



# Town of Mesilla, New Mexico

## PZHAC WORK SESSION & MEETING

### AGENDA

FEBRUARY 1, 2021

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A **WORK SESSION** VIA TELECONFERENCE ON MONDAY, FEBRUARY 1, 2021 AT 2:30 P.M. **TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 603-754-4231 PASSWORD 193857.**

- A. Submitted by Brad and Debbie Foreman, a request to discuss plans to build a residence and a structure with a 600 square foot casita, a pool, a workshop, and a studio on a five acre property located at 2725 Old Farm Road between Old Farm Road and Stanford Road along the Gillem Lateral. (Case 061156) Zoned: Rural Farm (RF)

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A **REGULAR MEETING** VIA TELECONFERENCE ON MONDAY, FEBRUARY 1, 2021 IMMEDIATELY FOLLOWING THE WORK SESSION. **TO JOIN THE MEETING BY PHONE DIAL 1-346- 248-7799, THEN ENTER Meeting ID 603-754-4231 PASSWORD 193857.**

#### I. PLEDGE OF ALLEGIANCE

#### II. ROLL CALL AND DETERMINATION OF A QUORUM

#### III. CHANGES/APPROVAL OF THE AGENDA

#### IV. \*ACCEPTANCE OF THE CONSENT AGENDA

*Note: Items on the agenda indicated by an asterisk (\*) are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

##### A. \*PZHAC MINUTES – PZHAC Work Session and Meeting of January 19, 2021.

##### B. \*ADMINISTRATIVE APPROVALS

###### Zoning Permit:

1. **Case 061158** – 3037 Los Arenales, submitted by Elisa Rios, a request for a zoning permit to allow the replacement of three window on a dwelling at this address. Zoned: Rural Farm (RF)
2. **Case 061159** - 2170 Calle de Santa Ana, submitted by Lorenzo L. Fierro; a request for a zoning permit to allow the extension of an existing driveway at this address. Zoned: Historic Residential (HR)
3. **Case 061160** – 2140 Calle de Norte, submitted by Douglas Zimmerman; a request for a zoning permit to allow the repainting of a dwelling at this address. Zoned: Historic Residential (HR)
4. **Case 061161** – 2510 Calle de Parian, submitted by Toby and Steven Carrasco; a request for a zoning permit to allow the landscaping of a 4,200 square foot backyard of a dwelling at this address. Zoned: Historic Residential (HR)

#### II. PZHAC NEW BUSINESS:

##### A. PUBLIC INPUT ON CASES

**Public input shall be received at [larrys@mesillanm.gov](mailto:larrys@mesillanm.gov) at least one hour prior to the meeting and will be read into the record. You will also be given an opportunity to speak during this time by joining the meeting by phone and pressing \*9 while in the teleconference. This will let the host know that you wish to speak. You will be prompted by the host or the Commission Chair when to begin speaking.**

##### B. DECISIONS:

###### Zoning Permits

1. **Case 061156** – 2725 Old Farm Road, submitted by Brad and Debbie Foreman, a request for a zoning permit to allow the construction of a residence and a structure with a 600 square foot casita, a pool, a workshop, and a studio. Zoned: Rural Farm (RF) **Discussed during the Work Session**

2. **Case 061162** – 3150 Bowman Street, submitted by Grady Oxford; a request for a zoning permit to allow the construction of an addition to a dwelling on a 0.84 acre property at this address. Zoned: Residential, one acre (R-1)

#### **Business/Short-Term Rental Registrations**

3. **Permit 0866** – 2419B Calle de Parian, submitted by Veronica Slade; a request for a business license to allow the applicant to operate an online mental health counselling operation as a home occupation from a dwelling at this address. Zoned: Historic Residential (HR).
4. **Permit 0868** – 2030 Calle de Parian (upper floor), submitted by Julienne Hadfield for “Billy the Kid’s Getaway”; a request for a Short-Term-Rental business license to allow the applicant to operate a short-term-rental operation on the upper floor of a commercial building at this address. Zoned: Historic Commercial (HC).
5. **Permit 0870** – 2030 Calle de Parian (lower floor), submitted by Julienne Hadfield for “Billy the Kid’s Casita”; a request for a Short-Term-Rental business license to allow the applicant to operate a short-term-rental operation on the ground floor of a commercial building at this address. Zoned: Historic Commercial (HC).

#### **C. ELECTION OF PZHAC OFFICERS**

1. **PZHAC Chair-person**
2. **PZHAC Vice Chair-person**

#### **VI. PZHAC/STAFF COMMENTS**

#### **VII. ADJOURNMENT**

#### **NOTICE**

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 1/28/2021 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty’s Food Mart - 2290 Avenida de Mesilla; Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

**PZHAC NEW BUSINESS  
FEBRUARY 1, 2021**

**WORK SESSION**



**PZHAC WORK SESSION  
FEBRUARY 1, 2021**

Submitted by Brad and Debbie Foreman, a request to discuss plans to build a residence and a structure with a 600 square foot casita, a pool, a workshop, and a studio on a five acre property located at 2725 Old Farm Road between Old Farm Road and Stanford Road along the Gillem Lateral. Zoned: Rural Farm (RF)

*This case was originally heard by the PZHAC on January 19, 2021. Commission Chair Lucero stated that the plans need to be reviewed by the “Architectural Review” Committee, and then brought back to the PZHAC for review. The proposal was reviewed by that committee and it was determined that there were no issues with the application.*

**DESCRIPTION OF REQUEST:**

The property, which is five acres in size, is currently vacant and is located on the north edge of the Town along the Gillem Lateral. Access is by both Old Farm Road and Stanford Road, but the applicant plans to run a driveway to Old Farm Road.

The primary dwelling will be 3084 square feet (84 feet by 36 feet) in size on a single level having four bedrooms. The accessory structure will have an enclose area identical in size to the primary structure and will contain a 600 square foot casita, an indoor pool, a workshop and a studio along with an attached carport. (see attached floor plans). The height of the structures to the roof peak is 22 feet. (This is under the 30 foot maximum for structures in the RF zoning district.)

The two buildings will be metal with rock trim and a large attic (see attached photos provided by applicant showing proposed structure). Porches will run along the long sides of both buildings. There will be no windows in the attic. The applicant has submitted a complete full-sized set of plans with the application. I have these available for review.

Attached are a survey and site plan of the property, along with the floor plans for the buildings. According to the applicant, the style and color of the dwelling will be as shown in the attached photos.

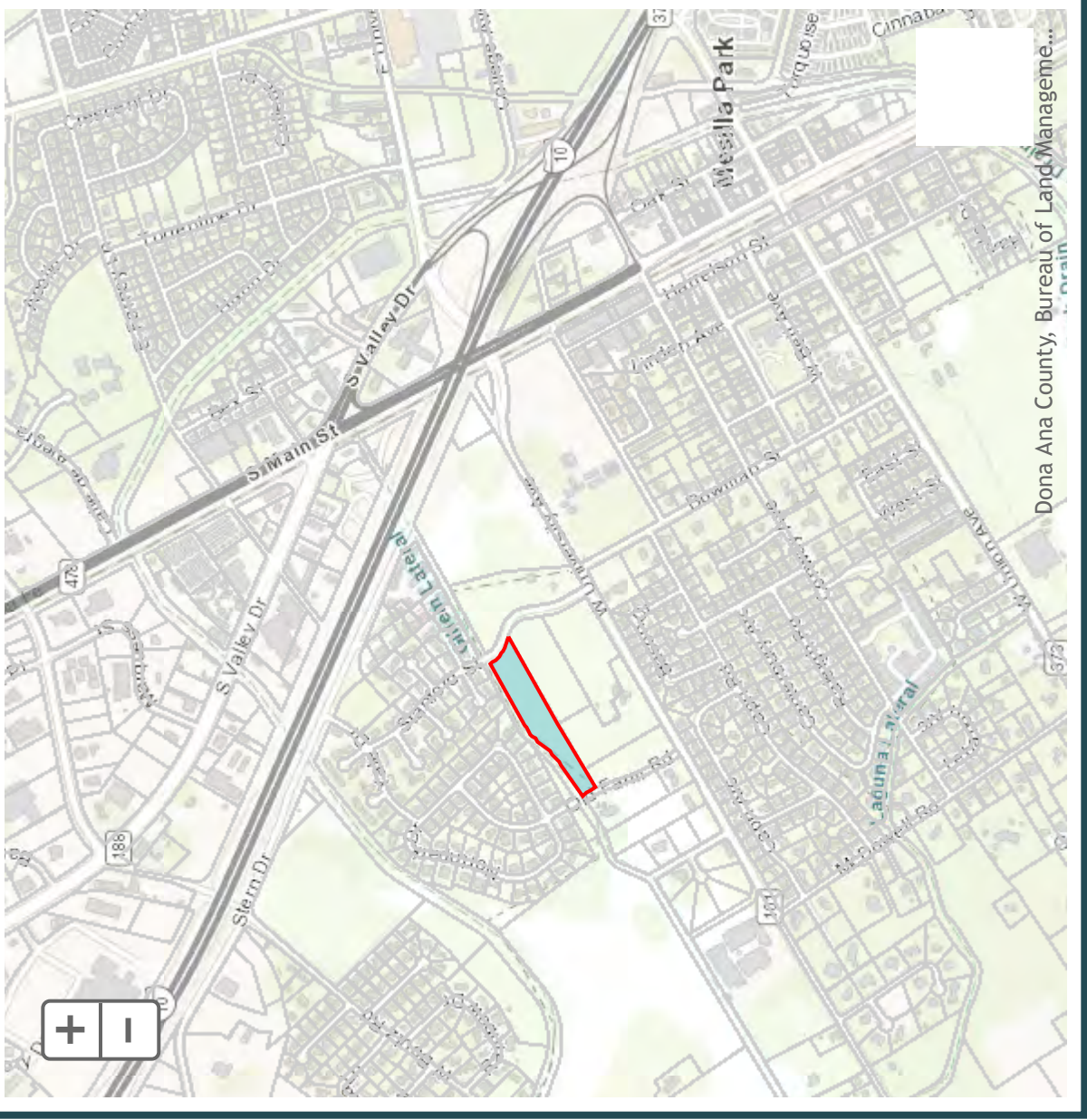
All necessary utilities and access are available to the property. Both water and sewer are available from the Town.

The applicant will be present by “Zoom” at the work session to provide further details about the proposed construction, and to answer any questions that may arise.

# Doña Ana County, NM

General Reference Maps

Map Help Doña Ana County Geospatial Committee 2013



**Maps** Legend

**Map Themes**

Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0400990](#)  
 Parcel Number: 4007137224233  
 Owner: FOREMAN BRADLEY W  
 TRUSTEE  
 Mail Address: 2526 SNOW RD  
 Subdivision: RALEY ACRES REPLAT  
 OF LOT 2 (BK 23 PG 135-136 -  
 1034492)  
 Property Address: 2725 OLD FARM  
 RD  
 Acres: 5.03

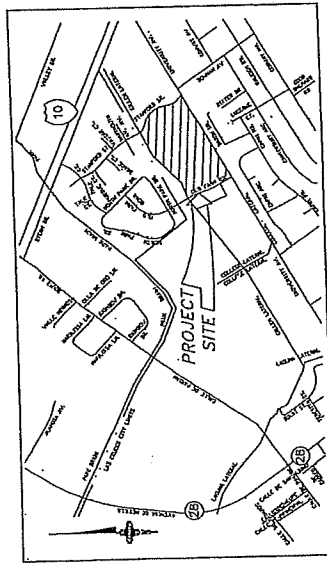
# RALEY ACRES REPLAT OF LOT 2

BEING A REPLAT OF LOT 2, RALEY ACRES  
FILED MARCH 25, 2002, IN BOOK 20, PAGES 37-38  
DONA ANA COUNTY RECORDS,  
ALSO BEING U.S.R.S. TRACTS 11D-6A1A2,  
11D-6A1A3, 11D-6A1A4 AND 11D-6B  
TOWN OF MESILLA, DONA ANA COUNTY, NEW MEXICO  
SCALE: 1" = 100'  
FEBRUARY, 2007

24.520 ACRES TOTAL

**LEGISLATION**  
ANY AND ALL PLATS HEREIN MUST BE RECORDED WITHIN THE PERIODS OF TIME AND IN THE MANNER AND FORM PRESCRIBED BY THE STATUTES OF THE STATE OF NEW MEXICO. THIS INSTRUMENT HAS BEEN RECORDED IN ACCORDANCE WITH THE STATUTE PROVIDING FOR THE RECORDED INSTRUMENTS ACT AND THE STATUTE PROVIDING FOR THE RECORDED INSTRUMENTS ACT. ANY AND ALL PLATS HEREIN MUST BE RECORDED WITHIN THE PERIODS OF TIME AND IN THE MANNER AND FORM PRESCRIBED BY THE STATUTES OF THE STATE OF NEW MEXICO.

AS THE SURETY OF THIS PLAT TO REPLY TO THE DEPARTMENT OF LAND AND MINES AND MASS 2 PLAT RECORDS AND TO THE TOWN OF MESILLA AND TO THE DONA ANA COUNTY RECORDS, THE TOWN OF MESILLA AND THE DONA ANA COUNTY RECORDS HAVE REVIEWED THIS PLAT AND HAVE CONSENTED TO THE RECORDED INSTRUMENTS ACT AND THE STATUTE PROVIDING FOR THE RECORDED INSTRUMENTS ACT. ANY AND ALL PLATS HEREIN MUST BE RECORDED WITHIN THE PERIODS OF TIME AND IN THE MANNER AND FORM PRESCRIBED BY THE STATUTES OF THE STATE OF NEW MEXICO.



VICINITY MAP

NO SCALE

CY 2009-2789

INSTRUMENT OF OWNERSHIP AS FILED JANUARY 18, 2002  
IN BOOK 200, PAGE 37-38, DONA ANA COUNTY RECORDS.  
I, THE UNDERSIGNED OWNER, HEREBY SET MY HAND AND SEAL  
THIS 10th DAY OF February 20 10.

*John E. Norton*  
DONA ANA COUNTY  
BY COUNSELLOR AT LAW

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS 10th DAY OF October 20 10.

BY  
BY COMMISSIONER OF LANDS AND MINES  
BY NOTARY PUBLIC  
Raymond E. Norton  
BY COMMISSIONER OF LANDS AND MINES  
BY NOTARY PUBLIC  
1-15-13  
1-15-13

INSTRUMENT OF OWNERSHIP AS FILED JANUARY 18, 2002  
IN BOOK 200, PAGE 37-38, DONA ANA COUNTY RECORDS.  
I, THE UNDERSIGNED OWNER, HEREBY SET MY HAND AND SEAL  
THIS 10th DAY OF October 20 10.

*John E. Norton*  
DONA ANA COUNTY  
BY COUNSELLOR AT LAW

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS 10th DAY OF October 20 10.

BY  
BY COMMISSIONER OF LANDS AND MINES  
BY NOTARY PUBLIC  
Raymond E. Norton  
BY COMMISSIONER OF LANDS AND MINES  
BY NOTARY PUBLIC  
1-15-13  
1-15-13

INSTRUMENT OF OWNERSHIP AS FILED APRIL 18, 2002  
IN BOOK 200, PAGE 37-38, DONA ANA COUNTY RECORDS.  
I, THE UNDERSIGNED OWNER, HEREBY SET MY HAND AND SEAL  
THIS 9th DAY OF September 20 10.

*Myrtle L. Latta*  
BY COUNSELLOR AT LAW  
Myrtle L. Latta by Geraldine E. Boston  
BY COUNSELLOR AT LAW

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS 9th DAY OF September 20 10.

BY  
BY COMMISSIONER OF LANDS AND MINES  
BY NOTARY PUBLIC  
Geraldine E. Boston  
BY COMMISSIONER OF LANDS AND MINES  
BY NOTARY PUBLIC  
1-20-13  
1-20-13

INSTRUMENT OF OWNERSHIP AS FILED JULY 11, 2002  
IN BOOK 200, PAGE 37-38, DONA ANA COUNTY RECORDS.  
I, THE UNDERSIGNED OWNER, HEREBY SET MY HAND AND SEAL  
THIS 2nd DAY OF September 20 10.

*Donald S. Sowards*  
BY COUNSELLOR AT LAW

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS 2nd DAY OF September 20 10.

BY  
BY COMMISSIONER OF LANDS AND MINES  
BY NOTARY PUBLIC  
Donald S. Sowards  
BY COMMISSIONER OF LANDS AND MINES  
BY NOTARY PUBLIC  
1-20-13  
1-20-13

INSTRUMENT OF OWNERSHIP AS FILED SEPTEMBER 10, 2010  
IN BOOK 200, PAGE 37-38, DONA ANA COUNTY RECORDS.  
I, THE UNDERSIGNED OWNER, HEREBY SET MY HAND AND SEAL  
THIS 13th DAY OF October 20 10.

*Ramon E. Norton*  
BY COUNSELLOR AT LAW

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS 13th DAY OF October 20 10.

BY  
BY COMMISSIONER OF LANDS AND MINES  
BY NOTARY PUBLIC  
Ramon E. Norton  
BY COMMISSIONER OF LANDS AND MINES  
BY NOTARY PUBLIC  
06/13/12  
06/13/12

OFFICIAL SEAL  
DANIEL O. JUAN  
COUNTY CLERK  
STATE OF NEW MEXICO  
COUNTY OF DONA ANA

STATE OF NEW MEXICO  
COUNTY OF DONA ANA  
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN BOOK 200, PAGE 37-38, DONA ANA COUNTY RECORDS, IN ACCORDANCE WITH THE STATUTE PROVIDING FOR THE RECORDED INSTRUMENTS ACT AND THE STATUTE PROVIDING FOR THE RECORDED INSTRUMENTS ACT.

BY  
BY COMMISSIONER OF LANDS AND MINES  
BY NOTARY PUBLIC  
Daniel O. Juan  
BY COMMISSIONER OF LANDS AND MINES  
BY NOTARY PUBLIC  
06/13/12  
06/13/12

**UNIT APPROVAL**  
CONFORMS WITH THE SUBDIVISION MAP ACT AND THE SUBDIVISION MAP ACT. THE UNIT LAYOUT, BOUNDARIES, AND DIMENSIONS SHOWN HEREON AND THE DIMENSIONS AND LOCATIONS OF THE UNIT LAYOUT, BOUNDARIES, AND DIMENSIONS SHOWN HEREON, ARE IN ACCORDANCE WITH THE SUBDIVISION MAP ACT AND THE SUBDIVISION MAP ACT. ANY AND ALL PLATS HEREIN MUST BE RECORDED WITHIN THE PERIODS OF TIME AND IN THE MANNER AND FORM PRESCRIBED BY THE STATUTES OF THE STATE OF NEW MEXICO.

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REVISED: 12/02/09  
JOB NO. 08-2507 (05-05849)  
DRAWN BY: JUAN GARCIA  
FILED BY: KERRY KESTER  
DATE: 2/27/07 SCALE: 1"=100'

Las Cruces Abstract & Title Co.  
078969 BR/mt

RECORDED ELECTRONICALLY  
ID# 2012315  
COUNTY Dona Ana  
DATE 5-27-20 TIME 9:00

COPY

### WARRANTY DEED


Bradley W. Foreman and Debbie C. Foreman, husband and wife, for consideration paid grant(s) to, Bradley W. Foreman and Debbie C. Foreman, Trustees of The Foreman Family Trust dated April 16, 2019, whose address is, 2526 Snow Rd., Las Cruces, NM 88005, the following described real estate in Dona Ana County, New Mexico:

Lot 1A, RALEY ACRES REPLAT OF LOT 2, in the Town of Mesilla, Dona Ana County, New Mexico, as the same is shown and designated on Plat Number 5022 thereof, filed for record in the Office of the County Clerk of said county on December 13, 2010, and recorded in Book 13, Pages 135-136, Plat Records, Dona Ana County, New Mexico.

Subject to patent reservations, restrictions, and easements of record.

With warranty covenants.

WITNESS my hand and seal this 26 day of May, 2020.

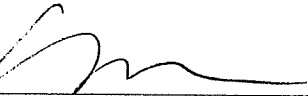
By:   
Bradley W. Foreman

By:   
Debbie C. Foreman

### ACKNOWLEDGMENT

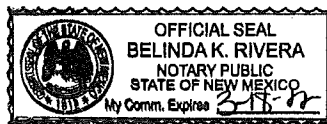
STATE OF NEW MEXICO )  
                                  )ss.  
COUNTY OF DONA ANA )

The foregoing instrument was acknowledged before me this 26 day of May, 2020 by Bradley W. Foreman and Debbie C. Foreman, husband and wife.

By:   
Notary Public

My Commission Expires: 3/18/22

COPY





# RALEY ACRES REPLAT OF LOT 2

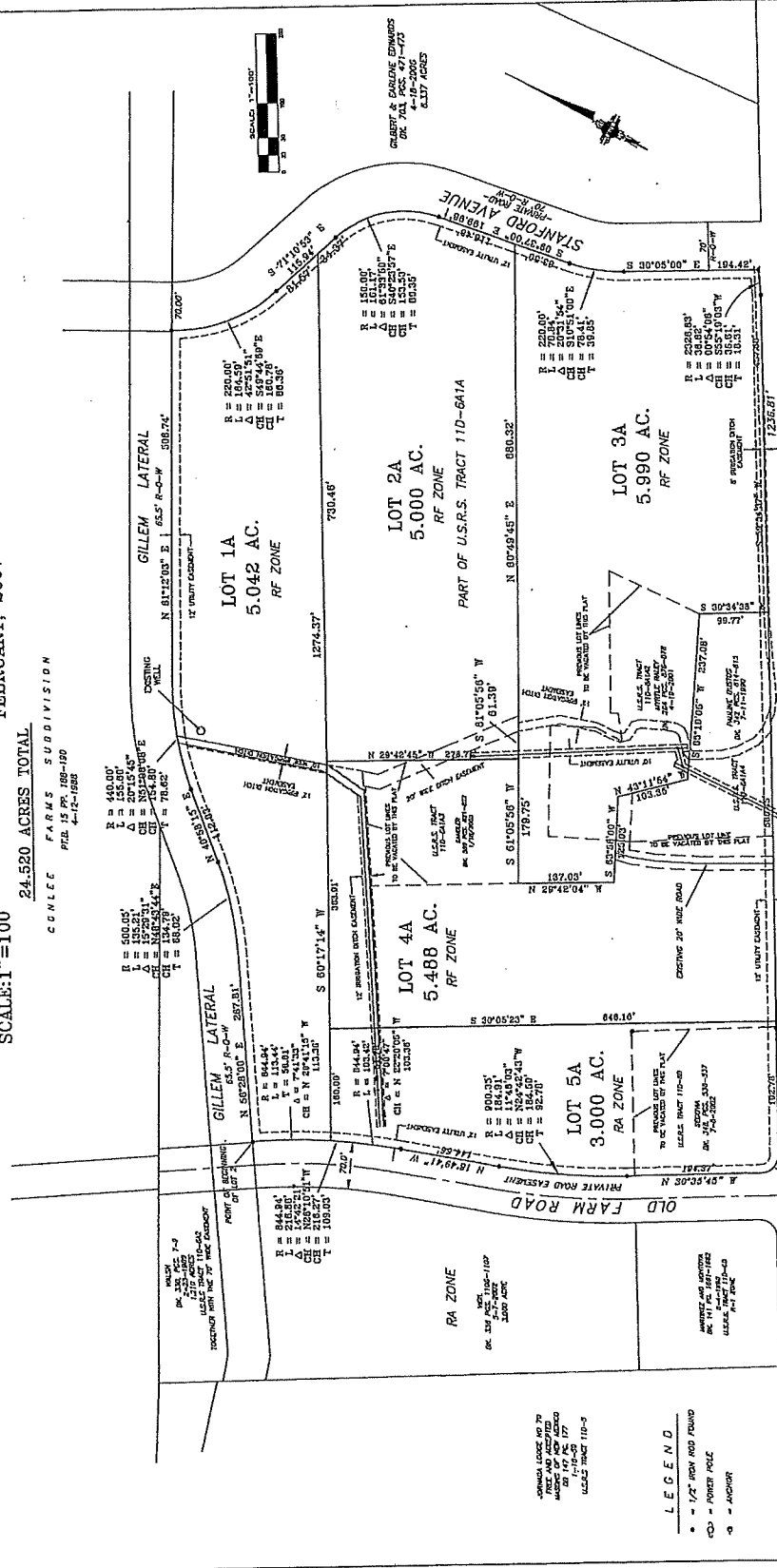
BEING A REPLAT OF LOT 2, RALEY ACRES  
 FILED MARCH 25, 2002, IN BOOK 20, PAGES 37-38  
 DONA ANA COUNTY RECORDS,  
 ALSO BEING U.S.R.S. TRACTS 11D-6A1A2,  
 11D-6A1A3, 11D-6A1A4 AND 11D-6B  
 TOWN OF MESILLA, DONA ANA COUNTY, NEW MEXICO  
 SCALE: 1"=100'

24,520 ACRES TOTAL

CONLEE FARMS SUBDIVISION

FILED 15 FEB 198-199

4-12-1988



JOB NO. 05-2507 (05-05848)  
 DRAWN BY: AJAH GARCIA  
 FIELD BY: KENNY VICTOR  
 DATE: 2/25/07 SCARLETT-002

MOY SURVEYING INC.  
 414 S. WATSON HALL  
 415 SOUTH WEST STREET  
 MESA  
 PHONE: (505) 553-3030  
 FAX: (505) 554-3238

12/02/09  
 REVISION: 12/02/09

STATE ROAD 101 SP-SM-4510(200) (A.K.A. UNIVERSITY AVENUE)  
 1235.61'

RA ZONE  
 OK 334 PAGE 110-1107  
 110-6A1A  
 110-6B

LEGEND  
 - 1/2" ROW ROAD FRONT  
 - POWER POLE  
 - ADJOUR

NOTES  
 1. 1/2" ROW ROAD SET BY ALL OWNERS UNLESS OTHERWISE NOTED.  
 2. THESE LOTS ARE PART OF THE TRACT OF THE TOWN OF MESILLA,  
 DONA ANA COUNTY, NEW MEXICO.  
 THE PARCELS WERE DIVIDED FOR PAST PURPOSES ONLY.

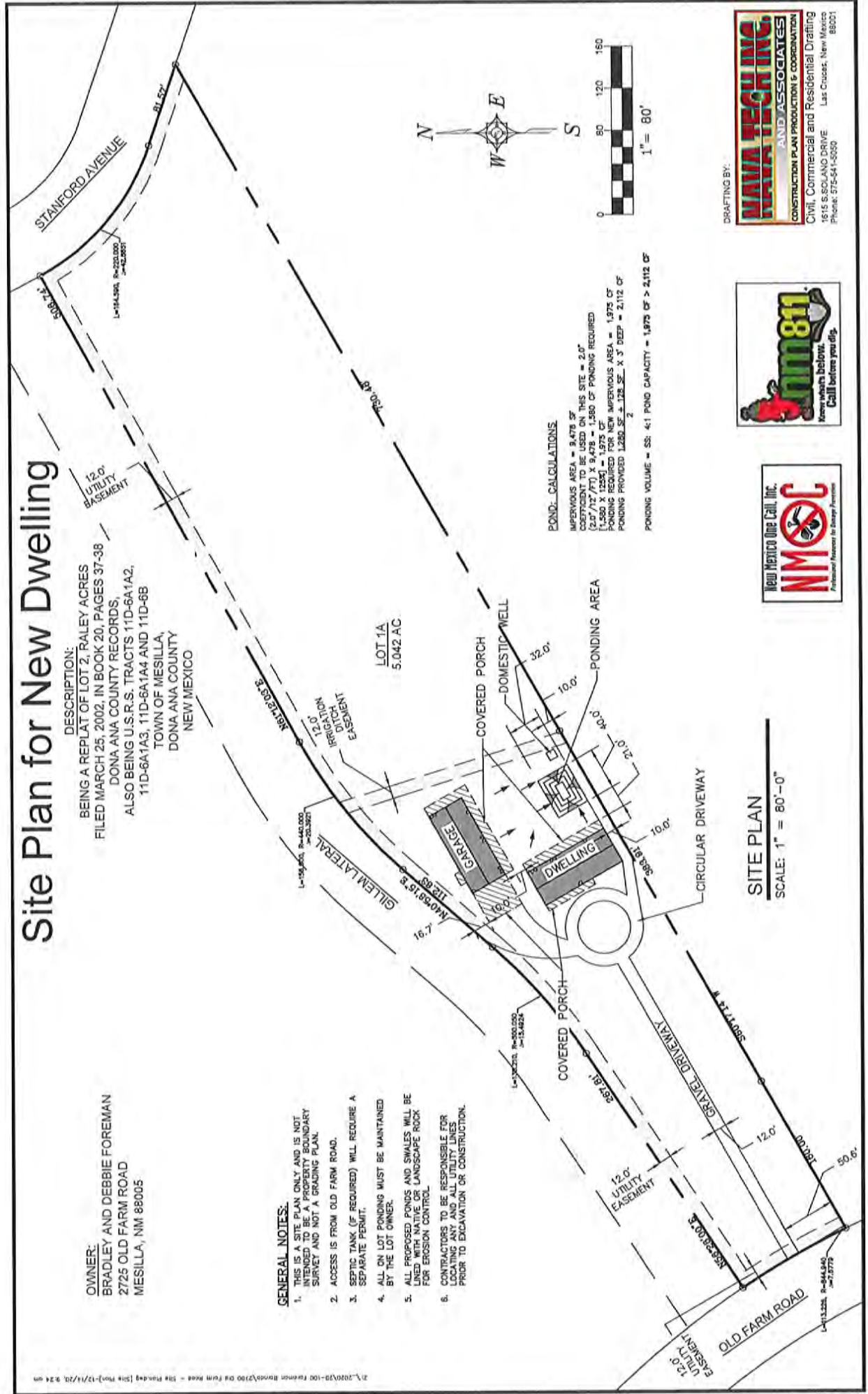
# Site Plan for New Dwelling

**OWNER:**  
BRADLEY AND DEBBIE FOREMAN  
2725 OLD FARM ROAD  
MESILLA, NM 88005

**DESCRIPTION:**  
BEING A REPLAT OF LOT 2, RALEY ACRES  
FILED MARCH 25, 2002, IN BOOK 20, PAGES 37-38  
DONA ANA COUNTY RECORDS  
ALSO BEING U.S.S. TRACTS 11D-6A1A2,  
11D-6A1A3, 11D-6A1A4 AND 11D-6B  
TOWN OF MESILLA,  
DONA ANA COUNTY  
NEW MEXICO

**GENERAL NOTES:**

1. THIS IS A SITE PLAN ONLY AND IS NOT DESIGNED TO BE A PERMANENT SURVEY AND NOT A GRADING PLAN.
2. ACCESS IS FROM OLD FARM ROAD.
3. SEPTIC TANK (IF REQUIRED) WILL REQUIRE A SEPARATE PERMIT.
4. ALL ON LOT PONDING MUST BE MAINTAINED BY THE LOT OWNER.
5. ALL PROPOSED PONDS AND SWALES WILL BE LINED WITH PLASTER OR LANDSCAPE ROCK FOR EROSION CONTROL.
6. CONTRACTORS TO BE RESPONSIBLE FOR LOCATING ANY AND ALL UTILITY LINES PRIOR TO EXCAVATION OR CONSTRUCTION.

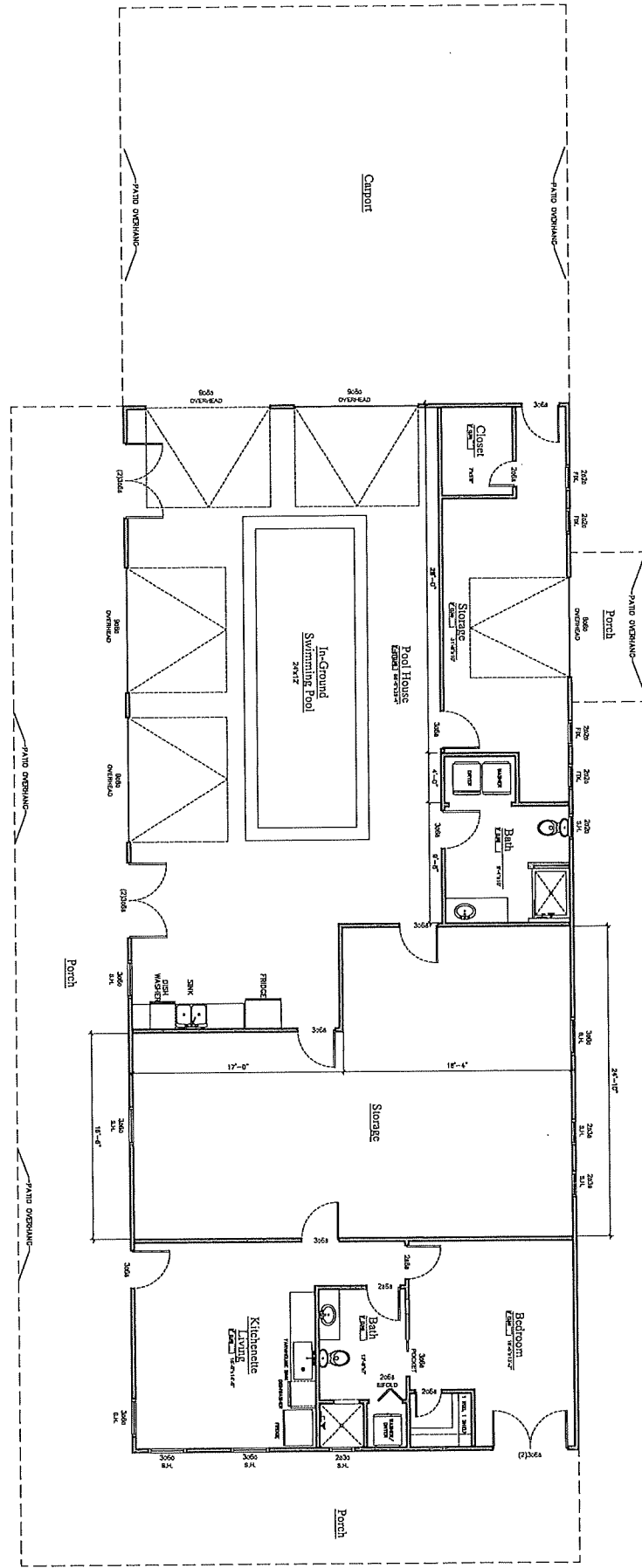


**POND - CALCULATIONS:**  
IMPERVIOUS AREA = 9,478 SF  
COEFFICIENT TO BE USED ON THIS SITE = 2.0"  
(2.0" / 12" / 7") X 9,478 = 1,580 CF PONDING REQUIRED  
[1,580 X 125%] = 1,975 CF  
PONDING PROVIDED FOR NEW IMPERVIOUS AREA = 1,975 CF  
PONDING PROVIDED 1,280 SF X 3' DEEP = 2,112 CF  
PONDING VOLUME = SS: 4:1 POND CAPACITY = 1,975 CF > 2,112 CF



DRAFTING BY:  
**HAVA TECHING AND ASSOCIATES**  
CONSTRUCTION PLAN PRODUCTION & COORDINATION  
Civil, Commercial and Residential Drafting  
1616 S.SOLANO DRIVE Las Cruces, New Mexico 89001  
Phone: 575-541-5950

**SITE PLAN**  
SCALE: 1" = 80'-0"



GARAGE FLOOR PLAN  
 SCALE: 1/4"=1'-0"

NEW RESIDENCE FOR  
**BRAD & DEBBIE FOREMAN**  
 Address  
 2700 Stanford Street  
 Las Cruces, NM, 88005

**NAVA TECH INC.**  
 AND ASSOCIATES  
 CONSTRUCTION PLAN PRODUCTION & COORDINATION

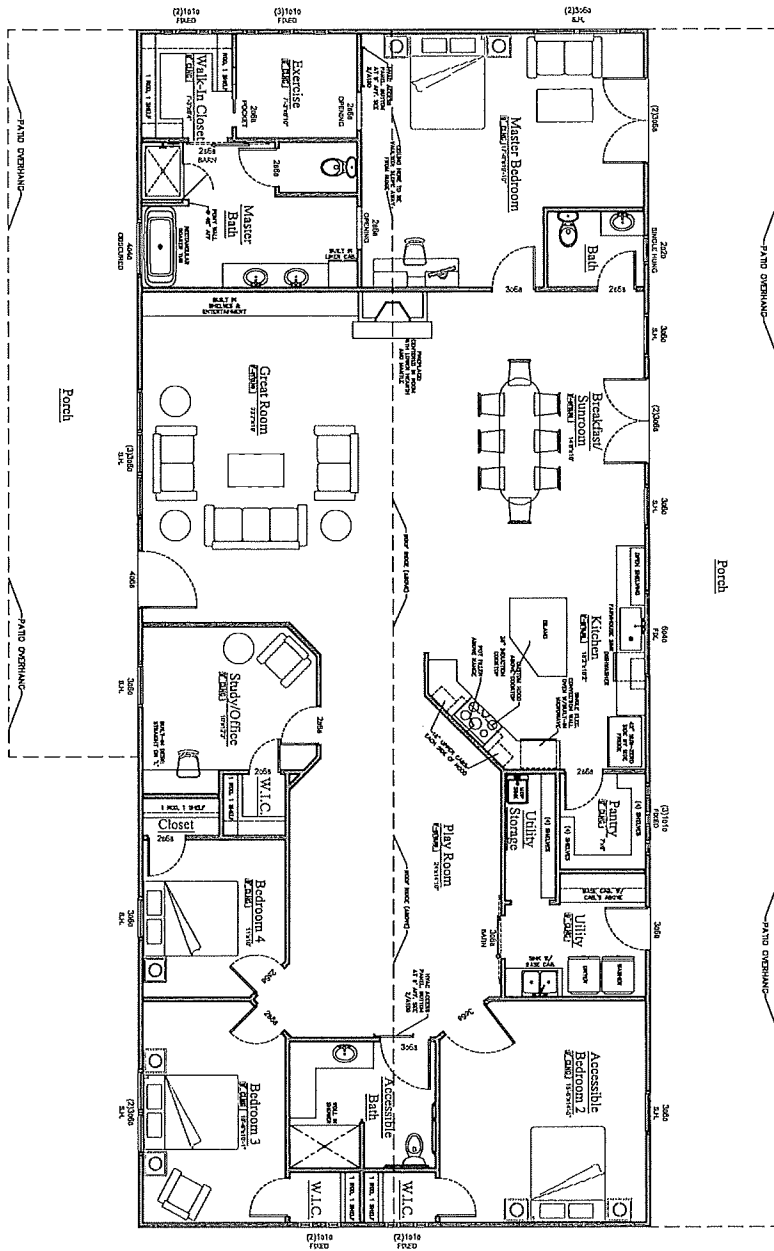
1610 S. Bufano Dr.  
 Las Cruces, NM 88001  
 Office: (575) 541-5090

Fax: (575) 524-6090  
 Email: csw@navatech.com

REVISIONS	BY

DATE PLOTTED: 4/23/17  
 PLOTTED BY: NAVA  
 SHEET NO: A200

HVAC ACCESS PANEL



MAIN DWELLING FLOOR PLAN  
Scale: 1/4" = 1'-0"

DESIGNER	DATE
CHECKED	DATE
SCALE	DATE
SHEET NO.	DATE
A100	


NEW RESIDENCE FOR  
**BRAD & DEBBIE FOREMAN**  
Address  
2700 Stanford Street  
Las Cruces, NM, 88005

**NAVA TECH INC. AND ASSOCIATES**  
CONSTRUCTION PLAN PRODUCTION & COORDINATION  
1615 S. Sofomo Dr. Fax: (575) 522-9060  
Las Cruces, NM 88001 Email: cwn@navatech.com  
Office: (575) 541-9550

REVISIONS	BY:
1/02/09	



J. WRIGHT 



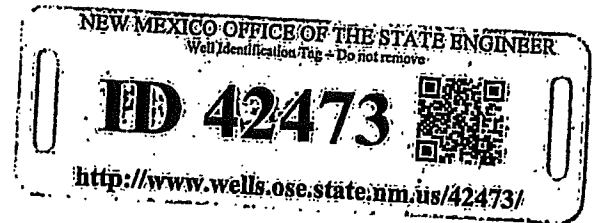


1680 HICKORY LOOP, SUITE J  
LAS CRUCES, NM 88005  
Phone: (575) 524-6161

Trn Nbr: 673698  
File Nbr: LRG 17999

June 10, 2020

BRAD FOREMAN, TRUSTEE  
FOREMAN FAMILY TRUST  
2526 SNOW ROAD  
LAS CRUCES, NM 88005



Greetings:

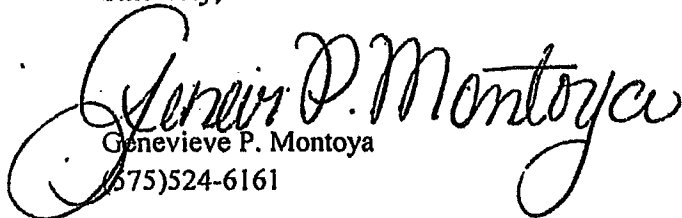
Enclosed is your copy of the above numbered permit that has been approved in accordance with NM Statute Section 72-12-1 subject to the conditions set forth on the approval page.

Carefully review the attached conditions of approval for these specific permit requirements:

- \* The applicant is responsible for providing the contracted driller with the permit Conditions of Approval and the enclosed well identification tag (if applicable), which must be firmly affixed to the well casing or cap.
- \* If metering is required, a meter report form must be properly completed and submitted to this office upon installation.
- \* The well record and log must be submitted within 30 days of the completion of the well or if the attempt was a dry hole. When conditions require a replaced well be plugged, a plugging record must be properly completed and submitted to this office within 30 days of plugging.
- \* This permit expires and will be cancelled if no well is drilled and/or a well log is not received by the date set forth in the conditions of approval.

Appropriate forms can be downloaded from the OSE website [www.ose.state.nm.us](http://www.ose.state.nm.us) or will be mailed upon request.

Sincerely,

  
Genevieve P. Montoya  
(575)524-6161

Enclosure  
wr\_01app





New Mexico Environment Department  
Environmental Health Bureau

On-site Liquid Waste System

# Permit to Construct

Owner Name: Bradley & Debbie Foreman  
Installer Name: Johnny's Septic Tank Co., Inc. - Installer  
System Location: 2725 Old Farm Rd, Las Cruces, NM 88005  
System Type: Conventional - New  
Permit Number: 020002

*The New Mexico Environment Department may cancel this permit for failure to meet any of the following:  
failure to complete the system within one year, for providing inaccurate or incomplete information, or  
failure to notify NMED to schedule an inspection within a minimum of 2 working days prior to the inspection.*

Date Issued: December 22, 2020  
Date of Expiration: December 21, 2021

Authorizing Official  
NMED

061156

TOWN OF MESILLA  
APPLICATION FOR RESIDENTIAL BUILDING PERMIT  
2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (505)524-3262 extension 109

CASE NO. 061156 ZONE: RE CODE: NR APPLICATION DATE: 12/30/20

Brad & Debbie Foreman  
Name of Applicant Telephone Number 575-644-5675  
2725 Old Farm Road  
Street Address Las Cruces NM 88005  
City State Zip Code

Joseph Bekken 2824 Diamond Springs Drive Las Cruces, NM 88011  
Contractor Name and Address  
575-556-4421 #03-509770-00-1 #400411  
Contractor Telephone Number Contractor Tax I.D. Number Contractor License #

LOCATION & DESCRIPTION OF PROPOSED WORK:  
2725 Old Farm Road  
New construction of two structures. One being a 3084 sq. ft. 4-bedroom 3 bath dwelling. The second being a 3084 sq. ft. structure that will house an indoor pool, workshop, studio and a 600 sq. ft. casita. Please see attached letter for further details.

Estimated Cost:  
\$350,000

  
Signature of Applicant Date: 12/30/2020

With the exception of administrative approvals, all permit applications must undergo a review process from staff, PZHAC and BOT before issuance of a building permit.  
Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required.  
Plan sheets are to be no larger than 11 x 17 inches.

PZHAC  Administrative Approval  
 Approved BOT  Approved  
 Disapproved  Disapproved  
 Approved with conditions  Approved with condition

CONDITIONS: PZHAC REVIEW & APPROVAL REQUIRED  
CID PERMITS REQUIRED

FEE: REVIEW: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_  
PERMIT: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

- This application includes:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. Foundation Plan with details
  3. Floor Plans showing rooms, their uses and dimensions
  4. Cross Sections of walls.
  5. Roof and floor framing plan. (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
  6. Drainage plan.
  7. Architectural style and color scheme (Historical and commercial zones only.)
  8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from Public Utility providing water service.)

**PZHAC  
JANUARY 19, 2021  
WORK SESSION AND REGULAR MEETING  
MINUTES**

**[PART OF CONSENT AGENDA]**





# Town of Mesilla, New Mexico

## PZHAC WORK SESSION & MEETING MINUTES JANUARY 19, 2021

**THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION VIA TELECONFERENCE ON TUESDAY, JANUARY 19, 2021 AT 2:30 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 603-754-4231 PASSWORD 193857.**

- A. Submitted by Samuel Kane; a request to discuss plans to construct a rock wall around a residential property at 2610 Calle Tercera (Case 061151) Zoned: Historic Residential (HR)  
*The applicant was not present. Staff provided a brief review of this request, explaining that a decision on the case had been postponed at the December 4, 2020 PZHAC meeting in order to allow the applicant to provide the PZHAC with more detailed plans of the proposal. Tom Maese, Chief Inspector for CID, stated at the time that that CID would like to see more of a detailed rendering with better dimensions, especially with respect to the arches over the irrigation ditch. This has been provided and there were no further issues.*
- B. Submitted by Cesar Huizar for “Casa Blanca de Mesilla” a request to discuss plans to construct a commercial building and conduct a retail operation on two properties located at the southeast corner of Avenida de Mesilla and Tierra de Mesilla. Zoned: General Commercial (C)  
*The applicant and his contractor (Al Medina) were present by zoom to discuss the request and answer any questions that might arise. Staff provided a brief review of this request, including the fact that the PZHAC heard this proposal at their January 4, 2021 PZHAC meeting and requested that the applicant provide further information on the fence, sign, and parking area. These issues discussed at this meeting in further detail, and included handicapped parking requirements, the style of the proposed parking structure, the fencing, and the fear that a mistake by the PZHAC on this property could set a precedent for the area. Commissioner Salas stated that the PZHAC was ready to see a more detailed site plan and elevations of the building with dimensions and more details.*  
*There were no further issues.*
- C. Submitted by Kevin McGinley of McGinley Construction, Inc. for Matthew Abrams, a request to discuss plans to construct an addition on a dwelling located along an easement at 2852 Snow Road. Zoned: Single Family Residential (R-1)  
*The applicant and his contractor (Kevin McGinley) were present by zoom to discuss the request and answer any questions that might arise. Staff provided a brief review of this request, including the fact that the PZHAC heard this proposal at their January 4, 2021 PZHAC meeting and requested that the applicant provide proof that the issues of access to the property and the overall size of the property recognized by the Town be addressed, including approval of the access road by Kevin Hoban, Mesilla Fire Chief. Mr., McGinley explained that the applicant, Matthew Abrams had purchased the property five years ago as four one-acre parcels, and that the Town had issued a permit to build the dwelling in 2009. The fence between the easement existed prior to that time. Mr. Abrams stated that he is willing to remove the fence in order to improve the access to his property and meet the Fire Code requirements for access by emergency vehicles.*  
*There were no further issues.*
- D. Submitted by Brad and Debbie Foreman, a request to discuss plans to build a residence and a structure with a 600 square foot casita, a pool, a workshop, and a studio on a five acre property located at 2725 Old Farm Road between Old Farm Road and Stanford Road along the Gillem Lateral. Zoned: Rural Farm (RF)

*The applicant was present by zoom to discuss the request and answer any questions that might arise. Staff provided a brief review of this request, including the fact that two buildings will be the same size, and that each building will consist of a metal shell. The interiors of each shell will be finished by a local contractor according to the floorplans and drawings provided to staff. The proposal appeared to meet MTC requirements for a dwelling with a guest house, pool, storage building and garage. Commission Chair Lucero stated that the plans need to be reviewed by the "Architectural Review" Committee, and then brought back to the PZHAC for review.*

*There was no further discussion.*

**THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A REGULAR MEETING VIA TELECONFERENCE ON TUESDAY, JANUARY 19, 2021 IMMEDIATELY FOLLOWING THE WORK SESSION. TO JOIN THE MEETING BY PHONE DIAL 1-346- 248-7799, THEN ENTER Meeting ID 603-754-4231 PASSWORD 193857.**

#### **I. PLEDGE OF ALLEGIANCE**

#### **II. ROLL CALL AND DETERMINATION OF A QUORUM**

*All Commissioners were present. There was a quorum.*

*Other attendees:*

*Tom Maese (Chief Inspector-CID); Larry Shannon (Mesilla Staff); Cesar Huizar (applicant-Casa Blanka); Al Medina (contractor for Casa Blanka); Matthew Abrams (applicant); Kevin McGinley (contractor for Matthew Abrams); Debbie Foreman (applicant – dwelling); Susan Krueger (Town resident)*

#### **III. CHANGES/APPROVAL OF THE AGENDA**

*The PZHAC determined that Discussion Items 2 and Case 061156 were not ready for decisions at this time and decisions on these the items were to be postponed to a later date. Commissioner Houston made a motion to approve the agenda as amended, seconded by Commissioner Prieto, and approved by a vote of 5 – 0.*

#### **IV. \*ACCEPTANCE OF THE CONSENT AGENDA**

*Note: Items on the agenda indicated by an asterisk (\*) are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

*There were no changes to the Consent Agenda. A motion to approve the Consent Agenda was made by Commissioner Nevarez, seconded by Commissioner Houston, and approved by a vote of 4 - 0. (Commission Chair recused herself from voting because she had an item on the Consent Agenda.)*

##### **A. \*PZHAC MINUTES – PZHAC Work Session and Meeting of December 21, 2020.**

*Approved as part of the Consent Agenda.*

##### **B. \*ADMINISTRATIVE APPROVALS**

###### **Zoning Permit:**

1. **Case 061152** – 3311 Granby Lane, submitted by Dylan Burruss; a request for a zoning permit to allow a dwelling at this address to be reroofed. Zoned: Residential, one acre (R-1)

*Approved as part of the Consent Agenda.*

2. **Case 061153** – 3311 Granby Lane, submitted by Dylan Burruss; a request for a zoning permit to allow the replacement of the windows on a dwelling at this address. Zoned: Residential, one acre (R-1)

*Approved as part of the Consent Agenda.*

3. **Case 061154** – 2392 Calle de Parian, submitted by Yolanda Lucero, a request for a zoning permit to allow a driveway to be installed on a residential property at this address. Zoned: Historical Residential (HR)

*Approved as part of the Consent Agenda.*

#### **II. PZHAC NEW BUSINESS:**

##### **A. PUBLIC INPUT ON CASES**

**Public input shall be received at [larrys@mesillanm.gov](mailto:larrys@mesillanm.gov) at least one hour prior to the meeting and will be read into the record. You will also be given an opportunity to speak during this time by joining the meeting by**

**phone and pressing \*9 while in the teleconference. This will let the host know that you wish to speak. You will be prompted by the host or the Commission Chair when to begin speaking.**

*Staff stated that two e-mails had been received (one each from Susan Krueger, resident and Kevin McGinley, contractor for Case 061157). Staff read both e-mails for inclusion into the record. (Copies of the e-mails are attached at the end of these minutes.)*

## **B. DECISIONS:**

1. **Case 061151** – 2610 Calle Tercera, submitted by Samuel Kane; a request for a zoning permit to construct a rock wall around a residential property at this address. Zoned: Historic Residential (HR) **Discussed during the Work Session – Item 1**

*Staff provided a brief review of this request, including the fact that the case was discussed during the Work Session and that the applicant had provided a new site plan as requested by the PZHAC. The PZHAC determined that there were no further issues with the proposed request. The PZHAC determined that the proposed wall met the requirements of the Code. Commissioner Nevarez made a motion to recommend approval of the request to the BOT, seconded by Commissioner Prieto, and approved by a vote of 5 – 0 with the following CONDITION:*

*a. A WALL SECTION SHOWING THE FOOTING OF THE WALLS WILL BE PROVIDED TO CID.*

2. Submitted by Cesar Huizar for “Casa Blanka de Mesilla”, a request for a determination by the PZHAC as to what further information is necessary to allow the construction of a commercial building at the southeast corner of Avenida de Mesilla and Tierra de Mesilla. Zoned: General Commercial (C) **Discussed during the Work Session – Item 2**

*This case was removed from the agenda in order to allow the applicant to bring the PZHAC further information about the proposed addition.*

3. **Case 061155** - Submitted by Kevin McGinley of McGinley Construction, Inc. for Matthew Abrams, a request for a zoning permit to allow the construction of an addition to a dwelling located along an easement at 2852 Snow Road. Zoned: Single Family Residential (R-1) **Discussed during the Work Session – Item 3**

*Staff provided a brief review of this request, including the fact that the case was discussed during the Work Session and that the applicant had provided a new site plan on a four acre parcel as opposed to four one acre parcel, and showing the required access easement as requested by the PZHAC. The PZHAC determined that there were no further issues with the proposed request. The PZHAC determined that the proposed addition now met the requirements of the Code. Commissioner Nevarez made a motion to recommend approval of the request, seconded by Commissioner Salas, and approved by a vote of 5 – 0 with the following CONDITION:*

*a. THE PROPERTY IS TO BE RECOGNIZED AS A FOUR ACRE PARCEL.*

4. **Case 061156** – 2725 Old Farm Road, submitted by Brad and Debbie Foreman, a request for a zoning permit to allow the construction of a residence and a structure with a 600 square foot casita, a pool, a workshop, and a studio. Zoned: Rural Farm (RF) **Discussed during the Work Session – Item 4**

*This case was removed from the agenda in order to allow the applicant to bring the PZHAC further information about the proposed addition.*

5. **Case 061157** – 2821 Cielo Grande, submitted by William Zachary Penn; a request for a zoning permit to allow the construction of an open pool cabana and a pool equipment room behind a dwelling on a five acre property at this address. Zoned: Rural Farm (RF)

*Staff provided a brief review of this request. The PZHAC determined that the proposed structure met the requirements of the Code. Commissioner Houston made a motion to recommend approval of the request, seconded by Commissioner Prieto, and approved by a vote of 5 – 0 with the following CONDITION:*

*a. A PERMIT FROM CID IS REQUIRED.*

## **VI. PZHAC/STAFF COMMENTS**

*Commissioner Nevarez*

*Wanted to know what goes to the “Architectural Styles” Committee for review.*

*Tom Maese (Chief Inspector for CID)*

*Stated that all applications should go to the committee for review prior to being submitted to the PZHAC.*

*Commission Chair Lucero*

*Directed staff to bring all cases, big or small, to the Committee before putting them on the PZHAC agenda.*

*Staff*

*Reminded the PZHAC that there would be a joint work session of the BOT and the PZHAC to discuss Case 061148*

**VII. ADJOURNMENT** *The meeting was adjourned at 4:42 pm.*

DRAFT



Public Input for PZHAC meeting, 1/19/2021. Susan Krueger

Summarizing a recent comment made during the discussion of a case before the Board of Trustees, “you can’t pick and choose which parts of an ordinance to apply.” With this in mind, regarding Casa Blanca de Mesilla, in addition to parking and setbacks, section 18.45.040, includes other requirements such as: Off-street loading and unloading (F.); Lighting (G.); Architectural style and design standards (J.); Landscaping (K.); Ponding (M.); and Perimeter wall or Fencing (N.) The description in Section 18.45.040 N. indicates that the developer, identified as Mesilla Mercado NV, the property owner to be, Cesar Huizar, and the PZHAC have shared decisions to make regarding the perimeter wall or fence.

Regarding Case 061155, submitted by Kevin McGinley for Matthew Abrams, my public input on 1/4/2021 which stated the zoning for this property was Rural Farm (RF) was wrong, and I went back through my notes to correct my error. 1 This is what I found: the fourteen acres, known as the “Fresquez land,” was rezoned at the request of Gertrude and Elizario Fresquez from RF to R1, Single Family Residential Zone, by the Board of Trustees in January, 1980; however, it was not subdivided at this time. 2 The Resolution filed by the Town Clerk in January 1980, confirms the rezoning with an attachment showing the division of the land into three parcels: one 5 acre parcel with a house owned by Juan Padilla, one vacant four acre parcel, and one 5 acre parcel with a house owned by R. V. Fresquez.2

**The error in the presentation of this case is the use of a map, designated as the ZONING MAP, as if it is also the town’s SUBDIVISION MAP. It’s not a subdivision map, and there is no record in the Town of Mesilla of this 4 acre parcel ever being subdivided into four single acre parcels.** The 9/23/2009, “Plat of Survey” in the packet is clearly identified as a boundary survey plat and not a land division or subdivision. 3

Leave the property line fence in place; do not remove any part of it, it provides protection to individual homes and lands. Then, as needed, each land owner can work with the Fire Department to address turn arounds, etc. Please let Mr. Abrams solve his problems without making them his neighbors’ problems.

[Footnote 1 : These notes were put together in the fall of 1997, both while I was working on an application for a loan from the Interstate Stream Commission to cement the Snake Ditch, and when I was considering Mrs. Duran offer to sell me an acre of Fresquez land.]

[Footnote 2: At the BOT Public Hearing in December 1979, Mr. Reese, an attorney representing the Fresquez family is recorded in the minutes as saying, Elizario Fresquez anticipated the property would be divided among his eight children at 1 ¾ acre each. While acknowledging the town has a subdivision act, he went on to say it would be financially difficult for the family to comply with it at this time; and no subdivision request was filed.]

[Footnote 3: Charles Saenz, GIS Mapping Specialist for Dona Ana County, confirms that no subdivision of this property by the Town of Mesilla has been recorded in the County.]

Finally, does the case submitted by the Foremans, meet the setback requirements in the RF zone?

**larrys@mesillanm.gov**

---

**From:** Kevin McGinley <kevin@mcginley-construction.com>  
**Sent:** Friday, January 15, 2021 1:37 PM  
**To:** larrys@mesillanm.gov  
**Cc:** Matthew Abrams (abramsm@gmail.com); yolandaglucero@gmail.com; daviesalas@comcast.net; prietobilt@gmail.com; mesillaj3@aol.com; judykhouston@gmail.com  
**Subject:** RE: 1/19/21 (Tuesday) PZHAC Agenda Packet

Larry & Commissioners

In researching road fence issues we have discovered there is only one 15' easement adjacent to south property line which goes from Snow Rd all the way back to Rudy Fresquez property. The properties on the south of property line (fence) have an unused easement on their southern property lines. Their use of existing road thru northern edge of their properties has been established as their only access. Most likely could be described as a prescriptive easement since this is only access and travels thru several properties.

**Prescriptive easements**, also called "**easements** by prescription," are created when an individual continually and openly uses a portion of another person's property without the permission of the owner.

In my google mark up Matt has a 28'6" road way at the front of his house. And also Chief Hoban stated with our improvements we were good even with out fence removal. We have the same situation on our road Camino Bodegas Gohrick property is part of our road way.

We are going to remove the fence at Matts southern line (800') and are having a meeting with Fresquez & Padilla family members Monday to try to get them to buy into removal up to Snow Rd.

The fence was put up by Fresquez family we are told it is on north side of property line. (we are verifying this with Moy Survey marking corner Monday)

We don't believe this changes any thing materially.

Also at the last meeting their were Comments from Susan Kruger about the zoning classification that were not factual at all. I have included Mesilla Zoning map you provided me (2005) as well as Dona Ana Co. plats with respective owners names & acreage to clarify this issue.

Larry & Commissioners please call me with any question or clarification on our application (available on mobile)

Thanks Kevin

McGinley Construction Inc.  
Kevin J. McGinley, President  
PO Box 370  
Mesilla, NM 88046  
Office: 575-523-9140  
Mobil: 575-993-0341  
[kevin@mcginley-construction.com](mailto:kevin@mcginley-construction.com)

**From:** larrys@mesillanm.gov <larrys@mesillanm.gov>  
**Sent:** Friday, January 15, 2021 8:57 AM

**PZHAC NEW BUSINESS  
FEBRUARY 1, 2021**

**ADMINISTRATIVE APPROVALS  
[PART OF CONSENT AGENDA]**



**TOWN OF MESILLA  
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061158

Fee \$ 15.00

**PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061158 ZONE: RF CODE: 191 APPLICATION DATE: 1-12-2021

Eliza Rios (575) 523-5852  
Name of Property Owner Property Owner's Telephone Number  
P.O. Box 833 Mesilla NM 88046  
Property Owner's Mailing Address City State Zip Code

Property Owner's E-mail Address  
Window World of Las Cruces 300 N. Telshor Ste. 100  
Contractor's Name & Address (If none, indicate Self) Las Cruces, NM 88011  
375-532-9390 81-4803551 391055  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 8037 Los Arenales Mesilla 88005

Description of Proposed Work: Replace 3 windows (no changes in size of windows)

\$ 2777.15 [Signature] 1-12-2021  
Estimated Cost Signature of Applicant Date

Signature of property owner: \_\_\_\_\_

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

**FOR OFFICIAL USE ONLY**

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED:  YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: NO CHANGES OR IMPROVEMENTS TO STYLE OR APPEARANCE OF LNC STRUCTURE CID PERMIT REQUIRED

PERMISSION ISSUED DENIED BY: [Signature] ISSUE DATE: 1/15/21

**THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:**

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

# Doña Ana County, NM

General Reference Maps

[Map Help](#) Doña Ana County Geospatial Committee 2013

2014 Aerial [Addresses](#) [County Address Points](#)

Select Search Type: Account Number  Enter Value:



Maps

Legend

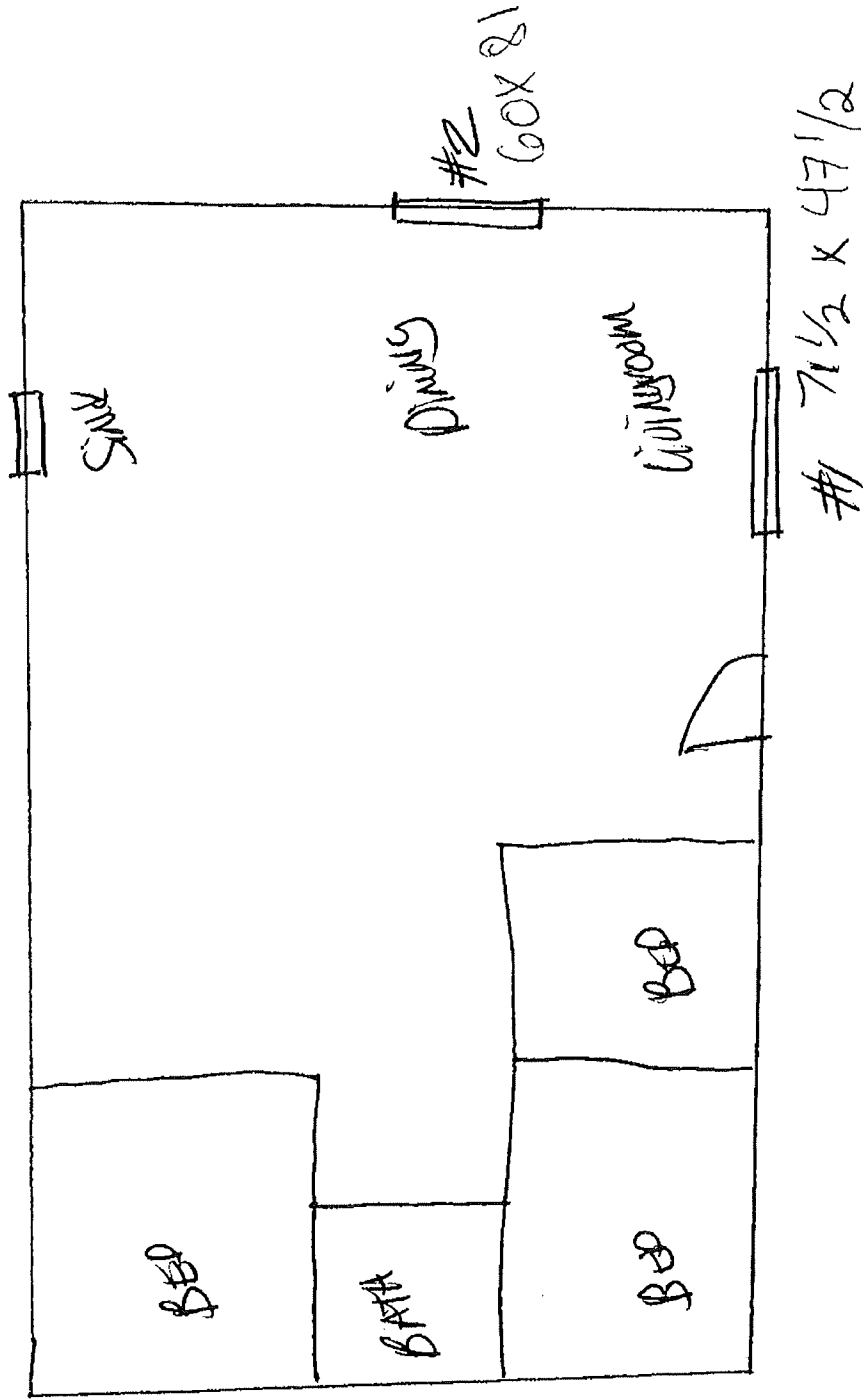
<b>Map Themes</b>
Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0400598](#)  
 Parcel Number: 4006138231231  
 Owner: RIOS ELISA  
 Mail Address: PO BOX 833  
 Subdivision: LOS ARENALES  
 SUBDIVISION 721  
 Property Address: 3037 LOS  
 ARENALES ST  
 Acres: 0



Doña Ana County, Bureau of Land Management...

#3 3 1/2 x 3 1/2



Graciela Rios  
 3037 Los Arroyales  
 575-621-7578  
 88005 - Las Cruces

1. All windows that originally meet egress will meet egress.
2. No changes to existing construction.
3. All windows are energy efficient.





TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061159

Fee \$ 10.50

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061159 ZONE: HR CODE: M1 APPLICATION DATE: 1/23/21

Lorenzo L. Fierro (575) 650-3025  
Name of Property Owner Property Owner's Telephone Number

6535 DOS LOBOS LAS CRUCES NM 89005  
Property Owner's Mailing Address City State Zip Code

lawrence@fierroenterprises.us  
Property Owner's E-mail Address

SELF  
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2170 Calle de Santa Ana

Description of Proposed Work: EXTEND DRIVEWAY TO END OF street curb

\$1000.00 [Signature] 1/25/21  
Estimated Cost Signature of Applicant Date

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO  SEE CONDITIONS

CONDITIONS: FLATWORK, NO CHANGES TO STRUCTURE  
CID PERMIT MAY BE REQUIRED

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1.  Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2.  Site Plan with dimensions and details.
3. N/A Foundation plan with details.
4. N/A Floor plan showing rooms, their uses and dimensions.
5. N/A Cross section of walls
6. N/A Roof and floor framing plan
8.  Proof of legal access to the property.
9. N/A Drainage plan.
10. N/A Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. N/A Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. N/A Proof of legal access to the property.
13. N/A Other information as necessary or required by the City Code or Community Development Department (See other side.)

# Doña Ana County, NM

General Reference Maps

Doña Ana County Geospatial Committee 2013

[Map Help](#)

2014 Aerial | **Addresses** | County Address Points

Select Search Type: Account Number  Enter Value:

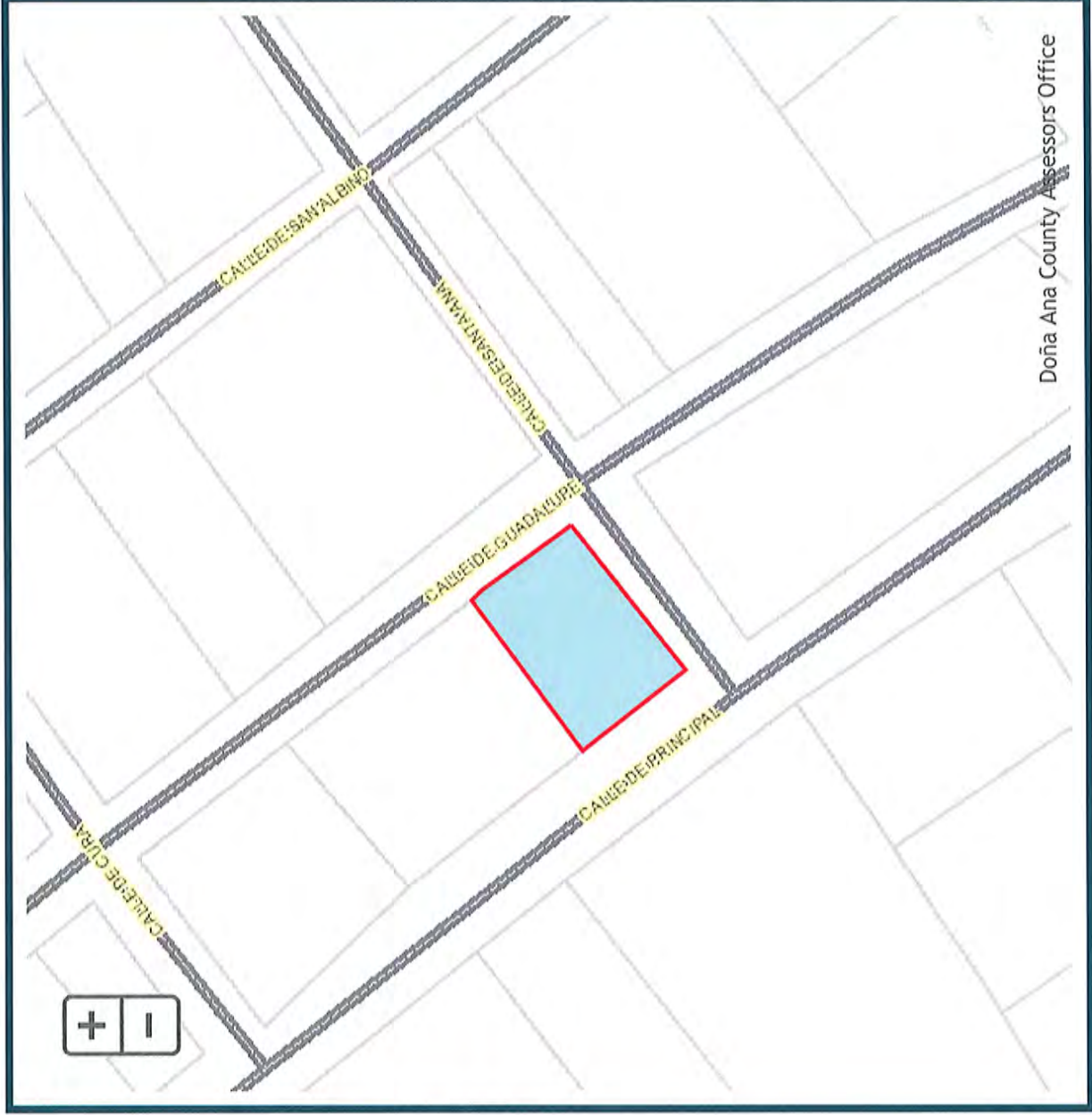


Maps

Legend

<b>Map Themes</b>
Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

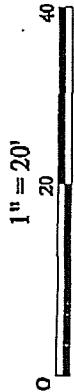
Account Number: [R0400644](#)  
 Parcel Number: 4006138306016  
 Owner: FIERRO LORENZO L  
 Mail Address: 6535 DOS LOBOS RD  
 Subdivision:  
 Property Address: 2170 CALLE DE SANTA ANA  
 Acres: 0



Doña Ana County Assessors Office

# PLAT OF SURVEY

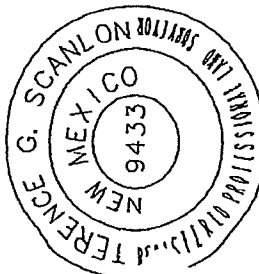
A 0.11 ACRE TRACT OF LAND LOCATED IN  
SECTION 36, T.23S., R.1E., N.M.P.M.  
OF THE U.S.R.S. SURVEYS  
TOWN OF MESILLA,  
DONA ANA COUNTY,  
NEW MEXICO



INSTRUMENT OF RECORD:

FILED:  
Instrument 7141712  
OF THE DONA ANA COUNTY RECORDS

DRAWN BY	S. Peale
FIELD BY	E.R., C.S.
JOB NO.	16-12-0491
DATE	December 5, 2016

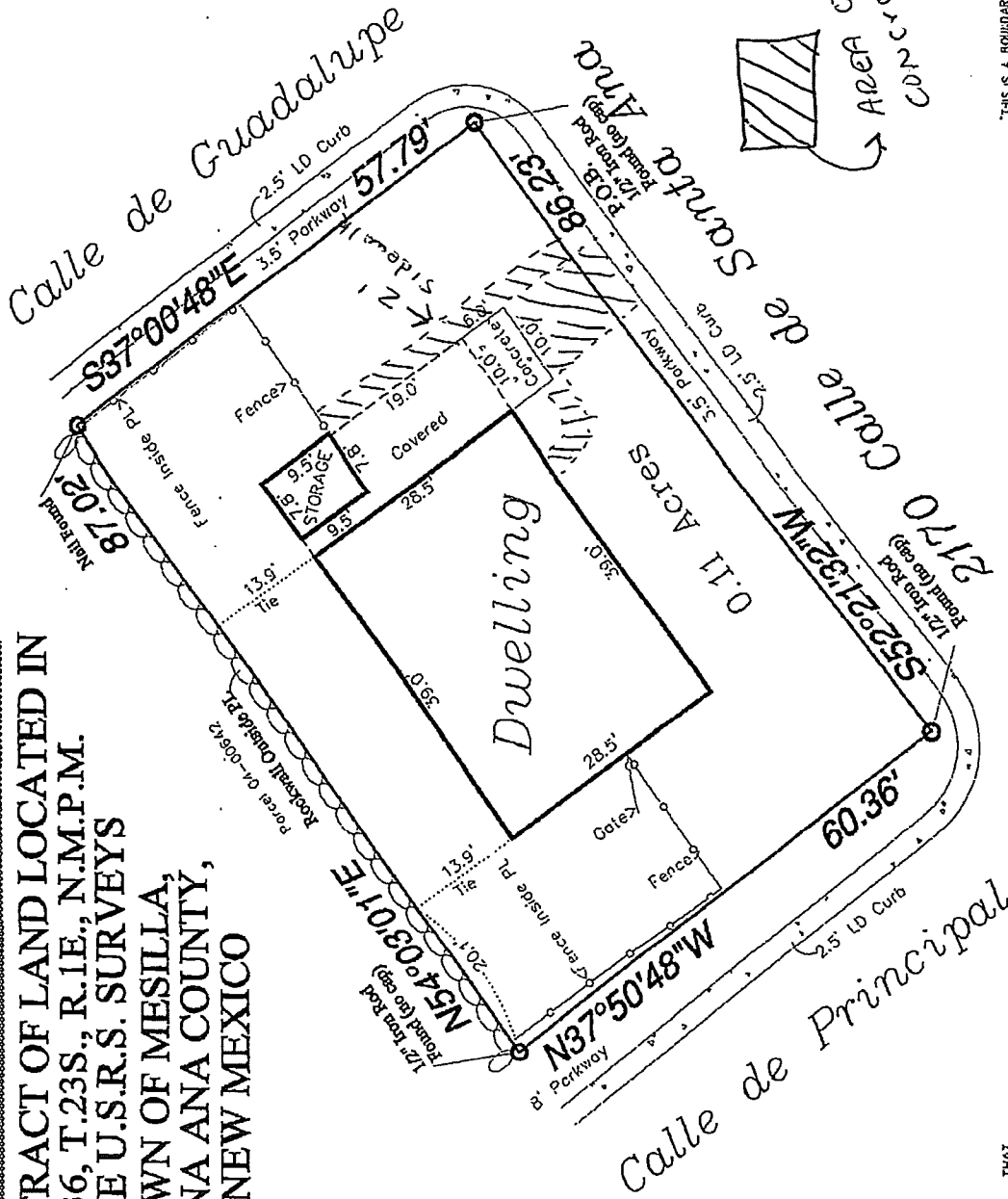


**SURVEYOR'S CERTIFICATE**

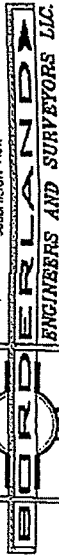
THIS IS TO CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT, MEETING THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

December 4, 2016  
DATE OF SURVEY

TED G. SCANLON - P.S. No. 9433  
2990 N. MAIN STREET, STE. 3C, LAS CRUCES, NEW MEXICO 88001



THIS IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS OF LAND, OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT.



**BERLAND AND SURVEYORS LLC**  
2990 N. MAIN STREET, STE. 3C  
Las Cruces, New Mexico 88001  
Phone: (915) 522-1443  
Fax: (915) 522-9958

PROPERTY IS IN AN "X" DESIGNATED ZONE; AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 35013C1093 G, EFFECTIVE JULY 6, 2016.

NOTES:  
THE BASIS OF BEARING IS THE EAST BOUNDARY. ALL EASEMENTS SHOWN HEREON ARE PER THE FILED INSTRUMENT/PLAT AS NOTED HEREON. BEARINGS AND DISTANCES MATCH THAT OF RECORD, UNLESS OTHERWISE NOTED. 1/2" IRON RODS WITH YELLOW PLASTIC CAP LABELED HIPS 9433 SET AT PROPERTY CORNERS OR AS NOTED HEREON.

CONVERT AREA



TOWN OF MESILLA  
ZONING APPROVAL

OF No. 1148 SE O.P. 1/1  
Case # 061160  
Fee \$ 180.<sup>00</sup>

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061160 ZONE: HR CODE: MJ APPLICATION DATE: 1/12/21

Douglas Zimmerman 575. 496. 4594  
Name of Property Owner Property Owner's Telephone Number  
PO Box 2462 LC NM 88004  
Property Owner's Mailing Address City State Zip Code  
ZimmBac@qmail.com  
Property Owner's E-mail Address  
Friend  
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2140 Calle del Norte

Description of Proposed Work: Paint exterior of home in NM  
Colors- Sherwin Williams color Bees Wax (yellowish)

\$ 3250- X [Signature] 1/12/21  
Estimated Cost Signature of Applicant Date

Signature of property owner: X [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES  NO \_\_\_ SEE CONDITIONS

CONDITIONS: NO CHANGE TO STRUCTURE OR STYLE OF DWELLING

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: 1/22/21

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department. (See other side.)

# Doña Ana County, NM

General Reference Maps

Map Help Doña Ana County Geospatial Committee 2013

2014 Aerial Addresses County Address Points

Select Search Type: Account Number Enter Value: Search

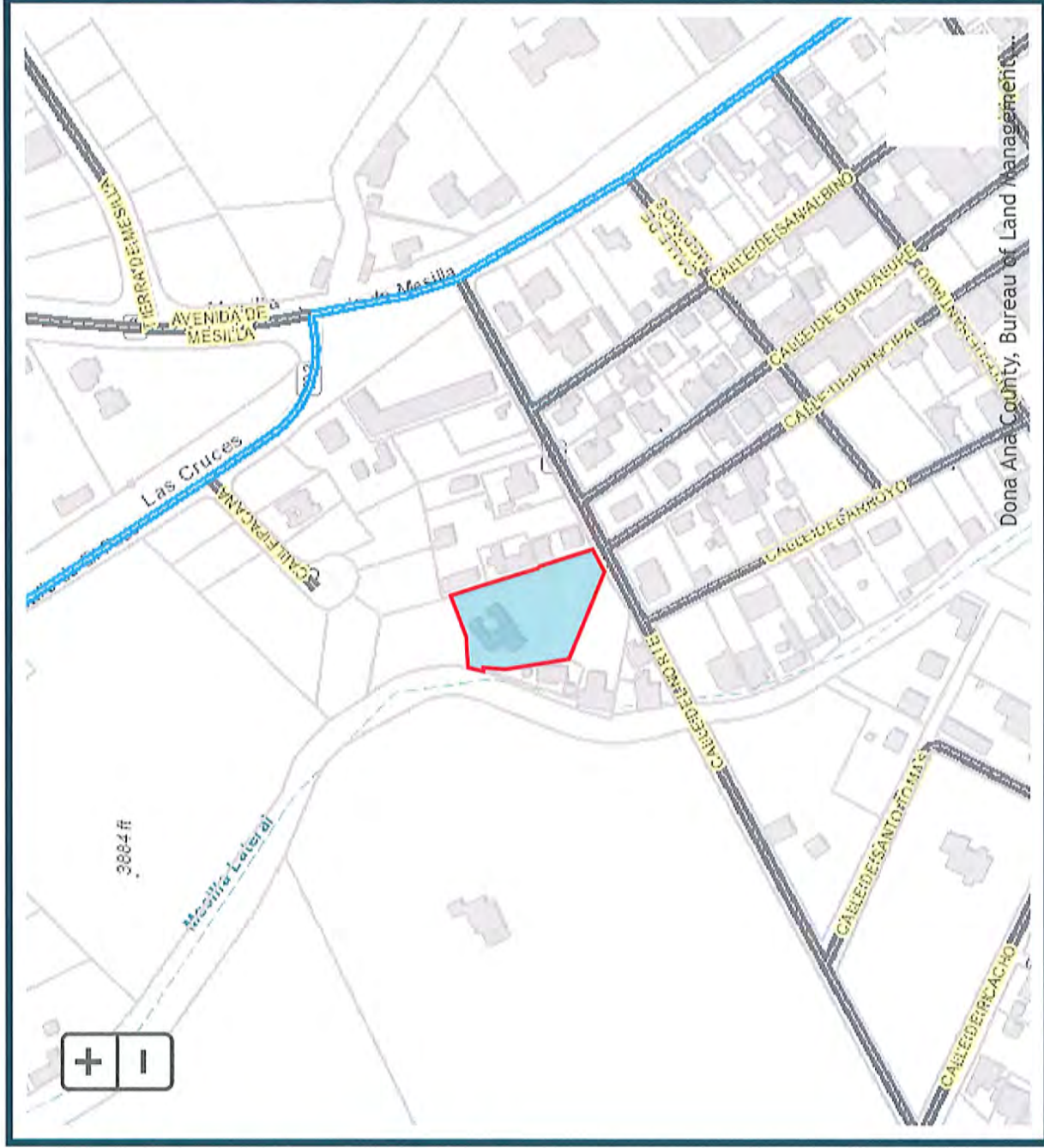


### Maps

### Legend

<b>Map Themes</b>
Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0401172](#)  
 Parcel Number: 4006137155357  
 Owner: ZIMMERMAN DOUGLAS K  
 Mail Address: 2140 CALLE DEL NORTE  
 Subdivision: USRS TRACT 11B-11 REPLAT NO 1 (BK 18 PG 770 - 9721396)  
 Property Address: 2140 CALLE DEL NORTE  
 Acres: 1.01



Doña Ana County, Bureau of Land Management

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 06116

Fee \$ 200.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 06116 ZONE: R12 CODE: M1 APPLICATION DATE: 1/12/21

Toby & Stephen Carrasco (505) 721-8859  
Name of Property Owner Property Owner's Telephone Number  
P.O. Box W Mesilla, NM 88046  
Property Owner's Mailing Address City State Zip Code  
tristancarr@mac.com  
Property Owner's E-mail Address

CN Landscaping  
Contractor's Name & Address (If none, indicate Sell)  
(575) 915-6864 03-239460-00-8 NMDA # 8904 ein: 82-4038451  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2510 Calle De Parian

Description of Proposed Work: Landscaping in backyard. Reused existing bricks for path; rocks for drainage. Added decomposed granite to hold down loose dirt. Yard is approx 4200 sq ft.

\$ 5000.00 Toby Carrasco 01/12/2021  
Estimated Cost Signature of Applicant Date

Signature of property owner: Toby Carrasco Stephen Carrasco

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES  NO SEE CONDITIONS

CONDITIONS: LANDSCAPING - NO CHANGES TO DWELLING

PERMISSION ISSUED / DENIED BY: [Signature] ISSUE DATE: 1/27/21

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
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5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

# Doña Ana County, NM

General Reference Maps

[Map Help](#) Doña Ana County Geospatial Committee 2013

2014 Aerial [Addresses](#) [County Address Points](#)

Select Search Type: Account Number  Enter Value:

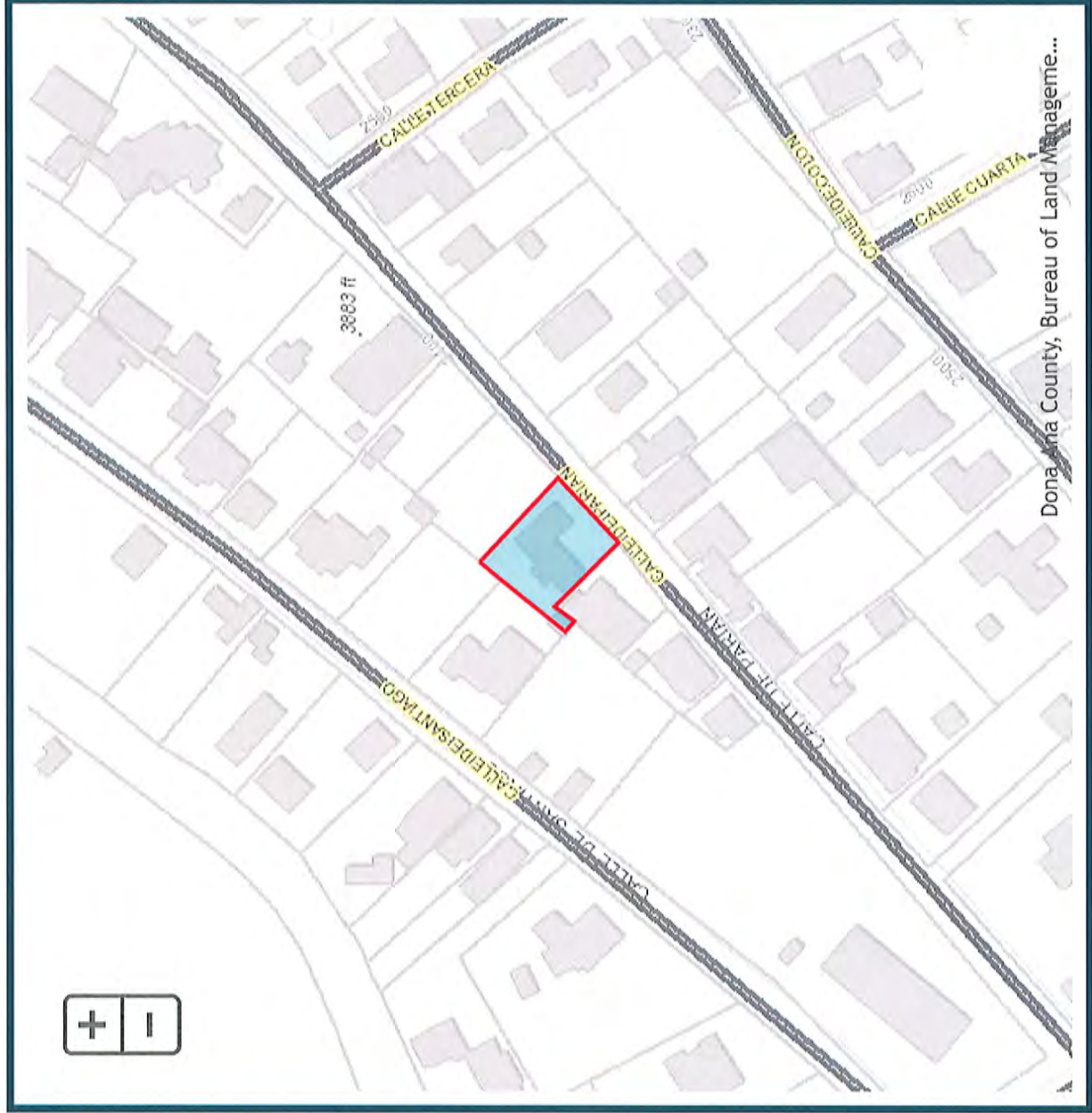


### Maps

### Legend

Map Themes
Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

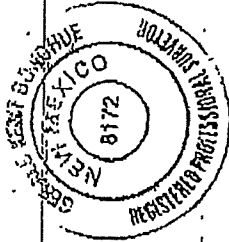
Account Number: [R0401199](#)  
 Parcel Number: 4006138128035  
 Owner: CARRASCO STEPHEN A  
 Mail Address: 2510 CALLE DE PARIAN  
 Subdivision: LUCERO TRACTS (BK 18  
 PG 305 - 951634Z)  
 Property Address: 2510 CALLE DE PARIAN  
 Acres: 0



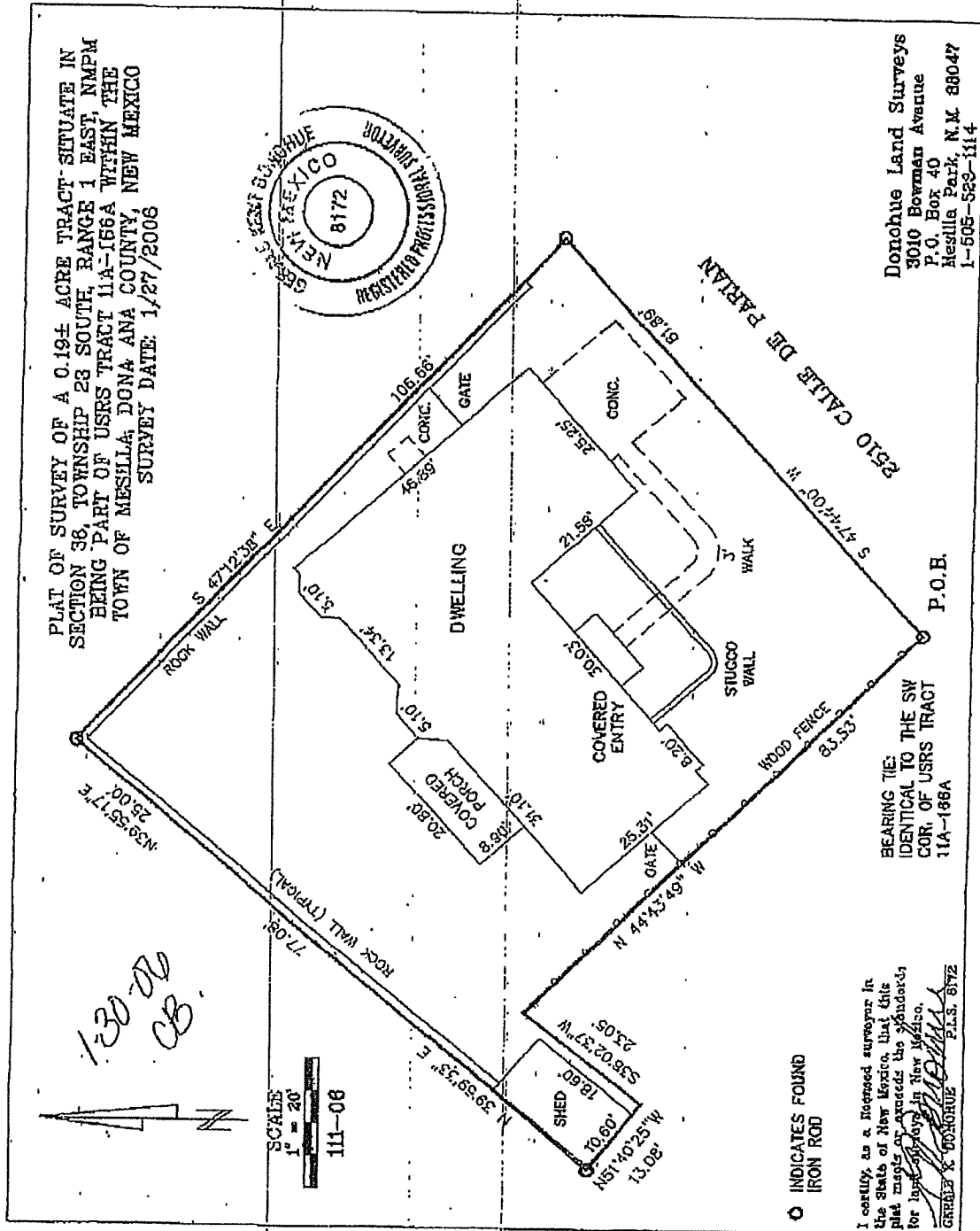
Doña Ana County, Bureau of Land Management...



PLAT OF SURVEY OF A 0.19± ACRE TRACT SITUATE IN SECTION 38, TOWNSHIP 23 SOUTH, RANGE 1 EAST, NMPM BEING PART OF USRS TRACT 11A-186A WITHIN THE TOWN OF MESILLA, DONA ANA COUNTY, NEW MEXICO  
SURVEY DATE: 1/27/2006



Donohue Land Surveys  
3010 Bowman Avenue  
P.O. Box 40  
Mesilla Park, N.M. 88047  
1-505-529-1114



130.00  
CB.

SCALE  
1" = 20'  
111-06

○ INDICATES FOUND  
IRON ROD

I certify, as a Licensed surveyor in the State of New Mexico, that this plat complies with the standards for land surveys in New Mexico.  
GREBLE & DONOHUE P.L.S. 8172

BEARING TIE:  
IDENTICAL TO THE SW  
COR. OF USRS TRACT  
11A-186A

P.O.B.

2510 CALLE DE PARIAN  
S 57°44'00" W  
517.44±

ROCK WALL (TYPICAL)  
N 39°59'33" E  
77.05±

N 39°57'17" E  
25.00±

106.88±  
CONC.  
GATE

DWELLING

25.25±  
CONC.

21.36±  
WALK

30.03±  
COVERED ENTRY

8.20±  
STUCCO WALL

25.31±  
GATE

23.05±  
S 38°02'37" W

12.60±  
SHED

13.09±  
N 51°40'25" W

WOOD FENCE  
83.53±



**PZHAC NEW BUSINESS  
FEBRUARY 1, 2021**

**DECISION ITEMS  
ZONING PERMITS**



**PZHAC ACTION FORM  
BUILDING PERMIT 061156  
[PZHAC REVIEW – 2/1/2021]  
STAFF ANALYSIS**

**(Decision to be based on information presented during the Work Session)**

**Item:**

**Case 061156** – 2725 Old Farm Road, submitted by Brad and Debbie Foreman, a request for a zoning permit to allow the construction of a residence and a structure with a 600 square foot casita, a pool, a workshop, and a studio. Zoned: Rural Farm (RF)

**Staff Analysis:**

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed structures are acceptable to the Town as proposed; and meet all applicable codes, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed structures are not acceptable to the Town; or do not meet all applicable codes, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

**Estimated Cost: \$350,000.00**

**Consistency with the Code:**

The PZHAC will need to determine that the proposed structures will be consistent with other structures in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Zoning Codes** that may be applied to this project.

**Findings:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing a dwelling and an accessory structure containing a pool, an accessory dwelling, a workshop and a studio on a five acre property at this address.
- The PZHAC has determined that the proposed structures are not a violation of any MTC Codes.
- The PZHAC has determined that the proposed structures meet all applicable Code requirements.

**PZHAC OPTIONS:**

1. Approve this application.
2. Approve this application with conditions.
3. Postpone a decision on the request to allow the applicant to modify the request.
4. Reject the zoning request.

**PZHAC ACTION:**



**PZHAC ACTION FORM  
BUILDING PERMIT 061162  
[PZHAC REVIEW – 2/1/2021]  
STAFF ANALYSIS**

**Item:**

**Case 061162** – 3150 Bowman Street, submitted by Grady Oxford; a request for a zoning permit to allow the construction of an addition to a dwelling on a 0.84 acre property at this address. Zoned: Residential, one acre (R-1)

**DESCRIPTION OF REQUEST:**

The subject property is on the west side of Bowman Street at the south edge of Town limits. le de Guadalupe at the north edge of the RA zone. Properties to the east, south, and west are in the City of Las Cruces. The neighboring property to the north is zoned R-1.

**(The RA zoning of the property requires a lot size of one acre for lots in the R-1 zone. Since the property is only 0.84 acres feet in size, the property is a legal non-conforming lot, and the existing dwelling has been determined to be a legal non-conforming use of the property which may not be expanded, according to a recent PZHAC policy resulting from a legal opinion dated August 14, 2020 - see attached.)**

The addition will be a three-car garage that will replace the existing three-car garage that is part of the existing dwelling. The existing three-car garage will then be converted to about 840 square feet of living area that will be part of the main dwelling (see attached floor plans). Part of this will be used as living quarters by the applicant's parents. (The applicant has been informed that the area used as living quarters cannot exceed 600 square feet in the R-1 zone.) The addition that will contain the new garages will also contain a storage area and workshop (see attached floor plans). The addition will be slightly higher than the existing dwelling (just under 17 feet, according to the attached plans), but this will not be out of character with other dwellings nearby in the R-1 zone. The addition will be well over 30 feet from the front property line.

The applicant or his representative will be present by "Zoom" at the work session to provide further details about the proposed construction, and to answer any questions that may arise.

**ESTIMATED COST: @ \$245,000.00**

**CONSISTENCY WITH THE CODE:**

The PZHAC will need to determine that the proposed structure in not considered "legal non-conforming" in order to allow construction of this addition and that it will be compatible with all other requirements of the R-1 Zoning of the property.

**Findings:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing an addition on an existing dwelling on a 0.84 acre parcel zoned R-1.
- The PZHAC has determined that the proposed structure meets all applicable Code requirements.

**PZHAC OPTIONS:**

1. Approve this request.
2. Approve this request with conditions.
3. Postpone a decision on the request to allow the applicant to modify the request.
4. Reject the permit.

**PZHAC ACTION:**

# Doña Ana County, NM

General Reference Maps

Doña Ana County Geospatial Committee 2013

Map Help

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number  Enter Value:



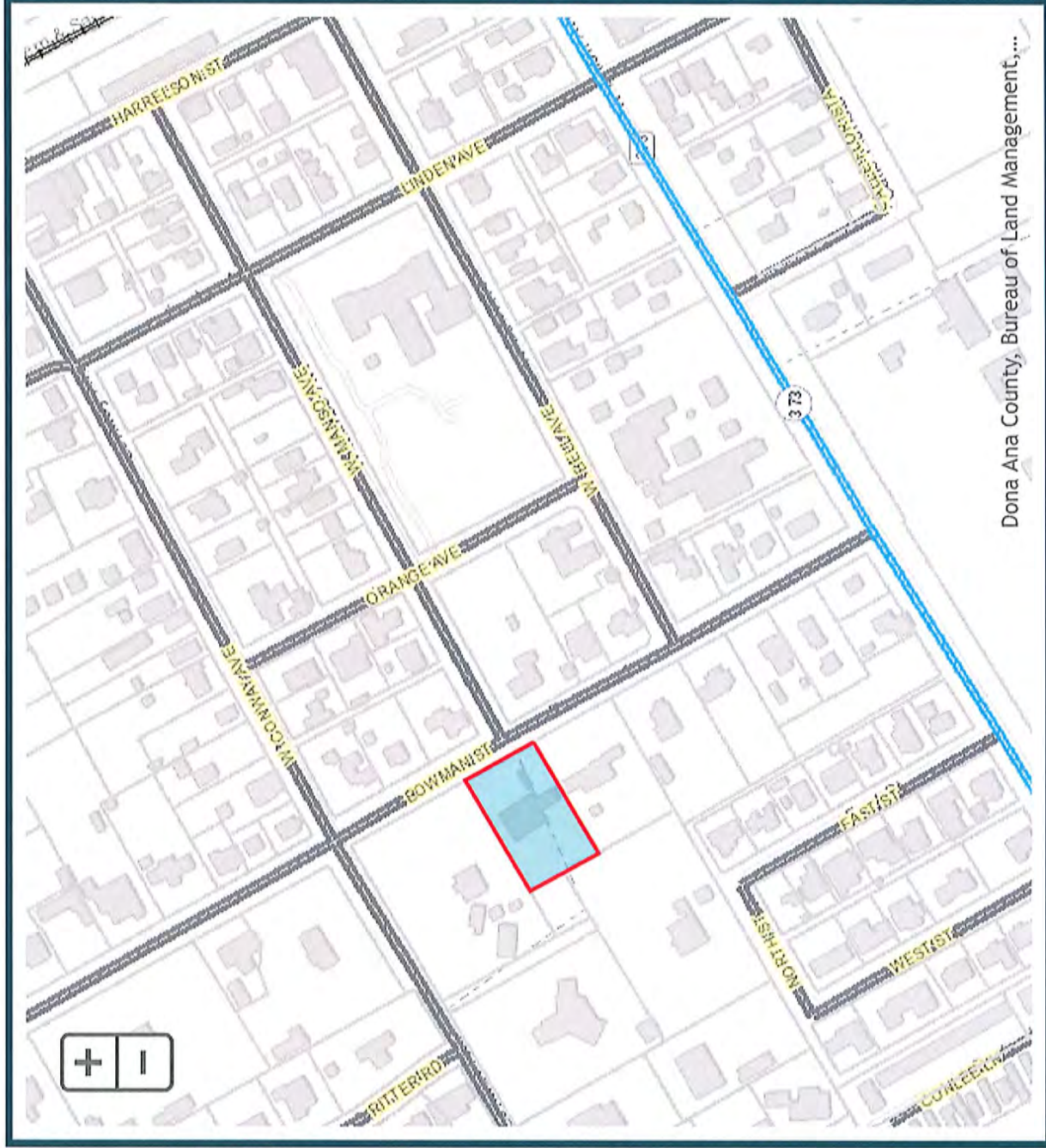
Maps

Legend

### Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: **R0400870**  
 Parcel Number: **4007137406446**  
 Owner: **OXFORD GRADY E JR & MARCY H**  
 Mail Address: **3150 BOWMAN AVE**  
 Subdivision:  
 Property Address: **3150 BOWMAN AVE**  
 Acres: **0.83**



Doña Ana County, Bureau of Land Management, ...



REVISIONS	BY:

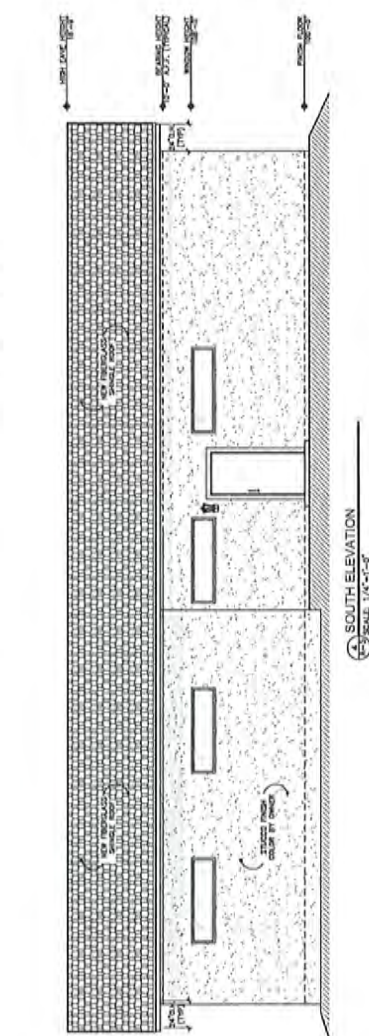
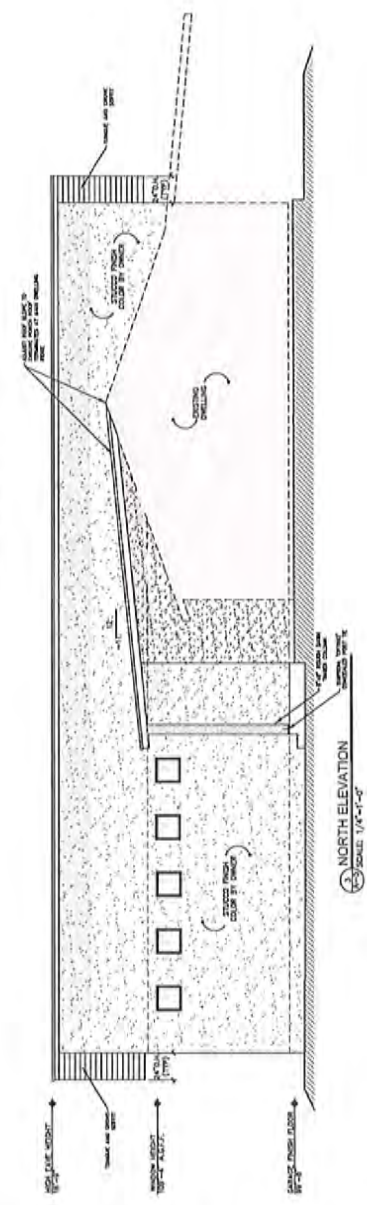
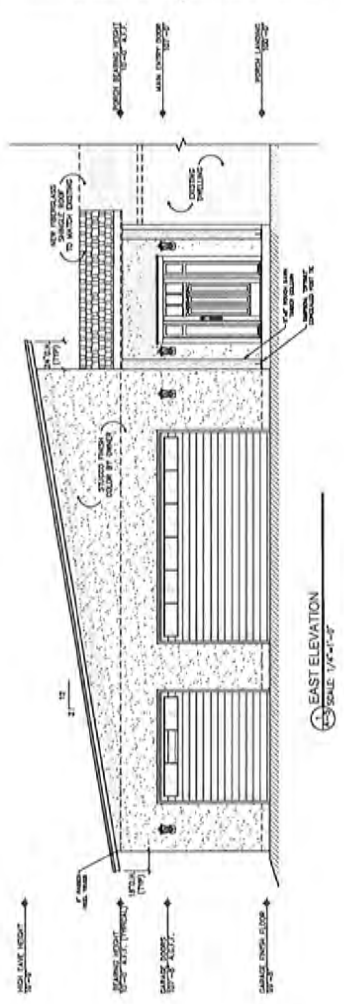
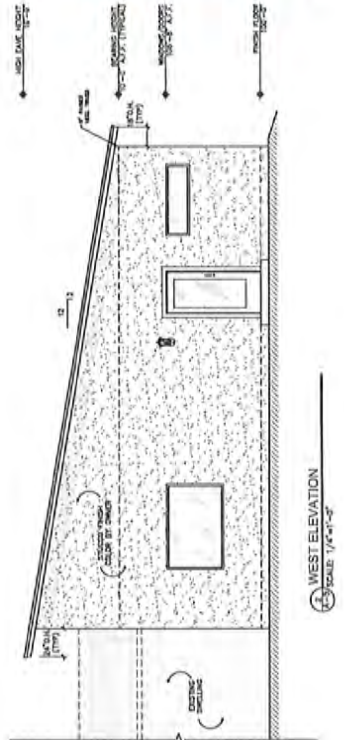
**NAVA TECH INC.**  
 AND ASSOCIATES  
 CONSTRUCTION PLAN PRODUCTION & COORDINATION  
 1818 B Street SE  
 Las Cruces, NM 88005  
 P: (505) 525-8800  
 F: (505) 525-8801  
 Email: nava@navatech.com

Address  
 3150 Bowman Avenue  
 Las Cruces, NM, 88005

**GRADY & MARCY OXFORD**  
 EXTERIOR ELEVATION  
 NEW ADDITION

PROJECT NO.	
DATE	
SCALE	
CLIENT	
SHEET NO.	

A-5



REVISIONS	BY:

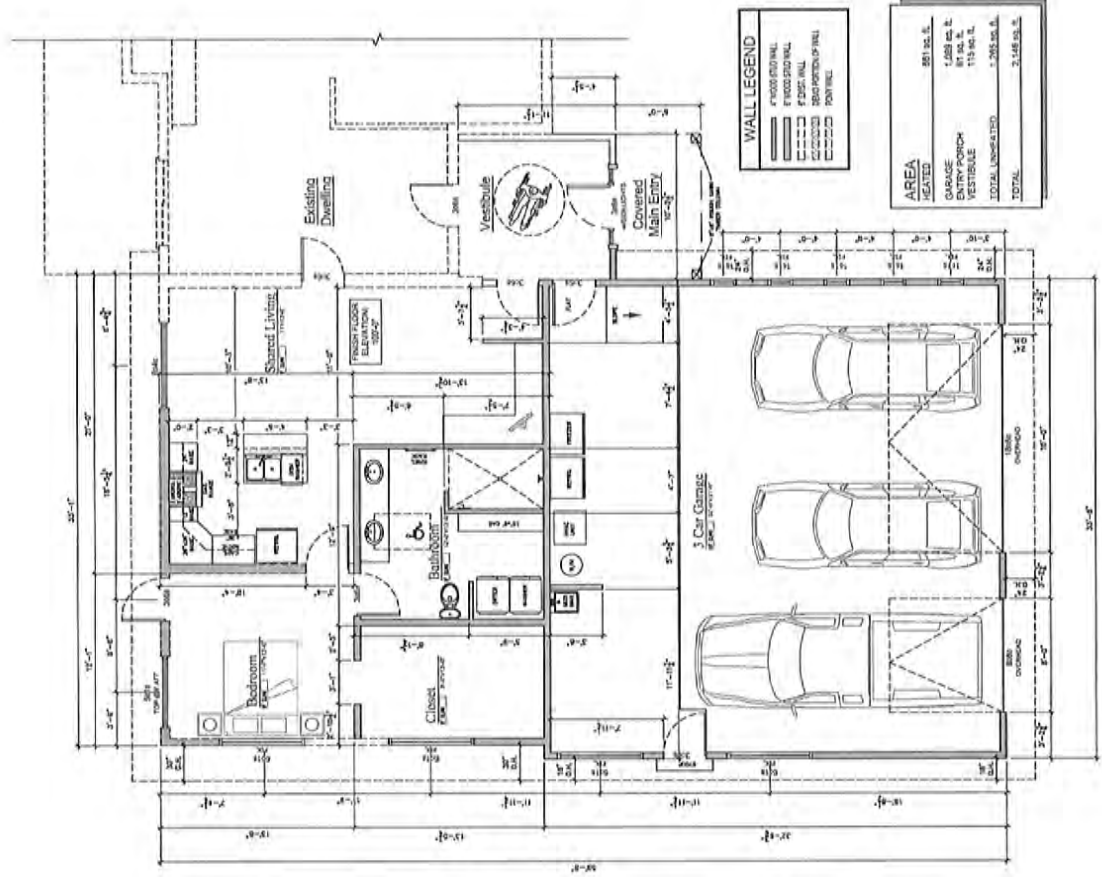
**NAVA TECH INC.**  
**AND ASSOCIATES**  
 CONSTRUCTION PLAN PRODUCTION & COORDINATION  
 1813 K. St. NW  
 Las Cruces, NM 88005  
 Phone: (505) 241-8888  
 Email: navatech@navatech.com

Address  
 3150 Bowman Avenue  
 Las Cruces, NM, 88005

**GRADY & MARCY OXFORD**  
 FLOOR PLAN & CODE DATA

NO. OF SHEETS	1
SHEET NO.	A-1
DATE	
SCALE	
PROJECT	
CLIENT	

NEW ADDITION



**WALL LEGEND**

---	FOUNDATION WALL
---	FOUR INCH WALL
---	SIX INCH WALL
---	EIGHT INCH WALL
---	FOUR INCH CMU WALL
---	SIX INCH CMU WALL
---	EIGHT INCH CMU WALL
---	FOUR INCH CONCRETE WALL
---	SIX INCH CONCRETE WALL
---	EIGHT INCH CONCRETE WALL

**AREA**

HEATED	891 SQ. FT.
GARAGE	1,608 SQ. FT.
ENTRY PORCH	87 SQ. FT.
VESTIBULE	119 SQ. FT.
TOTAL UNHEATED	1,814 SQ. FT.
TOTAL	2,705 SQ. FT.

**FLOOR PLAN**  
 SCALE: 1/4"=1'-0"  
 PLAN DATE

**CODE SUMMARY**

ADDRESS:  
 3150 BOWMAN AVENUE  
 LAS CRUCES, NM 88005

CODE REFERENCE

- 2013 INTERNATIONAL RESIDENTIAL CODE
- 2013 INTERNATIONAL MECHANICAL CODE
- 2013 INTERNATIONAL PLUMBING CODE
- 2013 INTERNATIONAL BUILDING CODE
- 2013 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2015 INTERNATIONAL FIRE CODE

All references are to be found at the following link:  
<http://www.icbc.com>

**BUILDING DATA**

VERTICAL LOADS: ROOF 10PSF  
 WALL 10PSF  
 FLOOR 20PSF

LIVE LOADS: ROOF 20PSF  
 GARAGE 20PSF

SNOW LOADS: 0PSF (10PSF 10Y)

LATERAL LOADS: WIND 15PSF  
 SEISMIC 0PSF

SOILS: CLASS 3

WIND LOADS: WIND SPEED 110 MPH  
 EXPOSURE CATEGORY: B

SEISMIC: WIND SPEED 110 MPH  
 EXPOSURE CATEGORY: B

SOIL CLASS: 3

**GENERAL INFORMATION**

ALL ROOMS MUST MEET THE MINIMUM REQUIREMENTS FOR LIGHTING AS SPECIFIED IN THE INTERNATIONAL RESIDENTIAL CODE.

ALL ROOMS MUST BE COVERED WITH A ROOF AND DRAINAGE SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH U.S. 2013 AND I.C. 2017.

**AREA CALCULATION**

HEATED: 891 SQ. FT.  
 TOTAL: 2,705 SQ. FT.

**ELECTRICAL NOTES**

ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE LOCAL ELECTRICAL CODES. ALL ELECTRICAL WORK SHALL BE PROVIDED AS REQUIRED IN THE INTERNATIONAL RESIDENTIAL CODE. ALL ELECTRICAL WORK SHALL BE PROVIDED IN ACCORDANCE WITH U.S. 2013 AND I.C. 2017.

(A) PERMISSIBLE ALL 120V-60HZ SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SHALL BE PROVIDED BY ROUTING, USING ROADS, LIVING ROOMS, PARADES, LIBRARIES, KITCHENS, BATHROOMS, BEDROOMS, HALLS, AND OTHER AREAS SHALL BE PROVIDED BY ANY OF THE MEANS DESCRIBED IN SECTION 210.2(A)(1) THROUGH (8).



NO.	DATE	BY	REVISIONS

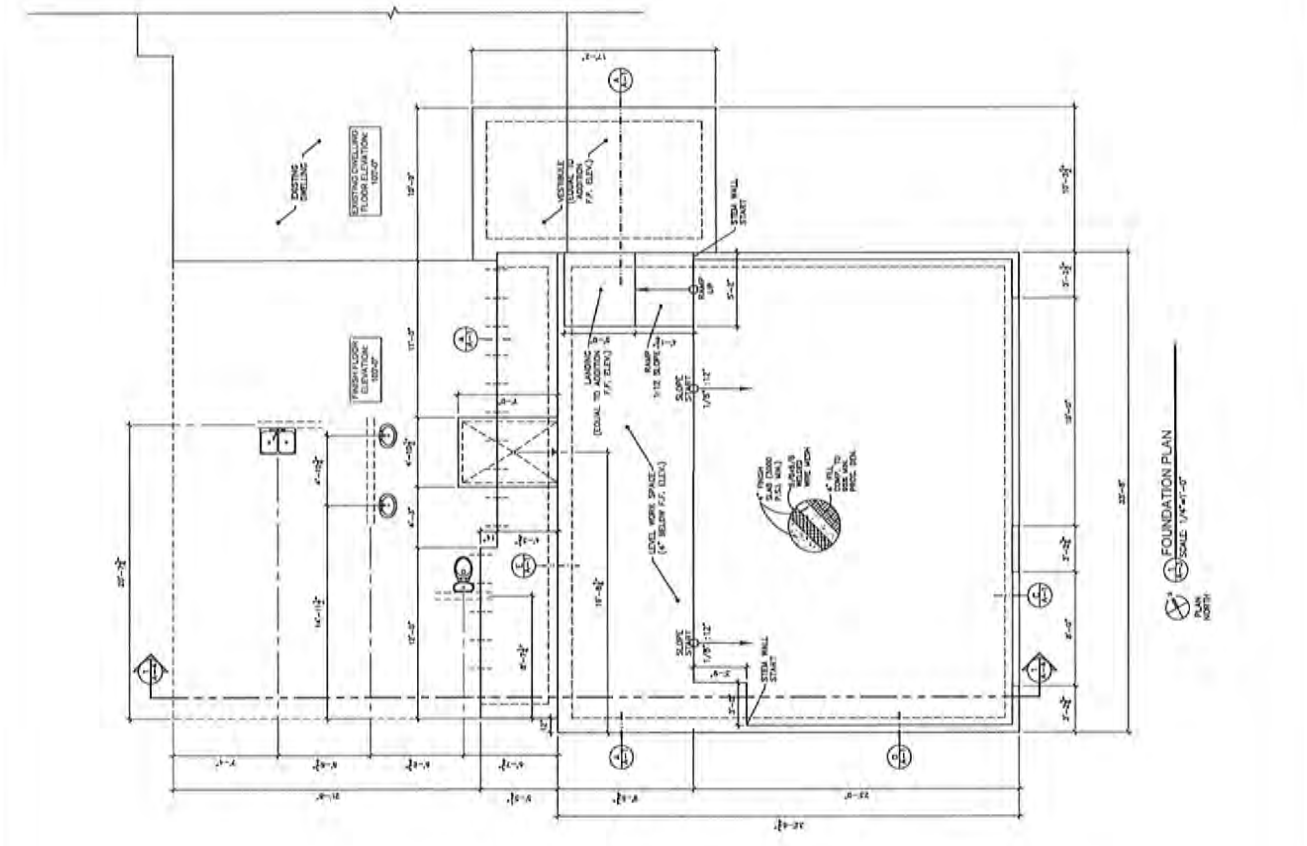
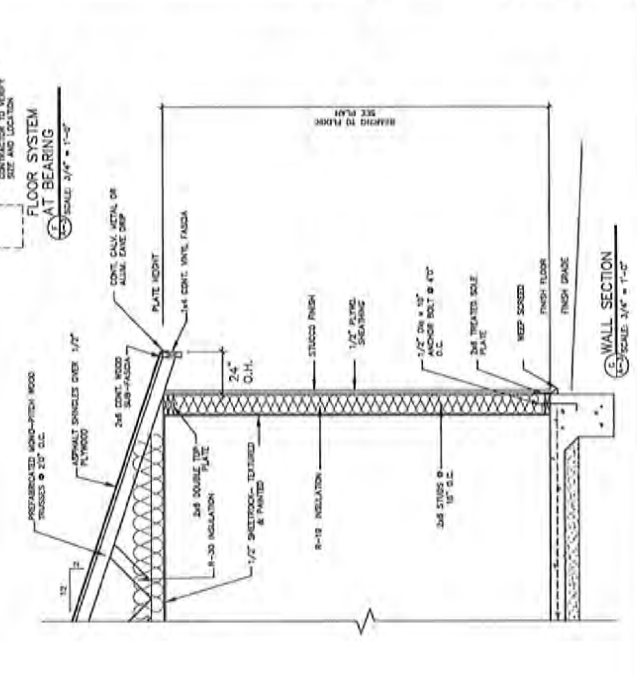
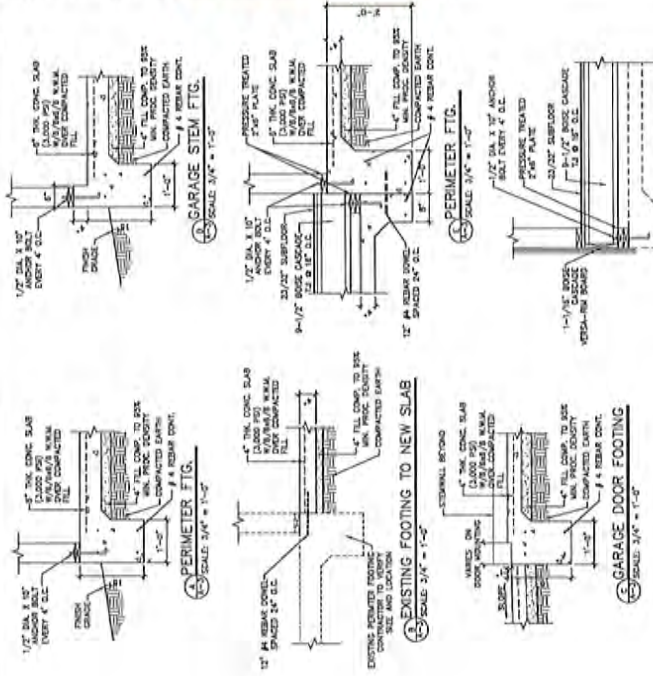
**NAVA TECH INC.**  
 AN IRVING-CLOUD COMPANY  
 CONSTRUCTION PLAN PRODUCTION & COORDINATION  
 1818 S. GARDNER  
 DALLAS, TEXAS 75210  
 PH: (214) 343-2000  
 FAX: (214) 343-2000  
 EMAIL: ntech@navatech.com

Address  
 3150 Bowman Avenue  
 Las Cruces, NM, 88005

**GRADY & MARCY OXFORD**  
 FOUNDATION PLAN, DETAILS, & WALL SECTION

NEW ADDITION

SCALE: 1/4" = 1'-0"  
 SHEET NO. A-3



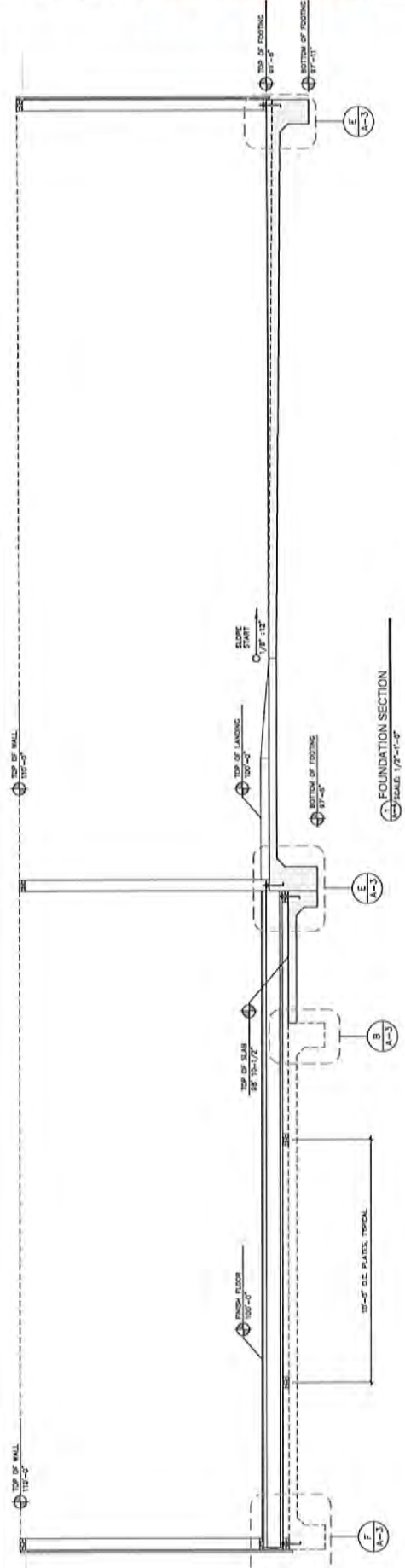
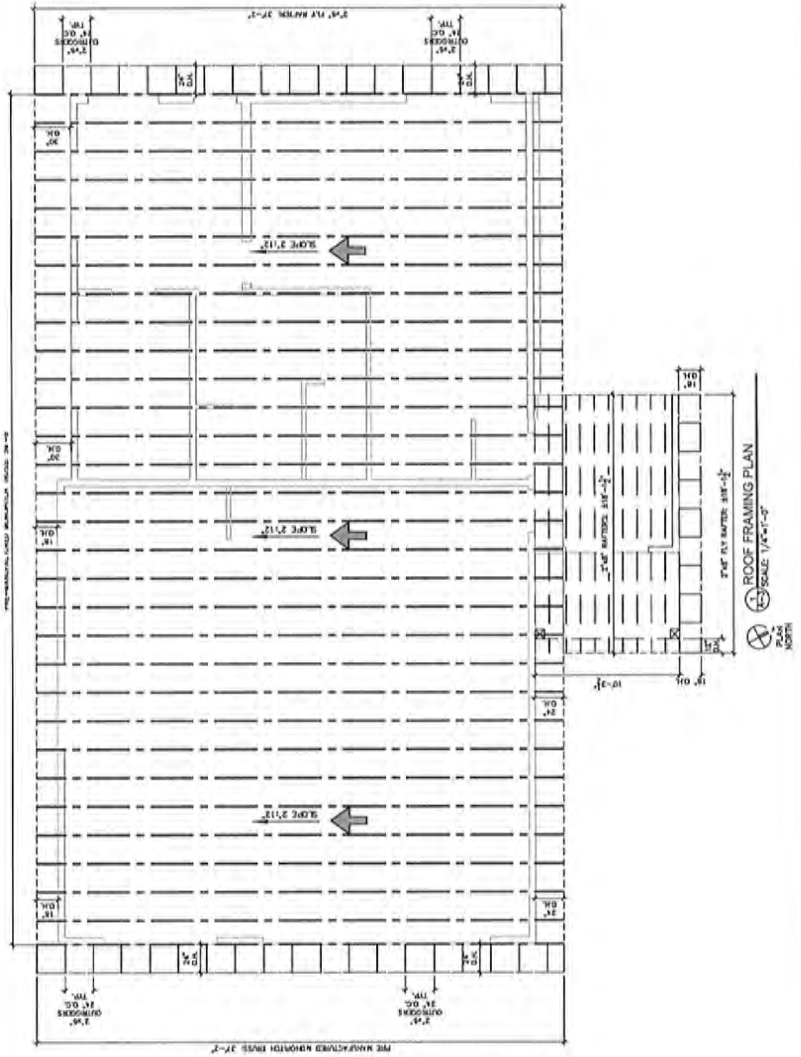
FOUNDATION PLAN, DETAILS, & WALL SECTION  
 SCALE: 1/4" = 1'-0"  
 SHEET NO. A-3

DRAWING NO.   
 DATE   
 SCALE   
 ATTORNEY   
 REGISTERED   
 A-4

NEW ADDITION   
 GRADY & MARCY OXFORD   
 FOUNDATION SECTION & ROOF FRAMING PLAN   
 Address   
 3150 Bowman Avenue   
 Las Cruces, NM, 88005

**MAVA TECH INC.**   
**LAND SURVEYING**   
 CONSTRUCTION PLAN PRODUCTION & CONSULTATION   
 1818 S. DEWEEB ROAD   
 LAS CRUCES, NM 88005   
 PHONE: (505) 241-2000   
 FAX: (505) 252-6700   
 EMAIL: info@mavatech.com

NO.	REVISIONS





PO Box 20000  
 Las Cruces, NM 88004-9002  
 (575) 541-2111

Account Number:	092005701-130747
Bill Number:	23230571
Billing Date:	December 11, 2020
Due Date:	January 5, 2021

Bill for service at: 3150 BOWMAN ST

**Wastewater Service Current Charges**

Billing Period Month
December

Rate Class
4000
SEWER BOW

Access Fee	7.63
First 3000 gallons x \$1.8400/1000 gallons	5.52
Next 17000 gallons x \$3.5000/1000 gallons	59.50
DIF Rate Rider 20000 gallons x \$0.0000/1000 gallons	0.00
Wastewater Franchise Fee	1.45
Governmental Gross Receipts Tax	3.71
<b>Total Charges for Wastewater Service</b>	<b>\$77.81</b>

Sewer based on 90% of Winter Quarter Average of Water usage				
Dec	Jan	Feb	90% of Average	
20	31	17	20	

**Solid Waste Service Current Charges**

Billing Period Month
December

Rate Class	Route No.
5000	2305
SOLIDWASTE	

Monthly Fee	15.25
Additional Services	0.00
Recycling Fees	7.00
Solid Waste Franchise Fee	0.45
Governmental Gross Receipts Tax	1.14
<b>Total Charges for Solid Waste Service</b>	<b>\$23.84</b>

**Development Fees**

<b>Total Charges for Development Fees</b>	<b>\$0.00</b>
---	---------------

**Miscellaneous Fees**

<b>Total Charges for Miscellaneous Fees</b>	<b>\$0.00</b>
---	---------------



PO Box 20000  
Las Cruces, NM 88004-9002  
(575) 541-2111

Check this box for address correction. Print changes below.

Billing Date	Enter Amount Paid
12/11/2020	

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Account Number- CID: 092005701-130747  
 Bill Number: 23230571  
 Current Amount Due By: 1/5/2021

Current Charges: \$286.07  
**Total Amount Due: \$286.07**

\*\*\*\*\*AUTO\*\*SCH 5-DIGIT 88007 1481.1

OXFORD GRADY E JR  
 3150 BOWMAN ST  
 LAS CRUCES NM 88005-7708



092005701-000130747

Please return this section with your payment.  
 Checks payable to City of Las Cruces



PO Box 20000  
Las Cruces, NM 88004-9002  
(575) 541-2111

*Handwritten signature*

Account Number: 092005701-130747  
 Bill Number: 23230571  
 Billing Date: December 11, 2020  
 Due Date: January 5, 2021

Bill for service at:  
 3150 BOWMAN ST

232012

### Billing Summary

Previously Billed	\$286.91
Payments and Credits	-286.91
Adjustments	0.00
Late Fee	0.00
Unpaid Balance	0.00
Gas Service	0.00
Water Service	184.42
Wastewater Service	77.81
Solid Waste Service	23.84
Development Fees	0.00
Miscellaneous Fees	0.00
Deposit	0.00
<b>Current Charges</b>	<b>\$286.07</b>
Unpaid Balance+Current Charges	\$286.07

### Payment Policy

**PAST DUE AMOUNTS ARE DUE NOW.**  
 Payment received after the due date is considered delinquent.  
 A late fee of 2.5% will be assessed on your balance before credits if a payment is not received by the due date.

#### Payment options include:

- Checks payable to **City of Las Cruces**. Use return envelope or mail to ATTN: Cashiers PO Box 20000, Las Cruces, NM 88004-9002
- When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer from your account or to process the payment as a check transaction.
- Pay in person during business hours, Monday through Friday, 8:00 am to 5:00 pm at our office located at 700 N Main St., Las Cruces, NM
- Pay in person during business hours Monday through Friday, 9:00 AM to 6:00 PM at our office at 5195 Bataan Memorial West, Las Cruces, NM
- Deposit payment at after-hour drop box located between City Hall and Thomas Branigan Memorial Library
- Pay by phone at 1-866-426-9757
- Pay online at [www.las-cruces.org](http://www.las-cruces.org) and click on Online Bill Pay
- Pay at the following Las Cruces Western Union locations  
 Mr. Payroll - 2240 East Missouri Ave  
 Lowes Foods - 1410 East Missouri Ave, 2180 North Main St  
 Quick Check - 5245 Porter Drive  
 Check N Go - 400 North Telshor, Suite D  
 - 1223 El Paseo Rd.

Safely and Securely request utility service at your convenience at:  
<https://externalforms.las-cruces.org/UtilityConnect/RequestService>

### Customer Service Information

Checks or bank drafts returned for insufficient or uncollectable funds will be charged a \$30 processing fee.

If you have any questions about this bill, please call Customer Services, Monday through Friday from 8:00am to 5:00pm at (575) 541-2111, or email

[CustomerService@las-cruces.org](mailto:CustomerService@las-cruces.org)

For TTY Communications, please call NMRN at 1-800-659-8331 and ask them to place your call to (575) 541-2111.

For 24 hours **emergency service** please call (575) 526-0500.

### Special Announcement

BE AWARE OF ANY UNPAID UTILITY BALANCES. DISCONNECTION FOR NON PAYMENT IS ON HOLD. HOWEVER, AS OPERATIONS NORMALIZE, DISCONNECTION WILL PROCEED IN THE NEAR FUTURE. PLEASE DO NOT WAIT!!! CALL 575-541-2111 TO EXPLORE OPTIONS TO BRING YOUR ACCOUNT CURRENT.



PO Box 20000  
 Las Cruces, NM 88004-9002  
 (575) 541-2111

Account Number:	092005701-130747
Bill Number:	23230571
Billing Date:	December 11, 2020
Due Date:	January 5, 2021

Bill for service at:

3150 BOWMAN ST



**City of Las Cruces**  
 Finance / Cashier  
 PO BOX 20000  
 LAS CRUCES NM 88004-9002

**Gas Service Current Charges**

Total Charges for Gas Service	\$0.00
-------------------------------	--------

**Water Service Current Charges**

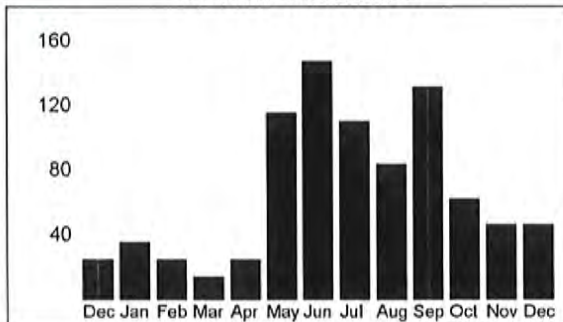
Billing Period Read Date
December 8

Rate Class
3000
WATER

Meter Number	Current Reading	Previous Reading	1000 Gallons Used
9120830	1035	996	39

Access Fee	13.60
First 3000 gallons x \$0.0000/1000 gallons	0.00
Next 10000 gallons x \$2.8500/1000 gallons	28.50
Next 10000 gallons x \$3.7300/1000 gallons	37.30
Next 16000 gallons x \$5.2300/1000 gallons	83.68
Landscape/Irrigation Water Access Fee	0.00

CONSUMPTION HISTORY



Water Rights	39000 gallons x \$0.1100/1000 gallons	4.29
Devel. Rate Ride	39000 gallons x \$0.0000/1000 gallons	0.00
Litigation Rider	39000 gallons x \$0.0900/1000 gallons	3.51
Water Franchise Fee		5.00
Governmental Gross Receipts Tax		8.54
<b>Total Charges for Water Service</b>		<b>\$184.42</b>



TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061162

Fee \$ 378.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061162 ZONE: R-1 CODE: AD APPLICATION DATE: 1/20/12

Grady and Marcy Oxford 575-642-3893  
Name of Property Owner Property Owner's Telephone Number  
3150 Bowman Las Cruces NM 88005  
Property Owner's Mailing Address City State Zip Code  
goxford@zianet.com  
Property Owner's E-mail Address

Noble Builders Inc. Johnny Talley - 7600 Waterhole Canyon Ct. Las Cruces NM  
Contractor's Name & Address (If none, indicate Self)  
575-312-3593 CRS#03-375181-00-1 391387  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 3150 Bowman Las Cruces NM 88005

Description of Proposed Work: Residential addition of a 3 bay parking garage. Renovation of existing garage into living area.

\$ 245,000.00 Johnny Talley 1/20/12  
Estimated Cost Signature of Applicant Date

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED:  YES \_\_\_ NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED:  YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW + APPROVAL REQUIRED  
CID PERMIT REQUIRED

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1.  Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2.  Site Plan with dimensions and details.
3.  Foundation plan with details.
4.  Floor plan showing rooms, their uses and dimensions.
5.  Cross section of walls
6.  Roof and floor framing plan
8.  Proof of legal access to the property.
9.  Drainage plan.
10. NA Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11.  Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services). Water Bill
12.  Proof of legal access to the property.
13. \_\_\_\_\_ Other information as necessary or required by the City Code or Community Development Department (See other side.)



**PZHAC NEW BUSINESS  
FEBRUARY 1, 2021**

**DECISION ITEMS  
BUSINESS/STR LICENSES**



**PZHAC ACTION FORM**  
**BUSINESS REGISTRATION REQUEST 0866**  
**[PZHAC REVIEW – 2/1/21]**

**STAFF ANALYSIS**

**Item:**

**Permit 0866** – 2419B Calle de Parian, submitted by Veronica Slade; a request for a business license to allow the applicant to operate an online mental health counselling operation as a home occupation from a dwelling at this address. Zoned: Historic Residential (HR).

**Description of Business:**

The purpose of the application is to allow the applicant to use part of the dwelling at this address as an office for a consulting business. Consulting and counselling will be done over the internet and by phone. There will be no customers or vendors coming to the property. The applicant will continue to use the dwelling as her primary occupancy.

**Consistency with the Code:**

The proposed home occupation meets the requirements of Section 18.52.030 Home Occupations-General Conditions of the Code, which also allows Home Occupations in HR zones.

**Findings:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed business will not result in any changes to the residential character of the property.
- This is a use that is allowed by the MTC in the HR zoning district.
- The proposed use will not create any negative impacts to the area.
- 

**PZHAC OPTIONS:**

- Approve the application.
- Approve the application with conditions.
- Reject the application.

**PZHAC ACTION:**



Date: 1-22-21

2231 Avenida de Mesilla  
P.O. Box 10, Mesilla, NM 88046  
Phone: (505) 524-3262 Fax: (505) 541-6327

Permit No.: 0866

### Business Registration Application

: A separate business registration application form should be completed for each business location.

New  Renewal

PLEASE PRINT

#### BUSINESS INFORMATION

Business Address: 2419B Calle de Parrain Mailing Address: PO Box 805  
Mesilla, NM Mesilla, NM  
88046 88046

(Name)

Total Area of Business: N/A No. of Employees: 0 No. of Parking Spaces: N/A Zoning: \_\_\_\_\_  
e-Mail Address: VSLADE@cybermesa.com Business Phone #: 575-202-2157

Type of business (Please describe product(s) and/or service(s))  
Licensed clinical mental health counselor working  
solely online (i.e., teletherapy). No persons come to  
this address, which is my home.

Business Owner Is: Sole Proprietorship  Partnership  Corporation  Other LLC

Current New Mexico Revenue Division ID #: CRSID: 03-159071-00-3  
(The location code for reporting earnings received in the Town of Mesilla is 07-303.)

#### BUSINESS OWNER/APPLICANT INFORMATION

Business Owner's/Applicant's Name (s): Veronica Slade

Home Address: 2419B Calle de Parrain Mailing Address: PO Box 805  
Mesilla, NM Mesilla, NM  
88046 88046

Business Owner's/ Applicant's Phone #: 575-202-2157

(Please complete other side)

**PROPERTY INFORMATION**

Is property: owned \_\_\_\_\_ leased X

Property Owner: Kelly + Davie Salas

Property Owner Address: 2417A Calle de Paraiso  
Mesilla, NM 88046

Property Owner Phone #: 575-650-0283

**EMERGENCY CONTACT INFORMATION**

Responsible party to be called in case of emergency. Enter name in order of contact (please print):

24 HOUR EMERGENCY PHONE #: 575-202-2157

Name	Address	Telephone #
1. <u>Veronica Slade</u>	<u>2419B Calle de Paraiso Mesilla</u>	<u>575-202-2157</u>
2. <u>Lisa Schultz</u>	<u>" "</u>	<u>" 575-640-1344</u>
3. _____	_____	_____

Do you have an alarm system? Yes X No \_\_\_\_\_  
What type? Allied  
Which Company, if any, Responds to Alarms? Allied

**APPLICANT HEREBY STATES UNDER OATH THAT ALL STATEMENTS AND REPRESENTATIONS MADE IN THIS APPLICATION ARE TRUE AND VALID.**

Veronica Slade, business owner 7-27-21  
Signature of Applicant/Title Date

\_\_\_\_\_  
Signature of Building Owner Date

Receipt Number: \_\_\_\_\_ Office Use  
Permit Number: 0866 Date of Payment: \_\_\_\_\_  
Approval Date: 1/28/21 Zone: HR  
Sign Permit Case #: N/A Bus. Type: HO  
Renewal Date: 3/15/21

**Fire Department Inspection Verification**

Fire Department Representative Signature: \_\_\_\_\_  
Fire Inspection Date: \_\_\_\_\_  
Approved: Yes \_\_\_\_\_ No \_\_\_\_\_

# Doña Ana County, NM

General Reference Maps

[Map Help](#) Doña Ana County Geospatial Committee 2013

2014 Aerial | **Addresses** | County Address Points

Select Search Type: Account Number | Enter Value:



Maps

Legend

<b>Map Themes</b>
Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: **R040050Z**  
 Parcel Number: 4006138157034  
 Owner: SALAS DAVIE C  
 Mail Address: P.O. BOX 615  
 Subdivision:  
 Property Address: 2419 CALLE DE  
 PARIAN  
 Acres: 0



Doña Ana County, Bureau of Land Management





7072

# Town of Mesilla, New Mexico

Phone (575) 524-3262

P.O. Box 10

2231 Avenida de Mesilla, Mesilla, NM 88046

## HOME OCCUPATION CHECKLIST

### Appendix A

Checklist for Compliance with MTC 18.52.030, Home Occupation General Conditions  
As a part of your application, first time and renewal, for a home occupation we ask that you acknowledge compliance with the following rules and regulations for home occupations in the town of Mesilla by initialing each requirement and signing the checklist below.

- U.S. Only immediate family members occupying the dwelling shall be engaged in the home occupation.
- U.S. The primary use of the dwelling shall be for residential purposes.
- U.S. Items shall not be displayed on the outside of the dwelling or on the premises of the home occupation.
- U.S. There shall be no change in the outside appearance of the dwelling or the premises.
- U.S. Only products of the home occupation shall be sold from the premises.
- U.S. Only two occupations shall be permitted at a time.
- U.S. All activities shall be conducted indoors. There shall be no direct sale of products off display shelves or racks. Retail sales shall only be conducted if product orders are placed earlier by telephone or fax or electronically.
- U.S. Sales to customers shall be arranged by appointment and scheduled so that not more than one customer vehicle is at the dwelling at any one time except for instructional services.
- U.S. For instructional service home occupations no more than five students shall be at the dwelling at any one time.
- U.S. Only one unlighted sign have a maximum area of one and one-half square feet and identifying the occupant(s) and the home occupation(s) shall be permitted.
- U.S. There shall be no external evidence of the conduct of a home occupation on the premises such as commercial vehicles or outside storage of products, materials or supplies.
- U.S. Company owned vehicles which are three-quarter-ton truck or smaller which are also used for personal transportation purposes shall be exempt from the above condition. No more than one such commercial vehicle shall be parked overnight on the premises of a home occupation.
- U.S. No equipment or process shall be used in a home occupation which creates noise, odor, dust, fumes, vibration, glare, electrical interference or other nuisance detectable on adjacent properties.
- U.S. There shall be no toxic, explosive, highly flammable, combustible, corrosive, radioactive or other restricted materials used or stored on the premises of a home occupation beyond the amount kept at a normal residential dwelling or on hand to operate or maintain equipment permitted by the Uniform Fire Code as adopted by the town of Mesilla.
- U.S. All customer parking shall be off-street parking including parking for those home occupations involving teaching where the maximum number of clients shall be five at any one time.

2072

I hereby state under oath that by initialing each requirement above and signing this checklist below I acknowledge that my proposed home occupation is in compliance with the rules and regulations for home occupations in the town of Mesilla and further I state under oath that my responses are true and valid:

Veronica Blad

Applicant's Name Printed

[Signature]

Applicant's Signature

1-27-21

Date

Witness

Date

**PZHAC ACTION FORM**  
**BUSINESS REGISTRATION REQUEST 0868**  
**[PZHAC REVIEW – 2/1/21]**

**STAFF ANALYSIS**

**Item:**

**Permit 0868** – 2030 Calle de Parian (upper floor), submitted by Julienne Hadfield for “Billy the Kid’s Getaway”; a request for a Short-Term-Rental business license to allow the applicant to operate a short-term-rental operation on the upper floor of a commercial building at this address. Zoned: Historic Commercial (HC).

**Description of Business:**

The purpose of the application is to allow the applicant to use part of the commercial building at this address as a short-term rental unit (“Air BnB”). This is a use that was approved as part of a zoning permit to allow renovations to this structure in February 2020. This unit has been inspected and approved by CID at that time. There is one parking spot associated with this unit on the ground floor.

**Consistency with the Code:**

The proposed short-term rental meets the requirements of MTC Section 18.40.020 Historic District – Uses Allowed, which also allows Hotels and Inns in the HC zone.

**Findings:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed business will not result in any changes to the underlying commercial character of the property.
- This is a use that is allowed by the MTC in the HC zoning district.
- The proposed use will not create any negative impacts to the area.
- 

**PZHAC OPTIONS:**

- Approve the application.
- Approve the application with conditions.
- Reject the application.

**PZHAC ACTION:**

# Doña Ana County, NM

General Reference Maps

Map Help Doña Ana County Geospatial Committee 2013

2014 Aerial Addresses County Address Points

Select Search Type: Account Number Enter Value: Search



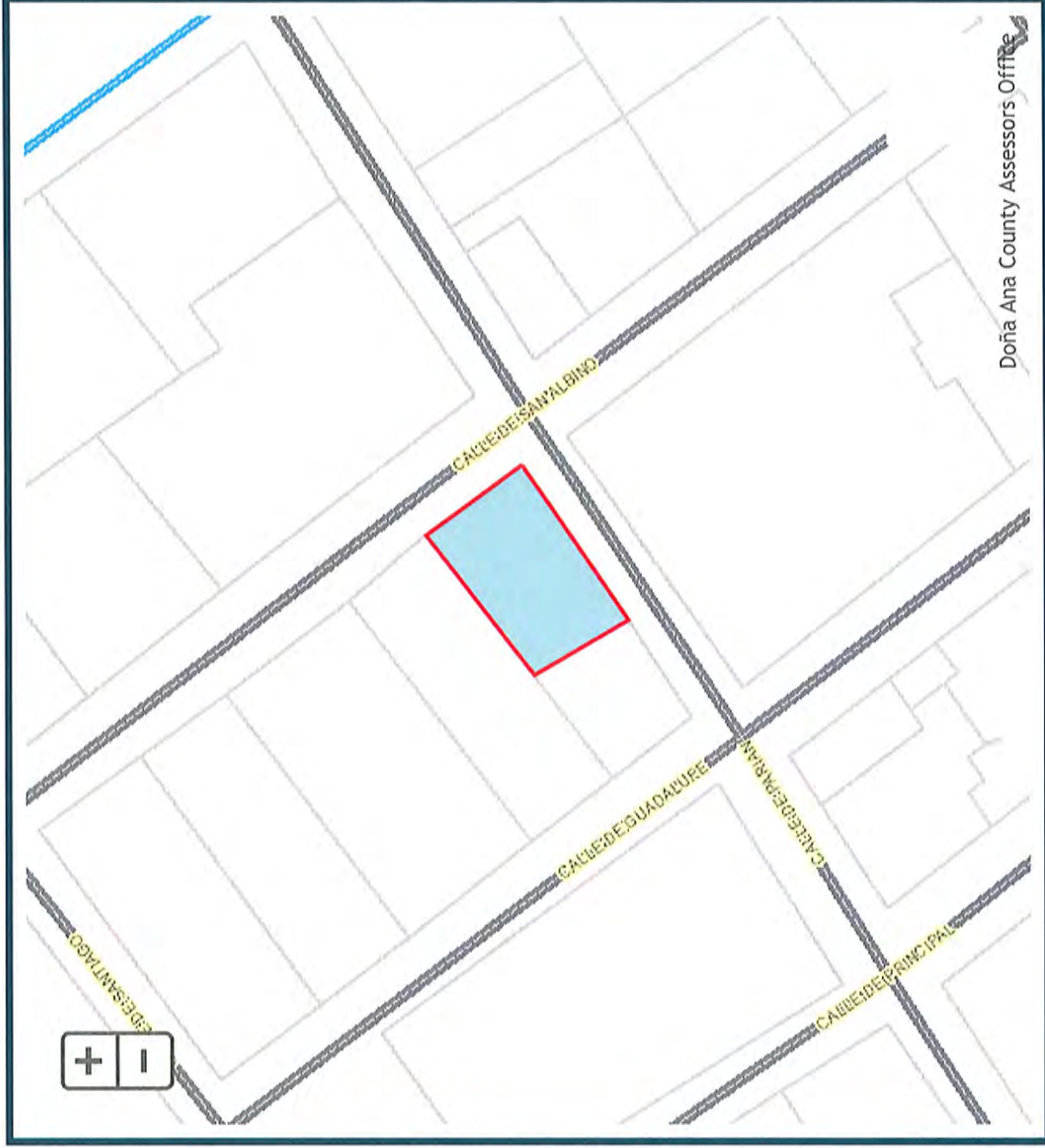
Maps

Legend

### Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0400335](#)  
 Parcel Number: 4006137252447  
 Owner: APPALOOSA LIMITED LLC  
 Mail Address: 5011 WILD HORSE ROAD  
 Subdivision:  
 Property Address: 2000 CALLE DE PARIAN  
 Acres: 0



Doña Ana County Assessors Office

Handed in to L. Shannon 1/18/21



Date: 1-17-21

2231 Avenida de Mesilla  
P.O. Box 10  
Mesilla, NM 88046

Reg. No.: 0868

Phone: (575) 524-3262 Fax: (575) 541-6327

## SHORT TERM RENTAL (STR) REGISTRATION

**Note: Any changes to property owner information; additions or alterations to rental units; changes in number or type of rental units; parking; or any other changes to information listed on this form will require a change to the information on file with the Town.**

New  Renewal

**PLEASE PRINT**

### RENTAL INFORMATION

Name of Rental: Billy the Kids Getaway  
Street Address of Unit: 2030 Calle de Panan (upstairs)  
Zone: \_\_\_\_\_ DAC Parcel #: 04- DAC Parcel #: \_\_\_\_\_  
Square Footage of Rental Unit: 900 No. of Bedrooms: 2 No. of Bathrooms: 1  
Number of Off-street Parking Spaces: 1

**Current New Mexico Revenue Division ID #:** N.M. CRS 02-0401103  
(The location code for reporting earnings received in the Town of Mesilla is 07-303.)

All Short-Term-Rentals in Mesilla are also subject to Mesilla Lodger's Tax payable monthly directly to the Town.

### PROPERTY OWNER INFORMATION

Name of Owner/Applicant: Julienne Hadfield  
Mailing Address: 5011 Wildhorse  
City: L.C. State: N.M. Zip Code: 88011  
E-Mail Address: Ø  
Phone #1: 575-202-8931 Phone #2: Ø  
Emergency Phone #: 575-202-8931  
Property Owner's Physical Address:  
Street 5011 Wildhorse  
City: L.C. State: N.M. Zip Code: 88011

### PROPERTY MANAGEMENT/AUTHORIZED RENTAL AGENT

Authorized Rental Agent: Julienne Hadfield  
Contact/Phone #: 575-202-8931 Email: Ø

**EMERGENCY CONTACT INFORMATION**

Responsible party to be called in case of emergency. Enter name in order of contact (please print):

24 HOUR EMERGENCY PHONE #: 575-702-8931

Name	Address	Telephone #
1. <u>Julienne Hadfield</u>	<u>5011 Wildhorse, L.C,</u>	<u>575-202-8931</u>
2. <u>D.D. Hadfield</u>	<u>5011 Wildhorse, L.C,</u>	<u>575-689-1400</u>
3. _____	_____	_____

Do you have an alarm system? Yes  No

What Type? \_\_\_\_\_

Which Company, if any, Responds to Alarms? \_\_\_\_\_

**Compliance with Fire Codes and Occupancy Requirements: All residential short-term rentals are subject to the applicable fire codes, and occupancy must be reviewed and approved for compliance with the Codes by the Town Fire Chief. An on-site inspection may be required.**

APPLICANT HEREBY STATES UNDER OATH THAT ALL STATEMENTS AND REPRESENTATIONS MADE IN THIS APPLICATION ARE TRUE AND VALID.

  
Signature of Rental Owner

1-17-21  
Date

Julienne Hadfield  
Name (Printed)

Office Use  
**FOR NEW OR MODIFIED RENTALS**

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

NOTES/ISSUES:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CONDITIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Reg. Number: 0868

Zone: HC

Renewal Date: 3/15/21

Date of Payment: \_\_\_\_\_

**PZHAC ACTION FORM**  
**BUSINESS REGISTRATION REQUEST 0870**  
**[PZHAC REVIEW – 2/1/21]**

**STAFF ANALYSIS**

**Item:**

**Permit 0870** – 2030 Calle de Parian (lower floor), submitted by Julienne Hadfield for “Billy the Kid’s Casita”; a request for a Short-Term-Rental business license to allow the applicant to operate a short-term-rental operation on the ground floor of a commercial building at this address. Zoned: Historic Commercial (HC).

**Description of Business:**

The purpose of the application is to allow the applicant to use part of the commercial building at this address as a short-term rental unit (“Air BnB”). This is a continuation of a use that was allowed as when Stahman Farms owned this building and used it for commercial purposes. The applicant has been informed that CID and the Town Fire Chief will need to inspect the part of the building to be used for the short-term rental to ensure that it meets current Code requirements for this use. There are no parking spots associated with this unit, therefore a \$150 yearly parking fee will be assessed for the use.

**Consistency with the Code:**

The proposed short-term rental meets the requirements of MTC Section 18.40.020 Historic District – Uses Allowed, which also allows Hotels and Inns in the HC zone.

**Findings:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed business will not result in any changes to the underlying commercial character of the property.
- This is a use that is allowed by the MTC in the HC zoning district.
- The proposed use will not create any negative impacts to the area.
- 

**PZHAC OPTIONS:**

- Approve the application.
- Approve the application with conditions.
- Reject the application.

**PZHAC ACTION:**

# Doña Ana County, NM

General Reference Maps

Map Help Doña Ana County Geospatial Committee 2013

2014 Aerial Addresses County Address Points

Select Search Type: Account Number Enter Value: Search

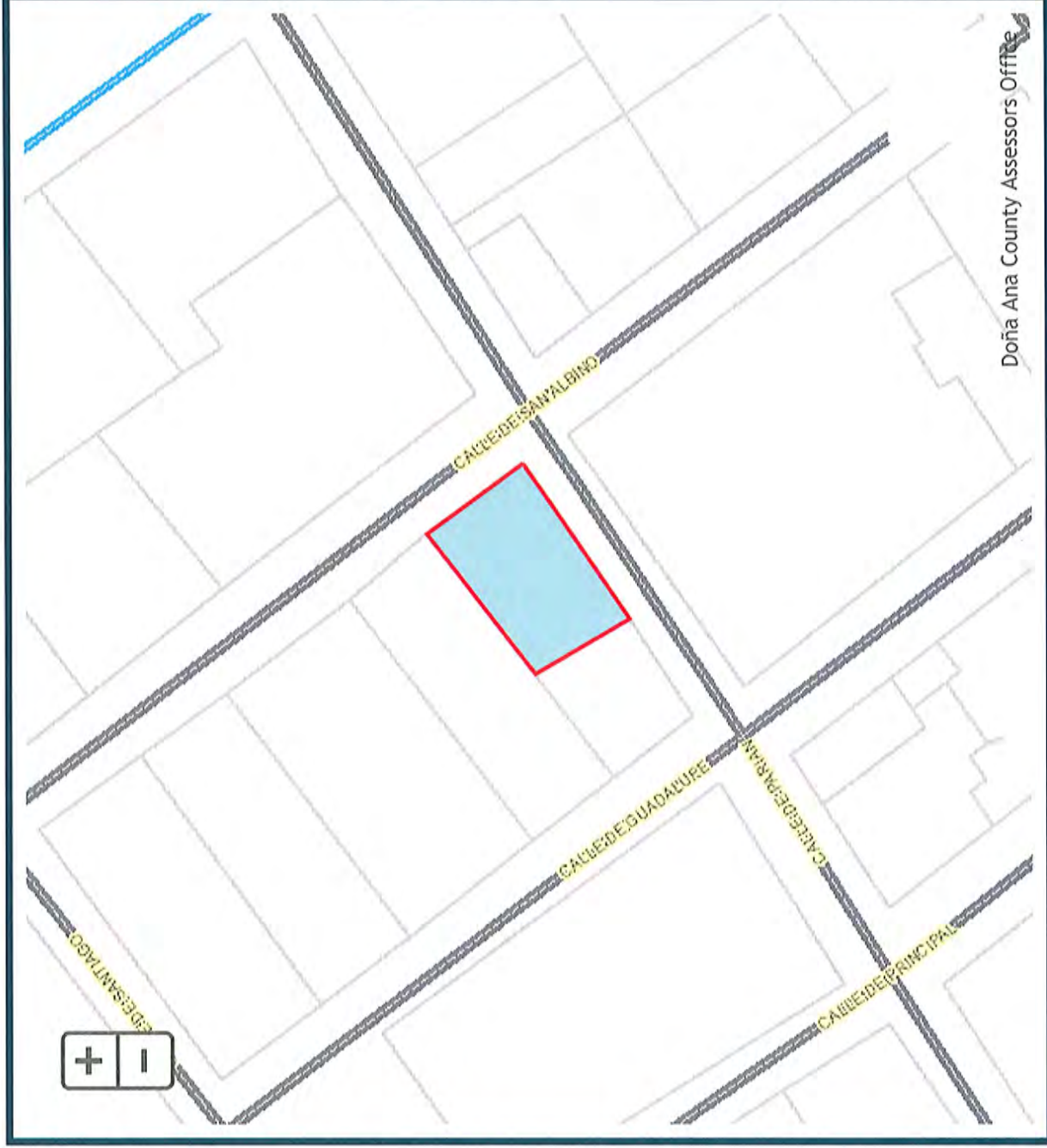


Maps

Legend

<b>Map Themes</b>
Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0400335](#)  
 Parcel Number: 4006137252447  
 Owner: APPALOOSA LIMITED LLC  
 Mail Address: 5011 WILD HORSE ROAD  
 Subdivision:  
 Property Address: 2000 CALLE DE PARIAN  
 Acres: 0



Doña Ana County Assessors Office





Date: 1-17-21

2231 Avenida de Mesilla  
P.O. Box 10  
Mesilla, NM 88046

Reg. No.: 0870

Phone: (575) 524-3262 Fax: (575) 541-6327

### SHORT TERM RENTAL (STR) REGISTRATION

**Note: Any changes to property owner information; additions or alterations to rental units; changes in number or type of rental units; parking; or any other changes to information listed on this form will require a change to the information on file with the Town.**

New  Renewal

#### PLEASE PRINT

#### RENTAL INFORMATION

Name of Rental: Billy the Kids Casita  
Street Address of Unit: 2030 Calle de Parion (downstairs)  
Zone: \_\_\_\_\_ DAC Parcel #: 04- DAC Parcel #: \_\_\_\_\_  
Square Footage of Rental Unit: 700 No. of Bedrooms: 1 No. of Bathrooms: 1  
Number of Off-street Parking Spaces: 1

Current New Mexico Revenue Division ID #: \_\_\_\_\_ NM CRS 02-040 1103  
(The location code for reporting earnings received in the Town of Mesilla is 07-303.)

All Short-Term-Rentals in Mesilla are also subject to Mesilla Lodger's Tax payable monthly directly to the Town.

#### PROPERTY OWNER INFORMATION

Name of Owner/Applicant: Julienne Hadfield  
Mailing Address: 5011 Wildhorse  
City: L.C. State: N.M. Zip Code: 88011  
E-Mail Address: Ø  
Phone #1: 575-202-8931 Phone #2: Ø  
Emergency Phone #: 575-202-8931  
Property Owner's Physical Address:  
Street 5011 Wildhorse  
City: L.C. State: N.M. Zip Code: 88011

#### PROPERTY MANAGEMENT/AUTHORIZED RENTAL AGENT

Authorized Rental Agent: Julienne Hadfield  
Contact/Phone #: \_\_\_\_\_ E-mail: Ø

**EMERGENCY CONTACT INFORMATION**

Responsible party to be called in case of emergency. Enter name in order of contact (please print):

24 HOUR EMERGENCY PHONE #: 575-702-8931

Name	Address	Telephone #
1. <u>Julienne Hadfield</u>	<u>5011 wildhorse, LC,</u>	<u>575-702-8931</u>
2. <u>D.D. Hadfield</u>	<u>5011 wildhorse, LC,</u>	<u>575-689-1400</u>
3. _____	_____	_____

Do you have an alarm system? Yes \_\_\_\_\_ No

What Type? \_\_\_\_\_

Which Company, if any, Responds to Alarms? \_\_\_\_\_

**Compliance with Fire Codes and Occupancy Requirements: All residential short-term rentals are subject to the applicable fire codes, and occupancy must be reviewed and approved for compliance with the Codes by the Town Fire Chief. An on-site inspection may be required.**

APPLICANT HEREBY STATES UNDER OATH THAT ALL STATEMENTS AND REPRESENTATIONS MADE IN THIS APPLICATION ARE TRUE AND VALID.

  
Signature of Rental Owner

1-17-21  
Date

Julienne Hadfield  
Name (Printed)

Office Use  
**FOR NEW OR MODIFIED RENTALS**

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

NOTES/ISSUES:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CONDITIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Reg. Number: 0870

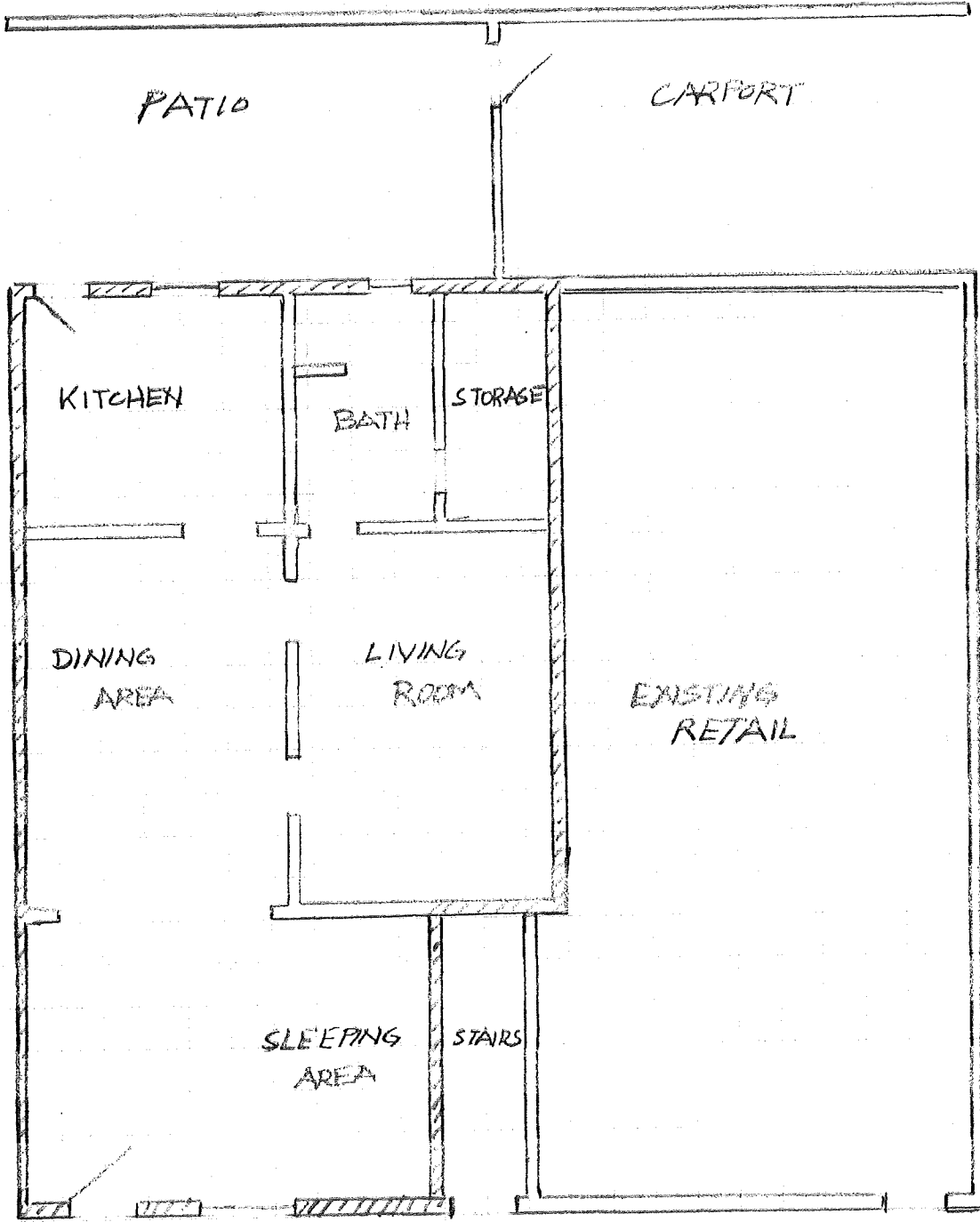
Zone: HC

Renewal Date: 5/15/21

Date of Payment: \_\_\_\_\_

LARRY SHANNON 1/21/21

1/8" = 1'-0"



CALLE DE SAN ALBINO

2030

2000

CALLE DE PARIAN