



Town of Mesilla, New Mexico

PZHAC MEETING AGENDA APRIL 5, 2021

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A REGULAR MEETING VIA TELECONFERENCE ON MONDAY, APRIL 5, 2021 AT 2:30 PM. TO JOIN THE MEETING BY PHONE DIAL 1-346- 248-7799, THEN ENTER Meeting ID 603-754-4231 PASSWORD 193857.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

III. CHANGES/APPROVAL OF THE AGENDA

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

A. *PZHAC MINUTES – PZHAC Meeting of MARCH 15, 2021.

B. *ADMINISTRATIVE APPROVALS

Zoning Permit:

1. **Case 061187** – 2260 Calle de Santiago, submitted by Bill Cook; a request for a zoning permit to allow the applicant to repaint and refresh an existing sign for a business (“The Potteries”) at this address. Zoned: Historic Commercial (HC)
2. **Case 061188** - 2392 Calle de Parian, submitted by Yolanda Lucero; a request for a zoning permit to allow the applicant to repair the exteriors of the dwellings on a residential property containing four dwelling units. Zoned: Historic Residential (HR)
3. **Case 061189** – 2501 Calle del Norte, submitted by Neri Fietze; a request for a zoning permit to patch and repaint a damaged stucco wall on a dwelling at this address. Zoned: Historic Residential (HR)
4. **Case 061190**– 1925 Snow Road, submitted by Kevin and Bertha McShea, a request for a zoning permit to allow the installation of photo-voltaic electric panels on the roof of a dwelling at this address. Zoned: Rural Farm (RF)
5. **Case 061191** – 2920 Camino Castillo, submitted by Justin Bannister, a request for a zoning permit to allow the installation of photo-voltaic electric panels on the roof of a dwelling at this address. Zoned: Residential, one-acre minimum lot (R1).

II. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

Public input shall be received at larrys@mesillanm.gov at least one hour prior to the meeting and will be read into the record. You will also be given an opportunity to speak during this time by joining the meeting by phone and pressing *9 while in the teleconference. This will let the host know that you wish to speak. You will be prompted by the host or the Commission Chair when to begin speaking.

B. DECISIONS:

Zoning Permits

1. **Case 061177** – 2510 Calle de Parian, submitted by Stephen Carrasco, a request for an amendment to a previously approved permit to allow the addition of two wood gates to a property at this address. Zoned: Historic Residential (HR).
2. **Case 061192** – 2455 Camino dell Reyes, submitted by Villa Custom Homes Inc. for Andrea Boni and Kirsten Pierce; a request for a zoning permit to allow the applicant to construct a new dwelling and pool on a one acre property at this address. Zoned: Residential, one-acre minimum lot (R1).

3. **Case 061193** - 3150 McDowell, submitted by James Hansen; a request for a zoning permit to allow the construction of a three foot high rock wall along the front property line of a residential property at this address. Zoned: Residential, one-acre minimum lot (R1).
4. **Case 061194**– 2808 Snow Road, submitted by Russell Hernandez; a request for a zoning permit to allow the applicant to construct an addition connecting two living quarters to make one dwelling on a residential property at this address. Zoned: Rural/Agricultural (RA)
5. **Case 061195** – Snow Road (address to be assigned), submitted by Susan Krueger; a request for a zoning permit to allow the applicant to place a T-post and wire fence along a property line between an easement on the neighbor’s property and a driveway on the applicant’s property. Zoned: Rural Farm (RF)
6. **Case 061196** - Snow Road (easement - address to be assigned), submitted by Susan Krueger; a request for a zoning permit to allow the applicant to place a T-post and wire fence along a property line between an easement on the neighbor’s property and a driveway on the applicant’s property. Zoned: Rural Farm (RF)
7. **Case 061197** - 2655 Camino del Reyes, submitted by Daren Loken, a request for a zoning permit to allow the applicant to construct a swimming pool on a one acre residential property containing a new dwelling. Zoned Residential, one-acre minimum lot size (R1).
8. **Case 061198** – Avenida de Mesilla (addresses to be assigned), submitted by Indalecio Prieto; a request for a zoning permit to allow a 195 foot long by four foot high single pipe fence to ber installed along the front property lines of a two adjacent properties containing a pecan grove to the north a property at 3260 North Highway 28. Zoned: Rural/Agricultural (RA)
9. **Case 061199** – 2100 West Union Avenue, submitted by Justin and Michelle Nunn, a request for a zoning permit to allow the installation of a fence and a gate across the front of a residential property at this address. Zoned: Rural Agricultural (RA)

Sign Permits

10. **Case 061200** -Submitted by Felix Armijo, a request for a sign permit to allow a sign to be placed on a business (Cafe Don Felix) at this address. Zoned: Historic Commercial (HC)

VI. PZHAC/STAFF COMMENTS

VII. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 4/1/2021 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty’s Food Mart - 2290 Avenida de Mesilla; Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

**PZHAC
MARCH 15, 2021
REGULAR MEETING
MINUTES**

[PART OF CONSENT AGENDA]

**PZHAC NEW BUSINESS
APRIL 5, 2021**

**ADMINISTRATIVE APPROVALS
[PART OF CONSENT AGENDA]**

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST
[PZHAC CONSENT AGENDA – 4/5/2021]**

Item:

Case 061187 – 2260 Calle de Santiago, submitted by Bill Cook; a request for a zoning permit to allow the applicant to repaint and refresh an existing sign for a business (“The Potteries”) at this address. Zoned: Historic Commercial (HC)

Description of Work Done:

The applicant would like to repaint a sign for the business on the property in the same colors as the original. There will be no changes to the original appearance of the sign or the property.

Consistency with the Code:

Since the proposed repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes the structure., the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]**

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Num

Maps

Legend

Map Themes

Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0401274](#)
 Parcel Number: 4006137182455
 Owner: COOK WILLIAM D JR CO-TRUSTEE
 Mail Address: PO BOX 859
 Subdivision:
 Property Address: 2260 CALLE DE SANTIAGO
 Acres: 0



**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

061187
80.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061187 ZONE: HC CODE: M1 APPLICATION DATE: 3/12/21

BILL & JANICE COOK 524.0538

Name of Property Owner P.O. BOX 64 MESILLA Property Owner's Telephone Number NM 88046

Property Owner's Mailing Address THE POTTERIES MESILLA @ GMAIL.COM City State Zip Code

Property Owner's E-mail Address ADUE SIGN CO

Contractor's Name & Address (If none, indicate Self) 525.1015

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2260 CALLE SANTIAGO

Description of Proposed Work: REPAINT SIGNS - REUSE SAME FRAME

\$ 200 JOHN COOK March 12, 2021
Estimated Cost Signature of Applicant Date

Signature of property owner: JOHN COOK

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: YES ___ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO ORIGINAL APPEARANCE OF SIGN

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: 3/31/21

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST
[PZHAC CONSENT AGENDA – 4/5/2021]**

Item:

Case 061188 - 2392 Calle de Parian, submitted by Yolanda Lucero; a request for a zoning permit to allow the applicant to repair the exteriors of the dwellings on a residential property containing four dwelling units. Zoned: Historic Residential (HR)

Description of Work Done:

The applicant would like to repair the walls on the dwellings on the property. The color will be the same as the original. There will be no other work done on the dwellings, or any other structures on the property. There will be no changes to the visual appearance of the property.

Consistency with the Code:

Since the proposed repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes the structure., the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

Doña Ana County, NM

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2014 Aerial | Addresses | County Address Points

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Maps

Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0400225](#)
 Parcel Number: 4006137154528
 Owner: LUCERO YOLANDA
 Mail Address: 342 EVERGREEN DR
 Subdivision: LUCERO TRACTS NO 2
 CORRECTED PLAT (BK 20 PG 532 -
 043383)
 Property Address: 2392 CALLE DE
 PARIAN
 Acres: 0





B

A
2392

Calle de Mapaltes



Casita de Magdalena

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061188

Fee \$ 0.00

PERMISSION TO CONDUCT WORK
OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061188 ZONE: UR CODE: M1 APPLICATION DATE: _____

Name of Property Owner: Yolanda Lucero Property Owner's Telephone Number: 575 640-9133

Property Owner's Mailing Address: P.O. Box 25 City: Alm State: NM Zip Code: 88046

Property Owner's E-mail Address: Yolanda.lucero@gmail.com

Contractor's Name & Address (If none, indicate Self): Son Frank Acosta

Contractor's Telephone Number: _____ Contractor's Tax ID Number: _____ Contractor's License Number: _____

Address of Proposed Work: 2392 Calle de Parian
repair porch vigas + replace roofing

Description of Proposed Work: material - same color - same
material

Estimated Cost: \$ 250.00 Signature of Applicant: [Signature] Date: 3-15-21

Signature of property owner: [Signature]

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FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO ORIGINAL APPEARANCE OF STRUCTURES

PERMISSION ISSUED DENIED BY: [Signature] ISSUE DATE: 3/31/21

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
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3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit, proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST
[PZHAC CONSENT AGENDA – 4/5/2021]**

Item:

Case 061189 – 2501 Calle del Norte, submitted by Neri Frieze; a request for a zoning permit to patch and repaint a damaged stucco wall on a dwelling at this address. Zoned: Historic Residential (HR)

Description of Work Done:

The applicant would like to repair and repaint a wall on a dwelling on the property. The color will be the same as the original. There will be no other work done on the dwelling. There will be no changes to the visual appearance of the property.

Consistency with the Code:

Since the proposed repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes the structure., the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit** – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

Doña Ana County, NM

General Reference Maps

Map Help

Doña Ana County Geospa

2014 Aerial

Addresses

County Address Points

Select Search Type:

Account Number

Enter Value:

Search

Maps

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Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400170](#)

Parcel Number: 4006137021459

Owner: FRIETZE NERI G

Mail Address: PO BOX 301

Subdivision:

Property Address: 2501 CALLE DEL NORTE

Acres: 0



**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:
Case # 061189
Fee \$ 45.00

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061189 ZONE: HR CODE: M1 APPLICATION DATE: 3/30/21

NRAI Frieze 575-993-1300
Name of Property Owner Property Owner's Telephone Number

P.O. Box 2 Mesilla NM 88046
Property Owner's Mailing Address City State Zip Code

N/A
Property Owner's E-mail Address

Self
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2501 Calle De Norte

Description of Proposed Work: Patch work on stucco wall. East wall & North wall, South wall.

\$ 400.00 [Signature] 3/30/2021
Estimated Cost Signature of Applicant Date

[Signature]
Signature of property owner:

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

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PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO ORIGINAL APPEARANCE OF STRUCTURE

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: 3/31/21

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
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 6. Roof and floor framing plan
 8. Proof of legal access to the property.
 9. Drainage plan.
 10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. Proof of legal access to the property.
 13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST
[PZHAC CONSENT AGENDA – 4/5/2021]**

Item:

Case 061190 – 1925 Snow Road, submitted by Kevin and Bertha McShea, a request for a zoning permit to allow the installation of photo-voltaic electric panels on the roof of a dwelling at this address. Zoned: Rural Farm (RF)

Description of Work Done:

The applicant would like to install photo-voltaic electric panels on the dwelling on the property. The panels will not be visible from the ground. There will be no other work done on the dwelling, or any other structures on the property. There will be no changes to the visual appearance of the property.

Consistency with the Code:

Since the proposed repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit** – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

Doña Ana County, NM

General Reference Maps

Map Help

Doña Ana County Geospa

2014 Aerial

Addresses

County Address Points

Select Search Type:

Account Number

Enter Value:

Search

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400936](#)

Parcel Number: 4005137230490

Owner: MCSHEA KEVIN MICHAEL TRUSTEES

Mail Address: 1925 SNOW RD

Subdivision:

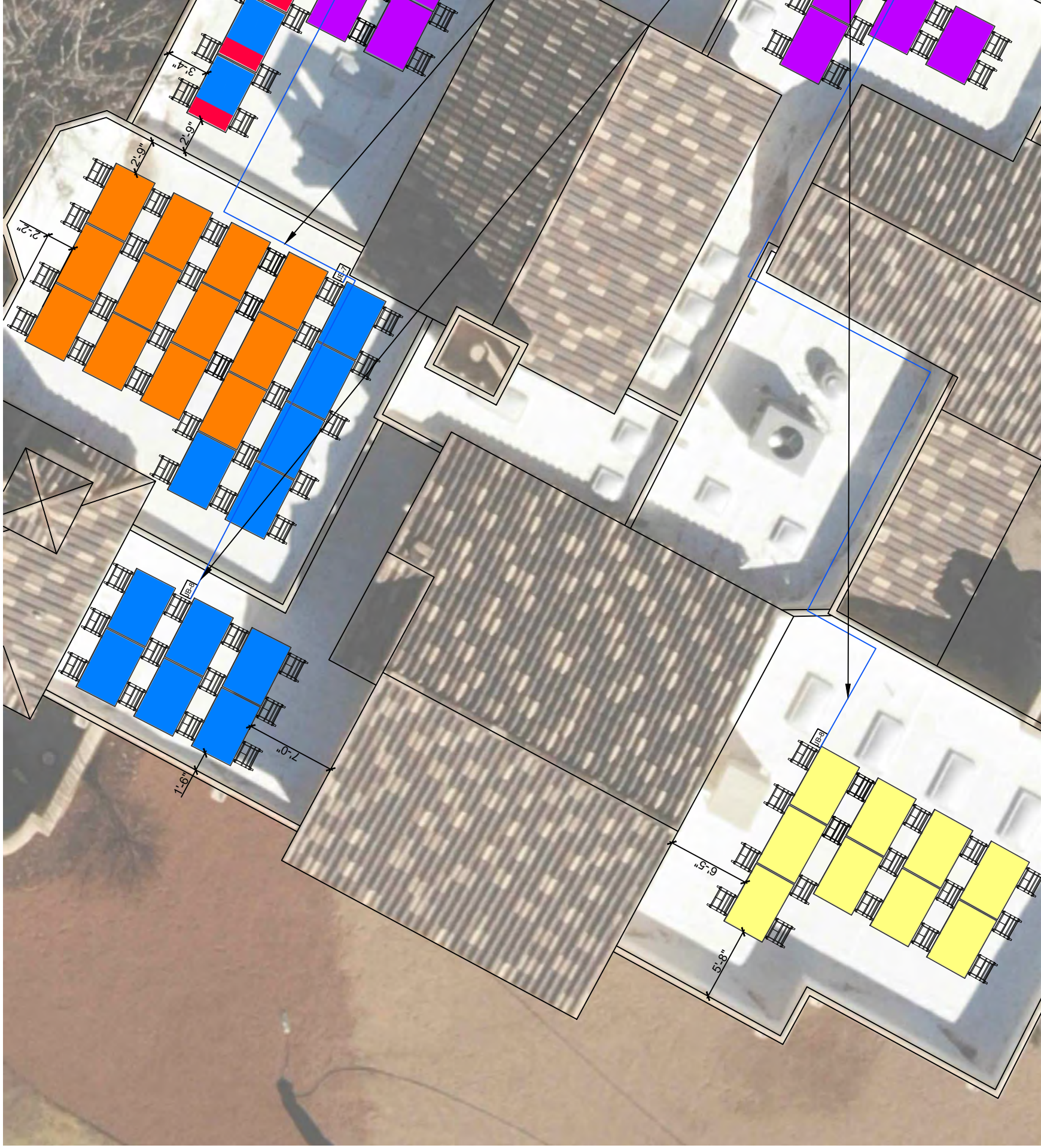
Property Address: 1925 SNOW RD

Acres: 5



Doña Ana County Flood

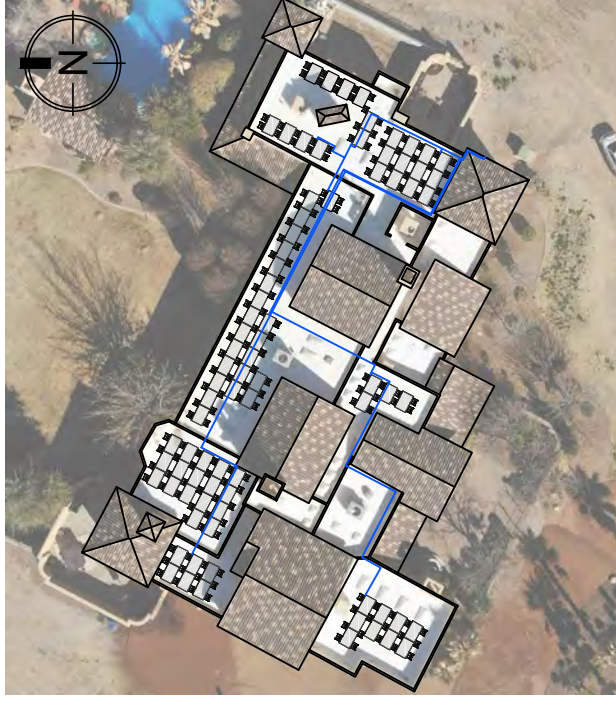
Array:
80 x Panasonic Modules



1 Circuit Diagram

Scale: N.T.S.

Note:
-All new conduit will follow securing and supporting requirements established in the NEC Articles 348, 350, and 358 for FMC, LFMC and EMT respectively.



2 Roof Diagram

Scale: N.T.S.

(1 1/4" EMT)
2 x #4 THWN-2 (Blue)
2 x #4 THWN-2 (Orange),
1 x #4 AWG GND

(3/4" EMT)
2 x #8 THWN-2,
1 x #8 AWG GND

(1" EMT)
2 x #4 THWN-2 (Yellow),
1 x #4 AWG GND

Legend:

Blu	- Circuit 1 (11x Modules)
Org	- Circuit 2 (12x Modules)
Yel	- Circuit 3 (9x Modules)
Pur	- Circuit 4 (11x Modules)
Blu/Red	- Circuit 5 (7x Modules)
Org/Red	- Circuit 6 (8x Modules)
Yel/Red	- Circuit 7 (12x Modules)
Pur/Red	- Circuit 8 (10x Modules)

String Homeruns to Combiner

(1 1/4" EMT - 4 x #4 THWN-2 & 1 x #4 AWG GND)) - Blu & Org

(1 1/4" EMT - 2 x #4 THWN-2, 2 x #6 THWN-2, 2 x #8 THWN-2 & 1 x #4 AWG GND) - Yel & Pur & Blu/Red

(3/4" EMT - 6 x #10 THWN-2 & 1 x #10 AWG GND) - Org/Red & Yel/Red & Pur/Red



Organ Mountain Solar
400 South Compress Road
Suite D
Las Cruces, NM 88005
(575) 288-1792
NM Electrical Contractor's
License # 394801

Owner
Kevin & Bertha McShea

Utility-Interactive Photovoltaic System
System Size = 26.40 kWdc
1925 Snow Road
Mesilla, NM 88046

DESIGNER:
Pollozois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	3/21/21

CIRCUIT DIAGRAM
PV-1.3a

Array:
80 x Panasonic Modules

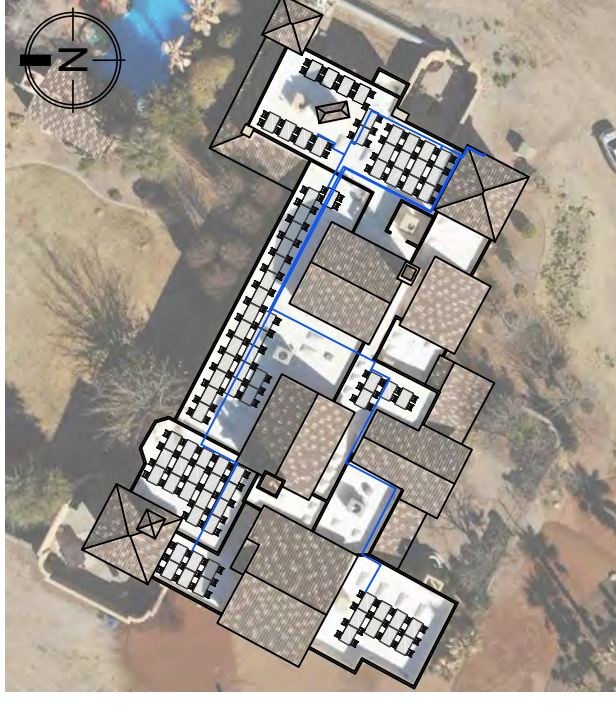


1 Circuit Diagram

Scale: N.T.S.

Note:

-All new conduit will follow securing and supporting requirements established in the NEC Articles 348, 350, and 358 for FMC, LFMC and EMT respectively.



2 Roof Diagram

Scale: N.T.S.

(1 1/4" EMT)
2 x #4 THWN-2 (Yellow)
2 x #6 THWN-2 (Purple),
2 x #8 THWN-2 (Blue-Red)
1 x #4 AWG GND

(1" EMT)
2 x #4 THWN-2 (Yellow)
2 x #8 THWN-2 (Purple),
1 x #4 AWG GND

(1" EMT)
2 x #4 THWN-2 (Yellow),
1 x #4 AWG GND

- Legend:
- Circuit 1 (11x Modules)
 - Circuit 2 (12x Modules)
 - Circuit 3 (9x Modules)
 - Circuit 4 (11x Modules)
 - Circuit 5 (7x Modules)
 - Circuit 6 (8x Modules)
 - Circuit 7 (12x Modules)
 - Circuit 8 (10x Modules)

String Homeruns to Combiner

(1 1/4" EMT - 4 x #4 THWN-2 & 1 x #4 AWG GND)) - Blu & Org

(1 1/4" EMT - 2 x #4 THWN-2, 2 x #6 THWN-2, 2 x #8 THWN-2 & 1 x #4 AWG GND) - Yel & Pur & Blu/Red

(3/4" EMT - 6 x #10 THWN-2 & 1 x #10 AWG GND) - Org/Red & Yel/Red & Pur/Red



Organ Mountain Solar
400 South Compress Road
Suite D
Las Cruces, NM 88005
(575) 288-1792
NM Electrical Contractor's
License # 394801

Owner
Kevin & Bertha McShea

Utility-Interactive Photovoltaic System
System Size = 26.40 kWdc
1925 Snow Road
Mesilla, NM 88046

DESIGNER:
Polizois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	3/21/21

CIRCUIT DIAGRAM

PV-1.3b



Organ Mountain Solar
 400 South Compress Road
 Suite D
 Las Cruces, NM 88005
 (575) 288-1792
 NM Electrical Contractor's
 License # 394801

Owner
Kevin & Bertha McShea
 Utility-Interactive Photovoltaic System
 System Size = 26.40 kWdc
 1925 Snow Road
 Mesilla, NM 88046

DESIGNER:
Pollozois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	3/21/21

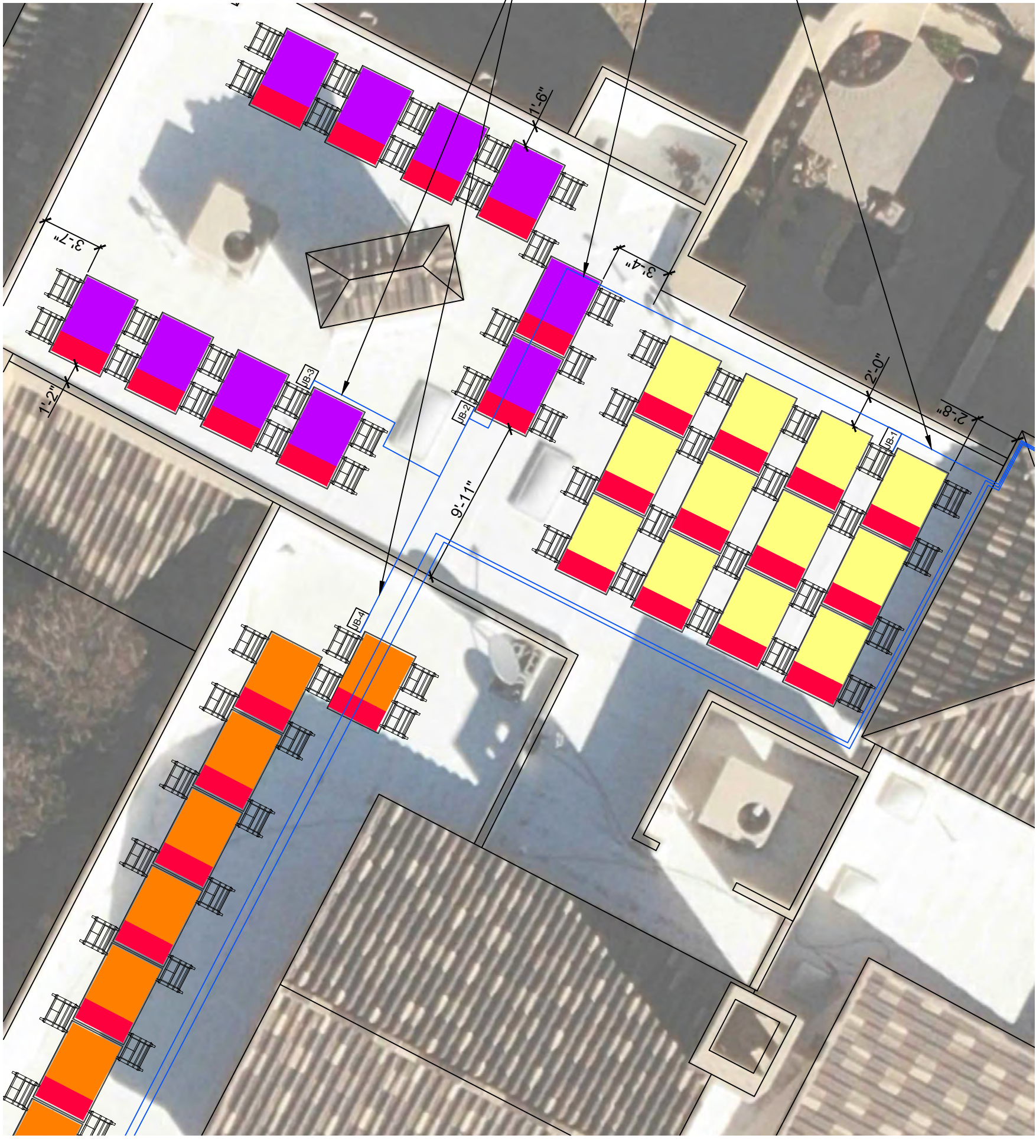
CIRCUIT DIAGRAM
PV-1.3C



2 Roof Diagram
 Scale: N.T.S.

- (1/2" EMT)
2 x #10 THWN-2,
1 x #10 AWG GND
- (3/4" EMT)
4 x #10 THWN-2,
1 x #10 AWG GND
- (3/4" EMT)
6 x #10 THWN-2,
1 x #10 AWG GND

- Legend:
- Blu - Circuit 1 (11x Modules)
 - Org - Circuit 2 (12x Modules)
 - Yel - Circuit 3 (9x Modules)
 - Pur - Circuit 4 (11x Modules)
 - Blu/Red - Circuit 5 (7x Modules)
 - Org/Red - Circuit 6 (8x Modules)
 - Yel/Red - Circuit 7 (12x Modules)
 - Pur/Red - Circuit 8 (10x Modules)



Array:
 80 x Panasonic Modules

1 Circuit Diagram
 Scale: N.T.S.

String Homeruns to Combiner

- (1 1/4" EMT - 4 x #4 THWN-2 & 1 x #4 AWG GND)) - Blu & Org
- (1 1/4" EMT - 2 x #4 THWN-2, 2 x #6 THWN-2, 2 x #8 THWN-2 & 1 x #4 AWG GND) - Yel & Pur & Blu/Red
- (3/4" EMT - 6 x #10 THWN-2 & 1 x #10 AWG GND) - Org/Red & Yel/Red & Pur/Red

Note:
 -All new conduit will follow securing and supporting requirements established in the NEC Articles 348, 350, and 358 for FMC, LFMC and EMT respectively.

Note:
-Special Access Instructions: None.



Organ Mountain Solar
400 South Compress Road
Suite D
Las Cruces, NM 88005
(575) 288-1792
NM Electrical Contractor's
License # 394801

Owner

Kevin & Bertha McShea
Utility-Interactive Photovoltaic System
System Size = 26.40 kWdc
1925 Snow Road
Mesilla, NM 88046

DESIGNER:

Polizois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	3/21/21

DESIGN SUMMARY

Number of Modules	80
Module Tilt Angle	10°
Module Azimuth	210°
Average Annual Shading	11.30%
Year 1 Production Estimate	44571 kWh

SITE PLAN

PV-1.0

Installation Site



2 Vicinity Map

Scale: CUSTOM

SHEET NOTES

- 1 Exact location of equipment and conduit is subject to minor variations during installation.
- 2 Estimated annual energy production is based on existing site conditions and this array layout. Annual variations in weather and module degradation will affect production.

Design Approval

I approve of this design showing all equipment and locations, and estimated production. Any change to this design may result in delays and additional costs.

Approved By: _____

Date: _____

**Roof Mounted Array
80 x Sunpower Modules**

**AC Combiner Panel /
Production Monitor (Outside)**

**QF Visible Manual Fusible
AC Disconnect / Production Meter
(Outside)**

**Existing Main Service Disconnects
& Panels (Outside)**

**Existing Utility Meter
(Outside)**



1 Site Plan

Scale: 1" = 20'

Note:
-Special Access Instructions: None.



1 Site Plan
Scale: 1" = 20'



2 Vicinity Map
Scale: CUSTOM

SHEET NOTES	
1	Exact location of equipment and conduit is subject to minor variations during installation.
2	Estimated annual energy production is based on existing site conditions and this array layout. Annual variations in weather and module degradation will affect production.
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Date:	_____

- Roof Mounted Array
80 x Sunpower Modules
- AC Combiner Panel /
Production Monitor (Outside)
- QF Visible Manual Fusible
AC Disconnect / Production Meter
(Outside)
- Existing Main Service Disconnects
& Panels (Outside)
- Existing Utility Meter
(Outside)



Organ Mountain Solar
400 South Compress Road
Suite D
Las Cruces, NM 88005
(575) 288-1792
NM Electrical Contractor's
License # 394801

Owner
Kevin & Bertha McShea
Utility-Interactive Photovoltaic System
System Size = 26.40 kWdc
1925 Snow Road
Mesilla, NM 88046

DESIGNER:
Polizois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	3/21/21

DESIGN SUMMARY

Number of Modules	80
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SITE PLAN
PV-1.0

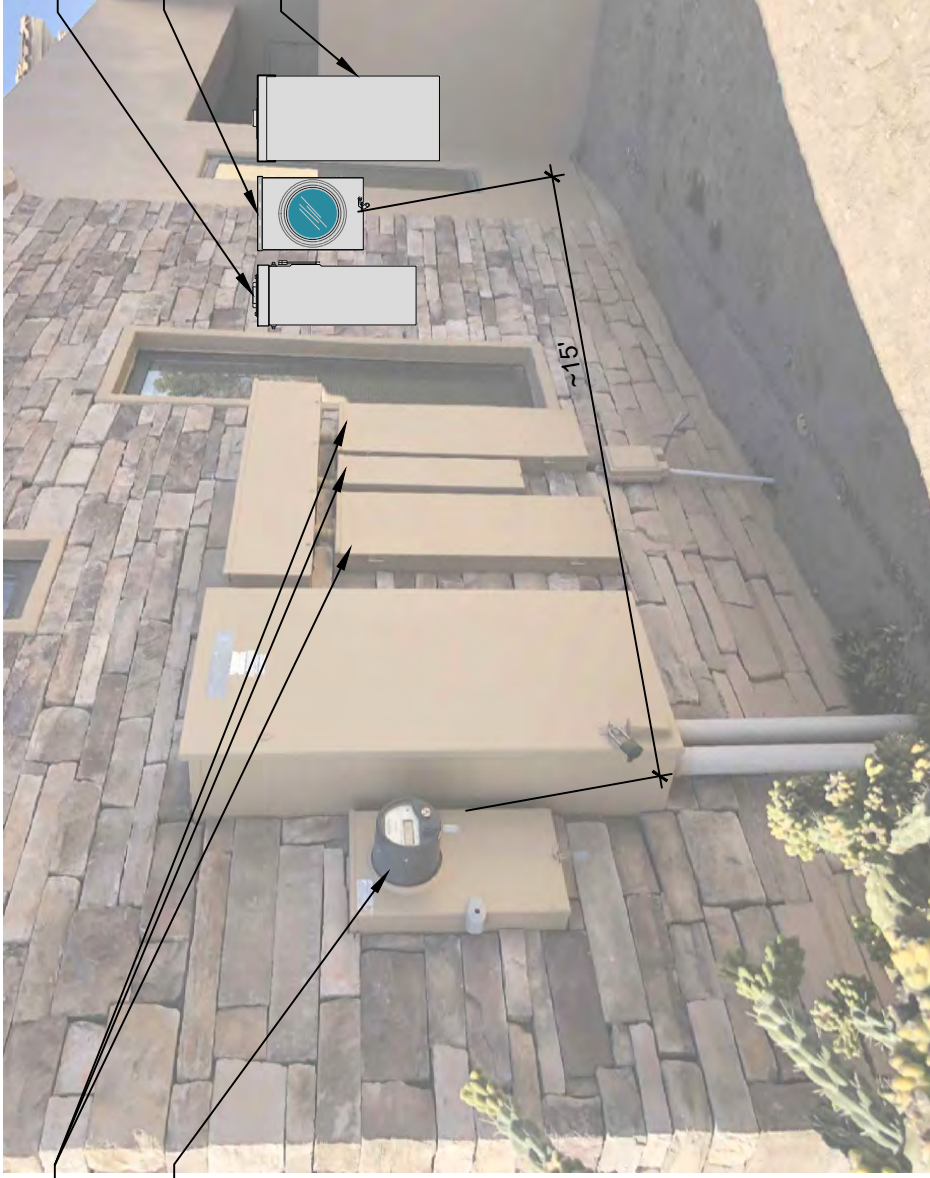
Existing Main Service
Disconnects & Panels

Existing Utility Meter

QF Visible AC Manual
Fusible Disconnect

Production Meter

AC Combiner Panel
& Data Monitoring Unit



PRODUCTION METER WILL BE MOUNTED ~15FT FROM THE UTILITY METER DUE TO CLEARANCE REQUIREMENTS FROM THE GAS PRESSURE RELIEF VALVE & LACK OF AVAILABLE SPACE.

1

Partial Elevation

Scale: CUSTOM

REV	DESCRIPTION	DATE
0	Initial Release	3/20/21

DESIGNER: Polizois Dallis



Organ Mountain Solar
400 South Compress Road, Suite D
Las Cruces, NM 88005
(575) 288-1792

NM Electrical Contractor's License # 394801

Owner

Kevin & Bertha McShea

Utility-Interactive Photovoltaic System

System Size = 26.40 kWdc

1925 Snow Road
Mesilla, NM 88046

PV-1.2



Organ Mountain Solar
400 South Compress Road
Suite D
Las Cruces, NM 88005
(575) 288-1792

NM Electrical Contractor's
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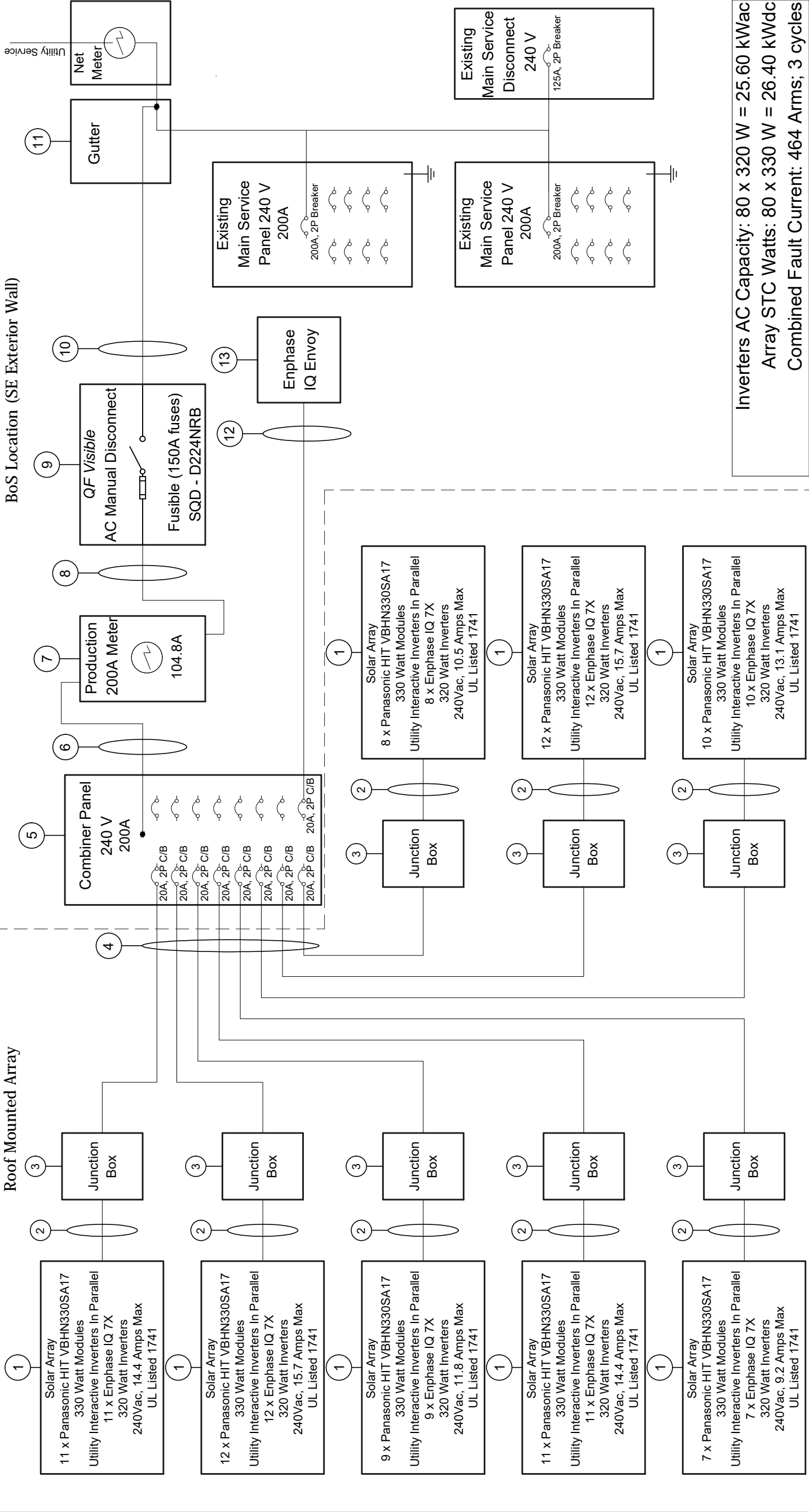
DESIGNER:
Polizois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	3/21/21

DESIGN SUMMARY

Number of Modules	80
Module Tilt Angle	10°
Module Azimuth	210°
Year 1 Production Estimate	44571 kWh

ONE-LINE DIAGRAM
PV-3.0



- Keyed Notes**
- Electrical System Notes**
- All electrical components are UL listed where warranted
 - PV system shall be installed in accordance with Article 690 of the 2017 National Electric Code
 - Electrical lugs used with multiple conductors shall be rated for both multiple conductors and circular mil eccentric metal knockouts
 - Bond bushings shall be used on concentric and eccentric metal knockouts
 - EMT conduit shall include expansion joints where required
- Grounding Notes**
- A grounding electrode system in accordance with NEC 690.47 and 250.50 through 250.53 and 250.166 shall be provided
 - All grounds shall be connected to the main service ground in the existing Main Service
- Keyed Notes**
- Roof Mounted Array ($T_{\text{expected}} = 10\text{ F}$, $T_{\text{average}} = 100\text{ F}$) and 1x #6 AWG bare Cu per rack.
 - MicroInverter Conductors, TC-ER Cable, 2 x #12 AWG, 90 C wet rated.
 - J-Box 6x6x4 type 3R pass-through enclosure for wire transition or equivalent.
 - $\frac{3}{4}$ " EMT (min) contains 6x #10 AWG THWN-2 (current carrying conductors) and 1x #10 AWG THWN-2 (EGC).
 ~90° AC run at 1.03% Vdrop for #10 AWG THWN-2
 1 $\frac{3}{4}$ " EMT (min) contains 2x #4 AWG THWN-2 (current carrying conductors), 2x #6 AWG THWN-2 (current carrying conductors), 2x #8 AWG THWN-2 (current carrying conductors) and 1x #4 AWG THWN-2 (EGC).
 ~300° AC run at 0.96% Vdrop for #10 AWG THWN-2
 1 $\frac{3}{4}$ " EMT (min) contains 4x #4 AWG THWN-2 (current carrying conductors) and 1x #4 AWG THWN-2 (EGC).
 ~235° AC run at 0.92% Vdrop for #10 AWG THWN-2
 NEMA 3R, 200A rated panel.
 - NEMA 3R, 200A rated panel.
 - 1 $\frac{1}{2}$ " EMT (min) contains 2x #1/0 AWG THWN-2 (current carrying conductors), 1x #1/0 AWG THWN-2 (neutral) and 1x #6 AWG THWN-2 (EGC).
 - Milbank U7040XL TG, NEMA 3R, 200 A meter enclosure.
 - 1 $\frac{1}{2}$ " Nipple (min) contains 2x #1/0 AWG THWN-2 (current carrying conductors), 1x #1/0 AWG THWN-2 (neutral) and 1x #6 AWG THWN-2 (EGC).
 ~10° AC run at 0.11% Vdrop for #1/0 AWG THWN-2
 ~10° AC run at 0.11% Vdrop for #1/0 AWG THWN-2
 ~10° AC run at 0.11% Vdrop for #1/0 AWG THWN-2
- Keyed Notes**
- Square D224NRB, NEMA 3R, 200A rated fusible disconnect with 150A fuses.
 - 2" Sch.40 (Sch.80 above ground) (min) contains 2x #3/0 AWG THWN-2 (current carrying conductors), 1x #3/0 AWG THWN-2 (neutral) and 1x #4 AWG THWN-2 (GEC).
 ~30° AC run at 0.20% Vdrop for #3/0 AWG THWN-2
- TOTAL AC Vdrop = 1.44% (max)**
- Existing gutter and a new solar line side connection (line tap).
 - $\frac{1}{2}$ " EMT (min) contains 2x #10 AWG THWN-2 (current carrying conductors), 1x #10 AWG THWN-2 (neutral) and 1x #10 AWG THWN-2 (EGC).
 - Enphase IQ Envoy (data monitoring) in a NEMA 3R enclosure.

Kevin & Bertha McShea System Component List
Document Number PV-3.2

Ground Mount Array

System Component	Make/Model
Array -	80x Panasonic HIT N330, VBHN330SA17
Inverters	80x Enphase IQ7X-96-2-US
DC Combiner Box -	N/A
Inverter Combiner Panel -	SquareD QO13040L200RB
Customer Generation AC Disconnect -	SquareD D224NRB - 200A Rated
Production Meter Base -	Milbank U7040-RL-TG Meter Socket 200A Rated 1ph 4-Terminal
Racking System -	Unirac RM

Kevin & Bertha McShea
1925 Snow Road
Mesilla, NM 88046
McSheaK@comcast.net
(303) 910-0999

PROJECT TITLE	PROJECT ID	CREATED
ROOFMOUNT RM10	AA08D856	March 20, 2021, 11:01 p.m.

NAME	McShea, Kevin & Bertha	Designed by pdallis@78
ADDRESS	1925 Snow Road	ROOFMOUNT RM10
CITY, STATE	Mesilla, NM	Panasonic
MODULE	Panasonic HIT N330 or VBHN330SA16	80 - HIT N330 or VBHN330SA16
		1441.89 ft ²
		26.40 KW

BILL OF MATERIALS

LEGEND: ■ Base System Part ■ Accessory

PART NUMBER	PART TYPE	DESCRIPTION	QUANTITY	SUGGESTED QUANTITY	UNIT PRICE (USD)	TOTAL LIST PRICE (USD)
UserSupplied	Ballast Block	Ballast Block	390	390	0.00	0.00
310710	Ballast Bay	RM Ballast Bay 10 Degree	153	153	42.63	6522.39
310760	RM Roof Pad	RM Roof Pad	306	306	2.23	682.38
310750	Module Clip	RM Module Clip	448	448	1.13	506.24
310751	RM Hex Bolt	RM Hex Bolt (Module Clip)	448	448	0.47	210.56

BASE SYSTEM PRICE	\$7239.19	ACCESSORIES PRICE	\$682.38	TOTAL PRICE	\$7921.57
	\$0.274 PER WATT		\$0.026 PER WATT		\$0.300 PER WATT

This design is to be evaluated to the product appropriate Unirac Code Compliant Installation Manual which references International Building Code 2009, 2012, 2015, 2018 and ASCE 7-05, ASCE 7-10, ASCE 7-16 and California Building Code 2010, 2016. The installation of products related to this design is subject to requirements in the above mentioned installation manual.

DETAILED PARTS DESCRIPTION

QTY



Ballast Block UserSupplied Ballast Block

390

Standard 4x8x16 inch cap blocks. Nationwide availability. Please confirm the weight of your ballast block as this will affect the total blocks required for your installation.



Ballast Bay 310710 RM Ballast Bay 10 Degree

153

Aluminum ballast bay attaches to north and south module edges (for 10 degree tilt installations) and provides ballast placement location.



RM Roof Pad 310760 RM Roof Pad

306

TPE 201-73 BK Santoprene Roof Pad. PLEASE NOTE: Depending on your roof type and seismic conditions, some quantity of roof pads may be required. These will be listed separately on your bill of materials.



Module Clip 310750 RM Module Clip

448

Aluminum clip fastens module frame to ballast bay and provides bonding path from module to bay to module.



RM Hex Bolt 310751 RM Hex Bolt (Module Clip)

448

Hex bolt with integrated locking patch.

ENGINEERING REPORT

Plan review

AVERAGE PSF	7.02 psf
TOTAL NUMBER OF MODULES	80
TOTAL KW	26.40 KW
TOTAL AREA	~2361 ft ²
TOTAL WEIGHT ON ROOF	16586 lbs
RACKING WEIGHT	536 lbs
MODULE WEIGHT	3264 lbs
BALLAST WEIGHT	12480 lbs
MAX BAY LOAD (DEAD)	236 lbs

Loads Used for Design

BUILDING CODE	ASCE 7-10
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	20.00 psf
SEISMIC (SS)	0.28
ELEVATION	3890.00 ft
WIND EXPOSURE	C
MRI	25
RISK CATEGORY	II

Loads Determined by Zip

CITY, STATE	Mesilla, NM
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	0.00 psf

Inspection

PRODUCT	ROOFMOUNT RM10
MODULE MANUFACTURER	Panasonic
MODEL	HIT N330 or VBHN330SA16
MODULE WATTS	330 watts
MODULE LENGTH	62.60"
MODULE WIDTH	41.46"
MODULE THICKNESS	1.38"
MODULE WEIGHT	40.80 lbs
BALLAST BLOCK (CMU) WEIGHT	32.0 lbs
MAX BLOCKS PER BAY	4
BUILDING HEIGHT	15.00 ft
ROOF TYPE	MINERAL_CAP
PARAPET HEIGHT	> 1 Array Height (> 12 inches)

Roof Area 1 - Array 1

AVERAGE PSF	6.56 psf
TOTAL NUMBER OF MODULES:	6
TOTAL KW:	1.98 KW
TOTAL AREA:	174 ft ²
TOTAL WEIGHT ON ROOF:	1143 lbs
RACKING WEIGHT:	42 lbs
MODULE WEIGHT:	245 lbs
BALLAST WEIGHT:	832 lbs
ATTACHMENT COUNT	

MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
ARRAY TO ARRAY:	3.0"
TO FIXED OBJECT ON ROOF:	6.0"
TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
MAX NUMBER OF NORTH-SOUTH ROWS:	20
MAX NUMBER OF EAST-WEST COLUMNS:	89
*In jurisdictions that follow SEAOC PV-1 methodology.	

Roof Area 1 - Array 2

AVERAGE PSF	5.76 psf
TOTAL NUMBER OF MODULES:	17
TOTAL KW:	5.61 KW
TOTAL AREA:	480 ft ²
TOTAL WEIGHT ON ROOF:	2762 lbs
RACKING WEIGHT:	95 lbs
MODULE WEIGHT:	694 lbs
BALLAST WEIGHT:	1920 lbs
ATTACHMENT COUNT	

MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
ARRAY TO ARRAY:	3.0"
TO FIXED OBJECT ON ROOF:	6.0"
TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
MAX NUMBER OF NORTH-SOUTH ROWS:	20
MAX NUMBER OF EAST-WEST COLUMNS:	89
*In jurisdictions that follow SEAOC PV-1 methodology.	

Roof Area 1 - Array 3

AVERAGE PSF

6.04 psf

TOTAL NUMBER OF MODULES:	22
TOTAL KW:	7.26 KW
TOTAL AREA:	696 ft ²
TOTAL WEIGHT ON ROOF:	4201 lbs
RACKING WEIGHT:	147 lbs
MODULE WEIGHT:	898 lbs
BALLAST WEIGHT:	3072 lbs
ATTACHMENT COUNT	

MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *

ARRAY TO ARRAY:	3.0"
TO FIXED OBJECT ON ROOF:	6.0"
TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
MAX NUMBER OF NORTH-SOUTH ROWS:	17
MAX NUMBER OF EAST-WEST COLUMNS:	75

*In jurisdictions that follow SEAOC PV-1 methodology.

Roof Area 1 - Array 4

AVERAGE PSF

6.53 psf

TOTAL NUMBER OF MODULES:	9
TOTAL KW:	2.97 KW
TOTAL AREA:	261 ft ²
TOTAL WEIGHT ON ROOF:	1709 lbs
RACKING WEIGHT:	60 lbs
MODULE WEIGHT:	367 lbs
BALLAST WEIGHT:	1248 lbs
ATTACHMENT COUNT	

MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *

ARRAY TO ARRAY:	3.0"
TO FIXED OBJECT ON ROOF:	6.0"
TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
MAX NUMBER OF NORTH-SOUTH ROWS:	20
MAX NUMBER OF EAST-WEST COLUMNS:	89

*In jurisdictions that follow SEAOC PV-1 methodology.

Roof Area 1 - Array 5

AVERAGE PSF	10.98 psf
TOTAL NUMBER OF MODULES:	4
TOTAL KW:	1.32 KW
TOTAL AREA:	122 ft ²
TOTAL WEIGHT ON ROOF:	1338 lbs
RACKING WEIGHT:	35 lbs
MODULE WEIGHT:	163 lbs
BALLAST WEIGHT:	1120 lbs
ATTACHMENT COUNT	

MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
ARRAY TO ARRAY:	3.0"
TO FIXED OBJECT ON ROOF:	6.0"
TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
MAX NUMBER OF NORTH-SOUTH ROWS:	15
MAX NUMBER OF EAST-WEST COLUMNS:	65
*In jurisdictions that follow SEAOC PV-1 methodology.	

Roof Area 1 - Array 6

AVERAGE PSF	10.96 psf
TOTAL NUMBER OF MODULES:	4
TOTAL KW:	1.32 KW
TOTAL AREA:	113 ft ²
TOTAL WEIGHT ON ROOF:	1242 lbs
RACKING WEIGHT:	35 lbs
MODULE WEIGHT:	163 lbs
BALLAST WEIGHT:	1024 lbs
ATTACHMENT COUNT	

MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
ARRAY TO ARRAY:	3.0"
TO FIXED OBJECT ON ROOF:	6.0"
TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
MAX NUMBER OF NORTH-SOUTH ROWS:	17
MAX NUMBER OF EAST-WEST COLUMNS:	75
*In jurisdictions that follow SEAOC PV-1 methodology.	

Roof Area 1 - Array 7

AVERAGE PSF	6.09 psf
TOTAL NUMBER OF MODULES:	12
TOTAL KW:	3.96 KW
TOTAL AREA:	340 ft ²
TOTAL WEIGHT ON ROOF:	2072 lbs
RACKING WEIGHT:	70 lbs
MODULE WEIGHT:	490 lbs
BALLAST WEIGHT:	1472 lbs
ATTACHMENT COUNT	

MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
ARRAY TO ARRAY:	3.0"
TO FIXED OBJECT ON ROOF:	6.0"
TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
MAX NUMBER OF NORTH-SOUTH ROWS:	20
MAX NUMBER OF EAST-WEST COLUMNS:	89
*In jurisdictions that follow SEAOC PV-1 methodology.	

Roof Area 1 - Array 8

AVERAGE PSF	12.16 psf
TOTAL NUMBER OF MODULES:	6
TOTAL KW:	1.98 KW
TOTAL AREA:	174 ft ²
TOTAL WEIGHT ON ROOF:	2119 lbs
RACKING WEIGHT:	53 lbs
MODULE WEIGHT:	245 lbs
BALLAST WEIGHT:	1792 lbs
ATTACHMENT COUNT	

MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
ARRAY TO ARRAY:	3.0"
TO FIXED OBJECT ON ROOF:	6.0"
TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
MAX NUMBER OF NORTH-SOUTH ROWS:	15
MAX NUMBER OF EAST-WEST COLUMNS:	65
*In jurisdictions that follow SEAOC PV-1 methodology.	

RM10 U-BUILDER PRODUCT ASSUMPTIONS

RM10 – Ballasted Flat Roof Systems

Limitations of Responsibility: It is the user's responsibility to ensure that inputs are correct for your specific project.

Unirac is not the solar, electrical, or building engineer of record and is not responsible for the solar, electrical, or building design for this project.

Building Assumptions

1. Building Height \leq 50 ft
2. Building Height > 50 ft: only where (longest length of building x building height)^{0.5} \leq 100 ft
3. Roof Slope \geq 0° (0:12) and \leq 3° (5/8:12) for Seismic Design Category C, D, E and F. For low seismic regions Seismic Design Category A and B (provided Array Importance factor = 1.0), Roof Slope \geq 0° (0:12) and \leq 7° (1 1/2:12).
4. Roofing Material Types: EDPM, PVC, TPO, or Mineral Cap
5. Surrounding Building Grade: Level

Ballast Blocks

The installer is responsible for procuring the ballast blocks (Concrete Masonry Units – CMU) and verifying the required minimum weight needed for this design. CMU should comply with ASTM standard specification for concrete roof pavers designation (C1491 or C90 with an integral water repellent suitable for the climate it is placed. It is recommended that the blocks are inspected periodically for any signs of degradation. If degradation of the block is observed, the block should immediately be replaced.

The CMU ballast block should have nominal dimensions of 4"x8"x16". The actual block dimensions are 3/8" less than the nominal dimensions. Ballast blocks should have a weight as specified for the project in the "Inspection" section of this report.

Design Parameters

1. Risk Category I to III
2. Wind Design
 - a. Basic Wind Speed: 85-120 mph (ASCE 7-05)/110-150 mph (ASCE 7-10)/90-180 mph (ASCE 7-16)
 - b. Exposure: B, C or D (ASCE 7-05/ASCE 7-10)
 - c. 25 year Design Life/50 year Design Life for ASCE 7-16
 - d. Elevation: Insertion of the project at - grade elevation can result in a reduction of wind pressure. If your project is in a special case study region or in an area where wind studies have been performed, please verify with your jurisdiction to ensure that elevation effects have not already been factored into the wind speed. If elevation effects have been included in your wind speed, please select 0 ft as the project site elevation.
 - e. Wind Tunnel Testing: Wind tunnel testing coefficients have been utilized for design of the system.
3. Snow Design
 - a. Ground Snow Load: 0-80 psf (ASCE 7-10/ASCE 7-16)
 - b. Exposure Factor: 0.9
 - c. Thermal Factor: 1.2
 - d. Roof Snow Load: Calculation per Section 7.3 (ASCE 7-05/ASCE 7-10/ASCE 7-16)
 - e. Unbalanced/Drifting/Sliding: Results are based on the uniform snow loading and do not consider unbalanced, drifting, and sliding conditions
4. Seismic Design
 - a. Report *SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 – Structural Seismic Requirements and Commentary for Rooftop Solar Photovoltaic Arrays*
 - b. Seismic Site Class: A, B, C, or D (ASCE 7-05/ASCE 7-10/ASCE 7-16)
 - c. Importance Factor Array (Ip): 1.0
 - d. Importance Factor Building (Ie): 1.0
 - e. Site Class: D

Properties

1. Bay Weight: ~3.5 lbs
2. Module Gaps (E/W) = 0.25 in
3. Bays: North row bays overhang the module by ~19.5 inches.

Module Properties

1. Module return flange: Minimum of 0.9in (when using 1-3/4 in. clip bolts) is required.
2. Module return flange: Minimum of 0.65in (when using 2 in. clip bolts) is required.

Testing

1. Coefficient of Friction
2. Wind Tunnel
3. UL 2703
4. Component Testing (Bay and Clamp)

Setbacks

For the wind tunnel recommendations in U-Builder to apply, the following setbacks should be observed/followed for U-Builder wind design:

1. Modules should be placed a minimum of 3 feet from the edge of the building in any direction.
2. If the array is located near an obstruction that is 3.5 feet wide and 3.5 feet high or larger, the nearest module of the array must be located a distance from the obstruction that is greater than or equal to the height of the obstruction.
Exception: When using ASCE 7-16 Building Code and using the obstruction feature in the module editor to accurately model the size and location of obstruction.
3. Installations within the setbacks listed above require site specific engineering²
4. The setbacks above are for wind. High seismic areas, fire access isles, mechanical equipment, etc., may require larger setbacks than listed above for wind.

Site Specific Engineering

Conditions listed below are beyond the current capabilities of U-Builder. Site specific engineering is required.

1. Wind designs for a project design life exceeding 25 years^{1/ASCE 7-16}
2. Building assumptions and design parameters outside of U-Builder assumptions²
3. Attachments²
4. Risk Category III or IV projects (U-Builder can be adjusted for the correct wind, but not the seismic or snow design)²
5. Wind tunnel testing reduction factors are not permitted by the Authority Having Jurisdiction (AHJ)³
6. Seismic designs that fall outside SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 recommendations (>3% roof slope, or AHJ's that require shake table testing or non-linear site-specific response history analysis)³
7. Signed and sealed site-specific calculations, layouts, and drawings³

Notes:

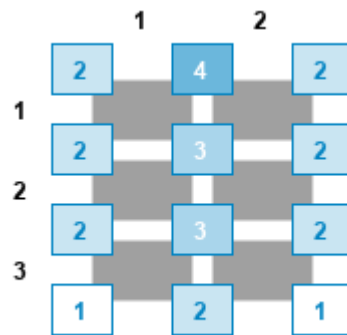
¹Please contact info@unirac.com.

²Please contact EngineeringServices@unirac.com for more information.




³Please contact Theresa Allen with PZSE Structural Engineers at theresa@pzse.com. These items will require direct coordination with PZSE to complete the requested services.

INSTALLATION AND DESIGN PLAN

Roof Area 1 / Roof Area 1 - Array 1



LEGEND

-  Module
-  Standard corner bay with CMU block count
-  Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

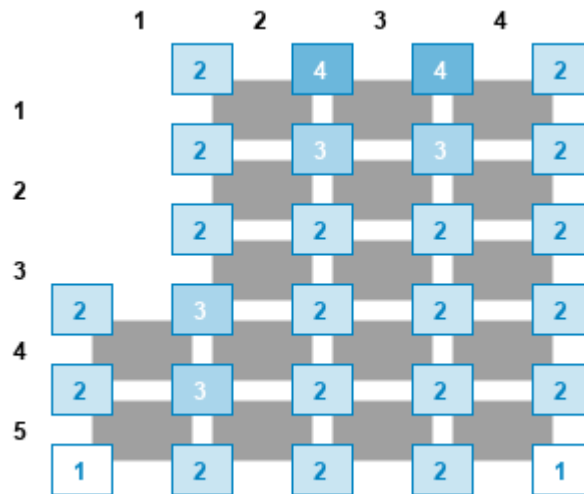
Layout Dimensions

NS DIMENSION ~ 16.71 ft




EW DIMENSION ~ 10.48 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	2	3	8	256
2	2	3	7	224
3	2	3	7	224
4	0	3	4	128

Roof Area 1 / Roof Area 1 - Array 2



LEGEND

-  Module
-  Standard corner bay with CMU block count
-  Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

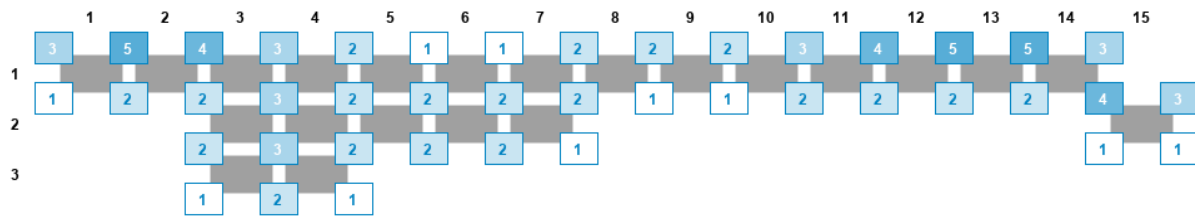
Layout Dimensions

NS DIMENSION ~ 26.76 ft




EW DIMENSION ~ 20.95 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	3	4	12	384
2	3	4	10	320
3	3	4	8	256
4	4	5	11	352
5	4	5	11	352
6	0	5	8	256

Roof Area 1 / Roof Area 1 - Array 3



LEGEND

-  Module
-  Standard corner bay with CMU block count
-  Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

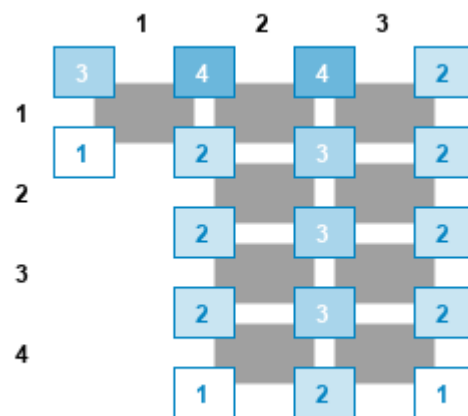
Layout Dimensions

NS DIMENSION ~ 16.71 ft

EW DIMENSION ~ 78.56 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	14	15	45	1440
2	6	16	33	1056
3	2	8	14	448
4	0	3	4	128

Roof Area 1 / Roof Area 1 - Array 4



LEGEND

- Module
- 1 Standard corner bay with CMU block count
- 4 Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

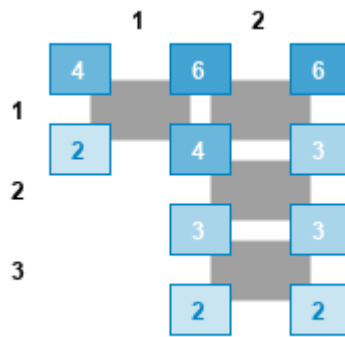
Layout Dimensions

NS DIMENSION ~ 21.74 ft




EW DIMENSION ~ 15.71 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	3	4	13	416
2	2	4	8	256
3	2	3	7	224
4	2	3	7	224
5	0	3	4	128

Roof Area 1 / Roof Area 1 - Array 5



LEGEND

-  Module
-  Standard corner bay with CMU block count
-  Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

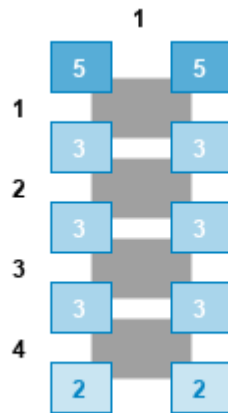
Layout Dimensions

NS DIMENSION ~ 16.71 ft




EW DIMENSION ~ 10.48 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	2	3	16	512
2	1	3	9	288
3	1	2	6	192
4	0	2	4	128

Roof Area 1 / Roof Area 1 - Array 6



LEGEND

-  Module
-  Standard corner bay with CMU block count
-  Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

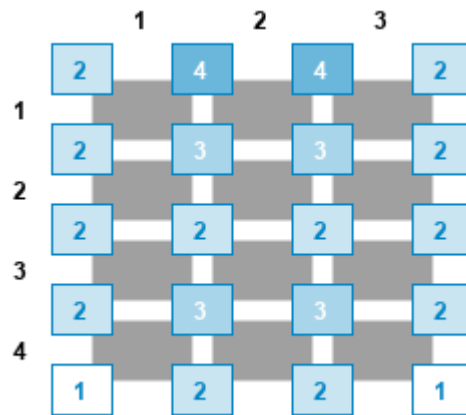
Layout Dimensions

NS DIMENSION ~ 21.74 ft




EW DIMENSION ~ 5.24 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	1	2	10	320
2	1	2	6	192
3	1	2	6	192
4	1	2	6	192
5	0	2	4	128

Roof Area 1 / Roof Area 1 - Array 7



LEGEND

-  Module
-  Standard corner bay with CMU block count
-  Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

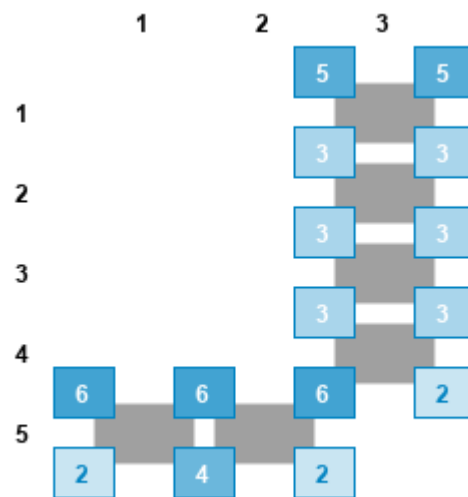
Layout Dimensions

NS DIMENSION ~ 21.74 ft




EW DIMENSION ~ 15.71 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	3	4	12	384
2	3	4	10	320
3	3	4	8	256
4	3	4	10	320
5	0	4	6	192

Roof Area 1 / Roof Area 1 - Array 8



LEGEND

-  Module
-  Standard corner bay with CMU block count
-  Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

Layout Dimensions

NS DIMENSION ~ 26.76 ft

EW DIMENSION ~ 15.71 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	1	2	10	320
2	1	2	6	192
3	1	2	6	192
4	1	2	6	192
5	2	4	20	640
6	0	3	8	256



January 8, 2020

Unirac
1411 Broadway Boulevard NE
Albuquerque, New Mexico 87102-1545
TEL: (505) 242- 6411
FAX: (505) 242-6512

Attn.: Engineering Department,

Re: Engineering Certification for the Unirac RM Roof Mounted Ballasted Photovoltaic Panel Support System.

The Unirac RM Roof Mounted Ballasted Photovoltaic Panel Support System is a proprietary framed ballasted assembly which supports Photovoltaic panels. The ballast frames hold the PV panels and are ballasted with concrete blocks as required for the wind loads. The wind uplift loads are resisted directly by the ballast. Lateral forces, both wind and seismic, are resisted by friction between the ballast and the roof surface. For wind forces, the system is designed for no lateral or vertical displacement of the array. For seismic forces, the system is designed per SEAOC PV1-2012 requirements for lateral movement/displacement.

The ballasting requirements are determined using the Unirac online “U-Builder” Design Assistant tool. The Design Assistant covers a wide range of system configurations and loading and allows the user to customize the input to match the specific project conditions.

We have reviewed the Unirac RM Roof Mounted Ballasted Photovoltaic Panel Support System, the RDWI wind tunnel test results and the Unirac ballasted system design methodology and have determined that the Unirac RM ballasted system design methodology is a rational approach and is in compliance with the structural requirements of the following Reference Documents:

Codes: ASCE/SEI 7-05 and ASCE/SEI 7-10 Minimum Design Loads for Buildings and other Structures
International Building Code, 2009, 2012 & 2015 Editions
Other: Aluminum Design Manual, 2010 & 2015 Edition
RWDI Wind Pressure Study Report #1300856
SEAOC PV1-2012 Report – Structural Seismic Requirements and Commentary for Rooftop Solar PV Arrays
SEAOC PV2-2012 Report - Wind Design for Low-Profile Solar Photovoltaic Arrays on Flat Roofs
Terrapin Testing #TT513010-ASTM G115 Coefficient of Friction Testing Report

This letter certifies that the Unirac RM Roof Mounted Ballasted Photovoltaic Panel Support System and the Unirac online “U-Builder” Design Assistant tool are in compliance with the above Reference Documents.

If you have any questions on the above, do not hesitate to call.

Prepared By:
PZSE, Inc. - Structural Engineers
Roseville, CA



TOWN OF MESILLA
PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:
Case # 061190
Fee \$ 141.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061190 ZONE: RE CODE: M1 APPLICATION DATE: 3/21/21

McShea, Kevin & Bertha (303) 910-0999

Name of Applicant/Owner 1925 Snow Road Mesilla Applicant's Telephone Number NM 88046

Applicant's/Owner's Mailing Address City State Zip Code
McSheaK@comcast.net

Applicant's/Owner's E-mail Address
Organ Mountain Solar & Electric

Contractor's Name & Address (If none, indicate Self) (575) 288-1792 82-4764366 394801

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 1925 Snow Road, Mesilla NM 88046

Description of Proposed Work: This is a roof mounted solar installation.

DocuSigned by: Scott Burns 3/21/2021

\$ 85,460 Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: Ran...

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____

Approved Date: _____ BOT Disapproved Date: _____

Disapproved Date: _____ Approved with Conditions

Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: BOT APPROVAL REQUIRED

CID APPROVAL REQUIRED

NO CHANGES TO APPEARANCE OF STRUCTURE

PERMISSION ISSUED/DENIED BY: Z. Shum ISSUE DATE: _____

- This Application will include the following, if checked:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 - Site Plan with dimensions and details.
 - Proof of legal access to the property.
 - Drainage plan.
 - Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 - Other information as necessary or required by the City Code or Community Development:

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST
[PZHAC CONSENT AGENDA – 4/5/2021]**

Item:

Case 061191 – 2920 Camino Castillo, submitted by Justin Bannister, a request for a zoning permit to allow the installation of photo-voltaic electric panels on the roof of a dwelling at this address. Zoned: Residential, one-acre minimum lot (R1).

Description of Work Done:

The applicant would like to install photo-voltaic electric panels on the dwelling on the property. The panels will not be visible from the ground. There will be no other work done on the dwelling, or any other structures on the property. There will be no changes to the visual appearance of the property.

Consistency with the Code:

Since the proposed repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit** – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

Doña Ana County, NM

General Reference Maps

Map Help

Doña Ana County Geospatial

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number

Enter Value:

Search

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400923](#)

Parcel Number: 4006137513504

Owner: BANNISTER JUSTIN

Mail Address: 2920 CAMINO CASTILLO

Subdivision: LOS CASTILLOS DEL SOL SUBDIVISION (BK 13 PG 267 - 8410215)

Property Address: 2920 CAMINO CASTILLO

Acres: 1



Doña Ana County Flood

Property Record Card

Doña Ana Assessor

**BANNISTER JUSTIN
BANNISTER TRISHA**

Account: R0400923

Parcel: 4-006-137-513-504

Tax Area: 2DIN_R - 2DIN_R

Situs Address:
2920 CAMINO CASTILLO
Mesilla, 88046

Acres: 1.000

2920 CAMINO CASTILLO
LAS CRUCES, NM 88005-3886

Neighborhood R11 - MESILLA-PARK

Legal Description

Subd: LOS CASTILLOS DEL SOL SUBDIVISION (BK 13 PG 267 - 8410215) Lot: 12 S: 25 T: 23S R: 1E



Land Occurrence 1

Property Code	0100 - RESIDENTIAL LAND	Electricity	UE - UNDER-ELECTR
Gas	G - GAS	Measure	PA - PER-ACRE
Sewer Type	CS - CITY-SEWER	Street Code	A - ASPHALT
Topography Code	L - LEVEL	Acres	1
Zoning	R1 - SNGL-FAM-RES		

SubArea	ACTUAL	EFFECTIVE	HEATED	FOOTPRINT
Acres				
Total				

Residential Occurrence 1

Property Code	0120 - RESIDENTIAL IMPROVEMENT	Actual Year Built	1993
Air Conditioning	E - EVAP-COOLER	Architectural Style	PB - PUEBLO
Baths	4	Bedrooms	3
Building Type	PS - PRNCPL-SNGLE	Condition	VERY-GOOD
Construction Quality	V - VERY GOOD	Heating Fuel	G - GAS
Heating Type	FC - FORCED-CIRCU	Roof Cover	TG - TAR-GRAVEL
Roof Structure	F - FLAT	Stories	1.0

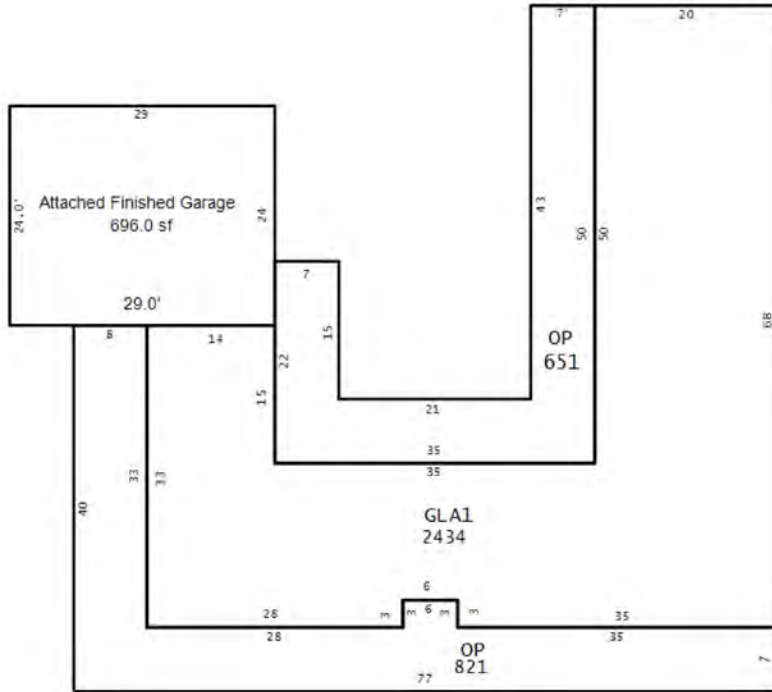
Property Record Card

Doña Ana Assessor

Residential Occurrence 1

Exterior Wall	SF - STUCCO-FRAME	Percent	100
Interior Wall	SR - SHEETROCK		

SubArea	ACTUAL	EFFECTIVE	HEATED	FOOTPRINT
GLA1 - First Floor	2434.0	2434.0	2434.0	2434.0
OP - Open Porch	1472.0	1472.0		1472.0
GAR_FN - Attached Finished Garage	696.0	696.0		696.0
Total	4,602.00	4,602.00	2,434.00	4,602.00



Assessment History

Type	Actual	Assessed
Residential Land	\$75,000	\$25,000
Residential Improvement	\$200,000	\$66,667
Actual (2021)	\$275,000	
Primary Taxable		\$91,667

BANNISTER JUSTIN
BANNISTER TRISHA
 2920 CAMINO CASTILLO
 LAS CRUCES, NM 88005-3886
 Neighborhood: R11 - MESILLA PARK

Account: R0400923
 Tax Acre: 2DJN_R-2DJN_R
 Acres: 1.000

Parcel: 4-006-137-513-504
 Situs Address:
 2920 CAMINO CASTILLO
 Mesilla, 88046

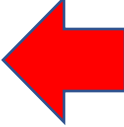
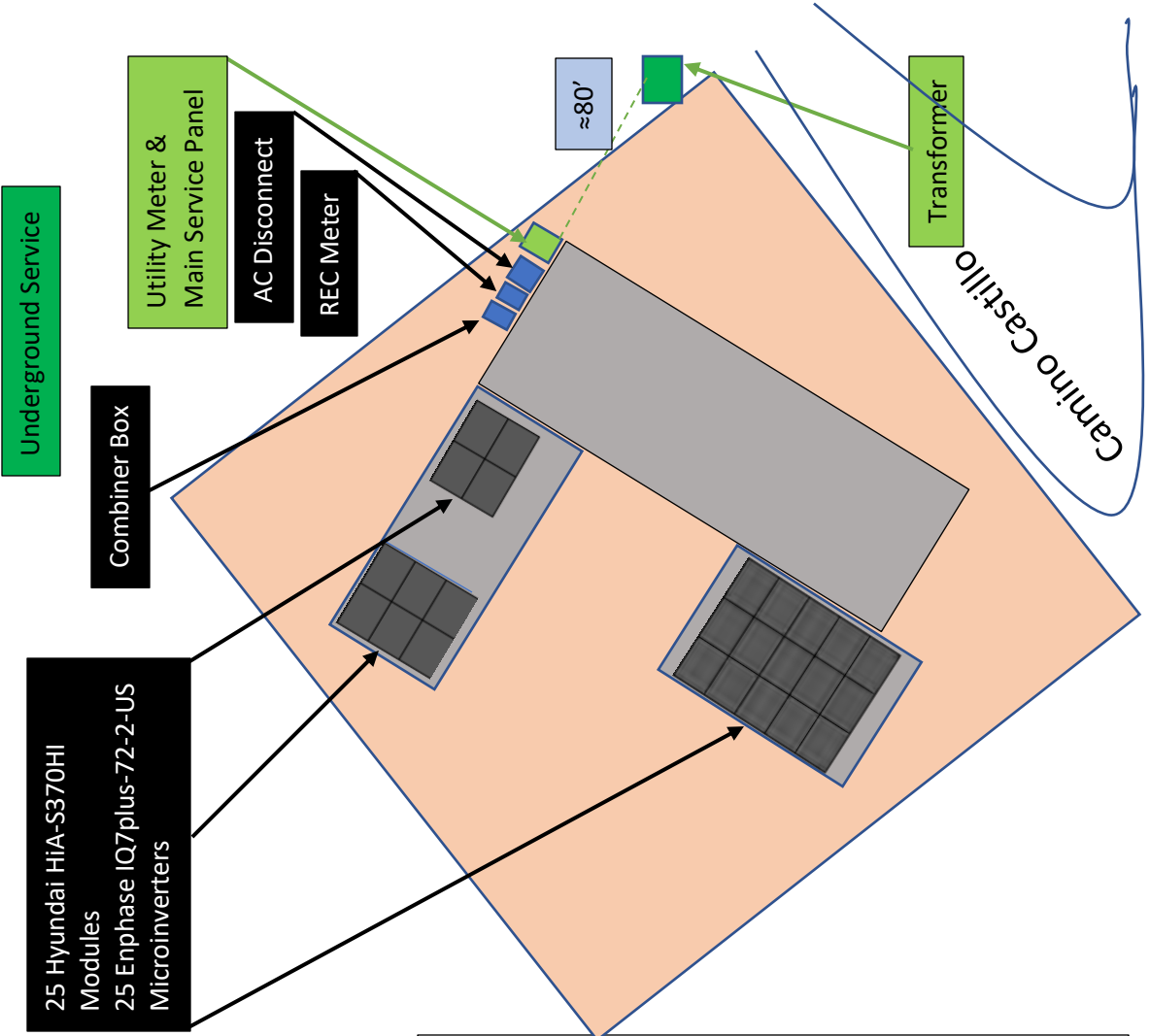
Legal Description
 Subd: LOS CASTILLOS DEL SOL SUBDIVISION (BK 13 PG 267 -
 8410215) Lot: 12 S; 25 T; 23S R; 1E




2920 Camino Castillo
 Las Cruces NM, 88005

Not to Scale

N

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:
Case # 061191 061191
Fee \$ 52.50

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061191 ZONE: R1 CODE: M1 APPLICATION DATE: 3/23/2021

Justin Bannister 575-649-3441
Name of Property Owner Property Owner's Telephone Number
2920 Camino Castillo Las Cruces New Mexico 88005
Property Owner's Mailing Address City State Zip Code
justinban@gmail.com
Property Owner's E-mail Address
Yellow Bird Services LLC
Contractor's Name & Address (if none, indicate Self)
575.523.8089 Lic #380200
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2920 Camino Castillo

Description of Proposed Work: residential solar ballast roof mount system

\$ 27,986.47 Laly Crespo 3/23/21
Estimated Cost Signature of Applicant Date

Signature of property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO APPEARANCE OF STRUCTURE.
CID PERMIT REQUIRED

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: 3/31/21

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. _____ Site Plan with dimensions and details.
3. _____ Foundation plan with details.
4. _____ Floor plan showing rooms, their uses and dimensions.
5. _____ Cross section of walls
6. _____ Roof and floor framing plan
8. _____ Proof of legal access to the property.
9. _____ Drainage plan.
10. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. _____ Proof of legal access to the property.
13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

A. Completed application, including:

1. Applicant's name
2. Applicant/property owners contact information
3. Physical address of property
4. Description of work to be done, including dimensions of any construction or repairs
5. Value of work to be done
6. Property owner's signature on the application

B. Include all information required in the checklist at the bottom of the application.

C. Additional information required:

**PZHAC NEW BUSINESS
APRIL 5, 2021**

**DECISION ITEMS
ZONING PERMITS**

PZHAC ACTION FORM
[PZHAC REVIEW – 4/5/2021]
STAFF ANALYSIS

Item:

Case 061177 – 2510 Calle de Parian, submitted by Stephen Carrasco, a request for an amendment to a previously approved permit to allow the addition of two wood gates to a property at this address. Zoned: Historic Residential (HR).

Staff Analysis:

This case was originally heard at the March 15, 2021 PZHAC meeting. The PZHAC approved the wall at that time but not the gates due to the fact that a visual representation of the gates had not been provided at that time. A photo (see attached) of one of the gates has been provided in the current packet. (The second gate is identical.) According to the applicant, these gates are over 150 years old and had been used at their previous home. They would now like to use the gates on either side of the dwelling on this property (see attached site diagram).

Estimated Cost: N/A

Consistency with the Code:

The PZHAC will need to determine that the use of the proposed gates will be consistent with the following sections of the Code:

18.06.110 Review of applications within Historical and General Commercial zones – Considerations.

- A. All applications for work in the Historical zones and Commercial zone (not subject to administrative approval) shall be reviewed by the planning, zoning and historical appropriateness commission. The commission shall determine whether the request involved will be appropriate for the purposes of this title. If the request shall be determined to be inappropriate, the board shall determine whether, owing to conditions especially affecting the building or structure involved, but not affecting the historical district generally, such application may be approved without substantial detriment to the public welfare and without substantial derogation of the intent and purposes of this title.
- B. In reviewing an application, the planning, zoning and historical appropriateness commission shall consider in addition to this chapter:
 1. The historical and literary value and significance of the site, building, or structure;
 2. The general design, arrangement, texture, material and color of the features, sign or billboard involved;
 3. The relation of such factors to similar factors or sites, buildings and structures in the immediate surroundings;
 4. The appropriateness of the size and shape of the building or structure in relation to:
 - a. The land area upon which the building or structure is situated;
 - b. The landscaping and planting features proposed by the applicant; and
 - c. The neighboring sites, buildings or structures within the historical district.
 5. The commission shall also consider the applicable zoning and other laws of the town.

8.33.060 Development zone.

A development zone defines the immediate physical vicinity to be used to identify the historic character of a particular area and includes the predominant architectural style and design standards of existing structures together with their setting.

- A. Function of the Development Zone. The function of the development zone is to provide for historically appropriate development within an existing historic district by setting standards for both new construction and alterations to existing structures.

The PZHAC will need to determine that the proposed gates will be consistent with other walls in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of adding two gates to the property dwelling at this address.
- The PZHAC has determined that the proposed wall meet all applicable Code requirements.

PZHAC OPTIONS:

1. **Recommend approval of the zoning permit to the BOT.**
2. **Recommend approval of the zoning permit to the BOT with conditions.**
3. **Postpone a decision on the zoning permit to allow the applicant to provide additional information.**
4. **Reject the zoning permit.**

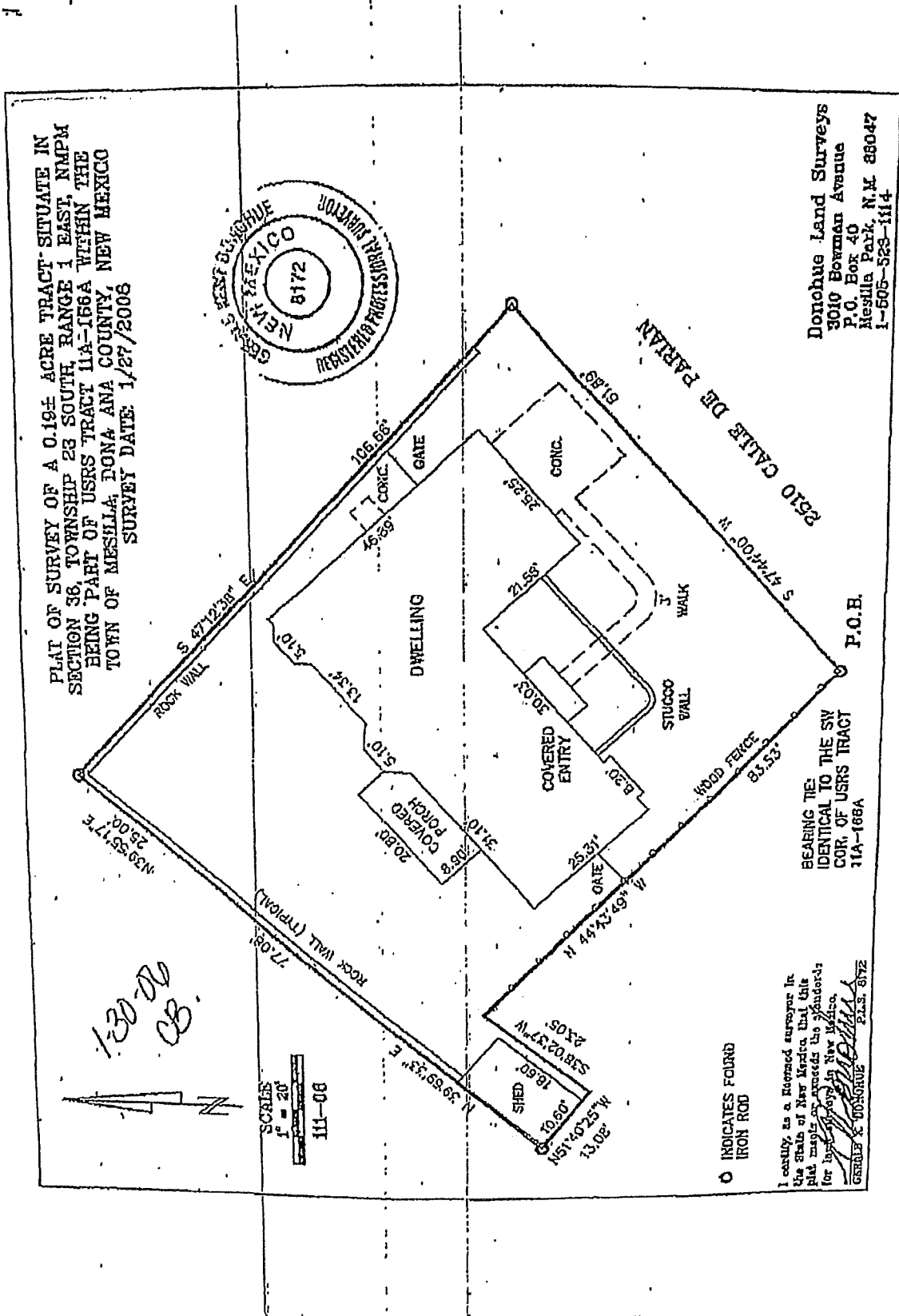
PZHAC ACTION:

JAN. 30. 2006 3:29PM
LBN 27 06 06:29P

DONA ANA TITLE CO.
Donohue Land Surveys

5055288704

NO. 606 P. 2/3
P. P



From: [Tristan Carrasco](#)
To: larrys@mesillanm.gov
Subject: Carrasco GATE
Date: Tuesday, March 30, 2021 11:51:33 AM
Attachments: [IMG_4468.jpg](#)

Hi Larry,

Here is a photo of the “gate” from when they were at our Los Angeles home. They will be set with a similar overhead wood post and two wood posts attached to the new wall on one side and the house on the other. Keep in mind, they are off to the side of the house, but will nevertheless add that old Mesilla charm to the property. They are over 150 years old and from a Hacienda in Mexico. Thanks for your help! Let me know if there’s any further questions/concerns.

Best,

Toby

st
TEMS
E



FOR: CARRASGO 2510 CALLE DE PARIAN

ROCK WALL

TAN; BUILT TO MATCH EXISTING
NORTH & EASTERN PROPERTY
WALLS.

FOOTING DETAIL

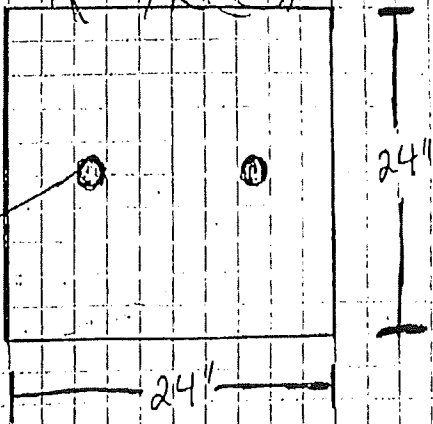


MORTAR
RATIO

3 Sand to 1 Cement

3000 psi
concrete mix

5/8" ^{thick}
Rebar



**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:
Case # 061177
Fee \$ 150.00

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061177 ZONE: UR CODE: M1 APPLICATION DATE: 2/11/21

Name of Property Owner: Toby & Stephen Carrasco Property Owner's Telephone Number: (505) 721-8859
 Property Owner's Mailing Address: P.O. Box W Mesilla City: Mesilla State: NM Zip Code: 88046
 Property Owner's E-mail Address: tristancarr@mac.com

Contractor's Name & Address (if none, indicate Self): M D M Custom Construction
 Contractor's Telephone Number: (575) 496-2392 Contractor's Tax ID Number: 26-2734360 Contractor's License Number: 384064

Address of Proposed Work: 2510 Calle De Panan

Description of Proposed Work: Replace unsightly broken wood fence along West property line with a rock wall to match existing rock walls around back property & East property lines to enhance the current eyesore. And
 Estimated Cost: \$ 10,000 Signature of Applicant: Toby Carrasco Date: 01/26/21
 Signature of property owner: Toby Carrasco

replace gate with 100 year old Mexican gates in the old Mesilla style

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO
 CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS
 CONDITIONS: PZHAC & BOT APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
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 6. Roof and floor framing plan
 8. Proof of legal access to the property.
 9. Drainage plan.
 10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. Proof of legal access to the property.
 13. Other information as necessary or required by the City Code or Community Development Department (See other slide.)

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

- A. Completed application, including:
1. Applicant's name
 2. Applicant/property owners contact information
 3. Physical address of property
 4. Description of work to be done, including dimensions of any construction or repairs
 5. Value of work to be done
 6. Property owner's signature on the application
- B. Include all information required in the checklist at the bottom of the application.
- C. Additional information required:
- Rock wall installation 515 sq ft.
8 ft. high except in front for visual clearance on
street - no higher than 4 ft sloping upward to
match house's Santa Fe roof style.
Gates will have a dark cedar header 6'x8" stained to match.

PZHAC ACTION FORM
[PZHAC REVIEW – 4/5/2021]
STAFF ANALYSIS

Item:

Case 061192 – 2455 Camino del Rey, submitted by Villa Custom Homes Inc. for Andrea Boni and Kirsten Pierce; a request for a zoning permit to allow the applicant to construct a new dwelling and pool on a one acre property at this address. Zoned: Residential, one-acre minimum lot (R1).

Description of Request:

The subject property is currently vacant and is a one acre lot located in a subdivision containing nine other similar sized lots. Four of the other lots contain dwellings that have either been completed or are currently under construction. A fifth permit for a new dwelling was approved by the PZHAC on March 15, 2021. These are similar in size to the proposed dwelling.

The dwelling will have three bedrooms and will have a total of 8,578 square feet of framed area with 5,024 square feet in heated and cooled area and about 1,826 square feet in garage areas. Porched, courtyards, stairs and outdoor living areas comprise another 1,728 square feet. There will also be an outdoor swimming pool on a rear deck of the dwelling. The dwelling will be single story with a flat roof having a maximum height of about 22 feet at the top of the RV garage. These heights are consistent with other dwellings that have been built in the subdivision. According to the designer, the pool will have an enclosed entertainment area with a dining area. Access will be from the pool area or the main dwelling.

Access to the dwelling will be from set back from Camino del Rey. Liquid waste disposal will be handled by a septic tank. Water is available by a water line operated by the Town.

A survey is attached showing the pad site as well as floor plans for the dwelling. Also included is a set of elevations for the dwelling. According to the applicant, the style and color of the dwelling will be appropriate for the other dwellings in the subdivision.

Estimated Cost: @ \$900,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed dwelling, when finished, will be consistent with the zoning requirements for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project. The proposed dwelling and pool appear to meet the requirements of Section 18.30 (R-1 Single Family Residential Zone) of the Code for new construction.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of building a new dwelling on a property at this address.
- The PZHAC has determined that the proposed structure meets all applicable Code requirements.

PZHAC OPTIONS:

1. **Approve the zoning permit.**
2. **Approve the zoning permit with conditions.**
3. **Postpone a decision on the zoning permit to allow the applicant to provide additional information.**
4. **Reject the zoning permit.**

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Number Enter Value:

Maps

Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: **R0401339**
 Parcel Number: 4007137121307
 Owner: BONI ANDREA
 Mail Address: PO BOX 13010
 Subdivision: LOS REYES SUBDIVISION
 (BK 22 PG 419-420 - 0804127)
 Property Address: 2455 CAMINO DEL REY
 Acres: 1



BUILDING & CODE DATA

APPLICABLE CODES AND DESIGN DATA:

- * 2009 NEW MEXICO RESIDENTIAL BUILDING CODE
- * 2009 INTERNATIONAL RESIDENTIAL CODE (IRC)

SINGLE FAMILY RESIDENCE

* BUILDING HEIGHT 17'-6" (MAXIMUM HT: 30'-0")

BUILDING IS IN A NON FLOOD ZONE

MINIMUM DESIGN LIVE LOADS:

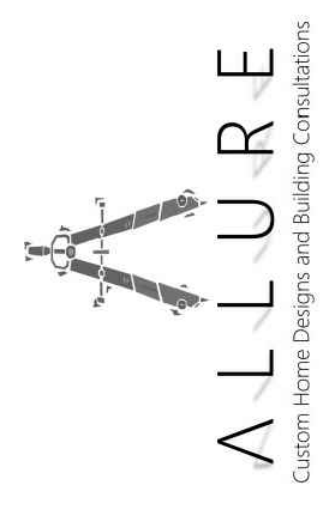
T.B.D PER TRUSS MANUFACTURER

ROOFS: T.B.D. BY TRUSS MANUFACTURER

SQ.FT. CALCULATION TABLE	SQ.FT.
HEATED AREA OF DWELLING	5,024
PORCHES INCLUDING STAIRS/COURTYARD/OUTDOOR LIVING	1,128
COVERED PORCHES	1,328
TOTAL COVERED AREA	3,578
MEANS OF EGRESS NO. OF EXITS 2	
EXIT WIDTHS PROVIDED 3'-0" - 4'-8" MIN.(width) 144" 3'-0"	
MAXIMUM DISTANCE TO EXITS 50'	

PLUMBING FIXTURE SCHEDULE	PROVIDED
TOILETS	4
LAVS	5
SINKS/INCLUDING KITCHEN SINK	3
TUB W/ SHOWER COMBO	1
FRAMED SHOWER	3

PG.	INDEX OF SHEETS
C.1	COVER SHEET/SITE PLAN 1 OF 6
A.1	FLOOR PLAN 2 OF 6
A.2	ELEVATION 3 OF 6
A.3	FOUNDATION PLAN 4 OF 6
A.4	ELECTRICAL/ROOF TRUSS 5 OF 6
P.1	PLUMBING ROUGH IN LAYOUT



ISSUED PERMIT:
REVISIONS: 4

VILLA CUSTOM HOMES
ON BEAMS WE BUILD YOUR DREAMS



ALL MEASUREMENTS, DIMENSIONS, & MATERIALS ARE TO BE CHECKED BY OWNER & CONTRACTOR & ARE THE RESPONSIBILITY OF THE OWNER & CONTRACTOR. THE STRUCTURAL INTEGRITY OF THIS PROJECT IS THE RESPONSIBILITY OF THE ARCHITECT. THIS DRAWING IS AN INSTRUMENT OF SERVICE FOR VILLA CUSTOM HOMES. ALLURE CUSTOM HOME DESIGNS, ARCHITECTS, INC. THIS DRAWING MAY NOT BE REPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT THEIR WRITTEN PERMISSION.

GENERAL CONTRACTOR

VILLA CUSTOM HOMES
JUDD M. SINGER
575-650-7377

PROJECT

"BONTI/PEARCE FAMILY"

SHEET TITLE

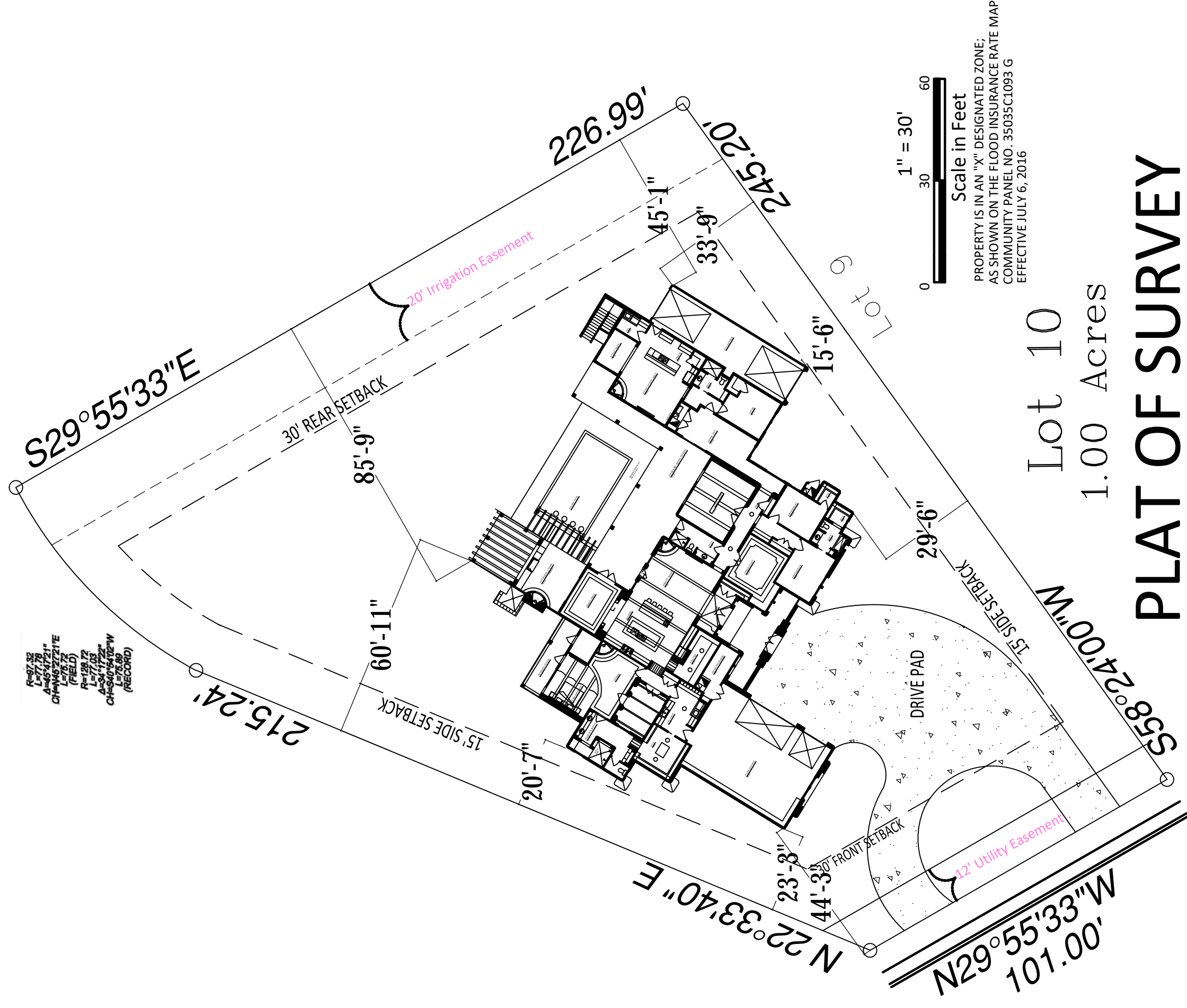
COVER SHEET/
SITE PLAN LAYOUT

DRAWN BY: S.GREEN

CHECKED BY: J.SINGER

DATE: 3/30/2021F

SHEET NUMBER: C.1



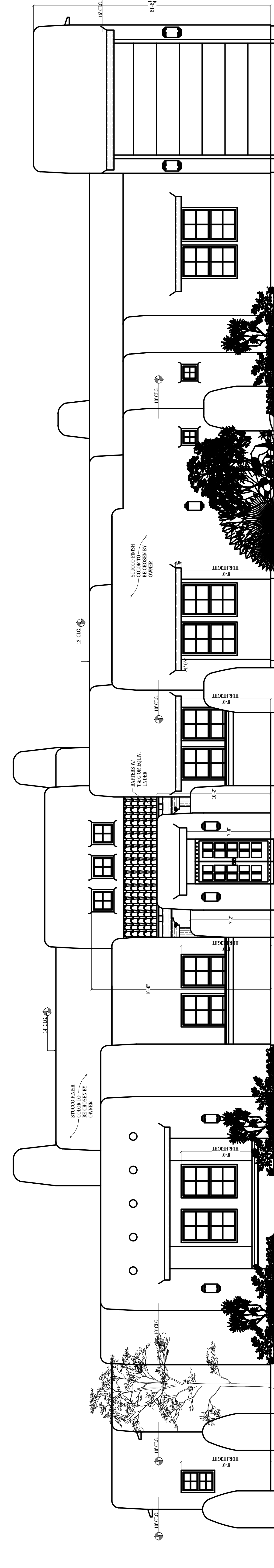
1" = 30'
Scale in Feet

PROPERTY IS IN AN "X" DESIGNATED ZONE. CHECK LOCAL JURISDICTION FOR ZONING MAP. COMMUNITY PANEL NO. 30385C009 6 EFFECTIVE JULY 6, 2015.

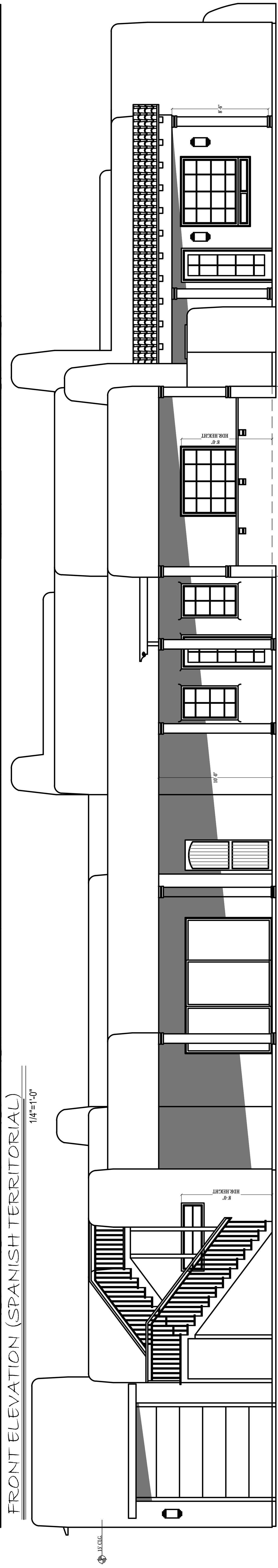
PLAT OF SURVEY

LOT 10
LOS REYES SUBDIVISION
PLAT FILED FEBRUARY 11, 2008, IN
PLAT BOOK 22, PAGES 419-420, OF THE
DONA ANA COUNTY RECORDS
TOWN OF MESILLA
DONA ANA COUNTY
NEW MEXICO

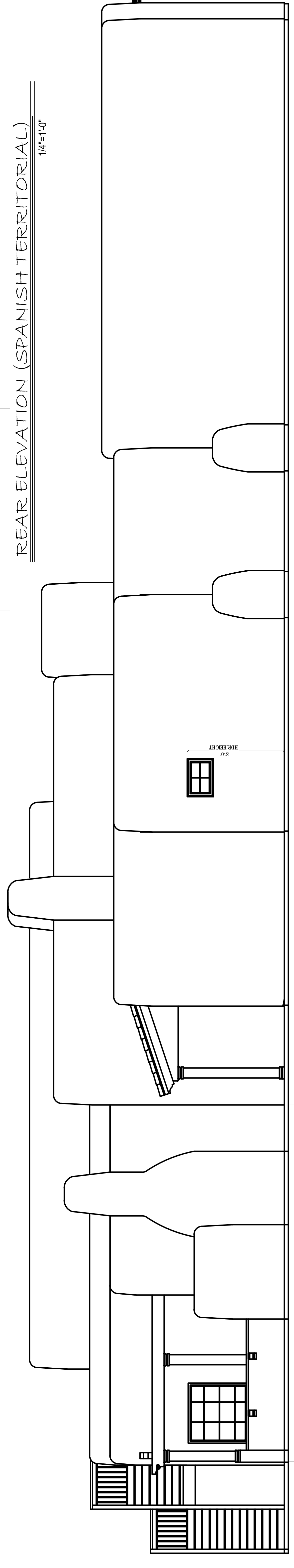
FRONT ELEVATION (SPANISH TERRITORIAL)
1/4"=1'-0"



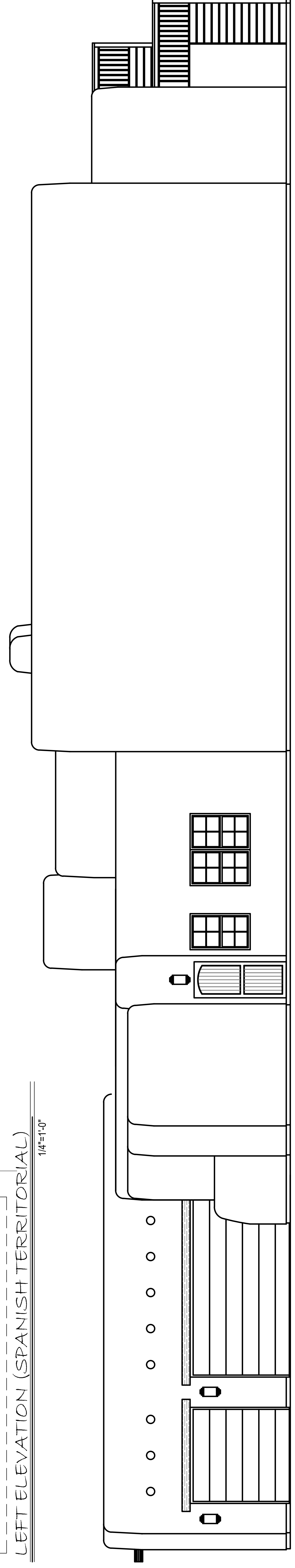
REAR ELEVATION (SPANISH TERRITORIAL)
1/4"=1'-0"

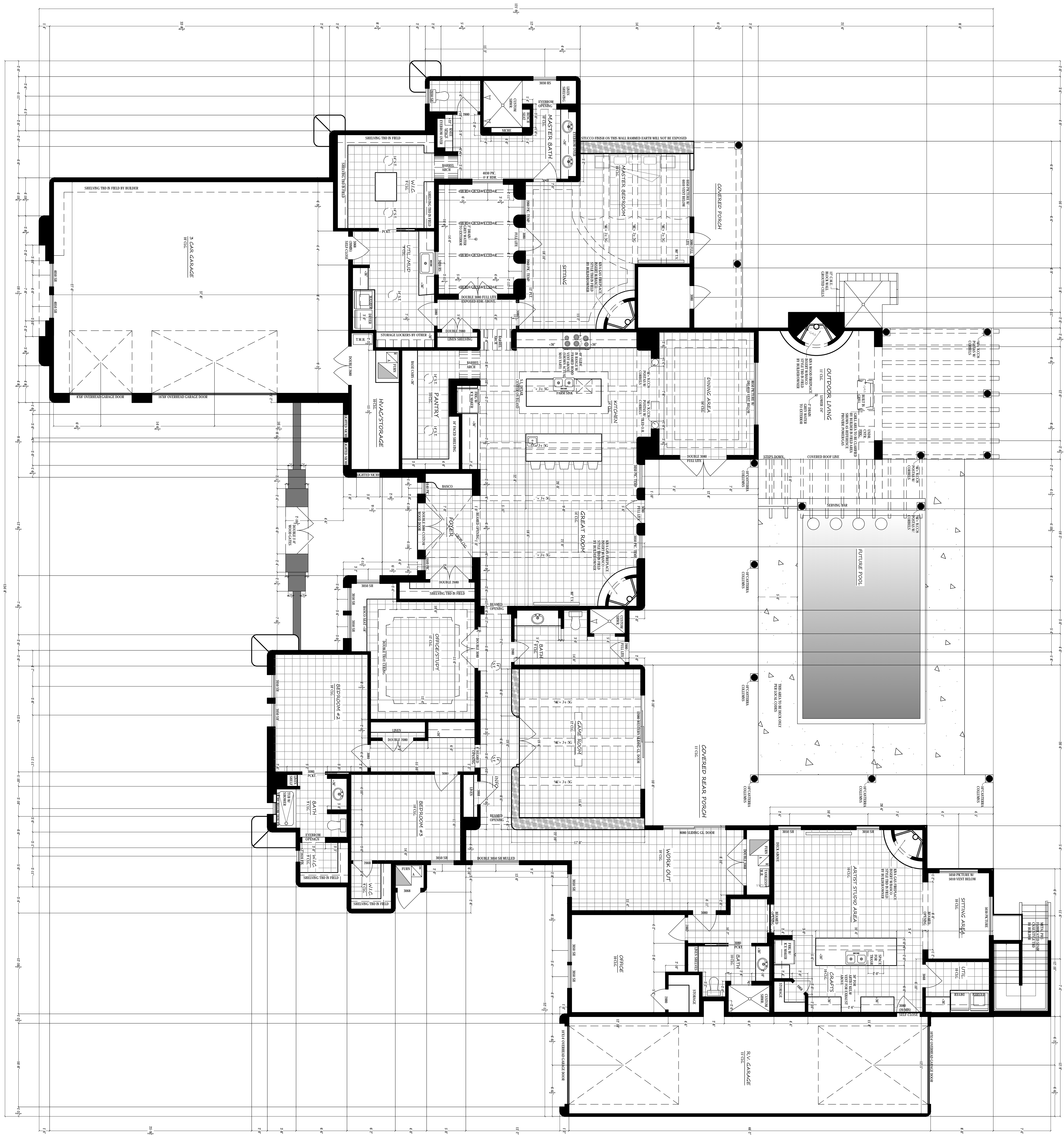


LEFT ELEVATION (SPANISH TERRITORIAL)
1/4"=1'-0"



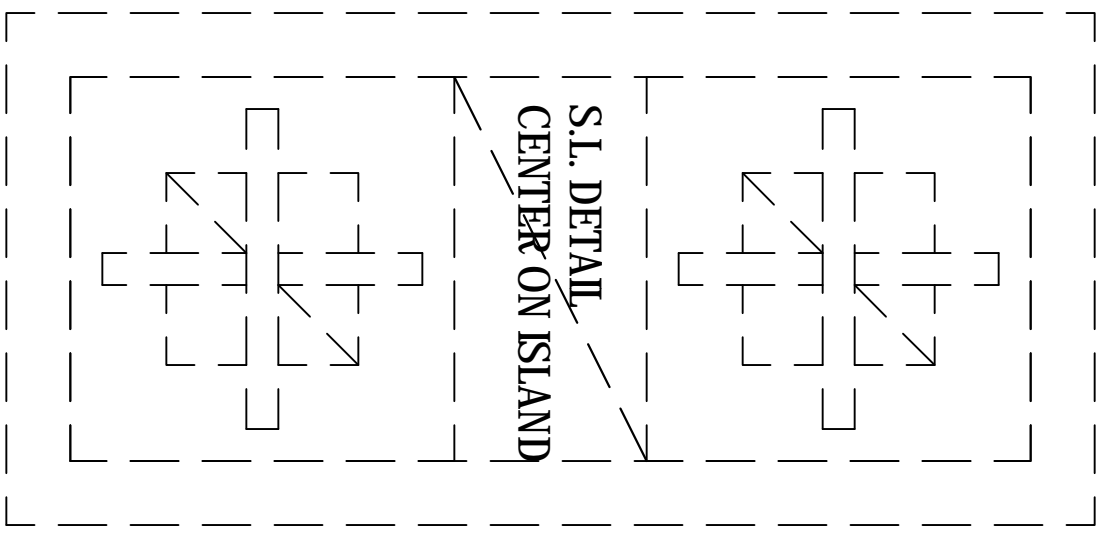
LEFT ELEVATION (SPANISH TERRITORIAL)
1/4"=1'-0"





GENERAL NOTES:

1. EXTERIOR WALLS TO BE 2X6 STUDS @ 16" O.C.
2. INTERIOR NON-BEARING WALLS TO BE 2X4 STUDS @ 16" O.C. INSULATED R-11
3. INTERIOR BEARING WALLS TO BE 2X4 STUDS @ 16" O.C.
4. ALL HEADERS SPANNING MORE THAN 3' SHALL BE 2X12
5. ALL FIXTURES & APPLIANCES TO BE CHOSEN BY OWNER
6. USE FIRE STOPS PER U.F.C., U.B.C. OR LOCAL CODE REQUIREMENTS
7. ONE HOUR OCCUPANCY SEPARATION BETWEEN HOUSE AND GARAGE, 5/8" SHEETROCK ON GARAGE SIDE
8. ALL DIMENSIONS ARE TO BE CHECKED AND CONFIRMED BY CONTRACTOR PRIOR TO POURING OF CONCRETE
9. INSULATE WALLS R-21 MIN., CEILINGS R-38, PERIMETER R-4 MIN.
10. INTERIOR TO BE SHEETROCKED, TAPED, TEXTURED, AND PAINTED
11. EXTERIOR TO BE STUCCO - COLOR BY OWNER/CONTRACTOR
12. 5@5B; @8 K 5@@FC 69') 5'5B; @G
13. ALL TILED AREAS TO BE OF LARGER 18-24" TILE SELECTION BY OWNER



DETAIL @
SKY LIGHT

THIS DOCUMENT IS THE PROPERTY OF VILLA CUSTOM HOMES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF VILLA CUSTOM HOMES IS STRICTLY PROHIBITED. THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE WORK AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESPONSIBILITY OF THE WORK. THIS DRAWING IS AN INSTRUMENT OF SERVICE AND CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE WORK AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESPONSIBILITY OF THE WORK.



ISSUED PERMIT:
 REVISIONS: 4

ALLURE



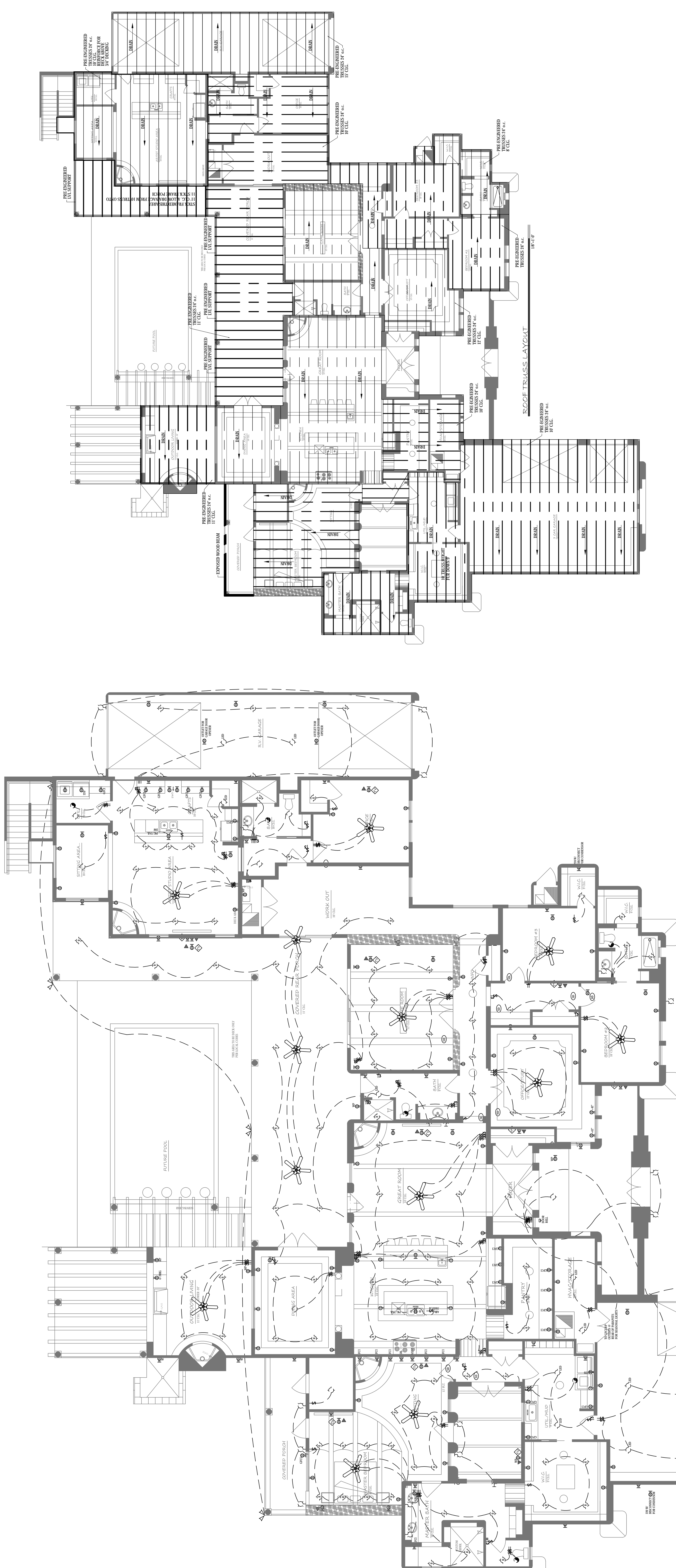
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GENERAL CONTRACTOR
VILLA CUSTOM HOMES
JUDD M. SINGER
575-650-7377

PROJECT
"BONI/PEARCE FAMILY"

SHEET TITLE
**ELECTRICAL LAYOUT/
ROOF TRUSS LAYOUT/
FRAMING DETAILS**

DRAWN BY: S. GREEN
DATE: 3/29/2021
SHEET NUMBER: **A.4**



ELECTRICAL LAYOUT

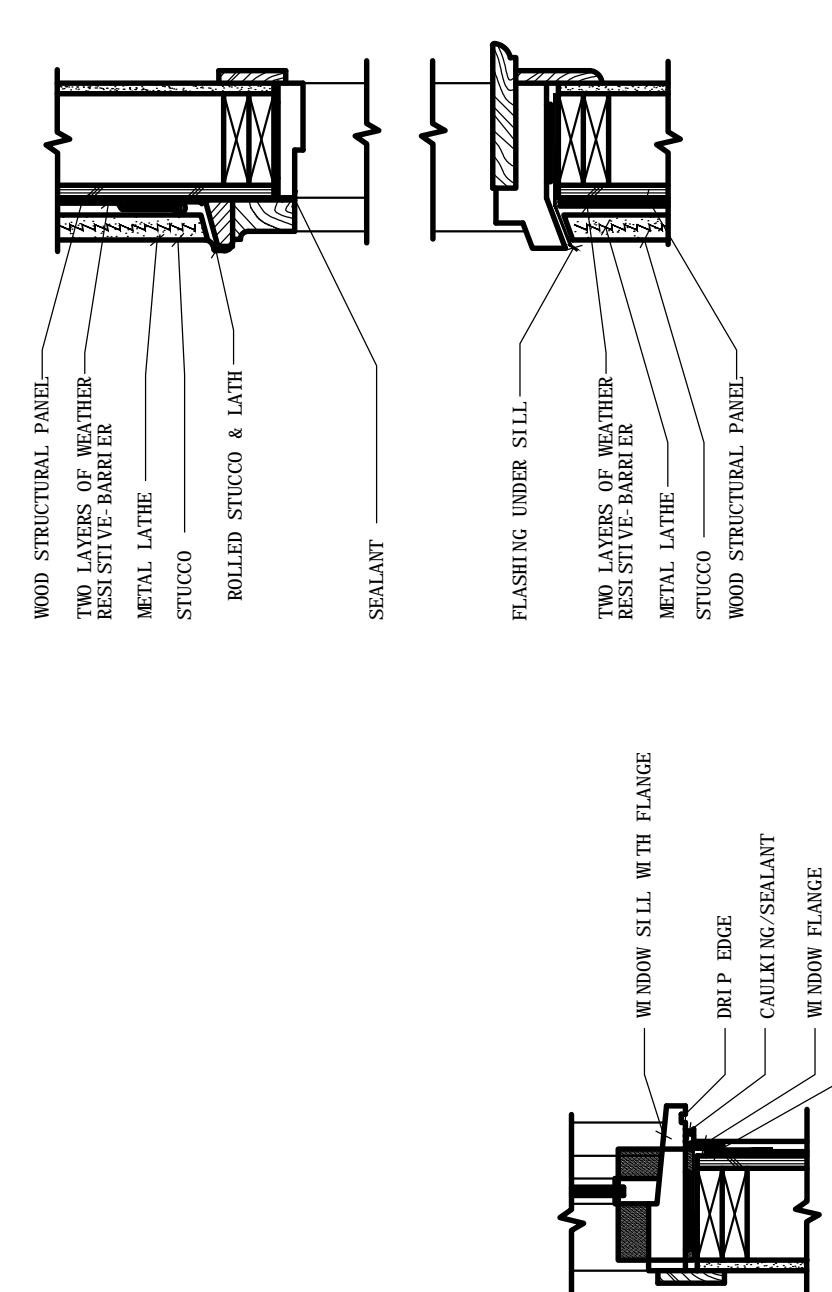
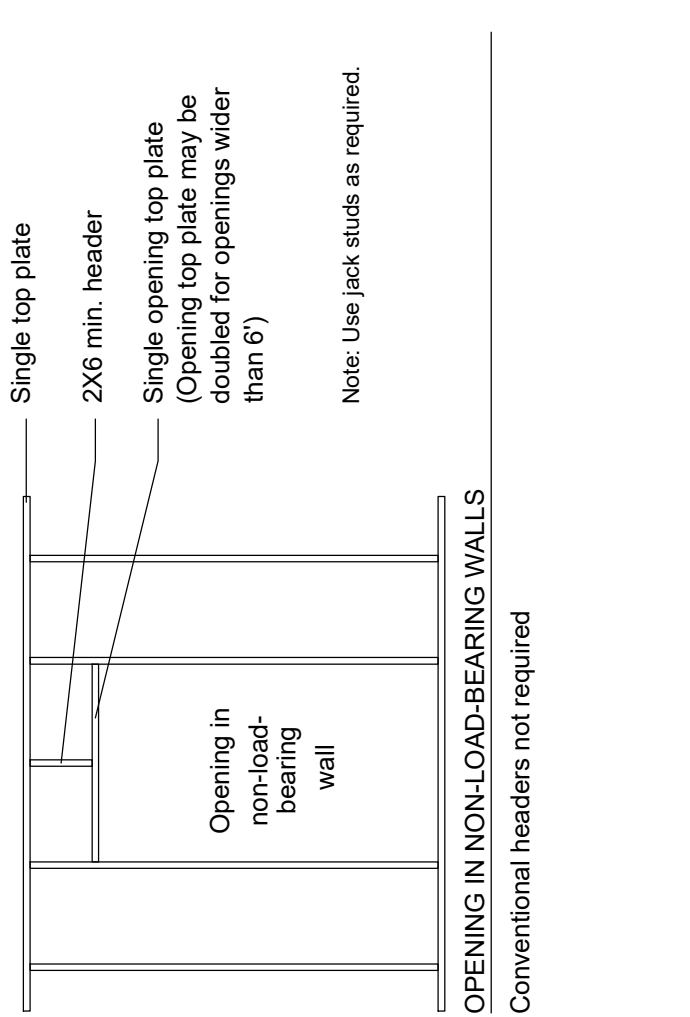
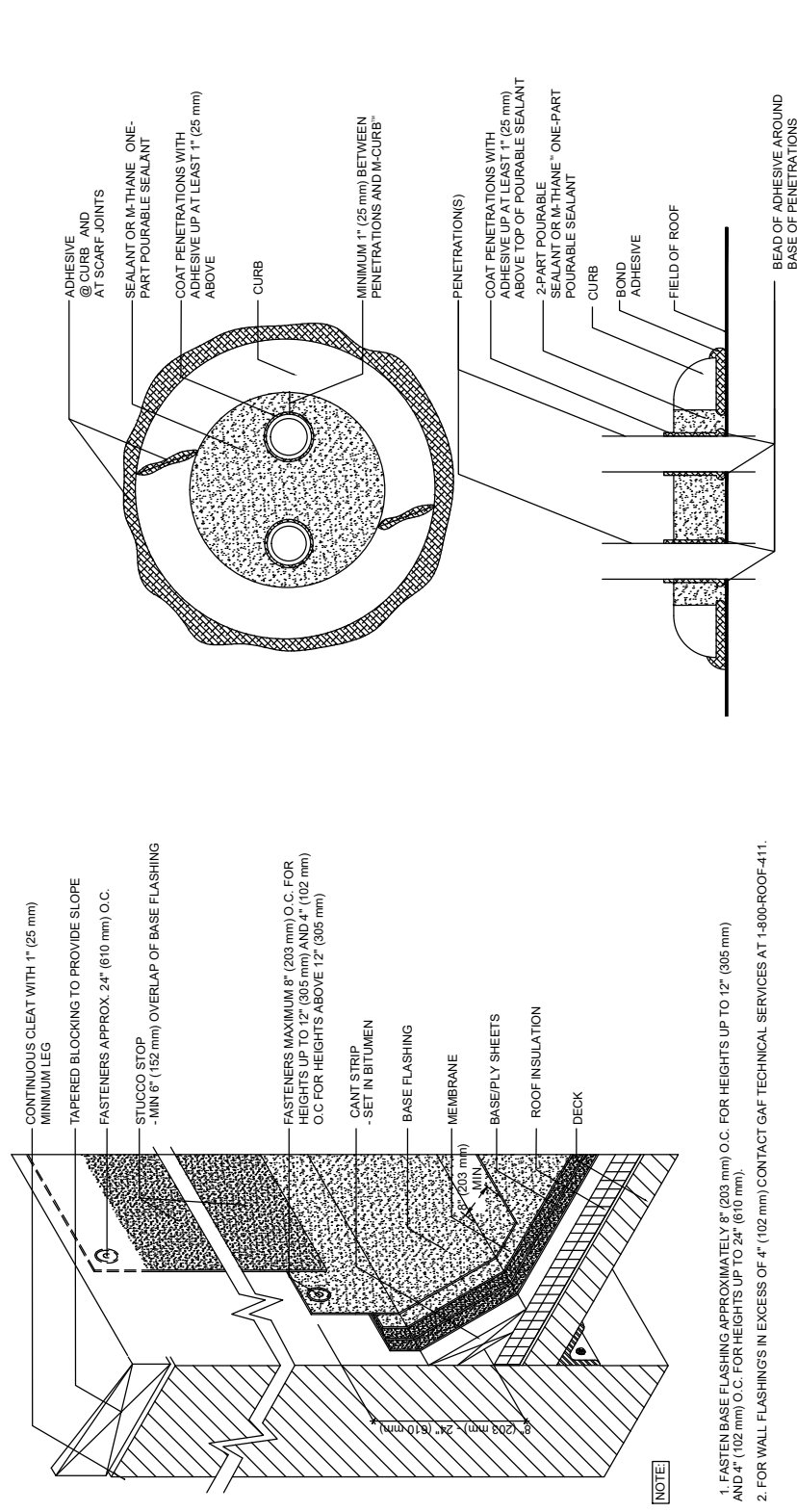
GENERAL ELECTRICAL NOTES

- THESE PLANS ARE SCHEMATIC AND DO NOT SHOW THE EXACT LOCATIONS OF EQUIPMENT, CONDUIT ROUTING, ETC. THE CONTRACTOR MUST REFER TO ARCHITECTURAL AND MECHANICAL PLANS AND DETAILS TO OBTAIN COMPLETE INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE FOR SEEING THAT NEC CLEARANCES AROUND AND ABOVE ELECTRICAL EQUIPMENT ARE MAINTAINED. SEE NEC 110.26 FOR SPECIFIC INFORMATION. SPECIFICALLY DO NOT ALLOW FOREIGN EQUIPMENT ABOVE PANEL BOARDS AND INSTALL TO LEAVE AT LEAST 36" OF SPACE IN FRONT.
- THE CONTRACTOR MAY INSTALL UP TO 6 CURRENT CARRYING CONDUCTORS IN A CONDUIT. LOADINGS ARE BASED ON THIN INSULATION AND DE-RATINGS FOR TEMPERATURE AND UP TO 6 CONDUCTORS IN A CONDUIT.
- ANY NEW SWITCH, OUTLET, AND CONTROLS, INSTALLATION SHALL COMPLY WITH THE STATE OF NEW MEXICO REQUIREMENTS FOR ACCESSIBILITY. SPECIFICALLY, OUTLET BOXES SHALL BE INSTALLED AT 15" A.F.F. TO THE BOTTOM OF THE BOX, AND SWITCH AND CONTROLS SHALL BE INSTALLED AT 44" A.F.F. TO THE BOTTOM OF THE BOX, UNLESS NOTED OTHERWISE. ELECTRICAL DEVICES ABOVE A COUNTERTOP OR OTHER OBSTRUCTION SHOULD COMPLY WITH ICC/ANSI 117.1-1998 SECTION 308.
- EXTERIOR FIXTURES SPECIFIED ON THIS PROJECT COMPLY WITH THE STATE OF NEW MEXICO NIGHT SKY PROTECTION ACT AND THE IECC. SEE CALCULATIONS BELOW. IF ALTERNATE FIXTURES ARE USED, THEY MUST COMPLY AS WELL. CONTACT THE ENGINEER IF NECESSARY.
- ALL EXTERIOR LIGHTING TO BE LOW IN PHYSICAL HEIGHT, I.E. MOUNTED OR PLACED GENERALLY BELOW EYE LEVEL (SIX FEET) LOW IN LIGHTING INTENSITY, NOT TO EXCEED 400 LUMENS. THE QUANTITY OF FIXTURES HAS BE KEPT AS LOW AS POSSIBLE @ NO MORE THAN 6' A.F.F. (SEE ELEVATION SHEET)
- FIXTURE WILL KEEP LIGHTING BELOW HORIZONTAL PLANE AS ALSO REFLECTED ON ELEVATION. DETAILED CUT SHEET PROVIDED BY BUILDER ATTACHED WITH THESE DOCUMENTS

KEYED POWER PLAN NOTES

- ALL OUTLETS AT VANITIES AND COUNTERS TO BE AT 42" UNLESS OTHERWISE NOTED
- PROVIDE 110V UNDER COUNTER OUTLET FOR DISHWASHER AND GARAGE DISPOSAL
- PROVIDE OUTLET AT 60" FOR RANGE HOOD
- ALL EXTERIOR LIGHT FIXTURES AND OUTLETS TO BE WEATHERPROOF
- ELECTRICIAN TO SIZE AND LOCATE PANEL AND SERVICE
- ALL OUTLETS IN THE KITCHEN AND BATH ROOMS ARE TO BE G.F.I.
- ALL OUTLETS IN DWELLING TO FOLLOW 2009 NEC CODES
- ALL NEW SWIMMING POOL PORCHES TO BE WATER PROOF CAN STYLE FIXTURE
- ALL NEW SWIMMING POOL PORCHES TO BE WATER PROOF CAN STYLE FIXTURE
- CENTRAL STRUCTURED WIRING NETWORK BOX LOCATION TBD BY OWNER/BUILDER.

SYM.	ELECTRIC SYMBOLS
○	SWITCH OUTLET
○	3-WAY SWITCH OUTLET
○	DUPLEX OUTLET
○	220V OUTLET
○	LIGHT FIXTURE OUTLET
○	RECESSED LIGHT FIXTURE/PENDANT LIGHT/FETTERAL RECESSED FIXTURE
○	SPOT OUTLET
○	SMOKE/MONITOR DETECTOR
○	ROSE BIBB
○	EXHAUST FAN
○	CEILING FAN
○	GAS OUTLET
○	TELEVISION JACK
○	TELEPHONE/CAT 5 JACK

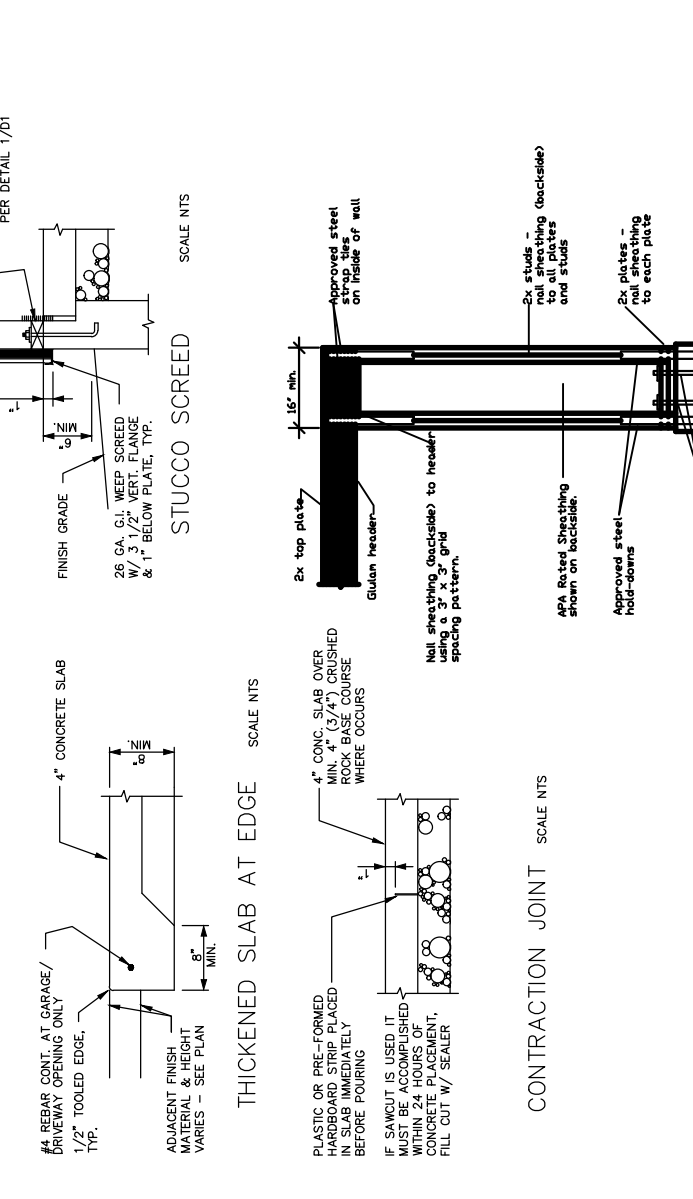


CROSS-SECTION OF WINDOW SHOWING INTEGRATION OF STRUCTURE'S WEATHER RESISTIVE SYSTEM IN A WALL WITH STUCCO EXTERIOR OR WALL COVERING

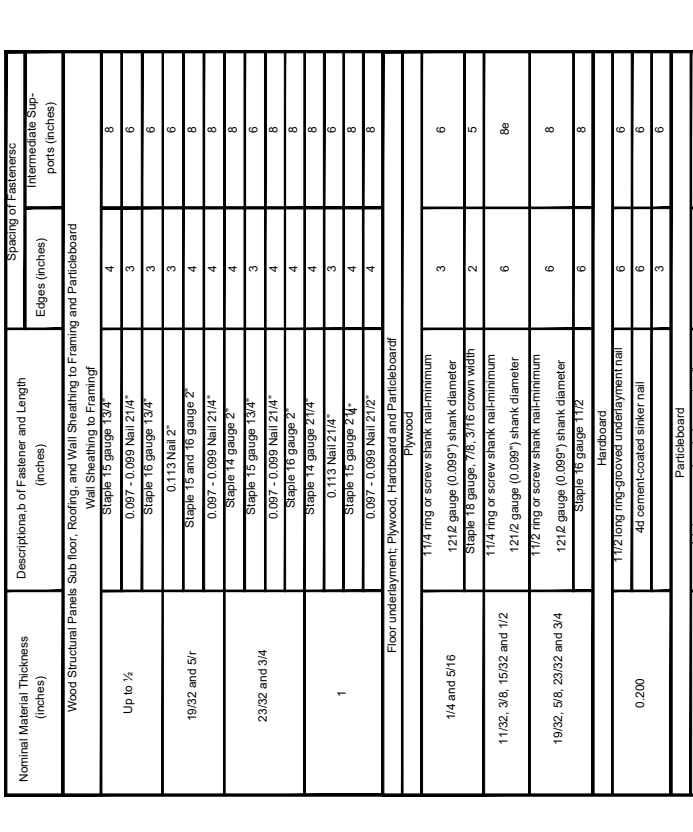
FLASHING INSTALLATION AT STUCCO-TO-ROOF INTERSECTION



OPENING IN NON-LOAD-BEARING WALLS



Garage Door Header to End Wall



NO.	DESCRIPTION	DATE
1	ISSUED PERMIT	3/29/21
2	REVISIONS	
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PHOTOS OF OTHER DWELLINGS IN THIS SUBDIVISION







TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR
 OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 061192

Fee \$ 1,369.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061192 ZONE: R-1 CODE: MR APPLICATION DATE: 1/5/21

Andrea Boni & Kirsten Pierce 983-271-7743
 Name of Applicant/Owner Applicant's Telephone Number

Applicant's/Owner's Mailing Address City State Zip Code

Kir.pierce@gnai.com * andrcaboni@me.com
 Applicant's/Owner's E-mail Address

Villa Custom Homes, Inc PO Box 16097, LC, NM 88004
 Contractor's Name & Address (if none, indicate Self)

575-650-7377 85-0452636 NM 6-B98-81509
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2455 Camino Del Reyes

Description of Proposed Work: Residential construction of a single family unit with casita and swimming pool

\$ 900,000.00 [Signature] 1-5-2021
 Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (dead or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & APPROVAL REQUIRED
CID PERMITS REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

This Application will include the following, if checked:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Proof of legal access to the property.
4. Drainage plan.
5. Architectural style and color scheme -- diagrams or elevations (Historical and commercial zones only).
6. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. Other information as necessary or required by the City Code or Community Development:

PZHAC ACTION FORM
[PZHAC REVIEW – 4/5/2021]
STAFF ANALYSIS

Item:

Case 061193 - 3150 McDowell, submitted by James Hansen; a request for a zoning permit to allow the construction of a three foot high rock wall to replace a block wall along the front property line of a residential property at this address. Zoned: Residential, one-acre minimum lot (R1).

Staff Analysis:

The applicant would like to replace an existing rock block wall at the front of the property at this address with a three foot high rock wall that will be built in the same location as the block wall. The rock wall will be three feet in height along its entire length and will run between the ends of a circular driveway that is on the property. Due to its height of three feet, it will not interfere with the clear-sight-triangles at either end of the driveway. The wall will not extend between properties, therefore a Right-of-Entry form is not needed. The wall will be similar to, but a foot or two shorter, than the wall shown in the attached photo.

Estimated Cost: \$4,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed wall will be consistent with other walls in the area. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing a rock wall around an existing dwelling at this address.
- The applicant has provided a “Right-of-Entry” agreement for each of the properties that will be adjacent to the wall.
- The PZHAC has determined that the proposed wall meet all applicable Code requirements.

PZHAC OPTIONS:

1. **Approve the zoning permit.**
2. **Approve the zoning permit with conditions.**
3. **Postpone a decision on the zoning permit to allow the applicant to provide additional information.**
4. **Reject the zoning permit.**

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Num

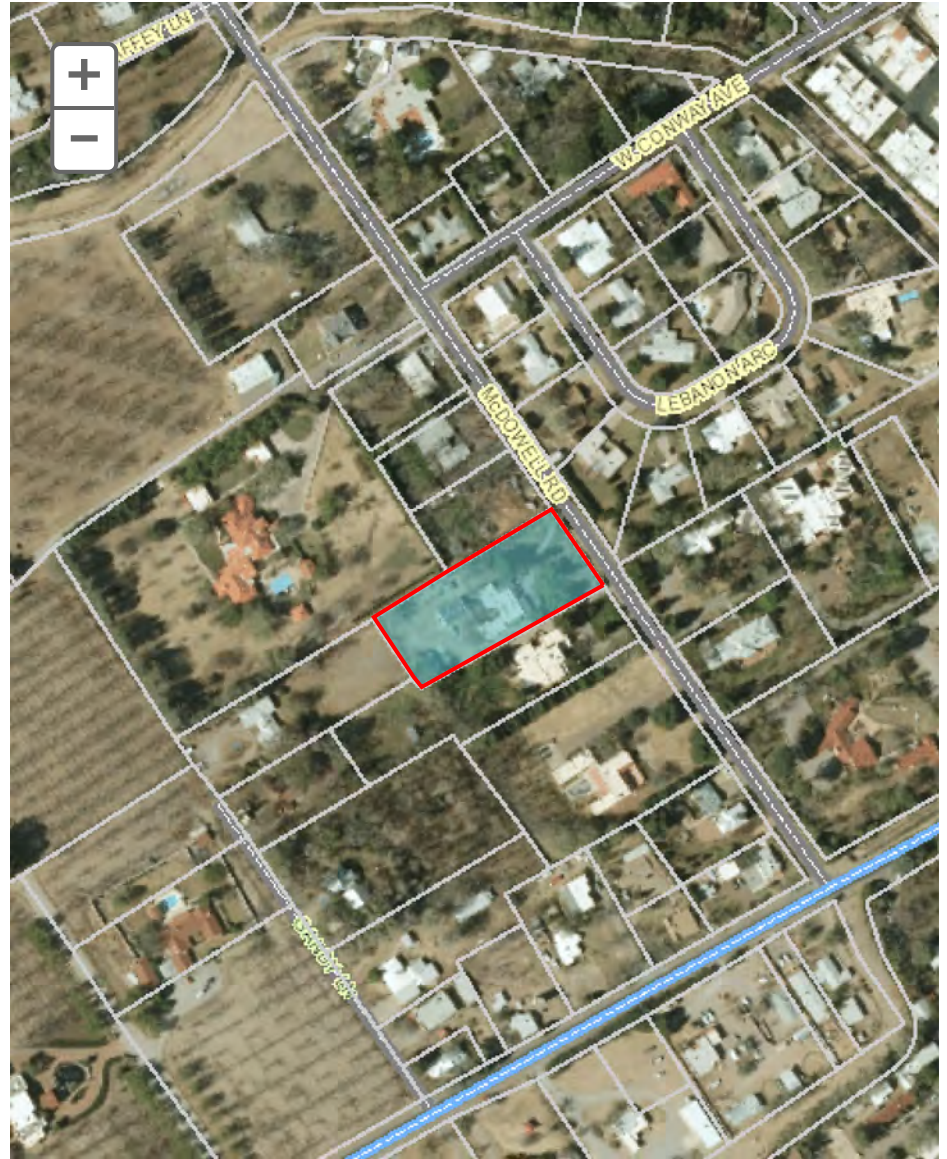
Maps

Legend

Map Themes

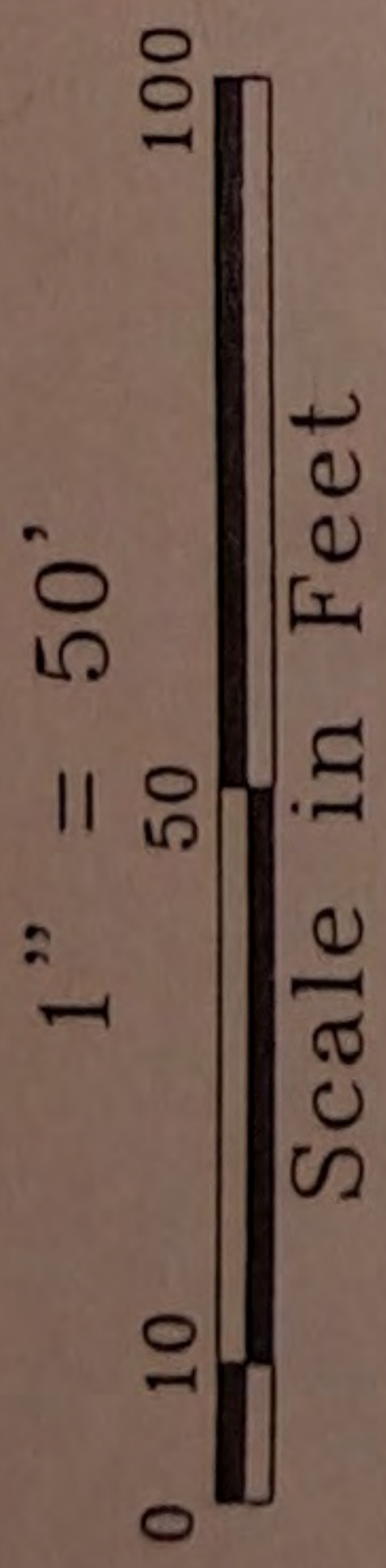
Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0400895](#)
 Parcel Number: 4007138175076
 Owner: WORTNER CAROL J & JAMES R HANSEN
 Mail Address: 3150 MCDOWELL
 Subdivision: NIMS SUBDIVISION No 1 (BK 16 PG 343-344 - 9017804)
 Property Address: 3150 MCDOWELL RD
 Acres: 1.22



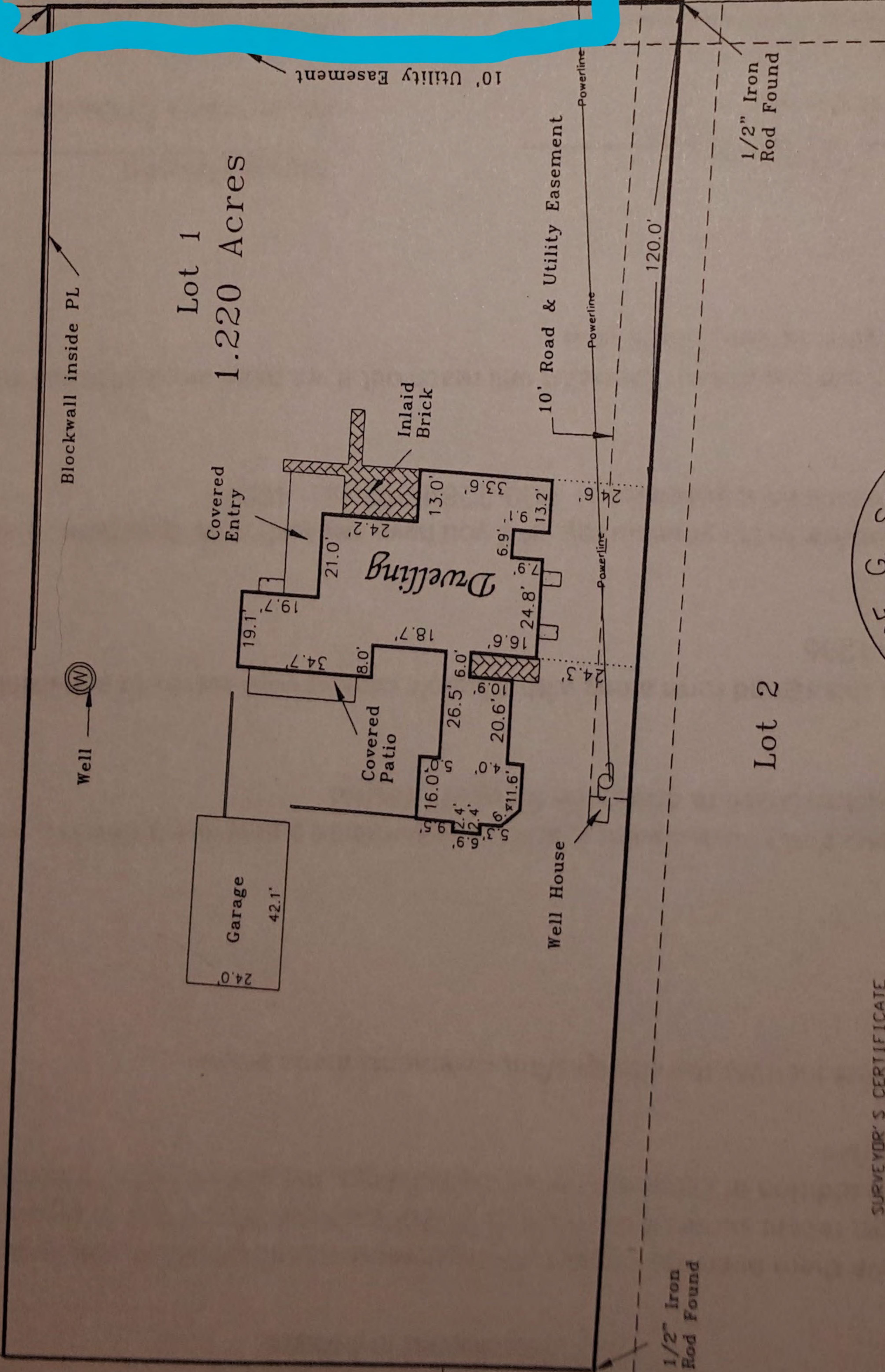
PLAT OF SURVEY

LOT 1
 NIMS SUBDIVISION NO. 1
 (A SUMMARY SUBDIVISION)
 PLAT FILED OCTOBER 11, 1990, IN
 BOOK 16, PAGES 343-344, OF THE
 DONA ANA COUNTY RECORDS
 TOWN OF MESILLA
 DONA ANA COUNTY
 NEW MEXICO



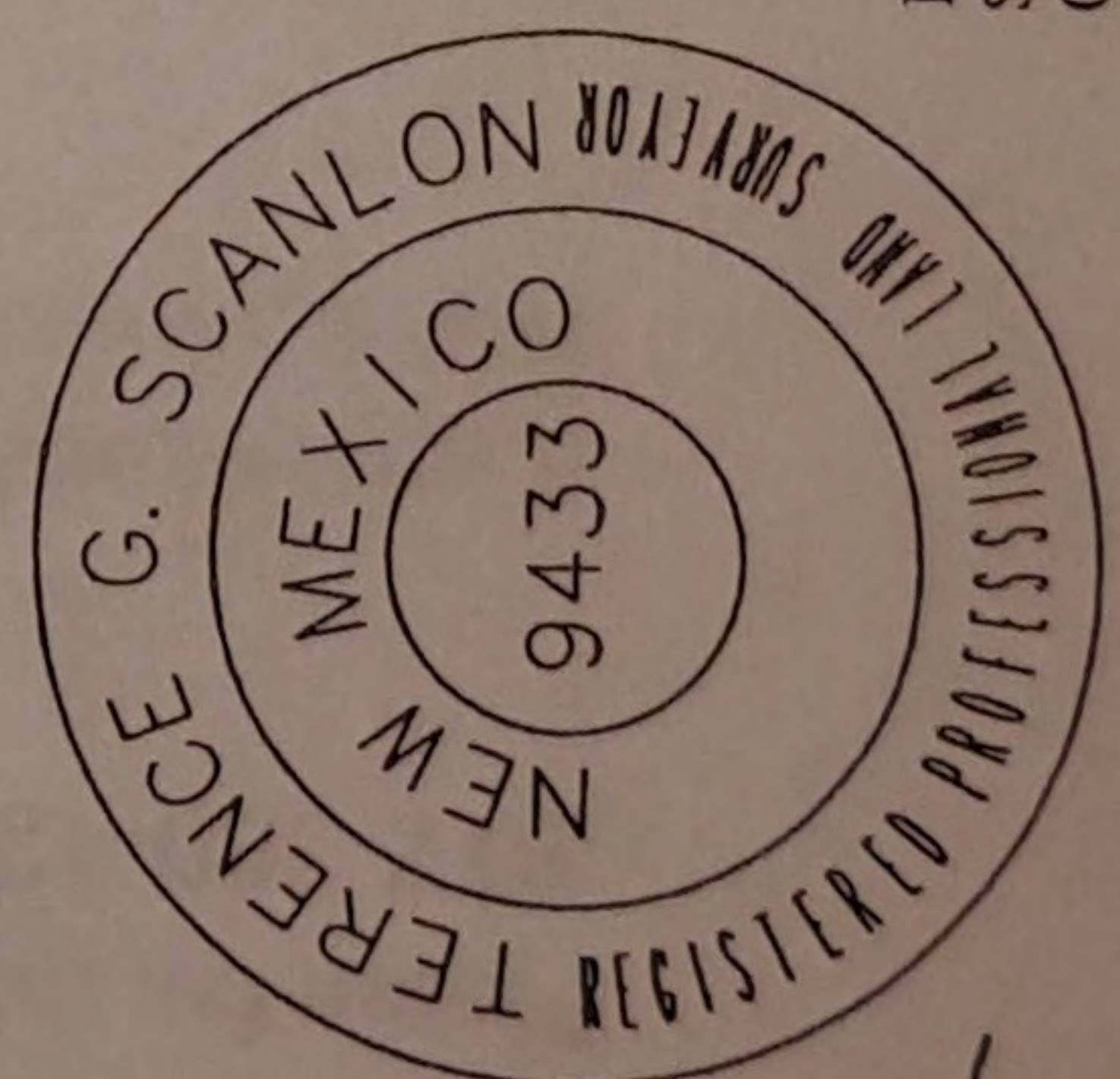
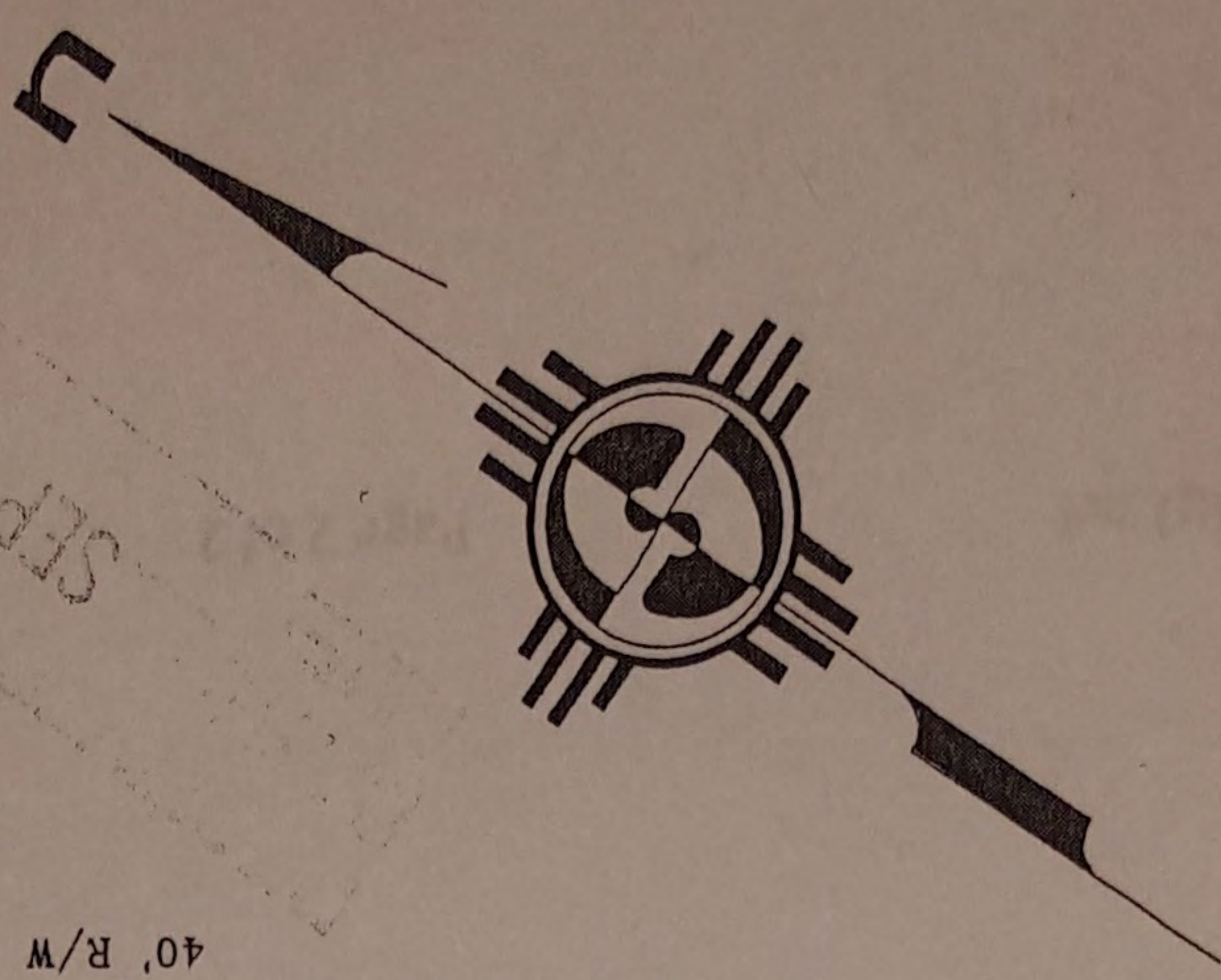
Concrete Monument Found

Concrete Monument Found



3150 McDowell Road
 40' R/W

SEP 30 2008



SURVEYOR'S CERTIFICATE
 THIS IS TO CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT, MEETING THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

 TED G. SCANLON - PS NO. 9433
 3780 FOOTHILLS, LAS CRUCES, NM 88011

DRAWN BY:	BRADY
FIELD BY:	E. RODRIGUEZ
JOB NO.:	08-09-0416
DATE:	SEPT. 19, 2008

PROPERTY IS IN AN "X" DESIGNATED ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 35013C0633 E, EFFECTIVE SEPTEMBER 27, 1991.

SEPT. 19, 2008
 DATE OF SURVEY

scanlon white inc.
 3780 Foothills, Suite C
 Las Cruces, New Mexico 88011
 Phone: (505) 525-2112
 Fax: (505) 525-1226

**TOWN OF MESILLA
ZONING APPROVAL**

PERMISSION TO CONDUCT WORK

OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 061193

Fee \$ 180.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061193 ZONE: R-1 CODE: M1 APPLICATION DATE: 3/12/21

Name of Applicant/Owner: JAMES HANSON Applicant's Telephone Number: (575) 649-8450

Applicant's/Owner's Mailing Address: 3150 McDowell Las Cruces City: Las Cruces State: NM Zip Code: 88005

Applicant's/Owner's E-mail Address: JRHANSON61@GMAIL.COM

Contractor's Name & Address (If none, indicate Self): RUBEN CONSTRUCTION

Contractor's Telephone Number: 575 650-0107 Contractor's Tax ID Number: _____ Contractor's License Number: _____

Address of Proposed Work: 3150 McDowell

Description of Proposed Work: REPLACE BLOCK WALL IN FRONT OF PROPERTY WITH ROCK WALL. HEIGHT WILL BE 3 FT AND LENGTH WILL BE 130 FT.

Estimated Cost: \$ 4,000.00 Signature of Applicant: [Signature] Date: 3/12/21

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____ Disapproved Date: _____ Approved with Conditions

BOT Approved Date: _____ Disapproved Date: _____ Approved with Conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & APPROVAL REQUIRED
CID FOUNDATION INSP. REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

This Application will include the following, if checked:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Proof of legal access to the property.
4. Drainage plan.
5. Architectural style and color scheme - diagrams or elevations (Historical and commercial zones only).
6. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. Other information as necessary or required by the City Code or Community Development.

PZHAC ACTION FORM
[PZHAC REVIEW – 4/5/2021]
STAFF ANALYSIS

Item:

Case 061194– 2808 Snow Road, submitted by Russell Hernandez; a request for a zoning permit to allow the applicant to construct an addition connecting two living quarters to make one dwelling on a residential property at this address. Zoned: Rural/Agricultural (RA)

Staff Analysis:

The applicant has three separate structure on the property. These consist of the main dwelling occupied by the applicant, a garage structure that also contains a casita used as a short-term rental unit, and a storage building (see attached site plan). The applicant would like to attach the structure containing the main dwelling with the structure containing the garage and casita to make one large dwelling unit. (The casita will be eliminated.)

The subject property is substantially smaller than the three acres required by the Rural/Agricultural (RA) zoning of the property and was considered to be a legal non-conforming property by the PZHAC bases on a legal opinion request by the PZHAC in August of 2020. The applicant obtained variances to lot size a d setbacks from the Bord of Adjustment on March 3, 2021 to address these issues.

Attached are the site plan for the project along with elevations and construction drawings. There will be no changes to the available off-street parking on the property.

Estimated Cost: \$120,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed addition to the dwelling will be consistent with other dwellings in the Town. Additionally, the PZHAC will also need to determine that the proposed addition will not reduce the number of required off-street parking spaces (three spaces) on the property and will be consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing an addition to a dwelling on the property that will combine the dwelling with another structure on the property, creating a larger dwelling and eliminating a short-term rental unit.
- The PZHAC has determined that the proposed addition meets all applicable Code requirements.

PZHAC OPTIONS:

1. **Approve the zoning permit.**
2. **Approve the zoning permit with conditions.**
3. **Postpone a decision on the zoning permit to allow the applicant to provide additional information.**
4. **Reject the zoning permit.**

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number

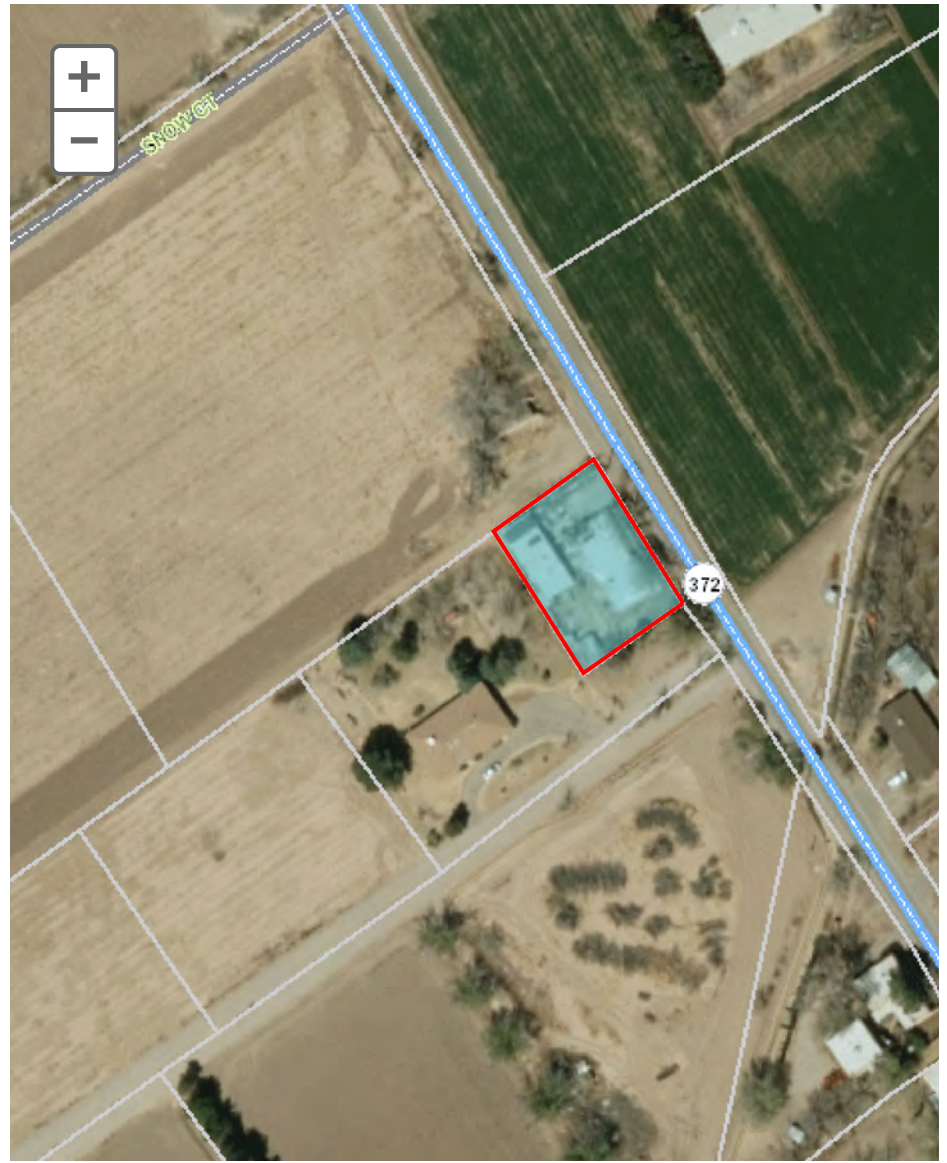
Maps

Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0400129](#)
Parcel Number: 4005138462349
Owner: HERNANDEZ RUSSELL A & CHRISTOPHER SCHALJO
Mail Address: 2808 SNOW RD
Subdivision:
Property Address: 2808 SNOW RD
Acres: 0



E

D

C

B

A

1

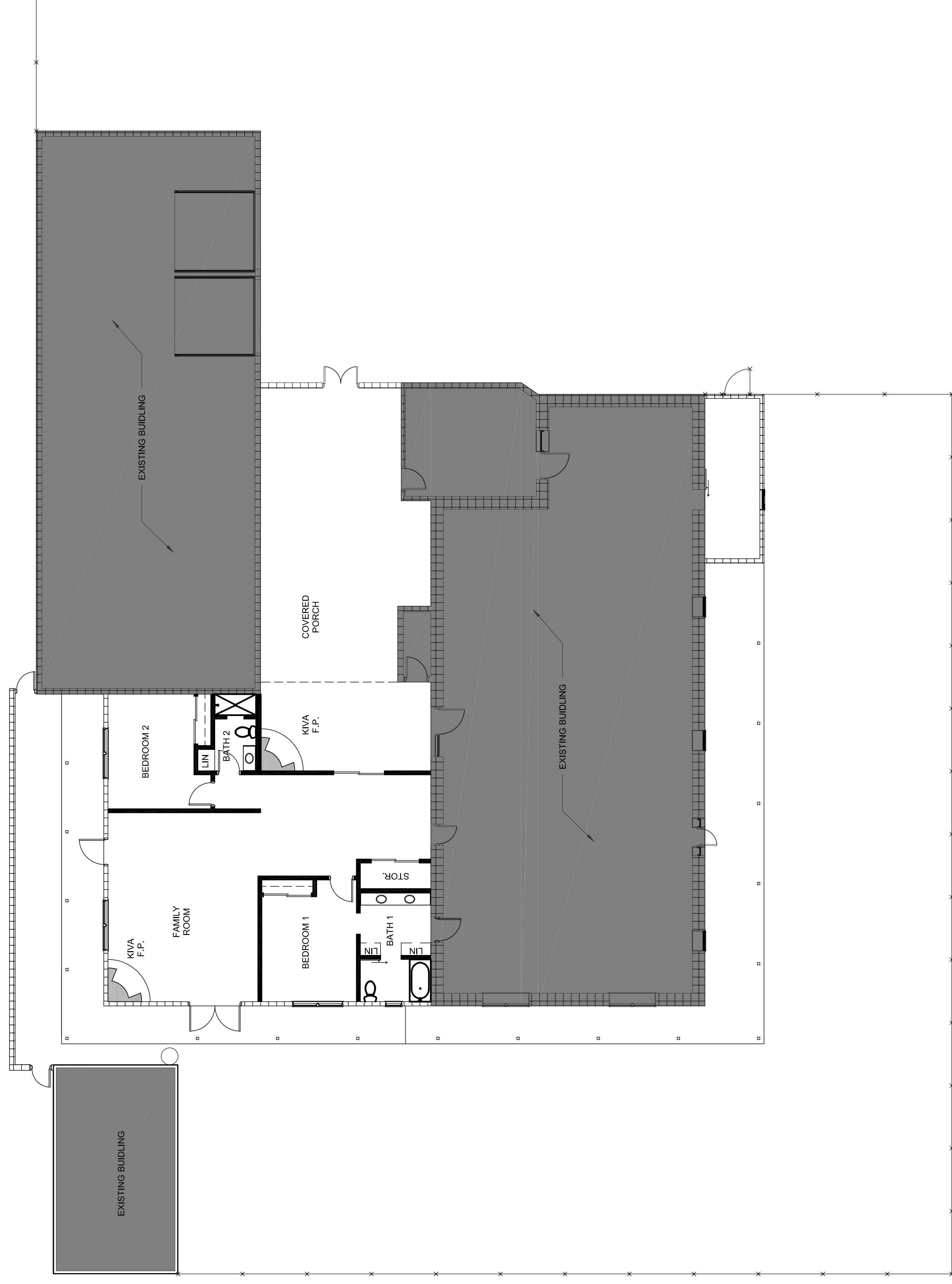
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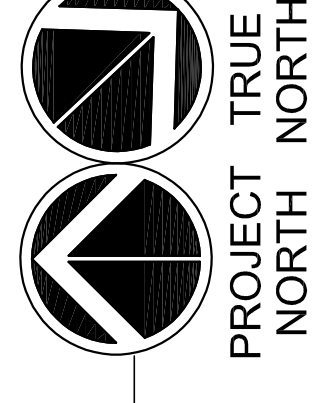
4

5

6



A1 FLOOR PLAN
 A101 1/8" = 1'-0"

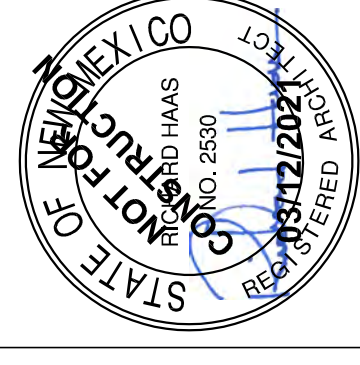


SNOW ROAD

PROJECT NO.
572-02

SHEET TITLE
FLOOR PLAN

SHEET NO.
A101



DESERT PEAK ARCHITECTS P.C.
 1014 SOUTH MAIN STREET
 NEW MEXICO 88005
 P. 505.528.0021

THIS DOCUMENT IS THE PROPERTY OF DESERT PEAK ARCHITECTS P.C. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR OTHERWISE, WITHOUT THE WRITTEN PERMISSION OF DESERT PEAK ARCHITECTS P.C. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN.



Mark	Date	Description
ISSUE:	03-12-2021	

RUSSELL HERNANDEZ RESIDENCE
 2808 SNOW ROAD,
 MESILLA, NM 88005

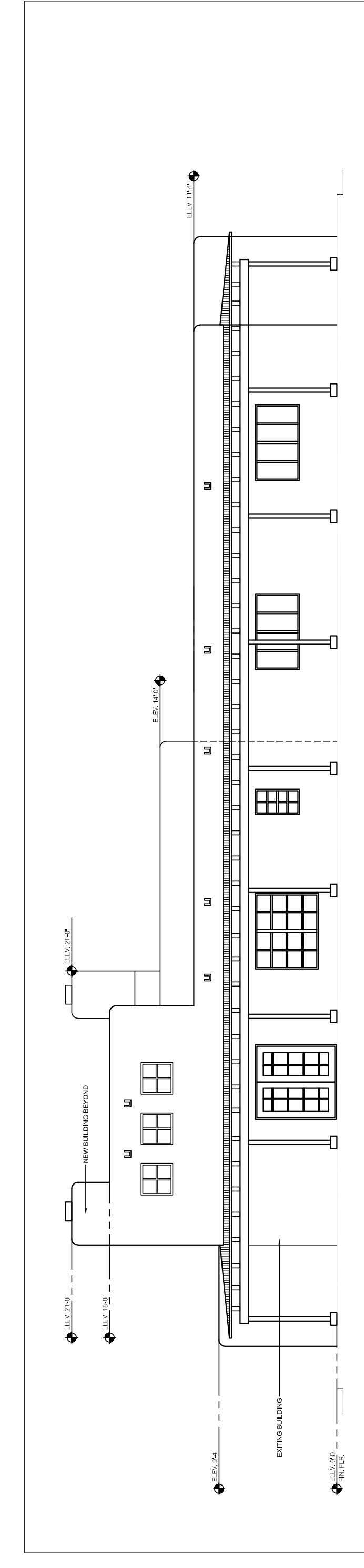
RUSSELL HERNANDEZ RESIDENCE
 2808 SNOW ROAD,
 MESILLA, NM 88005

E

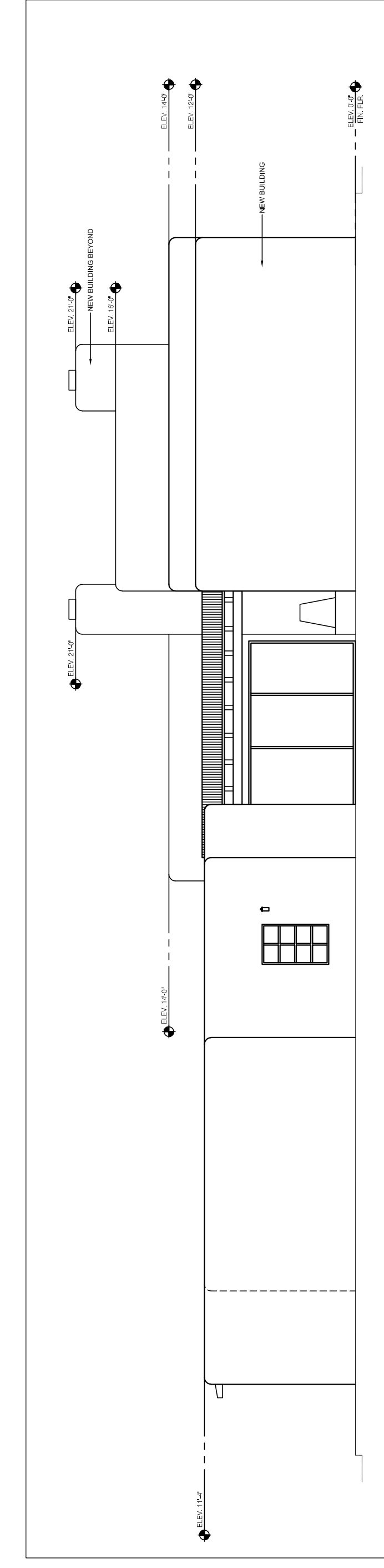
1 2 3 4 5 6

D

RUSSELL HERNADEZ RESIDENCE
2808 SNOW ROAD,
MESILLA, NM 88005

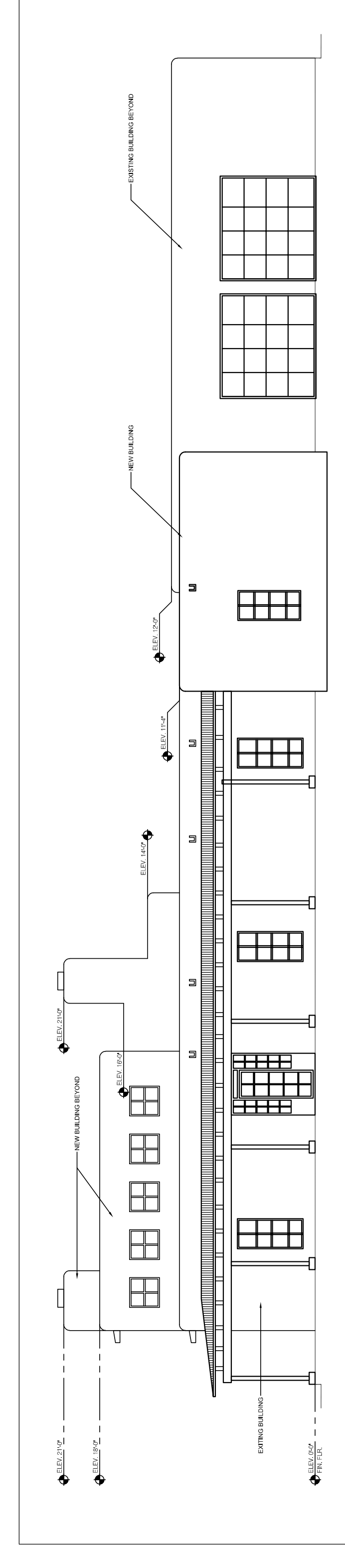


B1 SOUTH ELEVATION
1/8" = 1'-0"

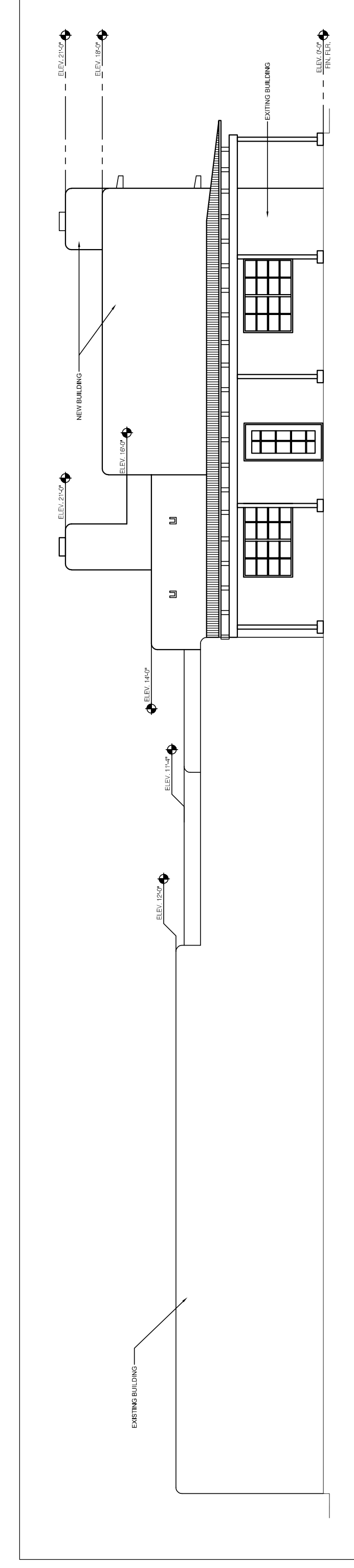


B3 NORTH ELEVATION
1/8" = 1'-0"

B



A1 EAST ELEVATION
1/8" = 1'-0"



A3 WEST ELEVATION
1/8" = 1'-0"

Mark	Date	Description
ISSUE:	03-12-2021	

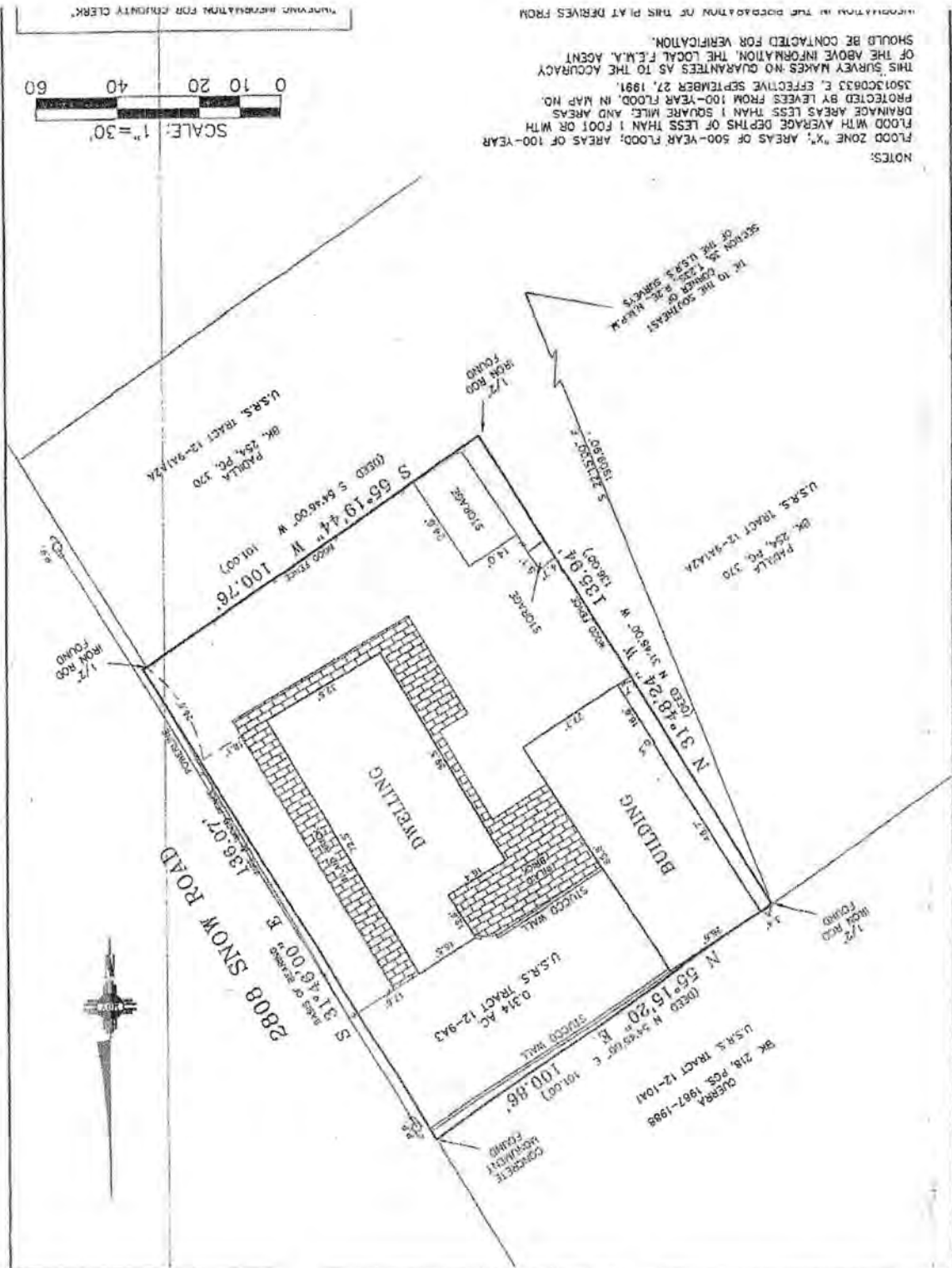
DESERT PEAK ARCHITECTS P.C.
1014 SOUTH MAIN STREET
DESERT PEAK ARCHITECTS
NEW MEXICO 88005
P. 505.528.021

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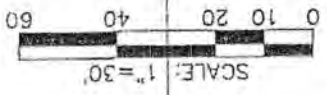


PROJECT NO. 572-02
SHEET TITLE
EXTERIOR ELEVATIONS
SHEET NO.

A201

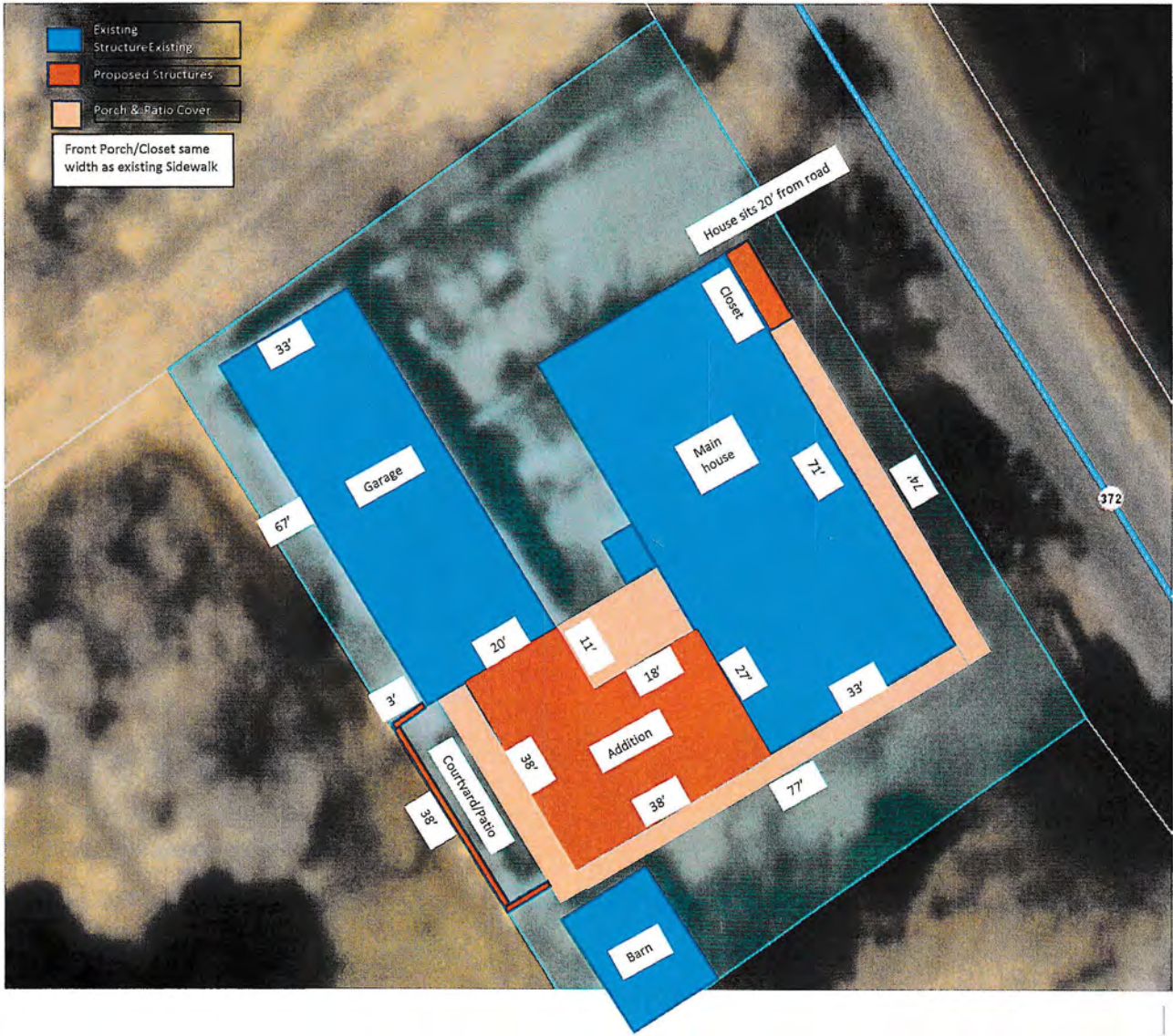


NOTES:
 FLOOD ZONE "X", AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD, IN MAP NO. J50130633 E, EFFECTIVE SEPTEMBER 27, 1991.
 THIS SURVEY MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION, THE LOCAL F.L.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.



APPROVED FOR RECORDATION BY COUNTY CLERK

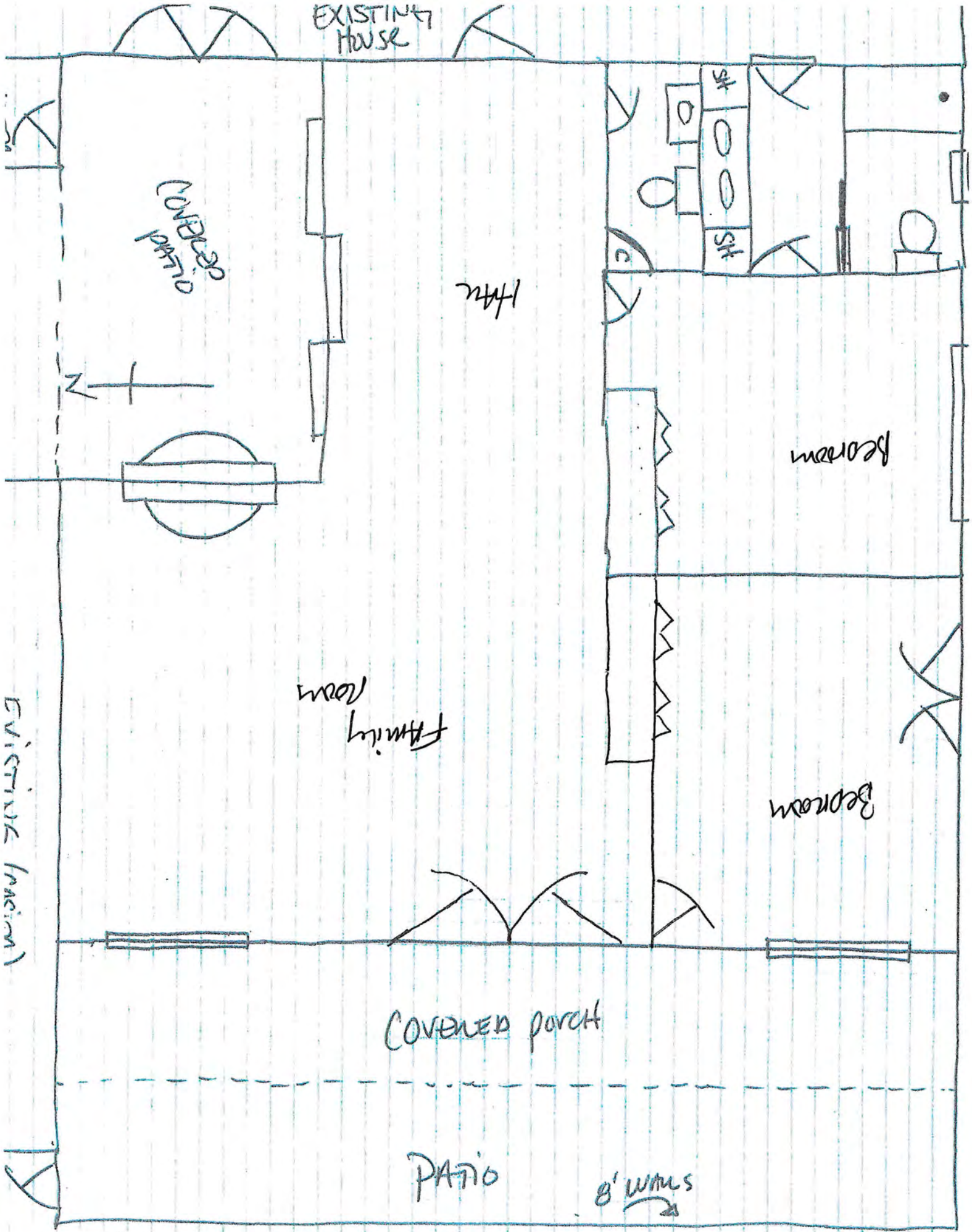




Google Maps 2808 Snow Rd



Map data ©2020, Map data ©2020 20 ft



**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061194

Fee \$ 190.50

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061194 ZONE: RA CODE: AD APPLICATION DATE: 3/29/21

Russell Hernandez 575-496-6514
Name of Property Owner Property Owner's Telephone Number

2808 SNOW RD LAS CRUCES NM 88005
Property Owner's Mailing Address City State Zip Code

RUSSELL@SALDOMESILLA.COM
Property Owner's E-mail Address

DESERT PEAKS, 31 N. MAIN ST, LC, APT 88001
Contractor's Name & Address (If home, indicate Self)

575-528-0021 Contractor's Telephone Number
Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2808 SNOW RD

Description of Proposed Work: Single story addition of 2 bed, 2 bath, family room, closet on front, wrap around porch - rear patio with

\$ 120,000 Estimated Cost
[Signature] Signature of Applicant
03/29/2021 Date

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & APPROVAL REQUIRED
CID PERMITS REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number

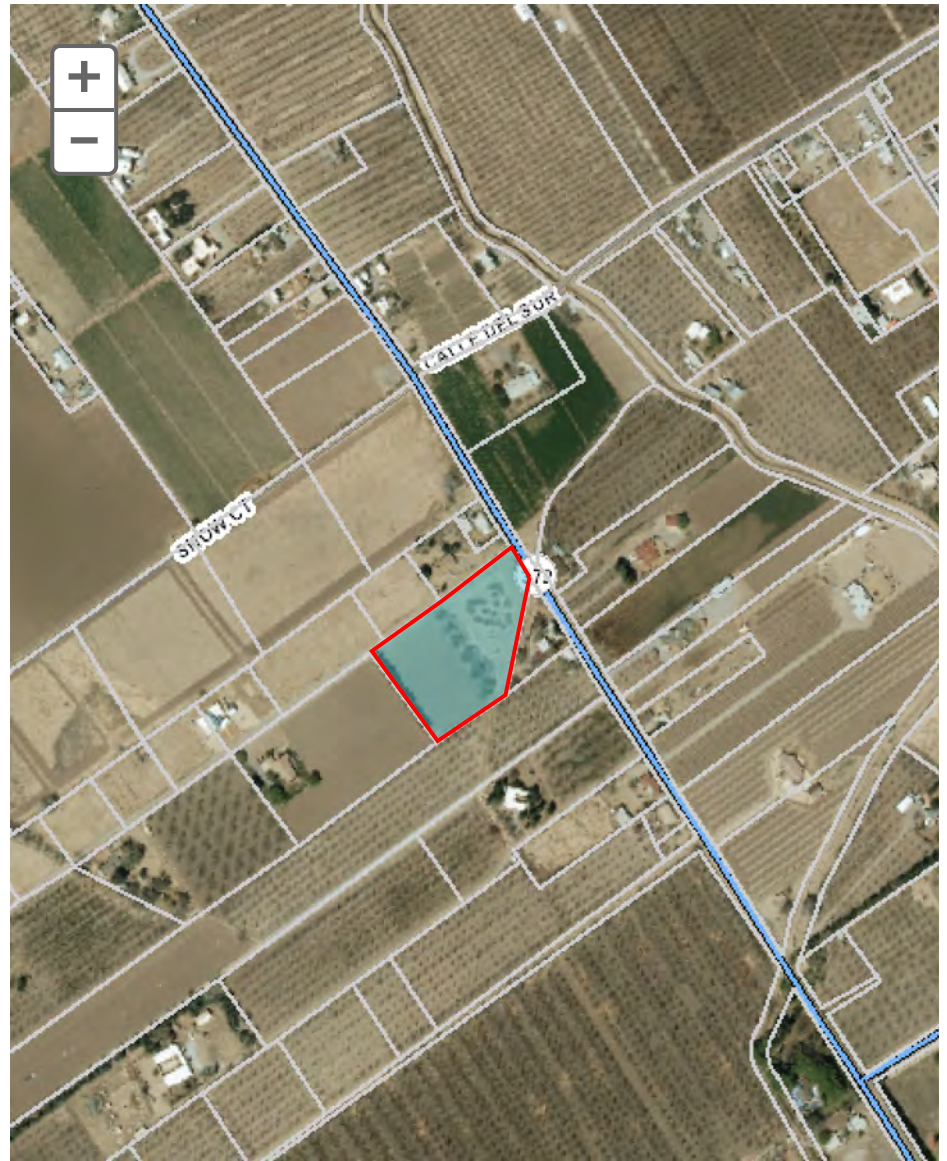
Maps

Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0400127](#)
Parcel Number: 4005138454395
Owner: KRUEGER SUSAN A
Mail Address: PO BOX 1143
Subdivision:
Property Address: SNOW RD
Acres: 4.26



**TOWN OF MESILLA
ZONING APPROVAL**
PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 061195

Fee \$ 0.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061195 ZONE: RA/RE CODE: M1 APPLICATION DATE: 3/29/2021

Name of Applicant/Owner: Susan Krueger Applicant's Telephone Number: 575 640-4266

Applicant's/Owner's Mailing Address: PO Box 1143 City: Mesilla State: NM Zip Code: 88046

Applicant's/Owner's E-mail Address: Akrueger575@gmail.com

Contractor's Name & Address (If none, indicate Self): Vaquero Fence Co

Contractor's Telephone Number: 575 532-9043 Contractor's Tax ID Number: 83157

Contractor's License Number: 83157

Address of Proposed Work: 2804 Sun Rd (04-400177)

Description of Proposed Work: First 100' of posts along NW 1/4 Sec 20' spacing 5' high 2 connect wires. (Second) 1670' of posts along E/W property easement 4' spacing 4' high 2 connect wires to replace fence removed 1/2 rd 20' off

Estimated Cost: \$160 Signature of Applicant: A Krueger Date: 3/29/2021

Signature of property owner if applicant is not the property owner: fence needed to protect farm land

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW AND APPROVAL REQUIRED
RIGHT-OF-ENTRY AGREEMENT REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

This Application will include the following, if checked:

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Proof of legal access to the property.
4. ___ Drainage plan.
5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. ___ Other information as necessary or required by the City Code or Community Development:

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Num

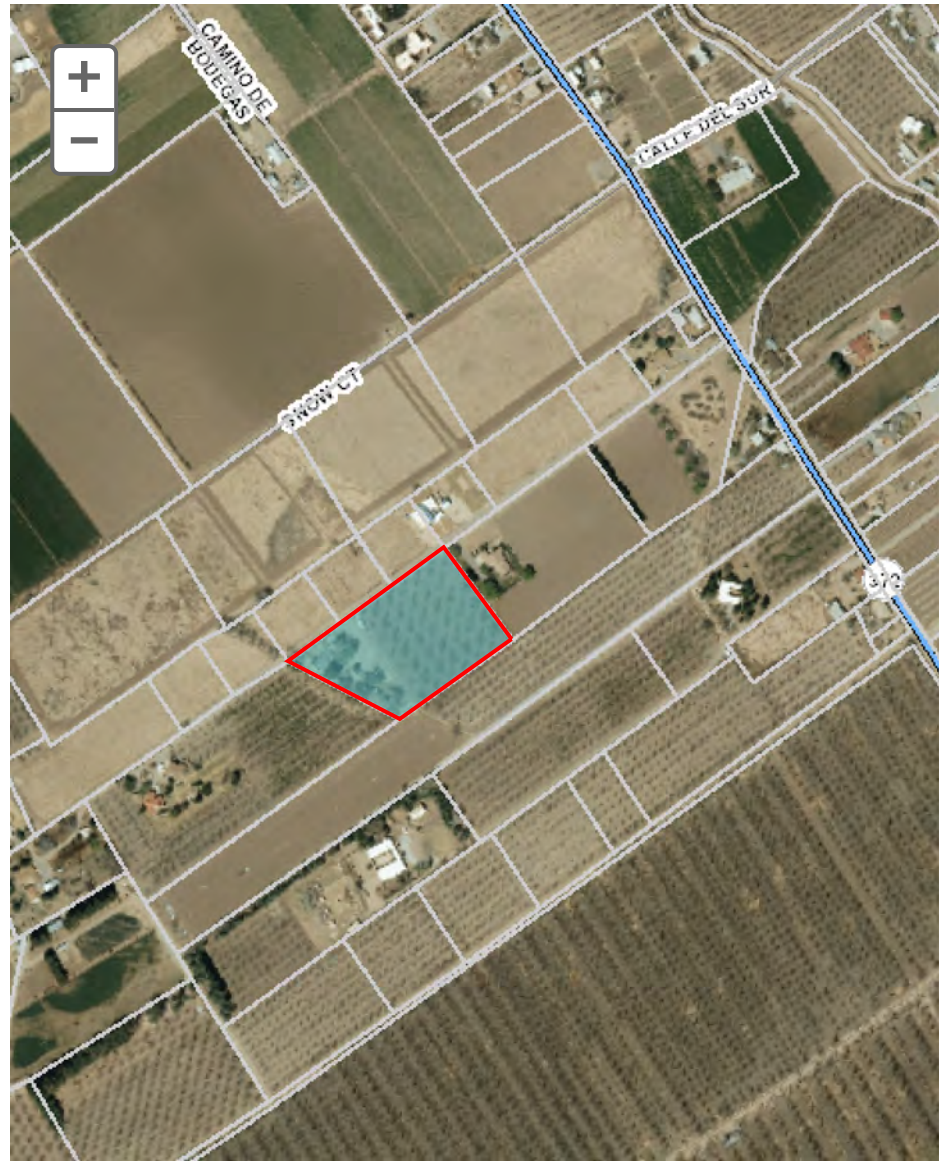
Maps

Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0400104](#)
 Parcel Number: 4005138367458
 Owner: KRUEGER SUSAN A
 Mail Address: PO BOX 1143
 Subdivision:
 Property Address: 2912 SNOW RD
 Acres: 5



TOWN OF MESILLA RIGHT OF ENTRY AGREEMENT

RIGHT OF ENTRY AGREEMENT ZONE: RT CASE: _____

Susan Krause PO Box 1143 Mesilla NM 88046
 Applicant Name(s) Mailing Address City State Zip Code

for 2804 Sunnyside
 Physical Property Address for Agreement fence request to

separate two existing easements which
 Adjacent Property Owner(s) Mailing Address City State Zip Code

provide rights of entry
 Adjacent Property Owner(s) Physical Address DAK 7/27/2021

Permission is hereby granted to the applicant, or its authorized agents, to enter upon the adjacent property for the sole purpose of construction and/or maintenance of the structure(s). Original signatures only.

 Applicant(s)

 Date

 Applicant(s)

 Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
) ss.
 COUNTY OF DONA ANA)
 The following was acknowledged before me this _____
 day of 20____, by _____.

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
) ss.
 COUNTY OF DONA ANA)
 The following was acknowledged before me this _____
 day of 20____, by _____.

 NOTARY PUBLIC
 My Commission Expires: _____

 NOTARY PUBLIC
 My Commission Expires: _____

Date received: _____

 Community Development Coordinator

 Date

**TOWN OF MESILLA
ZONING APPROVAL**
PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:
Case # 061196
Fee \$ 0.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061196 ZONE: RF CODE: H1 APPLICATION DATE: 3/29/2021

SUSAN KRUEGER 575 640-4266
Name of Applicant/Owner Applicant's Telephone Number

Po Box 1143 Mesilla NM 88046
Applicant's/Owner's Mailing Address City State Zip Code

skru@mesilla.com
Applicant's/Owner's E-mail Address

Vaquero Fence Co
Contractor's Name & Address (If none, indicate Self)

575 538-9043 83157
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

2912 Snow Bl (04-00104)
Address of Proposed Work

Description of Proposed Work: 40' of topsoil, white tip post, along property line on west
of W/pace at 25' intervals, 4' high & connect to wires to replace
fence removed. (at 20' interval). Fence is needed open for farm land.

\$ 100.00 S. Krueger 3/29/2021
Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW AND APPROVAL REQUIRED
RIGHT-OF-ENTRY AGREEMENT REQUIRED

PERMISSION ISSUED/DENIED BY: _____ **ISSUE DATE:** _____

This Application will include the following, if checked:

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Proof of legal access to the property.
4. ___ Drainage plan.
5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. ___ Other information as necessary or required by the City Code or Community Development:

PZHAC ACTION FORM
[PZHAC REVIEW – 4/5/2021]
STAFF ANALYSIS

Item:

Case 061197 - 2655 Camino del Reyes, submitted by Daren Loken, a request for a zoning permit to allow the applicant to construct a swimming pool on a one acre residential property containing a new dwelling. Zoned Residential, one-acre minimum lot size (R1).

Staff Analysis:

The applicant would like to install a 15-½ foot by 40 foot in-ground swimming pool immediately to the rear of an existing dwelling at this address. The pool will be set in a patio area adjacent to the dwelling and will have an automatic safety cover in lieu of a fence around the pool.

Since the property is in the Residential, one-acre minimum lot (R1) zoning district, there are no architectural or historical guidelines that need to be met for the pool. Safety or security fencing may be required around the pool by the Building Code or by CID.

Estimated Cost: @ \$72,799.00

Consistency With The Code:

The PZHAC will need to determine that the proposed pool will be compatible with the R-1 Zoning of the property. (Although the Code does not specifically address swimming pools, private pools are generally considered to be an ancillary or subordinate use to the residential use of a property and have generally been allowed in the RF districts in Town provided they meet requirements governed by CID.)

In addition to meeting the Mesilla zoning code requirements, the applicant will need to meet construction standards and any fencing or other safety measures required by CID for this type of pool. The possibility that additional safety requirements could be required by CID has been discussed with the applicant, and the applicant is prepared to meet any additional requirements that CID might have.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing an in-ground swimming pool on a residential property at this address.
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

PZHAC OPTIONS:

1. **Approve the zoning permit.**
2. **Approve the zoning permit with conditions.**
3. **Postpone a decision on the zoning permit to allow the applicant to provide additional information.**
4. **Reject the zoning permit.**

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Numt

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

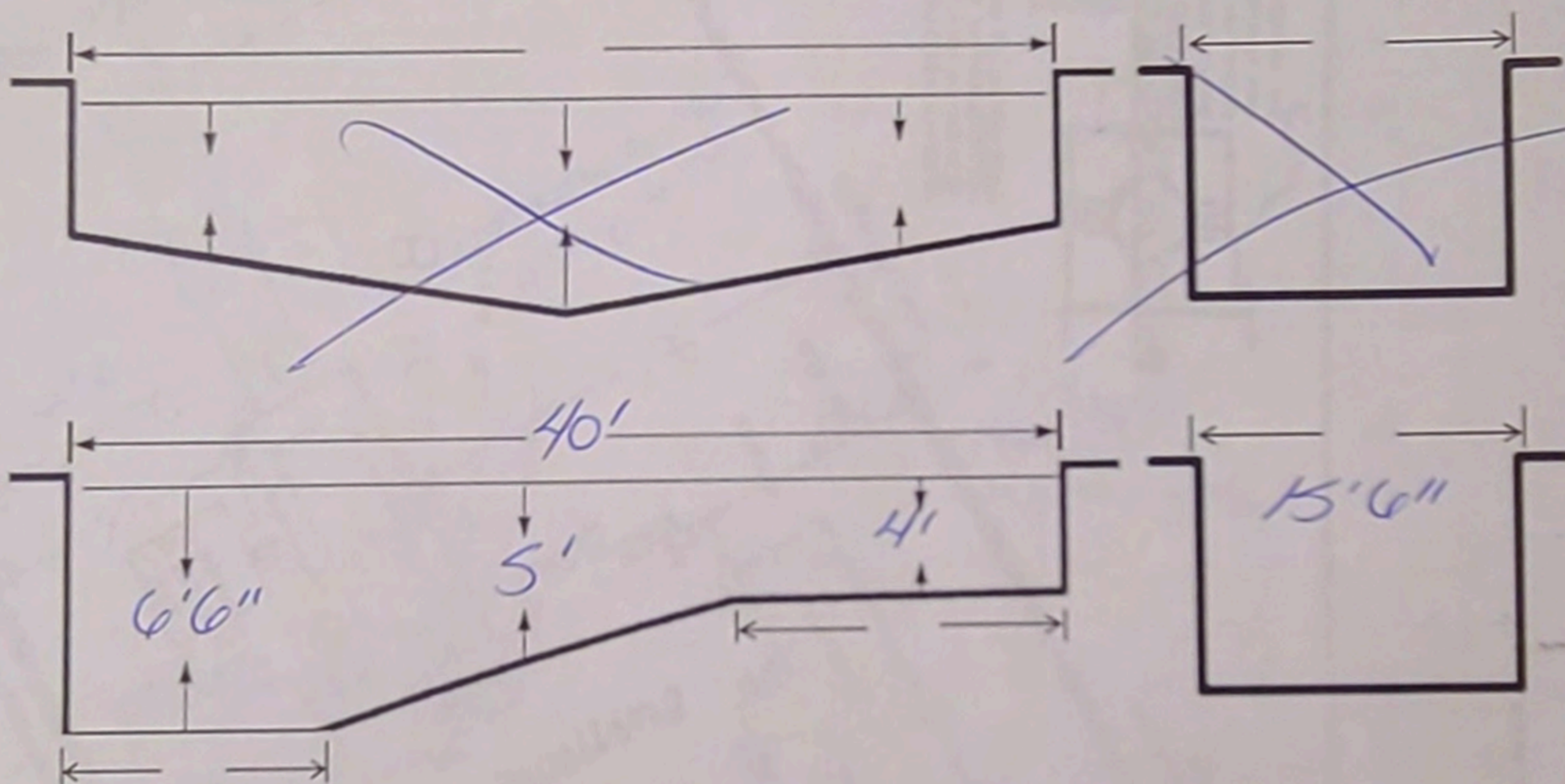
Account Number: [R0401337](#)
 Parcel Number: 4007137138337
 Owner: LOKEN DARRIN
 Mail Address: 4550 REAL DEL SUR
 Subdivision: LOS REYES SUBDIVISION
 (BK 22 PG 419-420 - 0804127)
 Property Address: 2655 CAMINO DEL REY
 Acres: 0





Date _____

Buyer DAREN/NORA COHEN Phone 575-649-0140
 Address 2655 CAMINO DEL REY Price \$69,743
 City TOWN OF MESILLA State NM Zip 88005
 Lot 8 Block _____ Subdivision LOS REYES



Pool/Spa to comply with all City, County, State Codes

Steel: 3 #3 continuous bands at bond beam

#3 Rebar 6" on center for walls and radius

#3 Rebar 12" on center throughout pool

#3 Rebar 12" on center each way @ pool bowl

Concrete Shell: 3750psi Pneumatically Applied Shotcrete

8" @ walls and floor

Equipment Specifications

Pool Size 15'6" x 40' Capacity 15K gallons

Turnover Rate 5 Hrs Flow 52 GPM

Pump VARIABLE SPEED

Filter CARTRIDGE

Skimmers 1

Dual Main Drains Yes No

Single VGB Drain yes No

Entry Steps Yes No

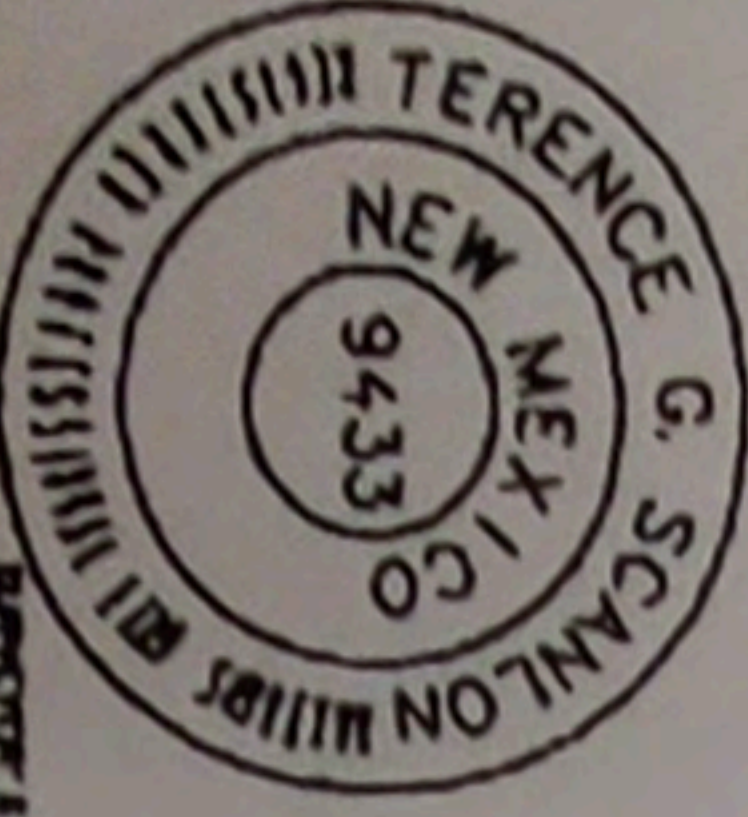
Auto Safety Cover Yes No

Diving Board Yes No

PLAT OF SURVEY

LOT 8,
 LOS REYES SUBDIVISION
 PLAT FILED FEBRUARY 11, 2008, IN
 PLAT BOOK 22, PAGES 419-420, IN
 THE DONA ANA COUNTY RECORDS
 TOWN OF MESILLA
 DONA ANA COUNTY
 NEW MEXICO

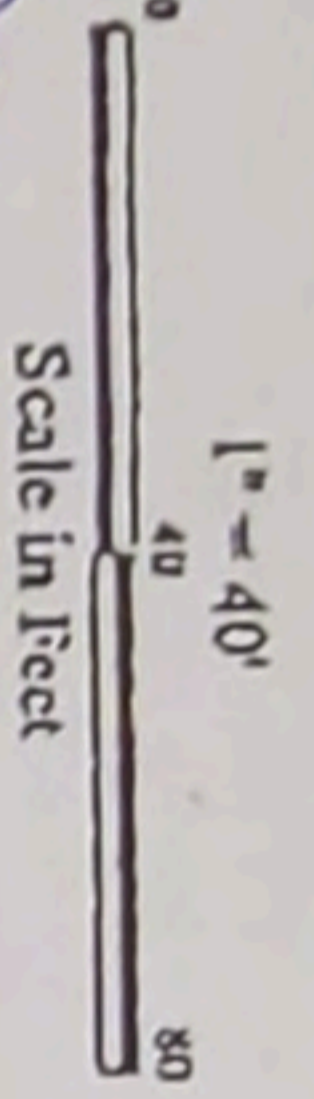
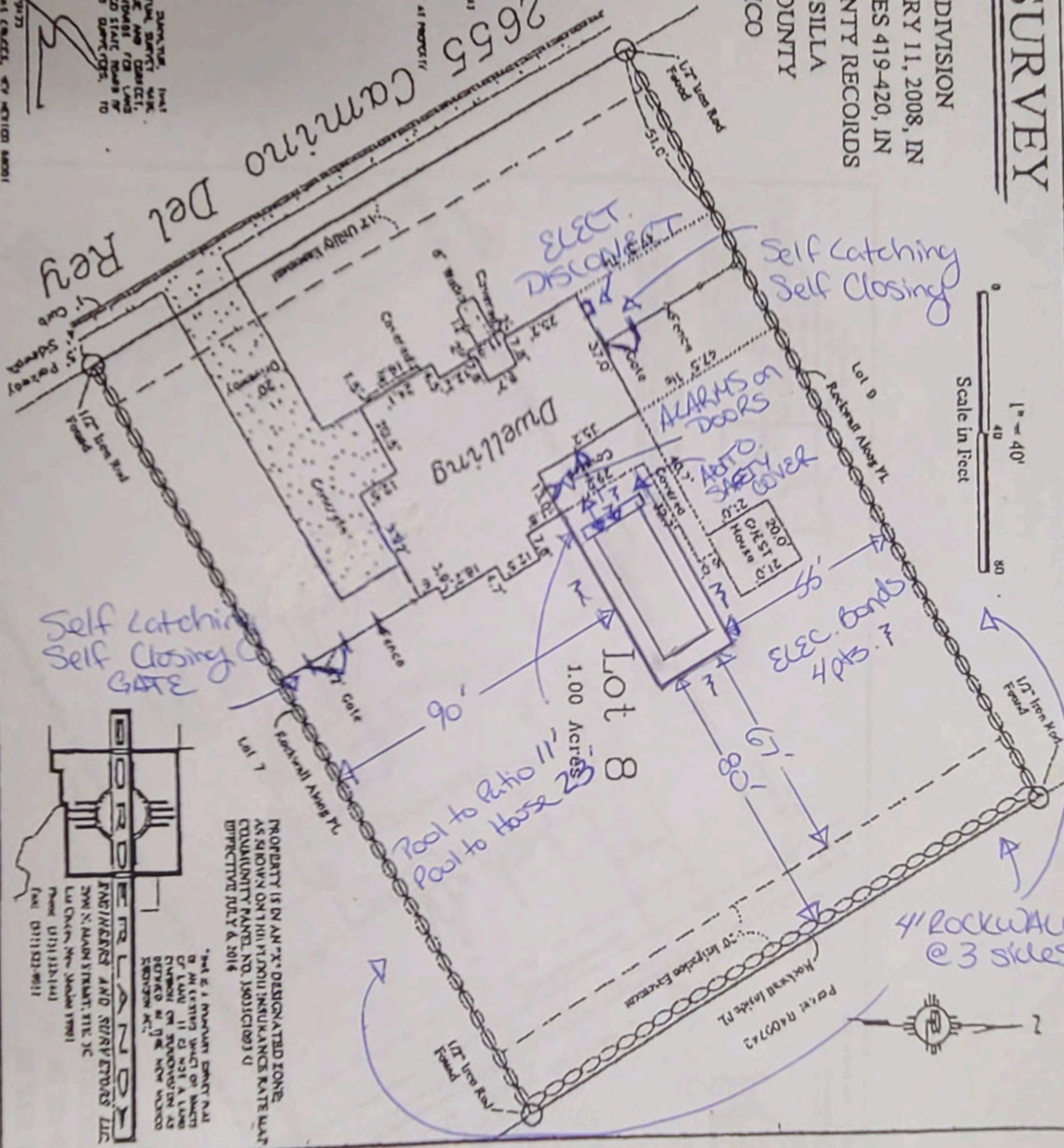
OWNER	THE S.P.
PREPARED BY	C.S. E.R.
DATE	20-08-2014
SCALE	AS SHOWN



NOTICE: THIS PLAT IS A PRELIMINARY PLAT. THE BOUNDARIES SHOWN HEREON ARE FOR THE PURPOSES OF RECORD ONLY AND DO NOT CONSTITUTE A WARRANTY OF TITLE OR A GUARANTEE OF ACCURACY. THE PLAT IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS. THE PLAT IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

THIS IS TO CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT. I HAVE REVIEWED THE RECORDS OF THE STATE ENGINEER FOR LAND SURVEYING IN NEW MEXICO AND ADHERE TO THE NEW MEXICO STATE BOARD OF LAND SURVEYING FOR PROFESSIONAL PRACTICE AND LAND SURVEYING TO THE BEST OF MY KNOWLEDGE AND BELIEF.

August 14, 2020
 T.G. Scanlon - P.E. No. 9433
 1990 N. MAIN STREET, STE. X, LAS ALAMOS, NEW MEXICO 87031



PROPERTY IS IN AN "X" DESIGNATED ZONE AS SHOWN ON THE PLAT. INSURANCE RATE MAY VARY. CONTACT THE INSURANCE COMPANY FOR MORE INFORMATION. EFFECTIVE JULY 1, 2016

TERENCE G. SCANLON
 ENGINEER AND SURVEYOR
 200 N. MAIN STREET, STE. 3C
 LAS ALAMOS, NEW MEXICO 87031
 PHONE: (505) 325-1144
 FAX: (505) 325-1111

Received UTL DKL
 Date 9/4/20

PLAT OF SURVEY

LOT 8,
 LOS REYES SUBDIVISION
 PLAT FILED FEBRUARY 11, 2008, IN
 PLAT BOOK 22, PAGES 419-420, IN
 THE DONA ANA COUNTY RECORDS
 TOWN OF MESILLA
 DONA ANA COUNTY
 NEW MEXICO

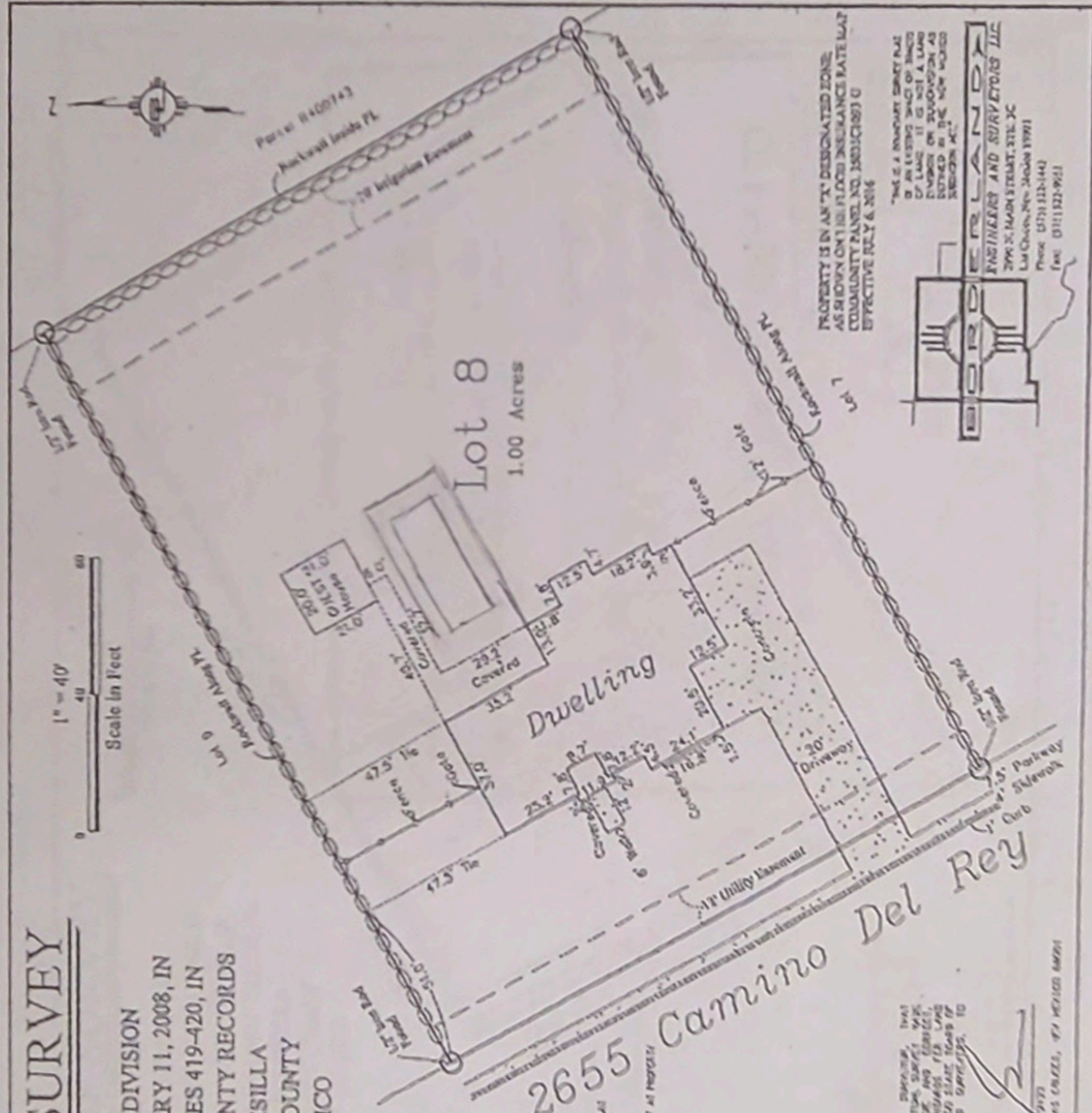
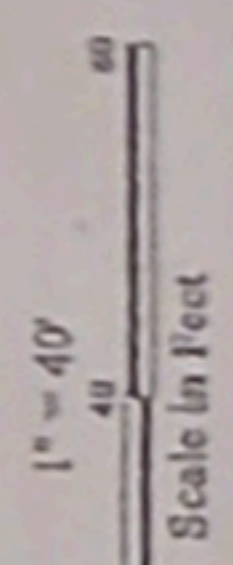
PREPARED BY	C.S., E.R.
DATE	20-05-2014
SCALE	August 14, 2014

NOTICE: THIS PLAT OF SURVEY IS THE PROPERTY OF THE SURVEYOR. IT IS THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAT OF SURVEY.



THIS IS TO CERTIFY THAT I, THE SURVEYOR, HAVE PERSONALLY EXAMINED THE FIELD NOTES AND PLAT OF SURVEY AND THAT THE SAME ARE TRUE AND CORRECT. I HAVE ALSO EXAMINED THE ORIGINAL RECORDS OF THE SURVEY AND THE PLAT OF SURVEY IS A TRUE AND CORRECT REPRESENTATION OF THE SAME.

TERRENCE G. SCANLON
 SURVEYOR
 2655 CAMINO DEL REY, SUITE 100, LAS CRUCES, NM 87601
 PHONE: (505) 325-1111
 FAX: (505) 325-1112



PROPERTY IS IN AN "X" DESIGNATED ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 18031C083 G EFFECTIVE JULY 6, 2016

THIS IS A PROPERTY SURVEY PLAT IN AN EXISTING TRACT OF LAND OF LAND. IT IS NOT A LAND SURVEY OR SUBDIVISION AS DEFINED IN THE NEW MEXICO STATUTES.

TERRENCE G. SCANLON
 ENGINEER AND SURVEYOR, L.L.C.
 2655 CAMINO DEL REY, SUITE 100
 LAS CRUCES, NM 87601
 PHONE: (505) 325-1111
 FAX: (505) 325-1112

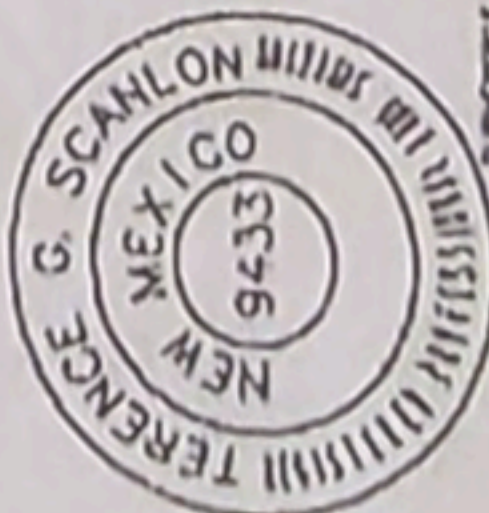
Received RTL DKL
 Date 9/4/20

PLAT OF SURVEY

LOT 8,
 LOS REYES SUBDIVISION
 PLAT FILED FEBRUARY 11, 2008, IN
 PLAT BOOK 22, PAGES 419-420, IN
 THE DONA ANA COUNTY RECORDS
 TOWN OF MESILLA
 DONA ANA COUNTY
 NEW MEXICO

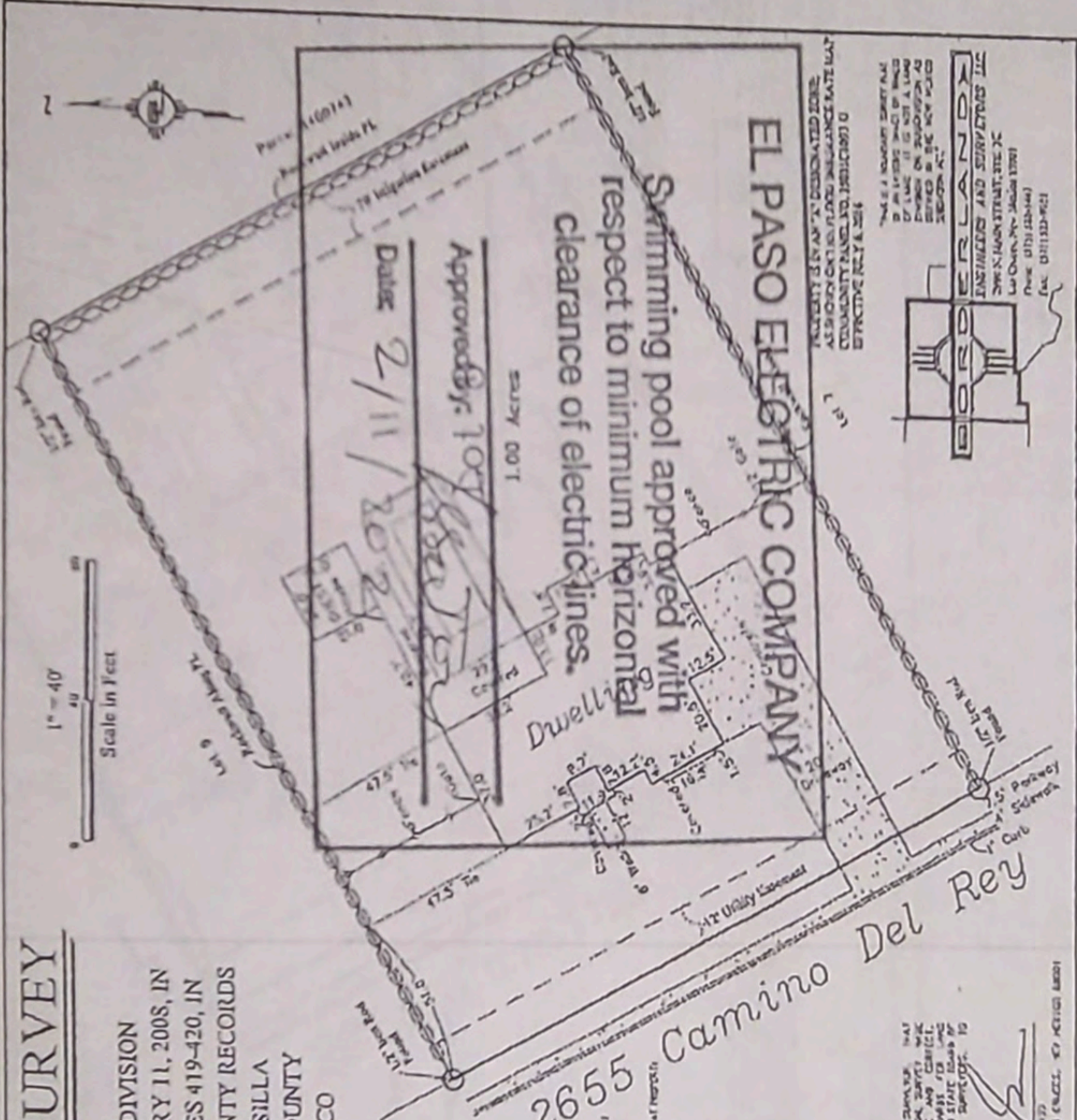
PREPARED BY	C.S. ER.
DATE	20-08-2011
SCALE	AS SHOWN

NOTICE: THIS PLAT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED SURVEYOR IN THE STATE OF NEW MEXICO. I HAVE BEEN ADVISED BY THE PERSONS WHOSE NAMES ARE SET FORTH IN THIS PLAT THAT THEY ARE THE OWNERS OF THE INTERESTS DESCRIBED AND THAT THEY HAVE THE RIGHT TO CONVEY THE SAME. I HAVE BEEN ADVISED THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



THIS IS TO CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF NEW MEXICO AND THAT I HAVE PREPARED THIS PLAT IN ACCORDANCE WITH THE STATUTES OF THE STATE OF NEW MEXICO. I HAVE BEEN ADVISED BY THE PERSONS WHOSE NAMES ARE SET FORTH IN THIS PLAT THAT THEY ARE THE OWNERS OF THE INTERESTS DESCRIBED AND THAT THEY HAVE THE RIGHT TO CONVEY THE SAME. I HAVE BEEN ADVISED THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

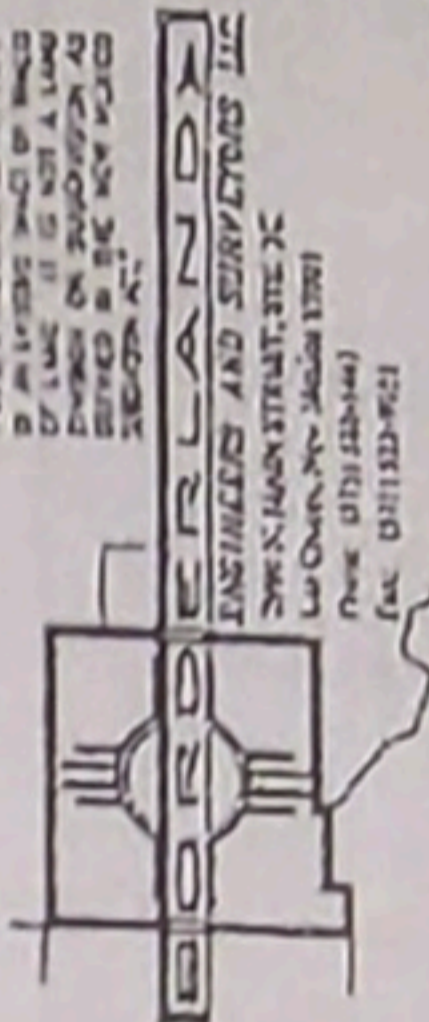
Terence G. Scallion
 TERENCE G. SCALLION - P.S. NO. 9433
 2793 N. MAIN STREET, STE. 201 LAS VEGAS, NV 89101



EL PASO ELECTRIC COMPANY

Swimming pool approved with
 respect to minimum horizontal
 clearance of electric lines.

Approved By: *[Signature]*
 Date: 2/11/2011



Received *HTL DKL*
 Date *9/4/20*

PLAT OF SURVEYLATION

LOT 8,

LOS REYES SUBDIVISION
 PLAT FILED FEBRUARY 11, 2008, IN PLAT BOOK
 PLAT BOOK 22, PAGES 419-420, IN
 THE DONA ANA COUNTY RECORDS
 TOWN OF MESILLA
 DONA ANA COUNTY
 NEW MEXICO

DATE OF S.P.	20-05-2008
DATE OF C.S.E.R.	20-05-2008
DATE OF 20-05-2008	
DATE OF AUGUST 14, 2008	

NOTICE: THIS PLAT IS THE PROPERTY OF THE SURVEYOR AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR.

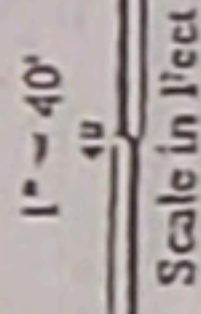


THIS IS TO CERTIFY THAT I, A REGISTERED LAND SURVEYOR, HAVE PREPARED THIS PLAT FROM FIELD NOTES AND MEASUREMENTS MADE BY ME OR UNDER MY SUPERVISION AND THAT IT IS TRUE AND CORRECT. I HAVE ALSO REVIEWED THE RECORDS OF THE STATE OF NEW MEXICO AND HAVE FOUND NO OBJECTION TO THE INFORMATION CONTAINED HEREIN.

TERENCE G. SCANLON
 8750 N. MAIN STREET, S.W. ALBUQUERQUE, NEW MEXICO 87110

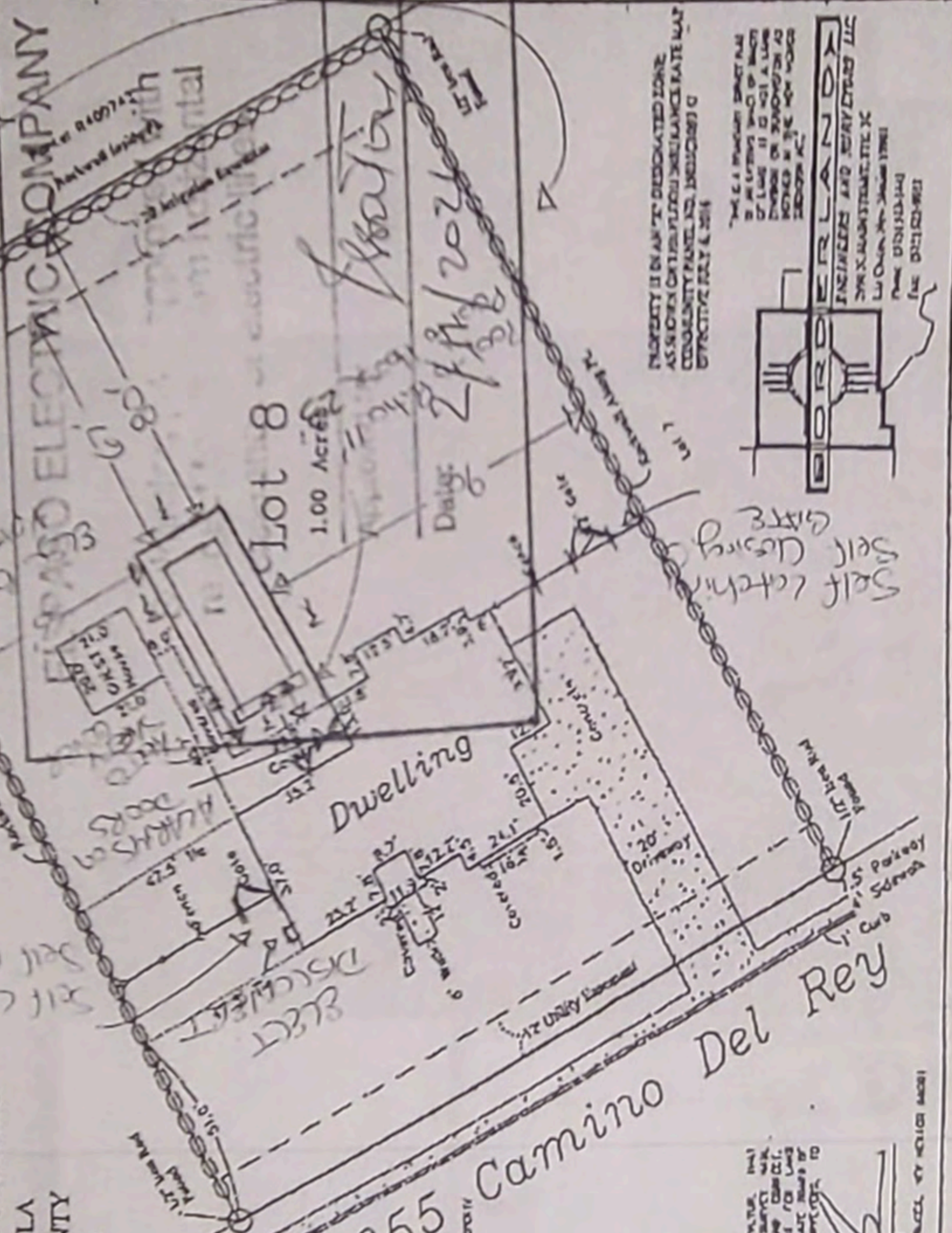
Terence G. Scanlon

August 14, 2008
 DATE OF SURVEY



Scale in Feet

419-420 RECORDS
 3 BILLS
 1/27 DKL
 Received 9/4/20
 Date

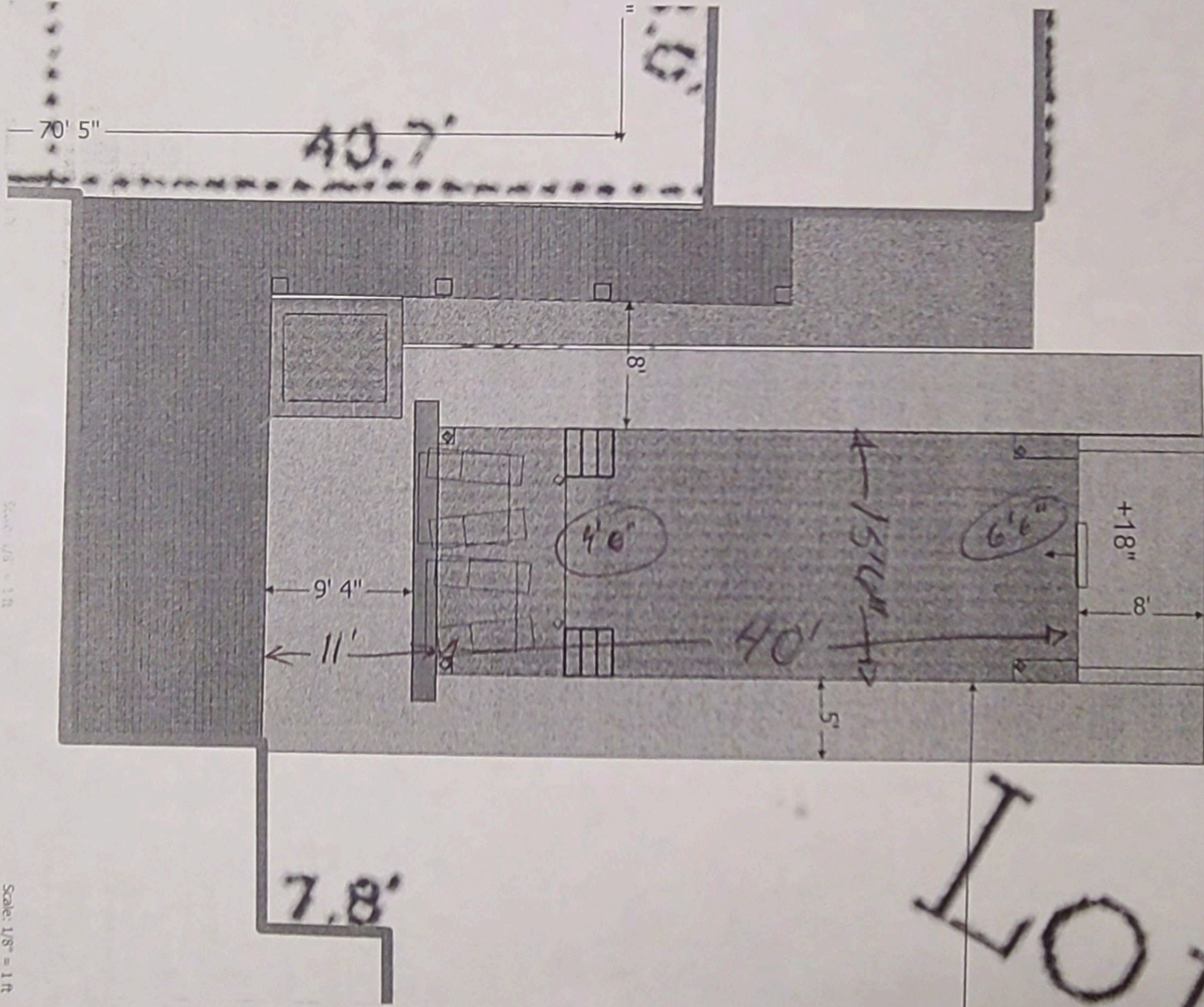


PROPERTY IS IN PART DEDICATED ZONE AS SHOWN ON THE PLAT AND SHALL BE SUBJECT TO THE ZONING REGULATIONS OF THE DONA ANA COUNTY PLANNING AND ZONING DEPARTMENT, EFFECTIVE JULY 6, 2008.

THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND I AM A LICENSED SURVEYOR IN THE STATE OF NEW MEXICO. I HAVE REVIEWED THE RECORDS OF THE STATE OF NEW MEXICO AND HAVE FOUND NO OBJECTION TO THE INFORMATION CONTAINED HEREIN.

BORELAND
 ENGINEERS AND SURVEYORS LLC
 1000 N. MAIN STREET, S.W. ALBUQUERQUE, NM 87102
 PHONE: (505) 263-1141
 FAX: (505) 263-9631

pbodpoolcare@gmail.com



Scale: $1/8" = 1'$

Scale: $1/8" = 1'$

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY
Case # 061197
Fee \$ 120,00

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061197 ZONE: R1 CODE: SP APPLICATION DATE: 3/31/21

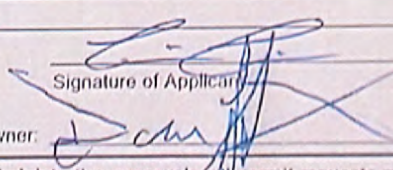
Daren & Nbra Loken 575-649-0140
Name of Property Owner Property Owner's Telephone Number
2655 Camino Del Rey Las Cruces, NM 88005
Property Owner's Mailing Address City State Zip Code
dloken00@gmail.com
Property Owner's E-mail Address

Boles Bui DESAN 1230 Augustine Ave Las Cruces, NM 88001
Contractor's Name & Address (If none, indicate Self)
575-993-0901 372522
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

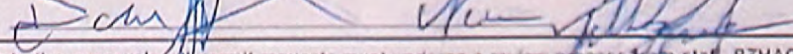
Address of Proposed Work: 2655 Camino Del Rey Las Cruces, NM 88005

Description of Proposed Work: Swimming pool

\$ 72,799
Estimated Cost


Signature of Applicant

03/15/21
Date

Signature of property owner: 

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & APPROVAL REQUIRED
CID APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

PZHAC ACTION FORM
[PZHAC REVIEW – 4/5/2021]
STAFF ANALYSIS

Item:

Case 061198 – Avenida de Mesilla (addresses to be assigned), submitted by Indalecio Prieto; a request for a zoning permit to allow a 195 foot long by four foot high single pipe fence to be installed along the front property lines of two adjacent properties containing a pecan grove to the north a property at 3260 North Highway 28. Zoned: Rural/Agricultural (RA)

Staff Analysis:

The applicant would like to install a four foot high pipe fence along the fronts of two properties that border Avenida de Mesilla (NM Highway 28). The fence will consist of vertical pipes about four feet high with a single pipe connecting the tops of the pipes. The purpose of the fence will be to limit people from entering the pecan grove that is on the properties.

Estimated Cost: \$360.00

Consistency with the Code:

The PZHAC will need to determine that the proposed fence will be consistent with other fences in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing a pipe fence along the frontage of two properties facing Avenida de Mesilla (NM Highway 28).
- The PZHAC has determined that the proposed fence meet all applicable Code requirements.

PZHAC OPTIONS:

1. **Approve the zoning permit.**
2. **Approve the zoning permit with conditions.**
3. **Postpone a decision on the zoning permit to allow the applicant to provide additional information.**
4. **Reject the zoning permit.**

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number

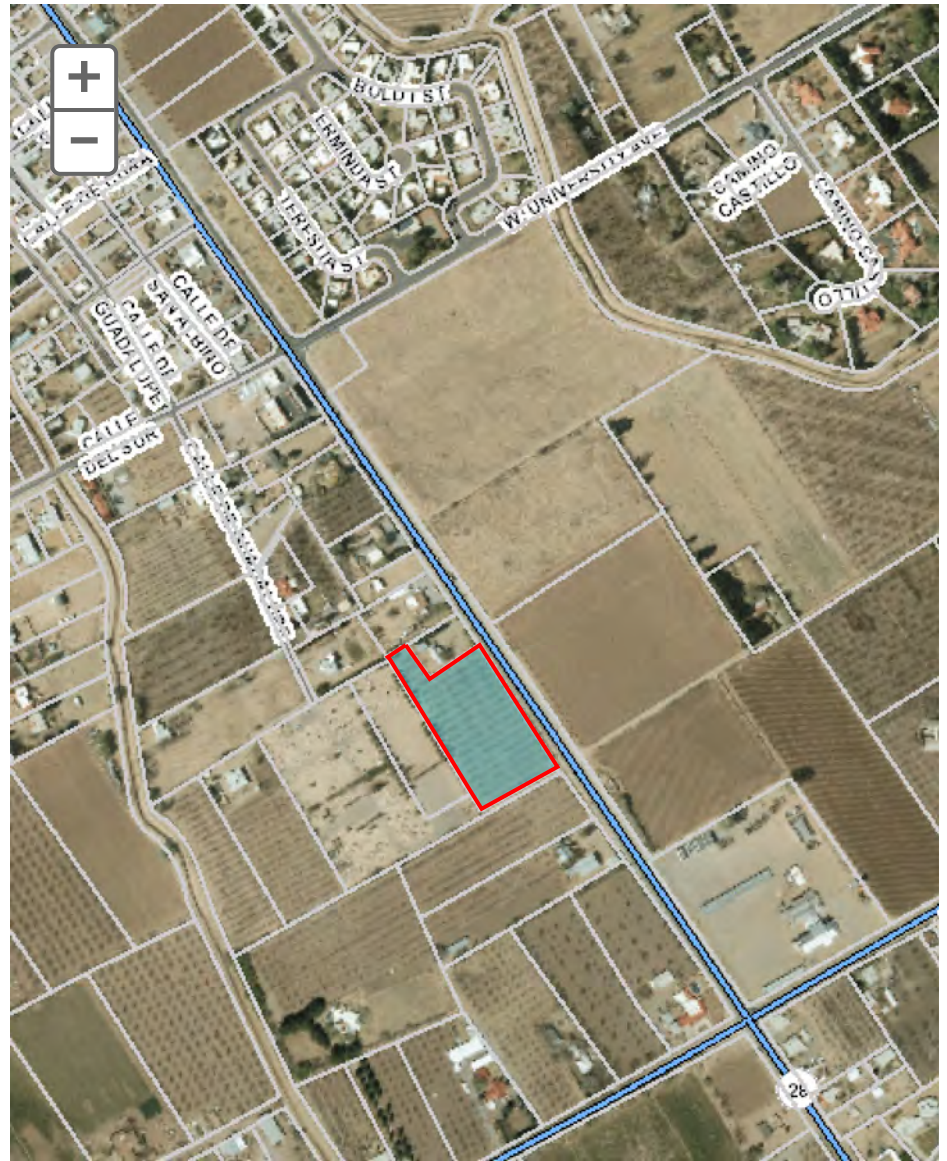
Maps

Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0401610](#)
 Parcel Number: 4006138442205
 Owner: PRIETO INDALECIO & DOROTHY B
 Mail Address: PO BOX 286
 Subdivision:
 Property Address: AVENIDA DE MESILLA
 Acres: 3.48



Doña Ana County, NM

General Reference Maps

2014 Aerial Addresses County Address Points

Select Search Type:

Maps

Legend

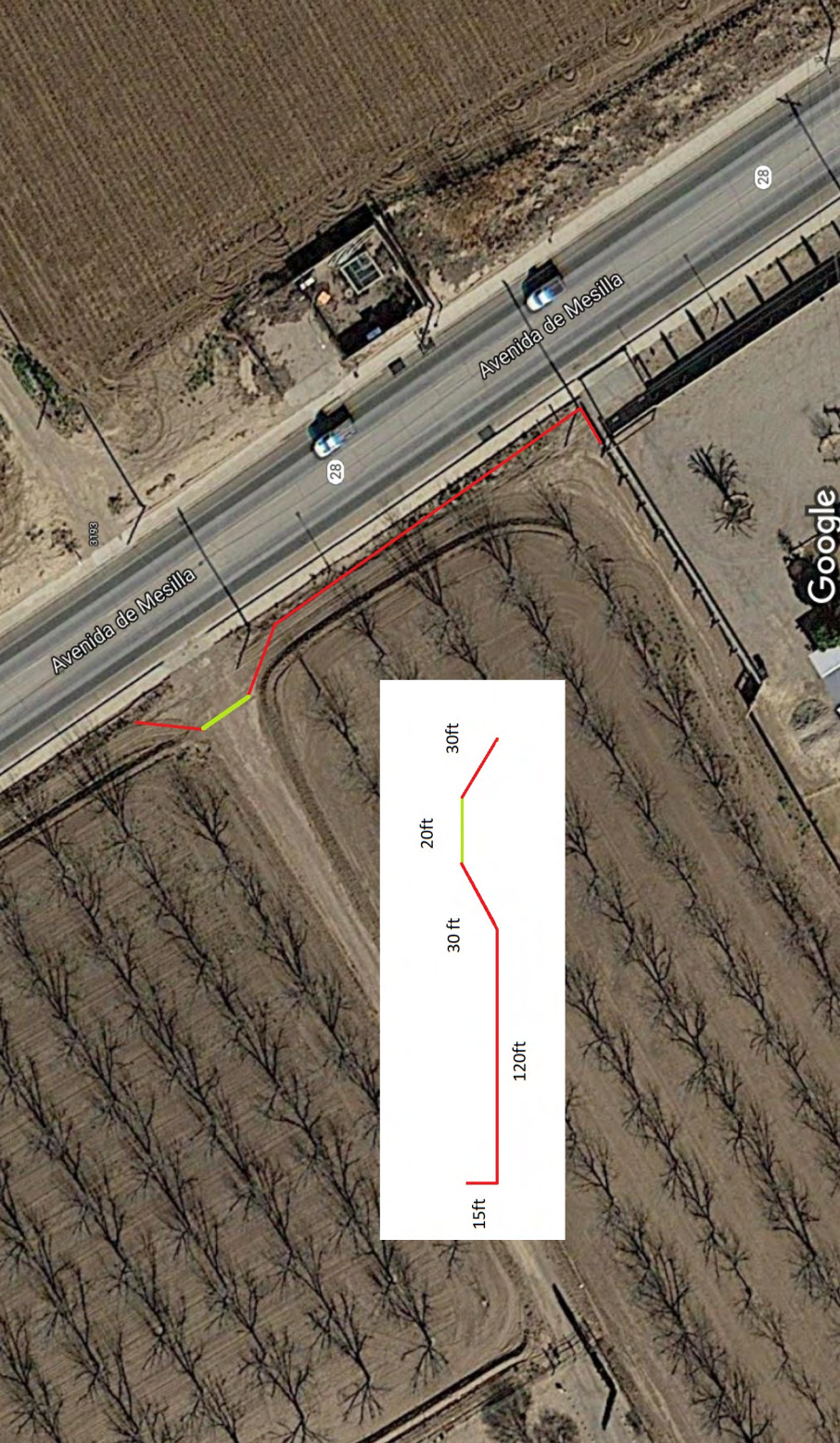
Map Themes

Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0401613](#)
Parcel Number: 4006138440206
Owner: PRIETO INDALECIO G & DOROTHY B
Mail Address: PO BOX 286
Subdivision:
Property Address: HIGHWAY 28
Acres: 2.79







Avenida de Mesilla

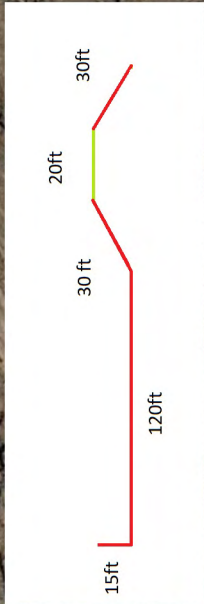
Avenida de Mesilla

28

28

3103

Google



TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061198

Fee \$ 45.00

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061198 ZONE: RA CODE: M1 APPLICATION DATE: 3/9/21

INDALECIO PRIETO
Name of Property Owner 575.621.2456
Property Owner's Telephone Number

3260 N HWY 28 LAS CRUCES NM 88005
Property Owner's Mailing Address City State Zip Code

Property Owner's E-mail Address

SELF
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 3260 N HWY 28

Description of Proposed Work: RIDE FENCE ALONG FRONT OF ORCHARD
GATE BLOCKING ACCESS TO ENTER PROPERTY
195' LONG 4' TALL GATE 20' WIDE

\$ 360.00
Estimated Cost Signature of Applicant [Signature] Date 3/9/2021

Signature of property owner: Indalecio J. Prieto

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW AND APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the

PZHAC ACTION FORM
[PZHAC REVIEW – 4/5/2021]
STAFF ANALYSIS

Item:

Case 061199 – 2100 West Union Avenue, submitted by Justin and Michelle Nunn, a request for a zoning permit to allow the installation of a fence and a gate across the front of a residential property at this address. Zoned: Rural Agricultural (RA)

Staff Analysis:

The applicant would like to build a small (80 square feet) wooden tool shed at the rear of a dwelling at this address. The shed will be located seven feet from the nearest property line and will be a portable structure that will not be anchored to the property (see attached construction plan). This will not be a permanent structure. There will not be electricity connected to the shed.

Estimated Cost: \$3,500.00

Consistency with the Code:

The PZHAC will need to determine that the proposed wall and gate will be consistent with other walls in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing a rock wall and gate at the front of a residential property containing an existing dwelling at this address.
- The PZHAC has determined that the proposed wall meet all applicable Code requirements.

PZHAC OPTIONS:

5. **Recommend approval of the zoning permit to the BOT.**
6. **Recommend approval of the zoning permit to the BOT with conditions.**
7. **Reject the application.**

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

Map Help

Doña Ana County Geospa

2014 Aerial

Addresses

County Address Points

Select Search Type:

Account Number

Enter Value:

Search

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400702](#)

Parcel Number: 4006138455265

Owner: NUNN MICHELLE

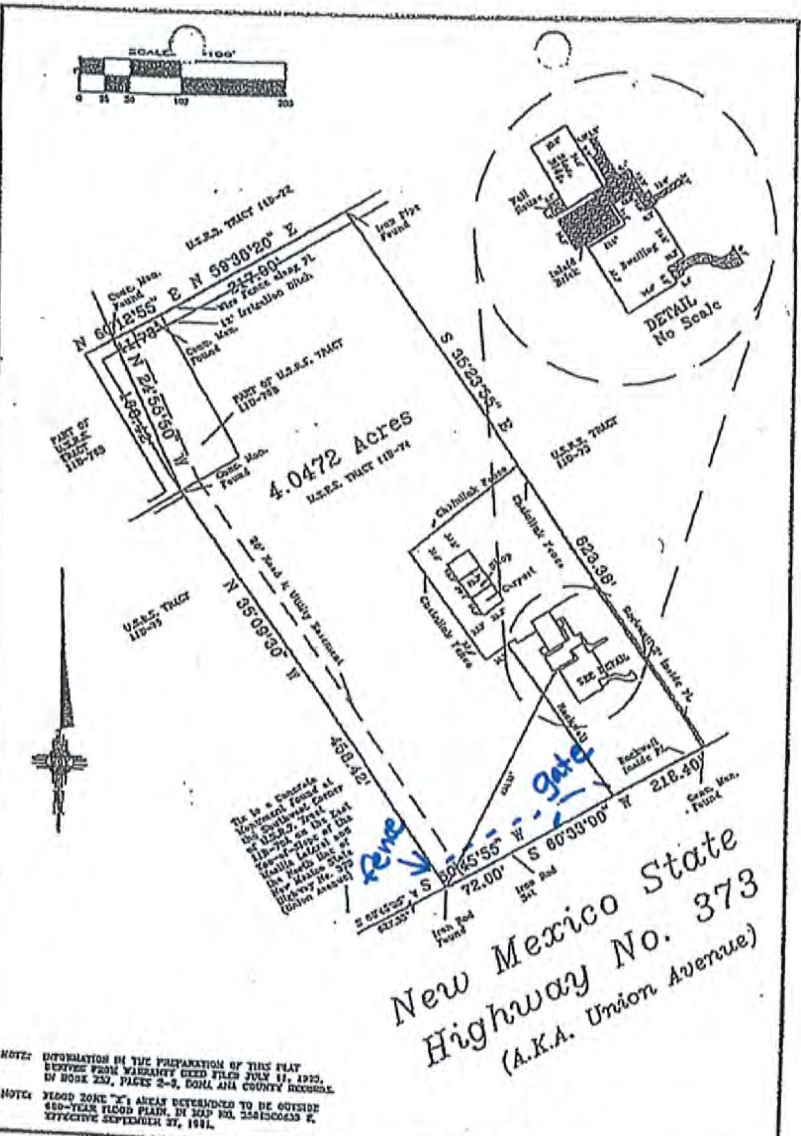
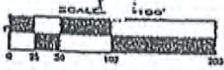
Mail Address: 11790 STEEPLE A RD
NE

Subdivision:

Property Address: 2100 W UNION

Acres: 4.04





New Mexico State
 Highway No. 373
 (A.K.A. Union Avenue)

NOTE: INFORMATION IN THE PREPARATION OF THIS PLAT
 DERIVED FROM WARRANTY DEED FILED JULY 11, 1973,
 BY BOOK 224, PAGES 2-9, DONA ANA COUNTY RECORDS.

NOTE: FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE
 100-YEAR FLOOD PLAIN, BY 2007 F01, 2541200233 F,
 EFFECTIVE SEPTEMBER 27, 1991.



PLAT OF SURVEY
 SHOWING THE LOCATION OF IMPROVEMENTS
 ON A 4.0472 ACRE TRACT IN
 SECTION 08, T23S, R1E, N.M.P.M.
 OF THE U.S.R.S. SURVEYS
 BEING U.S.R.S. TRACT 110-74 AND
 PART OF U.S.R.S. TRACT 110-76B
 TOWN OF MESILLA
 DONA ANA COUNTY
 NEW MEXICO

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE
 OF NEW MEXICO AND THAT THIS PLAT WAS MADE BY ME OR UNDER MY
 SUPERVISION FROM THE NOTES OF AN ACCURATE FIELD SURVEY AND THAT IT
 MEETS THE MEXICAN STANDARDS FOR LAND SURVEYS AS SET FORTH BY THE
 NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND
 LAND SURVEYORS AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY
 KNOWLEDGE AND BELIEF.

Jorge Hoy
 J.H.O. 5223

MOY SURVEYING CO.
 414 N. DOWNEY RD. BLDG.
 LAS CRUCES, NEW MEXICO
 88001
 PHONE: (505) 525-9683
 FAX: (505) 524-9286

JOB NO. 93-050
 DRAWN BY BRADY
 FIELD BY KEM, THANE, JAMES
 DATE: 6-18-03
 SCALE: 1"=100'

ZONING APPROVAL

Case # 061199
Fee \$ 90.00

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061199 ZONE: RA CODE: M1 APPLICATION DATE: 3/29/21

Justin and Michelle Nunn 575-494-4132
Name of Property Owner Property Owner's Telephone Number
2100 W Union Ave Las Cruces N.M. 88005
Property Owner's Mailing Address City State Zip Code
Michelle.nunn@gmail.com
Property Owner's E-mail Address
Self
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2100 W Union Avenue
Description of Proposed Work: Gate and Fence

\$ 3500.00 Michelle Nunn 31 29 2021
Estimated Cost Signature of Applicant Date

Signature of property owner: Michelle Nunn

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**PZHAC NEW BUSINESS
APRIL 5, 2021**

**DECISION ITEMS
SIGN PERMITS**

PZHAC ACTION FORM
[PZHAC REVIEW – 4/5/2021]
STAFF ANALYSIS

Item:

Case 061200 -Submitted by Felix Armijo, a request for a sign permit to allow a sign to be placed on a business (Cafe Don Felix) at this address. Zoned: Historic Commercial (HC)

Staff Analysis:

This is actually a hanging sign that is attached to the patio of the structure and hangs above the entrance to the business that was installed without a permit. The applicant has been informed that a permit will be necessary to allow the sign to remain, and has been fined accordingly. The sign is about six square feet in size and is about seven feet of the entrance to the patio. The sign is wood painted in blue, black and white (see attached photo). (The Code does not specifically address hanging signs or signs of this type.)

Consistency with the Code:

The PZHAC will need to determine that the wall will be consistent the following section of the Code:

18.65.150 Projecting signs.

- A. No projecting sign may rise above the level of the first story of the building to which it is attached. All projecting signs must be at least seven feet above sidewalk or ground level, and must be located within the central one-third of the facade length so as not to obstruct neighboring signs.
- B. Projecting signs shall be limited in area as follows:
 - 1. A maximum of four feet projecting from the wall of the building;
 - 2. A maximum of eight square feet of total sign space including frame. Both sides of a projecting sign may be used for advertisement.
- C. The supporting structure of any projecting sign must be of adequate strength so as to have no need for guy-wires or wire reinforcement. [Ord. 94-08; prior code § 11-3-15]

The PZHAC will need to determine that the proposed wall will be consistent with signs in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The request is to allow a sign to remain hanging above the entrance to the dining establishment at this location.
- The PZHAC has determined that the proposed wall meet all applicable Code requirements.

PZHAC OPTIONS:

1. **Recommend approval of the zoning permit to the BOT.**
2. **Recommend approval of the zoning permit to the BOT with conditions.**
3. **Postpone a decision on the zoning permit to allow the applicant to provide additional information.**
4. **Reject the zoning permit.**

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

Map Help

Doña Ana County Geospa

2014 Aerial

Addresses

County Address Points

Select Search Type:

Account Number

Enter Value:

Search



Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400315](#)

Parcel Number: 4006137229477

Owner: ARMIJO FELIX M &

GUADALUPE R

Mail Address: 2004 W UNION

Subdivision:

Property Address: 2410 CALLE DE

PRINCIPAL

Acres: 0



Doña Ana County Flood

Ma



Ma

2290-D



OFFICIAL USE ONLY:

Case # 061200

Fee \$ 60.00

CASE NO. 061200 ZONE: HC APPLICATION DATE: _____

Don Felix Cafe 575 222 0876
Business Name Business Telephone Number

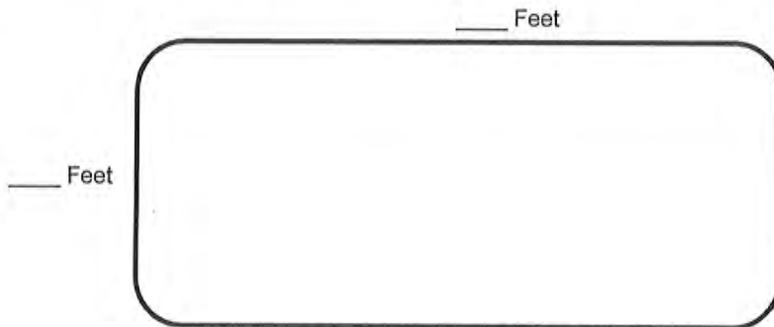
2290 Calle De Panian Mesilla NM 88005
Business Address City State Zip Code

Don Felix Armijo 575 640 6713
Applicant Name Applicant Telephone/Cell Number

2004 W Union Ave Las Cruces NM 88005
Mailing Address City State Zip Code

Description of sign: White Don Felix written across and our logo of a sugar skull in the middle in blue

Please include dimensions, lettering, shape, material, texture, colors, and/or finish to be used on the diagram below.



Colors: Blue Black white

FOR OFFICIAL USE ONLY

- | | | | |
|-------|---|-----|---|
| PZHAC | <input type="checkbox"/> Administrative Approval | BOT | <input type="checkbox"/> Approved Date: _____ |
| | <input type="checkbox"/> Approved Date: _____ | | <input type="checkbox"/> Disapproved Date: _____ |
| | <input type="checkbox"/> Disapproved Date: _____ | | <input type="checkbox"/> Approved with Conditions |
| | <input type="checkbox"/> Approved with conditions | | |

CONDITIONS: PZHAC REVIEW + BOT APPROVAL REQUIRED

PERMIT ISSUED BY: _____ ISSUE DATE: _____