



THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A REGULAR MEETING ON MONDAY, AUGUST 2, 2021 AT 2:30 P.M. IN PERSON IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA. (SPACE IS LIMITED)

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

III. CHANGES/APPROVAL OF THE AGENDA

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agendas and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

A. *ADMINISTRATIVE APPROVALS

Zoning Permit:

1. *#061251 – 2220 Calle de Parian – TR Frieze - (scrap, repair and paint all doors and windows) Request to scrap, repair and paint all doors and windows. Will match existing color. Zoned: Historical Commercial (HC)
2. *#061238 – 2341 Calle de Arroyo – Bob Pattison - (roof repair) Request to repair roof. Zoned: Historical Commercial (HC)

V. PZHAC NEW BUSINESS

B. PUBLIC INPUT ON CASE

Public Input shall be received at cnthias-h@mesillanm.gov at least one hour prior to the meeting and will be read into the record

C. DECISIONS:

Zoning Permits

1. #061251 - 2738 Highway 28 – ETMSS2, LLC – (repair and re-stucco exterior of building) Request to repair and re-stucco exterior of building. Stucco and texture will match existing color and texture. Zoned: Historical Residential (HR)
2. #061257 – 2301 Calle de San Albino – Patricia Molina – (renovation) Request to renovate, stucco, paint, retile, replace windows and doors, etc. Zoned: Historical Commercial (HC)
3. #061215 – 1705 Tierra de Mesilla – Cesar Huizar - (construct commercial building) Request to build a commercial building. Zoned: Commercial
4. #061260 – 1991 Calle de Santiago – Patricia Molina – (renovation) Request to renovate, stucco, paint, retile, replace windows and doors, etc. Zoned: Historical Commercial (HC)

D. Business permits

1. #0892 – 1750 Calle de Mercado – Livingston Bridal and Events DBA Blue Door Venue – Roxanne Livingston
2. #0891 – 2521 Ave de Mesilla – Cheeky Chaps Barbershop – Christopher Marangos
3. #0893 – 2220 Calle de Parian – Cutter Gallery – Glenn Cutter

VI. PZHAC/STAFF COMMENTS

VII. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to full participate in the hearing or meeting, please contact us at 524.3262 at least 48 hours prior to the meeting. Posted on 07.30.2021 at the following locations: Town Hall-2231 Avenida de Mesilla; Public Safety Building-2670 Calle de Parian; Mesilla Community Center-2251 Calle de Santiago; Shorty's Food Mart-2290 Avenida de Mesilla; and the U.S. Post office-2253 Calle de Parian.

JUL 13 2021

Adm. Approval

TOWN OF MESILLA ZONING APPROVAL

OFFICIAL USE ONLY: Case # 061248 Fee \$ 90.50

PERMISSION TO CONDUCT WORK OR OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. ZONE: CODE: APPLICATION DATE:

TR Fritze, LLC 915-313-1973 Name of Property Owner Property Owner's Telephone Number

PO Box 358 Mesilla Park NM 88047 Property Owner's Mailing Address City State Zip Code

eandtmanagementllc@gmail.com OR dnkinvest@comcast.net Property Owner's E-mail Address

Nancy Quintana (Building Pros), PO Box 493 Fairacres, NM 88033 Contractor's Name & Address (If none, indicate Self)

575-642-5231 85-0476799 #82681 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

2220 Calle de Parian Address of Proposed Work:

Scrap, Repair, and Paint all doors and windows. Match existing color. Description of Proposed Work:

\$2,000.00 Estimated Cost Teresa J. Sanchez Signature of Applicant 7/11/21 Date

Teresa J. Sanchez Signature of property owner:

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: Disapproved Date: Approved with Conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS:

PERMISSION ISSUED/DENIED BY: ISSUE DATE:

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- 1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

2220 Calle de Parian

Layer Visibility:

- Roads
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels



ACCOUNTNUMBER:	R0401186	PARCELNUMBER:	4006137212471
OWNERNAME:	T R FRIETZE LLC	MAILADDR1:	PO BOX 358
CITY:	MESILLA PARK	STATE:	NM
ZIP:	88047	LOT:	PC A
BLOCK:		SUBNAME:	FRIETZE TRACTS (BK 19 PG 123 - 9815662)
TRS:	235 1E 25	SITUSADDRS:	CALLE DE PARIAN
TOTALACRES:	0		

2220





2220

By Appointment Only

Signature

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**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:
Case # 061238
Fee \$ 540

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

JUL 14 2021
Adm. Approval

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

Bob Pattison Name of Property Owner 405 1112 Property Owner's Telephone Number

P.O. Box 1066 Mesilla N.M. 88046 Property Owner's Mailing Address City State Zip Code

Hurg 49 @ Gmail .com Property Owner's E-mail Address

SELF Contractor's Name & Address (If none, indicate Self)

405 1112 Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2341 Calle de Arroyo

Description of Proposed Work: Roof Repair

\$ 500.00 Estimated Cost [Signature] Signature of Applicant 7/14/21 Date

Signature of property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____ Disapproved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

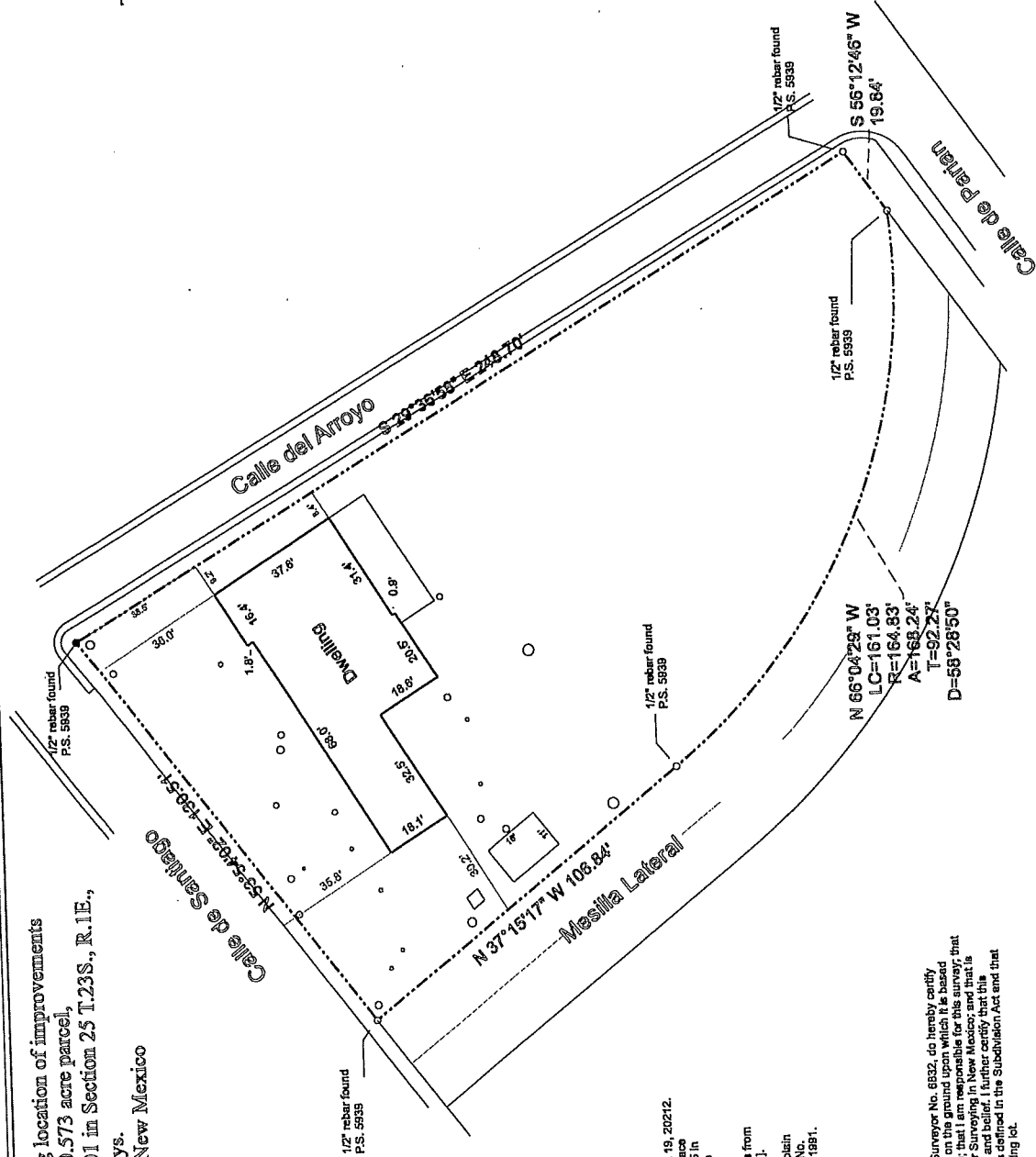
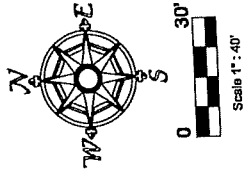
PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

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 6. _____ Roof and floor framing plan
 8. _____ Proof of legal access to the property.
 9. _____ Drainage plan.
 10. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. _____ Proof of legal access to the property.
 13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

Plans for 2341 Calle del Arroyo

1. STOP Leaks. Repair water damage,
2. Repair damage to adobe walls
3. Clean yard.
4. Fix roof damage

PLAT OF SURVEY showing location of improvements on 2342 Calle del Arroyo a 0.573 acre parcel, being U.S.R.S. Tract 11A-101 in Section 25 T.23S., R.1E., N.M.P.M. of U.S.R.S. Surveys. Mesilla, Doña Ana County, New Mexico



GENERAL NOTES

1. Date of field survey, November 6, 2010, April 19, 2021.
2. Existing property corners found in place for Warranty Deed as filed February 18, 2005 in Clerk's Record 596 Pages 1511 - 1512 of the records of Doña Ana County, New Mexico.
3. Distances are ground in U.S. feet.
4. Record or plotted information, where it differs from that found in this field, is shown in brackets [].
5. Property lies within Flood Zone SVA near flood plain as determined by the National Flood Insurance Rate Map No. 35010C1085 G Effective Date: July 6, 2016, 1991.

SURVEYOR'S CERTIFICATION

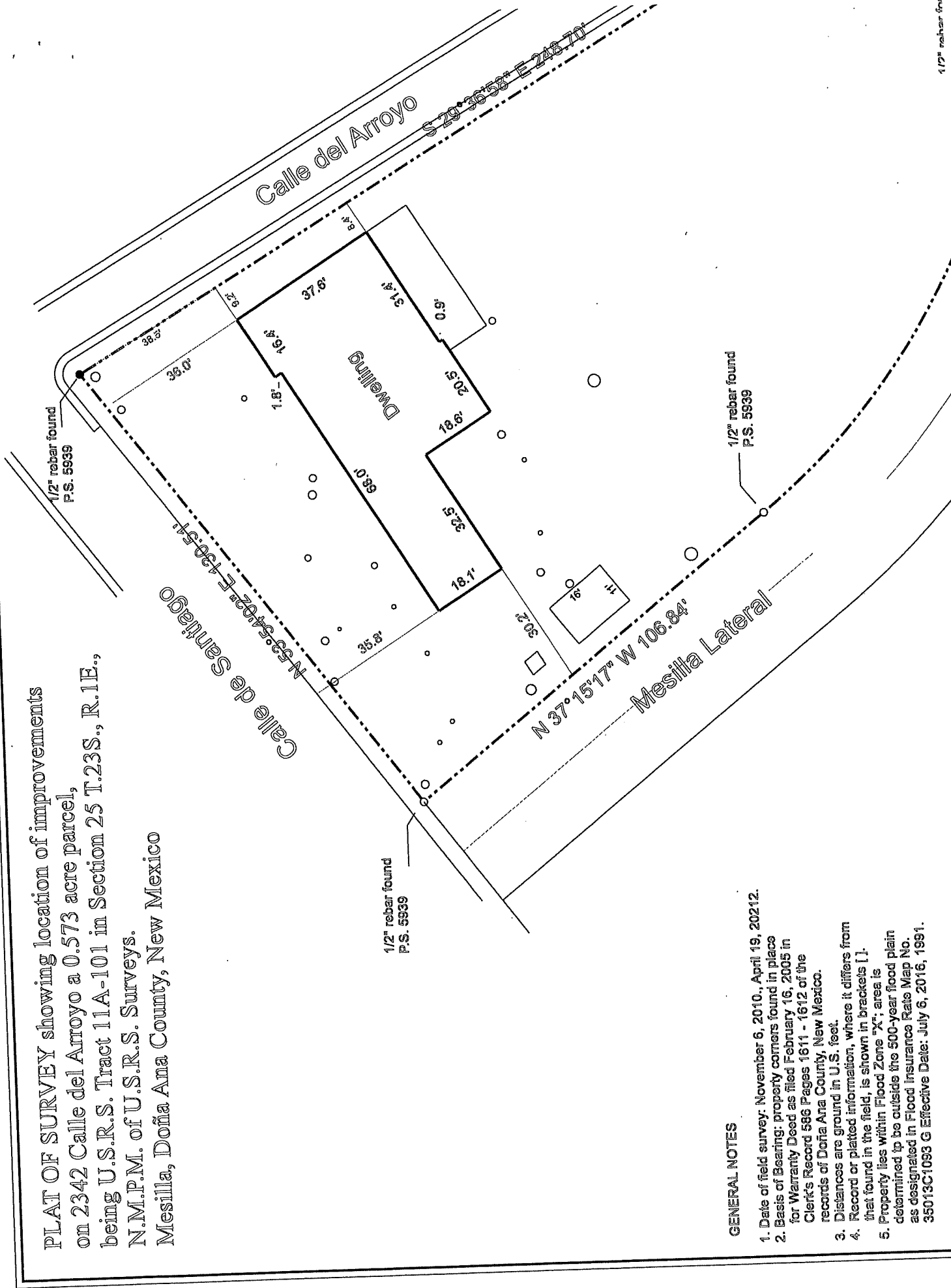
I, Gilbert Chavez, New Mexico Professional Surveyor No. 6832, do hereby certify that this Plat of Survey and the rebar found on the ground upon which it is based were performed by me on the 6th day of November, 2010; that I am responsible for this survey; that this survey meets the Minimum Standards for Surveying in New Mexico; and that in my belief, to the best of my knowledge and belief, I further certify that this survey is not a land division or subdivision as defined in the Subdivision Act and that this instrument is a Plat of Survey of an existing lot.

Gilbert Chavez
 Professional Surveyor
Vicente Gonzalez Serrano
 P.O. Box 802
 Mesilla, NM 88048-0802
 Phone (505) 687-4280

VG10-045

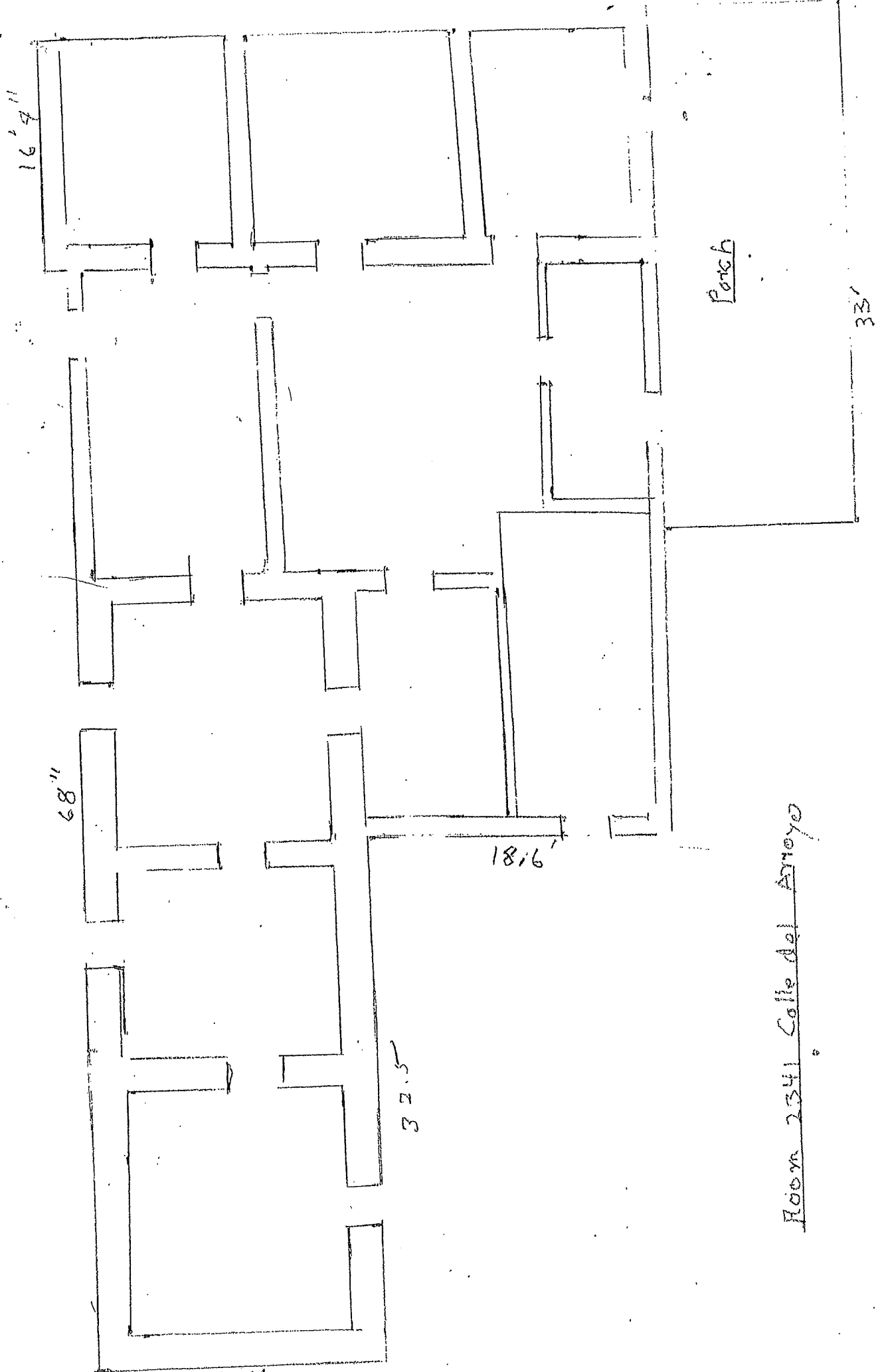
GILBERT CHAVEZ, PS 6832 November 8, 2010

PLAT OF SURVEY showing location of improvements
 on 2342 Calle del Arroyo a 0.573 acre parcel,
 being U.S.R.S. Tract 11A-101 in Section 25 T.23S., R.1E.,
 N.M.P.M. of U.S.R.S. Surveys.
 Mesilla, Doña Ana County, New Mexico



GENERAL NOTES

1. Date of field survey: November 6, 2010, April 19, 20212.
2. Basis of Bearing: property corners found in place for Warranty Deed as filed February 16, 2005 in Clerk's Record 586 Pages 1611 - 1612 of the records of Doña Ana County, New Mexico.
3. Distances are ground in U.S. feet.
4. Record or platted information, where it differs from that found in the field, is shown in brackets [].
5. Property lies within Flood Zone "X"; area is determined to be outside the 500-year flood plain as designated in Flood Insurance Rate Map No. 35013C1093 G Effective Date: July 6, 2016, 1991.



Room 2341 Calle del Arroyo








Map data ©2021, Map data ©2021 20 ft



2341 Calle Del Arroyo

Mesilla, NM 88046

-  Directions
-  Save
-  Nearby
-  Send to your phone
-  Share

Photos

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 0161251
Fee \$ 141

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

120.00
+
21.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

ETMSS2, LLC _____ 915-313-1973 _____
Name of Property Owner _____ Property Owner's Telephone Number _____

PO Box 358 _____ MESILLA PARK NM _____ 88047 _____
Property Owner's Mailing Address _____ City _____ State _____ Zip Code _____

eandtmanagementllc@gmail.com or drkinvest@comcast.net _____
Property Owner's E-mail Address _____

Marcelo Flores _____ 22155 Espino St. #11 _____ LCNM 88001 _____
Contractor's Name & Address (if none, indicate Self) _____

575-571-6191 _____ 03-407085-0-0 _____ _____
Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2738 Highway 28 (Avenida de Mesilla)

Description of Proposed Work: Re-stucco outside of building and repair cracks. Stucco will match existing color and match texture to adjoining building.

\$ 2300.00 _____ [Signature] _____ 7/21/2021 _____
Estimated Cost _____ Signature of Applicant _____ Date _____

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval _____ BOT _____ Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions _____
 Approved with conditions _____

PZHAC APPROVAL REQUIRED: YES _____ NO _____ BOT APPROVAL REQUIRED: YES _____ NO _____

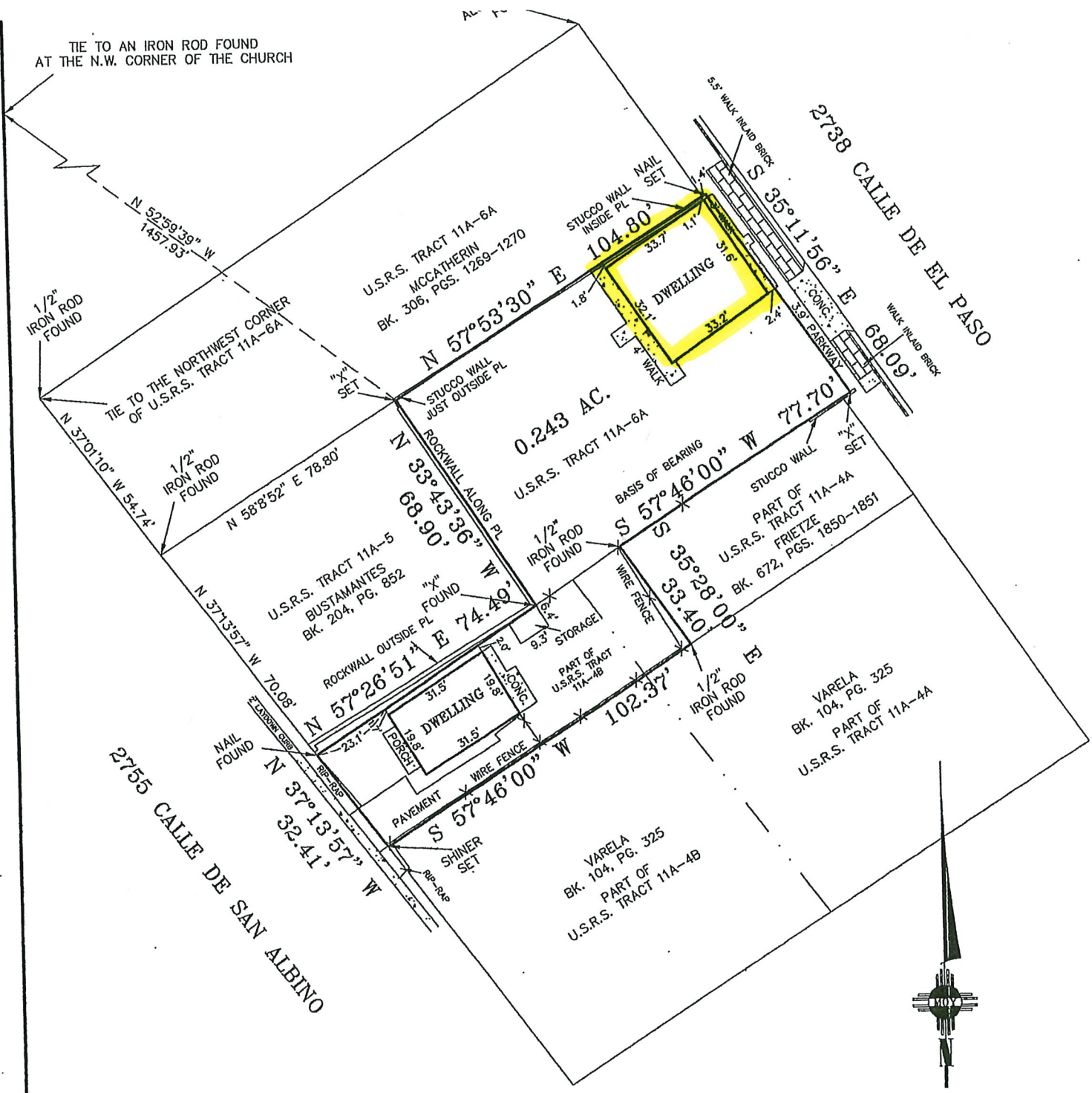
CID PERMIT/INSPECTION REQUIRED: _____ YES _____ NO _____ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

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10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. _____ Proof of legal access to the property.
13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

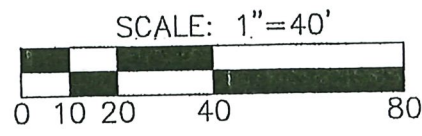


NOTES:

FLOOD ZONE "X"; AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN, IN MAP NO. 35013C0633 E, EFFECTIVE SEPTEMBER 27, 1991.

THIS SURVEY MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

INFORMATION IN THE PREPARATION OF THIS PLAT DERIVES FROM WARRANTY DEED FILED DECEMBER 11, 2000, IN BOOK 246, PAGES 346-353, DONA ANA COUNTY RECORDS.

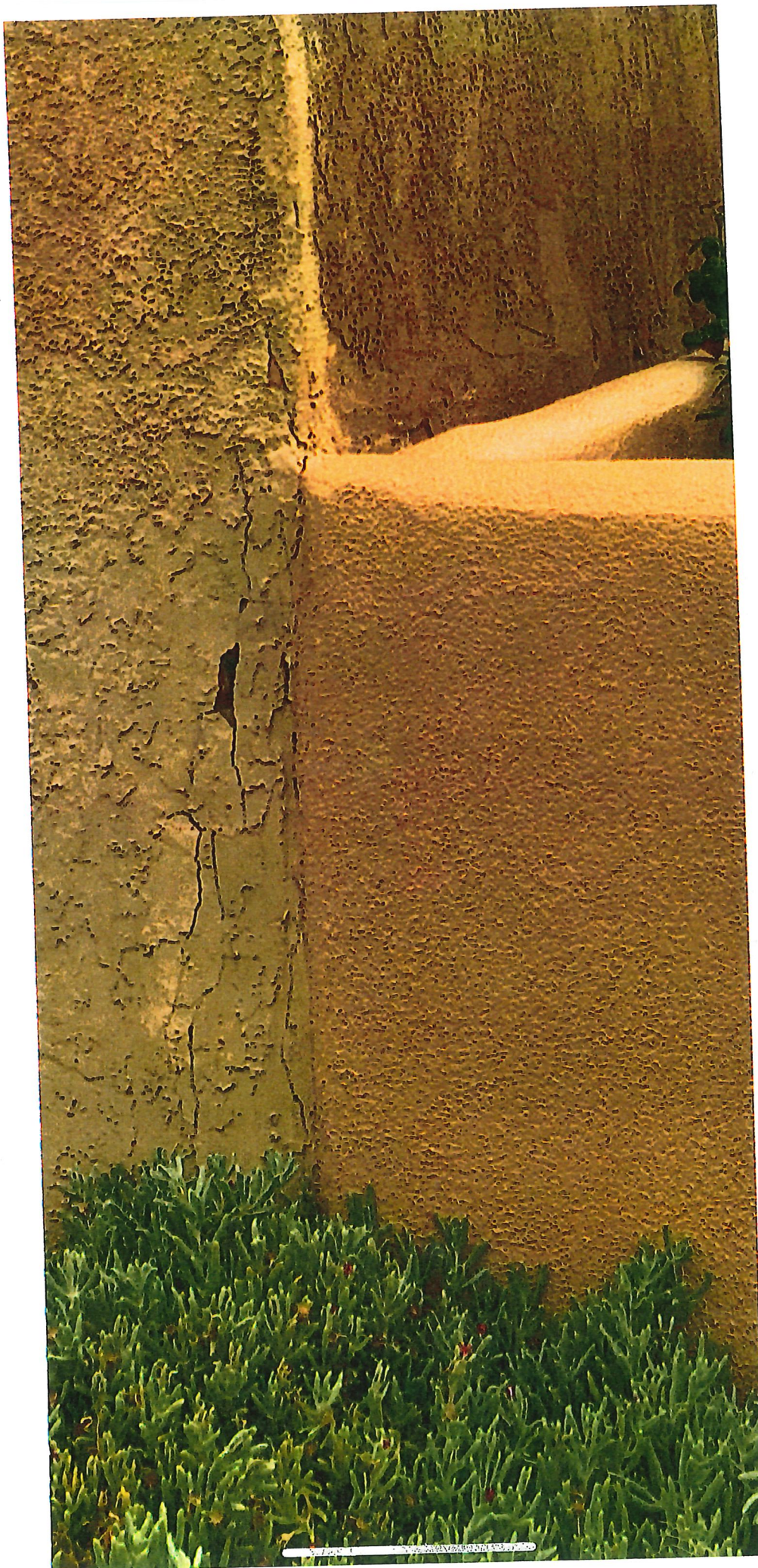


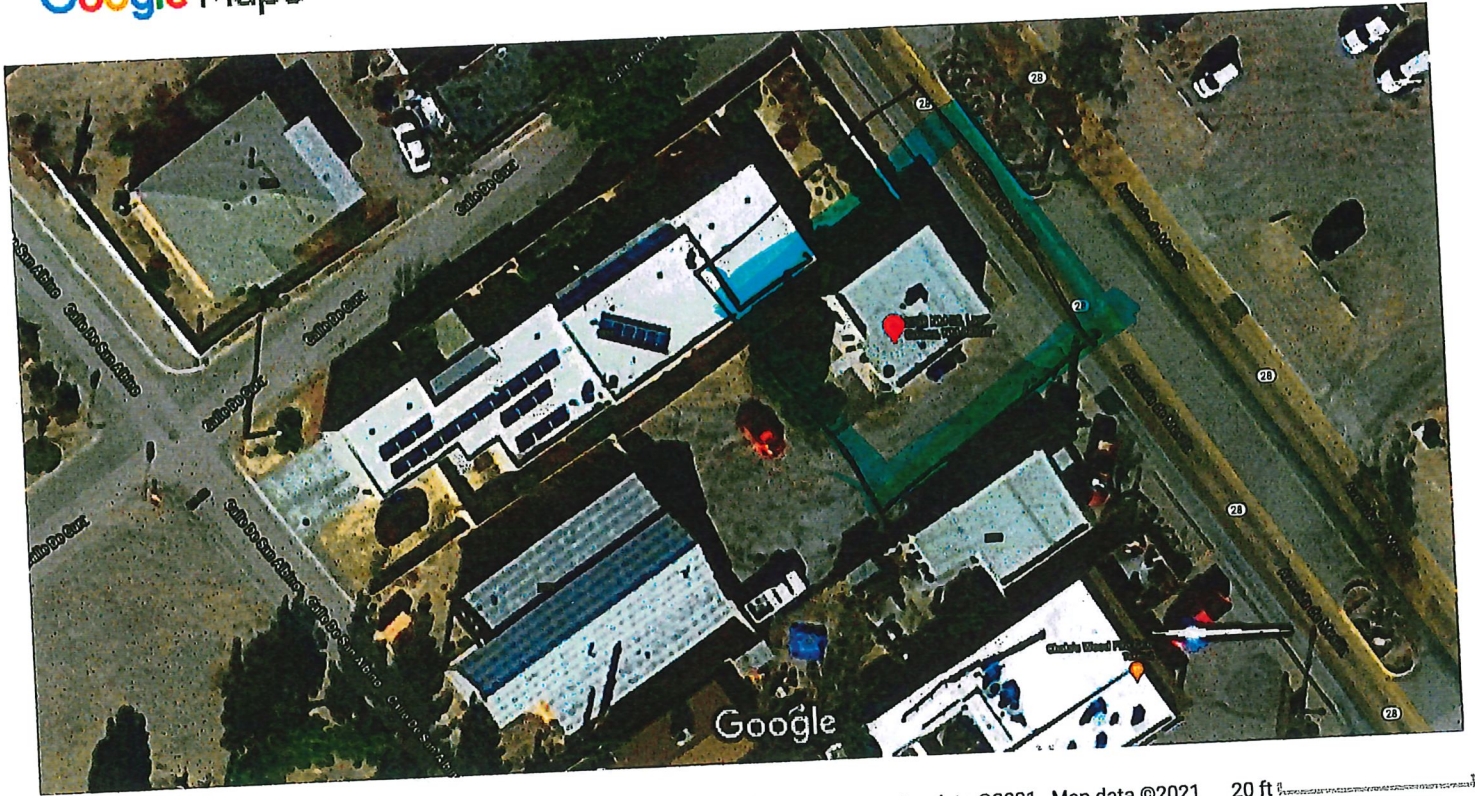
"INDEXING INFORMATION FOR COUNTY CLERK"
 COUNTY PARCEL ID. #04-00393
 PROPERTY OWNER: SANCHEZ
 PROPERTY LOCATION: TOWN OF MESILLA



PLAT OF SURVEY
 SHOWING THE LOCATION OF IMPROVEMENTS
 ON A 0.243 ACRE TRACT
 IN SECTION 25, T.23S., R.1E., N.M.P.M.
 OF THE U.S.S. TRACTS BEING PART OF
 U.S.S. TRACTS 11A-4B & 11A-6A

MOY SURVEYING INC.
 414 N. DOWNTOWN MALL
 LAS CRUCES, NEW MEXICO
 88001
 PHONE: (575) 525-0688





Map data ©2021, Map data ©2021 20 ft



2738 NM-28

Las Cruces, NM 88005
Building



Directions



Save



Nearby



Send to your
phone



Share

Photos

Doña Ana County, NM Parcel Map

Leticia Duarte Benavidez, County Assessor

Map

Legend

Map Layers

Layer Visibility:

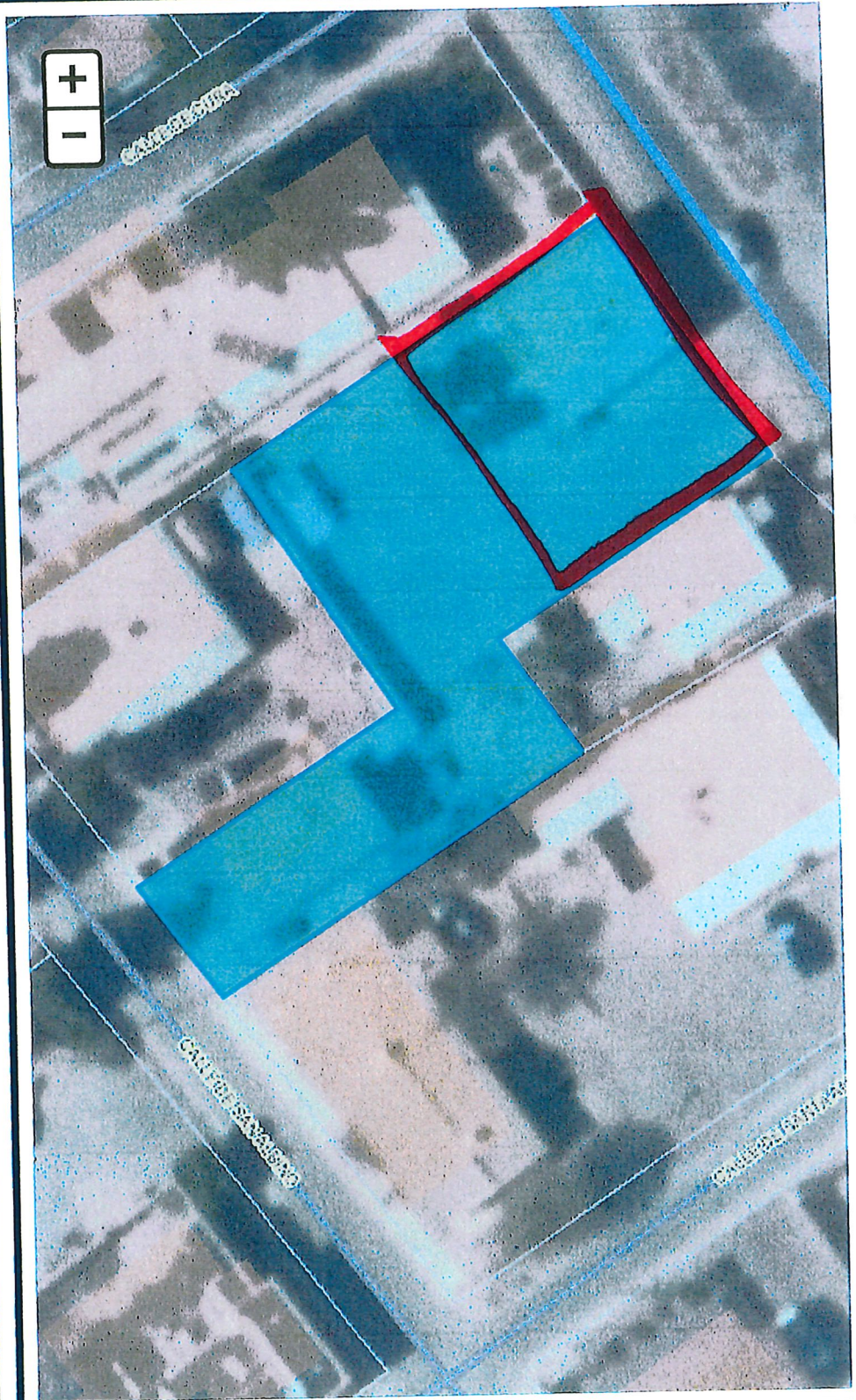
- Roads
- Buildings
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels

Select Search Type:

Account Number ▾

Enter Value:

Search



Parcel ID

[R0400393](#)

Map Code

4006137329512

Name

ETMSS 2 LLC

TOWN OF MESILLA
ZONING APPROVAL

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

OFFICIAL USE ONLY
Case # 06-261215
Fee \$ 3569.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (505) 524-3262 ext. 104

CASE NO. 061212 ZONE: R CODE: NC APPLICATION DATE: 4/28/21

Name of Property Owner: Casa Blanca Imports Property Owner's Telephone Number: 915-226-7417
 Property Owner's Mailing Address: 3694 Santa Marcella Ave. Las Cruces NM City: Las Cruces State: NM Zip Code: 88012
 Property Owner's E-mail Address: huices@hotmail.com
 Contractor's Name & Address (if none, indicate Self): Merlin Enterprises 486 Mesquite, NM
 Contractor's Telephone Number: 575-639-0874 Contractor's Tax ID Number: NM 6898378859 Contractor's License Number: 04-28-2021

Address of Proposed Work: 1705 Tierrade Mesilla + Ave de Mesilla
 Description of Proposed Work: Commercial Building of 3216 sq ft (2412 sq ft + 804 sq ft Portico/Porch) and 2304 sq ft (24 ft x 96 ft) shade structure
 Estimated Cost: \$220,000
 Signature of Applicant: [Signature] Date: 04-28-2021
 Signature of property owner: [Signature] Blanca G. Huizar

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FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW + BOT APPROVAL REQUIRED
CID PERMITS REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
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 12. Proof of legal access to the property.
 13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

BOT ACTION FORM
[PZHAC REVIEW – 5/3/21]
STAFF ANALYSIS

Submitted by Cesar Huizar for “Casa Blanca de Mesilla” a request to discuss plans to construct a commercial building and conduct a retail operation on two properties located at the southeast corner of Avenida de Mesilla and Tierra de Mesilla. Zoned: General Commercial (C)

The applicant would like to construct a 65.5 foot by 35 foot (2,292 square foot) commercial building on the property. The building will have a 14.5 foot by 65.5 foot (950 square foot) covered patio at the front, for a total of 3,250 square feet of building area. This will almost all (about 3,000 square feet) be used as sales area. In addition to this, about 25,000 square feet of the remainder of the two lots will be used for outdoor display and sales (see attached site plan). The applicant intends to sell indoor and outdoor items that are similar to those being sold by the commercial operation to the west of Avenida de Mesilla near the entrance to Mesilla in the City of Las Cruces. This is a retail use of the property, and the General Commercial (C) zoning of the property allows retail uses.

The site plan also shows that spaces have been provided for up to ten - eleven parking spaces. Plus two handi-capped spaces. MTC 18.60.170 (Parking Requirements) requires parking for Retail Stores that do not have more than 500 square feet of floor area to have one parking space for each 300 square feet of gross floor area. (There is no mention of outdoor sales area.)

The applicant or his representative will be present by “Zoom” at the work session to provide further details about the proposed construction, and to answer any questions that may arise.

Estimated Cost: \$220,000.

Consistency with the Code:

The PZHAC will need to determine that the proposed building and property improvements will be consistent with other similar structures in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of building a commercial building and property improvements on the property at this location.
- The PZHAC has determined that the proposed commercial building and property improvements are not a violation of MTC 18-45.
- The PZHAC has determined that the proposed commercial building and property improvements meet all applicable Code requirements.

PZHAC ACTION:

*The PZHAC determined that the proposed project will meet the requirements of the Code and voted 4 – 0 to recommend **CONDITION APPROVAL** of the request to the BOT.*

BOT OPTIONS:

- Approve the application as recommended by the PZHAC.
- Approve the application with conditions.
- Reject the application.

BOT ACTION:

**PZHAC WORK SESSION
JANUARY 4, 2021
ITEM 2**

Submitted by Cesar Huizar for "Casa Blanca de Mesilla" a request to discuss plans to construct a commercial building and conduct a retail operation on two properties located at the southeast corner of Avenida de Mesilla and Tierra de Mesilla. Zoned: General Commercial (C)

The applicant would like to construct a 65.5 foot by 35 foot (2,292 square foot) commercial building on the property. The building will have a 14.5 foot by 65.5 foot (950 square foot) covered patio at the front, for a total of 3,250 square feet of building area. This will almost all (about 3,000 square feet) be used as sales area. In addition to this, about 25,000 square feet of the remainder of the two lots will be used for outdoor display and sales (see attached site plan). The applicant intends to sell indoor and outdoor items that are similar to those being sold by the commercial operation to the west of Avenida de Mesilla near the entrance to Mesilla in the City of Las Cruces. This is a retail use of the property, and the General Commercial (C) zoning of the property allows retail uses.

The site plan also shows that spaces have been provided for up to ten - eleven parking spaces. MTC 18.60.170 (Parking Requirements) requires parking for Retail Stores that do not have more than 500 square feet of floor area to have one parking space for each 300 square feet of gross floor area. (There is no mention of outdoor sales area.) If only the floor area of the building is considered, then the parking spaces shown on the site plan are adequate. If the outside display area is also included, then over 84 additional spaces will be needed. (The PZHAC will need to make a determination as to how the MTC should be interpreted.)

According to the applicant, the two lots will be combined and will be surrounded by a fence similar to wrought iron across the front and a chain link or similar fence around the side and rear. (The applicant has been informed that MTC 18.45.140 does not allow chain link fences to be used in the General Commercial zoning district.) The applicant intends to have access to the property from Avenida de Mesilla. (The applicant has been informed by Staff that since Avenida de Mesilla is a State Road, permission to access the road will need to be obtained from the New Mexico Department of Transportation.

The reason the applicant is presenting this information to the PZHAC is to determine what will be acceptable to the PZHAC and what will need to be provided in order to obtain permission to proceed.

Attached are copies of MTC 18.45 (Commercial Zone), 18.60.170 (Parking Requirements and Fees), and 18.65.340 (Wall, Fence or Hedge) for reference.

The applicant or his representative will be present by "Zoom" at the work session to provide further details about the proposed construction, and to answer any questions that may arise.

Doña Ana County, NM

General Reference Maps

Select Search Type: Account Nur

2014 Aerial Addresses County Address Points



Maps Legend

- Map Themes**
- Parcels
 - UDC Zoning
 - Roads and Transportation
 - NM House Districts
 - NM Senate Districts
 - County Commission Districts
 - City Council Districts
 - Median Household Income
 - General Land Ownership

Account Number: **R0401238**
 Parcel Number: 4006137234292
 Owner: MESILLA MERCADO NV LLC
 Mail Address: PO BOX 1881
 Subdivision: MERCADO DE LA
 MESILLA PHASE 3B (BK 20 PG 163-
 164 - 0231702)
 Property Address: TIERRA DE
 MESILLA
 Acres: 0

Doña Ana County, NM

General Reference Maps

Select Search Type: Account Nur

2014 Aerial Addresses County Address Points

Maps

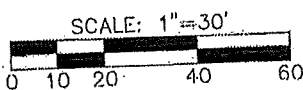
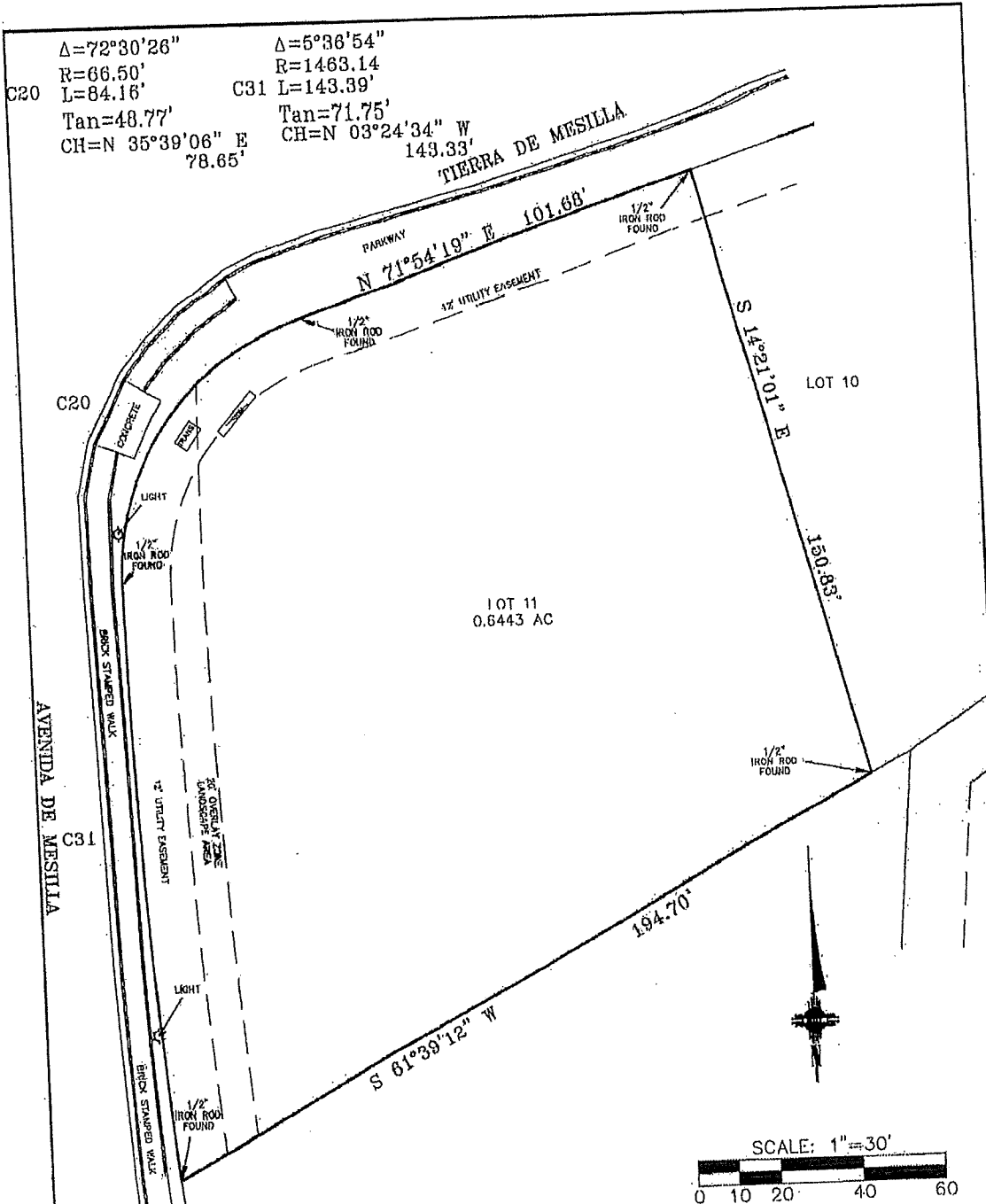
Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: **R0401232**
 Parcel Number: 4006137222298
 Owner: MESILLA MERCADO NV
 Mail Address: PO BOX 1881
 Subdivision: MERCADO DE LA
 MESILLA PHASE 3B (BK 20 PG 163-
 164 - 0231702)
 Property Address:
 Acres: 0





NOTE:
 FLOOD ZONE "X"; AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN, AS PER MAP NO 35013C1093 G, EFFECTIVE JULY 6, 2016.

FIELD NOTES BY MOY SURVEYING INC., LICENSE #18078. ALL CORNERS SET ARE 1/2" IRON RODS WITH 1" PLASTIC CAPS STAMPED #18078. ALL IRON RODS OR MONUMENTS FOUND, TAGGED, STAMPED #18078. UNLESS OTHERWISE NOTED DEED BEARINGS AND DISTANCES AND FIELD BEARING AND DISTANCES ARE THE SAME.

"INDEXING INFORMATION FOR COUNTY CLERK"
 PROPERTY OWNER: MESILLA MARCADO NV LLC
 PROPERTY LOCATION: TOWN OF MESILLA
 ACCOUNT NUMBER: R0401239
 PARCEL NUMBER: 4006137222298



PLAT OF SURVEY
 SHOWING THE LOCATION OF IMPROVEMENTS
 ON LOT 11, BLOCK A
 MERCADO DE LA MESILLA, PHASE 3B
 FILED OCTOBER 24, 2002, IN BOOK 20
 PAGES 163-164, DONA ANA COUNTY RECORDS
 TOWN OF MESILLA
 DONA ANA COUNTY, NEW MEXICO

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT, MEETING THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

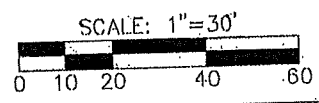
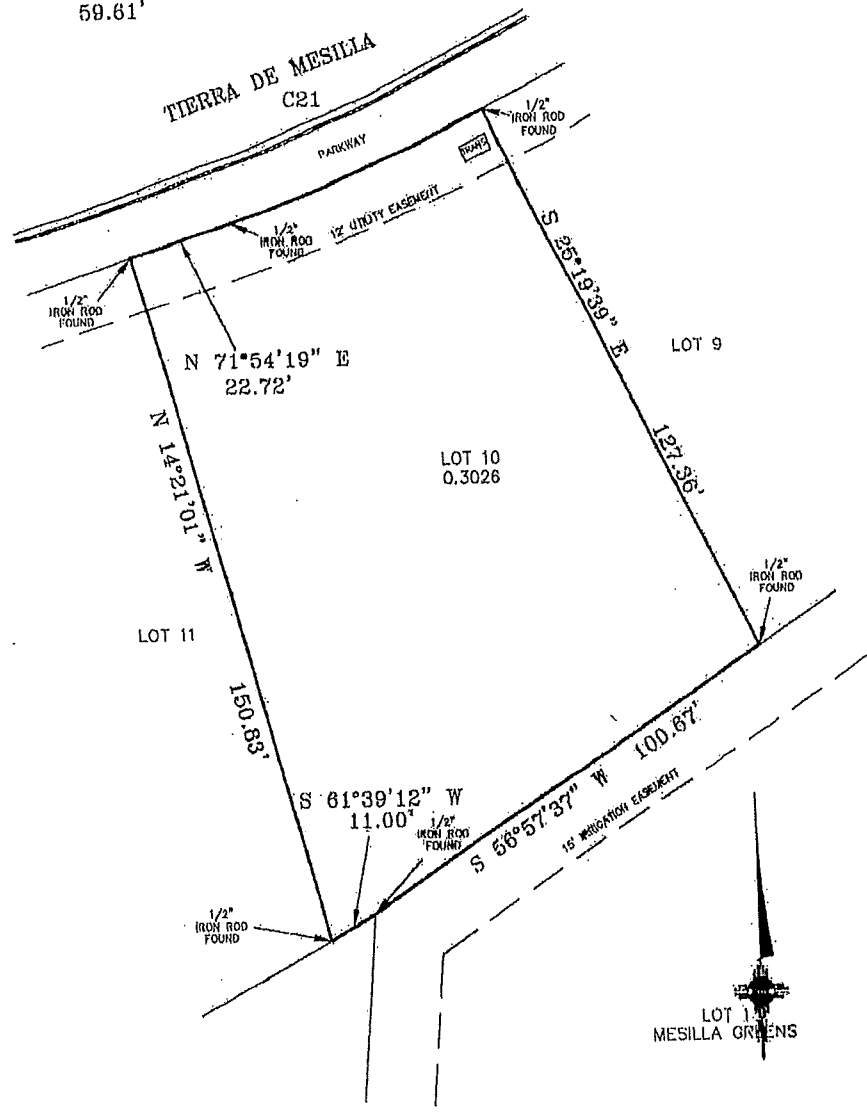
Henry Magallanes 18078
 HENRY MAGALLANES LICENSE NO. 18078
 414 N. DOWNTOWN MALL
 LAS CRUCES, NEW MEXICO 88001

DATE: 12/22/20

MOY SURVEYING INC.
 414 N. DOWNTOWN MALL
 LAS CRUCES, NEW MEXICO 88001
 PHONE: (575) 525-9683
 FAX: (575) 524-3238

JOB NO. 20-0625
 DRAWN BY ROBERT E. LAWS
 FIELD BY KENNY & VICTOR
 DATE 12/22/20 SCALE: 1"=30'

C21
 $\Delta=7^{\circ}13'58''$
 $R=472.50'$
 $L=59.65'$
 $\text{Tan}=29.86'$
 $\text{CH}=\text{N } 68^{\circ}17'20'' \text{ E}$
 $59.61'$



NOTE:
 FLOOD ZONE "X"; AREAS DETERMINED TO BE OUTSIDE
 500-YEAR FLOOD PLAIN, AS PER MAP NO 35013C1093 G,
 EFFECTIVE JULY 6, 2016.

FIELD NOTES BY MOY SURVEYING INC., LICENSE #18078.
 ALL CORNERS SET ARE 1/2" IRON RODS WITH 1" PLASTIC
 CAPS STAMPED #18078. ALL IRON RODS OR MONUMENTS
 FOUND, TAGGED, STAMPED #18078. UNLESS OTHERWISE
 NOTED DEED BEARINGS AND DISTANCES AND FIELD BEARING
 AND DISTANCES ARE THE SAME.

"INDEXING INFORMATION FOR COUNTY CLERK"
 PROPERTY OWNER: MESILLA MARCADO NV LLC
 PROPERTY LOCATION: TOWN OF MESILLA
 ACCOUNT NUMBER: R040123H
 PARCEL NUMBER: 4006137234292



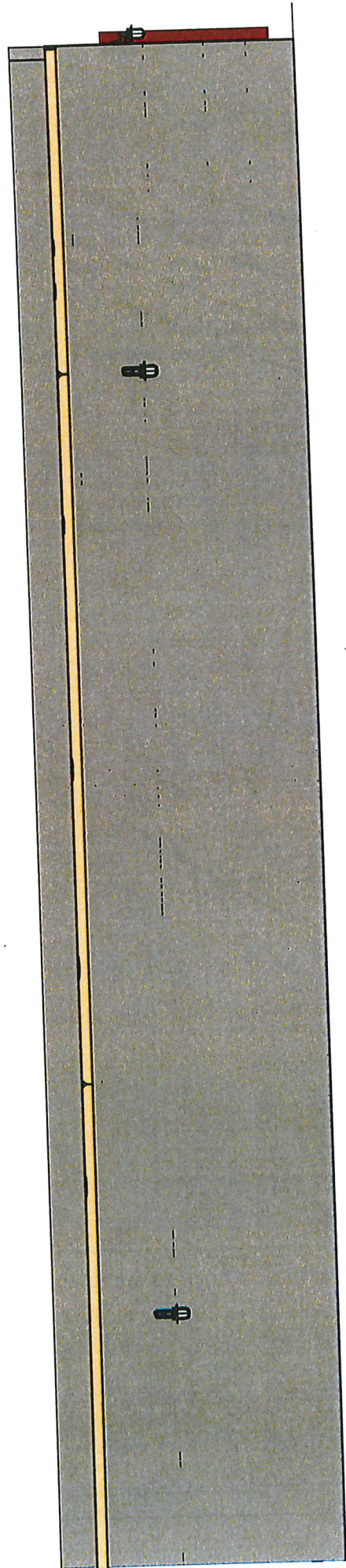
PLAT OF SURVEY
 SHOWING THE LOCATION OF IMPROVEMENTS
 ON LOT 10, BLOCK A
 MERCADO DE LA MESILLA, PHASE 3B
 FILED OCTOBER 24, 2002, IN BOOK 20
 PAGES 163-164, DONA ANA COUNTY RECORDS
 TOWN OF MESILLA
 DONA ANA COUNTY, NEW MEXICO

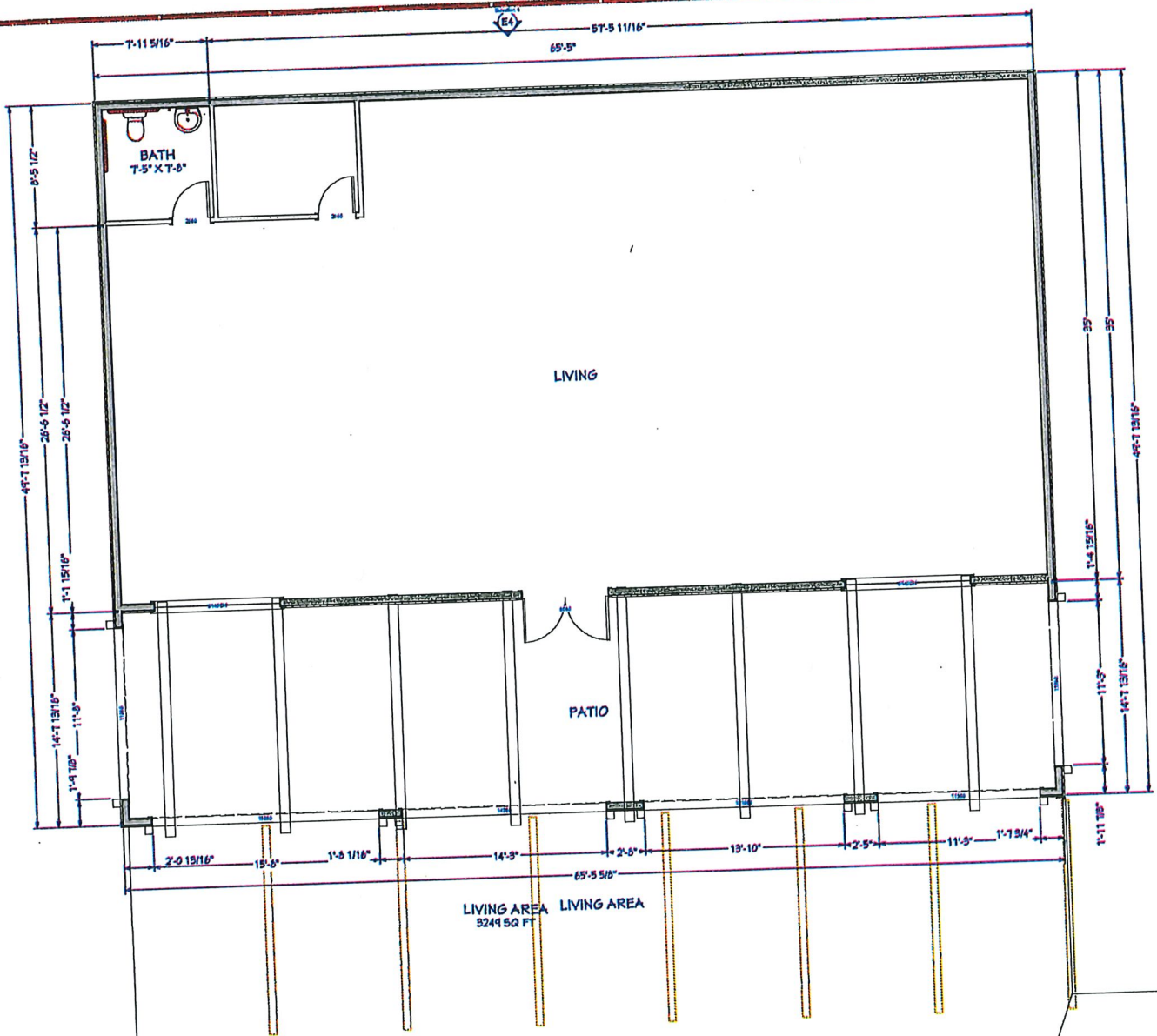
THIS IS TO CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT THIS PLAT
 WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE BY ME OR
 UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT, ACCORDING TO THE STATUTE
 REQUIREMENTS OF THE STATUTES FOR LAND SURVEYS IN NEW MEXICO AS
 ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS, TO THE BEST OF MY
 KNOWLEDGE AND BELIEF.

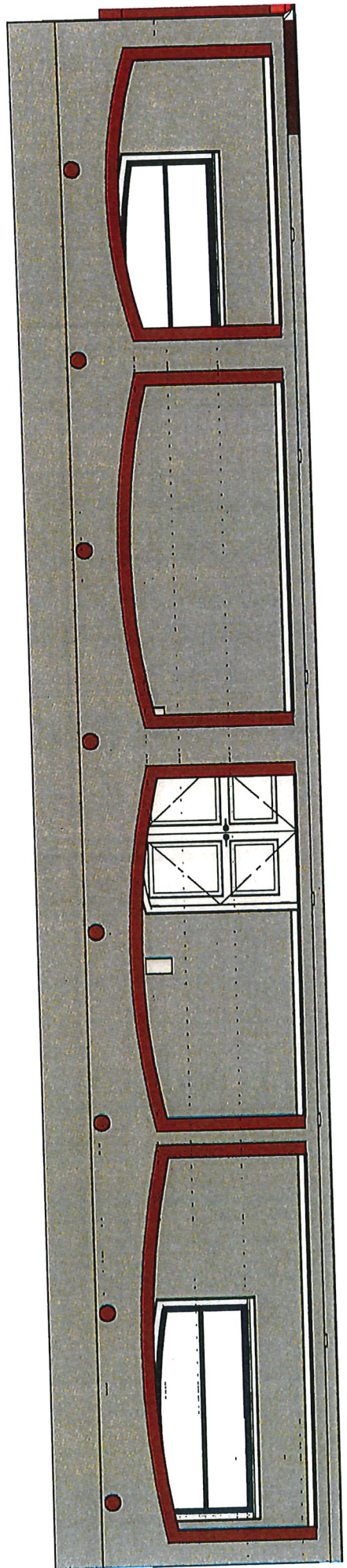
Henry Magallanes 18078
 DATE: 12/22/20 HENRY MAGALLANES LICENSE NO. 18078
 414 N. DOWNTOWN MALL
 LAS CRUCES, NEW MEXICO 88001

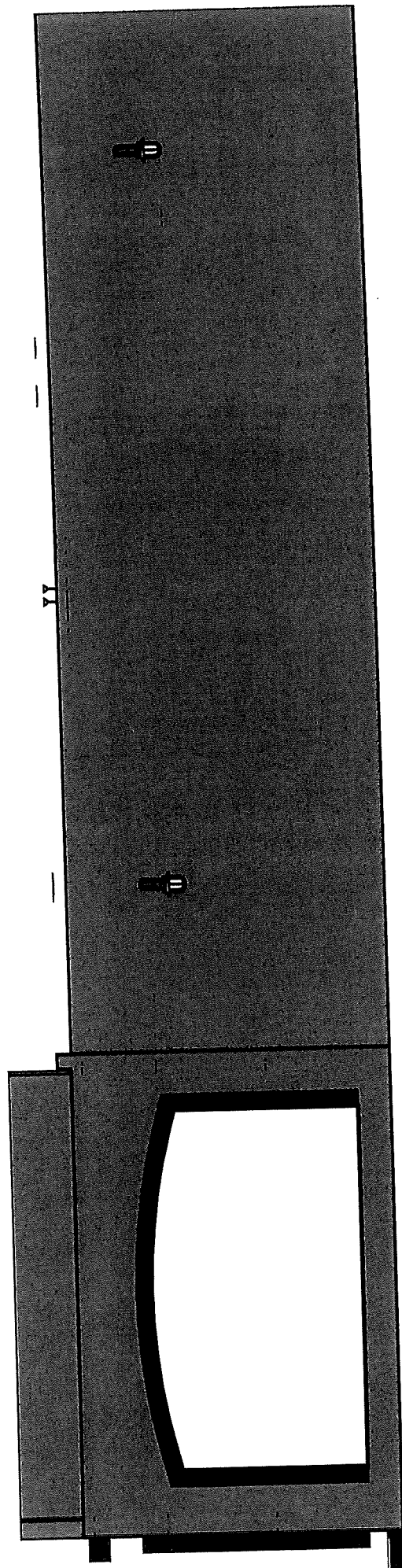
MOY SURVEYING INC.
 414 N. DOWNTOWN MALL
 LAS CRUCES, NEW MEXICO
 88001
 PHONE: (575) 525-9683
 FAX: (575) 524-3238

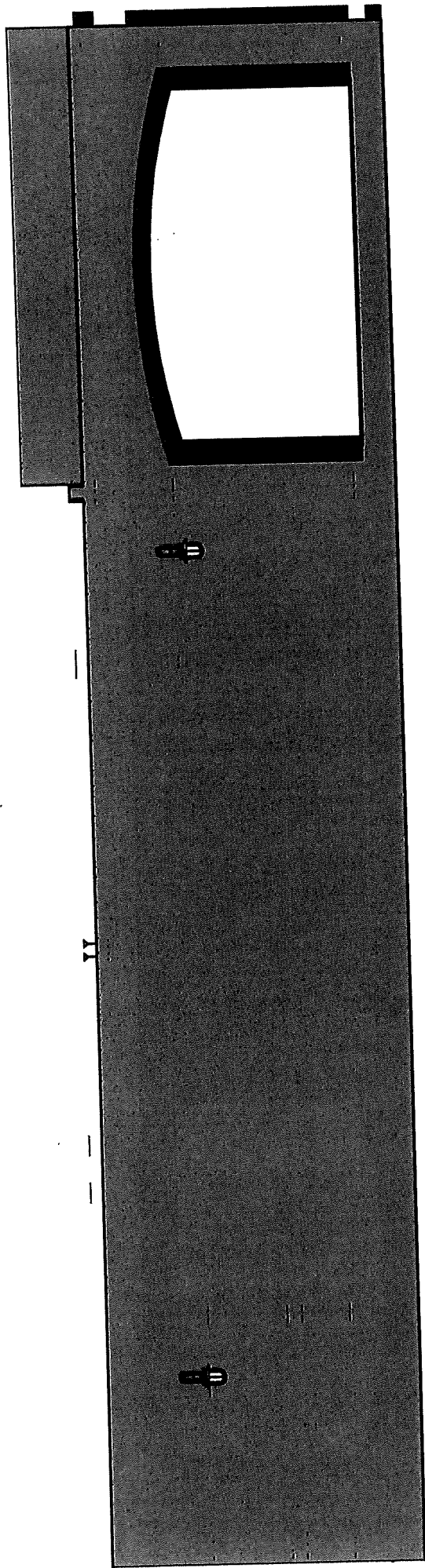
JOB NO. 20-0624
 DRAWN BY ROBERT E. LAWS.
 FIELD BY KENNY & VICTOR
 DATE 12/22/20 SCALE: 1"=30'

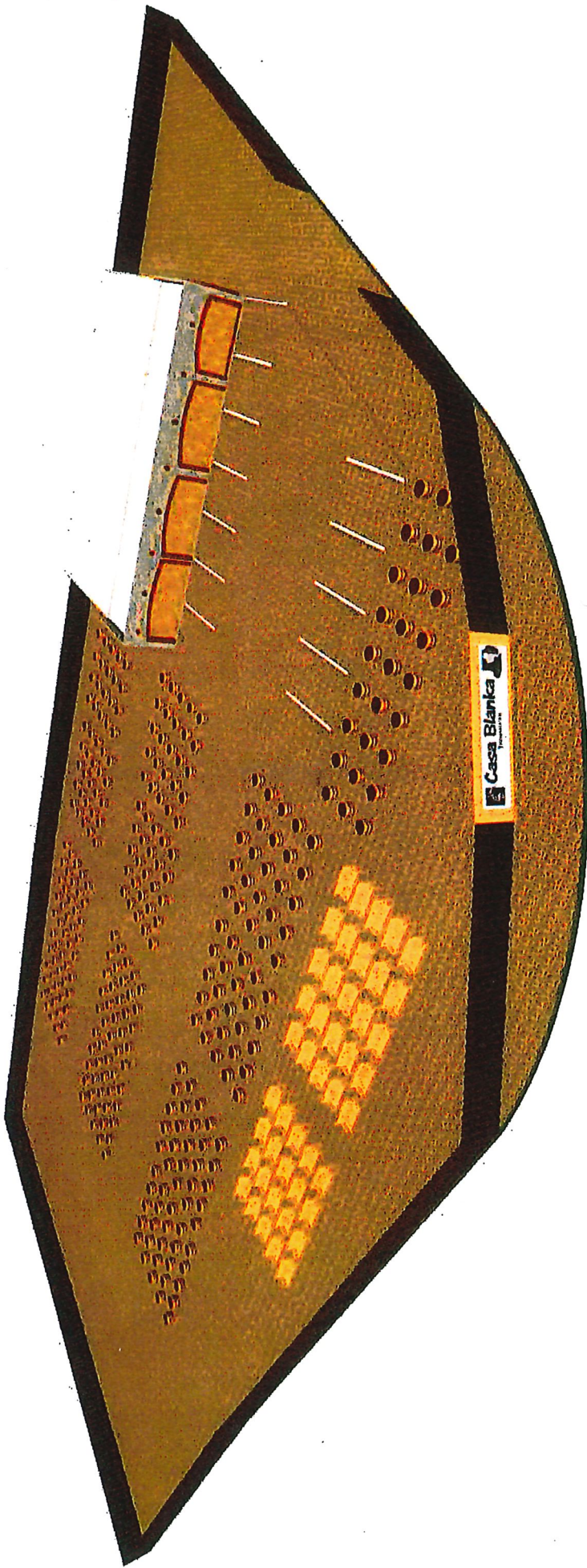


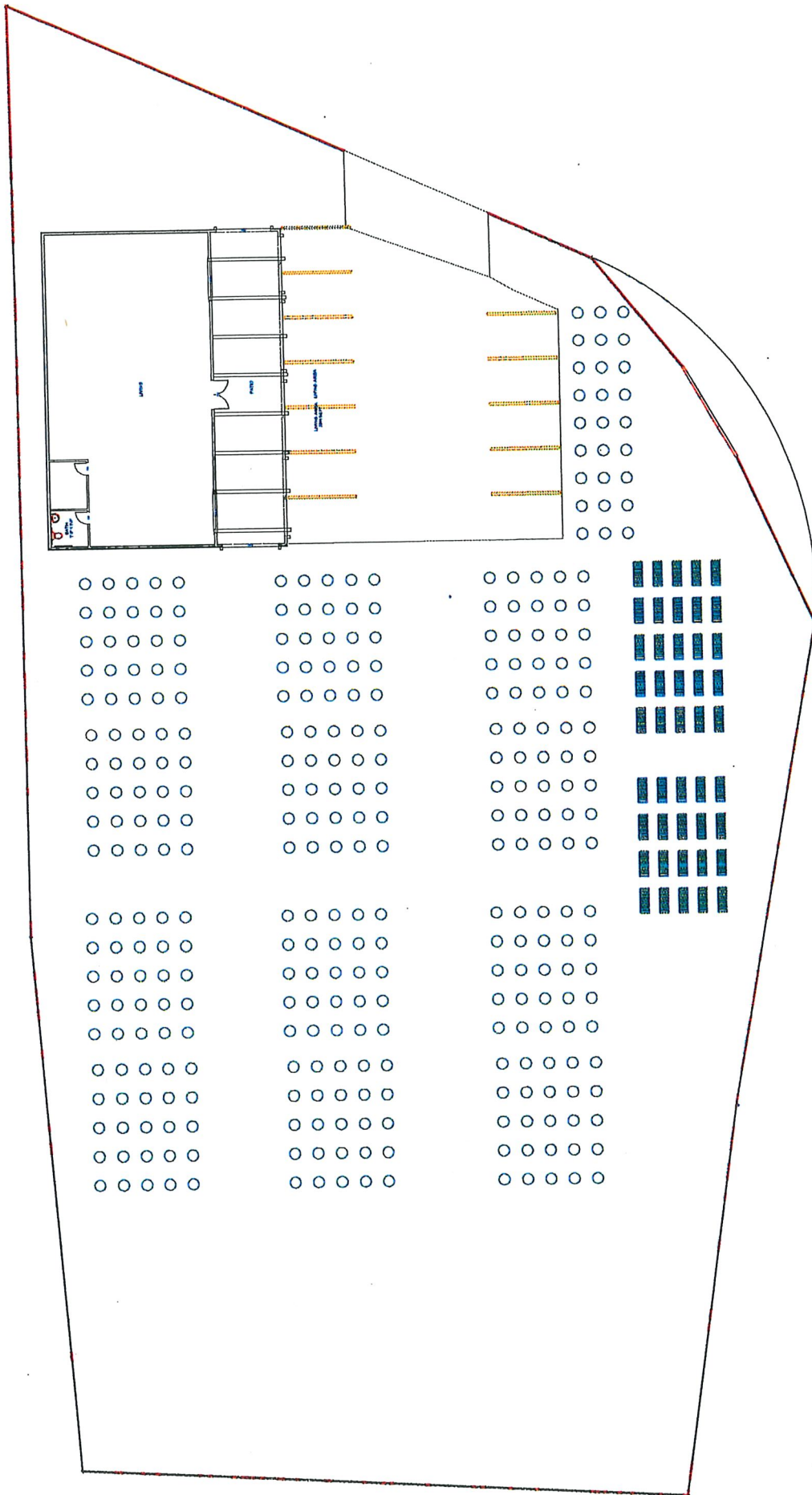














larrys@mesillanm.gov

From: Cesar Huizar <huices@hotmail.com>
Sent: Thursday, January 7, 2021 7:35 AM
To: Lawrence Shannon
Cc: alephmedina@gmail.com
Subject: Casa Blanka Imports REVIEW 01
Attachments: Casa Blanka Imports REVIEW 04.pdf; Casa Blanka Imports REVIEW 03.pdf; Casa Blanka Imports REVIEW 02.pdf; Casa Blanka Imports REVIEW 01.pdf; Casa Blanka Imports Mesilla 03.plan

Mr. Shannon,

Attached are included the updates we made to the drawings.

We moved the iron fence inside the property (not using the setback at all) height remaining at 6ft

We moved the access to Tierra de Mesilla (aprox 20 ft from end of curve)

We moved the parking spaces accordingly with new access.

We included a wall sign (18ft x 6ft) where a sheet metal Casa Blanka Imports sign will be attached, wall will be made out of block and covered with stucco.

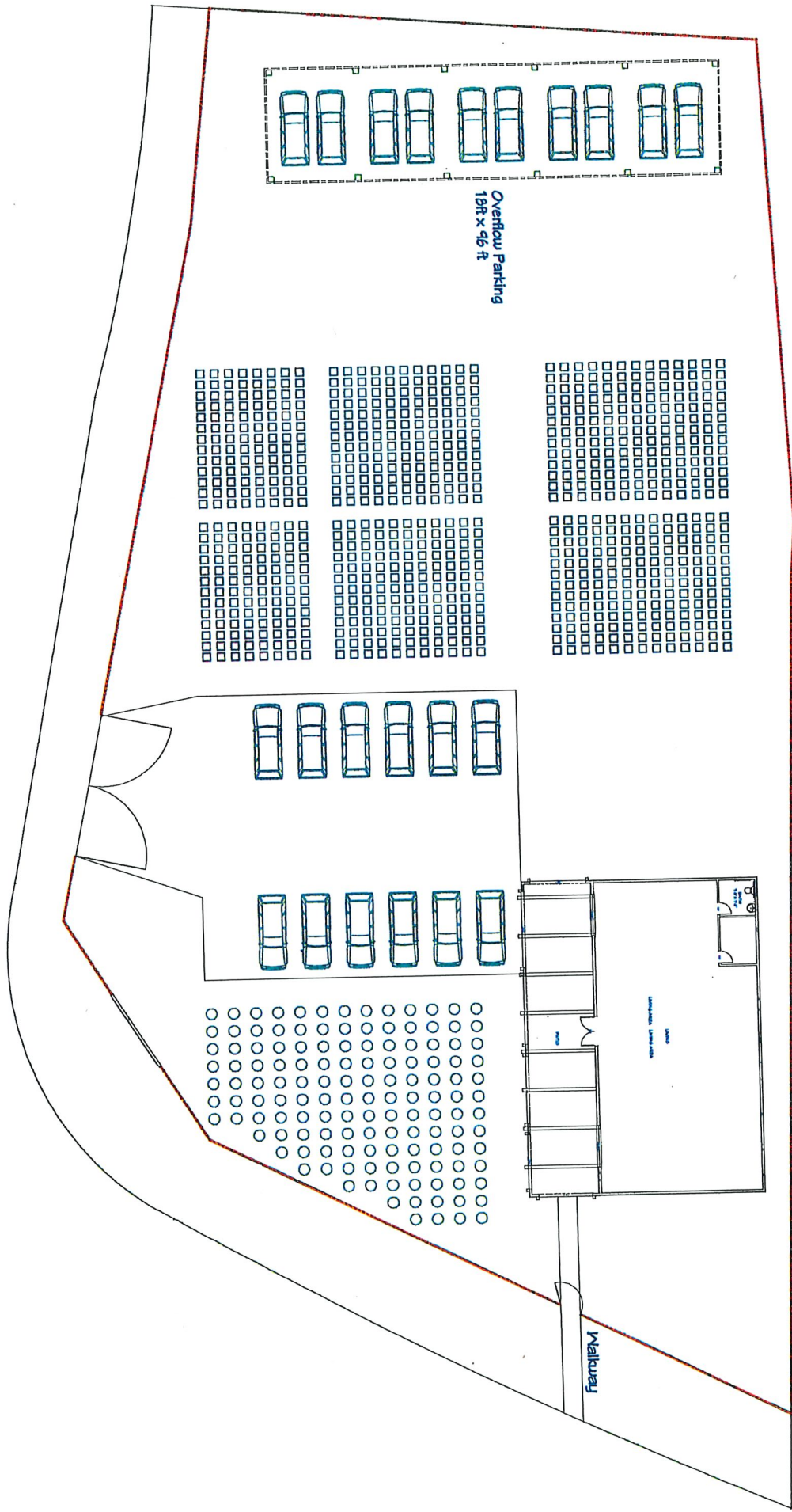
Merchandise is displayed although this is just a representation

Aleph,

Attached is the plan file with the modifications.

Please provide your feedbacks.

Cesar Huizar



Overflow Parking
196 x 96 ft

Frontier

RECEPTION

RESTROOMS

larrys@mesillanm.gov

From: Cesar Huizar <huices@hotmail.com>
Sent: Monday, January 4, 2021 8:01 AM
To: Lawrence Shannon
Subject: Casa Blanca Imports SIGN
Attachments: Casa Blanca Imports SIGN.pdf

Mr. Shannon,

Attached is another request we would like to get permit and approval, it would be on a block wall with stucco finish, the sign will be made of sheet metal (white background on sign is just a representation is not part of the sign)

Wall would be 18ft long by 6 ft high, sign according with these measurements.

vr


Cesar Huizar




Casa Blanca
Imports





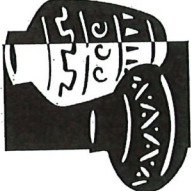
DATE	7/19/2021
DRAWN BY	UMPHRESS
FILE NAME	CHI-CS
<small>DISCLAIMER: THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED AND HAS FOUND NO APPARENT ERRORS OR OMISSIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE PROJECT. THE ENGINEER HAS NOT CONDUCTED A VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED AND HAS FOUND NO APPARENT ERRORS OR OMISSIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE PROJECT.</small>	
PROJECT NAME	CASA BLANKA IMPORTS 1705 Tierra de Mesilla Mesilla, NM 88005
AREA - TOTAL	HATED 2,412 SQ. FT. PORCH 804 SQ. FT.
TOTAL	3,216 SQ. FT.
PROFESSIONAL SEAL	
SHEET TITLE	7/19/2021
COVER SHEET	
SHEET NO.	
CS	





Casa Blanka

Imports



DRAWING INDEX
COVER SHEET
CS : COVER SHEET/PROJECT DATA
CIVIL DRAWINGS
C1 : GRADING/ DRAINAGE PLAN
C2 : UTILITY PLAN
ARCHITECTURAL DRAWINGS
A1 : FLOOR PLAN-MAIN BUILDING
A2 : ELEVATION PLAN
A3 : SHADE STRUCTURE
A4 : FOUNDATION PLAN
ELECTRICAL DRAWINGS
E1 : LIGHTING PLAN/ GENERAL NOTES
E2 : POWER PLAN/PANEL SCHEDULE/ RISE R/DIAGRAM
MECHANICAL/PLUMBING DRAWINGS
M1 : HVAC PLAN/COMCHECK
P1 : PLUMBING PLAN-SEWER & VENT
P2 : PLUMBING PLAN-WATER/GAS RISE R/DIAGRAM

PROJECT DESIGNER
 CADWORKS DRAFTING & DESIGN
 SHANE UMPHRESS
 P.O. BOX 1872 Las Cruces, NM

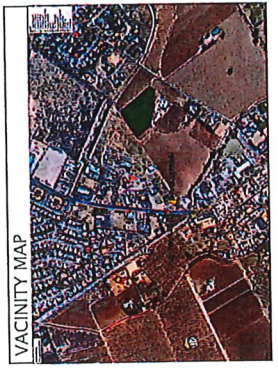
PROJECT ENGINEER
 SCANLON ENGINEERING
 TED SCANLON, P.E.

ELECTRICAL ENGINEER
 JAMES TESTER, P.E.
 1910 Anderson, Las Cruces, NM

MECHANICAL ENGINEER
 MICHAEL NAKHLA, P.E.

MECHANICAL DESIGNER
 KCW-MECHANICAL SYSTEM DESIGN
 Karl Huff
 5316 Lanewolf Ct., Las Cruces, NM

CODE ANALYSIS	OWNER INFO: Casa Blanka Imports 1705 Tierra de Mesilla Mesilla, NM 88005
PROJECT ADDRESS: Casa Blanka Imports 1705 Tierra de Mesilla Mesilla, NM 88005	OWNER INFO: Cesar Hultzer 3694 Santa Marcelita Ave. Las Cruces, NM 88012
ZONING: C	Relative Codes As adopted by the State of New Mexico and the Local Jurisdiction. 2015 International Building Code (IBC) 2015 International Mechanical Code and Uniform Mechanical Code (IM/UMC) 2015 International Plumbing Code and Uniform Plumbing Code (IP/UPC) 2015 International Electrical Code (IEC) 2015 International Energy Conservation Code (IECC)
Occupancy Type: B, Mercantile	Construction Type: Type II
Building Area: 3,216 sq. ft.	TOTAL AREA: 3,216 sq. ft.
Allowable Height: 15'-6"	Max. Allowed: 35'
Sprinkler System: Not required	
Fire Requirements: Not required	
Fire Alarm System: Not required	
Occupant Load: Showroom 2,217 sq. ft./100 = 22.17 OCC. TOTAL = 22.17 OCC.	
	Number Of Exits: Required 2, Provided 2
	Distance to Exits: Required 150', Provided 35'
	Plumbing Fixtures: 1/40 Required, Provided
	Water Closet Provided: 1, 1
	Lavatory Provided: 1, 1
	Serviceability: 1, 1
	Accessible Route: An accessible route is required to the public way. Restroom are Accessible



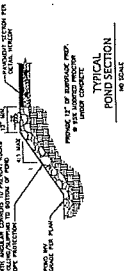
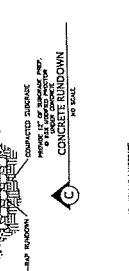
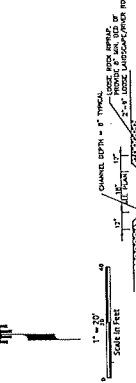
CASA BLANKA

GRADING, DRAINAGE PLAN

THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND DEPTHS AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES WILL BE THE CONTRACTOR'S RESPONSIBILITY. ALL UTILITIES SHALL BE PROTECTED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR. ALL UTILITIES SHALL BE PROTECTED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR.

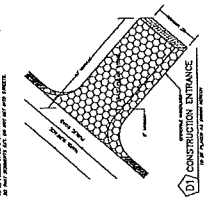
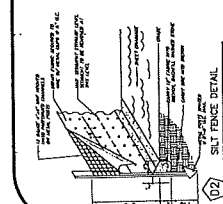
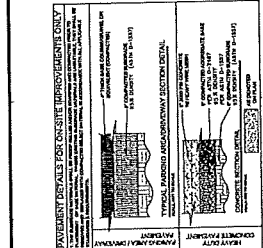
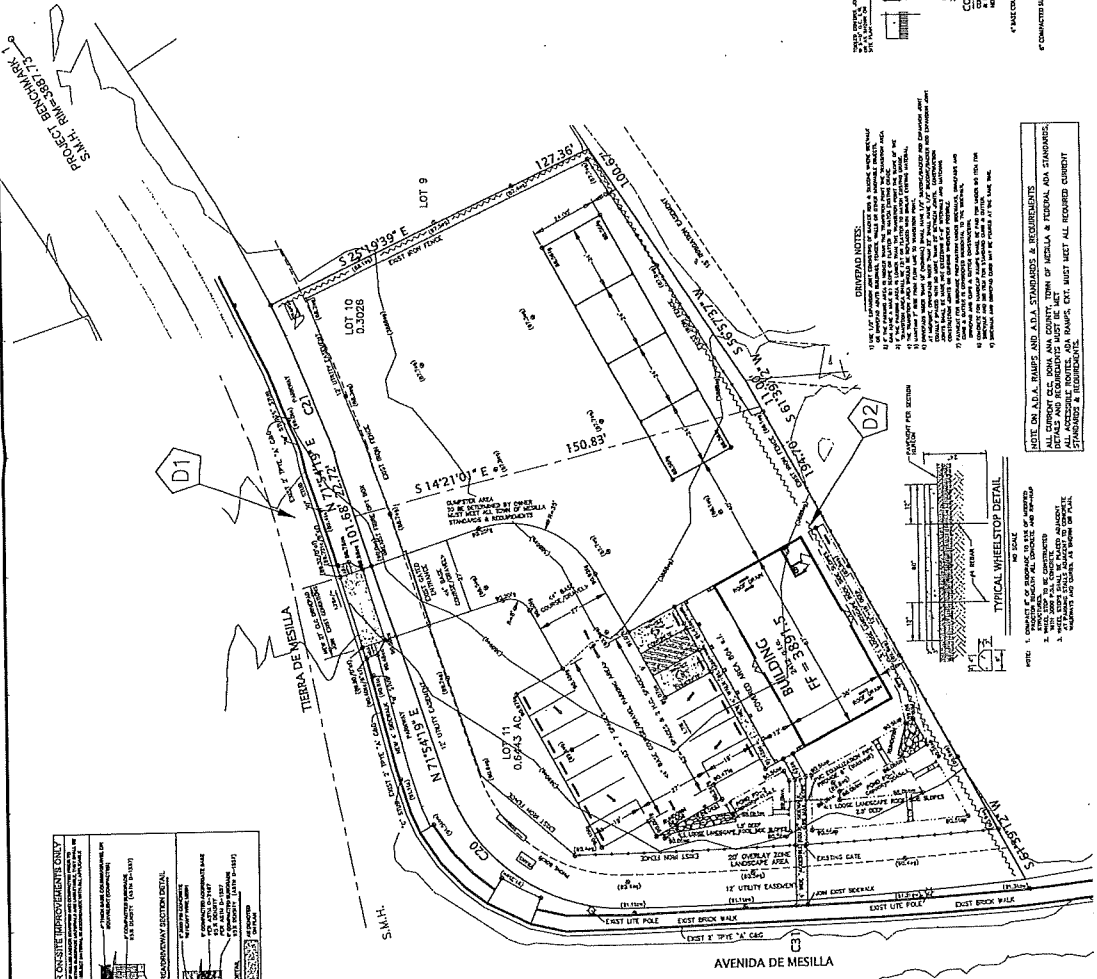
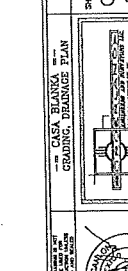
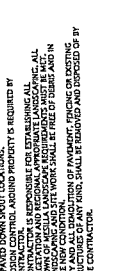
PONDING NOTES:

TOTAL DRAINAGE AREA	1,142.00 SQ. FT.
TOTAL RAINFALL VOLUME (BASED ON 1" RAINFALL)	114.20 CU. FT.
PERMISSIBLE STORAGE CAPACITY	1,142.00 CU. FT.
TOTAL REQUIRED CAPACITY	114.20 CU. FT.
PERMISSIBLE STORAGE CAPACITY	1,142.00 CU. FT.
TOTAL REQUIRED CAPACITY	114.20 CU. FT.



GENERAL NOTES:

1. STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED FOR THIS PROJECT IN ACCORDANCE WITH THE CITY OF MESILLA REGULATIONS.
2. PROTECT EXISTING UTILITIES AND ALL OTHER UTILITIES FROM DAMAGE BY EXCAVATION AND GRADING.
3. PROTECT EXISTING TREES AND LANDSCAPE PLANTS FROM DAMAGE BY EXCAVATION AND GRADING.
4. LANDSCAPING, INCLUDING PLANTING, SHALL BE COMPLETED WITHIN 90 DAYS OF THE END OF CONSTRUCTION.
5. PREPARE AND INSTALL CONCRETE CURBS AND BLOCKS AT ALL PONDING AREAS.
6. EROSION CONTROL AND SODDING SHALL BE COMPLETED WITHIN 90 DAYS OF THE END OF CONSTRUCTION.
7. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING ALL NECESSARY EROSION CONTROL MEASURES.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MESILLA REGULATIONS AND STANDARDS.
9. ALL UTILITIES SHALL BE PROTECTED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR.
10. ALL UTILITIES SHALL BE PROTECTED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR.



EROSION CONTROL PLAN:

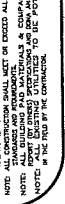
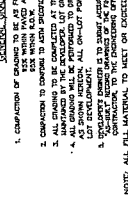
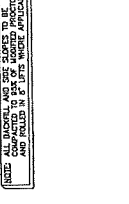
THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AT ALL CONSTRUCTION ENTRANCES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES WILL BE THE CONTRACTOR'S RESPONSIBILITY.

GENERAL NOTES:

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MESILLA REGULATIONS AND STANDARDS.
2. ALL UTILITIES SHALL BE PROTECTED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR.
3. ALL UTILITIES SHALL BE PROTECTED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR.
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10. ALL UTILITIES SHALL BE PROTECTED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR.

GENERAL GRADING NOTES:

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MESILLA REGULATIONS AND STANDARDS.
2. ALL UTILITIES SHALL BE PROTECTED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR.
3. ALL UTILITIES SHALL BE PROTECTED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR.
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10. ALL UTILITIES SHALL BE PROTECTED AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR.



CASA BLANKA

GRADING, DRAINAGE PLAN

DATE: 10/15/2024

PROJECT: 24-100-00000-0000

SCALE: AS SHOWN

PROJECT: 24-100-00000-0000

DATE: 10/15/2024

SCALE: AS SHOWN

CASA BLANKA

GRADING, DRAINAGE PLAN

DATE: 10/15/2024

PROJECT: 24-100-00000-0000

SCALE: AS SHOWN

PROJECT: 24-100-00000-0000

DATE: 10/15/2024

SCALE: AS SHOWN

CASA BLANKA

GRADING, DRAINAGE PLAN

DATE: 10/15/2024

PROJECT: 24-100-00000-0000

SCALE: AS SHOWN

PROJECT: 24-100-00000-0000

DATE: 10/15/2024

SCALE: AS SHOWN

CASA BLANKA

GRADING, DRAINAGE PLAN

DATE: 10/15/2024


PROJECT: 24-100-00000-0000

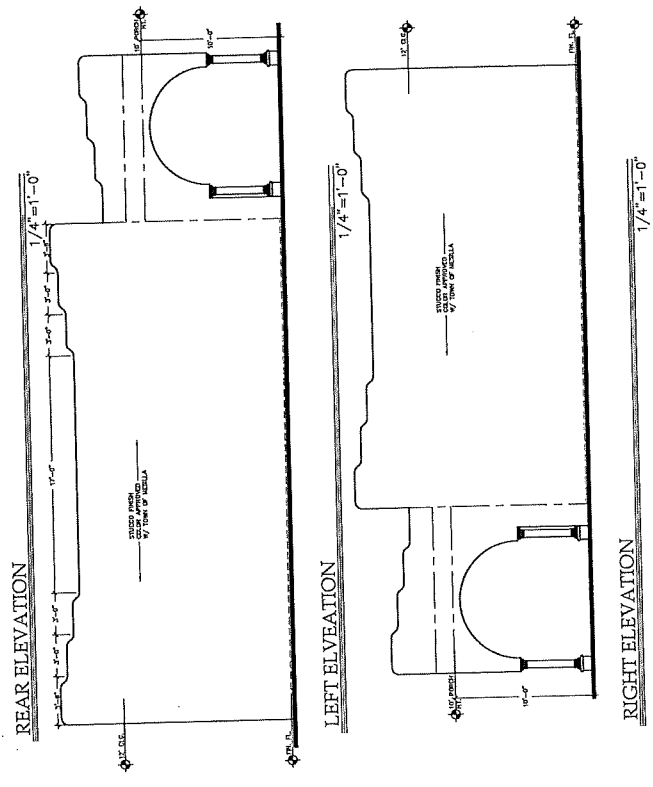
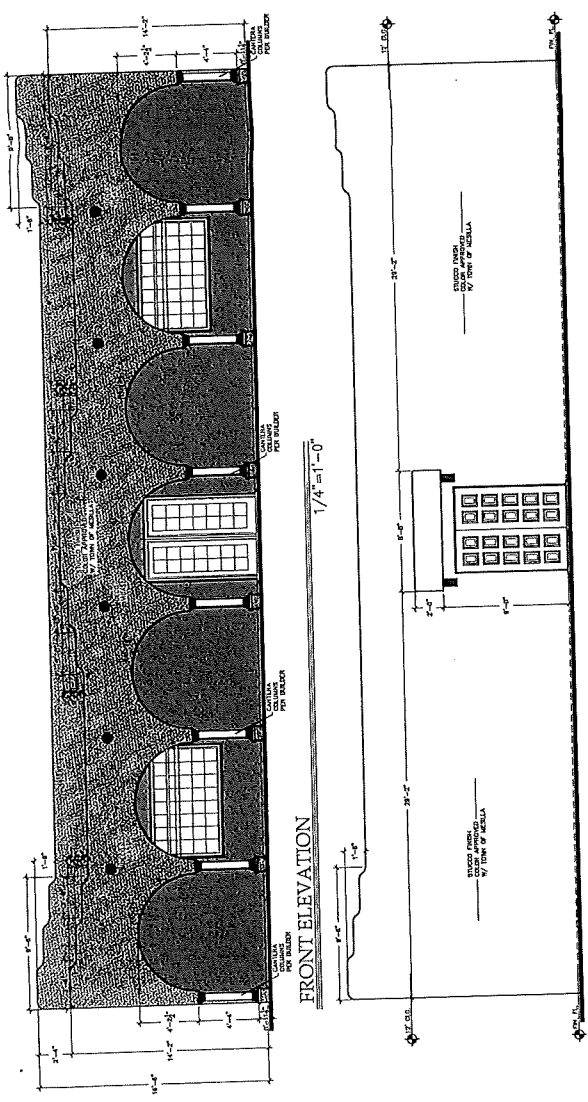
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PROJECT: 24-100-00000-0000

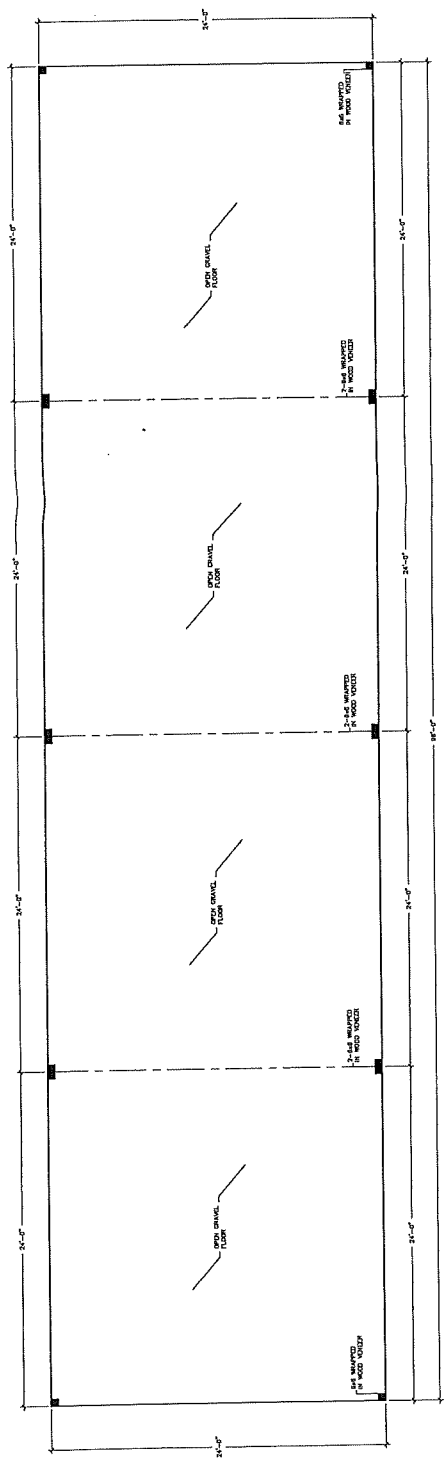
DATE: 10/15/2024

SCALE: AS SHOWN

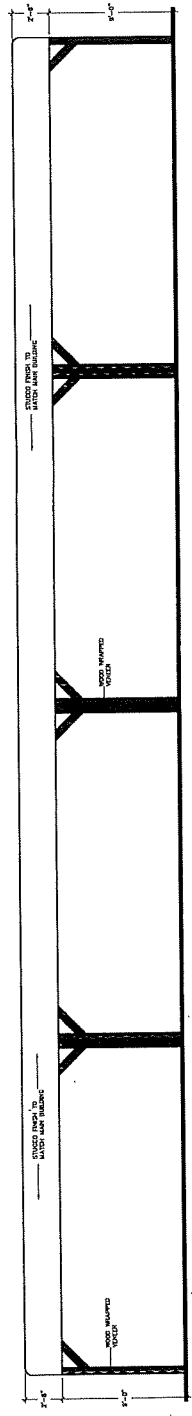
DATE	7/19/2021
DRAWN BY	
UNPHRESS	
FILE NAME	CB-A2
<small>CONTRACTOR: CADUOFTKA ARCHITECTS, INC. 1705 TIERRA DE MESILLA, MESA, NM 88005 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.</small>	
PROJECT NAME	CASA BLANKA IMPORTS 1705 Tierra de Mesilla Mesilla, NM 88005
AREA: TOTAL	HEATED 2,412 SQ. FT. PORCH 804 SQ. FT.
TOTAL	3,216 SQ. FT.
PROFESSIONAL SEAL	
	
SHEET TITLE	ELEVATIONS/ ROOF TRUSS PLAN
SHEET NO.	A2



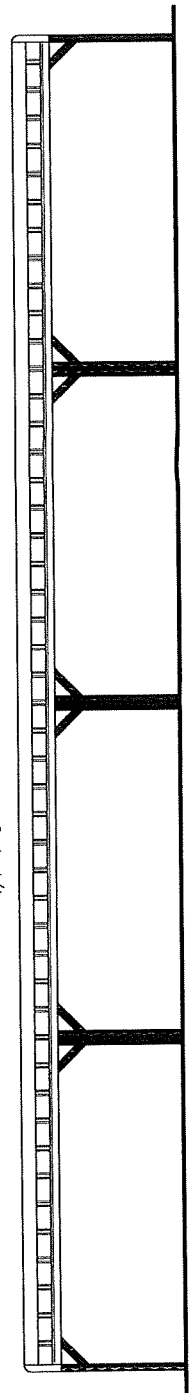
DATE	7/19/2021
DRAWN BY	UNP/RES
FILE NAME	CS-A3
<p>DISCLAIMER: THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE SHADING DEVICE AS SHOWN ON THESE DRAWINGS. THE ARCHITECT DOES NOT WARRANT THE PERFORMANCE OF THE SHADING DEVICE OR THE RESULTS OF THE SHADING DEVICE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE SHADING DEVICE AS SHOWN ON THESE DRAWINGS. THE ARCHITECT DOES NOT WARRANT THE PERFORMANCE OF THE SHADING DEVICE OR THE RESULTS OF THE SHADING DEVICE.</p>	
PROJECT NAME	CASA BLANKA IMPORTS 1705 Tierra de Mesilla Mesilla, NM 88005
AREA: TOTAL	
SQUARE STRUCTURE	2,304 SQ. FT.
TOTAL	2,304 SQ. FT.
PROFESSIONAL SEAL	
SHEET TITLE	FLOOR PLAN/ SHADE STRUCTURE
SHEET NO.	A3



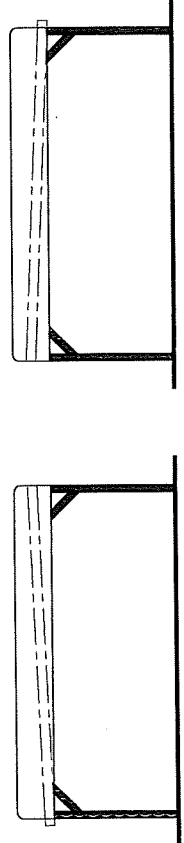
FLOOR PLAN: SHADE STRUCTURE
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

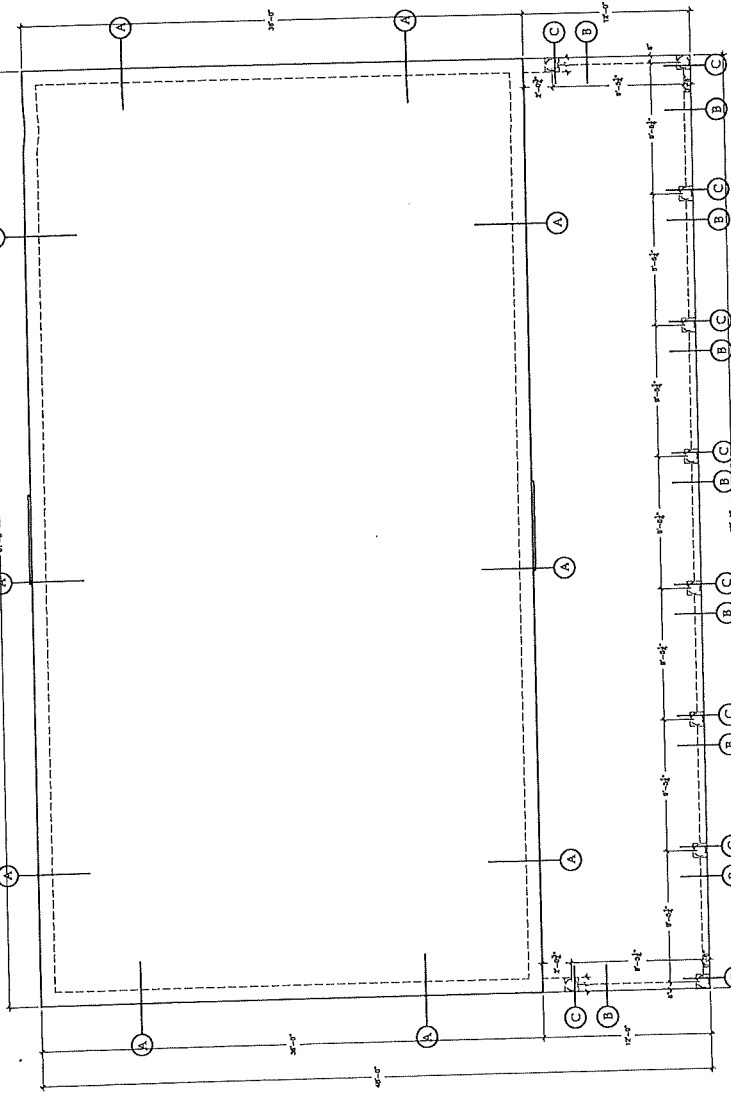


REAR ELEVATION
1/4" = 1'-0"

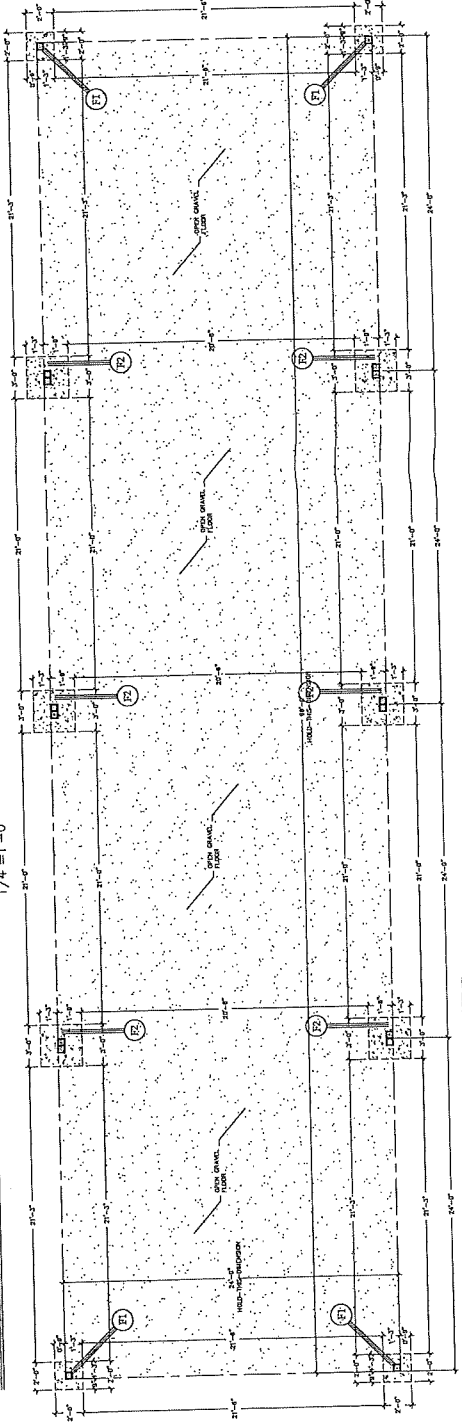


LEFT ELEVATION
1/4" = 1'-0"

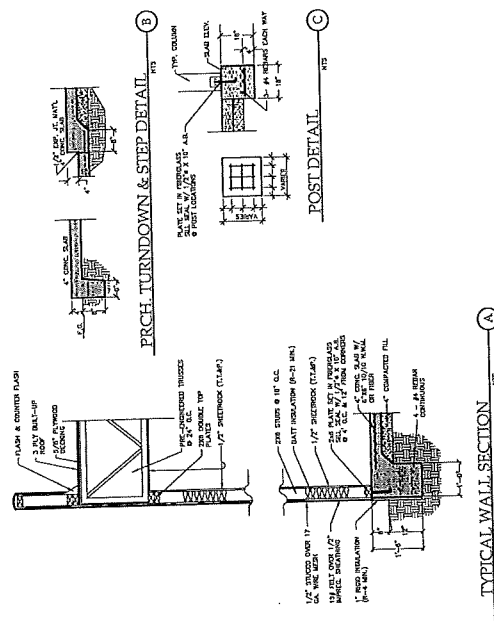
RIGHT ELEVATION
1/4" = 1'-0"



FOUNDATION PLAN: MAIN BUILDING
1/4" = 1'-0"



FOUNDATION PLAN: SHADE STRUCTURE
1/4" = 1'-0"

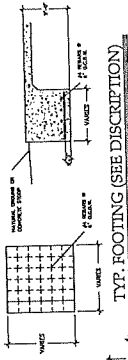


TYPICAL WALL SECTION
N15

FOOTING DISCREPTION		LENGTH	WIDTH	THICKNESS	REINFORCING
FOOTING TYPE	1	3'-0"	4'-4"	2'-0"	4 # 4 BARS @ 12" O.C.
FOOTING TYPE	2	3'-0"	4'-4"	2'-0"	4 # 4 BARS @ 12" O.C.
FOOTING TYPE	3	3'-0"	4'-4"	2'-0"	4 # 4 BARS @ 12" O.C.

ANCHOR BOLTS: 3/4" X 12" J-BOLTS, 2" PROJECTION
 CONCRETE: 3000 PSI
 RIBB FRAME COLUMNS: 3/4" X 12" J-BOLTS, 2.5" PROJECTION

NOTES:
 ALL CONCRETE TO BE 3000 PSI @ 28 DAYS
 ALL REBAR TO HAVE 3" CLR. @ 3" INT. & BOTTOM
 ALL BOX JOIST FOR ASTM D 1327
 CRIP AND REBAR TO BE TO REMAIN
 CRIP AND REBAR AND TIE TO REMAIN
 BRID & EXTEND REBAR, LOCATED BOTH WAYS
 CONTRACTOR TO VERIFY ALL DIMENSIONS
 ALL CONTRIBUTION TO ACCR OR CLERK ALL
 UNUSUAL SITUATIONS TO THE CITY OF LAS VEGAS
 RELEASE, CODES AND REGULATIONS



TYP. FOOTING (SEE DISCREPTION)
N15

DATE	7/19/2021
DRAWN BY	
SUPPRESS	
FILE NAME	CEI-44
PROJECT NAME	CASA BLANKA IMPORTS 1705 Tierra de Mesilla Mesilla, NM 88005
AREA: TOTAL	
PROFESSIONAL SEAL	
SHEET TITLE	FOUNDATION PLAN MAIN BLDG./SHADE STRUCTURE
SHEET NO.	A4

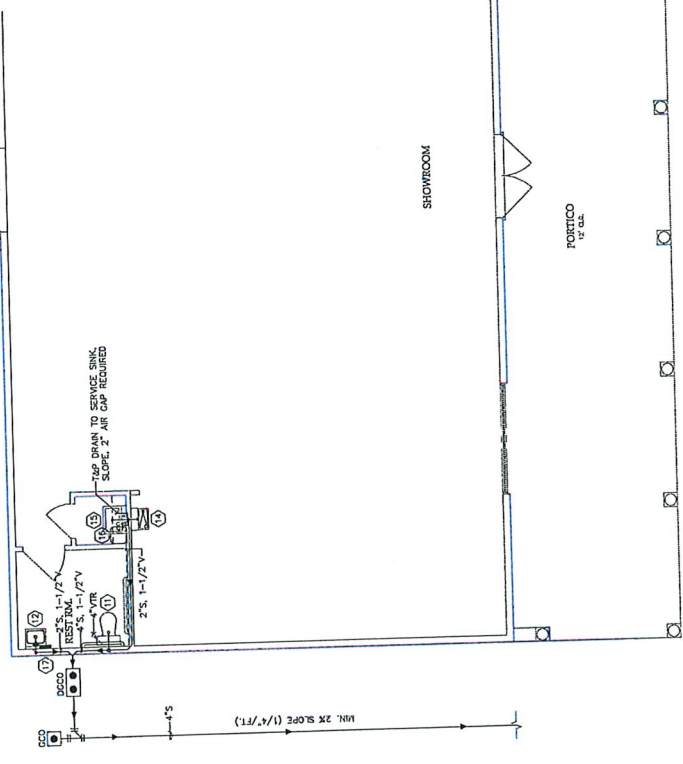
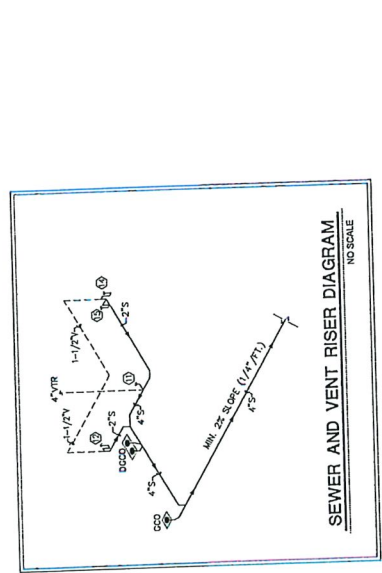
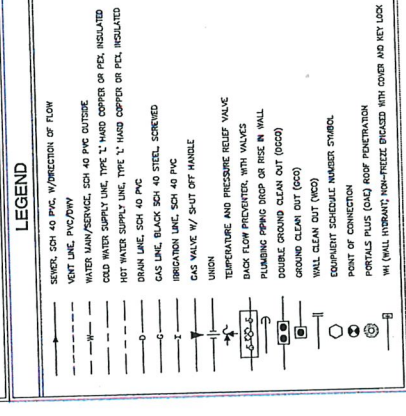


DATE	7/5/2021
DRAWN BY	
REV	
FILE NAME	
CR-PI	
REVISIONS	
CASA BLANKA IMPORTS 1705 Tierra de Mesilla Mesilla, NM 88005	
PROJECT NAME	
AREA: TOTAL	LOCATED 3,413 SQ. FT. FOOTPRINT 804 SQ. FT.
TOTAL	3,216 SQ. FT.
PROFESSIONAL SEAL	
SHEET TITLE	PLUMBING PLAN
SHEET NO.	P1



- ### GENERAL PLUMBING NOTES
- 1) ALL FUTURE WATER SERVICES TO BE 1/2" DIA.
 - 2) ALL SEWER WORK TO MEET 2015 UPC, 2015 NMPIC.
 - 3) ALL SEWER TO BE SCH 40 PVC.
 - 4) FLOOR/GROUND CLEAN OUTS (FCO/GCO) TO BE INSTALLED AT 50 FT. INTERVALS.
 - 5) TEMPERATURE OF HOT WATER FOR LAVATORIES MUST NOT BE ABOVE 110 DEG. F.
 - 6) WATER HEATERS TO MEET ALL REQUIREMENTS OF THE 2018 IBC.
 - 7) ALL WATER HEATERS HOT WATER OUTLET PRESSURE MUST BE LIMITED.
 - 8) HEAT TRACE TUBE TO BE INSTALLED ON HOT WATER PIPING SYSTEM.
 - 9) PLUMBING CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LINE SIZES AND THE N POINTS.

- ### PLUMBING EQUIPMENT SCHEDULE
- 1) ADA/ANSI 117.1 COMPLIANT, 1/2" WALL THICK, 1.8R CRTF GLASS PIVE FLUSH TOILET, ADA/ANSI 117.1 COMPLIANT, 1/2" ELICATED BRON, WHITE, VITREOUS CHINA, KOHLER K-3754, OPEN FRONT SEAT, AMERICAN STANDARD, OAE
 - 2) LAVATORY, ADA/ANSI 117.1 COMPLIANT, 1/2" WALL HANGER, KOHLER K-2031, OFFSET BRAN, K-213-A W/INSULATION KIT, SINGLE HANDLE KOHLER K-8827-4, OAE, AMERICAN STANDARD, OAE, CAST IRON SINK, BRIDGE, 3/4" MALE COMPRESSION VALVE, AMERICAN STANDARD, OAE
 - 3) ZEROCLEAR SINK, ADA/ANSI 117.1 COMPLIANT, 1/2" WALL HANGER, KOHLER K-2031, OFFSET BRAN, K-213-A W/INSULATION KIT, SINGLE HANDLE KOHLER K-8827-4, OAE, AMERICAN STANDARD, OAE, CAST IRON SINK, BRIDGE, 3/4" MALE COMPRESSION VALVE, AMERICAN STANDARD, OAE
 - 4) ELECTRIC WATER COOLER, ADA/ANSI 117.1 COMPLIANT, SINGLE UNIT W/ BOTTLE FILLER, WALL MOUNT, 8.0 GPH @ 50°F, WALL SUPPORT, OASIS MODEL, PHOBIA, 115 V, UNITS, 1/2" DIA. SINK, 1/2" WALL HANGER, KOHLER K-2031, OFFSET BRAN, K-213-A W/INSULATION KIT, SINGLE HANDLE KOHLER K-8827-4, OAE, AMERICAN STANDARD, OAE
 - 5) WATER HEATER, INSTANTANEOUS ELECTRIC, 1/2" STANDARD WALL MOUNT, 140 WATS, 120 V, 12 A, BOSCH MODEL, OAE, WT. = 23.5 LB.
 - 6) WATER HEATER, INSTANTANEOUS ELECTRIC, 1/2" STANDARD WALL MOUNT, 140 WATS, 120 V, 12 A, BOSCH MODEL, OAE, WT. = 23.5 LB.
 - 7) WATER HEATER, INSTANTANEOUS ELECTRIC, 1/2" STANDARD WALL MOUNT, 140 WATS, 120 V, 12 A, BOSCH MODEL, OAE, WT. = 23.5 LB.
 - 8) WATER PRESSURE REDUCING VALVE, CARTRIDGE STYLE, STANDARD ORifice, 1/2" DIA. SINK, 1/2" WALL HANGER, KOHLER K-2031, OFFSET BRAN, K-213-A W/INSULATION KIT, SINGLE HANDLE KOHLER K-8827-4, OAE, AMERICAN STANDARD, OAE
 - 9) SETTING - 50 PSF PIPE SIZE AS SHOWN, 1/2" DIA. SINK, 1/2" WALL HANGER, KOHLER K-2031, OFFSET BRAN, K-213-A W/INSULATION KIT, SINGLE HANDLE KOHLER K-8827-4, OAE, AMERICAN STANDARD, OAE
 - 10) BACKFLOW PREVENTER, REDUCED PRESSURE PRINCIPAL, 1/2" DIA. SINK, 1/2" WALL HANGER, KOHLER K-2031, OFFSET BRAN, K-213-A W/INSULATION KIT, SINGLE HANDLE KOHLER K-8827-4, OAE, AMERICAN STANDARD, OAE
 - 11) BALL VALVE W/ ASSE STD. 1013, FINISH AN INSULATED FIBERGLASS ENCLOSURE COMPACT W/ ASSE STD. 1013, FINISH AN INSULATED FIBERGLASS ENCLOSURE



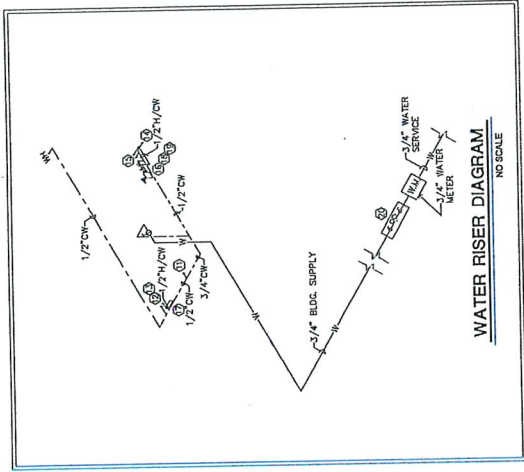
PLUMBING PLAN - SEWER & VENT
 1/4" = 1'-0"

DATE	7/5/2021
DRAWN BY	KEH
FILE NAME	CH-P2
PROJECT NAME	CASA BLANKA IMPORTS 1705 TERRA DE MESILLA MESILLA, NM 88005
AREA- TOTAL	HEATED 2,412 SQ. FT. PORCH 804 SQ. FT.
TOTAL	3,216 SQ. FT.
PROFESSIONAL SEAL	
SHEET TITLE	HVAC PLAN
SHEET NO.	P2



WATER CALCULATION			
Water Fixture Units based on 2015 UPC Table (0.3 and 0.5 U)			
Diameter: 1/2" to 1" (0.3 U)			
Diameter: 1.25" to 2" (0.5 U)			
MARK	QTY	TOTAL WFU and CU	TOTAL UFU
WATER FIXTURES			
1	1	2.5	2.5
2	1	1	1
3	1	1	1
4	1	0.5	0.5
5	1	2.5	2.5
TOTAL FIXTURES			8.5

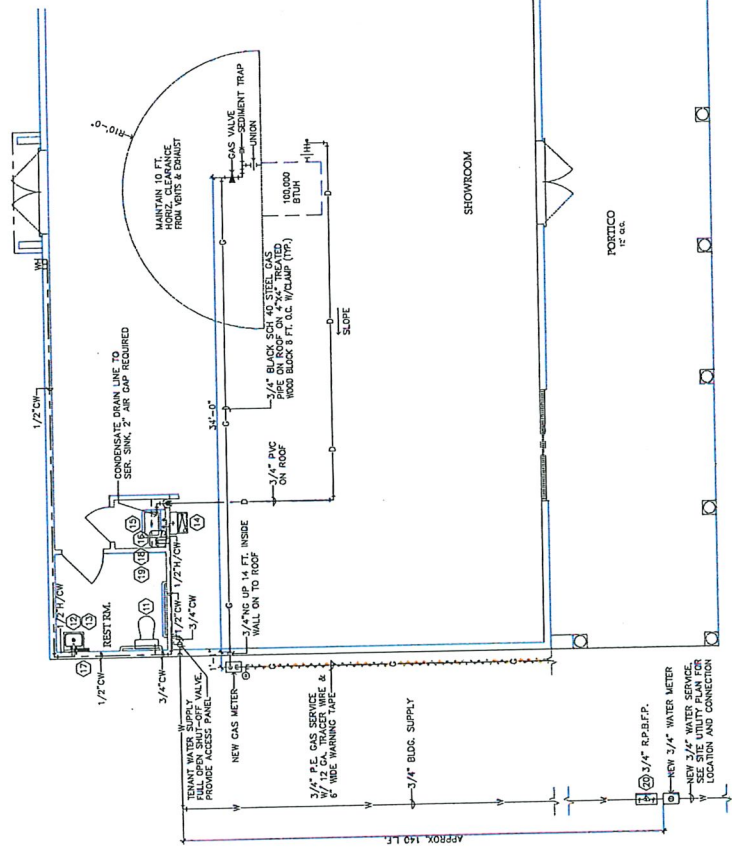
Transferee Calculation:
 Water Connections based on 2015 UPC Table (702.1)
 Total Fixture Units: 8.5
 Service Size: 1/2" inch
 Water Supply Main Size based on 2015 UPC Table (610.3 and 610.4)
 Pipe Size: 1/2" inch
 Pressure: 80 PSI
 Max. Development Length: 250 Feet
 Estimated Available Pressure: Over 3/4" inch
 Water Meter Size: 3/4" inch



NATURAL GAS TABLE		
CONSTANT INCH (CPI)		
EQUIPMENT	NUMBER OF APPLIANCES	CPI (ft)
WATER HEATER	1	50,000
TOTAL CHARGE		50,000
TOTAL GAS DEMAND		50.0
TOTAL GAS DEMAND = 50.0 GPM		

GENERAL GAS NOTE

ALL PIPING SHALL BE PROVIDED WITH GAS COCK, AIR CAP, AND REMOVABLE CAP AND UNION. ALL PIPING SHALL BE RIGID METALLIC TYPE UNLESS SPECIFIED OTHERWISE. COORDINATE WITH EQUIPMENT MANUFACTURER BEFORE PIPING INSTALLATION.



PLUMBING PLAN - WATER & GAS
1/4" = 1'-0"

TOWN OF MESILLA
ZONING APPROVAL

06/26/25

OFFICIAL USE ONLY:

Case # 06/257 gm
Fee \$ 152.50

76.25

130.00
+ 22.50

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

Patricia Molina
Name of Property Owner
575-635-2057
Property Owner's Telephone Number
804 Calle de El Paso Las Cruces, NM 88005
Property Owner's Mailing Address City State Zip Code
mameli.no249@gmail.com
Property Owner's E-mail Address
Self
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2301 Calle De San Albino / 1991 Calle de Santiago

Description of Proposed Work: Bathroom (shop-west) Stucco, paint eaves, Bedroom (master) resheetrock - water damage, add door to replace window, stucco (garthside) Sunroom - enclosed patio - water damage - sheetrock, retilo, replace doors (x2)

\$ 8000 Estimated Cost
Patricia Molina Signature of Applicant
7-22-2021 Date

Signature of property owner: Patricia Molina
* same color as existing color

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

BOT

PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- ✓ Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses and dimensions.
- Cross section of walls
- Roof and floor framing plan
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the City Code or Community Development Department (See other side.)

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

A. Completed application, including:

1. Applicant's name
2. Applicant/property owners contact information
3. Physical address of property
4. Description of work to be done, including dimensions of any construction or repairs
5. Value of work to be done
6. Property owner's signature on the application

B. Include all information required in the checklist at the bottom of the application.

C. Additional information required:

- * Sunroom - Exterior Room size 18ft. 8in x 12ft. 9in.
 - stucco - south side (parking lot side) wall left 8in tall x 19ft 6in.
- * Sunroom - Interior - same color as existing color
 - replace insulation
 - sheet rock
 - pull out tile + replace
 - paint -

- * Bedroom (master) (Room size) 11ft. 4in x 11ft. 7in)
 - sheetrock walls
 - paint
 - replace window w/ door
 - re-stucco outer ~~main~~ south wall to bedroom - same color as existing color

- * West Shop Bathroom - West side (Room size 9ft. 6in x 4ft. 10in.)
 - stucco - (6'3" x 11'3") -
 - paint exterior + eaves - } same color as existing color

* Patio Dirtwork to alleviate water pooling in area near sunroom

* Dumpster for D.H.S.

Property Record Card

Doña Ana Assessor

**GALLEGOS ESTHER M
TRUSTEE**

804 CALLE DE EL PASO
LAS CRUCES, NM 88005

Neighborhood S11 - MESILLA

Account: **R0400334**

Tax Area: 2DIN_R - 2DIN_R

Acres: 0.000

Parcel: **4-006-137-250-419**

Situs Address:
2301 CALLE DE SAN ALBINO
Mesilla, 88046



Legal Description

S: 25 T: 23S R: 1E BRM 11A TR 18A



Land Occurrence 1

Property Code	0100 - RESIDENTIAL LAND	Electricity	OE - OVER-ELECTRC
Gas	G - GAS	Measure	SF - PER-SQ-FOOT
Sewer Type	CM - COMM-SEWER	Street Code	A - ASPHALT
Topography Code	L - LEVEL	SQFT	6098
Zoning	HC - HIST-COMMERL		

SubArea	ACTUAL	EFFECTIVE	HEATED	FOOTPRINT
Sq Ft				
Total				

Residential Occurrence 1

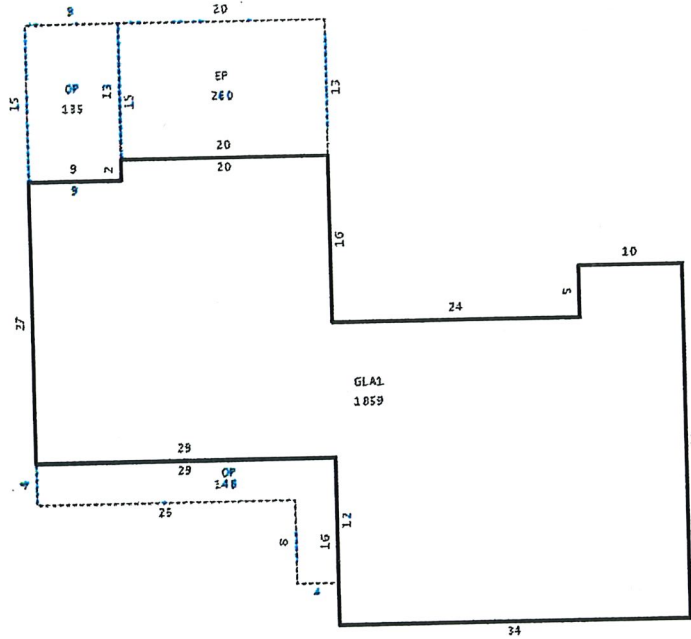
Property Code	0120 - RESIDENTIAL IMPROVEMENT	Actual Year Built	1950
Architectural Style	SP - SPANISH	Baths	2
Bedrooms	3	Building Type	PS - PRNCPL-SNGLE
Condition	AVERAGE	Construction Quality	A - AVERAGE
Heating Fuel	G - GAS	Heating Type	HA - HOT-AIR-PIPL
Roof Cover	PR - PR-ROLL	Roof Structure	F - FLAT
Stories	1.0	Exterior Wall	CS - CON-BLK-STCO

Property Record Card

Doña Ana Assessor

Residential Occurrence 1

Percent	100	Interior Wall	PL - PLASTER		
SubArea		ACTUAL	EFFECTIVE	HEATED	FOOTPRINT
GLA1 - First Floor		1859.0	1859.0	1859.0	1859.0
OP - Open Porch		283.0	283.0		283.0
EP - Enclosed Porch		260.0	260.0		260.0
Total		2,402.00	2,402.00	1,859.00	2,402.00



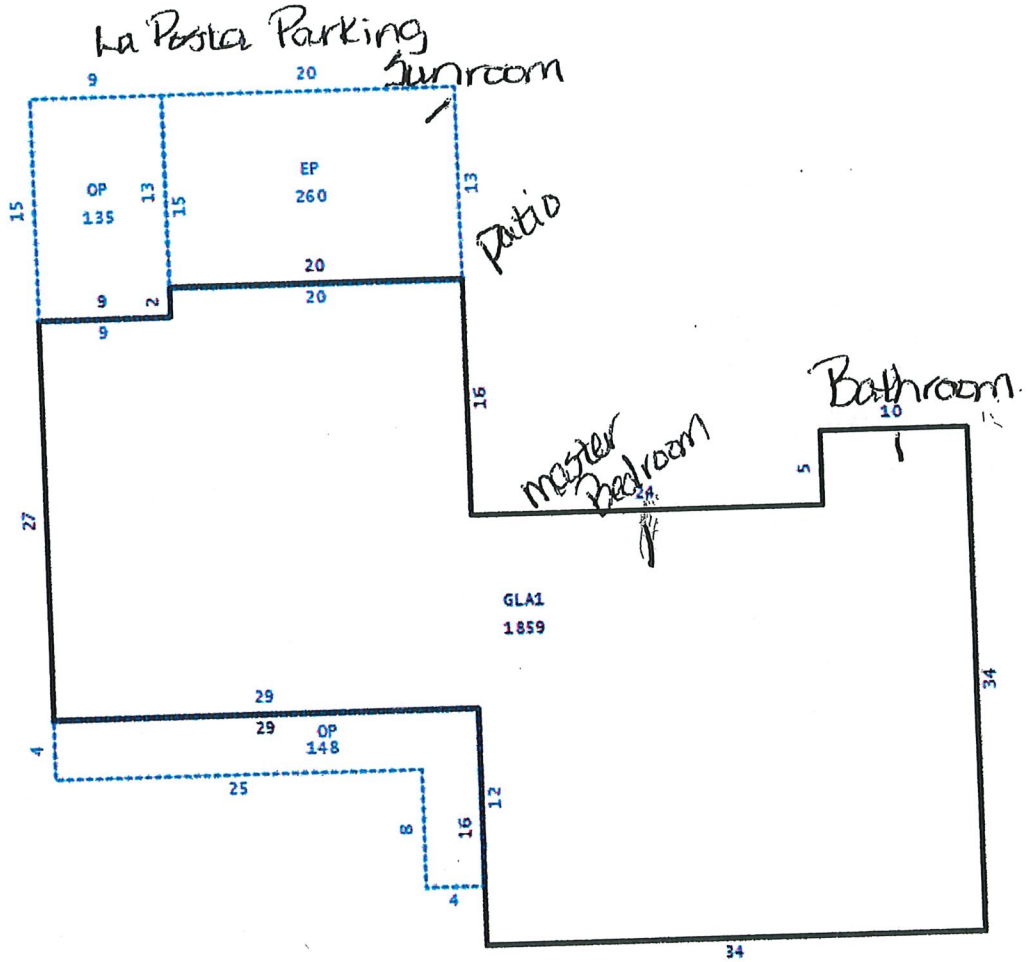
Assessment History

Type	Actual	Assessed
Residential Land	\$42,686	\$14,229
Residential Improvement	\$67,052	\$22,351
Actual (2018)	\$109,738	
Primary Taxable		\$36,580
Exemption Adjustments		(\$2,000)
Head of Household		(\$4,000)
Veteran		\$30,580
Adjusted Taxable Total		

7/21/2021

- [Account Search](#)
- [View Created Report\(s\)](#)
- [Help?](#)
- [Logout Public](#)

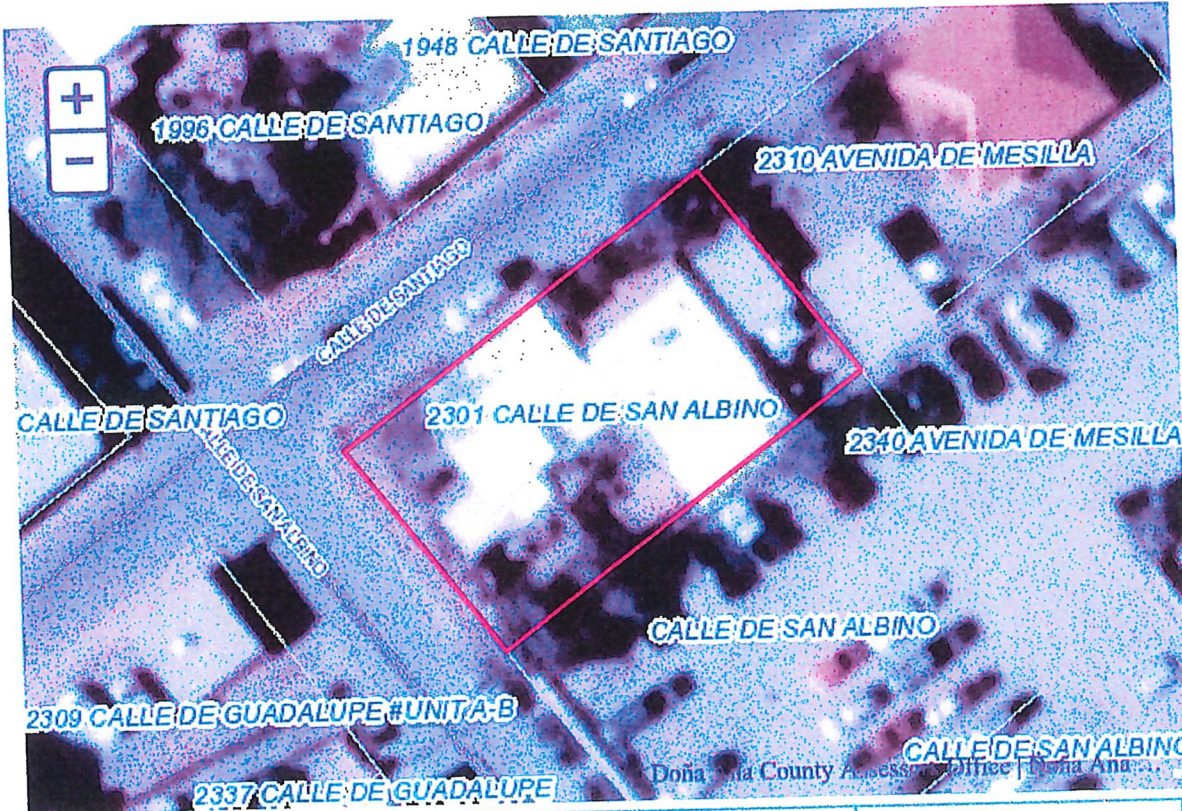
Account: R0400334 *Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.



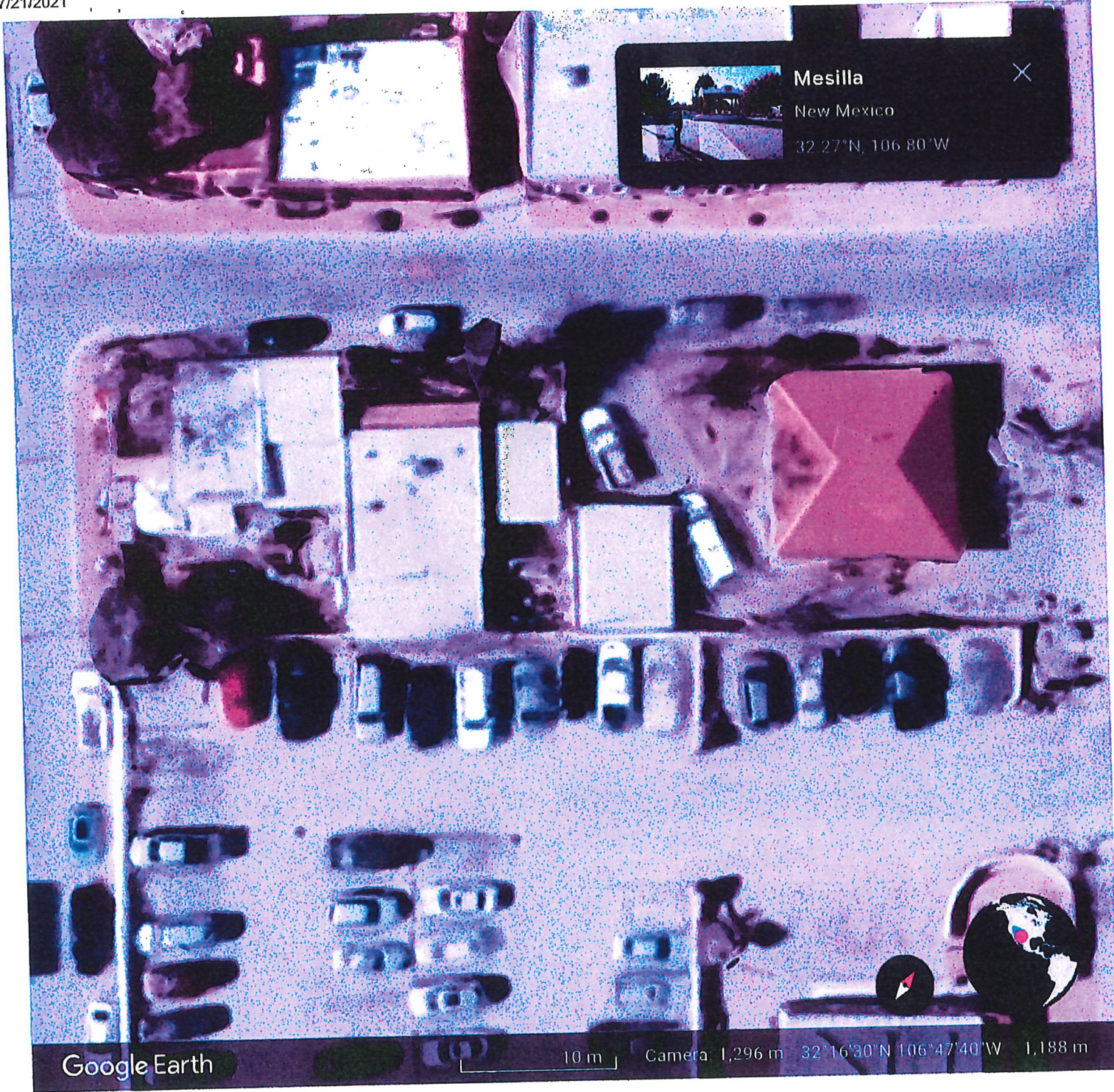


Layer Visibility:

- Roads
- City Limits
- MLS Zones
- Address Labels
- 2014 Aerial Photo
- Parcels



ACCOUNTNUMBER:	R0400334	PARCELNUMBER:	4006137250419
OWNERNAME:	GALLEGOS ESTHER M TRUSTEE	MAILADDR1:	804 CALLE DE EL PASO
CITY:	LAS CRUCES	STATE:	NM
ZIP:	88005	LOT:	
BLOCK:		SUBNAME:	
TRS:	23S 1E 25	SITUSADDRS:	2301 CALLE DE SAN ALBINO
TOTALACRES:	0		





WARRANTY DEED (Joint Tenants)

George V. Gallegos, conveying his sole and separate estate
 _____, for consideration paid, grant
 to George V. Gallegos
 and Esther M. Gallegos
 as joint tenants the following described real estate in Dona Ana County, New Mexico:

Beginning at the Northeast corner, and being the Northwest corner of the lot of the said George V. Gallegos, thence South, on the East, it is (20)twenty Varas, and is bounded by lot of the said George V. Gallegos, Thence West on the South, (34) Thirtyfour Varas, and is Bounded by property of Martin Oliver, Thence North on the West it is (20) Varas, and is Bounded by San Albino Street, Thence East on the North, to the place of beginning of said Measurements, it is (34) thirtyfour Varas, and is Bounded by Santiago Street of the town of Mesilla, New Mexico. This being the West End of the Lot deeded to George V. Gallegos, by deed on the 29th day of July, 1946, by Donaciano V. Gallegos.

with warranty covenants.

WITNESS MY hand and seal this 17 day of September, 1974.

(Seal) George V. Gallegos (Seal)
 George V. Gallegos

(Seal) _____ (Seal)

NOTARY SEAL

ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO

COUNTY OF DONA ANA

ss.

The foregoing instrument was acknowledged before me this 17 day of September, 1974,

by George V. Gallegos
 (Name or Names of Person or Persons Acknowledging)

My commission expires April 29, 1975
 (Seal)

Albino R. Brizuela
 Notary Public

ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO

COUNTY OF _____

ss.

The foregoing instrument was acknowledged before me this _____ day of _____, 19____,

by _____ (Name of Officer)

(Title of Officer) of _____ (Name of Corporation Acknowledging)

a _____ (State of Incorporation) corporation, on behalf of said corporation.

My commission expires: _____ Notary Public

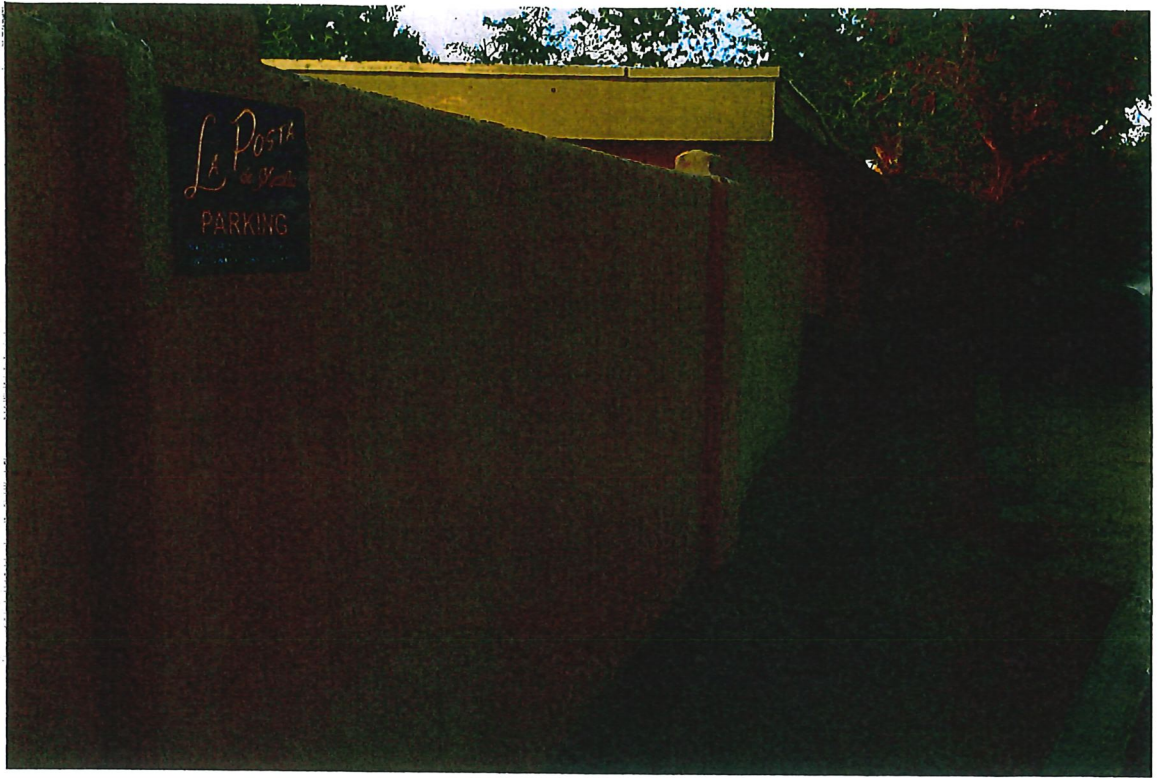
FOR RECORDER'S USE ONLY
 State of N. Mex. of Dona Ana: ss
 RECEPTION NO. 14631 I hereby
 certify that this instrument was filed
 for record and duly recorded on:

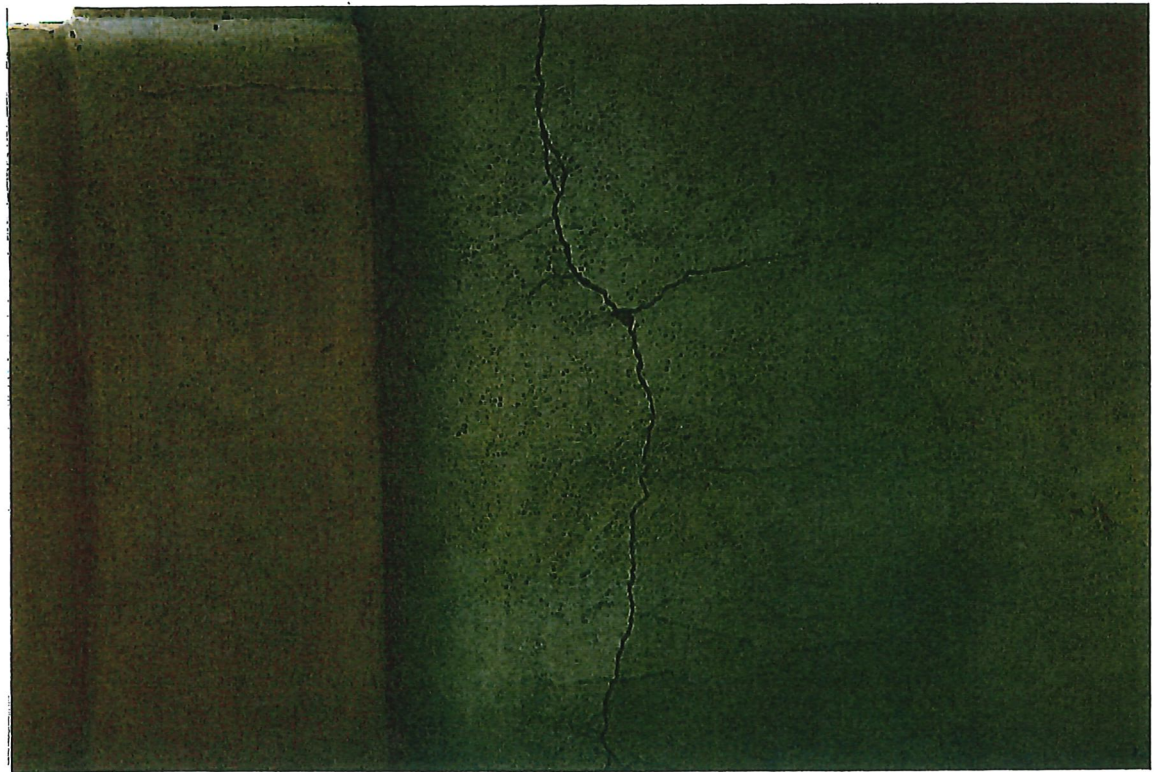
OCT 7 1974

at 10:05 o'clock A M in Deed
 Book 227 Page 344 of the
 records of said County. County
 RITA TOMES Clerk
 BY: [Signature] Deputy

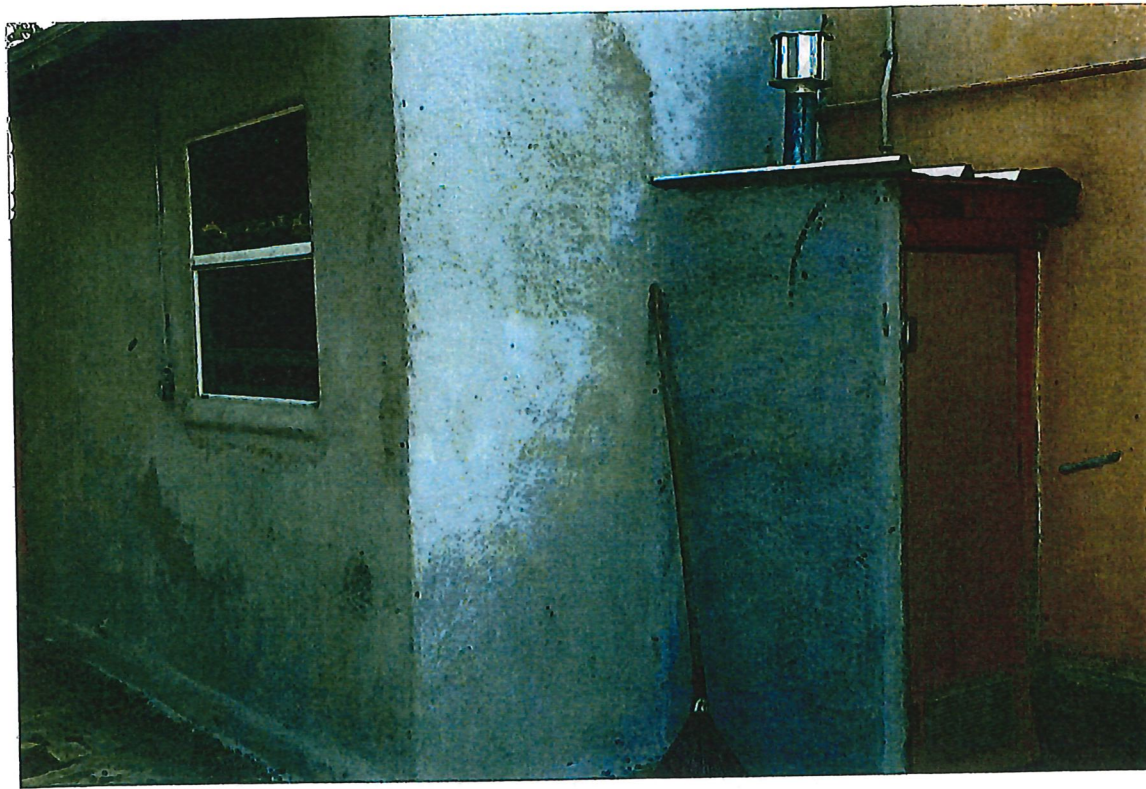
COUNTY CLERK SEAL

484



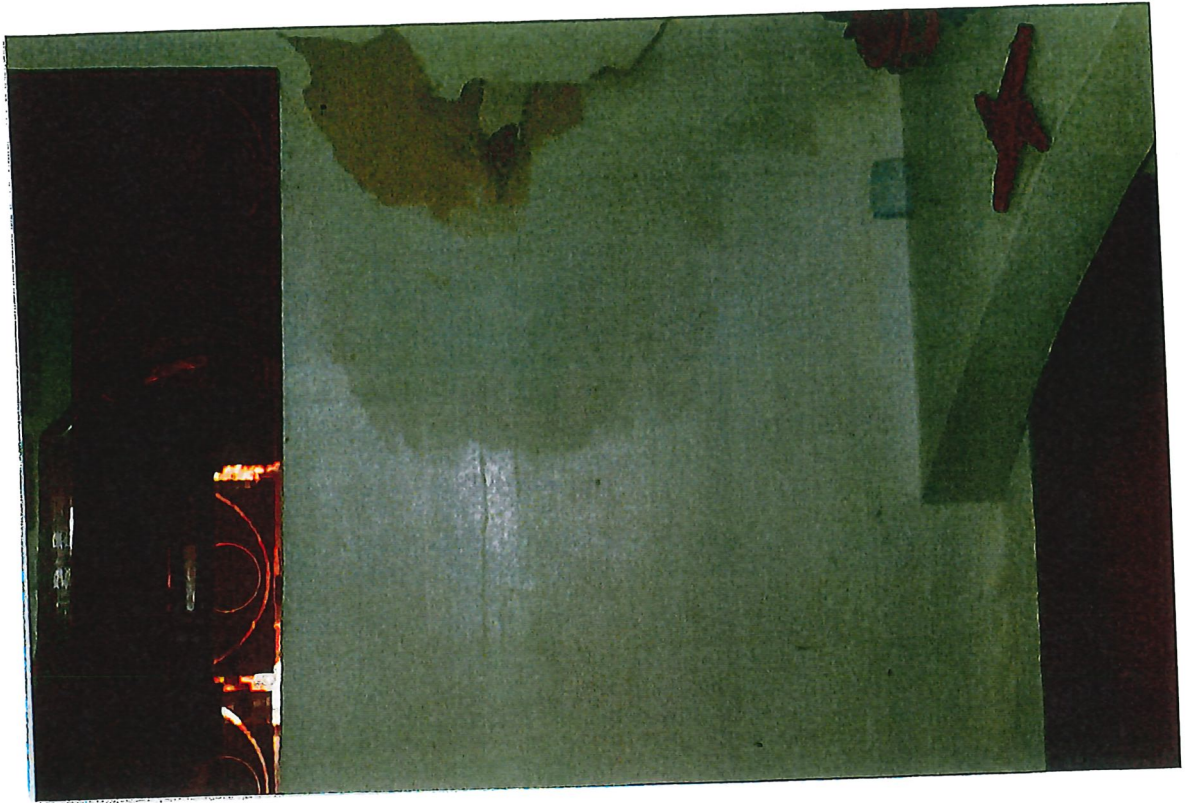




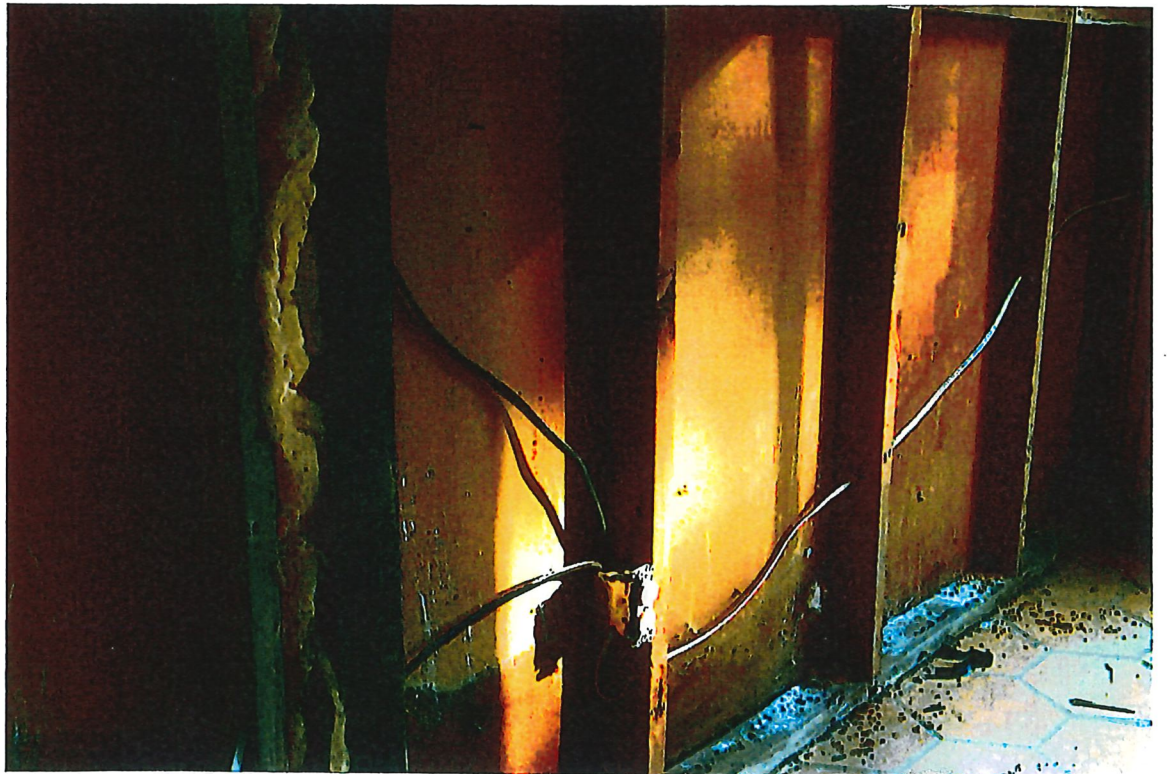


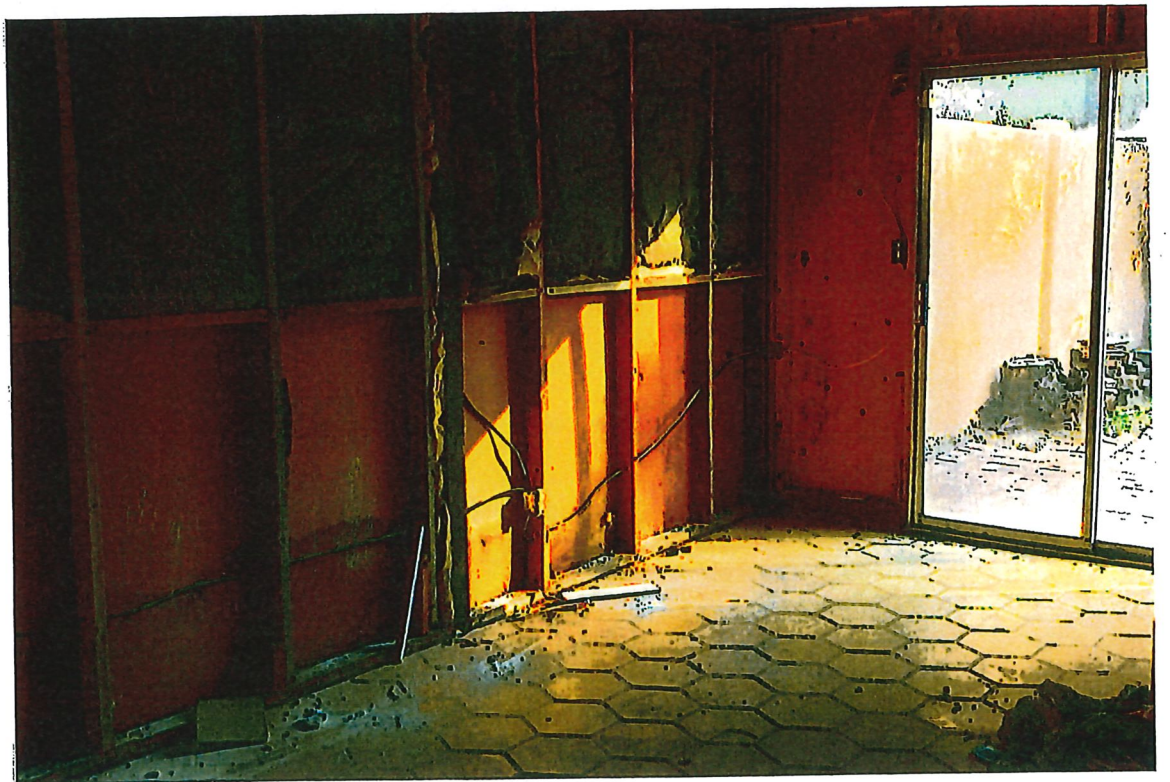










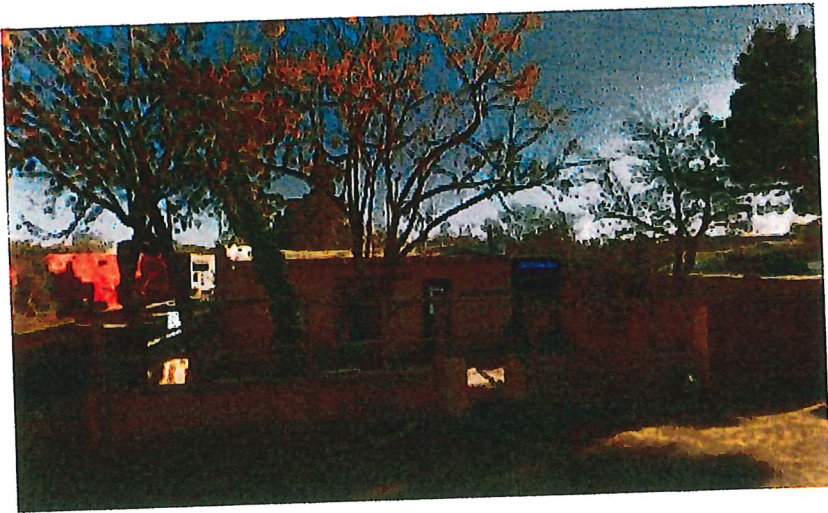








Map data ©2021, Map data ©2021 20 ft



2301 Calle De San Albino

Las Cruces, NM 88005
Building



Directions



Save



Nearby



Send to your
phone



Share

Photos

JUL 13 2021



Date: 7/9/21

2231 Avenida de Mesilla
P.O. Box 10, Mesilla, NM 88046
Phone: (505) 524-3262 Fax: (505) 541-6327

Permit No.: 0892

Business Registration Application

: A separate business registration application form should be completed for each business location.

New Renewal

PLEASE PRINT

BUSINESS INFORMATION

Business Address: 1750 Calle de Mercado Mailing Address: 1680 Calle de Alvarado
Las Cruces, NM 88005 Sta D
Las Cruces NM 88005

Total Area of Business: _____ No. of Employees: 5 No. of Parking Spaces: _____ Zoning: C

e-Mail Address: hello@bluedoorvenue.com Business Phone #: 575-800-0802

Type of business (Please describe product(s) and/or service(s):
Event Venue

Business Owner Is: Sole Proprietorship _____ Partnership _____ Corporation _____ Other LLC

Current New Mexico Revenue Division ID #: 03-520490-00-7
(The location code for reporting earnings received in the Town of Mesilla is 07-303.)

BUSINESS OWNER/APPLICANT INFORMATION

Business Owner's/Applicant's Name (s): Wingston Bridal + Events DBA
Blue Door Venue

Home Address: 5383 Spirit Ridge Rd
Las Cruces, NM ~~88008~~
88007

Mailing Address: 1680 Calle de Alvarado
Sta D
Las Cruces NM 88005

Business Owner's/ Applicant's Phone #: 575-405-9060 or 575-521-0872
(Please complete other side)

PROPERTY INFORMATION

Is property: owned _____ leased

Property Owner: Anna Emerick-Biad

Property Owner Address: 1730 Tierra de Mesilla
Las Cruces, NM 88005

Property Owner Phone #: 575-644-8265

EMERGENCY CONTACT INFORMATION

Responsible party to be called in case of emergency. Enter name in order of contact (please print):

24 HOUR EMERGENCY PHONE #: 575-644-8265

Name	Address	Telephone #
1. <u>Anna Biad</u>		<u>575-644-8265</u>
2. <u>Roxanne Livingston</u>		<u>575-405-9060</u>
3. _____		

Do you have an alarm system? Yes _____ No

What Type? Security Cameras on site - not monitored

Which Company, if any, Responds to Alarms? _____

APPLICANT HEREBY STATES UNDER OATH THAT ALL STATEMENTS AND REPRESENTATIONS MADE IN THIS APPLICATION ARE TRUE AND VALID.

[Signature] / Roxanne Livingston Biad 7/9/21
Signature of Applicant/Title DBA Blue Door Date

Anna Emerick-Biad
Signature of Building Owner Date

Receipt Number: _____ Office Use
Permit Number: _____ Date of Payment: _____
Approval Date: _____ Zone: Commercial
Sign Permit Case #: _____ Bus. Type: _____
Renewal Date: _____

Fire Department Inspection Verification

Fire Department Representative Signature: _____
Fire Inspection Date: _____
Approved: Yes _____ No _____

JUL 13 2021



Date: 7/12/21

2231 Avenida de Mesilla
P.O. Box 10, Mesilla, NM 88046
Phone: (505) 524-3262 Fax: (505) 541-6327

Permit No.: 0893

Business Registration Application

: A separate business registration application form should be completed for each business location.

New Renewal

PLEASE PRINT

BUSINESS INFORMATION

Business Address: CUTTER Gallery
2220 Calle de Parian
Mesilla, N.M.

Mailing Address: CUTTER Gallery
P.O. Box 1360
Mesilla, N.M. 88046

Total Area of Business: 532^{sq ft} No. of Employees: 1 No. of Parking Spaces: 4-5 Zoning: HC Commercial

e-Mail Address: Glenn.Cutter@AOL.com Business Phone #: 575-541-0567
cell 575-644-6039

Type of business (Please describe product(s) and/or service(s):
Gallery of Jewelry, Art, and objects

Business Owner Is: Sole Proprietorship Partnership Corporation Other

Current New Mexico Revenue Division ID #: 02501821003
(The location code for reporting earnings received in the Town of Mesilla is 07-303.)

BUSINESS OWNER/APPLICANT INFORMATION

Business Owner's/Applicant's Name (s): Glenn Cutter

Home Address: 6756 Camino Blanco
Las Cruces, N.M. 88007

Mailing Address: P.O. Box 1360
Mesilla, N.M. 88046

Business Owner's/ Applicant's Phone #: 575-644-6039

(Please complete other side)

PROPERTY INFORMATION

Is property: owned _____ leased

Property Owner: T. R. Fietze, LLC

Property Owner Address: PO Box 358
Mesilla Park, NM 88047

Property Owner Phone #: 915-313-1973 or 575-649-6916

EMERGENCY CONTACT INFORMATION
Responsible party to be called in case of emergency. Enter name in order of contact (please print):

24 HOUR EMERGENCY PHONE #: 575-644-6039

Name	Address	Telephone #
1. <u>Glenn Cutter</u>	<u>6756 Camino Blanco</u>	<u>575-644-6039</u>
2. _____	_____	_____
3. _____	_____	_____

Do you have an alarm system? Yes No _____
What Type? Monitored
Which Company, if any, Responds to Alarms? Engle Security

APPLICANT HEREBY STATES UNDER OATH THAT ALL STATEMENTS AND REPRESENTATIONS MADE IN THIS APPLICATION ARE TRUE AND VALID.

[Signature] 7/12/21
Signature of Applicant/Title Date

[Signature] 7-11-2021
Signature of Building Owner Date

Receipt Number: _____ Office Use
Permit Number: _____ Date of Payment: _____
Approval Date: _____ Zone: HC
Sign Permit Case #: _____ Bus. Type: _____
Renewal Date: _____

Fire Department Inspection Verification

Fire Department Representative Signature: _____
Fire Inspection Date: _____
Approved: Yes _____ No _____

Town of Mesilla

Business Registration Application

Note: A separate business registration application form should be completed for each business location.



OFFICIAL USE ONLY:

Business License #: 0891

PLEASE TYPE OR PRINT

Business Registration Application is: New Renewal

JUL 16 2021

Name of Business Cheeky Chaps Barbershop

Name of Applicant Christopher Marangos

MAILING Address 3341 Majestic Shadow Way

City Las Cruces State NM Zip 88011

PHYSICAL Address of Business 2521 Ave de Mesilla

Business Phone 575 524-2371 Alternate Phone 575 621-9311

E-mail Address CheekychapsLC@gmail.com

Please include a valid E-mail address, which will be used for information and updates about special events, street closures, and other important town information. If you would like your business included on the Town's tourism website, please visit www.mesillanm.gov and fill out the Business Information Update Request Form, or contact the special events coordinator at irenep@mesillanm.gov.

Property Owner Name Mark & Norma Wolfe

Property Owner Address 2200 Happy Valley Lane

City Las Cruces State NM Zip 88005

Property Owner Phone 575 496-3153

The Location code for reporting earnings received in the Town of Mesilla is 07-303

Square Footage of Business 980

Number of Employees 2-4

Number of Parking Spaces Caballero plaza

Zoning Code

Business Applicant Is:

Sole Proprietorship

Partnership

Corporation LLC

Current NM CRS Tax ID 03558717002

Type of Business - Please describe the product(s) and/or service(s)

Gentlemen's Barbershop
Haircuts, Shaves, waxes

2231 Avenida de Mesilla P.O. Box 10 Mesilla, NM 88046
Phone: (575) 524-3262 Fax: (575) 541-6327

PLEASE FILL OUT OTHER SIDE

Emergency Contact Information

Responsible party to be called in case of emergency. Enter information in order of requested contact.

Contact 1 Ariana Romero Phone Number 575 621-9721

Address 3341 Majestic Shadow way

Contact 2 Armando Lopez Phone Number 575 888-7300

Address 4345 Levante Drive

Contact 3 Omar Romero Phone Number 915-731-0217

Address 1755 N. Valley Drive

Do you have an alarm system? [X] Yes [] No

If yes, what kind? Apex technologies What company responds? Marshals

Applicant hereby states under oath that all statements and representations made in this application are true and valid.

Signature of Applicant [Signature] Date 7/12/2021

Signature of Building Owner [Signature] Date 7-13-2021

OFFICE USE ONLY

Form with fields: Receipt Number, Date of Payment, Utility service verified with utility department, Case Number, PZHAC Approval Date, Sign Permit Case #, BOT Approval Date, Zone (HC), Renewal Date, Submit by E-mail

Fire Department Inspection Verification

Fire Department Signature _____

Inspection Date _____ Approved [] Yes [] No

[] CRS Verification of Location Code