  
 2'-9"-4'-8" = 2-2X6  
 4'-9"-6'-8" = 2-2X8  
 6'-9"-9'-6" = 2-2X10  
 9'-7"-12'-6" = 2-2X12  
 12'-7"-15'-6" = 3-2X10  
 OR UNLESS OTHERWISE NOTED ON PLAN
- GARAGE DR. HEADER SIZE AS NOTED ON PLAN
- BEAM SIZES AS NOTED ON PLAN.
- ALL HEADERS TO HAVE 7/17" WAFFERBOARD GLUED BETWEEN MEMBERS W/ 16d NAILS STAGGERED @ 6" O.C. BOTH SIDES
- NAILING SCHEDULE:  
 USE 16d COMMON NAILS @ 12" O.C. @ OUTER 36" OF BM.  
 AND 16d COMMON NAILS @ 24 O.C. @ BALANCE OF BEAM.  
 NAIL FROM BOTH SIDES AND GLUE ALL WOOD SURFACE CONTACTS.
- PRE-ENGINEERED WOOD TRUSSES @ 24" O.C.

**GENERAL NOTES**

- USE LEDGERS AS REQUIRED.
- ALL STICK FRAMING TO BE 2X10 MEMBERS.
- CRICKETS TO BE FRAMED AND DECKED
- BRIDGING/CROSS BRIDGES TO BE APPLIED



**FOUNDATION NOTES:**

- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF PC = 3000 P.S.I.
- ALL REINFORCING STEEL SHALL BE ASTM-615, GRADE 40 HAVING A YIELD STRENGTH OF 40,000 P.S.I.
- ALL REINFORCING STEEL SHALL BE FABRICATED IN ACCORDANCE WITH THE ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI-318) AND THE ACI STANDARD DETAILING MANUAL (ACI-315)
- PROVIDE BAR SUPPORTS AND SPACERS FOR REBAR (ACI-315)
- MINIMUM LAPPED SPLICES IN REBAR SHALL BE 30 DIAMETERS (12" MINIMUM)
- ALL FOOTING SHALL BEAR ON NATURAL UNDISTURBED SOIL OR COMPACTED TO 95% STANDARD PROCTOR AT OPTIMUM MOISTURE
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT LOCAL AND NEW MEXICO CODES

NEW POOL HOUSE PLANS FOR:

**2750 VALLE GRANDE**  
 FLOOR, ROOF FRAMING AND FOUNDATION PLAN

|                         |
|-------------------------|
| DRAWING BY:<br>ARM      |
| DATE:<br>8/19/23        |
| SCALE:<br>AS SHOWN      |
| SHEET NO.<br><b>A-2</b> |

CONTRACTOR SHALL CONFORM TO ALL IRC, STATE, AND LOCAL BUILDING CODES AND STANDARDS. ALL MEASUREMENTS, DIMENSIONS, BEARING MEMBERS, FOOTINGS, SPECIFICATIONS, AND STRUCTURAL INTEGRITY OF THIS PROJECT, INCLUDING ALL BUILDING MATERIALS, ARE TO BE CHECKED BY OWNER & CONTRACTOR PRIOR TO CONSTRUCTION & ARE THE RESPONSIBILITY OF THE OWNER & CONTRACTOR. THIS DRAWING IS AN INSTRUMENT OF NAVA-TECH INC. DRAFTING SERVICES. OWNER, & CONTRACTOR. THIS DRAWING MAY NOT BE REPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT THEIR WRITTEN PERMISSION.

Z:\\_2023\19-043 SLDN STILENew Pool House\Nava\Pool House Bldg.dwg [A-2] 8/19/23 1:38 pm

# Site Plan for New Pool House

Scale: 1" = 60'

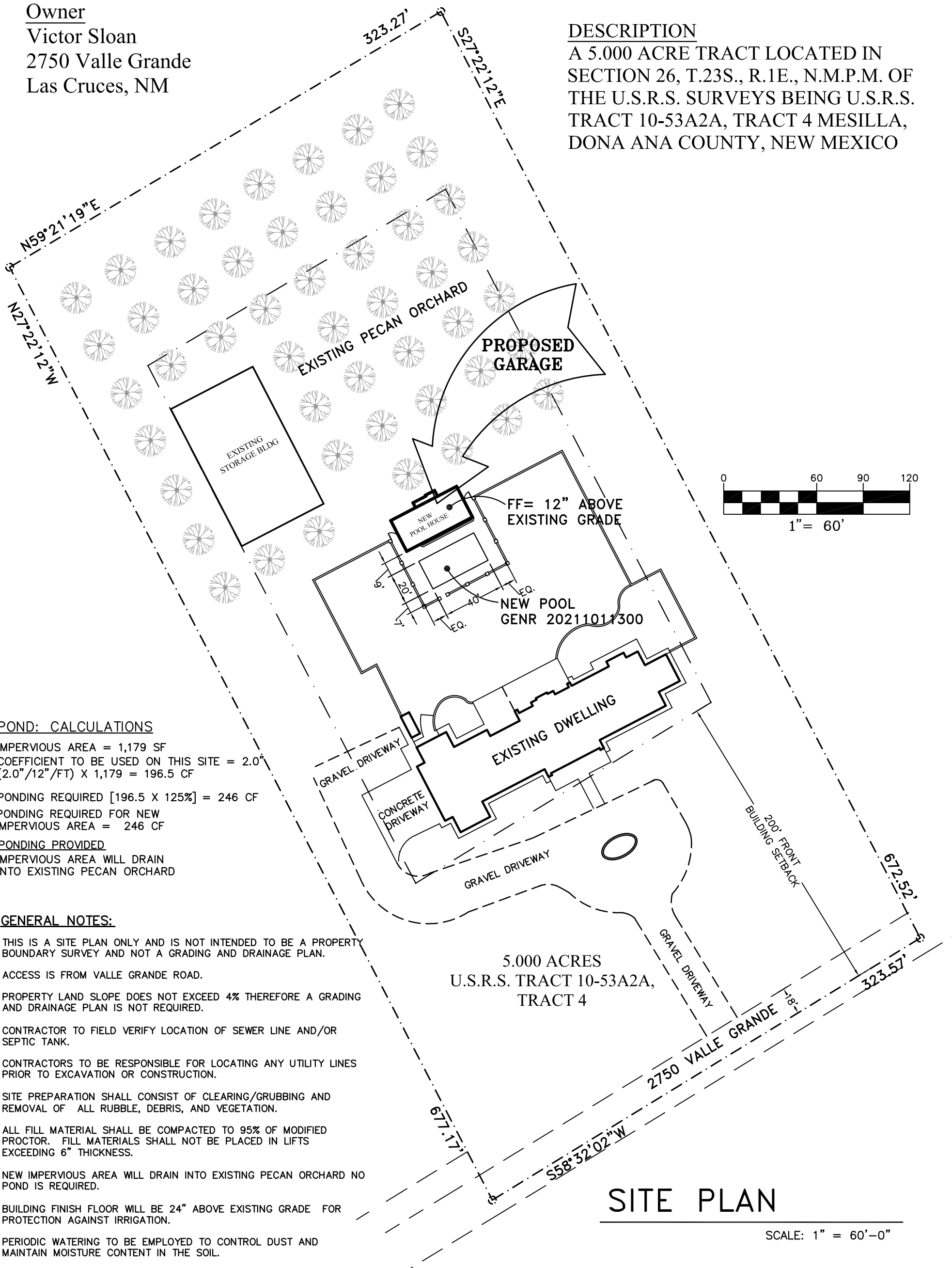
August 2021

**Owner**

Victor Sloan  
2750 Valle Grande  
Las Cruces, NM

**DESCRIPTION**

A 5.000 ACRE TRACT LOCATED IN SECTION 26, T.23S., R.1E., N.M.P.M. OF THE U.S.R.S. SURVEYS BEING U.S.R.S. TRACT 10-53A2A, TRACT 4 MESILLA, DONA ANA COUNTY, NEW MEXICO



**POND: CALCULATIONS**

IMPERVIOUS AREA = 1,179 SF  
COEFFICIENT TO BE USED ON THIS SITE = 2.0"  
(2.0"/12"/FT) X 1,179 = 196.5 CF

PONDING REQUIRED [196.5 X 125%] = 246 CF

PONDING REQUIRED FOR NEW IMPERVIOUS AREA = 246 CF

**PONDING PROVIDED**

IMPERVIOUS AREA WILL DRAIN INTO EXISTING PECAN ORCHARD

**GENERAL NOTES:**

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3. PROPERTY LAND SLOPE DOES NOT EXCEED 4% THEREFORE A GRADING AND DRAINAGE PLAN IS NOT REQUIRED.
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10. PERIODIC WATERING TO BE EMPLOYED TO CONTROL DUST AND MAINTAIN MOISTURE CONTENT IN THE SOIL.
11. THE INFORMATION FOR THIS SITE PLAN WAS DERIVED FROM DOÑA ANA COUNTY RECORDING INFORMATION.

## SITE PLAN

SCALE: 1" = 60'-0"



DRAFTING BY:



Civil, Commercial and Residential Drafting  
1615 S.SOLANO DRIVE Las Cruces, New Mexico  
Phone: 575-541-5050 88001

**TOWN OF MESILLA  
ZONING APPROVAL**

**OFFICIAL USE ONLY:**  
Case # \_\_\_\_\_  
Fee \$ \_\_\_\_\_

**PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Western Builders, LLC 575-644-0137  
Name of Property Owner Property Owner's Telephone Number

P.O. Box 2863 Mesilla Park NM 88017  
Property Owner's Mailing Address City State Zip Code

steven@westernbuildersnm.com  
Property Owner's E-mail Address

Western Builders, LLC  
Contractor's Name & Address (If none, indicate Self)

575-644-0957 03-102709-00-1 GB-48 394955-  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 1280 Rosita Ct. Las Cruces, NM 88005

Description of Proposed Work: Single family dwelling consisting of 2949 Heated square feet, 4 bedroom 4 bath with a 3-car garage

\$453,000 [Signature] 9/16/21  
Estimated Cost Signature of Applicant Date

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

**FOR OFFICIAL USE ONLY**

**PZHAC**  Administrative Approval **BOT**  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. \_\_\_\_\_ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. \_\_\_\_\_ Site Plan with dimensions and details.
  3. \_\_\_\_\_ Foundation plan with details.
  4. \_\_\_\_\_ Floor plan showing rooms, their uses and dimensions.
  5. \_\_\_\_\_ Cross section of walls
  6. \_\_\_\_\_ Roof and floor framing plan
  8. \_\_\_\_\_ Proof of legal access to the property.
  9. \_\_\_\_\_ Drainage plan.
  10. \_\_\_\_\_ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  11. \_\_\_\_\_ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  12. \_\_\_\_\_ Proof of legal access to the property.
  13. \_\_\_\_\_ Other information as necessary or required by the City Code or Community Development Department (See other side.)



2128621 SEP 3, 2021 04:46:32 PM PAGES: 1  
WARRANTY DEED Deputy: Edward Kriner  
Amanda López Askin, County Clerk, Dona Ana, NM



Southwestern Abstract & Title Co.  
5950-TM-2021/cp

### WARRANTY DEED

Christopher A. Mount and Sandra Mount, husband and wife, for consideration paid, grant to Western Builders, LLC, a New Mexico limited liability company, whose address is PO Box 2863, Mesilla Park, NM 88047, the following described real estate in Dona Ana County, New Mexico:

**Lot 6, LOS REYES SUBDIVISION, in Dona Ana County, New Mexico, as shown and designated on the plat thereof, filed in the office of the County Clerk of said County on February 11, 2008, in Book 22 Page(s) 419-420 of Plat Records.**

SUBJECT TO: Restrictions, Reservations and Easements of record.

with warranty covenants.

Witness our hands and seal this 3rd day of September, 2021.

Christopher A. Mount

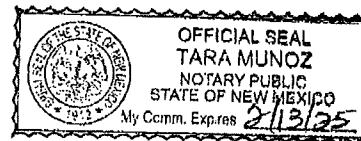
Sandra Mount

### ACKNOWLEDGEMENT

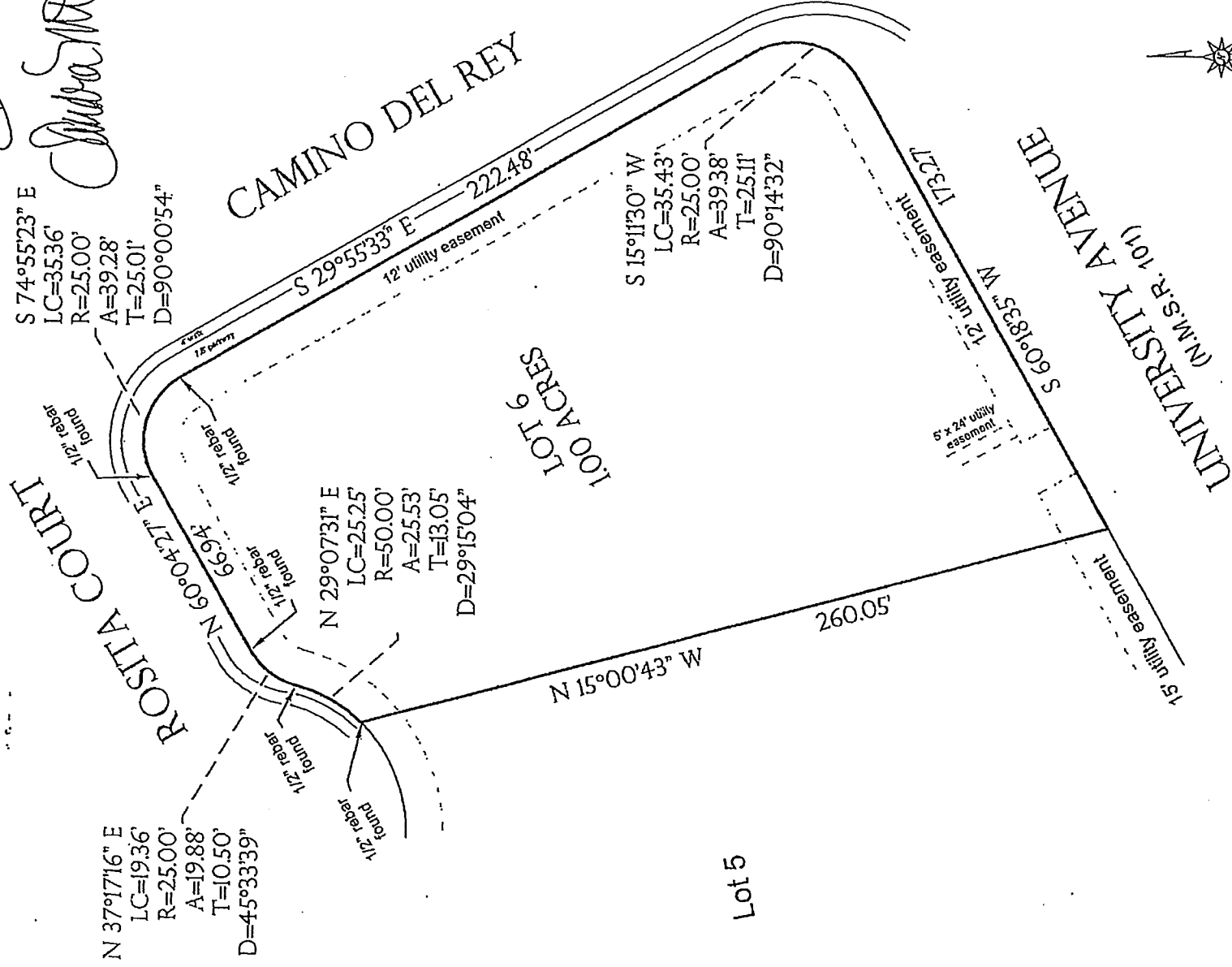
STATE OF NEW MEXICO  
COUNTY OF DOÑA ANA

This instrument was acknowledged before me on this 3rd day of September, 2021, by Christopher A. Mount and Sandra Mount.

Signature of notarial officer



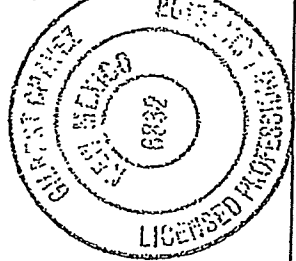
PLAT OF SURVEY OF LOT 6, LOS REYES SUBDIVISION  
 IN THE TOWN OF MESILLA, DONA ANA COUNTY, NEW MEXICO AS THE SAME IS  
 SHOWN AND DESIGNATED ON PLAT NO 4694 THEREOF, FILED OF RECORD IN THE  
 OFFICE OF THE COUNTY CLERK OF SAID COUNTY ON FEBRUARY 11, 2008, AND  
 RECORDED IN PLAT BOOK 22 PAGE 419-420, PLAT RECORDS



1. Date of Survey: February 1, 2020
2. Basis of Bearing: Property corners found in place for Los Reyes Subdivision as filed February 11, 2008 in Plat Record 22 Pages 319-320
3. Distances are ground in U.S. Foot
4. Record or plotted information, where it differs from that found in the field, is shown in brackets ( )
5. Property lies within Flood Zone "X"; area is determined to be outside the 500 year-year flood plain as designated in Flood Insurance Rate Map No. 36013C-1094 © effective date: July 6, 2016

I, Gilbert Chavez, New Mexico Professional Surveyor No. 6832, do hereby certify that this Plat of Survey and Equal-Survey shows the ground upon which it is based were performed by me on February 1, 2020; that I am responsible for this survey; that this survey meets the Minimum Standards for Surveying in New Mexico; and that it is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the Subdivision Act and that this instrument is a Plat of Survey of an existing lot.

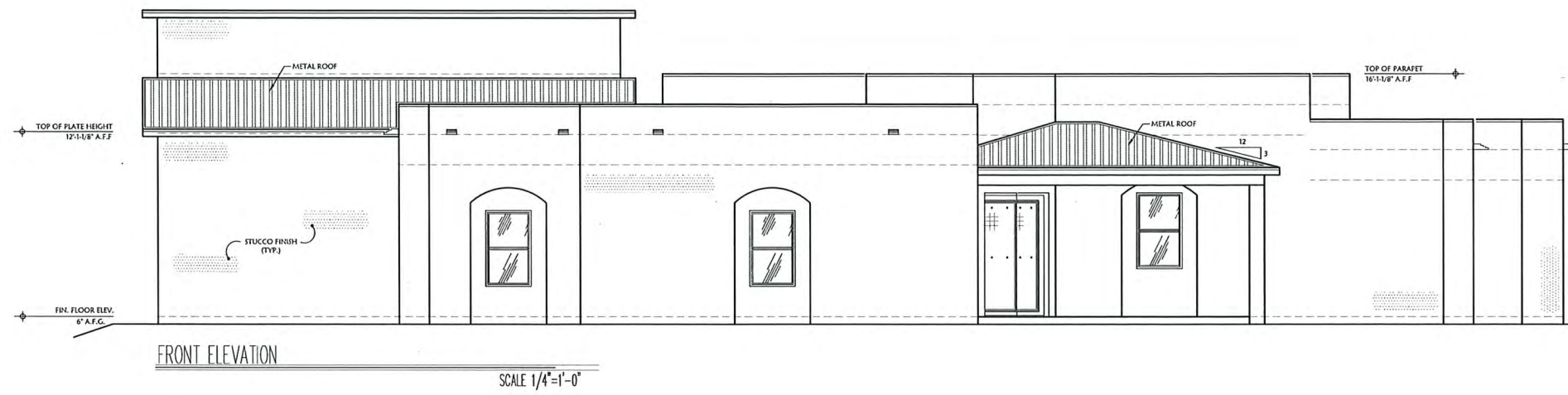
Gilbert Chavez, PS No. 6832  
 February 3, 2020



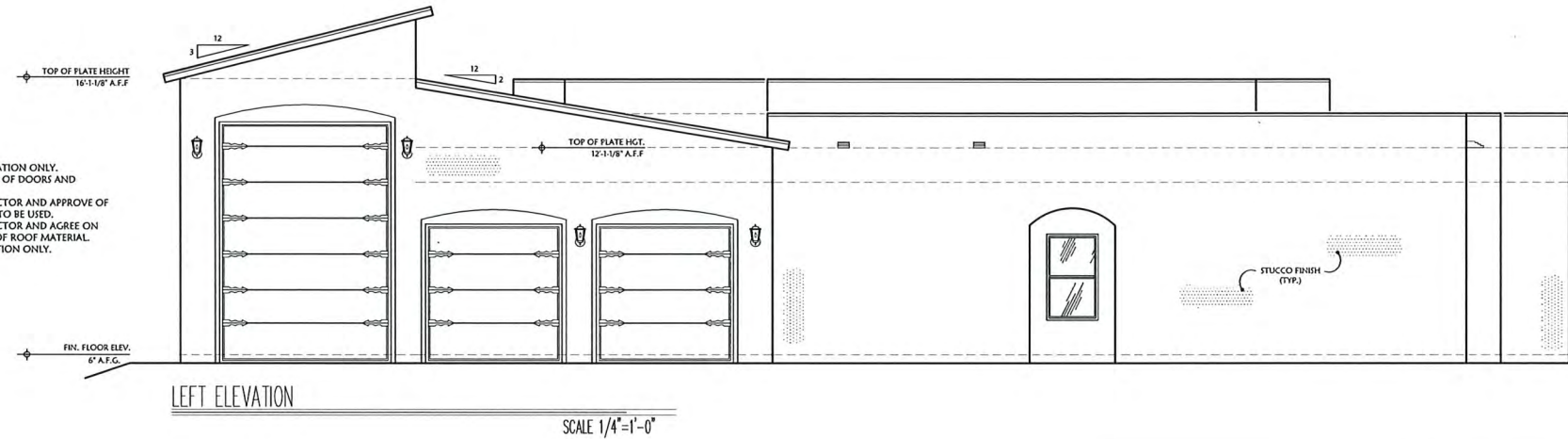
**Gilbert Chavez**  
 Professional Surveyor  
 Vista Grande Surveys  
 P.O. Box 882  
 Mesilla, NM 88046-0882  
 Phone 527-4875  
 E-mail: gilchvz@qt.com



VG 20-007



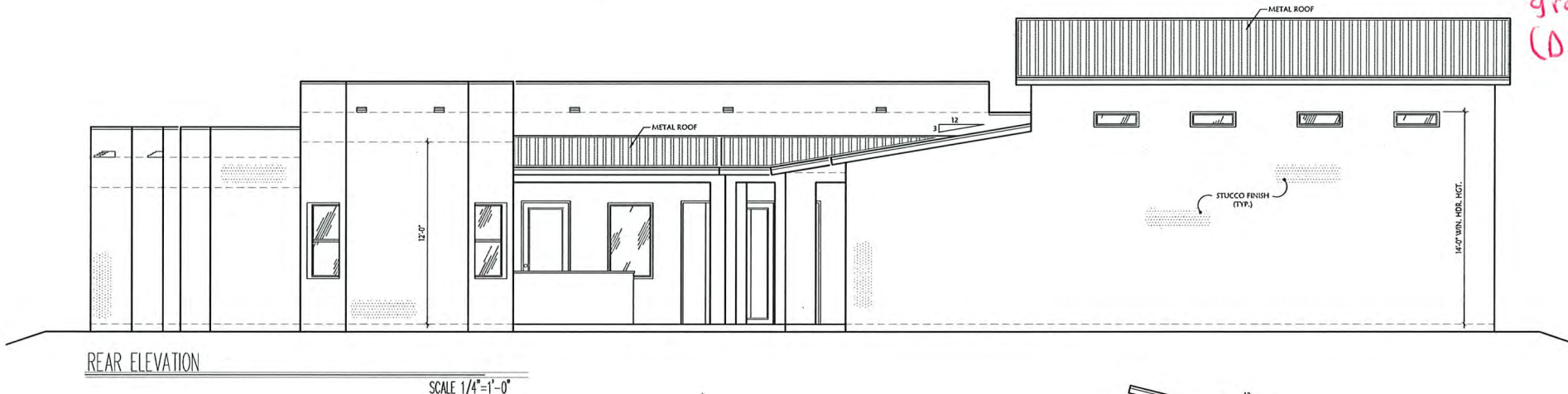
FRONT ELEVATION  
SCALE 1/4"=1'-0"



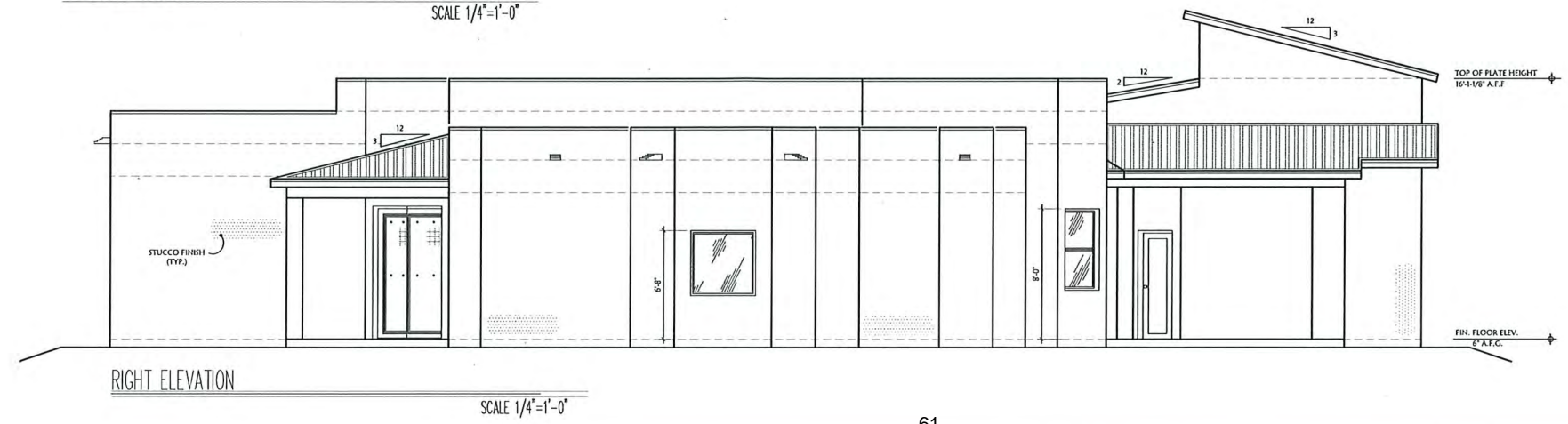
LEFT ELEVATION  
SCALE 1/4"=1'-0"

NOTE:  
ELEVATIONS SHOWN ARE FOR REPRESENTATION ONLY. SEE FLOOR PLAN FOR LOCATION AND SIZE OF DOORS AND WINDOWS.  
OWNER TO COORDINATE WITH CONTRACTOR AND APPROVE OF ACTUAL TYPE OF DOORS AND WINDOWS TO BE USED.  
OWNER TO COORDINATE WITH CONTRACTOR AND AGREE ON BUILDING TRIM STYLE, COLOR AND TYPE OF ROOF MATERIAL.  
LANDSCAPING IS FOR VISUAL REPRESENTATION ONLY.

Color Scheme  
The intended color scheme is to be different shades of gray ranging from pearl (light) gray to charcoal (dark) gray.



REAR ELEVATION  
SCALE 1/4"=1'-0"



RIGHT ELEVATION  
SCALE 1/4"=1'-0"

|           |                     |
|-----------|---------------------|
| Sheet No. | A - 1               |
| Job Name  | HELLANDER RESIDENCE |
| Location  | AS NOTED            |
| Date      | 9/15/21             |
| Drawn By  | ARM                 |
| Check By  |                     |
| Scale     |                     |
| Drawn By  | ARM                 |

BUILDER:

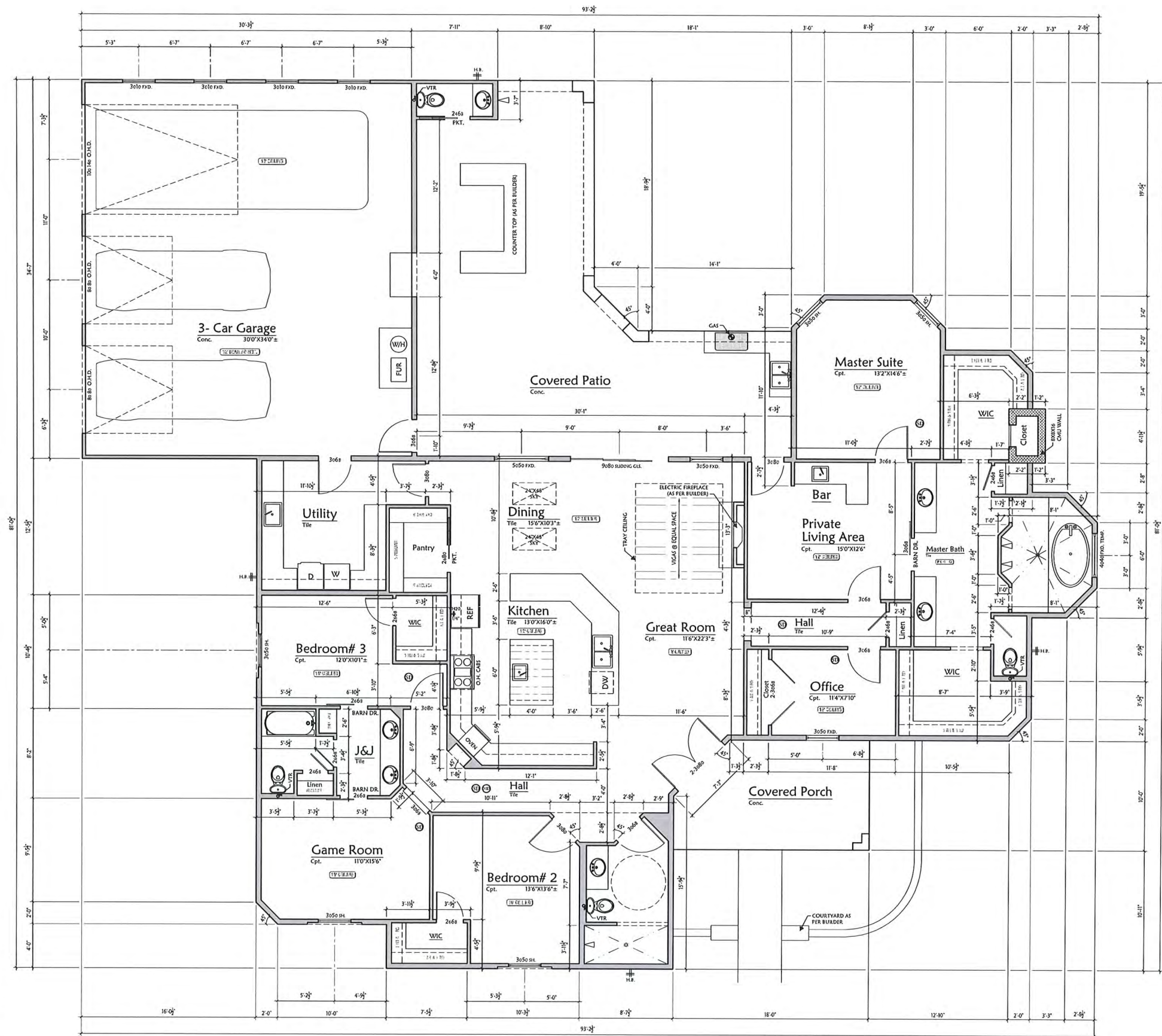
**WESTERN BUILDERS, LLC**  
CUSTOM HOMES  
575-644-0437

DESCRIPTION:  
LOT 6, LOS REYES SUBDIVISION,  
LOCATED IN SECTION 30, T.23S., R.2E.,  
IN THE TOWN OF MEXILIA, DONA  
ANA COUNTY, NEW MEXICO

THE ARCHITECTURAL, RESIDENTIAL DRAWING SET, INCLUDING BUT NOT LIMITED TO, THE ELEVATIONS, IS THE PROPERTY OF G&M ASSOCIATES, LLC. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS OF THE SITE AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

NEW RESIDENTIAL PLANS FOR:  
**HELLANDER RESIDENCE**  
Elevations

PLANS BY:  
**G&M Associates LLC**  
Architectural & Civil  
Drawing Plan Production  
Phone: 915-252-3762  
Email: admannique@gmail.com



**FLOOR PLAN**

SHEET SIZE 36"x24" SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
1. EXTERIOR WALLS TO BE 2X6 STUDS @ 16" O.C.
  2. ALL HEADERS SPANNING MORE THAN 3' SHALL BE 2X12. (SEE FRAMING NOTES).
  3. ALL FIXTURES & APPLIANCES TO BE CHOSEN BY OWNER.
  4. ALL DIMENSIONS ARE TO BE CHECKED AND CONFIRMED BY CONTRACTOR PRIOR TO POURING OF CONCRETE.
  5. INSULATE WALLS R-22 BLOW IN INSUL MIN., CEILINGS R-38.
  6. GARAGE WALLS BATT INSUL. R-30. BATHROOMS BATT INSUL. R-13
  7. SOUND BATT IN BATHROOMS, LAUNDRY AND MASTER BEDROOM.
  8. INTERIOR TO BE SHEET ROCKED, TAPED, TEXTURED, AND PAINTED.
  9. EXTERIOR TO BE STUCCO - COLOR BY OWNER/CONTRACTOR.
  10. ALL ANGLED WALLS TO BE 45° ANGLES UNLESS OTHERWISE NOTED.

| AREA             |               |
|------------------|---------------|
| HEATED           | 2,949 SQ. FT. |
| TOTAL HEATED     | 2,949 SQ. FT. |
| COVERED PORCH    | 167 SQ. FT.   |
| COVERED PATIO    | 748 SQ. FT.   |
| CAR GARAGE       | 1,058 SQ. FT. |
| TOTAL NON-HEATED | 1,973 SQ. FT. |
| TOTAL AREA       | 4,922 SQ. FT. |

|                 |          |
|-----------------|----------|
| Sheet No.       | A - 2    |
| Job No. or Name |          |
| Scale           | AS NOTED |
| Date            | 9/16/21  |
| Checked By      | Shawn    |
| Drawn By        | ARM      |

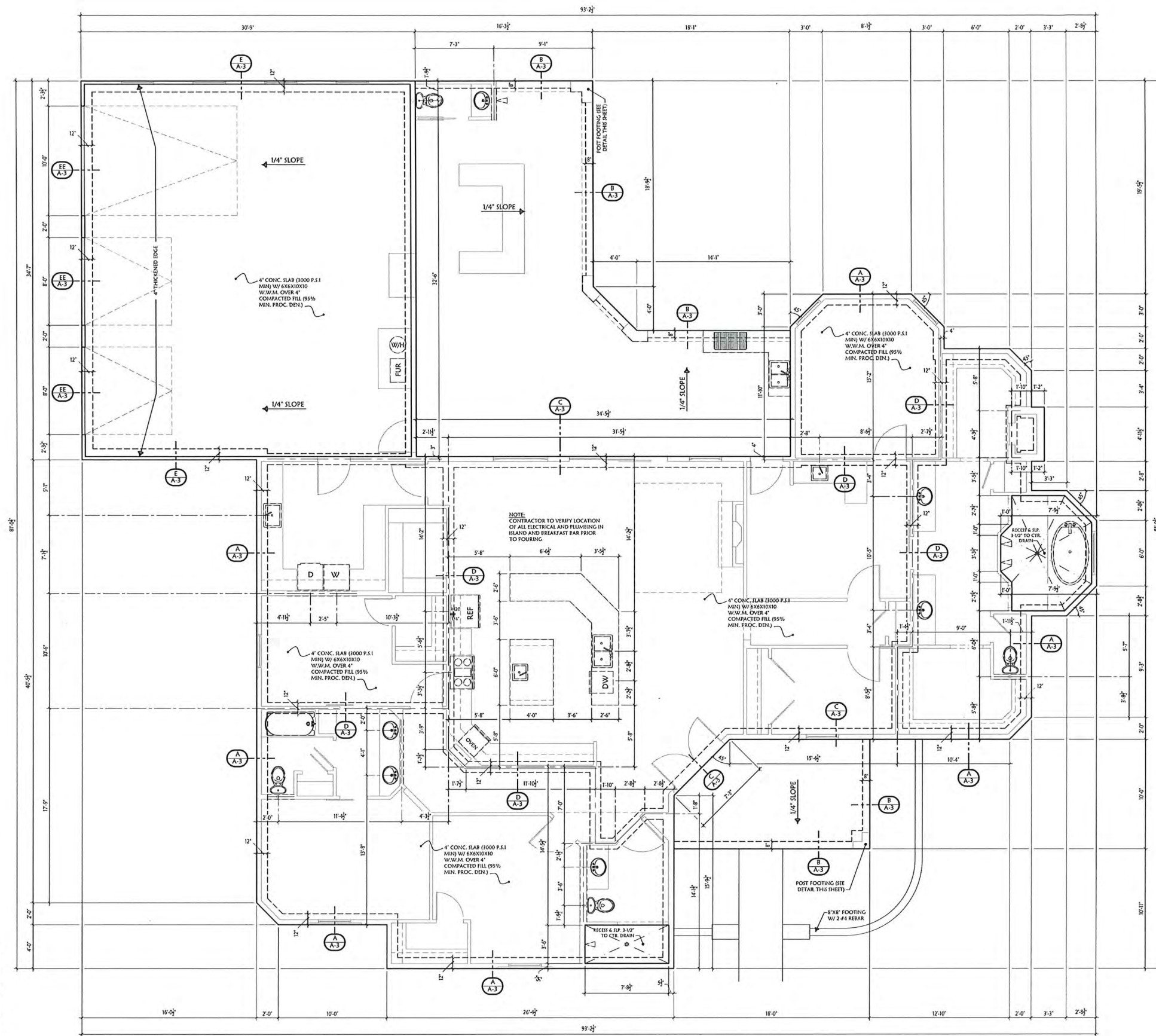
**BUILDER:**  
*Quality Homes of the Southwest*  
**WESTERN BUILDERS LLC**  
 CUSTOM HOMES  
**575-644-0437**

**DESCRIPTION**  
 LOT 6, LOS REYES SUBDIVISION,  
 LOCATED IN SECTION 30, T.23S., R.2E.,  
 IN THE TOWN OF MESILLA, DONA  
 ANA COUNTY, NEW MEXICO

WESTERN BUILDERS LLC ARCHITECTURAL DRAWINGS ARE BASED ON THE CITY OF DONORA LOCAL CODES. ENGINEERING, MATERIALS, CONSTRUCTION AND FINISHES SHALL BE AS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE THE PROPERTY OF WESTERN BUILDERS LLC AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF WESTERN BUILDERS LLC.

NEW RESIDENTIAL PLANS FOR:  
**HELLANDER RESIDENCE**  
**Floor Plan**

**PLANS BY:**  
**G&M Associates LLC**  
 Architectural & Civil  
 Drawing Plan Production  
 Phone: 915-252-3762  
 Email: admantiquez@gmail.com

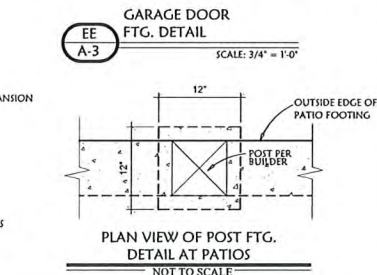
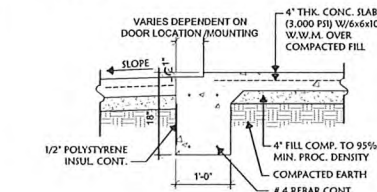
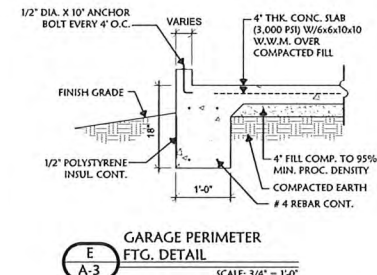
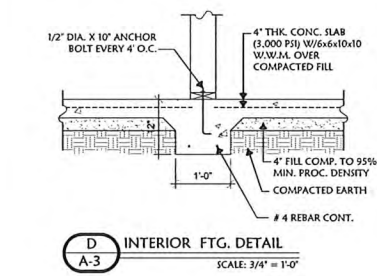
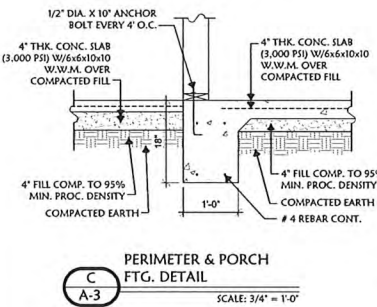
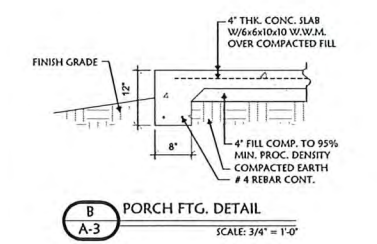
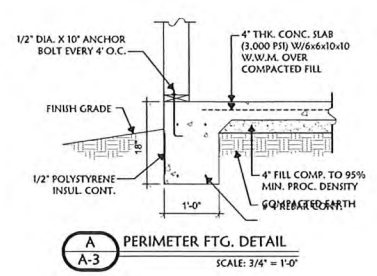
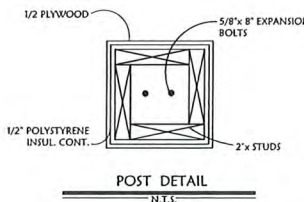


**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**FOUNDATION NOTES:**

1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF PC = 3000 P.S.I.
2. ALL REINFORCING STEEL SHALL BE ASTM-615, GRADE 40 HAVING A YIELD STRENGTH OF 40,000 P.S.I.
3. ALL REINFORCING STEEL SHALL BE FABRICATED IN ACCORDANCE WITH THE ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI-318) AND THE ACI STANDARD DETAILING MANUAL (ACI-315)
4. PROVIDE BAR SUPPORTS AND SPACERS FOR REBAR (ACI-315)
5. MINIMUM LAPPED SPICES IN REBAR SHALL BE 30 DIAMETERS (12" MINIMUM)
6. ALL FOOTING SHALL BEAR ON NATURAL UNDISTURBED SOIL OR COMPACTED TO 95% STANDARD PROCTOR AT OPTIMUM MOISTURE
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT LOCAL AND NEW MEXICO CODES



|                 |          |
|-----------------|----------|
| Sheet No.       | A-3      |
| Job No. or Name |          |
| Scale           | AS NOTED |
| Date            | 9/15/21  |
| Checked By      | Steven   |
| Drawn By        | ARM      |

**BUILDER:**  
*Quality Homes of the Southwest*  
**WESTERN BUILDERS, LLC**  
 CUSTOM HOMES  
 575-644-0437

**DESCRIPTION:**  
 LOT 6, LOS REYES SUBDIVISION,  
 LOCATED IN SECTION 30, T.23S., R.2E.,  
 IN THE TOWN OF MESILLA, DONA  
 ANA COUNTY, NEW MEXICO

MUTUALITY, REGIONAL, DRAWING ARE  
 MADE IN THE CITY OF ALBUQUERQUE,  
 NEW MEXICO. THE CONTRACTOR SHALL  
 VERIFY THE LOCATION OF ALL UTILITIES  
 PRIOR TO CONSTRUCTION. THE  
 CONTRACTOR SHALL BE RESPONSIBLE  
 FOR ANY DAMAGE TO THE UTILITIES  
 CAUSED BY THE CONSTRUCTION.  
 CONTRACTOR SHALL BE RESPONSIBLE  
 FOR THE PROTECTION OF ALL UTILITIES.

NEW RESIDENTIAL PLANS FOR:  
**HELLANDER RESIDENCE**  
 Foundation Plan & Details

**G&M Associates LLC**  
 Architectural & Civil  
 Drawing Plan Production  
 Phone: 915-252-3762  
 Email: admin@gmllc.com



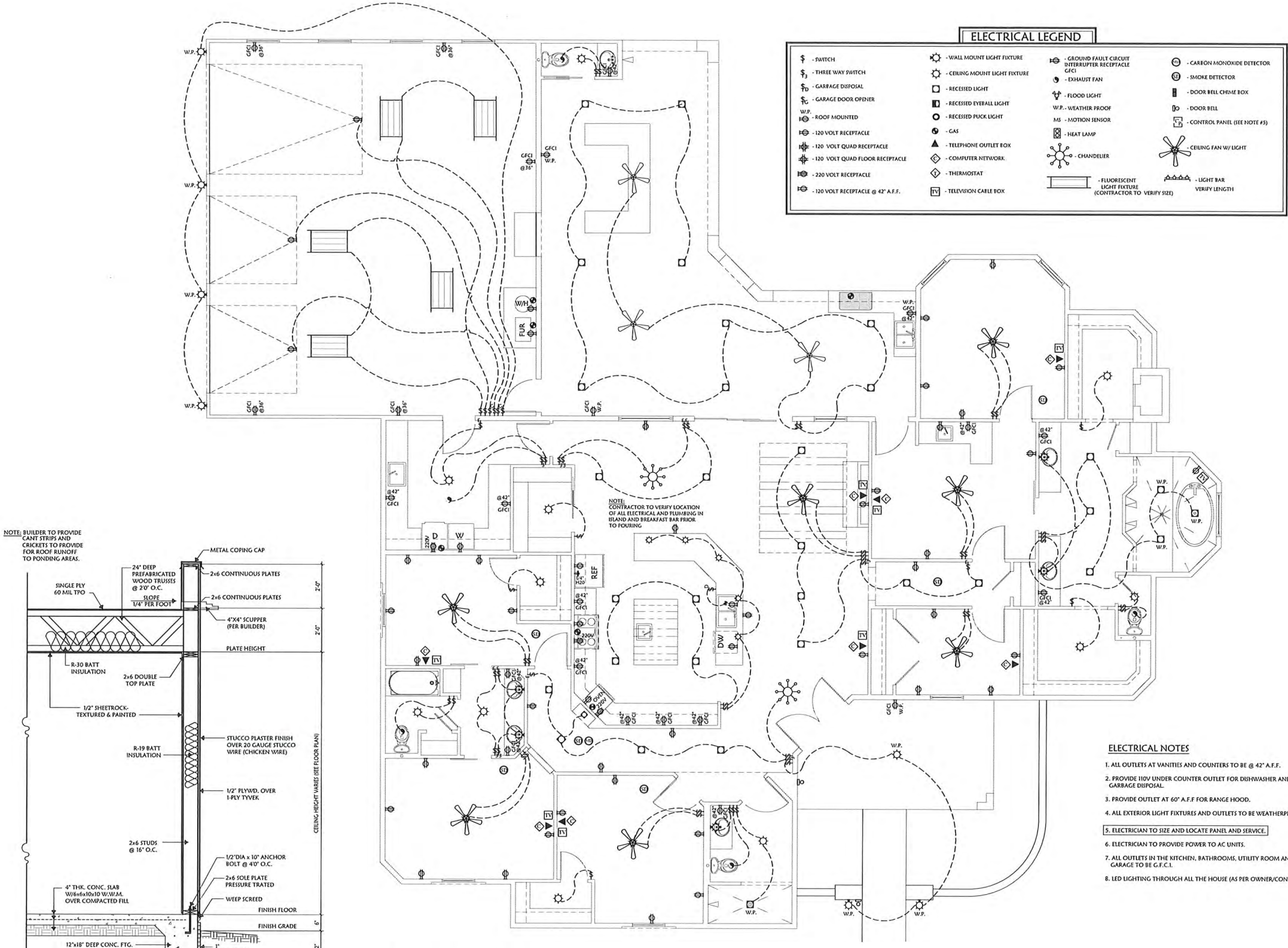
**BUILDER:**  
*Quality Homes of the Southwest*  
**WESTERN BUILDERS LLC**  
 CUSTOM HOMES  
**575-644-0437**

**DESCRIPTION**  
 LOT 6, LOS REYES SUBDIVISION,  
 LOCATED IN SECTION 30, T.23S., R.2E.,  
 IN THE TOWN OF MESILLA, DONA  
 ANA COUNTY, NEW MEXICO

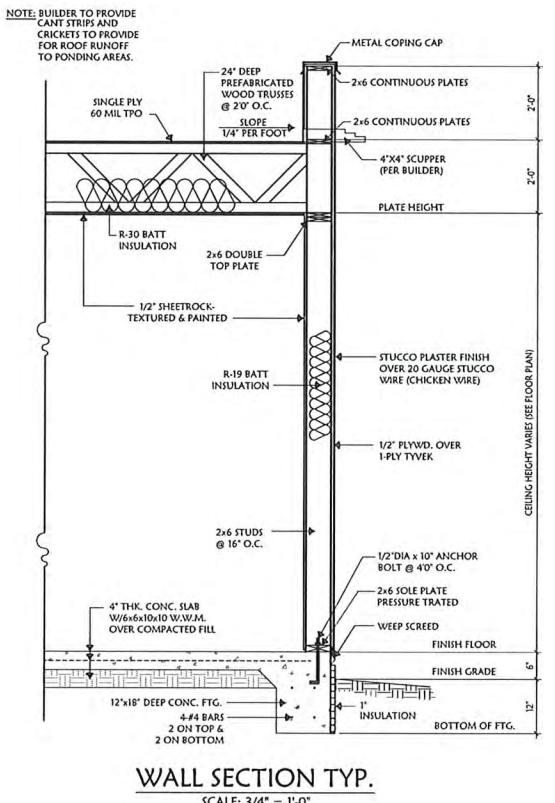
NOTE: ELECTRICAL RESIDENTIAL DRAWINGS ARE MADE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, THE NATIONAL FIRE ALARM AND SIGNALING CODE, THE NATIONAL WIRE AND CABLE CODE, THE NATIONAL FIXTURES AND LUMINAIRE CODE, THE NATIONAL INSTALLATION CODE, THE NATIONAL LOW VOLTAGE SYSTEMS CODE, THE NATIONAL COMMUNICATIONS CODE, THE NATIONAL CONSTRUCTION AND PLUMBING CODES, AND THE NATIONAL MECHANICAL AND PLUMBING CODES. THE DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND CONDITIONS OF THE PROJECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**NEW RESIDENTIAL PLANS FOR:**  
**HELLANDER RESIDENCE**  
**Electrical Plan & Typ. Wall Section**

**PLANS BY:**  
**G&M Associates LLC**  
 Architectural & Civil  
 Drawing Plan Production  
 Phone: 915-252-3762  
 Email: admanniquiz@gmail.com



| ELECTRICAL LEGEND |   |   |   |
|-------------------|---|---|---|
| ⊞                 | - SWITCH                                      | ⊞ | - WALL MOUNT LIGHT FIXTURE                              |
| ⊞                 | - THREE WAY SWITCH                            | ⊞ | - CEILING MOUNT LIGHT FIXTURE                           |
| ⊞                 | - GARAGE DISPOSAL                             | ⊞ | - RECESSED LIGHT  |
| ⊞                 | - GARAGE DOOR OPENER                          | ⊞ | - RECESSED EYEBALL LIGHT                                |
| W.P.              | - ROOF MOUNTED                                | ⊞ | - RECESSED PUCK LIGHT                                   |
| ⊞                 | - 120 VOLT RECEPTACLE                         | ⊞ | - GAS   |
| ⊞                 | - 120 VOLT QUAD RECEPTACLE                    | ⊞ | - TELEPHONE OUTLET BOX                                  |
| ⊞                 | - 120 VOLT QUAD FLOOR RECEPTACLE              | ⊞ | - COMPUTER NETWORK                                      |
| ⊞                 | - 220 VOLT RECEPTACLE                         | ⊞ | - THERMOSTAT  |
| ⊞                 | - 120 VOLT RECEPTACLE @ 42" A.F.F.            | ⊞ | - TELEVISION CABLE BOX                                  |
| ⊞                 | - GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE | ⊞ | - EXHAUST FAN   |
| ⊞                 | - FLOOD LIGHT                                 | ⊞ | - WEATHER PROOF   |
| ⊞                 | - MOTION SENSOR                               | ⊞ | - HEAT LAMP   |
| ⊞                 | - CHANDELIER                                  | ⊞ | - FLUORESCENT LIGHT FIXTURE (CONTRACTOR TO VERIFY SIZE) |
| ⊞                 | - CARBON MONOXIDE DETECTOR                    | ⊞ | - CEILING FAN W/ LIGHT                                  |
| ⊞                 | - SMOKE DETECTOR                              | ⊞ | - LIGHT BAR (VERIFY LENGTH)                             |
| ⊞                 | - DOOR BELL CHIME BOX                         |   |   |
| ⊞                 | - DOOR BELL                                   |   |   |
| ⊞                 | - CONTROL PANEL (SEE NOTE #5)                 |   |   |



**WALL SECTION TYP.**  
 SCALE: 3/4" = 1'-0"

**ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"

- ELECTRICAL NOTES**
1. ALL OUTLETS AT VANITIES AND COUNTERS TO BE @ 42" A.F.F.
  2. PROVIDE 110V UNDER COUNTER OUTLET FOR DISHWASHER AND GARBAGE DISPOSAL.
  3. PROVIDE OUTLET AT 60" A.F.F FOR RANGE HOOD.
  4. ALL EXTERIOR LIGHT FIXTURES AND OUTLETS TO BE WEATHERPROOF.
  5. ELECTRICIAN TO SIZE AND LOCATE PANEL AND SERVICE.
  6. ELECTRICIAN TO PROVIDE POWER TO AC UNITS.
  7. ALL OUTLETS IN THE KITCHEN, BATHROOMS, UTILITY ROOM AND GARAGE TO BE G.F.C.I.
  8. LED LIGHTING THROUGH ALL THE HOUSE (AS PER OWNER/CONTRACTOR)

Sheet No.  
**A - 5**

Job No. or Name.  
575-644-0437

Scale.  
AS NOTED

Date.  
9/15/21

Checked By.  
S. Evers

Drawn By.  
ARM

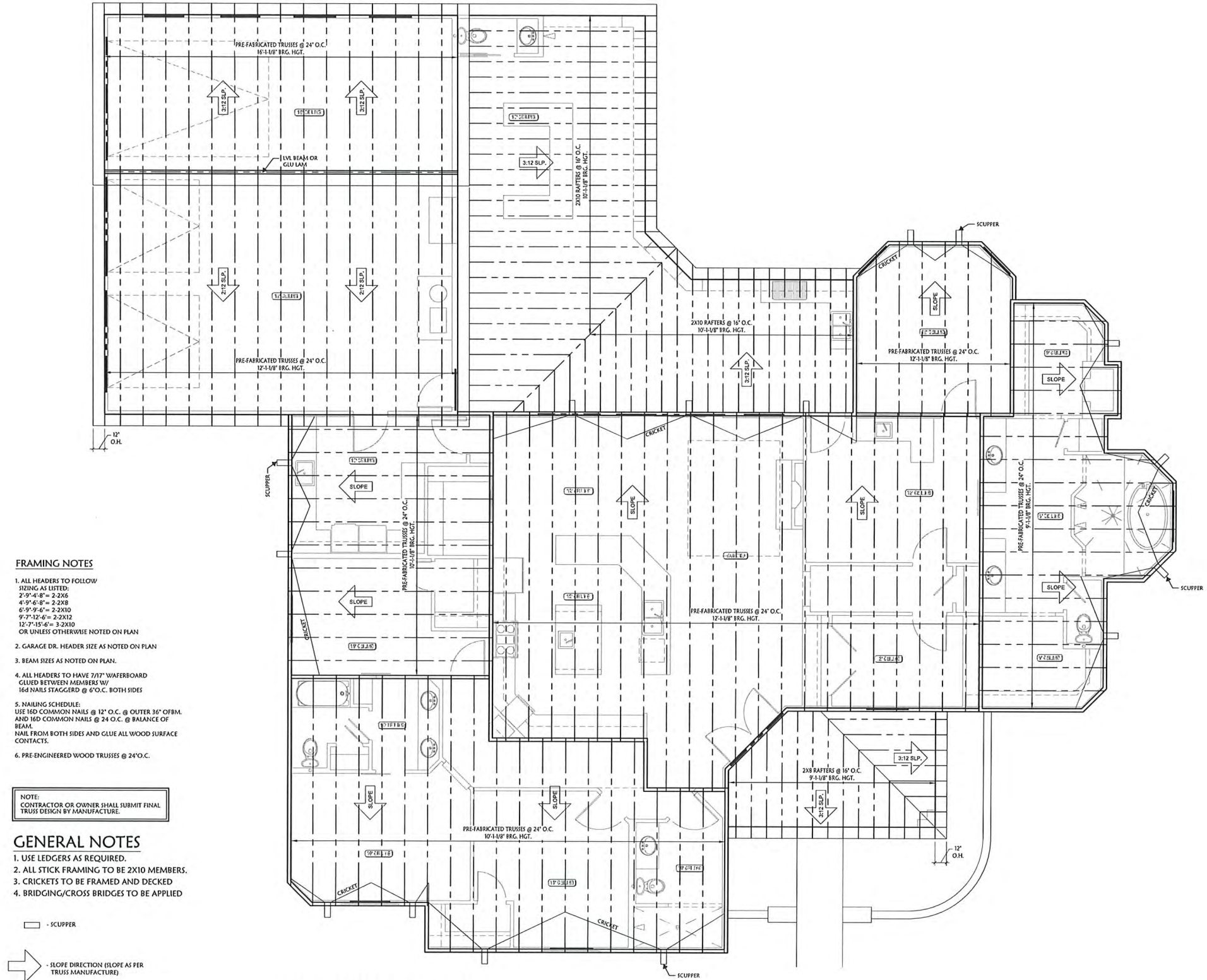


DESCRIPTION  
LOT 6, LOS REYES SUBDIVISION,  
LOCATED IN SECTION 30, T.23S., R.2E.,  
IN THE TOWN OF MESILLA, DONA  
ANA COUNTY, NEW MEXICO

NOTE:  
RESIDENTIAL, RECREATIONAL, FRAMING ARE  
BASED ON THE CITY OF ALBUQUERQUE LOCAL CODES.  
EXCLUDING MATERIALS, CONSTRUCTION AND  
FINISHES. THIS DRAWING IS FOR INFORMATION ONLY.  
IT IS NOT TO BE USED FOR CONSTRUCTION. THE USER  
FOR ANY DISTRIBUTION OF THIS DRAWING MUST  
OBTAIN THE WRITTEN PERMISSION OF THE ARCHITECT.  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT.

NEW RESIDENTIAL PLANS FOR:  
**HELLANDER RESIDENCE**  
**Roof Framing Plan**

PLANS BY:  
**G&M Associates LLC**  
Architectural & Civil  
Drawing Plan Production  
Phone: 915-252-3762  
Email: admantiques@gmail.com



- FRAMING NOTES**
- ALL HEADERS TO FOLLOW SIZING AS LISTED:  
2'-9\" 4'-8\" = 2-2X6  
4'-9\" 6'-8\" = 2-2X8  
6'-9\" 8'-6\" = 2-2X10  
8'-7\" 10'-6\" = 2-2X12  
12'-7\" 15'-6\" = 3-2X10  
OR UNLESS OTHERWISE NOTED ON PLAN
  - GARAGE DR. HEADER SIZE AS NOTED ON PLAN
  - BEAM SIZES AS NOTED ON PLAN.
  - ALL HEADERS TO HAVE 7/16\" WAFFERBOARD GLUED BETWEEN MEMBERS W/ 16d NAILS STAGGERED @ 6\" O.C. BOTH SIDES
  - NAILING SCHEDULE:  
USE 16d COMMON NAILS @ 12\" O.C. @ OUTER 36\" OF BM. AND 16d COMMON NAILS @ 24\" O.C. @ BALANCE OF BEAM.  
NAIL FROM BOTH SIDES AND GLUE ALL WOOD SURFACE CONTACTS.
  - PRE-ENGINEERED WOOD TRUSSES @ 24\" O.C.
- NOTE:  
CONTRACTOR OR OWNER SHALL SUBMIT FINAL TRUSS DESIGN BY MANUFACTURE.

- GENERAL NOTES**
- USE LEDGERS AS REQUIRED.
  - ALL STICK FRAMING TO BE 2X10 MEMBERS.
  - CRICKETS TO BE FRAMED AND DECKED
  - BRIDGING/CROSS BRIDGES TO BE APPLIED
- SCUPPER  
 - SLOPE DIRECTION (SLOPE AS PER TRUSS MANUFACTURE)  
 - HEADER (SEE FRAMING NOTES FOR SIZE)

**ROOF FRAMING PLAN**  
SCALE: 1/4\" = 1'-0\"

# SITE PLAN FOR A NEW RESIDENCE

SCALE: 1"=30'

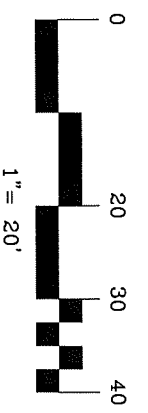
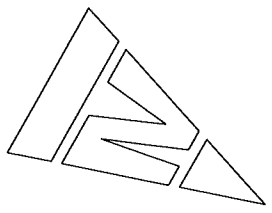
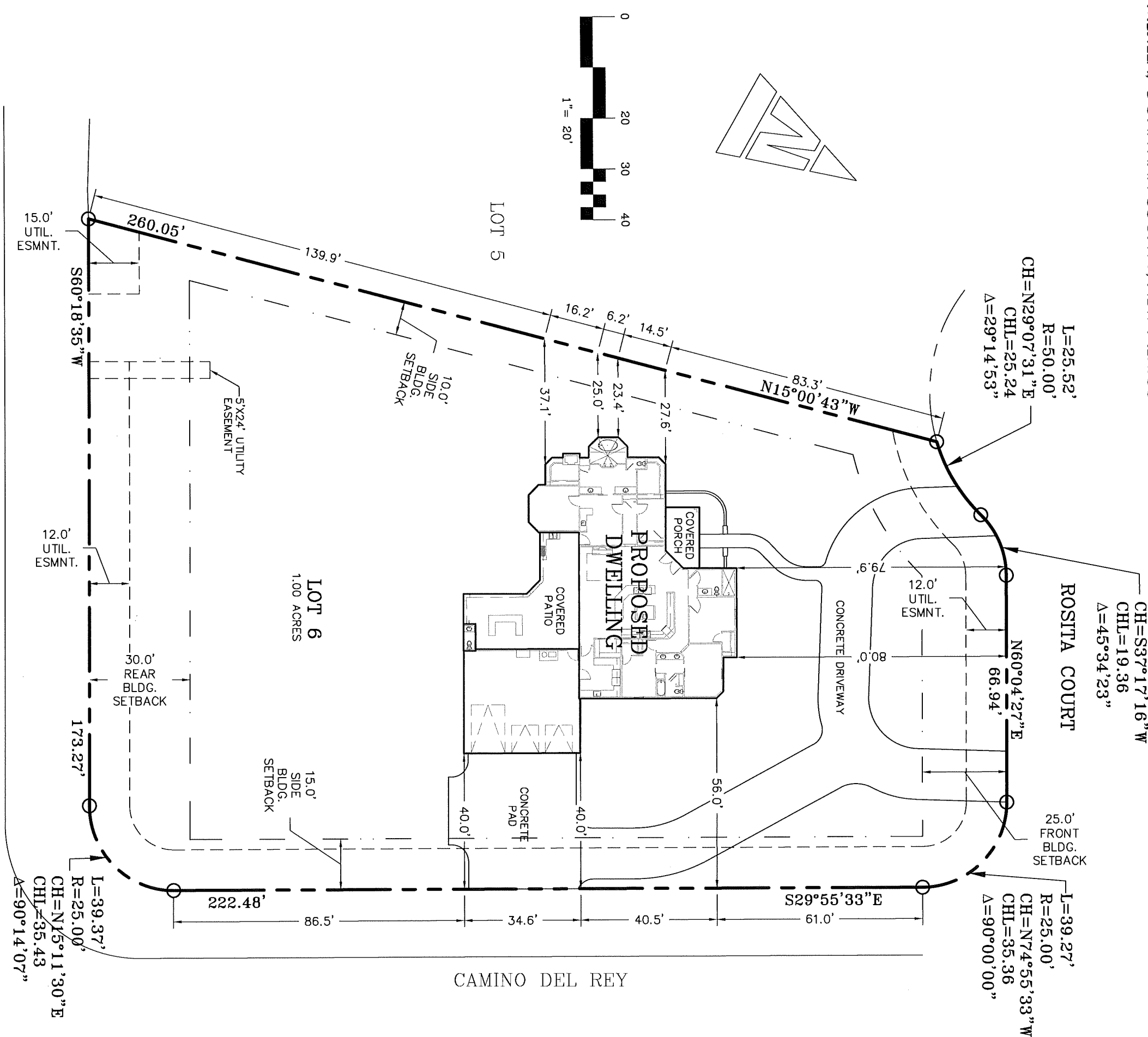
SEPTEMBER 15, 2021

**DESCRIPTION**

LOT 6, LOS REYES SUBDIVISION, LOCATED IN SECTION 30, T.23S., R.2E., IN THE TOWN OF MESILLA, DOÑA ANA COUNTY, NEW MEXICO

**ADDRESS:**

ROSITA COURT  
LAS CRUCES NM, 88011



UNIVERSITY AVENUE

CAMINO DEL REY

PLANS BY:  
**G&M Associates LLC**  
 Architectural & Civil  
 Drawing Plan Production  
 Phone: 915-252-3762  
 Email: gmnassociates@gmail.com

# Drainage - SITE PLAN FOR A NEW RESIDENCE

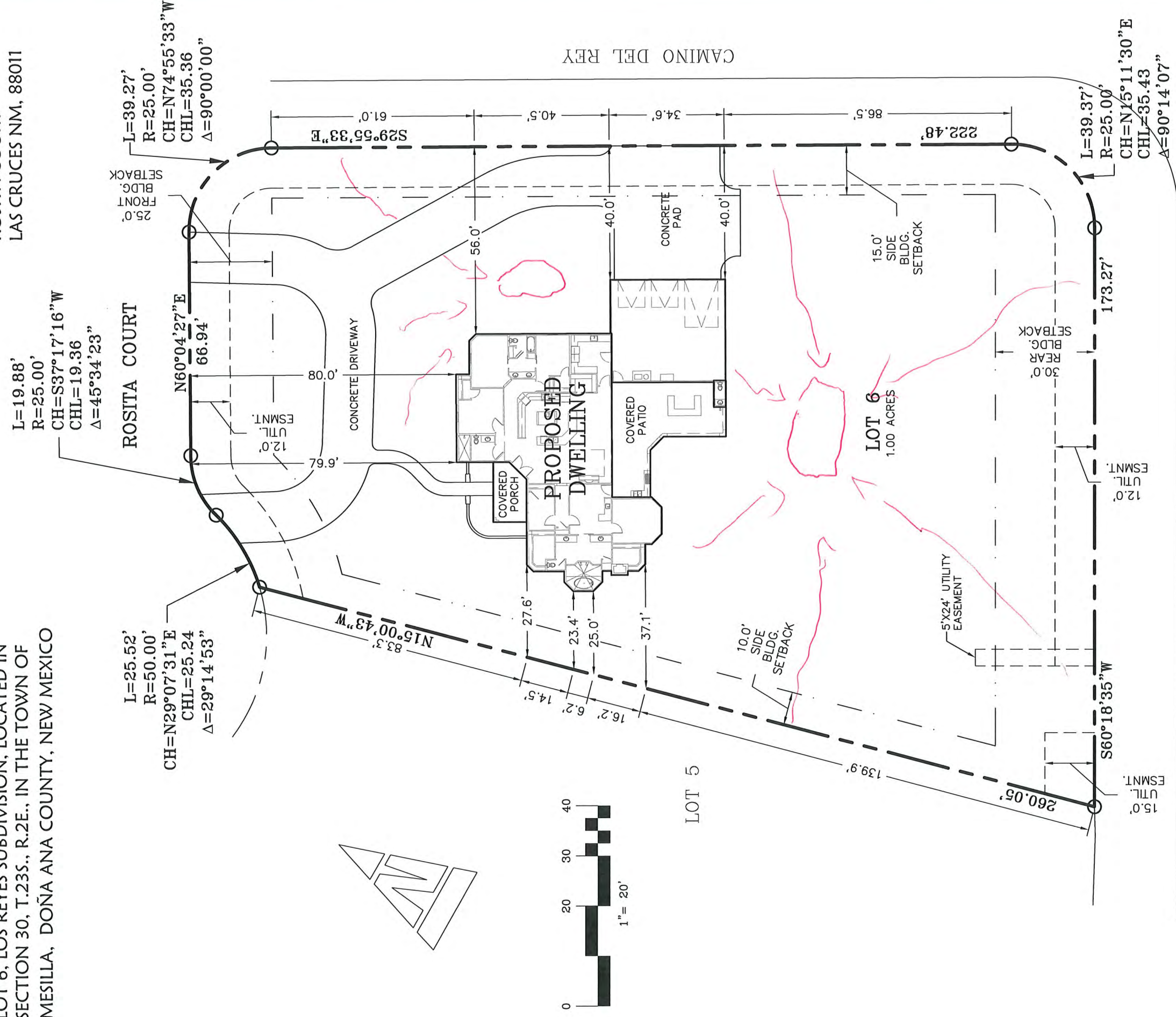
SCALE: 1"=30'      SEPTEMBER 15, 2021

## DESCRIPTION

LOT 6, LOS REYES SUBDIVISION, LOCATED IN SECTION 30, T.23S., R.2E., IN THE TOWN OF MESILLA, DOÑA ANA COUNTY, NEW MEXICO

## ADDRESS:

ROSITA COURT  
LAS CRUCES NM, 88011



PLANE BY:  
**G&M Associates LLC**  
Architectural & Civil  
Drawing Plan Production  
Phone: 915-252-3762  
Email: gmasassociates@gmail.com

**TOWN OF MESILLA  
ZONING APPROVAL**

**OFFICIAL USE ONLY:**

Case # \_\_\_\_\_

Fee \$ \_\_\_\_\_

**PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Robert Reynolds \_\_\_\_\_ 575 644 0829 \_\_\_\_\_  
Name of Property Owner Property Owner's Telephone Number

PO Box 1000 Mesilla NM 88046 \_\_\_\_\_  
Property Owner's Mailing Address City State Zip Code

rrmesilla@gmail.com \_\_\_\_\_  
Property Owner's E-mail Address

Contractor's Name & Address (If none, indicate Self) \_\_\_\_\_

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 2391 Calle de Parian \_\_\_\_\_

Description of Proposed Work: Install a gate no higher than existing rock wall at the location shown on general map wood gate \_\_\_\_\_

\$ 200 \_\_\_\_\_ Robert Reynolds \_\_\_\_\_ 9/9/2021 \_\_\_\_\_  
Estimated Cost Signature of Applicant Date

Signature of property owner: Robert Reynolds \_\_\_\_\_

**With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

**FOR OFFICIAL USE ONLY**

**PZHAC**       Administrative Approval      **BOT**       Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_       Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_       Approved with Conditions  
 Approved with conditions

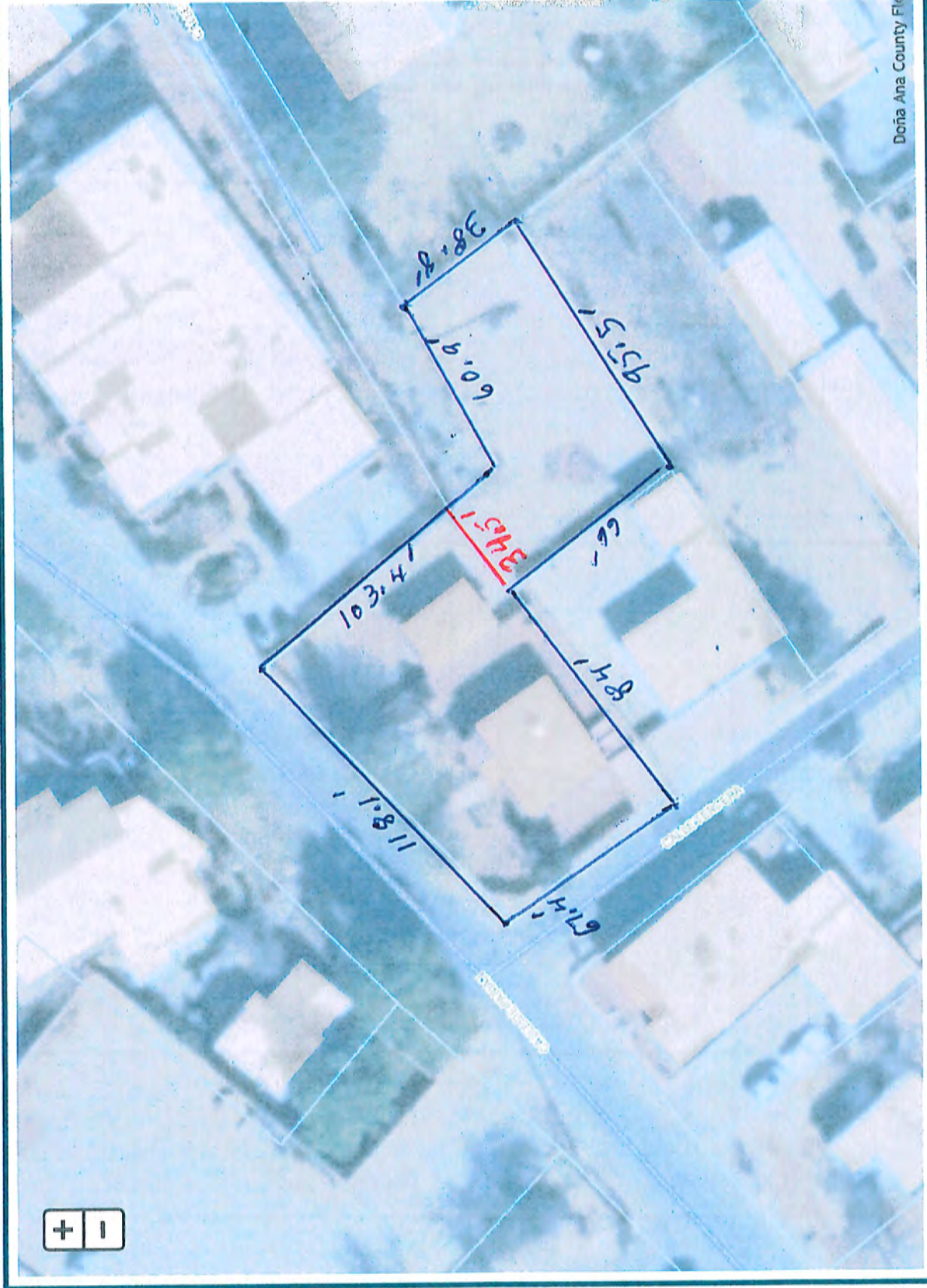
PZHAC APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO      BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. \_\_\_\_\_ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. ✓  
Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. \_\_\_\_\_ Site Plan with dimensions and details. ✓
  3. \_\_\_\_\_ Foundation plan with details.
  4. \_\_\_\_\_ Floor plan showing rooms, their uses and dimensions.
  5. \_\_\_\_\_ Cross section of walls
  6. \_\_\_\_\_ Roof and floor framing plan
  8. \_\_\_\_\_ Proof of legal access to the property.
  9. \_\_\_\_\_ Drainage plan.
  10. \_\_\_\_\_ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  11. \_\_\_\_\_ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  12. \_\_\_\_\_ Proof of legal access to the property.
  13. \_\_\_\_\_ Other information as necessary or required by the City Code or Community Development Department (See other side.)



Map Legend

- Map Layers**
- Layer Visibility:
- Roads
  - Buildings
  - City Limits
  - MLS Zones
  - Address Labels
  - 2014 Aerial Photo
  - Parcels

Select Search Type:  
Owner Name

Enter Value:  
Robert Reynolds

Search

~~Proposed~~ gate  
height: 4'  
Fence: wood  
gate: 11' wide  
with 23.5'  
fence

Note: No neighbors are effected. Fense + gate are on my property.

**The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)**

**BUILDING PERMIT REQUIREMENTS**

A. Completed application, including:

1. Applicant's name
2. Applicant/property owners contact information
3. Physical address of property
4. Description of work to be done, including dimensions of any construction or repairs
5. Value of work to be done
6. Property owner's signature on the application

B. Include all information required in the checklist at the bottom of the application.

C. Additional information required:

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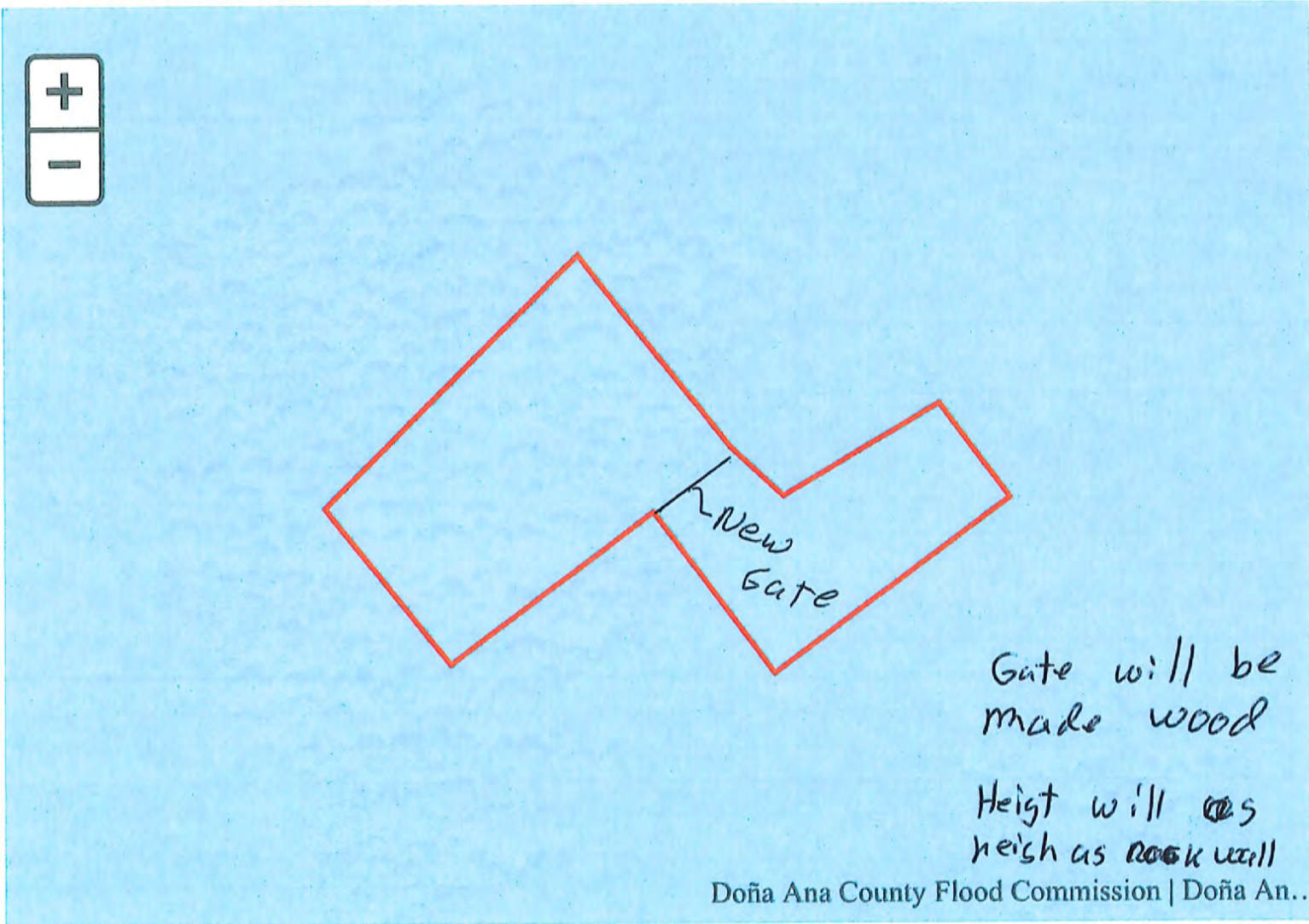
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# 391property

**ayer Visibility:**

- Roads
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels



|                |                               |               |                      |
|----------------|-------------------------------|---------------|----------------------|
| ACCOUNTNUMBER: | R0400521                      | PARCELNUMBER: | 4006138172012        |
| OWNERNAME:     | REYNOLDS ROBERT G & ROSEMARIE | MAILADDR1:    | PO BOX 1000          |
| CITY:          | MESILLA                       | STATE:        | NM                   |
| ZIP:           | 88046                         | LOT:          |                      |
| BLOCK:         |                               | SUBNAME:      |                      |
| TRS:           | 23S 1E 36                     | SITUSADDRS:   | 2391 CALLE DE PARIAN |
| TOTALACRES:    | 0                             |               |                      |



Dona Ana County, NM  
General Reference Maps

Map Help Dona Ana County Geospatial Committee 2015

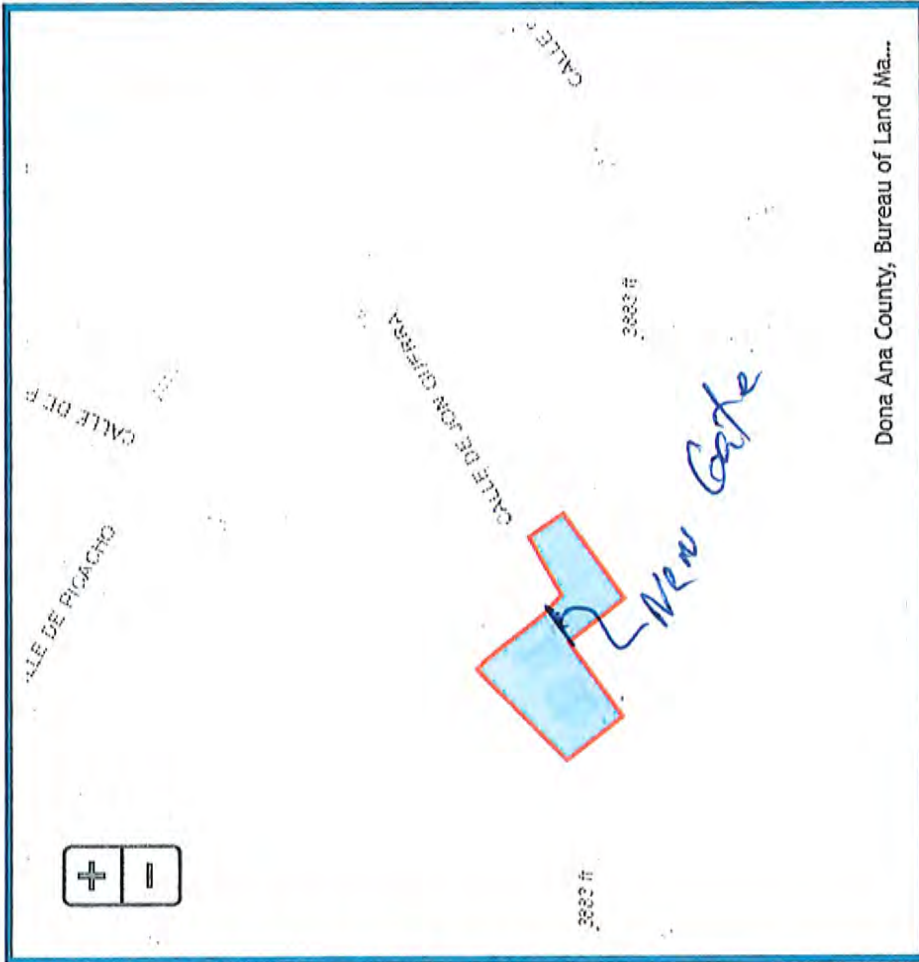
2014 Aerial | Addresses | County Address Points | Select Search Type: Account Number | Enter



Maps Legend

|                             |
|-----------------------------|
| <b>Map Themes</b>           |
| Parcels                     |
| UDC Zoning                  |
| Roads and Transportation    |
| NM House Districts          |
| NM Senate Districts         |
| County Commission Districts |
| City Council Districts      |
| Median Household Income     |
| General Land Ownership      |

Account Number: **RD400521**  
 Parcel Number: 4006138172012  
 Owner: REYNOLDS ROBERT G & ROSEMARIE  
 Mail Address: PO BOX 1000  
 Subdivision:  
 Property Address: 2391 CALLE DE PARIAN  
 Acres: 0



Dona Ana County, Bureau of Land Ma...

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061271

Fee \$ 152.50

*(Handwritten initials)*

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Name of Property Owner: Velia Chavez Property Owner's Telephone Number: 575. 572-7252  
 Property Owner's Mailing Address: P.O. Box 42 Mesilla City: N.M. State: 88046 Zip Code

Property Owner's E-mail Address: \_\_\_\_\_

Contractor's Name & Address (if none, indicate Self): Self

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 1937 Parian e 2411 San Albino

Description of Proposed Work: Buildings are leaking due to rain - patch up all leaks by putting coating to seal cracks.

Estimated Cost: \$1,500.00 Signature of Applicant: Velia Chavez Date: 09.03.2021

Signature of property owner: \_\_\_\_\_

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval OK BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES NO BOT APPROVAL REQUIRED: \_\_\_ YES NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: Cynthia De la Cruz ISSUE DATE: 9/3/21

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the City Code or Community Development Department (See other side.)

Town of Mesilla  
**PLAN APPROVED**

FOR COMPLIANCE WITH  
TOWN ZONING CODE

By: ole Date: 9/3/21

