



Town of Mesilla, New Mexico

PZHAC WORK SESSION & MEETING AGENDA MAY 3, 2021

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION VIA TELECONFERENCE ON MONDAY, MAY 3, 2021 AT 2:30 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 603-754-4231 PASSWORD 193857.

- A. Submitted by William B. McIlvaine; a request to discuss plans to repair and repaint the stucco and roof on a secondary dwelling to match the primary dwelling at 2685 Calle de Parian. (Case 061208) Zoned: Historic Residential (HR)
- B. Submitted by Ralph Lucero; a request for two detached dwelling units on a 16,114 square foot property at the NE Corner of Calle de Segunda and Calle del Sur. (Case 061210) Zoned: Historic Residential (HR)
- C. Submitted by Robert Reynolds, a request to discuss plans to install a gazebo type shade structure on a residential property at 2391 Calle de Parian. (Case 061213) Zoned: Historic Residential (HR)

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A REGULAR MEETING VIA TELECONFERENCE ON MONDAY, IMMEDIATELY FOLLOWING THE WORK SESSION. TO JOIN THE MEETING BY PHONE DIAL 1-346- 248-7799, THEN ENTER Meeting ID 603-754-4231 PASSWORD 193857.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

III. CHANGES/APPROVAL OF THE AGENDA

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

A. *PZHAC MINUTES – PZHAC Meeting of APRIL 19 and APRIL 23, 2021.

B. *ADMINISTRATIVE APPROVALS

Zoning Permit:

- 1. **Case 061203** - 2210 Calle de Parian, submitted by Teresa Sanchez for Tibercio Friez, LLC; a request for a zoning permit to repair canales and reroof a commercial building at this address. Zoned: Historic Commercial (HC)
- 2. **Case 061204** - 2220 Calle de Parian, submitted by Teresa Sanchez for T.R. Friez, LLC; a request to replace an existing air conditioner and furnace with a new air conditioner and furnace in a commercial building at this address. Zoned: Historic Commercial (HC)
- 3. **Case 061207** – 2391 Calle de Parian, submitted by Robert Reynolds; a request for a zoning permit to allow the reroof of a dwelling at this address. Zoned: Historic Residential (HR)
- 4. **Case 061211** – 2640 Calle del Oeste, submitted by Gilbert Madrid; a request for a zoning permit to repair minor damage and cracks and paint the repairs to match the rest of the wall. Zoned: Historic Residential (HR)

II. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

Public input shall be received at larrys@mesillanm.gov at least one hour prior to the meeting and will be read into the record. You will also be given an opportunity to speak during this time by joining the meeting by phone and pressing *9 while in the teleconference. This will let the host know that you wish to speak. You will be prompted by the host or the Commission Chair when to begin speaking.

B. DECISIONS:

Zoning Permits

1. **Case 061208** – 2685 Calle de Parian, submitted by William B. McIlvaine, a request for a zoning permit to repair and repaint the stucco and roof on a secondary dwelling to match the primary dwelling at this address. Zoned: Historic Residential (HR) (**This case was heard during the Work Session.**)
2. **Case 061209**– 1780 Calle de El Paso, submitted by Jon Strain, a request to construct for a shade shelter for horses on the property. Zoned: Residential/Agricultural (RA)
3. **Case 061210**– NE Corner of Calle de Segunda and Calle del Sur (address to be assigned), submitted by Ralph Lucero; a request for a zoning permit to allow the construction of two detached dwelling units on a 16,114 square foot property at this location, Zoned: Historic Residential (HR) (**This case was heard during the Work Session.**)
4. **Case 061212**– 1755 Tierra de Mesilla, submitted by Blanca Huisar for Casa Blanca; a request for approval of a site plan and elevations for a commercial development on this property. Zoned: General Commercial (C)
5. **Case 061213** – 2391 Calle de Parian, submitted by Robert Reynolds, a request to install a gazebo type shade structure on a residential property at this address. Zoned: Historic Residential (HR) (**This case was heard during the Work Session.**)

VI. PZHAC/STAFF COMMENTS

VII. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 4/29/2021 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

**PZHAC NEW BUSINESS
MAY 3, 2021**

WORK SESSION

PZHAC WORK SESSION
MAY 3, 2021
ITEM 1

Submitted by William B. McIlvaine; a request to discuss plans to repair and repaint the stucco and roof on a secondary dwelling to match the primary dwelling at 2685 Calle de Parian. (Case 061208) Zoned: Historic Residential (HR)

Staff Analysis:

The subject structure is 0.93 acres (40511 square feet) in size (16,000 square feet is required by MTC 18.35.040(B)). The accessory dwelling, which is 597 square feet in size, was originally a two-car garage and workshop that was converted into an accessory dwelling within the last fifteen years. (The conversion was completed in 2017.) The applicant bought the property three years ago and has done substantial renovations to the main dwelling and the accessory dwelling, as well as resolved several Codes issues that had existed for years. Now the applicant would like to repair the exterior of the accessory dwelling and repaint it (including the trim and roof) to match the main dwelling. The colors of the main dwelling were approved by the PZHAC in 2019 and are acceptable colors in the Historic portion of Mesilla. There will be no structural or architectural changes to the structure, and the overall appearance other than color will not be changed.

Estimated Cost: \$23,950.00

Consistency with the Code:

The PZHAC will need to determine that the proposed repairs and repainting will be consistent with other structures in the area. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

Consistency with the Code:

Although this is technically a repair and repainting of an existing accessory structure to match the primary structure on the property, the PZHAC will need to determine that there will not be any substantial changes to the structure that will have a negative effect on the surrounding properties, and that if there are changes they will be consistent with the following sections of the Code:

18.06.110 Review of applications within Historical and General Commercial zones – Considerations.

- A. All applications for work in the Historical zones and Commercial zone (not subject to administrative approval) shall be reviewed by the planning, zoning and historical appropriateness commission. The commission shall determine whether the request involved will be appropriate for the purposes of this title. If the request shall be determined to be inappropriate, the board shall determine whether, owing to conditions especially affecting the building or structure involved, but not affecting the historical district generally, such application may be approved without substantial detriment to the public welfare and without substantial derogation of the intent and purposes of this title.
- B. In reviewing an application, the planning, zoning and historical appropriateness commission shall consider in addition to this chapter:
 - 1. The historical and literary value and significance of the site, building, or structure;
 - 2. The general design, arrangement, texture, material and color of the features, sign or billboard involved;
 - 3. The relation of such factors to similar factors or sites, buildings and structures in the immediate surroundings;
 - 4. The appropriateness of the size and shape of the building or structure in relation to:
 - a. The land area upon which the building or structure is situated;
 - b. The landscaping and planting features proposed by the applicant; and
 - c. The neighboring sites, buildings or structures within the historical district.
 - 5. The commission shall also consider the applicable zoning and other laws of the town.

8.33.060 Development zone.

A development zone defines the immediate physical vicinity to be used to identify the historic character of a particular area and includes the predominant architectural style and design standards of existing structures together with their setting.

- A. Function of the Development Zone. The function of the development zone is to provide for historically appropriate development within an existing historic district by setting standards for both new construction and alterations to existing structures.

The applicant will be present by “Zoom” at the work session and meeting to provide further details about the proposed construction, and to answer any questions that may arise.

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Numbe

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400441](#)

Parcel Number: 4006138096083

Owner: MCILVAINE WILLIAM

Mail Address: 7101 NORTH MESA #370

Subdivision:

Property Address: 2685 CALLE DE PARIAN #2

Acres: 0.93



Proposal

DJ. Walker Construction LLC License #360618
 DBA A PLUS EXTERIORS (575-644-0049)
 518 N 17th Street Las Cruces NM 88005
 Customer:

Date: 4/12/2021
 W.O. #: 2021149
 Estimator Darrell Walker
 Phone 575-644-0049

Will & Stephan McIlvaine
 2685 Calle De Parion
 Mesilla, NM



Product	Detailed Description	Quantity	Line Total
1.00	Stucco Renovation Trench perimeter to expose all stucco	2362 SF	11,022.00
Preparation	Power wash to remove all dirt/debris Tape, paper and plastic to windows and doors Remove all delaminated stucco		
Repairs	Inspect and replace weather barrier and lath as needed STO # 727 premix with embedded fiber mesh over all existing stucco		
Finish	STO 1.0 Synthetic over all existing stucco		
Calking	Siliconized caulking at all window and doors		
Color	TBD		
2.00	Electrical		
Lights	Determine if we can cover unused light boxes.		
3.00	Stain Flood Walnut stain sealer on all exposed cedar 5 Columns	5 Columns	200.00
	Exposed beam header	51 LF	204.00
4.00	Metal Roof	2790 SF	5,580.00
Preparation	Power wash to remove all loose dirt and debris		
Flash	Uniflex One Flash to all penetrations, skylights, and solar tubes	14 EA	
Paint	Sherwin Williams Shercryl high performance acrylic (color tbd)	2 coats	
5.00	Fascia & Soffit	250 LF	750.00
Paint	Sherwin Williams prime and paint (color tbd)	5 EA	500.00
6.00	Exterior doors		
Paint	Sherwin Williams prime and paint (color tbd)	1018 SF	2,545.00
7.00	Porch Ceilings		
Preparation	Caulking at all staples and joints		
Paint	Sherwin Williams prime and paint (color tbd)		
8.00	Pump House Stucco and Painting Exterior door	247 SF	1,238.00
		1 EA	100.00
		sub total	22,139.00
		tax	1,811.52
		total	23,950.52
		deposit	
		balance	

Customer Signature X [Signature]
 Company Representative X W D MCILVAINE

ARBITRATION: All disputes between the parties arising out of or related to any agreement term, or any breach or alleged breach of this contract will be decided by arbitration. No arbitration proceeding under this provision shall include any person or entity not a party to this agreement except by prior written consent. This written consent must specifically refer to this agreement's arbitration provision, describe the matter to be arbitrated, and be signed by the holder and/or contractor. An arbitration proceeding involving an additional person or entity is limited to the parties and matter described in the consent.

TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR
 OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:
 Case # 061028
 Fee \$ 290.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061028 ZONE: HR CODE: M1 APPLICATION DATE: 4/27/21

WILLIAM B MCILVAINE 310 990 9896
 Name of Applicant/Owner Applicant's Telephone Number
PO BOX 360 MESILLA NM 88046
 Applicant's/Owner's Mailing Address City State Zip Code
WBMCILVAINE@MAC.COM
 Applicant's/Owner's E-mail Address
DJ WALKER CONSTRUCTION
 Contractor's Name & Address (If none, indicate Self)
575 644 0049 360618
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number
 Address of Proposed Work: 2685 CALLE DE PARIAN MESILLA NM
 Description of Proposed Work: REPAIR STUCCO, PAINT ROOF PAINT TRIM
COLOR OF STUCCO + PAINT TO MATCH COLORS ON
MAIN HOUSE
 \$ 23,950 W. McIlvaine 21 APRIL 2021
 Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: YES NO SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW + BOT APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

This Application will include the following, if checked:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. _____ Site Plan with dimensions and details.
3. _____ Proof of legal access to the property
4. _____ Drainage plan.
5. _____ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. _____ Other information as necessary or required by the City Code or Community Development.

PZHAC WORK SESSION
MAY 3, 2021
ITEM 2

Submitted by Ralph Lucero; a request for two detached dwelling units on a 16,114 square foot property at the NE Corner of Calle de Segunda and Calle del Sur. (Case 061210) Zoned: Historic Residential (HR)

The applicant would like to build two Pueblo style dwelling units on a 16,114 square foot property that currently contains a small pecan grove. The units will each have 1,072 square feet of heated and cooled area, and 186 square feet of covered porches. The maximum height of the structures will be about twelve feet. According to the applicant, there will be no garages, although there will be room for three off-street parking spaces for each dwelling. (The drawings show two spaces per dwelling, the applicant has stated that the area available for parking will be enough for three or more spaces for each unit. The applicant has been made aware that this will need to be shown on the drawings provided to CID.)

Each unit will be setback at least 15 feet from the front and rear property lines, and at least 28 feet from the side property lines (including Calle del Sur). A fence will run down the middle of the property between the two units. Water and sewer will be provided by the Town. (The applicant has been informed that he will need to check with the Utility Department to ensure that the Town will be able to provide these services.)

Consistency with the Code:

The PZHAC will need to determine that the proposed dwelling will be is consistent with the following sections of the Code:

18.06.110 Review of applications within Historical and General Commercial zones – Considerations.

- A. All applications for work in the Historical zones and Commercial zone (not subject to administrative approval) shall be reviewed by the planning, zoning and historical appropriateness commission. The commission shall determine whether the request involved will be appropriate for the purposes of this title. If the request shall be determined to be inappropriate, the board shall determine whether, owing to conditions especially affecting the building or structure involved, but not affecting the historical district generally, such application may be approved without substantial detriment to the public welfare and without substantial derogation of the intent and purposes of this title.
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 - 3. The relation of such factors to similar factors or sites, buildings and structures in the immediate surroundings;
 - 4. The appropriateness of the size and shape of the building or structure in relation to:
 - a. The land area upon which the building or structure is situated;
 - b. The landscaping and planting features proposed by the applicant; and
 - c. The neighboring sites, buildings or structures within the historical district.
 - 5. The commission shall also consider the applicable zoning and other laws of the town.

18.33.060 Development zone.

A development zone defines the immediate physical vicinity to be used to identify the historic character of a particular area and includes the predominant architectural style and design standards of existing structures together with their setting.

- A. Function of the Development Zone. The function of the development zone is to provide for historically appropriate development within an existing historic district by setting standards for both new construction and alterations to existing structures.

18.35.040 Development standards.

A. Lot Area. Each lot or parcel to be developed in the H-R zone shall have a minimum of 80 feet of frontage on a public street and a minimum of 8,000 square feet of area.

The lot will have over 80 feet of frontage.

B. Population Density. When lots or parcels in the H-R zone are to be developed to single-family or multiple single-family dwellings, each lot or parcel shall have sufficient area to provide 8,000 square feet of area for each family unit to be built. The maximum number of dwellings allowed on any property shall be two, providing density and parking requirements are met. A maximum of 40 percent impervious and 60 percent pervious shall be required unless otherwise noted by the development zone requirements of Chapter [18.33](#) MTC (Historic Preservation).

The property has over 8,000 square feet per dwelling unit. Additionally there will only be two dwelling units on the property, and these will meet density and parking requirements.

The applicant will be present by “Zoom” at the work session and meeting to provide further details about the proposed construction, and to answer any questions that may arise.

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Number Enter Value:

Maps

Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: **R0400610**
 Parcel Number: 4006138255088
 Owner: LUCERO RALPH JR ATTN: JULIE LUCERO
 Mail Address: PO BOX 753
 Subdivision:
 Property Address: CALLE SEGUNDA
 Acres: 0.37





Calle Segunda

Calle Del Sur



PLANS FOR THE CONSTRUCTION OF:

NEW CONSTRUCTION

GENERAL STRUCTURAL NOTES

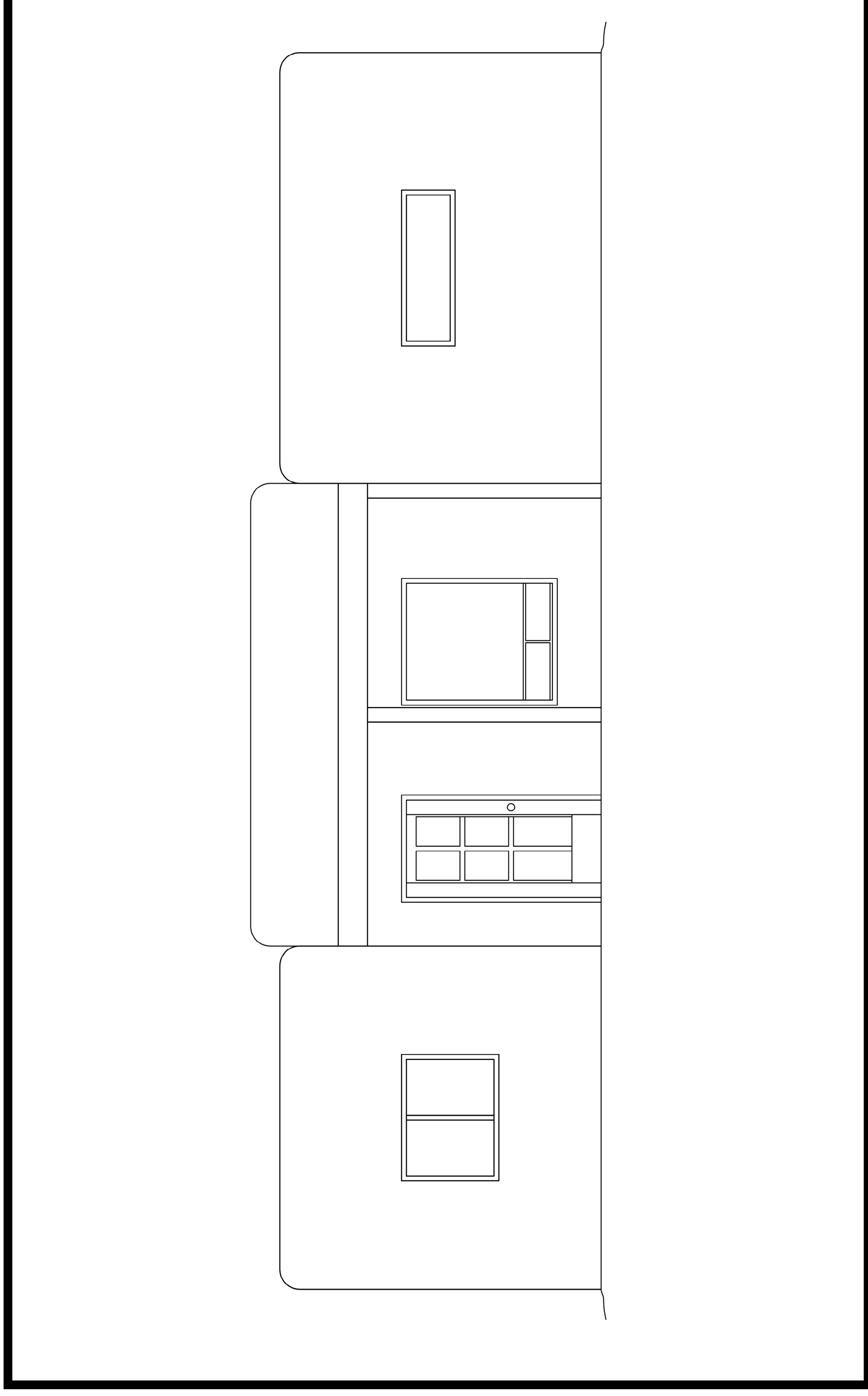
- ALL DIMENSIONS, SPECIFICATIONS AND MEASUREMENTS, INCLUDING ALL BUILDING MATERIALS ARE TO BE CHECKED BY THE OWNER/CONTRACTOR. THE STRUCTURAL INTEGRITY IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR. MV DESIGNS ASSUMES NO RESPONSIBILITY FOR ANY OF THE PRECEDING.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH@ 28 DAYS OF $F'_c = 3000$ PSI.
- ALL REINFORCING STEEL SHALL BE ASTM 4-615, GRADE 40, HAVING A YIELD STRENGTH OF 40,000 PSI
- ALL REINFORCING STEEL SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH THE ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-71) AND THE ACI STANDARD DETAILING MANUAL (ACI 315-65).
- WHERE LAPPED SPLICES IN REINFORCING OCCUR, THE MINIMUM LAP SHALL BE 40 BAR DIAMETERS OR 12" MINIMUM.
- PROVIDE BAR SUPPORTS AND SPACERS FOR REBAR IN ACCORDANCE WITH ACI 615-65.
- CONCRETE COVER FOR REINFORCING SHALL BE AS FOLLOWS;
 - FOOTINGS - 3" FROM BOTTOMS AND SIDES
 - PROJECTED - $1\frac{1}{2}$ " FROM BOTTOMS AND SIDES
- ALL FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL, OR EXISTING SOIL COMPACTED FILL TO 95% OF STANDARD PROCTOR AT OPTIMUM MOISTURE CONTENT. (ALLOW 12" PRE-ENGINEERED FILL AS REQ'D)(SITE CONDITION DETERMINANT).
- ALL STRUCTURAL AND MISCELLANEOUS STEEL MEMBERS, SHAPES AND CONNECTIONS SHALL BE ASTM A-36, HAVING A YIELD STRENGTH OF 36,000 PSI.
- ALL STRUCTURAL LUMBER TO HAVE A MINIMUM BENDING STRESS OF $F_b=12,000$ PSI
 - LOADS
 - ROOF
 - LIVE LOADS 20 PSF
 - DEAD LOADS 25 PSF
 - WALLS 25 PSF WIND LOADS 40PSF
 - FLOORS 15 PSFASSUME SOIL BEARING CAPACITY IS 12,000 PSF.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE SHORING FOR ALL PARTS OF THE STRUCTURE DURING THE CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- ALL PREFABRICATED WOOD TRUSS SHALL MEET THE NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS, BY NATIONAL FOREST PRODUCTS ASSOCIATION (LATEST EDITION) AND DESIGN SPECIFICATIONS FOR LIGHT METAL PLATED CONNECTED WOOD TRUSSES, BY THE TRUSS PLATE INSTITUTE (LATEST EDITION). ALL TRUSS DESIGNS SHALL CONTAIN THE FOLLOWING DESIGN AND FABRICATION DATA: METAL CONNECTORS, THEIR GAGE AND THICKNESS, NOMINAL SIZES AND LOCATIONS AT ALL JOINTS, LUMBAR SPECIFICATIONS SUCH AS PITCH, SPAN, SPACING OF TRUSSES AND THE SPECIES AND STRESS GRADE OF LUMBER TO BE USED AS MEMBERS, DESIGN LOAD OF TRUSSES AND ALLOWABLE STRESS INCREASE, CAMBER AND PERMANENT BRACING REQUIRED TO PREVENT COMPRESSION BUCKLING OF INDIVIDUAL TRUSS MEMBERS. ALL TRUSS DRAWINGS SHALL BE FURNISHED BY THE TRUSS MANUFACTURER.
- USE PORTLAND CEMENT MORTAR ASTM C 150 TYPE I - HYDRATED LIME: ASTM C 207 TYPE S AND SAND: ASTM C 144.
- CONTRACTOR SHALL INCLUDE NECESSARY REINFORCEMENT IF FOUNDATION IS TO BE PLACED ON UNSTABLE SOIL. I.E. CLAY, PIERS OR APPROVED EQUIVALENT.

SHEET INDEX

- A-1 COVER SHEET
- A-2 SITE PLAN
- A-3 FLOOR PLANS
- A-4 ELEVATIONS

CODE REVIEW

2009 INTERNATIONAL RESIDENTIAL CODE
TOTAL SQ. FT. = 1,259
TOTAL STORIES: 1



NEW CONSTRUCTION

COVER SHEET

ADDRESS
CALLE SEGUNDA MESSILLA,
NM 88046

PROJECT

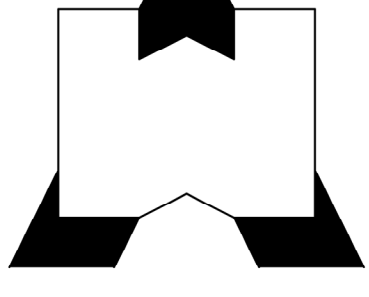
TITLE

SHEET

A - 1

DATE
APRIL 20, 2021

SCALE
AS NOTED



SITE PLAN

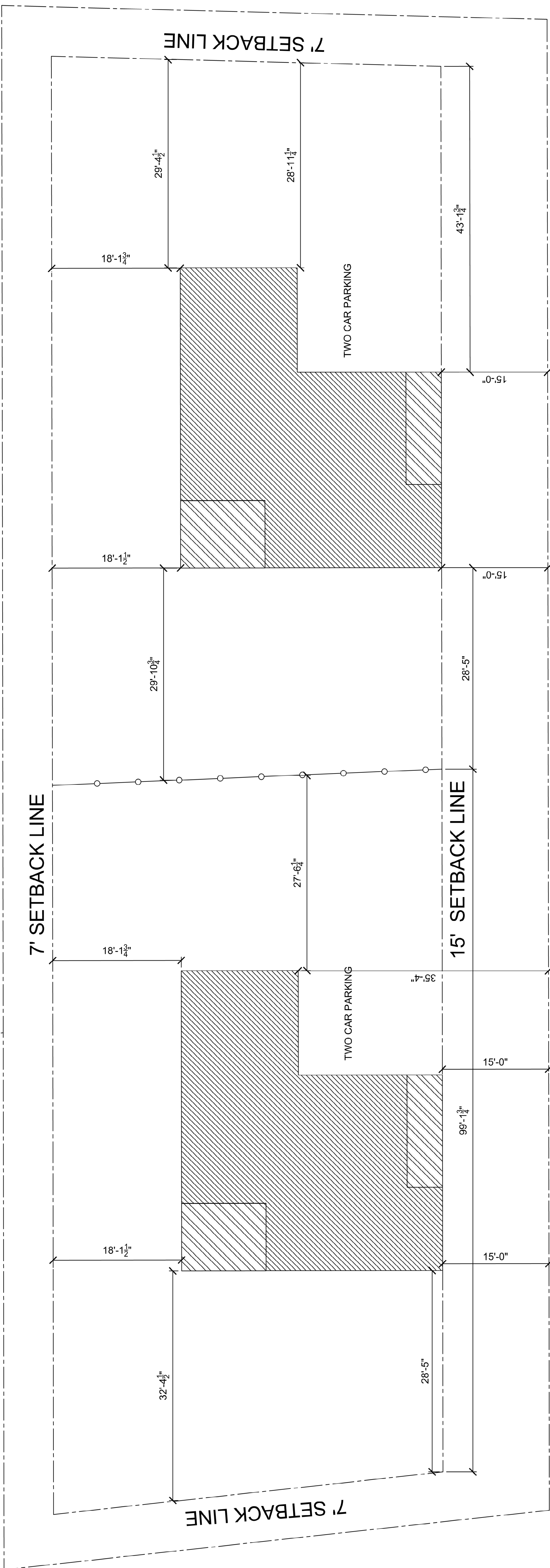
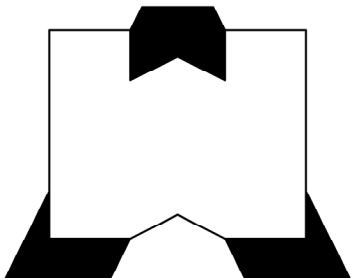
NEW CONSTRUCTION

ADDRESS
CALLE SEGUNDA MESILLA,
NM 88046

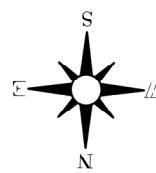
DATE
APRIL 20, 2021

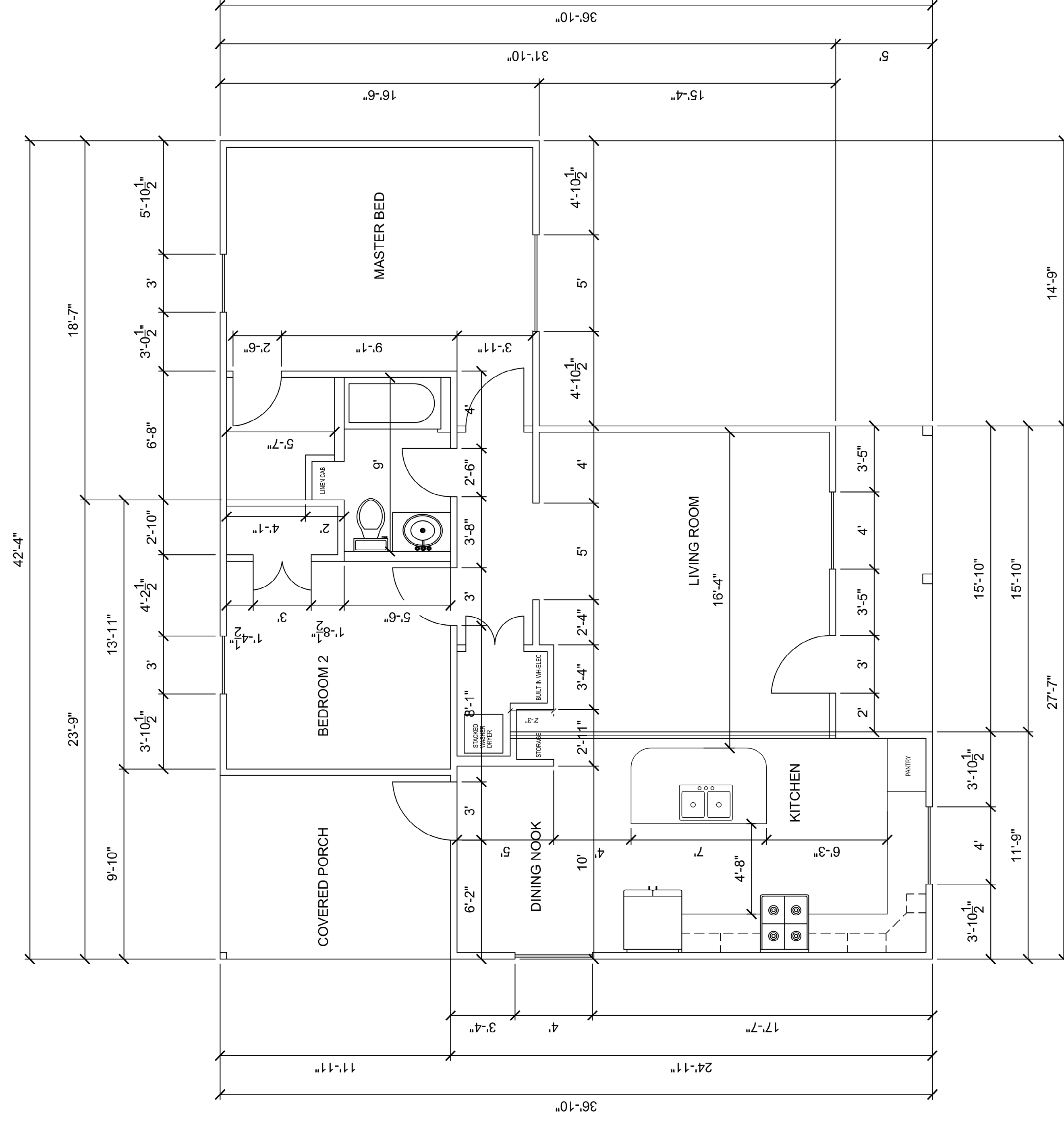
SCALE
AS NOTED

MV Designs
PH (915) 346-4075
martinv1018@gmail.com



Site Plan
SCALE: 1/8"=1'-0"





FLOOR PLAN
SCALE: 1/4"=1'-0"

GENERAL SPECIFICATIONS

AREAS:
HOUSE: 1,072 SQ
GARAGE: NONE
PORCHES:
FRONT: 79 SQ
SOUTH SIDE: 107 SQ

CONSTRUCTION:
STYLE: CONTEMPORARY SOUTHWEST PUEBLO
HOUSE: 2X4 16" O.C. 2X6 WHERE NEEDED
GARAGE: 2X4 FRAME 16" OC
PORCHES: POST AND BEAM
ROOF: PRE-FABRICATED ROOF TRUSSES-FRAME OVER EXPOSED BEAMS AND DECK 4 PLY BUILT UP ROOF

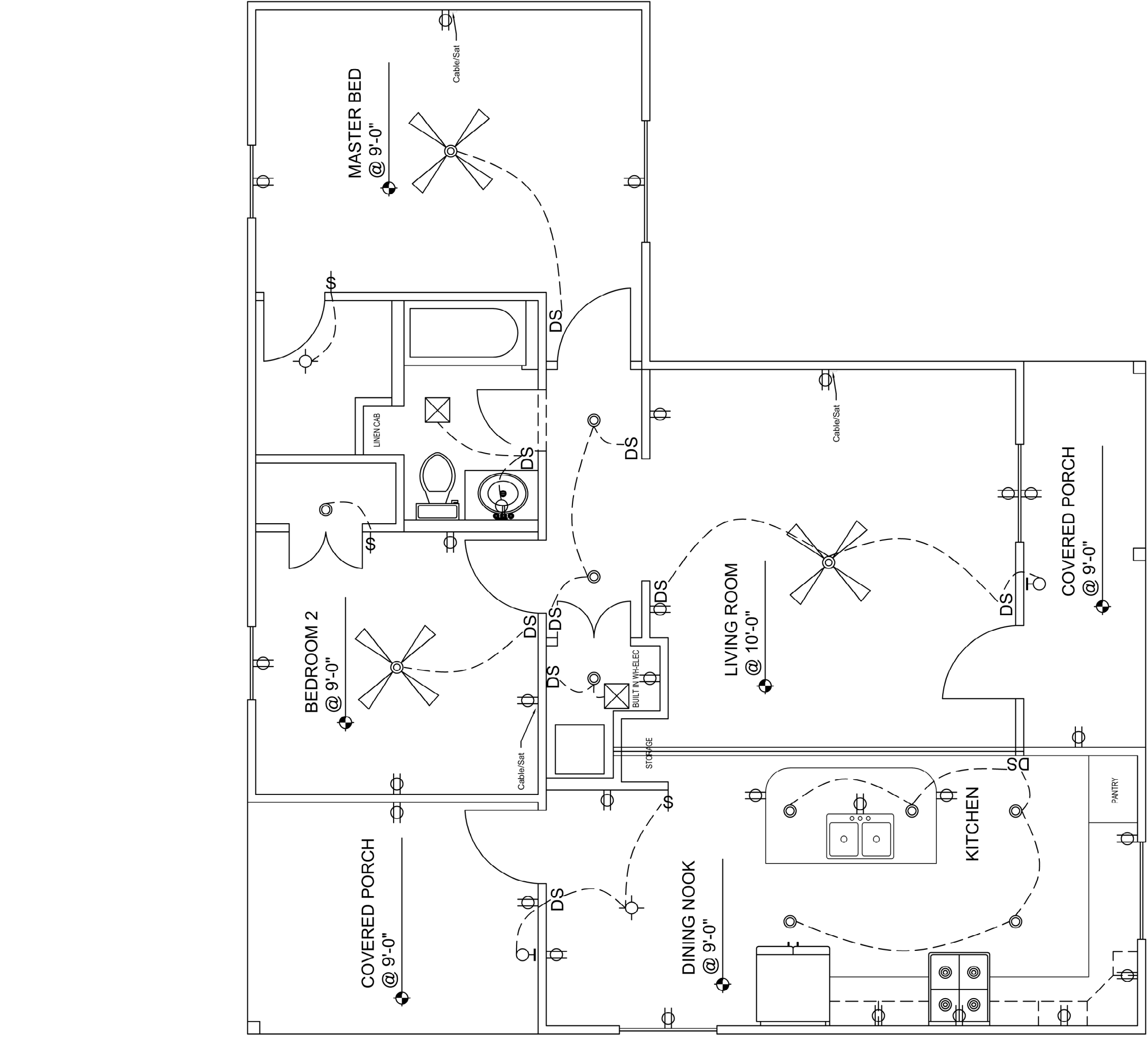
WINDOWS: SIZES AS PER PLAN-VINYL SASH-AS PER WINDOW SCHEDULE
MAX. SHG 24 AND U-VALUE .30
EXTERIOR DOORS: SIZES AS PER PLAN
STUCCO: ULTRA FLEX ELASTOMETRIC

INSULATION:
HOUSE:
CEILINGS: R-38 BLOWN IN BRD
WALLS: R-27 (R-23 BLOWN IN BATTS+ 1" FF INS.)
GARAGE:
CEILINGS-R30 BATTS
WALLS: R-19 BATTS

INTERIOR FINISH:
DRYWALL: HAND TEXTURE-ROUNDED CORNERS
WINDOWS: 3 SIDES WITH SILL
INTERIOR DOORS: AS PER PLAN
CASING: STAIN GRADE 3/4" X 2 1/2" SMOOTH PAINT GRADE PINE
BASE BOARD: STAIN GRADE 3/4" X 2 1/2" SMOOTH PAINT GRADE
WINDOW SILLS: 1/2" SUGAR PINE STAINED OR PAINTED
PAINT: SATIN FINISH ENAMELS COLOR BY OWNER

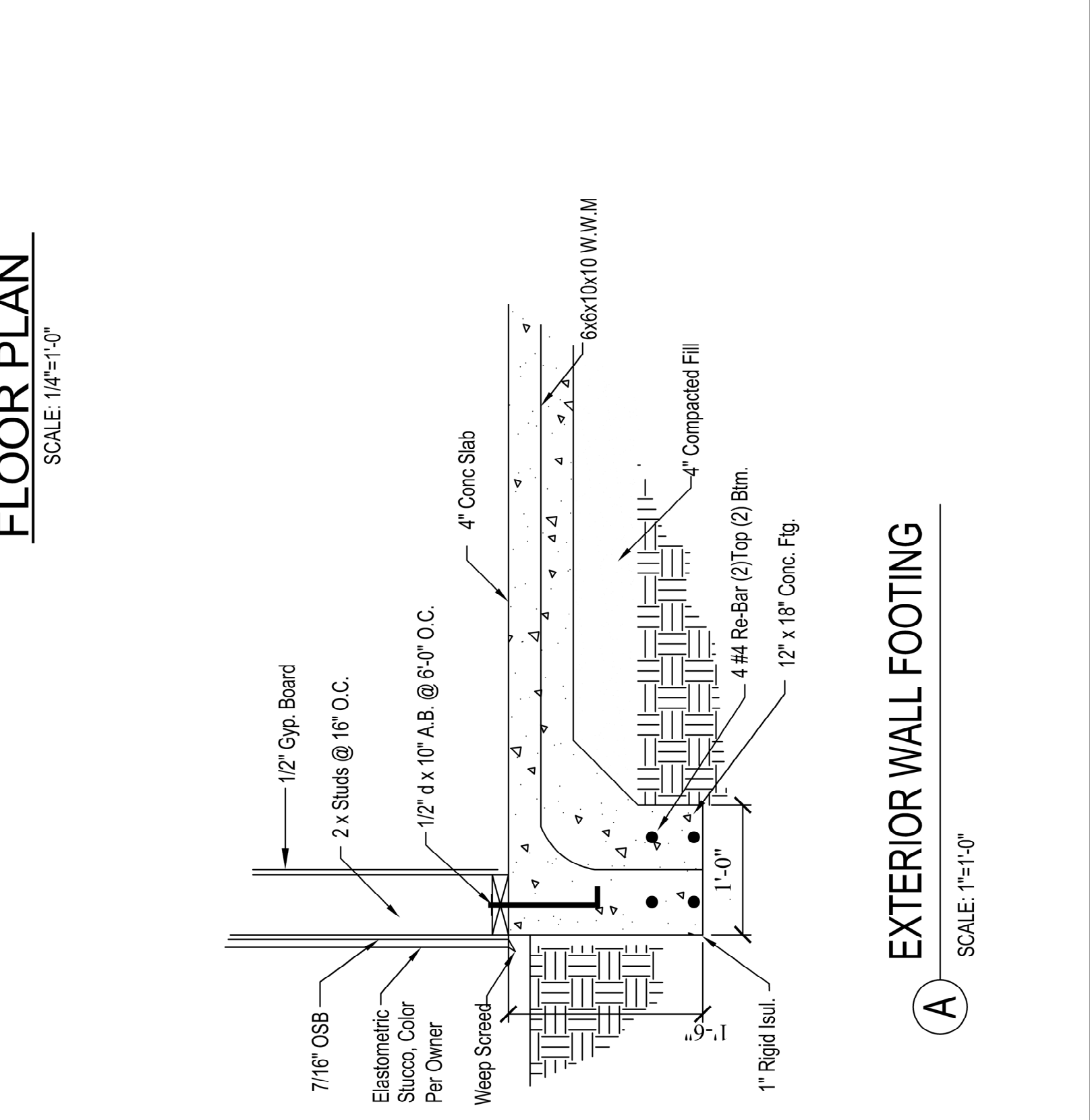
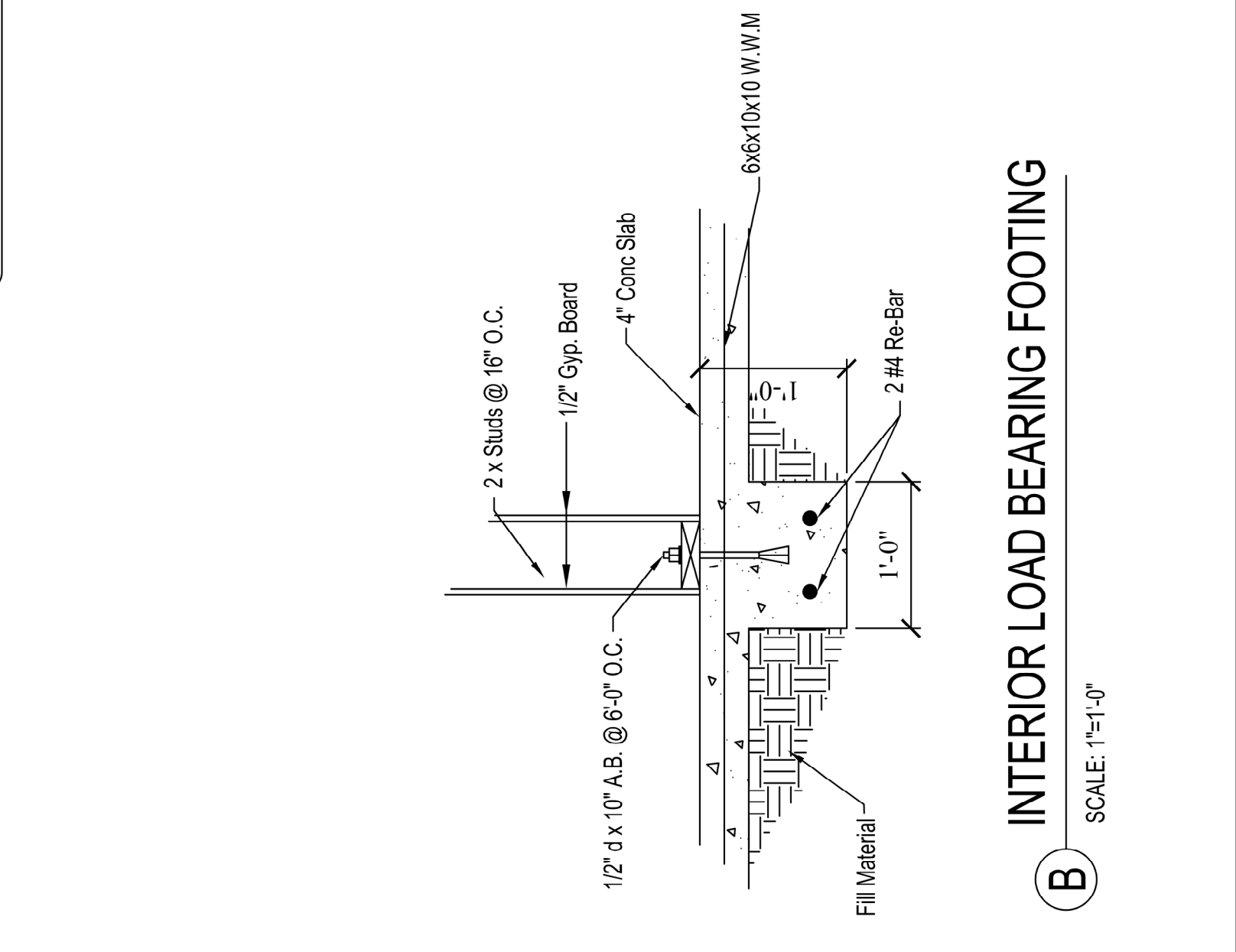
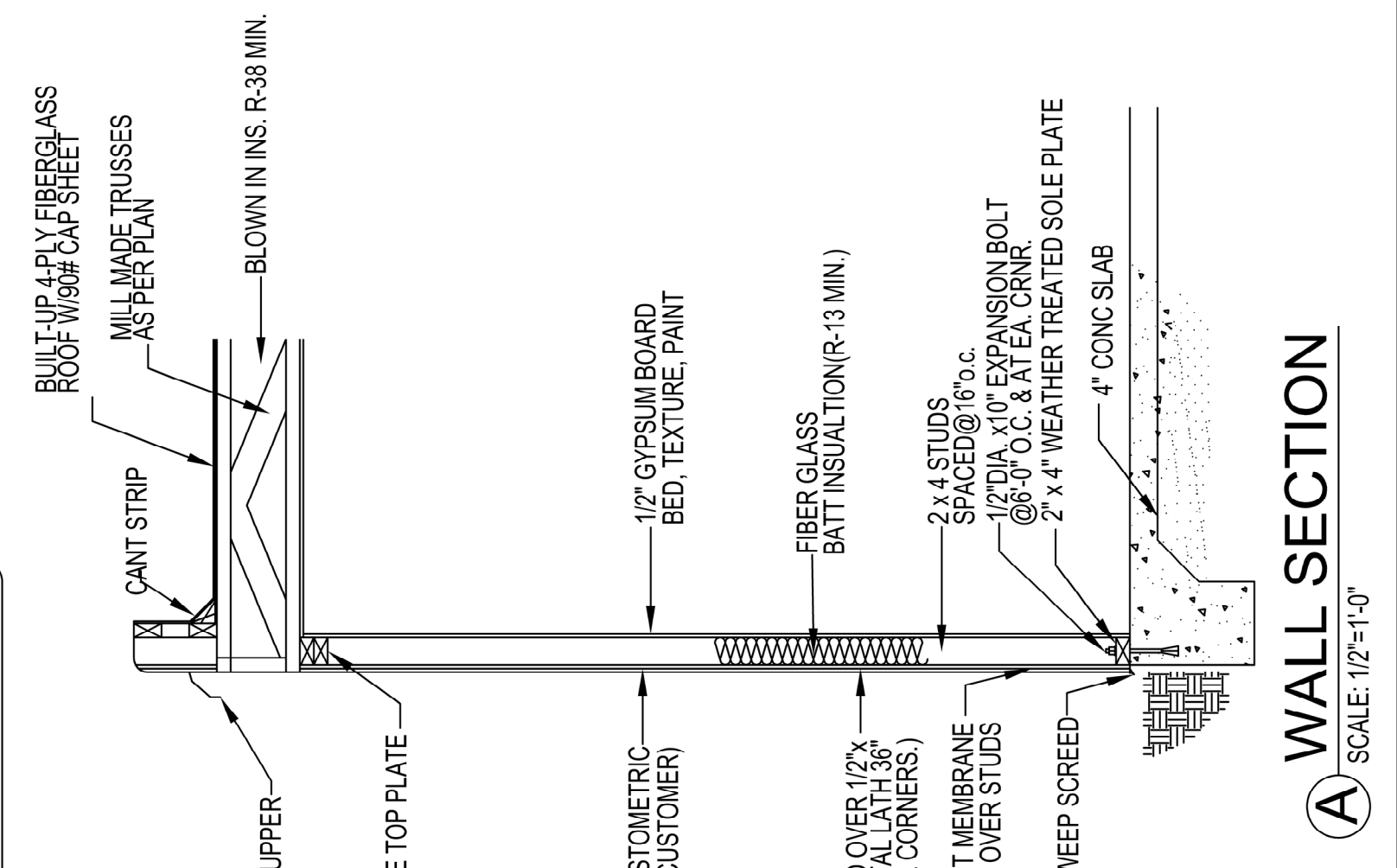
PLUMBING:
KITCHEN: STAINLESS STEEL UNDER MOUNT
1 EA DISHWASHER HOOK UP
1 EA GARBAGE DISPOSAL
REFRIGERATOR ICE MAKER HOOK UP
TRIM DELTA SINGLE LEVER SATIN NICKEL

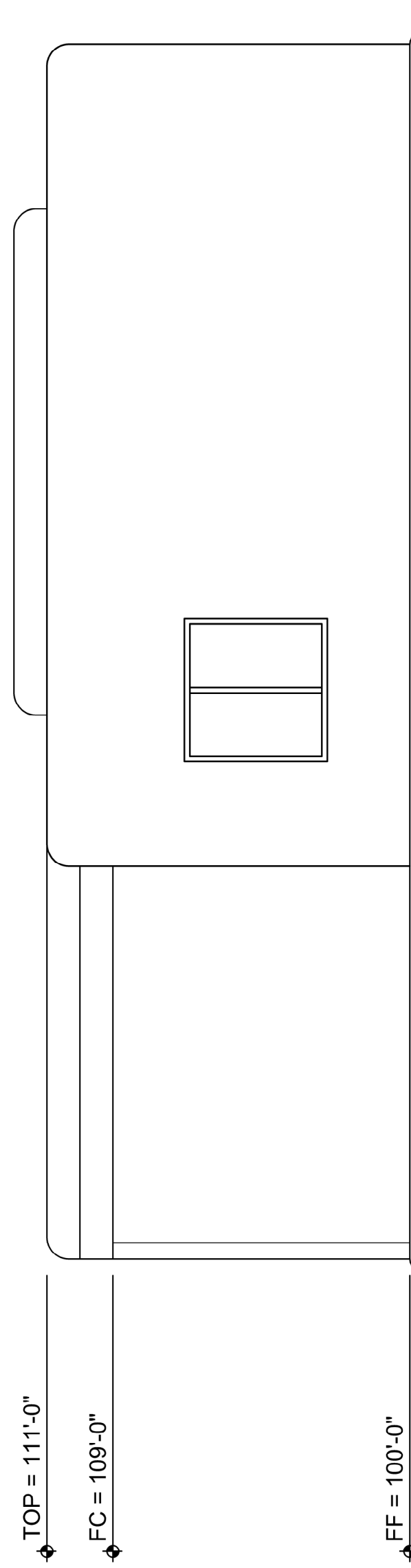
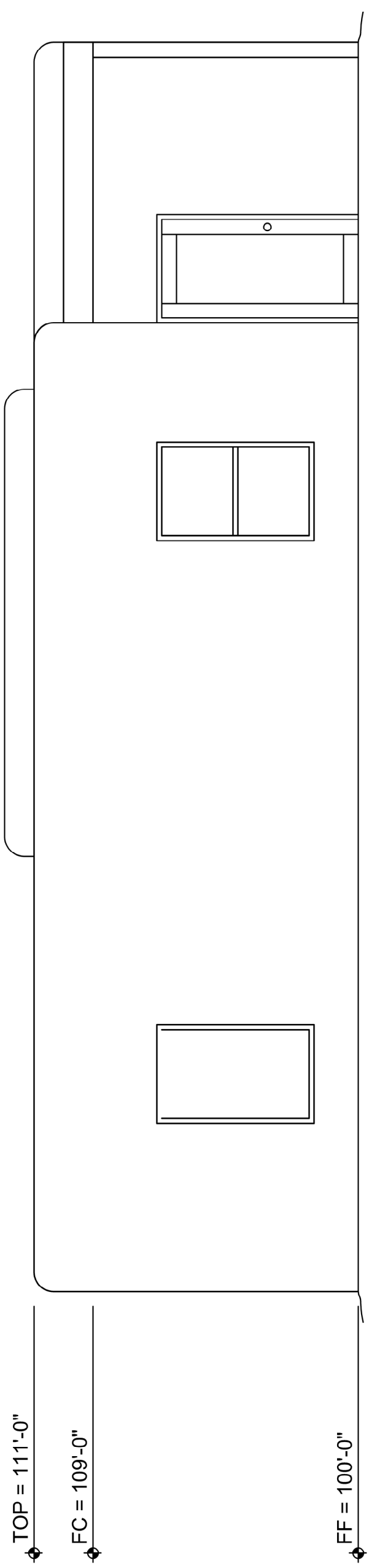
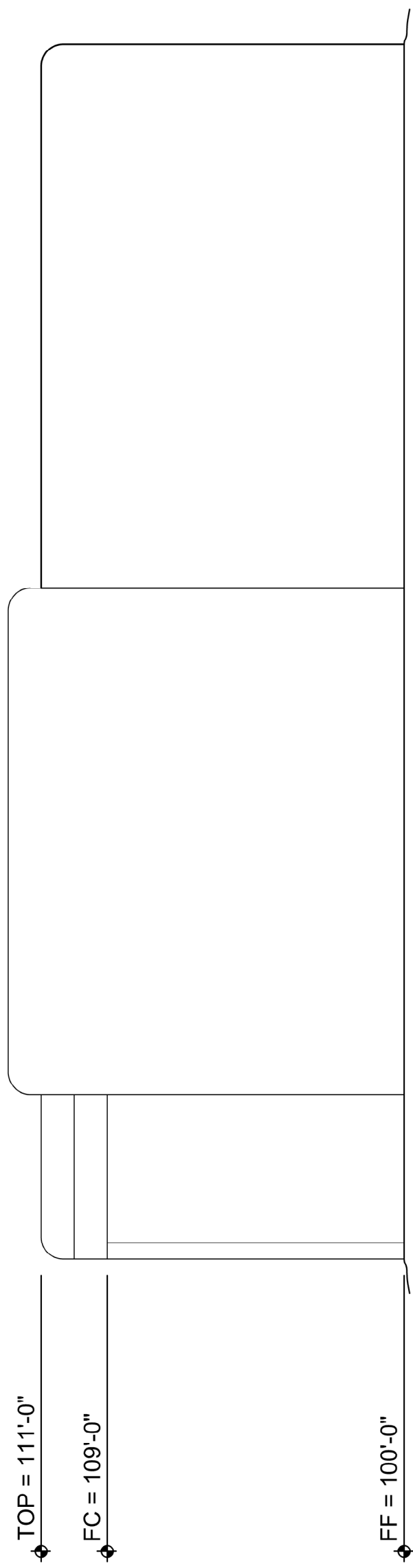
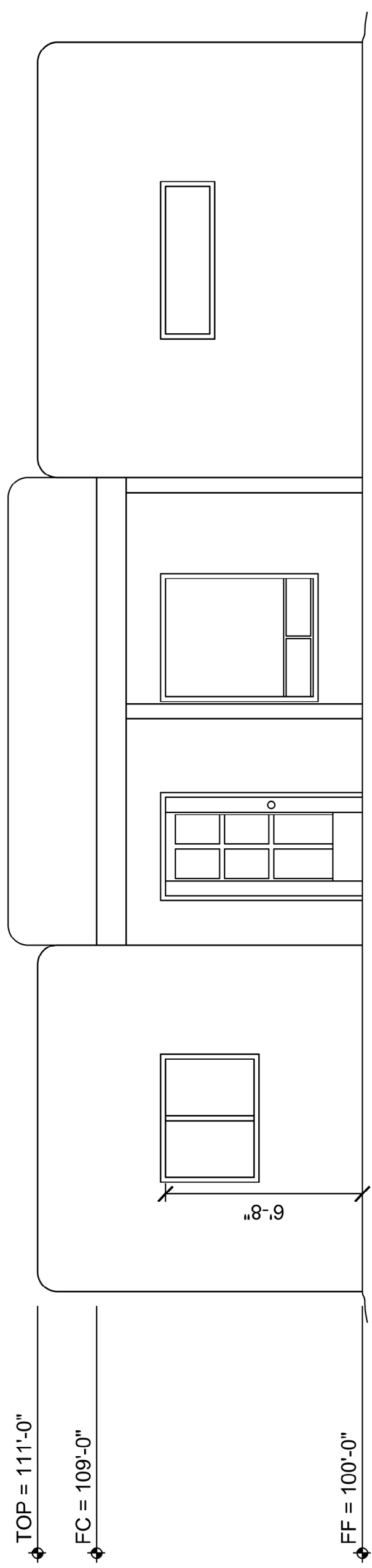
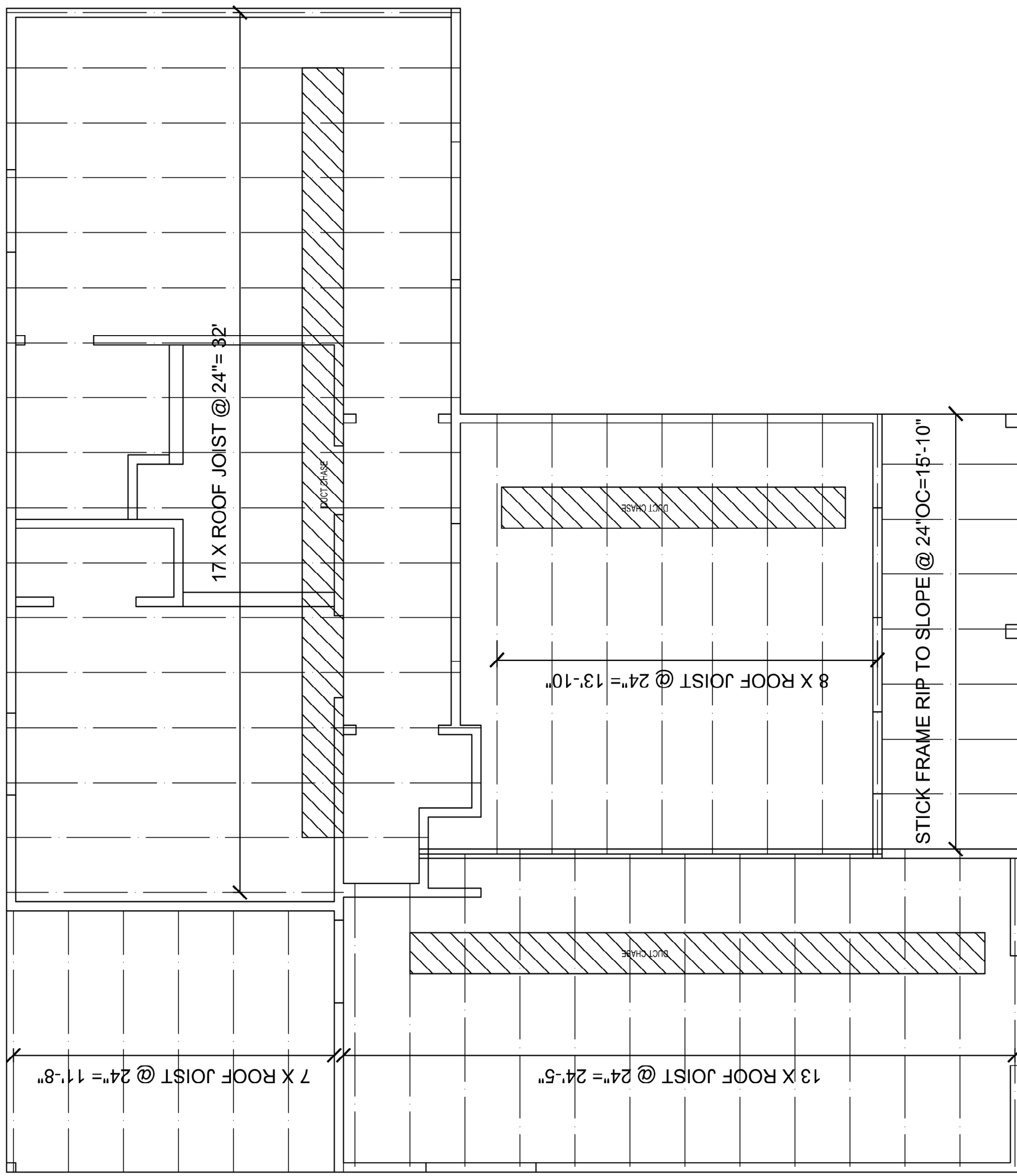
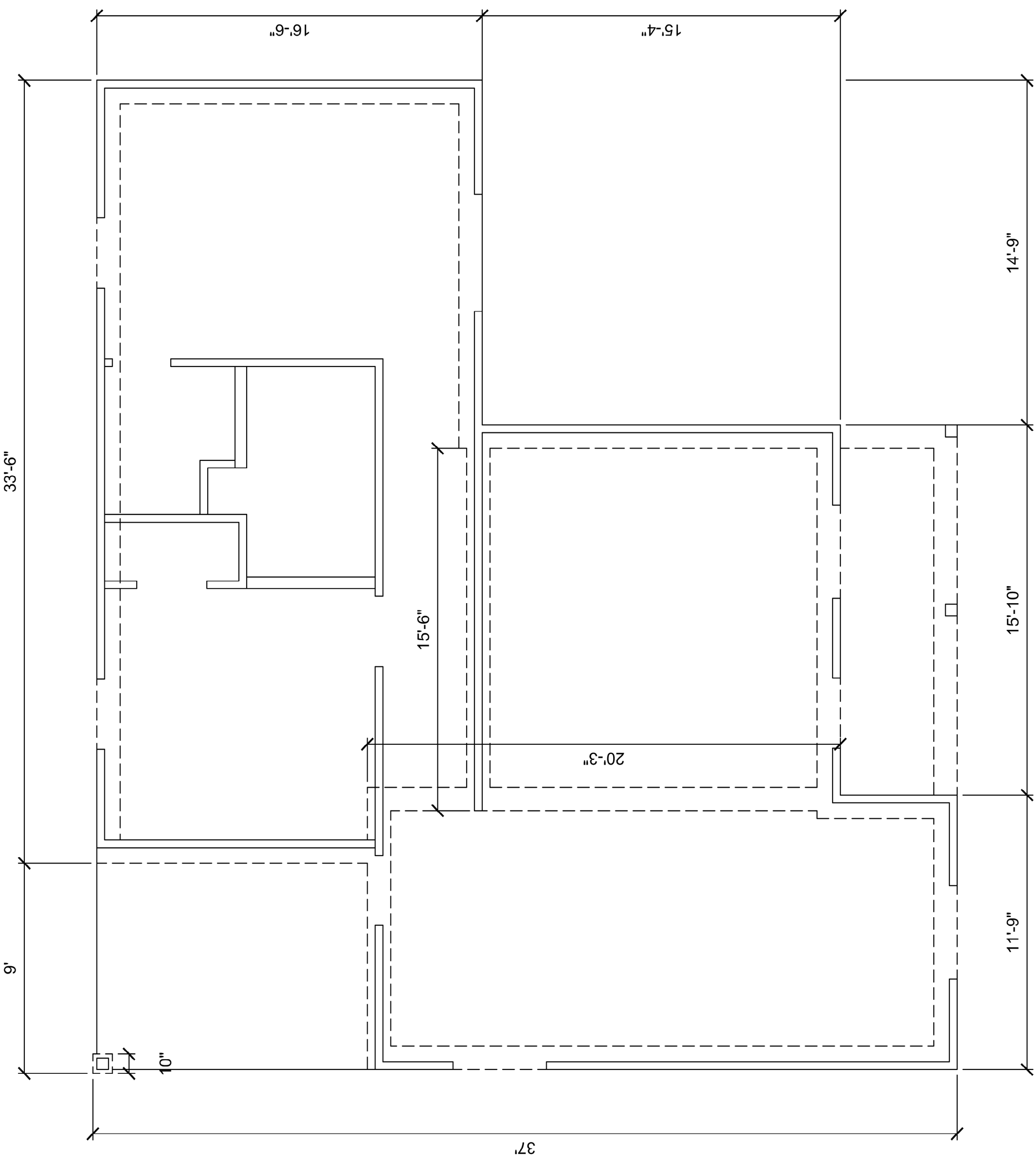
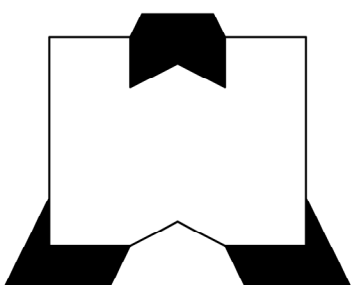
OTHER:
1 EA ELECTRIC TANKLESS WATER HEATER RHEEM 18 KW OR EQUAL GAS STUB OUTS TO : STOVE AND HVAC
4 JOSE BIBS



SYM.	DESCRIPTION
⊙	Recessed Can Fixtures
⊖	Surface Mounted Fixture
⊠	Single Pole Switch
DSD	Double Pole Dimer/Switch
DS	Double Pole Switch
TS	Triple Pole Switch
⊕	Duplex Outlet
⊖	WaterProof Duplex Outlet
⊕	Ground Fuit Duplex

SYM.	DESCRIPTION
⊕	Plumbing Fixtures
⊖	Hose Bib





larrys@mesillanm.gov

From: Anthony Lucero <anthonylucero@comcast.net>
Sent: Tuesday, February 23, 2021 12:35 PM
To: larrys@mesillanm.gov
Subject: Proposed Apartment Locations
Attachments: Proposal.pdf

Larry - It was good to speak with you yesterday about the proposed apartment locations. I have attached a really rough preliminary plan as we discussed. As you will see on the attached PDF. there are 16 pecan trees that we are proposing to remove. The approximate size of the land is .37 acres or 16,100 sqft. The apartments would be single story single family residences. The proposed driveway entrances are noted on page two of the PDF. The plan would be to build something similar to the apartments that were newly constructed near the intersection of Calle de Guadalupe and W. University. Please let me know your thoughts. Thank you

Anthony Lucero
575-571-7999

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:
Case # 061210
Fee \$ 303.00

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061210 ZONE: HR CODE: NR APPLICATION DATE: 02/25/2021

Name of Property Owner Ralph Lucero Property Owner's Telephone Number (575) 644-3254

Property Owner's Mailing Address PO Box 753 Mesilla Park City Mesilla Park State NM Zip Code 88049

Property Owner's E-mail Address anthonylucero@comcast.net

Contractor's Name & Address (If none, indicate Self) ASE Construction LLC

Contractor's Telephone Number (575) 571-7999 Contractor's Tax ID Number 03-529160-00-5 Contractor's License Number 102552

Address of Proposed Work: 536 T235 R1E Calle Segunda Parcel ID R0400610

Description of Proposed Work: Planning, design & construction of two (2) single story single family apartment units.

Estimated Cost \$195,000.00 Signature of Applicant [Signature] Date 02/25/2021

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT APPROVAL REQUIRED
CID PERMITS REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Site Plan with dimensions and details.
 3. Foundation plan with details.
 4. Floor plan showing rooms, their uses and dimensions.
 5. Cross section of walls
 6. Roof and floor framing plan
 8. Proof of legal access to the property.
 9. Drainage plan.
 10. Details of architectural style and color scheme (checklist included for Historical zones) -- diagrams and elevations.
 11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. Proof of legal access to the property.
 13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

PZHAC WORK SESSION
MAY 3, 2021
ITEM 3

Submitted by Robert Reynolds, a request to discuss plans to install a gazebo type shade structure on a residential property at 2391 Calle de Parian. (Case 061213) Zoned: Historic Residential (HR)

The Historical Residential (HR) zoning of the property requires 8,000 square feet of land for each property in the Historic Residential (HR) zoning district having one dwelling unit, according to MTC 18.35.040(B). This property is 14,810 square feet in size and contains only one dwelling unit, therefore it meets the size requirements of the Code for new structures.

According to the applicant, the gazebo will be a store bought kit that will be a square shade structure 11 feet by 11 feet (121 square feet) in size. It will be set up over an existing concrete patio at the front of the property (see attached photo with dimensions). The gazebo will be eight feet from the front property line and will be about eleven high. In addition to meeting the required setbacks, the structure will not interfere with any clear-sight-triangles. Additionally, because the gazebo will be over an existing concrete patio, the proposed gazebo will not result in an increase in the impervious area on the property.

Consistency with the Code:

The PZHAC will need to determine that the proposed gazebo will be is consistent with the following sections of the Code:

18.06.110 Review of applications within Historical and General Commercial zones – Considerations.

- A. All applications for work in the Historical zones and Commercial zone (not subject to administrative approval) shall be reviewed by the planning, zoning and historical appropriateness commission. The commission shall determine whether the request involved will be appropriate for the purposes of this title. If the request shall be determined to be inappropriate, the board shall determine whether, owing to conditions especially affecting the building or structure involved, but not affecting the historical district generally, such application may be approved without substantial detriment to the public welfare and without substantial derogation of the intent and purposes of this title.
- B. In reviewing an application, the planning, zoning and historical appropriateness commission shall consider in addition to this chapter:
 - 1. The historical and literary value and significance of the site, building, or structure;
 - 2. The general design, arrangement, texture, material and color of the features, sign or billboard involved;
 - 3. The relation of such factors to similar factors or sites, buildings and structures in the immediate surroundings;
 - 4. The appropriateness of the size and shape of the building or structure in relation to:
 - a. The land area upon which the building or structure is situated;
 - b. The landscaping and planting features proposed by the applicant; and
 - c. The neighboring sites, buildings or structures within the historical district.
 - 5. The commission shall also consider the applicable zoning and other laws of the town.

18.33.060 Development zone.

A development zone defines the immediate physical vicinity to be used to identify the historic character of a particular area and includes the predominant architectural style and design standards of existing structures together with their setting.

- A. Function of the Development Zone. The function of the development zone is to provide for historically appropriate development within an existing historic district by setting standards for both new construction and alterations to existing structures.

18.35.040 Development standards.

B. Population Density. When lots or parcels in the H-R zone are to be developed to single-family or multiple single-family dwellings, each lot or parcel shall have sufficient area to provide 8,000 square feet of area for each family unit to be built. The maximum number of dwellings allowed on any property shall be two, providing density and parking requirements are met. A maximum of 40 percent impervious and 60 percent pervious shall be required unless otherwise noted by the development zone requirements of Chapter [18.33](#) MTC (Historic Preservation).

The applicant will be present by “Zoom” at the work session and meeting to provide further details about the proposed construction, and to answer any questions that may arise.

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Numbe

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400521](#)

Parcel Number: 4006138172012

Owner: REYNOLDS ROBERT G & ROSEMARIE

Mail Address: PO BOX 1000

Subdivision:

Property Address: 2391 CALLE DE PARIAN

Acres: 0





11 x 11 Gazebo

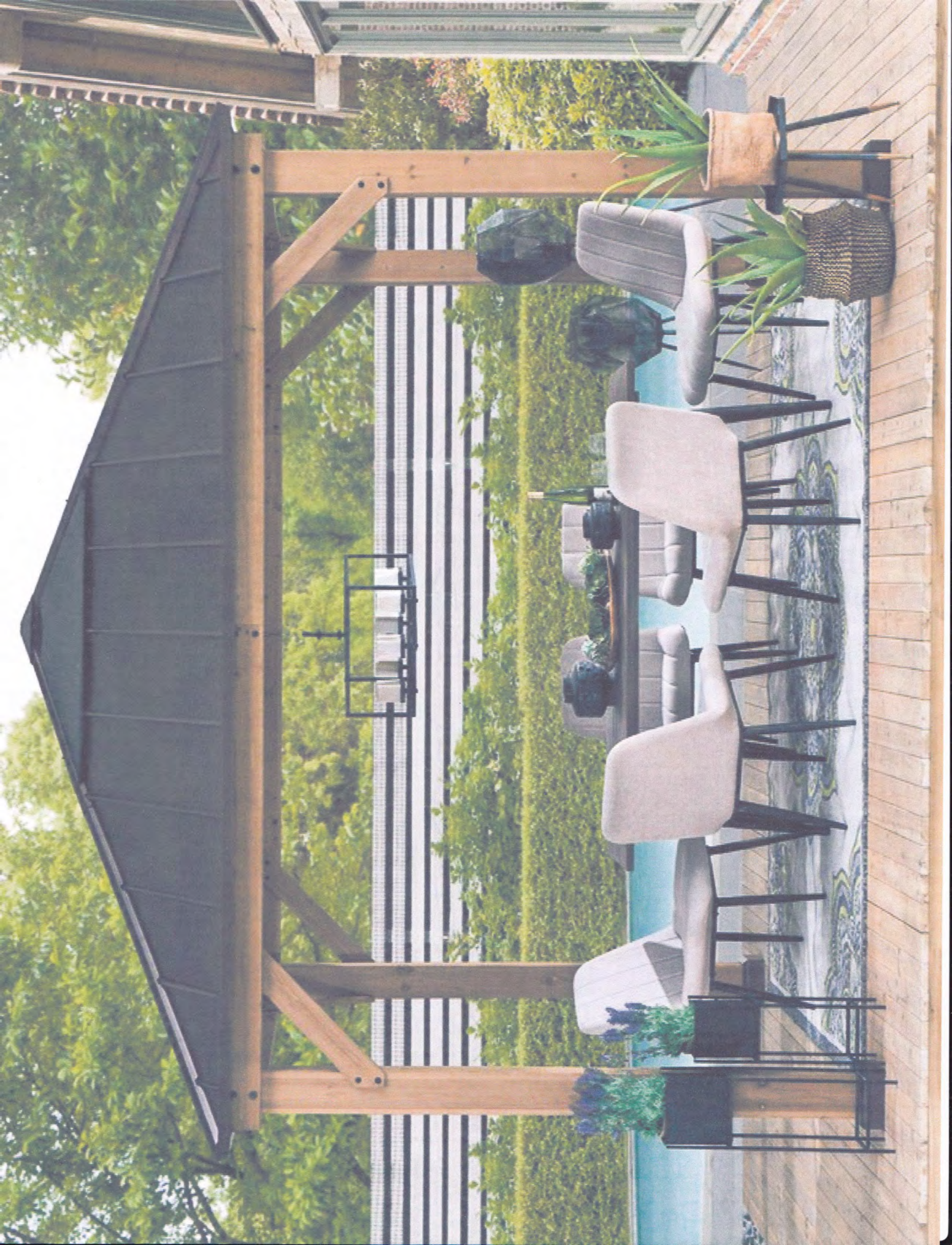
columns

NOT
property line

along property line
on calle de Parí.án

8'

8'



**Town of Mesilla
P.O. BOX 10
MESILLA, NM 88046**



PHONE: (575) 524-3262

FAX (575) 541-6327

**Application for Building Permit
Certificate of Occupancy, Use and Historic Appropriateness**

Application is hereby for the issuance of a Certificate of Occupancy, Use, and when applicable, a Certificate of Historical Appropriateness.

Application Date: 12 Apr 2021

Robert Reynolds
Name of Applicant

5756440829
Telephone Number

2391 Calle de Parian
Address

Mesilla NM 88046
City State Zip Code

Proposed Use or Occupancy: _____ Zone: _____

Contractor Name

Address

Telephone Number

Contractor Tax I.D. #

Contractor License #

This application includes:

1. Plot plan with legal description to show existing structures, adjoining, streets, driveway(s), improvements & setbacks.
2. Foundation Plan with details
3. Floor Plans showing rooms, their uses and dimensions
4. Cross Sections of walls
5. Roof and floor framing plan (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
6. Drainage plan
7. Architectural style and color scheme (Historical zones only)
8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from Public Utility providing water service.
9. Recorded proof of ownership with legal description of property (deed or current tax bill)

All applications for electrical, mechanical/plumbing installations are made at the construction industries division

**PZHAC
APRIL 19, 2021
REGULAR MEETING
MINUTES**

[PART OF CONSENT AGENDA]



Town of Mesilla, New Mexico

PZHAC MEETING MINUTES APRIL 19, 2021

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A **REGULAR MEETING** VIA TELECONFERENCE ON MONDAY, APRIL 19, 2021 AT 2:30 PM. **TO JOIN THE MEETING BY PHONE DIAL 1-346- 248-7799, THEN ENTER Meeting ID 603-754-4231 PASSWORD 193857.**

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

Commission Chair Lucero and Commissioners Nevarez and Salas were present. There was a quorum.

Other attendees:

Larry Shannon (Mesilla Staff), Tom Maese (Chief Inspector-CID), Jake Quinones (Contractor for Cases 061202, 061203 and 061204), Susan Krueger (Applicant – Case 061206)

III. CHANGES/APPROVAL OF THE AGENDA

There were no changes to the Agenda. Commissioner Salas made a motion to approve the Agenda, seconded by Commissioner Nevarez, and approved by the PZHAC by a vote of 3 – 0.

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

Commission Chair Lucero requested that the cases that were administratively approved be pulled from the agenda for discussion and clarification. Commissioner Salas made a motion to approve the Agenda as amended, seconded by Commissioner Nevarez, and approved as amended by the PZHAC by a vote of 3 – 0.

A. *PZHAC MINUTES – PZHAC Meeting of MARCH 15, 2021.

Approved as part of the Consent Agenda.

B. *ADMINISTRATIVE APPROVALS

Zoning Permit:

1. **Case 061201** - 2650 Calle del Oeste, submitted by Henry Gil; a request for a zoning permit to allow the applicant to reroof a carport and repair trim that was damaged by wind on a dwelling at this address. Zoned: Historic Residential (HR)

Staff gave a brief presentation of the case, explaining that the requested work was a repair that would not have any change on the appearance of the dwelling. Tom Maese (CID) was under the assumption that all work requiring a Zoning Permit had to be reviewed and approved by the PZHAC. Staff explained that MTC 15.15.030(B) allowed repairs such as this to be approved administratively. Commissioner Salas made a motion to accept the case as having been approved administratively, seconded by Commissioner Nevarez, and accepted by the PZHAC by a vote of 3 – 0.

2. **Case 061202**– 2149 Calle de Guadalupe, submitted by Andrea Schneider; a request for a zoning permit to replace four doors and repaint all exterior woodwork and trim to match the original color on a dwelling at this address. Zoned: Historic Residential (HR)

Staff gave a brief presentation of the case. Commissioner Nevarez questioned the fact that the four doors were to be replaced. Staff explained that this was a clerical error and that the doors were not approved as

part of the permit. Commissioner Salas made a motion to accept the case as having been approved administratively, seconded by Commissioner Nevarez, and accepted by the PZHAC by a vote of 3 – 0.

3. **Case 061206** – Snow Road (address to be assigned), submitted by Susan Krueger; a request for a zoning permit to allow the applicant to place T-posts along the property line abutting Snow Road. Zoned: Rural Farm (RF) *Staff gave a brief presentation of the case, explaining that the permit was to allow the posts to be placed along the east edge of the property (along the actual Snow Road, not the easement to the north of the property). The posts were not to be placed between the applicant’s driveway and the Snow Road easement. Commissioner Salas made a motion to accept the case as having been approved administratively, seconded by Commissioner Nevarez, and accepted by the PZHAC by a vote of 3 – 0.*

II. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

Public input shall be received at larrys@mesillanm.gov at least one hour prior to the meeting and will be read into the record. You will also be given an opportunity to speak during this time by joining the meeting by phone and pressing *9 while in the teleconference. This will let the host know that you wish to speak. You will be prompted by the host or the Commission Chair when to begin speaking.

(There was no Public Input.)

B. DECISIONS:

Zoning Permits

1. **Case 061203** – 2149 Calle de Guadalupe, submitted by Andrea Schneider; a request for a zoning permit to repair and repaint the stucco on a dwelling at this address. Zoned: Historic Residential (HR) *Staff provided a brief description of this request, explaining that the new color chosen for the dwelling by the applicant is a color that is acceptable by the PZHAC for structures in the Historic Residential Zone, and that the four doors to be replaced would be rebuilt to match the existing doors as closely as possible. Commissioner Nevarez stated that there were no pictures of the proposed replacements and that he would not feel comfortable approving the doors without knowing what they would look like. Commissioner Salas agreed with this opinion. There were no other issues. Commissioner Nevarez made a motion to approve the request EXCEPT FOR THE DOORS, seconded by Commissioner Salas, and APPROVED without the doors by the PZHAC by a vote of 3 – 0.*
2. **Case 061204** – 2149 Calle de Guadalupe, submitted by Andrea Schneider; a request for a zoning permit to install a fence around the rear and sides of a residential property at this address. Zoned: Historic Residential (HR) *Staff provided a brief description of this request, explaining that the type of metal fence proposed was only prohibited in the front setbacks and that it was allowed elsewhere on the property. Commissioner Nevarez stated that he was concerned that there were no pictures of the proposed gates, and that the proposed metal gates could be seen from the street. According to Commissioner Nevarez, metal gates were not normally allowed to be seen from the fronts of properties in the Historic Residential zone. Commissioner Salas stated that he agreed with this opinion. There were no other issues. Commissioner Salasz made a motion to approve the request EXCEPT FOR THE GATES, seconded by Commissioner Nevarez, and APPROVED without the gates by the PZHAC by a vote of 3 – 0.*
3. **Case 061205** – 2593 Calle de Cura, submitted by Gary Ramsey; a request for a zoning permit to re-stucco and repaint a secondary dwelling at this address. Zoned: Historic Residential (HR) *Staff provided a brief description of this request, explaining that the purpose of the request was to enable the applicant to change the appearance of the secondary dwelling to match the primary dwelling on the property. There were no issues. Commissioner Salas made a motion to approve the request, seconded by Commissioner Nevarez, and APPROVED by the PZHAC by a vote of 3 – 0.*

VI. PZHAC/STAFF COMMENTS

Commissioner Nevarez

Stated that pictures or diagrams were needed for all items that were to be changed or replaced.

Commissioner Salas

Stated that he thought that there were cedar or wood gates in the Historic Residential zoning district.

VII. ADJOURNMENT

The meeting was adjourned at 3.35 pm.

DRAFT

**PZHAC
APRIL 23, 2021
SPECIAL MEETING
MINUTES**

[PART OF CONSENT AGENDA]



Town of Mesilla, New Mexico

PZHAC **SPECIAL MEETING** MINUTES **APRIL 23, 2021**

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A **SPECIAL MEETING** VIA TELECONFERENCE ON **FRIDAY, APRIL 23, 2021 AT 9:30 AM**. **TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER MEETING ID 603-754-4231 AND PASSWORD 193857.**

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

*Commission Chair Lucero and Commissioners Nevarez, Salas and Houston were present. There was a quorum.
Other attendees:*

Larry Shannon (Mesilla Staff), Tom Maese (Chief Inspector-CID), Jake Quinones (Contractor for Cases 061203 and 061204)

III. CHANGES/APPROVAL OF THE AGENDA

There were no changes to the Agenda. Commissioner Salas made a motion to approve the Agenda, seconded by Commissioner Nevarez, and approved by the PZHAC by a vote of 4 – 0.

IV. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

Public input shall be received at larrys@mesillanm.gov at least one hour prior to the meeting and will be read into the record. You will also be given an opportunity to speak during this time by joining the meeting by phone and pressing *9 while in the teleconference. This will let the host know that you wish to speak. You will be prompted by the host or the Commission Chair when to begin speaking.

(There was no Public Input.)

B. DECISIONS:

Zoning Permits

1. **Case 061203** – 2149 Calle de Guadalupe, submitted by Andrea Schneider; in addition to other work already approved by the PZHAC, a request for a zoning permit to replace four doors on a dwelling at this address. Zoned: Historic Residential (HR)
Staff provided a brief description of this request, explaining that applicant had provided pictures of the doors for this meeting. There were no issues or discussion. Commissioner Nevarez made a motion to approve the request, seconded by Commissioner Houston, and APPROVED by the PZHAC by a vote of 4 – 0.
2. **Case 061204** – 2149 Calle de Guadalupe, submitted by Andrea Schneider; in addition to other work already approved by the PZHAC, a request for a zoning permit to install three gates in a fence around the rear and sides of a residential property at this address. Zoned: Historic Residential (HR)
Staff provided a brief description of this request, explaining that the applicant provided pictures of the proposed gates showing that they were now predominantly wood on metal frames, and that the fence would allow a clear-sight-triangle for the neighboring driveway to the north. Additionally, the fences will not interfere with any ROW when they are open. There were no issues or discussion. Commissioner Salas made a motion to approve the request, seconded by Commissioner Nevarez, and APPROVED by the PZHAC by a vote of 4 – 0.

V. PZHAC/STAFF COMMENTS

Commissioner Nevarez

Stated that a wall that interfered with the clear-sight-triangle on the southeast corner of Calle de Guadalupe and Calle del Sur had been damaged in an accident and that Staff should try to get the property owner to provide for a clear-sight-triangle when they repair the wall.

There were no other comments.

VI. ADJOURNMENT

The meeting was adjourned at 9:50 am.

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 4/20/2021 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

**PZHAC NEW BUSINESS
MAY 3, 2021**

**ADMINISTRATIVE APPROVALS
[PART OF CONSENT AGENDA]**

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST
[PZHAC CONSENT AGENDA – 5/3/2021]**

Item:

Case 061203 - 2210 Calle de Parian, submitted by Teresa Sanchez for Tibercio Frietz, LLC; a request for a zoning permit to repair canales and reroof a commercial building at this address. Zoned: Historic Commercial (HC)

Description of Work Done:

The applicant would like to restore canales back to their original condition and repair a roof on a commercial structure at this address. This is a flat roof and cannot be seen from the ground. There will be no other work done on the structure. There will be no changes to the visual appearance of the property.

Consistency with the Code:

Since the proposed repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes the structure., the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]**

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Numbe

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401188](#)

Parcel Number: 4006137224464

Owner: TIBURCIO R FRIETZE LLC

Mail Address: PO BOX 358

Subdivision: FRIETZE TRACTS (BK 19 PG 123 - 9815662)

Property Address: CALLE DE PARIAN

Acres: 0



A&A ROOFING INC.
P.O. BOX 998
MESILLA, N.M. 88046
ALFREDO ONTIVEROS (575) 312-5753
JAIME ALONSO (575) 496 9119
(575) 373-1582 FAX
LIC. #365808

PROPOSAL

Date:	March 8, 2021		
Customer:	E&T Management LLC	Mgr #	575-649-6916
Street:	2380 Calle Principal	Owner #	
City/State/Zip	Mesilla NM		Thunderbird

PROPOSAL: Flat Roof restoration (5800sf)

A&A Roofing Inc. hereby submits this proposal for the above referenced project. A&A Roofing Inc will provide the following services:

- Install TURBO SET fluid applied roof system to restore existing roof
- Prepare roof area as per manufacture specifications
- Pressure wash entire surface and allow to dry.
- Prime, prep and TURBO SET.
- Repair parapet wall with 101 primer and adhesive imbedded fiber glass mesh
- Removal and replacement of existing canales to match existing style.
19 canales at \$65.00 each labor and materials
- Scope of work attached (attached)

10-year warranty on labor and materials
A&A Roofing Inc.

We Propose hereby to furnish material and labor-complete in accordance with above specifications, for the sum of \$19,215.00 plus tax \$1,597.25 **Total** \$20,812.25 Payment to be made as follows: Pay full amount when job is done.

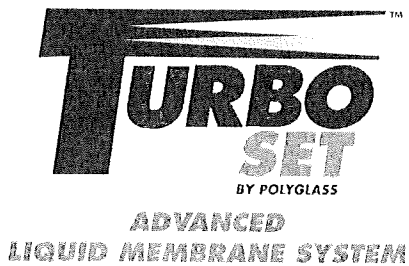
Thank you for the opportunity to bid.
A & A ROOFING INC.

Authorized
Signature Jaime Alonso *JA*

Acceptance of Proposal — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature
Jaime Alonso *JA*

Date of acceptance
3-9-2021 *JA*



Scope of Work

1. Inspect entire roof area for splits, voids, loose flashing and any deterioration. Inspect all drain assemblies for damaged or missing components. Replace as needed.
2. Apply KM coatings cleaning Concentrate and power wash roof surface to insure proper adherence. (Note: Cleaning Concentrate dilutes (15:1). Allow 24 hours dry time.
3. Eliminate all major ponding on roof with KM Roof Grade, if applicable. Apply KM Roof Grade as per manufactures specifications.
4. Coat entire roof with KM Min-prime at a rate of ½ gal / 100 sqft. If spray applied back roll immediately.
5. Repair areas should be sealed with Polyglass Turbo-Set. If a fabric reinforced repair is required to any and all minor Ponding areas, splits, penetrations, skylights, scuppers, joints, valleys etc. the repairs should be 3 coursed, by applying KM Acryl 40 both under and over the fabric at 1 ½ gal / 100 sqft.
6. All Seams in BUR to be sealed with Polyglass Turbo-Set by spray seams area first if applicable.
7. Use KM 1213 for any repairs or touch-ups required
8. Apply one pass of Polyglass Turbo-Set with the Polyglass Turbo-Set Spray system at a rate of 3 gal / 100 sqft in.

DISCLAIMER: The Guidelines presented on this Scope of Work is for general guideline purposes only. It is not a Guide Specification, as each project may require an adjustment to the Scope in order to fit the facts and uniqueness of the project. Please call KM Coatings with any questions.

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061203

Fee \$ 42.00

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061203 ZONE: HC CODE: RRC APPLICATION DATE: 4/27/21

Tiburcio Fietze, LLC 915-313-1973

Name of Property Owner Property Owner's Telephone Number

PO Box 358 Mesilla Park NM 88047

Property Owner's Mailing Address City State Zip Code

landmanagementpro@gmail.com

Property Owner's E-mail Address

AAA Roofing, Inc., PO Box 998, Mesilla, NM 88046

Contractor's Name & Address (If none, indicate Self)

575-496-9119 20-899423 365808

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2380 Calle Principal / 2310 Calle Parian

Description of Proposed Work: Repair/roll on new roof coating and repair/replace existing canals to match existing style.

\$20,812.25

Estimated Cost Signature of Applicant Date

Signature of property owner: Jerena J. Sanchez

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO APPEARANCE OF STRUCTURE

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: 4/27/21

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST
[PZHAC CONSENT AGENDA – 5/3/2021]**

Item:

Case 061204 - 2220 Calle de Parian, submitted by Teresa Sanchez for T.R. Friez, LLC; a request to replace an existing air conditioner and furnace with a new air conditioner and furnace in a commercial building at this address. Zoned: Historic Commercial (HC)

Description of Work Done:

The applicant would like to replace the existing heater and air conditioner with a new more efficient combination air conditioner and furnace. There will be no other work done on the building. There will be no changes to the visual appearance of the property.

Consistency with the Code:

Since the proposed repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes the structure., the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Numbe

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401186](#)

Parcel Number: 4006137212471

Owner: T R FRIETZE LLC

Mail Address: PO BOX 358

Subdivision: FRIETZE TRACTS (BK 19 PG 123 - 9815662)

Property Address: CALLE DE PARIAN

Acres: 0



The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

A. Completed application, including:

1. Applicant's name
2. Applicant/property owners contact information
3. Physical address of property
4. Description of work to be done, including dimensions of any construction or repairs
5. Value of work to be done
6. Property owner's signature on the application

B. Include all information required in the checklist at the bottom of the application.

C. Additional information required:

See attached C.I.D. PERMIT

Permit # 31851169-001

STATE OF NEW MEXICO

Construction Industries Division
Mechanical Bureau
2550 Cerrillos Rd
Santa Fe, NM 87505

MECHANICAL PERMIT

Permit Date: 04/19/2021
Permit Type: MECC
Permit No: MECC_2021012938
Permit Name: E&T Management
Project Name: 2220 Calle de Parian- hvac
Inspector:

INSPECTION REQUESTS:

Albuquerque Area: (505) 222-9813
Rest of New Mexico: (877) 243-0979

OWNER E&T MANAGEMENT 2220 CALLE DE PARIAN MESILLA, NEW MEXICO 88046 PHONE: (575) 659-6919	SITE ADDRESS 2220 CALLE DE PARIAN MESILLA, NM 88005
--	--

DIRECTIONS Las Cruces New Mexico Take Lynx Trail and Encantada to N Solano Dr 2 min (0.4 mi) Continue on N Solano Dr. Take E Amador Ave, S Main St and Avenida de Mesilla to Calle Del Arroyo in Mesilla 10 min (4.1 mi) Follow Calle Del Arroyo to Calle De Parian 2 min (0.2 mi) 2220 Calle De Parian Mesilla, NM 88046
--

CONTRACTOR SUN CITY PLUMBING & HEATING INC. 560 N 17TH ST LAS CRUCES, NM 88005 Phone: (575) 526-9758	License Number: 26504 Expiration: 1/31/2022 Class: MM-98
---	--

SERVICES Administrative Fee A/C Package Rooftop Combination System	AMOUNT OF PERMIT FEE: \$59 Final Inspection Fee Central Furnace
---	--

SCOPE OF WORK:

COMMENTS/DETAILS

INSPECTOR: **PHONE:**

The above permit has been approved by the Mechanical Division of Construction Industries, State of New Mexico to issue for the purpose shown. This Permit must be posted in a conspicuous place at the site where construction is located.

NOTICE: If no inspections are performed within 180 days the permit will expire and will be required to be renewed at full price.

To schedule an inspection please contact our call center at 505-222-9813 or 1-877-243-0979. You may also request an inspection by email to CID.Inspection@state.nm.us. If by email you must include permit number, site address, contact name and phone number. The email submission is an easy, efficient method for requesting inspections. Upon receipt of emailed inspection request, a confirmation email will be sent to the requestor.

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061024

Fee \$ 21.00

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061204 ZONE: Hc CODE: MISC APPLICATION DATE: 4/23/21

TR Frieberg, LLC 575-649-6916
 Name of Property Owner Property Owner's Telephone Number
PO BOX 358 Mesilla Park NM 88047
 Property Owner's Mailing Address City State Zip Code
eandtmanagementllc@gmail.com or dnkinvest@comcast.net
 Property Owner's E-mail Address
Sun City Plumbing + Heating
 Contractor's Name & Address (If none, Indicate Self)
575-824-7030 85-0347581 26504
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2220 Calle de Parian
 Description of Proposed Work: Replace existing heater and air conditioning unit with new Rheem BA14 a/c unit with RS01T furnace - 1 stage heat/cool.

\$ 6,376 Estimated Cost
 Signature of Applicant [Signature] Date 4-26-21

Signature of property owner [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO EXTERIOR OF STRUCTURE
CID PERMIT REQUIRED

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: 4/27/21

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST
[PZHAC CONSENT AGENDA – 5/3/2021]**

Item:

Case 061207 – 2391 Calle de Parian, submitted by Robert Reynolds; a request for a zoning permit to allow the reroof of a dwelling at this address. Zoned: Historic Residential (HR)

Description of Work Done:

The applicant would like to repair a roof on a dwelling at this address to repair wind damage. The repairs will consist of applying a layer of shingles over the existing roof on a slightly pitched roof. There will be no changes to the visual appearance of the property.

Consistency with the Code:

Since the proposed repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes the structure., the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit** – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Numbe

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400521](#)

Parcel Number: 4006138172012

Owner: REYNOLDS ROBERT G & ROSEMARIE

Mail Address: PO BOX 1000

Subdivision:

Property Address: 2391 CALLE DE PARIAN

Acres: 0



Town of Mesilla
P.O. BOX 10
MESILLA, NM 88046



PHONE: (575) 524-3262

FAX (575) 541-6327

Application for Building Permit

Certificate of Occupancy, Use and Historic Appropriateness

Application is hereby for the issuance of a Certificate of Occupancy,
Use, and when applicable, a Certificate of Historical Appropriateness.

Application Date: 9 Apr 2021

Robert Reynolds

5756440829

Name of Applicant

Telephone Number

2391 Calle de Parian

Mesilla

NM

88046

Address

City

State

Zip Code

Proposed Use or Occupancy: RESIDENTIAL Zone: HR

SELF
Contractor Name

Address

Telephone Number

Contractor Tax I.D. #

Contractor License #

This application includes:

1. Plot plan with legal description to show existing structures, adjoining, streets, driveway(s), improvements & setbacks.
2. Foundation Plan with details
3. Floor Plans showing rooms, their uses and dimensions
4. Cross Sections of walls
5. Roof and floor framing plan (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
6. Drainage plan
7. Architectural style and color scheme (Historical zones only)
8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from Public Utility providing water service.
9. Recorded proof of ownership with legal description of property (deed or current tax bill)

All applications for electrical, mechanical/plumbing installations are made at the construction industries division

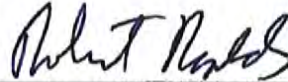
Location & Description of Proposed Work:

Roof repair. Replace the shingles.

Estimated Cost: 5000

Material: _____

Labor: _____



Signature of Applicant

Required Setbacks: Front - Rear - Side -

PZHAC Administrative Approval BOT Approved
 Approved Disapproved
 Approved with Conditions Date Approved w/ Cond.

FEE: \$100.00 **RECEIPT #:** _____ **ISSUE DATE:** 4/10/21

THERE IS A TEN (10) DAY MINIMUM REVIEW PERIOD ON ALL APPLICATIONS (with the exception of administrative approvals)

CASE NO. 061207 **Date Received:** 4/9/21

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST
[PZHAC CONSENT AGENDA – 5/3/2021]**

Item:

Case 061211 – 2640 Calle del Oeste, submitted by Gilbert Madrid; a request for a zoning permit to repair minor damage and cracks and paint the repairs to match the rest of the wall. Zoned: Historic Residential (HR)

Description of Work Done:

The applicant would like to repair some damage to a stucco wall on the north portion of the property. (The wall is not on a property line and is not in a setback.) a roof on a dwelling at this address. The repairs will consist of filling minor chips and cracks in the wall and repainting the repaired portions to match the remainder of the wall. There will be no changes to the visual appearance of the property.

Consistency with the Code:

Since the proposed repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes the structure., the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit** – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Numbe

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401195](#)

Parcel Number: 4006138100126

Owner: MADRID GILBERT F & MAGGIE O

Mail Address: PO BOX 732

Subdivision: GM MADRID SUBDIVISION (BK 23 PG 199-200 - 1116762)

Property Address: 2640 CALLE DE OESTE

Acres: 0





OFFICIAL USE ONLY:

Case # D61211

Fee \$ 65.00

TOWN OF MESILLA
APPLICATION FOR RESIDENTIAL BUILDING PERMIT

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061211 ZONE: HR CODE: M1 APPLICATION DATE: _____

ERBERT & MARIEE MADRID
Name of Applicant

575 650-7963
Applicant's Telephone Number

P.O. Box 732
Mailing Address

MESILLA
City

N.M.
State

88046
Zip Code

SELF
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number _____

Contractor's Tax ID Number _____

Contractor's License Number _____

Address of Proposed Work: 2640 CALLE DE ORSTE

Description of Proposed Work:
REPAIR STUCCO FENCE WALLS
SAME COLOR

\$ 1,200.00
Estimated Cost

Erbert & Mariee Madrid
Signature of Applicant

4/27/21
Date

With the exception of administrative approvals, all permit applications must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

CONDITIONS: _____

REVIEW ISSUED BY: _____

ISSUE DATE: _____

PERMIT ISSUED BY: _____

ISSUE DATE: _____

This application includes:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **legally** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Foundation Plan with details.
3. Floor Plans showing rooms, their uses and dimensions.
4. Cross Sections of walls.
5. Roof and floor framing plan. (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
6. Drainage plan.
7. Architectural style and color scheme (Historical and commercial zones only).
8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).

**PZHAC NEW BUSINESS
MAY 3, 2021**

**DECISION ITEMS
ZONING PERMITS**

PZHAC ACTION FORM
[PZHAC REVIEW – 5/3/21]
STAFF ANALYSIS

(PZHAC decision to be based on information presented during the Work Session)

Item:

Case 061208 – 2685 Calle de Parian, submitted by William B. McIlvaine, a request for a zoning permit to repair and repaint the stucco and roof on a secondary dwelling to match the primary dwelling at this address. Zoned: Historic Residential (HR)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed repairs and painting of the accessory dwelling are acceptable to the Town as proposed and meet all applicable codes, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed repairs and painting of the accessory dwelling are not acceptable to the Town or do not meet all applicable codes, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: \$23,950.00

Consistency with the Code:

The PZHAC will need to determine that the proposed repairs and painting of the accessory dwelling will be architecturally consistent with other dwellings in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of repairs and painting of the accessory dwelling to match the primary dwelling on this property.
- The PZHAC has determined that the proposed repairs and painting of the secondary dwelling will not be in violation of MTC 18.33 or MTC 18.35
- The PZHAC has determined that the proposed repairs and painting of the accessory dwellings will meet all applicable Code requirements.

PZHAC OPTIONS:

- **Recommend approval of the zoning permit to the BOT.**
- **Recommend approval of the zoning permit to the BOT with conditions.**
- **Postpone a decision on the zoning permit to allow the applicant to provide additional information.**
- **Reject the zoning permit.**

PZHAC ACTION:

PZHAC ACTION FORM
[PZHAC REVIEW – 5/3/2021]
STAFF ANALYSIS

Item:

Case 061209– 1780 Calle de El Paso, submitted by Jon Strain, a request to construct for a shade shelter for horses on the property. Zoned: Residential/Agricultural (RA)

Staff Analysis:

The applicant would like to construct a metal frame shade shelter on the property to provide shelter for his horses, and to meet the requirements of MTC 6.05.102 for the housing of animals (see below and attached diagram). The applicant has been informed by Tom Maese (Chief Inspector for CID) that he can install a kit that has been pre-engineered, or he can install a shelter that is constructed by the applicant that has been certified by an engineer. The applicant has stated that he will construct the shelter according to plans he has and have it certified by an engineer. According to Mr. Maese, this will not be a problem from CID's point of view. The applicant would like to complete this project before hotter weather sets in.

Estimated Cost: \$3,500.00

Consistency with the Code:

MTC 6.05.120 Animal Control - Livestock, other animals.

Nothing in this section shall be construed to prohibit the owning, possessing, keeping or harboring of livestock and other farm animals as prescribed or allowed in MTC Title 18, Zoning, unless the livestock or other farm animals are declared or determined to be a nuisance or vicious or dangerous under the provisions of this chapter. [Ord. 2018-03 § 1; Ord. 2007-10 § 12]

(There are no minimum property area requirements in the MTC for the keeping of livestock or other farm animals, including horses.)

6.05.170 Housing of animals.

A. Animal Well-Being. A person owning or having care, custody, or control over an animal shall provide such care and husbandry as to maintain the good health and well-being of the animal and shall:

1. Provide the animal with adequate amounts, and with adequate frequency, of fresh potable water and wholesome food sufficient and appropriate for the species, life stage, and medical condition of the animal.
2. Provide the animal with adequate shelter consisting of a structurally sound, species appropriate, weatherproof housing or enclosure with elevated flooring and proper ventilation, large enough to accommodate the animal comfortably. In winter months, clean species appropriate bedding shall be provided on the floor of the housing or enclosure for warmth.
3. Provide the animal with adequate shade from direct sunlight in addition to the shelter referenced above.

(The purpose of this request is to meet the requirements of this section of the MTC.)

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing a shade shelter for horses on the property.
- The PZHAC has determined that the proposed shelter meets all applicable Code requirements.

PZHAC OPTIONS:

1. **Approve the zoning permit.**
2. **Approve the zoning permit with conditions.**
3. **Postpone a decision on the zoning permit to allow the applicant to provide additional information.**
4. **Reject the zoning permit.**

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Numbe Enter Value:

Maps

Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0400207](#)
Parcel Number: 4006137125232
Owner: STRAIN JON
Mail Address: PO BOX 1006
Subdivision:
Property Address: 1780 CALLE DE EL PASO
Acres: 1.2



BOUNDARY SURVEY PLAT

OF TWO TRACTS OF LAND BEING PART OF U.S.R.S. TRACT 90-90 & U.S.R.S. TRACT 90-104, SITUATE IN SECTION 25, T.23S., R.1E., N.M.P.M., OF THE U.S.R.S. SURVEYS, WITHIN THE LIMITS OF THE TOWN OF MESILLA, DONA ANA COUNTY, NEW MEXICO.

DATE OF SURVEY: MAY 13, 2020

- LEGEND**
- INDICATES SET BEARS WITH PLACEMENT
 - INDICATES FOUND 10 IRMS WITH FLUORESC



LINE TABLE

LINE	LENGTH	DIRECTION
L1	244.8	S47° 02' 00" W
L2	9.9	S47° 02' 00" W
L3	28.9	S57° 42' 00" W

NOTES:

1. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
2. THE PROPERTY IS LOCATED IN A SECTION OF LAND OF ANIMAL FOOD PRODUCTS.
3. THE PROPERTY IS LOCATED IN A SECTION OF LAND OF ANIMAL FOOD PRODUCTS.
4. THE PROPERTY IS LOCATED IN A SECTION OF LAND OF ANIMAL FOOD PRODUCTS.
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10. THE PROPERTY IS LOCATED IN A SECTION OF LAND OF ANIMAL FOOD PRODUCTS.

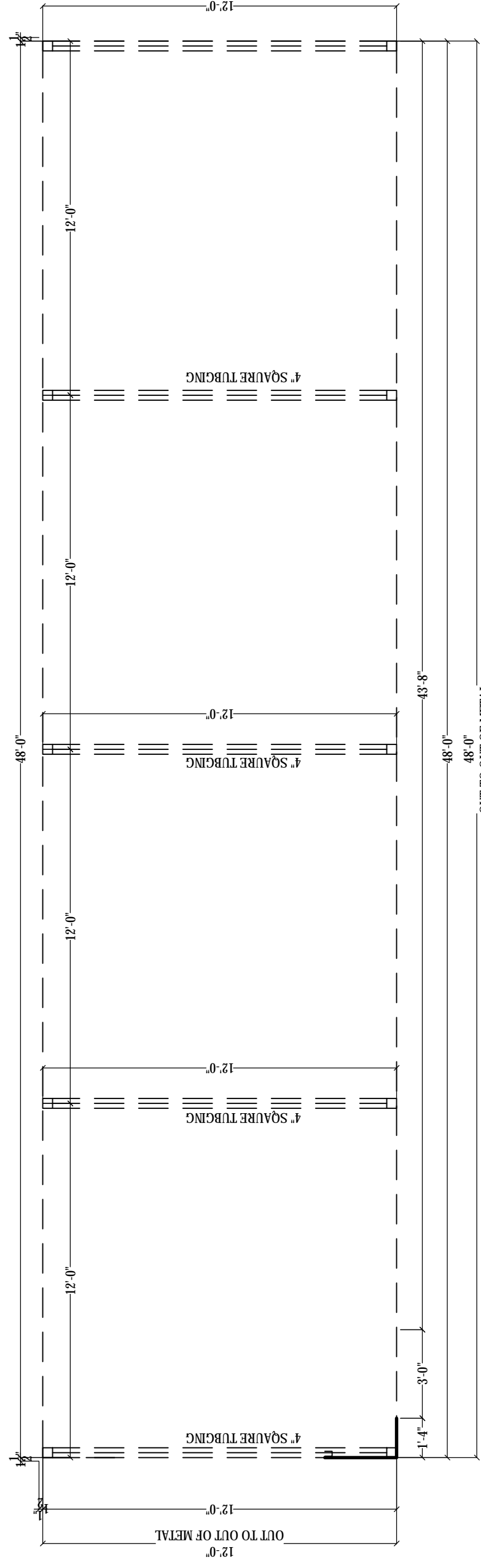
GEM SURVEYING
 2000 N. 10TH ST.
 SUITE 100
 ALBUQUERQUE, NM 87102
 TEL: 505-261-1111
 FAX: 505-261-1111



STATE OF NEW MEXICO
 JOHN F. ESQUIREL
 REGISTERED PROFESSIONAL SURVEYOR
 No. 5849

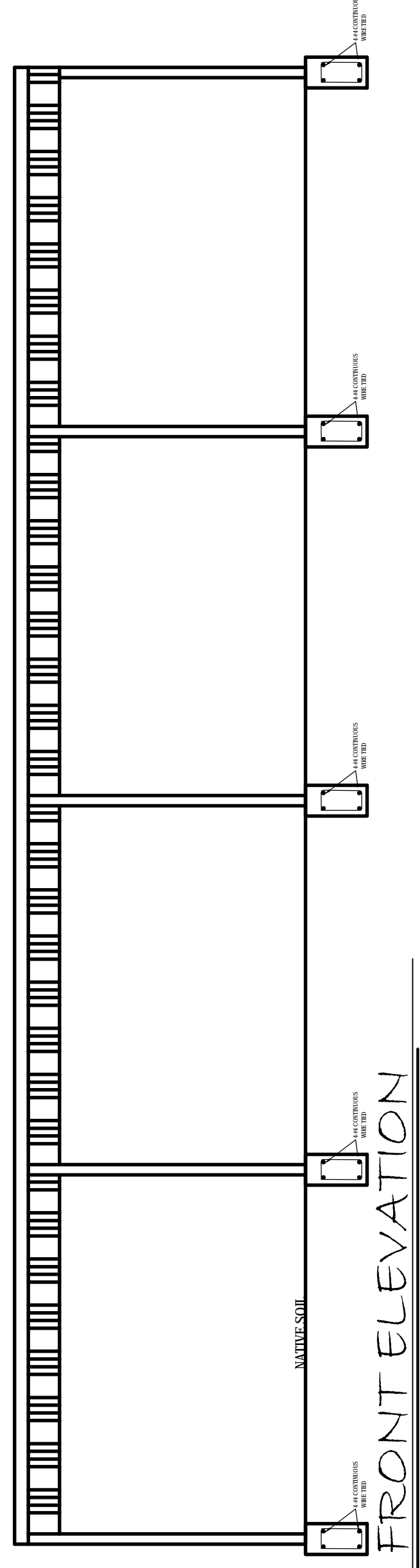
I, JOHN F. ESQUIREL, A NEW MEXICO PROFESSIONAL SURVEYOR, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM ACTUAL SURVEY DATA AND THAT I AM A LICENSED AND REGISTERED PROFESSIONAL SURVEYOR IN THE STATE OF NEW MEXICO. I HAVE THE NECESSARY KNOWLEDGE AND SKILL TO PREPARE THIS PLAT AND THE FIELD SURVEY DATA ON WHICH IT IS BASED MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO. I HAVE REVIEWED THE PLAT AND THE FIELD SURVEY DATA AND I AM SURE THAT THE PLAT IS CORRECT AND THAT THE FIELD SURVEY DATA IS ACCURATE AND COMPLETE. I HAVE REVIEWED THE PLAT AND THE FIELD SURVEY DATA AND I AM SURE THAT THE PLAT IS CORRECT AND THAT THE FIELD SURVEY DATA IS ACCURATE AND COMPLETE.

John F. Esquirel
 PROFESSIONAL SURVEYOR
 No. 5849



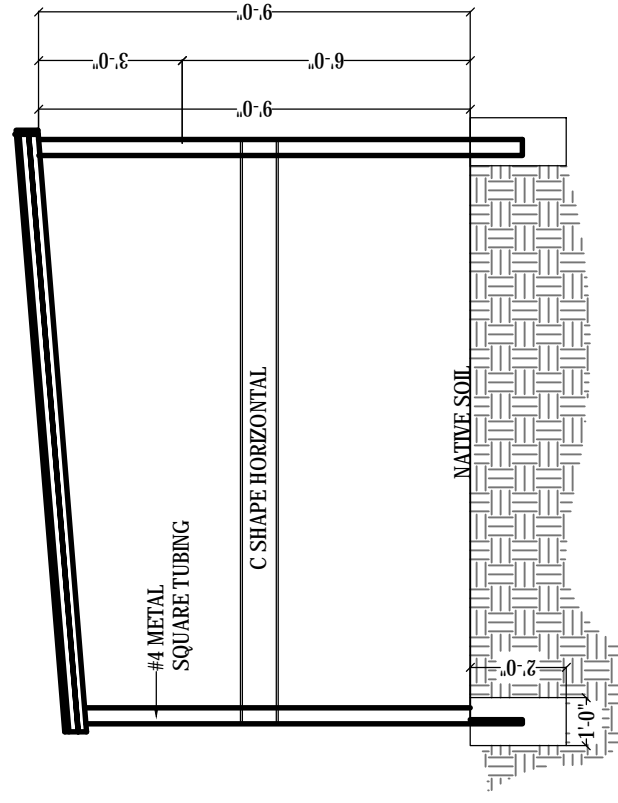
FRAMING LAYOUT

1/4"=1'-0"



FRONT ELEVATION

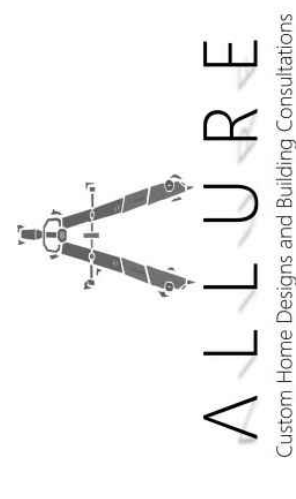
1/4"=1'-0"



SIDE ELEVATION

1/4"=1'-0"

NOTES:
 ALL CONCRETE TO BE MIN. 3000 PSI @ 28 DAYS
 ALL REBAR TO BE GRADE 60
 ALL REBAR TO HAVE 3" CLR. @ SIDES & BOTTOM
 ALL SUBGRADE TO BE COMPACTED TO MIN.
 95% MDD PER ASTM D 1557
 EXTEND REBARS FROM CONT. FTGS. THRU
 SQ. FTGS. AND TIE TO REBAR MAT.
 BEND & EXTEND REBARS FROM CONT. FTGS.
 MIN. 48" AROUND ALL CORNERS BOTH WAYS
 CONTRACTOR TO VERIFY ALL DIMENSIONS
 PRIOR TO START OF CONSTRUCTION
 ALL CONSTRUCTION TO MEET OR EXCEED ALL
 UBC, UPC, UMC, NEC, ACLASCI, CITY OF LAS CRUCES
 AND STATE OF NEW MEXICO
 RULES, CODES AND REGULATIONS



**ISSUED PERMIT:
 REVISIONS: 1**

ALL MEASUREMENTS, DIMENSIONS, & SPECIFICATIONS, INCLUDING ALL BLDG. MATERIALS ARE TO BE CHECKED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE PROJECT'S DIMENSIONS AND FOR THE STRUCTURAL INTEGRITY OF THIS PROJECT. THE RESPONSIBILITY OF THIS DRAWING IS AN INSTRUMENT OF SERVICE FOR THE CONTRACTOR. ALLURE CUSTOM HOME DESIGNS, ARCHITECTS, INC. IS NOT PROVIDING CONTRACT ADMINISTRATION SERVICES WITHOUT THEIR WRITTEN PERMISSION.

GENERAL CONTRACTOR
JMS CONSTRUCTION

PROJECT
**JON STRAIN MARE
 SHADE STRUCTURE**

SHEET TITLE
48X12 LAYOUT

DRAWN BY: S.GREEN
 CHECKED BY: J.STRAIN
 DATE: 4/26/2024
 SHEET NUMBER: **A.1**

ALL MEASUREMENTS, DIMENSIONS, & SPECIFICATIONS, INCLUDING ALL BLDG. MATERIALS ARE TO BE CHECKED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE PROJECT'S DIMENSIONS AND FOR THE STRUCTURAL INTEGRITY OF THIS PROJECT. THE RESPONSIBILITY OF THIS DRAWING IS AN INSTRUMENT OF SERVICE FOR THE CONTRACTOR. ALLURE CUSTOM HOME DESIGNS, ARCHITECTS, INC. IS NOT PROVIDING CONTRACT ADMINISTRATION SERVICES WITHOUT THEIR WRITTEN PERMISSION.

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:
Case # 061209
Fee \$ 16.50

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061209 ZONE: RA CODE: AC APPLICATION DATE: 4/27/21

Jon Strain 719-661-0729
Name of Property Owner Property Owner's Telephone Number
PO Box 1006 FAIRACRES NM 88033
Property Owner's Mailing Address City State Zip Code
Strainjon@Yahoo.com
Property Owner's E-mail Address
SELF
Contractor's Name & Address (If none, Indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: ~~2008 SHELLEY~~ 1780 CALLE DE EL PASO
Description of Proposed Work: SHADE STRUCTURE FOR STALLS,
(MARE MOTEL)

\$ 3,500 Estimated Cost
Jon M Strain Signature of Applicant 4-20-21 Date

Signature of property owner: Jon M Strain

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & APPROVAL REQUIRED
CID PERMIT REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Site Plan with dimensions and details.
 3. Foundation plan with details.
 4. Floor plan showing rooms, their uses and dimensions.
 5. Cross section of walls
 6. Roof and floor framing plan
 8. Proof of legal access to the property.
 9. Drainage plan.
 10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. Proof of legal access to the property.
 13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

PZHAC ACTION FORM
[PZHAC REVIEW – 5/3/21]
STAFF ANALYSIS

(PZHAC decision to be based on information presented during the Work Session)

Item:
Case 061210– NE Corner of Calle de Segunda and Calle del Sur (address to be assigned), submitted by Ralph Lucero; a request for a zoning permit to allow the construction of two detached dwelling units on a 16,114 square foot property at this location, Zoned: Historic Residential (HR)

Staff Analysis:
The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed dwellings are acceptable to the Town as proposed and meet all applicable codes, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed dwellings are not acceptable to the Town or do not meet all applicable codes, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: \$195,000.00

Consistency with the Code:
The PZHAC will need to determine that the proposed dwellings will be architecturally consistent with other dwellings in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Zoning Codes** that may be applied to this project.

- Findings that need to be made:**
- The PZHAC has jurisdiction to review and approve this request.
 - The proposed work consists of building two new dwellings on this property.
 - The PZHAC has determined that the proposed dwellings will not be in violation of MTC 18.33 or MTC 18.35
 - The PZHAC has determined that the proposed dwellings meet all applicable Code requirements.

- PZHAC OPTIONS:**
- **Recommend approval of the zoning permit to the BOT.**
 - **Recommend approval of the zoning permit to the BOT with conditions.**
 - **Postpone a decision on the zoning permit to allow the applicant to provide additional information.**
 - **Reject the zoning permit.**

PZHAC ACTION:

PZHAC ACTION FORM
[PZHAC REVIEW – 5/3/21]
STAFF ANALYSIS

Case 061202 – 1755 Tierra de Mesilla, submitted by Cesar Huizar for “Casa Blanca de Mesilla” a request to discuss plans to construct a commercial building and conduct a retail operation on two properties located at the southeast corner of Avenida de Mesilla and Tierra de Mesilla. Zoned: General Commercial (C)

The applicant would like to construct a 65.5 foot by 35 foot (2,292 square foot) commercial building on the property. The building will have a 14.5 foot by 65.5 foot (950 square foot) covered patio at the front, for a total of 3,250 square feet of building area. This will almost all (about 3,000 square feet) be used as sales area. In addition to this, about 25,000 square feet of the remainder of the two lots will be used for outdoor display and sales (see attached site plan). The applicant intends to sell indoor and outdoor items that are similar to those being sold by the commercial operation to the west of Avenida de Mesilla near the entrance to Mesilla in the City of Las Cruces. This is a retail use of the property, and the General Commercial (C) zoning of the property allows retail uses.

The site plan also shows that spaces have been provided for up to ten - eleven parking spaces. Plus two handicapped spaces. MTC 18.60.170 (Parking Requirements) requires parking for Retail Stores that do not have more than 500 square feet of floor area to have one parking space for each 300 square feet of gross floor area. (There is no mention of outdoor sales area.)

The applicant or his representative will be present by “Zoom” at the work session to provide further details about the proposed construction, and to answer any questions that may arise.

Estimated Cost: \$220,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed building and property improvements will be consistent with other similar structures in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of building a commercial building and property improvements on the property at this location.
- The PZHAC has determined that the proposed commercial building and property improvements are not a violation of MTC 18.45.
- The PZHAC has determined that the proposed commercial building and property improvements meet all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of this request to the BOT.
2. Recommend approval of this request to the BOT with conditions.
3. Postpone a decision on the request to allow the applicant to modify the request.
4. Reject the zoning request.

PZHAC ACTION:

PLAT OF SURVEY
 SHOWING THE LOCATION OF IMPROVEMENTS
 ON LOT 10 & 11, BLOCK A
 MERCADO DE LA MESILLA, PHASE 3B
 FILED OCTOBER 24, 2002, IN BOOK 20
 PAGES 163-164, DONA ANA COUNTY RECORDS
 TOWN OF MESILLA
 DONA ANA COUNTY, NEW MEXICO

$\Delta=7^{\circ}13'58''$
 $R=472.50'$
 $L=59.65'$
 $\text{Tan}\theta=29.86'$
 $\text{CH}=\text{N } 68^{\circ}17'20'' \text{ E}$
 $59.61'$

C21

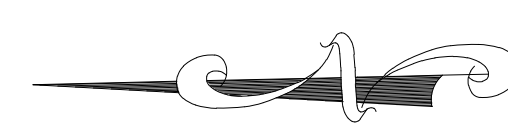
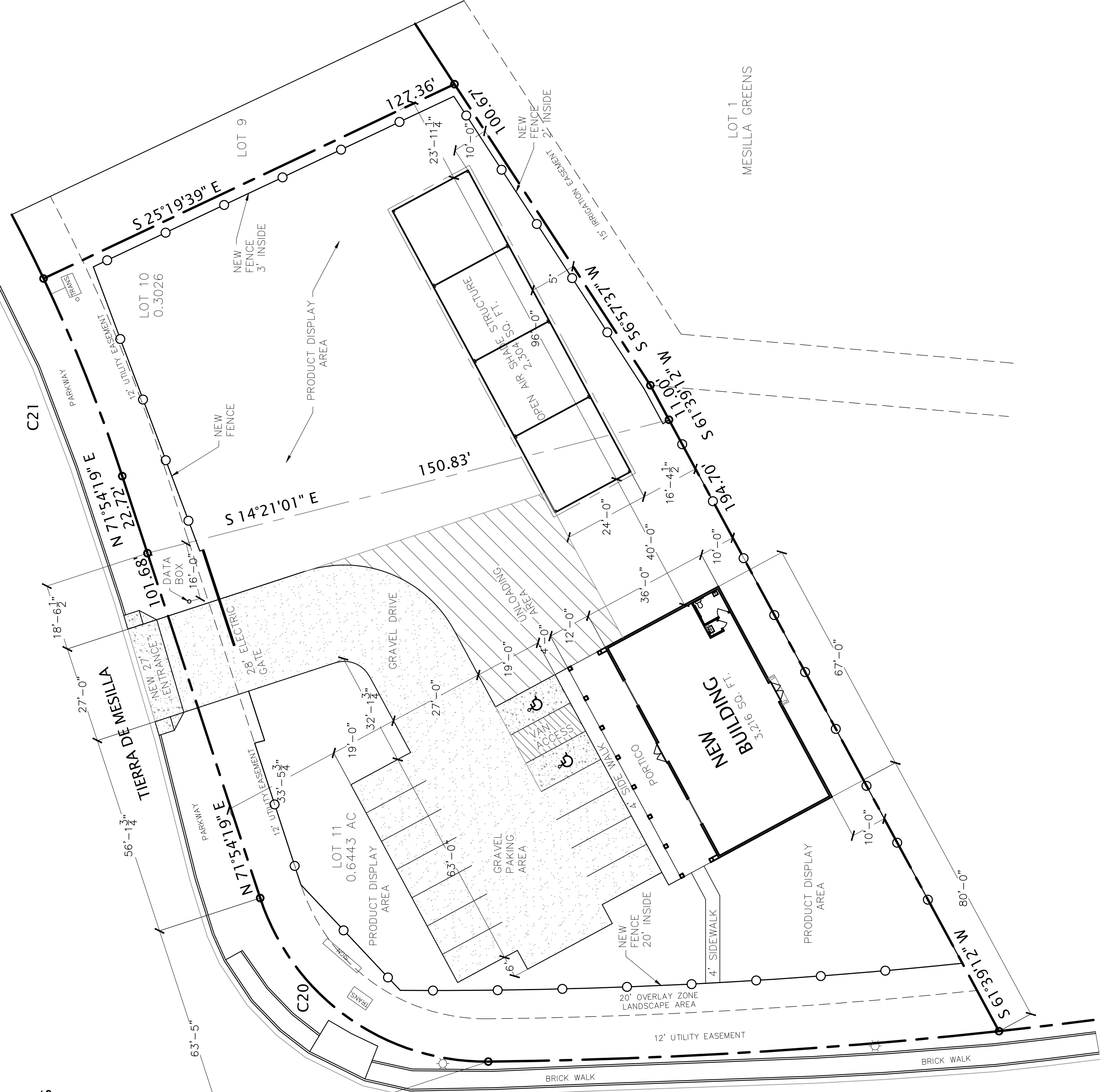
$\Delta=72^{\circ}30'26''$
 $R=66.50'$
 $L=84.16'$
 $\text{Tan}\theta=48.77'$
 $\text{CH}=\text{N } 35^{\circ}39'06'' \text{ E}$
 $78.65'$

C20

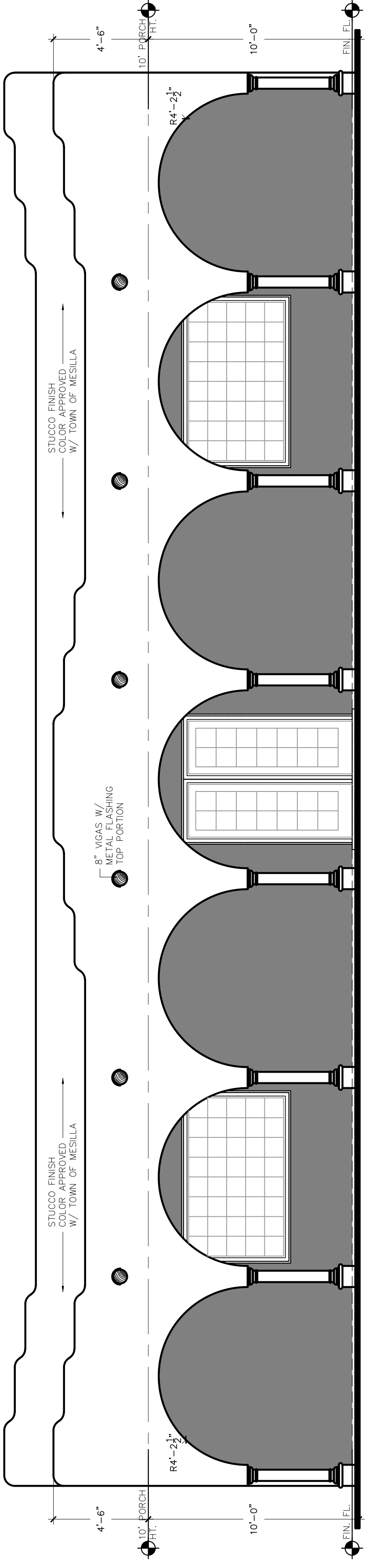
$\Delta=5^{\circ}36'54''$
 $R=1463.14$
 $L=143.39'$
 $\text{Tan}\theta=71.75'$
 $\text{CH}=\text{N } 03^{\circ}24'34'' \text{ W}$
 $143.33'$

C31

DATE	4/14/2021
DRAWN BY	UMPHRESS
FILE NAME	CBI-C1-3
DISCLAIMER	ALL MEASUREMENTS, DIMENSIONS, BEARINGS, AND ANGLES ARE TO BE CHECKED BY THE SURVEYOR AND THE USER. THE USER ASSUMES RESPONSIBILITY OF THE OWNER. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED. THIS DRAWING IS AN INSTRUMENT OF SERVICE AND NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR.
PROJECT NAME	CASA BLANKA IMPORTS 1705 Tierra de Mesilla Mesilla, NM 88005
PROFESSIONAL SEAL	
SHEET TITLE	SITE PLAN
SHEET NO.	C1

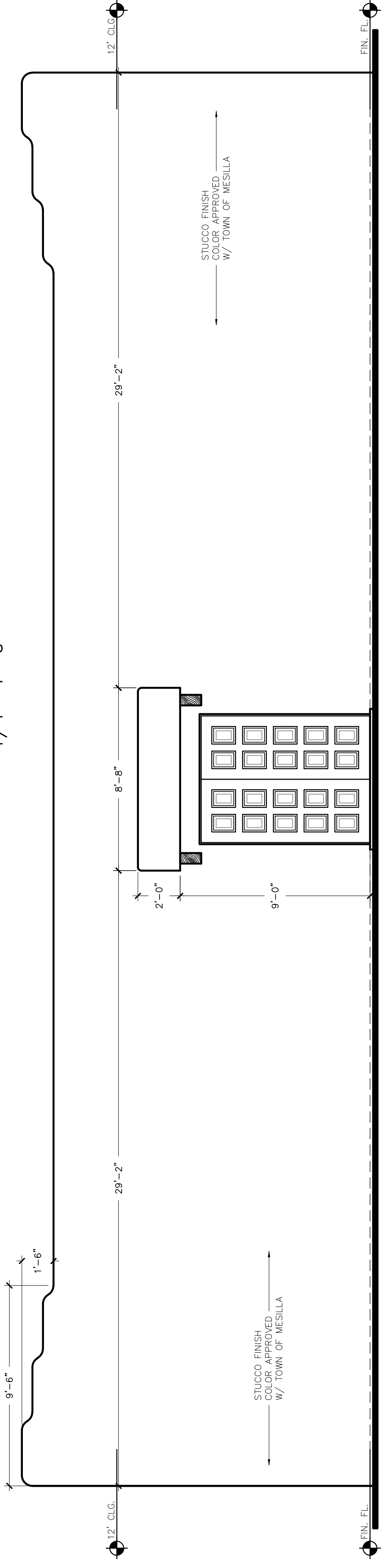


NORTH
 SCALE: 1" = 20'



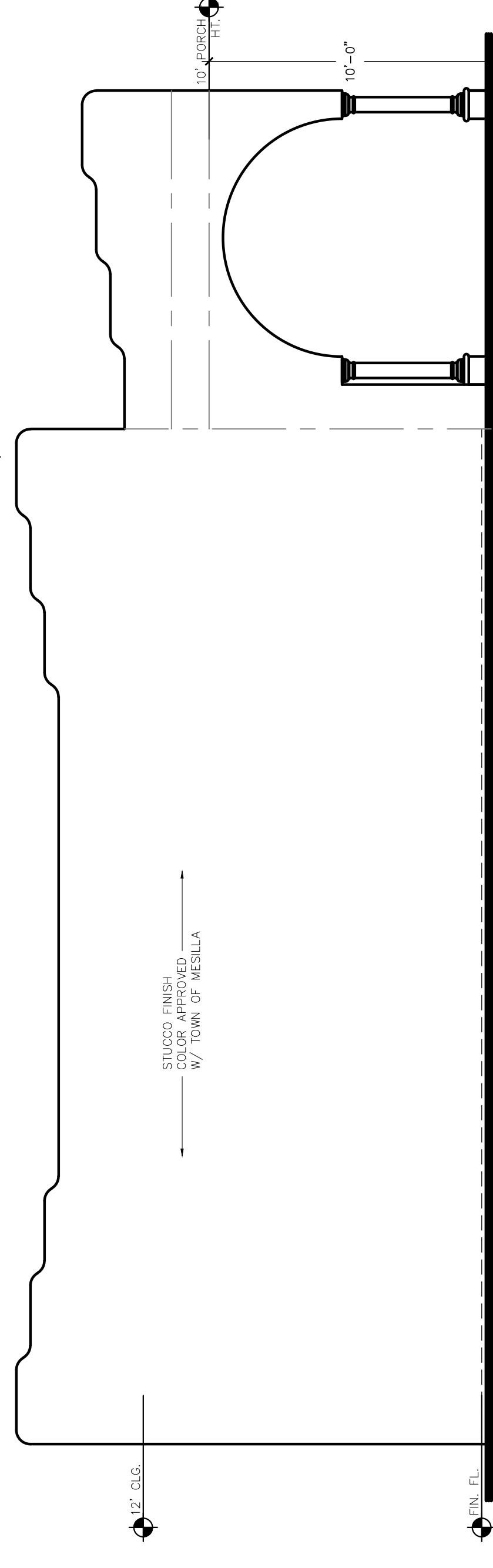
FRONT ELEVATION

1/4" = 1'-0"



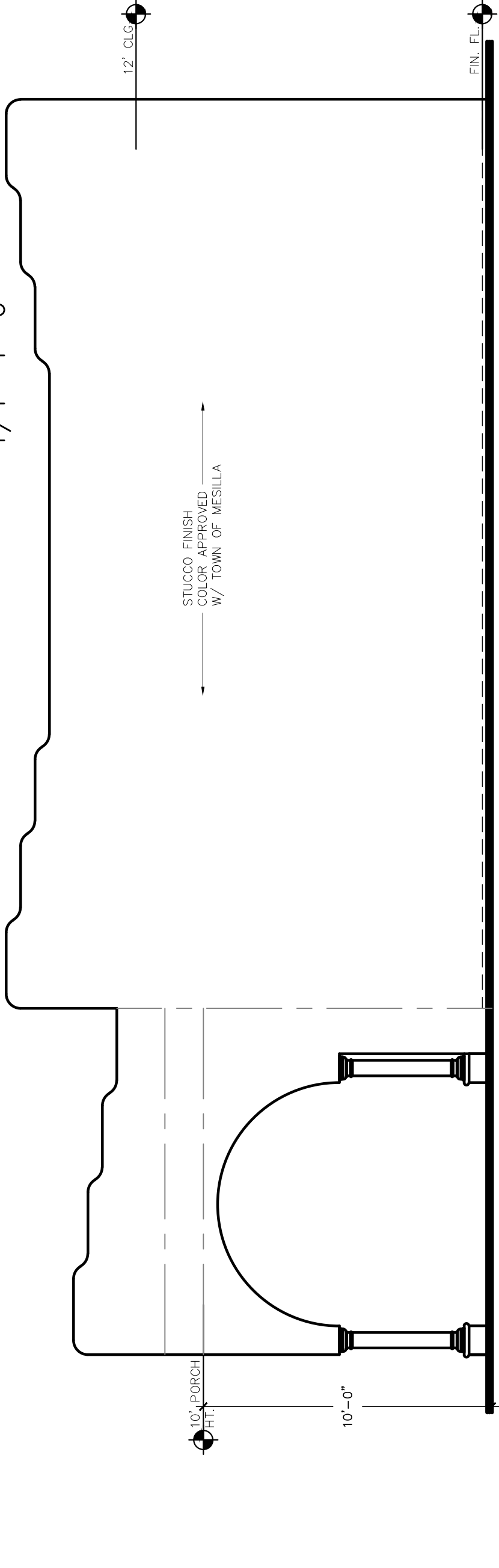
REAR ELEVATION

1/4" = 1'-0"



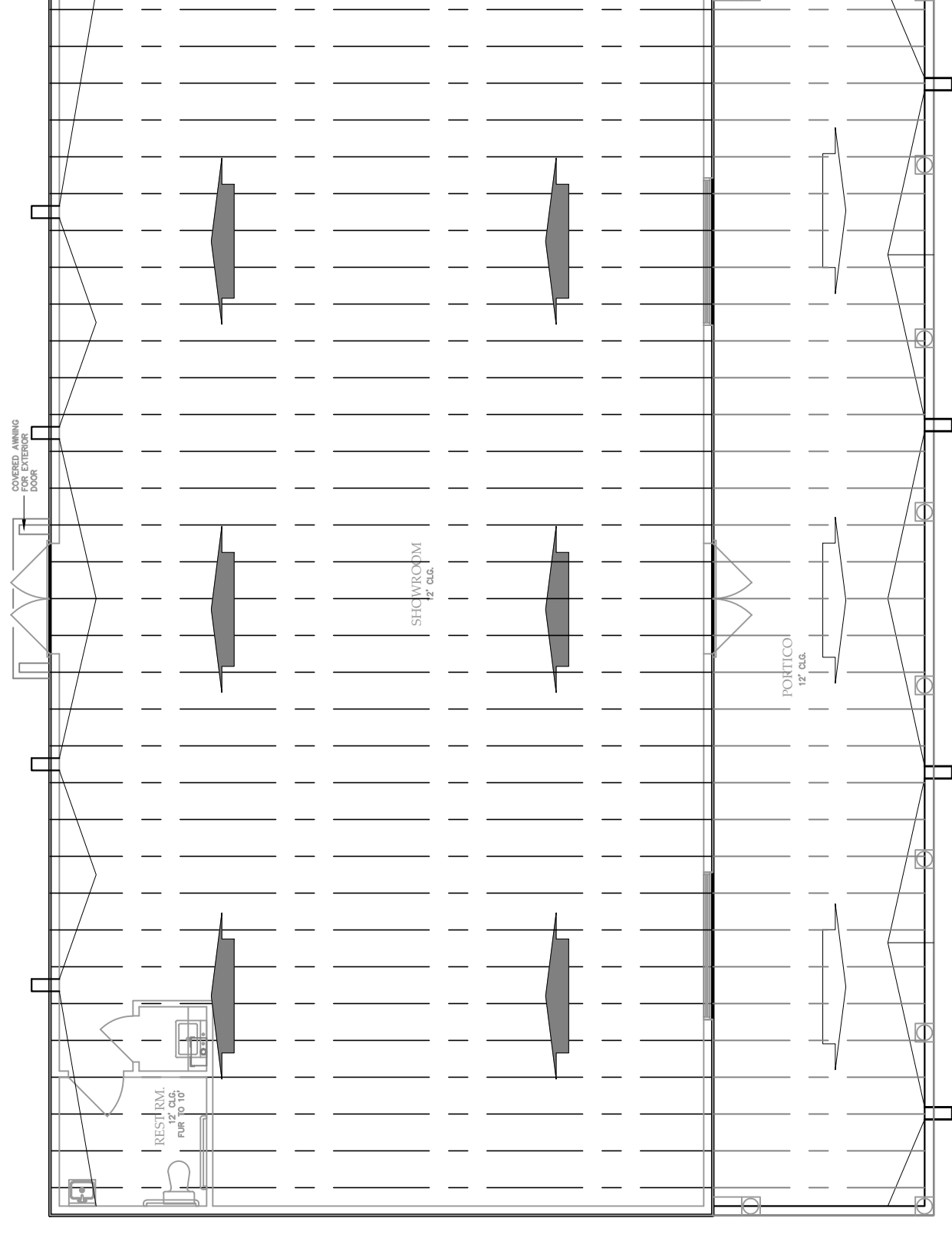
LEFT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"



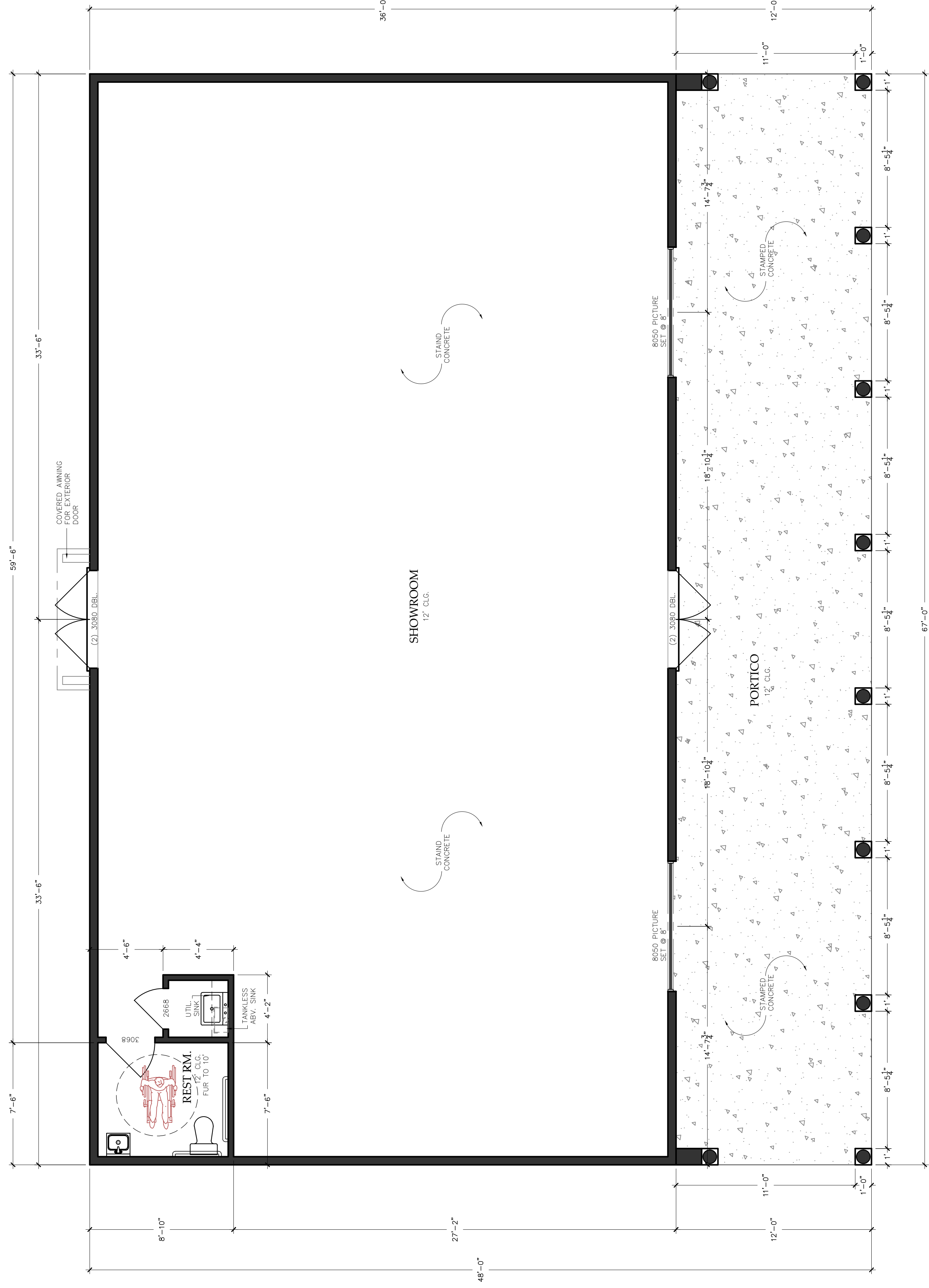
ROOF TRUSS PLAN

1/8" = 1'-0"

DATE	3/18/2021
DRAWN BY	UMPHRESS
FILE NAME	CBI-A2
DISCLAIMER	ALL MEASUREMENTS, DIMENSIONS, & SPECIFICATIONS INCLUDING ALL BUILDING CODES, PERMITS, AND REGULATIONS, AND THE OWNER, ARCHITECT, ENGINEER, CONTRACTOR, AND SUBCONTRACTOR ARE THE SOLE RESPONSIBILITY OF THE OWNER & CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.
PROJECT NAME	CASA BLANKA IMPORTS 1705 Tierra de Mesilla Mesilla, NM 88005
AREA: TOTAL	HEATED 2,412 SQ. FT. PORCH 804 SQ. FT.
TOTAL	3,216 SQ. FT.
PROFESSIONAL SEAL	
SHEET TITLE	ELEVATIONS/ ROOF TRUSS PLAN
SHEET NO.	A2

CODE ANALYSIS

PROJECT ADDRESS: Casa Blanca Imports 1705 Tierra de Mesilla Mesilla, NM 88005	OWNER INFO: Cesar Huizar 3694 Santa Marcela Ave. Las Cruces, NM 88012
ZONING: C Relative Codes As adopted by the State of New Mexico and the Local Jurisdiction. 2015 International Building Code (IBC) 2015 International Mechanical Code and Uniform Mechanical Code (NIMC) 2015 International Plumbing Code and Uniform Plumbing Code (NIPC) 2017 National Electric Code (NEC) 2015 ANSI A.117.1 2009 International energy Conservation Code (IECC)	
Occupancy Type: B, Mercantile Construction Type: Type II Building Area: TOTAL AREA: 3,216 sq. ft.	
Allowable Height: 35' Sprinkler System: Not required Fire Requirements: Not required Fire Alarm System: Not required Occupant Load:	Max Allowed: Provided 35' 16'-6"
Showroom 2,217 sq. ft./100 = 22.17 OCC. TOTAL = 22.17 OCC. TOTAL OCCUPANT LOAD = 23	
Number of Exits: Required 2, Provided 2 Distance to Exits: Required 150', Provided 35' Plumbing Fixtures: 1/40 Required, Provided Water Closet Provided: 1 Lavatory Provided: 1 Service Sink: 1	
Accessibility: An accessible route is required to the public way. Restroom: Restroom are Accessible	

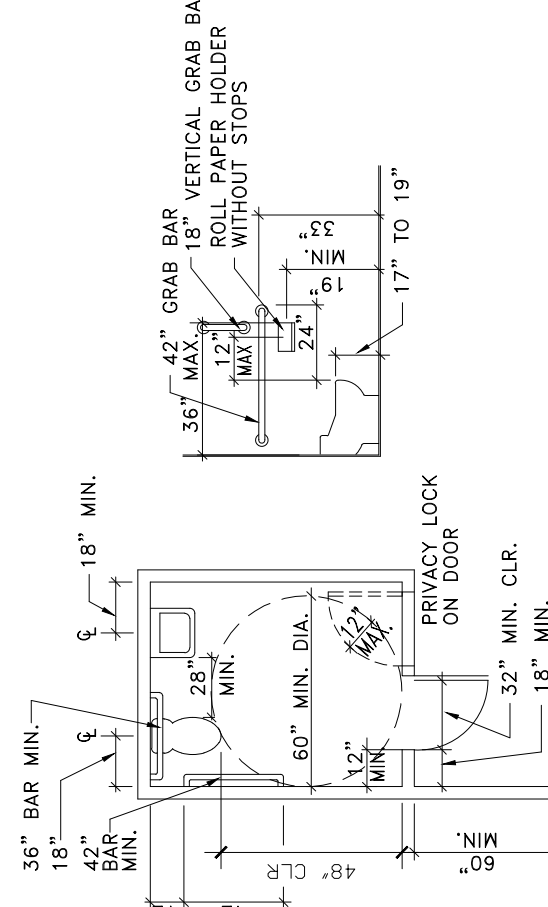


FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES:

- EXTERIOR WALLS TO BE 2X6 STUDS @ 16" O.C.
- INTERIOR NON-BEARING WALLS TO BE 2X4 STUDS @ 16" O.C.
- INTERIOR BEARING WALLS TO BE 2X4 STUDS @ 16" O.C.
- ALL HEADERS SPANNING MORE THAN 3' SHALL BE 2X12
- ALL FIXTURES & APPLIANCES TO BE CHOSEN BY OWNER
- USE FIRE STOPS PER U.F.C., U.B.C. OR LOCAL CODE REQUIREMENTS
- ALL DIMENSIONS ARE TO BE CHECKED AND CONFIRMED BY CONTRACTOR PRIOR TO POURING OF CONCRETE
- INSULATE WALLS R-22 MIN., CEILINGS R-38, PERIMETER R-4 MIN.
- INTERIOR TO BE SHEETROCK, TAPED, TEXTURED, AND PAINTED
- EXTERIOR TO BE STUCCO - COLOR BY OWNER/CONTRACTOR

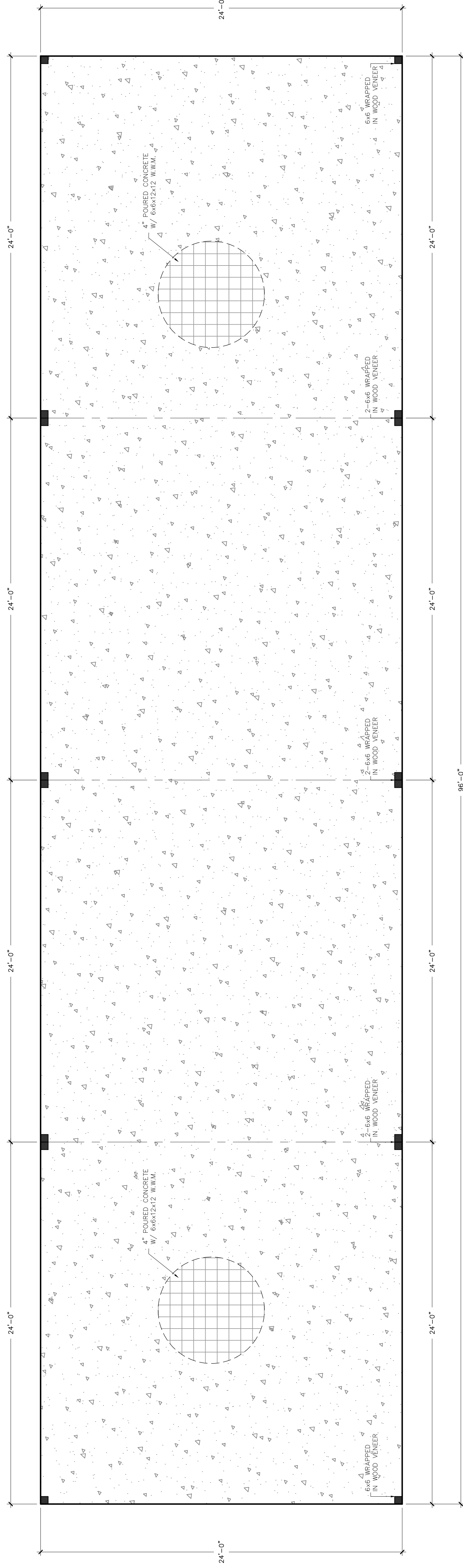


NOTE: THESE FIGURES ARE ILLUSTRATIVE ONLY AND DO NOT DELINEATE THE ONLY MEANS OF COMPLIANCE. REFER TO PLANS FOR EXACT LAYOUT OF TOILET ROOMS.

DATE	3/18/2021
DRAWN BY	UMPHRESS
FILE NAME	CBI-A1
DISCLAIMER	ALL MEASUREMENTS, DIMENSIONS, & SPECIFICATIONS INCLUDING ALL BIDDING REQUIREMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER & CONTRACTOR. THIS DRAWING IS THE PROPERTY OF THE OWNER & CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE WORK BEFORE BEGINNING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND SUPPLIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABORERS AND SUBCONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT AND TOOLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY COMMUNICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND SUPPLIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABORERS AND SUBCONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT AND TOOLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY COMMUNICATIONS.
PROJECT NAME	CASA BLANKA IMPORTS 1705 Tierra de Mesilla Mesilla, NM 88005
AREA: TOTAL	HEATED 2,412 SQ. FT. PORCH 804 SQ. FT.
TOTAL	3,216 SQ. FT.
PROFESSIONAL SEAL	
SHEET TITLE	FLOOR PLAN
SHEET NO.	A1

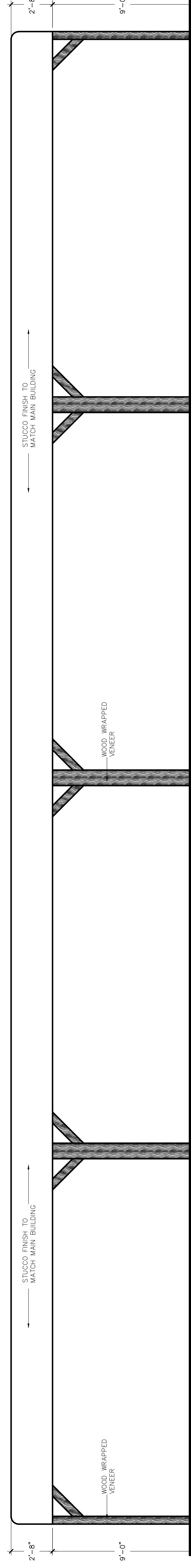


DATE	4/14/2021
DRAWN BY	
UMPHRESS	
FILE NAME	
CBI-A3	
DISCLAIMER	ALL MEASUREMENTS, DIMENSIONS, & SPECIFICATIONS INCLUDING ALL BLDG. OWNER & CONTRACTOR & ARE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR AND OWNER, THE CONTRACTOR AND OWNER, AND CONTRACTOR, THIS DRAWING SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THEIR WRITTEN PERMISSION.
PROJECT NAME	CASA BLANKA IMPORTS 1705 Tierra de Mesilla Mesilla, NM 88005
AREA: TOTAL	
SHADE STRUCTURE	2,304 SQ. FT.
TOTAL	2,304 SQ. FT.
PROFESSIONAL SEAL	
SHEET TITLE	
FLOOR PLAN/ SHADE STRUCTURE	
SHEET NO.	
	A3



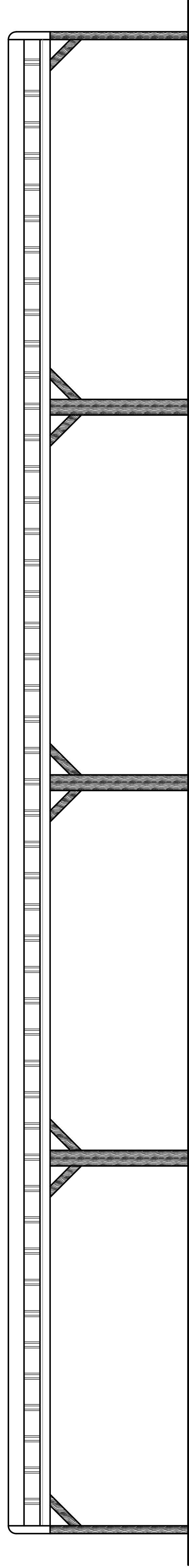
FLOOR PLAN: SHADE STRUCTURE

1/4" = 1'-0"



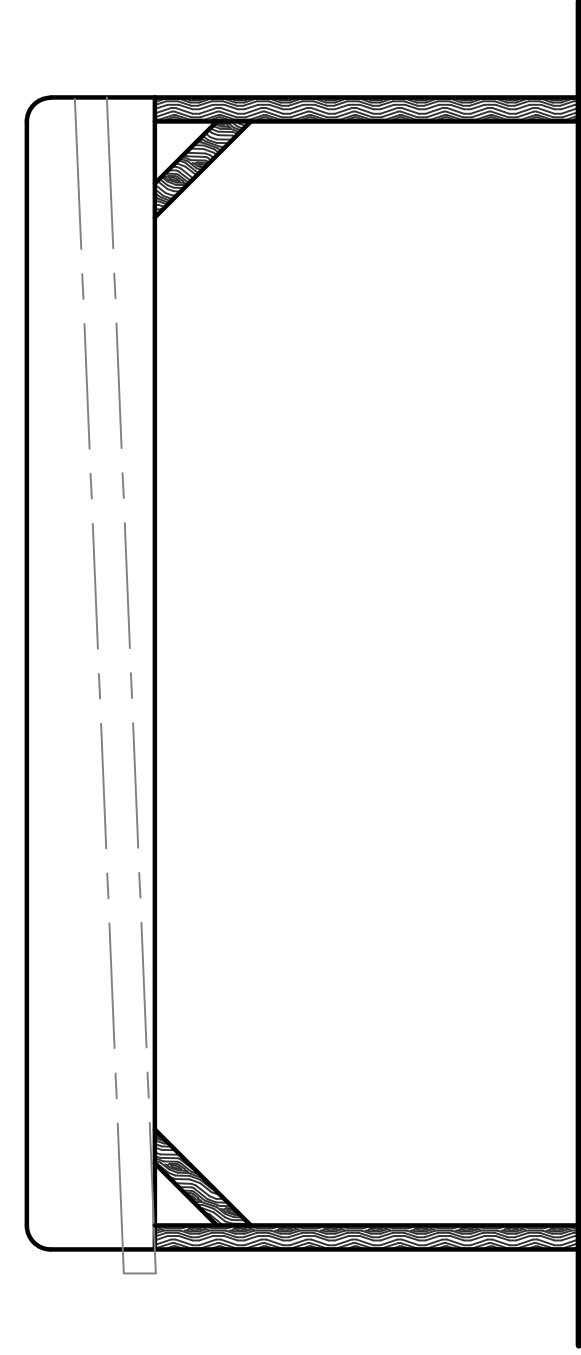
FRONT ELEVATION

1/4" = 1'-0"



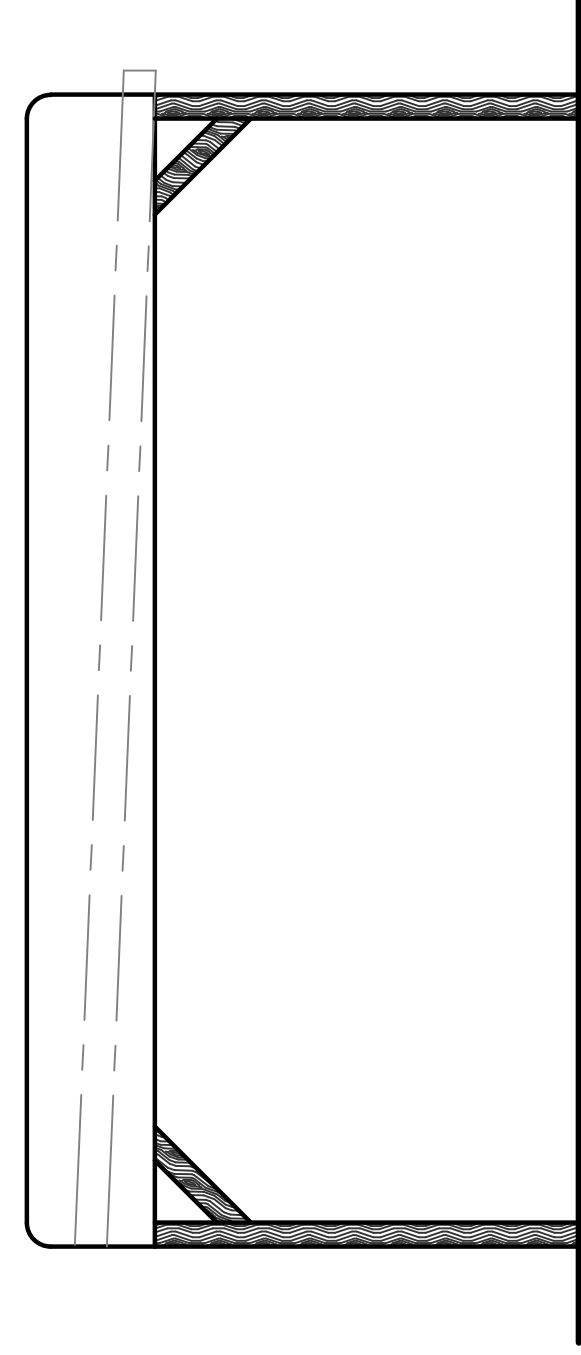
REAR ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061212

Fee \$ 340.50

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061212 ZONE: C CODE: NC APPLICATION DATE: 4/28/21

Name of Property Owner: Casa Blanca Imports Property Owner's Telephone Number: 915-226-7417

Property Owner's Mailing Address: 3694 Santa Marcella Ave. Los Cruces NM City: Los Cruces State: NM Zip Code: 88012

Property Owner's E-mail Address: huices@hotmail.com

Contractor's Name & Address (If none, indicate Self): Merlin Enterprises 486 Mesquite, NM

Contractor's Telephone Number: 575-639-0874 Contractor's Tax ID Number: NM 6B98378859 Contractor's License Number:

Address of Proposed Work: 1705 Tierrade Mesilla & Ave de Mesilla

Description of Proposed Work: Commercial Building of 3216 sq ft (2412 sq ft + 804 sq ft Portico/Porch) and 2304 sq ft (24 ft x 96 ft) shade structure

Estimated Cost: \$220,000 Signature of Applicant: [Signature] Date: 04-28-2021

Signature of property owner: [Signature] Blanca G. Huizar

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____ Disapproved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT APPROVAL REQUIRED
CID PERMITS REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Site Plan with dimensions and details.
 3. Foundation plan with details.
 4. Floor plan showing rooms, their uses and dimensions.
 5. Cross section of walls
 6. Roof and floor framing plan
 8. Proof of legal access to the property.
 9. Drainage plan.
 10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. Proof of legal access to the property.
 13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

PZHAC ACTION FORM
[PZHAC REVIEW – 5/3/21]
STAFF ANALYSIS

(PZHAC decision to be based on information presented during the Work Session)

Item:
Case 061213 – 2391 Calle de Parian, submitted by Robert Reynolds, a request to install a gazebo type shade structure on a residential property at this address. Zoned: Historic Residential (HR)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed gazebo is acceptable to the Town as proposed and will meet all applicable codes, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the gazebo is not acceptable to the Town or will not meet all applicable codes, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: \$1500.00

Consistency with the Code:

The PZHAC will need to determine that the proposed gazebo will be architecturally consistent with other dwellings in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing a gazebo on this property.
- The PZHAC has determined that the proposed gazebo will not be in violation of MTC 18.33 or MTC 18.35
- The PZHAC has determined that the proposed gazebo will meet all applicable Code requirements.

PZHAC OPTIONS:

- **Recommend approval of the zoning permit to the BOT.**
- **Recommend approval of the zoning permit to the BOT with conditions.**
- **Postpone a decision on the zoning permit to allow the applicant to provide additional information.**
- **Reject the zoning permit.**

PZHAC ACTION: