Town of Mesilla, New Mexico

PZHAC PUBLIC HEARING & MEETING
AGENDA
NOVEMBER 16, 2020

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A REGULAR MEETING VIA TELECONFERENCE ON MONDAY, NOVEMBER 16, 2020 AT 2:30 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799**, THEN ENTER Meeting ID** 603-754-4231 **PASSWORD 193857.**

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

III. CHANGES/APPROVAL OF THE AGENDA

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk (*) are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.

A. *PZHAC MINUTES – PZHAC Workshop and Meeting of November 2, 2020.

B. *ADMINISTRATIVE APPROVALS

Zoning Permit:

1. **Case 061141**– 2391 Calle de Parian, submitted by Robert Reynolds, a request for a zoning permit to restucco a storage building on a residential property at this address. Zoned: Historic Residential (HR)

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

Public input shall be received at larrys@mesillanm.gov at least one hour prior to the meeting and will be read into the record. You will also be given an opportunity to speak during this time by joining the meeting by phone and pressing *9 while in the teleconference. This will let the host know that you wish to speak. You will be prompted by the host or the Commission Chair when to begin speaking.

B. PUBLIC HEARING AND REGULAR MEETING

Special Use Permit

1. **Case 061139 –** 1584 West Boutz Road, submitted by Verizon Wireless for Susan Krueger (property owner); a request for a Special Use Permit to allow the construction of a 65 foot high "mono pine" cell tower on a property at this address. Zoned: Rural Farm (RF)

Zone Change

2. **Case 061140 –** 2424 West Union Avenue, submitted by Dominic Licon for David and Eleanor Bustos (property owners); a request for a Zone Change from Rural Farm (RF) to Single Family Residential (R-1) for a four acre parcel located at this address.

VI. PZHAC/STAFF COMMENTS

VII. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted before on 11/12/20 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristramnn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC
WORK SESSSION AND REGULAR MEETING
MINUTES

NOVEMBER 2, 2020

[PART OF CONSENT AGENDA]

(TO BE DISTRIBUTED PRIOR TO MEETING)

Town of Mesilla, New Mexico

PZHAC WORKSHOP & MEETING
AGENDA
NOVEMBER 2, 2020

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION VIA TELECONFERENCE ON MONDAY, NOVEMBER 2, 2020 AT 2:30 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799**, THEN ENTER Meeting ID** 603-754-4231 **PASSWORD 193857.**

ITEM 1. Submitted by Jessie L. Herrera; a request to discuss plans to construct an addition to a dwelling at 2929 Calle de Guadalupe. (Permit 061132). Zoned: Residential Agricultural (RA)

ITEM 2. Submitted by Father Cristopher Williams for the Basilica of San Albino; a request to discuss plans for the construction of a columbarium on a property owned by the Diocese of Las Cruces behind the church store 2280 Calle Principal. (Case 061138) Zoned: Historic Residential (HR)

ITEM 3. Submitted by Oscar and Mary Ann Luevano; a request to discuss plans to operate a wedding chapel as a home occupation on a residential property at 1395 Snow Road. Zoned: Rural Farm (RF)

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A REGULAR MEETING VIA TELECONFERENCE ON MONDAY, NOVEMBER 2, 2020 AT 3:00 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799**, THEN ENTER Meeting ID** 603-754-4231 **PASSWORD 193857.**

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

III. CHANGES/APPROVAL OF THE AGENDA

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk (*) are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.

A. *PZHAC MINUTES – PZHAC Workshop and Meeting of October 5, 2020.

B. *ADMINISTRATIVE APPROVALS

Zoning Permit:

1. **Case 061137** – 2928 La Mesilla Circle, submitted by Rebecca Segovia; a request for a building permit to add railroad ties to the front landscaping of the dwelling at this address. Zoned: Historic Residential (HR)

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

Public input shall be received at larrys@mesillanm.gov at least one hour prior to the meeting and will be read into the record. You will also be given an opportunity to speak during this time by joining the meeting by phone and pressing *9 while in the teleconference. This will let the host know that you wish to speak. You will be prompted by the host or the Commission Chair when to begin speaking.

B. DECISIONS:

Zoning Permits:

1. **Case 061132** – 2929 Calle de Guadalupe, submitted by Jessie L. Herrera; a request for a zoning permit to allow an addition to a dwelling at this address. Zoned: Residential Agricultural (RA) **(This request was discussed during the Work Session)**
2. **Case 061134** – 3116 Highway 28, submitted by Norm Fristoe for Lama Properties, LLC; a request for a zoning permit to allow the completion of a wall around a dwelling at this address. Zoned: Residential Agricultural (RA)
3. **Case 061138 –** 2280 Calle Principal, submitted by Father Cristopher Williams for the Basilica of San Albino; a request for a zoning permit to allow the construction of a columbarium on a property owned by the Diocese of Las Cruces behind the church store. Zoned: Historic Residential (HR) **(This request was discussed during the Work Session)**

Business Permit:

5. 1395 Snow Road, submitted by Oscar and Mary Ann Luevano; PZHAC review of a request for a Business License to operate a wedding chapel as a home occupation on a residential property at 1395 Snow Road. Zoned: Rural Farm (RF) **(This request was discussed during the Work Session)**

VI. PZHAC/STAFF COMMENTS

VII. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 10/29/20 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristramnn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC NEW BUSINESS
NOVEMBER 16, 2020

ADMINISTRATIVE APPROVALS

[PART OF CONSENT AGENDA]

ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061141
[PZHAC CONSENT AGENDA – 11/16/20]

Item:
Case 061141– 2391 Calle de Parian, submitted by Robert Reynolds, a request for a zoning permit to restucco a storage building on a residential property at this address. Zoned: Historic Residential (HR)

Description of Work Done:
The applicant will repair portions of worn and eroded stucco on a storage building at this address. The repaired stucco will then be painted to match the adjacent dwelling on the property. There will be no other changes to the structure as a result of this permit.

Consistency with the Code:
Since the repair and repainting of portions of the stucco on the structure and will not affect or change the appearance of the property, and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(**15.15.030(B) - Application for building permit, Administrative Approval**).**Administrative Approval Permit – "Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff…. Once all required information is provided, the Community Development staff may approve and issue the permit."]**

VIEW OF THE PROPERTY FROM CALLE DE PARIAN

OFFICIAL USE ONLY: Case # 061141
Fee $ 77.00

TOWN OF MESILLA
ZONING APPROVAL

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061141 ZONE: HR CODE: M1 APPLICATION DATE: 11/10/20

Robert Reynolds — Name of Property Owner
5756440829 — Property Owner's Telephone Number
PO Box 1000 — Property Owner's Mailing Address
Mesilla — City
NM — State
88046 — Zip Code
rrmesilla@gmail.com — Property Owner's E-mail Address
self — Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number
Contractor's Tax ID Number
Contractor's License Number

Address of Proposed Work: Building East of 2391 Calle de Parian

Description of Proposed Work: Restucco building. Color and trim will be the same as Bldg 2391

$ 2,000 — Estimated Cost
Robert Reynolds — Signature of Applicant
11/10/2020 — Date

Signature of property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC
- ☒ Administrative Approval
- ☐ Approved Date: _____
- ☐ Disapproved Date: _____
- ☐ Approved with conditions

BOT
- ☐ Approved Date: _____
- ☐ Disapproved Date: _____
- ☐ Approved with Conditions

PZHAC APPROVAL REQUIRED: ___ YES ✓ NO BOT APPROVAL REQUIRED: ___ YES ✓ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ✓ NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO STYLE OF STRUCTURE
COLOR TO MATCH ADJACENT DWELLING ON PROPERTY

PERMISSION ISSUED/DENIED BY: Z. Shum ISSUE DATE: 11/12/20

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1.____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2.____ Site Plan with dimensions and details.
3.____ Foundation plan with details.
4.____ Floor plan showing rooms, their uses and dimensions.
5.____ Cross section of walls
6.____ Roof and floor framing plan
8.____ Proof of legal access to the property.
9.____ Drainage plan.
10.____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11.____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12.____ Proof of legal access to the property.
13.____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

Doña Ana County, NM

General Reference Maps

Map Help | Doña Ana County Geospatial Committee 2013

2014 Aerial | Addresses | County Address Points | Select Search Type: Account Numbe | Enter Value:

Maps | Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: R0400521
Parcel Number: 4006138172012
Owner: REYNOLDS ROBERT G & ROSEMARIE
Mail Address: PO BOX 1000
Subdivision:
Property Address: 2391 CALLE DE PARIAN
Acres: 0

PZHAC NEW BUSINESS
NOVEMBER 16, 2020

SPECIAL USE PERMIT
[SUP20-001]

Special use permit REQUEST
CASE 061139 (SUP20-001)
[PZHAC PUBLIC HEARING AND REVIEW]

Item:
Case 061139 – 1584 West Boutz Road, submitted by Verizon Wireless for Susan Krueger (property owner); a request for a Special Use Permit to allow the construction of a 65 foot high "mono pine" cell tower on a property at this address. Zoned: Rural Farm (RF)

Description of Request:
The property in question is located on the north side of West Bouts Road. The property is immediately surrounded on the south, east, and west by properties that are zoned RF, the same as the subject property. The properties to the north are part of the Mercado Subdivision and are zoned General Commercial (C). The tower is to be located at the north end of the property close to the Mercado properties (see attached site plan).

The application has been prepared by Les Guiterrez, agent for Verizon Wireless, for the applicant. Mr. Guiterrez has been in communication with staff since earlier in the year and has been given the requirements in the Code regarding cell towers (see attached MTC section 18.60.210 – Regulations for vertical structures). The application appears to meet the requirements of the Code for cell towers.

As required by the Code, notifications have been sent by certified mail to all the property owners within 1500 feet of the subject property (see attached postal receipts). Four responses have been received (attached). The main issues were that the tower violates the deed restrictions on the property, the fact that the tower can be seen from the entryway into Mesilla (Highway 28), and the possible health issues that could be caused by the tower on nearby residents.

In response to the deed restrictions, which prohibit cell towers, the property owner has included a "release" of the Protective Covenants, signed by Betty Boldt on October 31, 2018 as the sole remaining member of the Administrative Control Committee of the Mesilla Greens Subdivision. (David Binns, one of the property owners that is against the tower and owns property that is affected by the Covenants, does not believe that the elimination of the Covenants is legal, and believes that the covenants are still in effect.)

Although the own does not get involved in private disputes between property owners, covenants and deed restrictions have been used in the past to help determine how the local property owners would like to see the area around them develop. As such, the support of covenants by the residents of an area indicates how they perceive development and has been used to help guide the PZHAC in their decision making process.

<u>THE PZHAC WILL NEED TO MAKE THE FOLLOWING FINDINGS FOR APPROVAL:</u>

- The PZHAC has jurisdiction to review this request.
- The zoning code allows this type of use in the RF zone.
- The application meets the requirements of the Code for a Special Use Permit.
- The requested zone change would not be out of character with the Comprehensive Plan, nor will it create a negative impact on the surrounding properties or the Town.
- The proposed Special Use Permit, as requested, or amended with conditions; will be beneficial to the Town.
- The requested Special Use Permit meets all other applicable Code requirements.

PZHAC OPTIONS:
Recommend approval to the BOT of the application.
Recommend approval to the BOT of the application with conditions.
Postpone a decision on the request to allow the applicant to modify the request.
Reject the application

PZHAC ACTION:

The applicant ‘s representative will be present electronically at the meeting to answer any questions about the request that might arise.

18.60.210 Regulations for vertical structures. SHARE

A. Definitions.

1. "Commercial tower" means a freestanding vertical structure that may or may not have various attachments thereto, which is intended to radiate and/or receive radio frequency signals for the purpose of providing a commercial service to the public. Commercial tower uses include, but are not limited to, cellular communications, paging stations, TV stations, AM and FM radio stations, two-way radio base stations, communication mobile services, common carrier wireless services and communications used for intra-business and inter-business purposes. Commercial towers are excluded from the C, H-C and H-R zones.

2. "Personal (private) tower" means a freestanding vertical structure that may or may not have various attachments thereto, which is intended to radiate and/or receive radio frequency signals for the purpose of radio communications without the intent of commercial service. Personal tower uses include, but are not limited to television signal reception, amateur radio stations, AM and FM radio signal reception and citizen band (CB) base stations. Personal (private) towers are excluded from the C, H-C and H-R zones.

3. "Monopole (freestanding) tower" means a single vertical pole that has no guywires for support and serves as a mounting platform for radio frequency antennas. Monopole towers are excluded from the C, H-C and H-R zones.

4. "Lattice (freestanding) tower" means a freestanding vertical structure that is composed of individual components, where each vertical leg of the structure is connected by criss-crossed members that create a hollow structure. Lattice structures are excluded from the C, H-C, H-R, R-1, RA and RF zones.

5. "Guyed tower" means a freestanding vertical structure that gains its support from tension **wires** attached at various locations to the structure and converging to one or more anchors at ground level. Guyed towers are excluded from the C, H-C and H-R zones.

6. "Total structure height" means the total height of a freestanding vertical structure shall be measured from ground level to the topmost attached structure placed on the tower. Total structure height shall include all mounting standards, antennae and lighting.

7. "Allowable structure height" means the height of a freestanding vertical structure that is allowed by ordinance or approval of a special use permit.

8. "Antenna" means an attached structure designed to radiate and/or receive radio frequency (RF) emissions. An antenna design includes, but is not limited to, the following:

a. Monopole, dipole, discone;

b. Horizontally and vertically polarized TV and FM, yagi;

c. Mesh or solid parabolic;

d. Array, phased array and others protected by a radome;

e. Shaped-element.

9. "Flag pole" means a freestanding, single vertical pole that has no guywires for support and is used for the purpose of displaying a flag. Flag poles are allowed in all zones: C, H-C, H-R, R-1, RA and RF. The height of a flag pole is limited to five feet above the roof structure of the building with which the flag pole is associated.

B. Heights for Attached Structures. Attached structures, including but not limited to belfries, chimneys, antennas and parapet walls, may be constructed to a height five feet above the structure to which it is attached.

C. Requirements for Freestanding Vertical Structures.

1. Structures shall not be used for sleeping or eating quarters, nor allowed for additional floor space.

2. Structures shall be set back from property lines one foot for each one foot in height plus 10 percent of the total height of the vertical structure.

3. Structures shall not exceed the height in each zone as measured from ground level vertically to the highest point of the freestanding vertical structure.

4. Structures shall be constructed to meet Uniform Building Code standards and have manufacturer's specifications to withstand 90-mile-per-hour winds.

5. Structures shall conform to Federal Communications Commission and Federal Aviation Administration regulations if applicable.

D. Heights for Freestanding Vertical Structures Permitted by Right by Zone.

H-R, H-C, C	None, they are excluded from these zones
R-1	30 feet
RA	40 feet
RF	50 feet

[Ord. 97-02 § 1; Ord. 97-01 § 1; Ord. 94-06 § 1; prior code § 11-2-5.21]

Chapter 18.54

WIRELESS TELECOMMUNICATIONS FACILITIES

Sections:

18.54.010 Authority and purpose.

18.54.020 Definitions.

18.54.030 Applicability and exemptions.

18.54.040 General standards and construction provisions.

18.54.050 Co-location.

18.54.060 Heights, placement provisions and setbacks.

18.54.070 Special use permits.

18.54.080 Buildings or other equipment storage.

18.54.090 Application review and inspection fee.

18.54.100 Performance security bond.

18.54.110 Liability insurance.

18.54.120 Indemnification.

18.54.130 Removal of a wireless telecommunications facility.

18.54.140 Required annual report.

18.54.150 Provision for waiver or variance.

18.54.160 Penalty.

18.54.170 Default and/or revocation.

18.54.010 Authority and purpose.

A. Authority. The comprehensive land use ordinance is amended pursuant to the enabling provisions of Section 3-21-1 through 3-21-14, NMSA 1978, as amended.

B. Purpose. The purpose of this chapter is to establish regulations and general guidelines for the siting of wireless telecommunications facilities (WTFs).

C. The goals of this chapter are to:

1. Protect residential areas and land uses from potential adverse impact of WTFs;

2. Minimize the total number of towers in the community;

3. Strongly encourage the joint use of new and existing tower sites as a primary option rather than construction of additional single-use towers;

4. Encourage users of WTFs to locate them, to the extent possible, in areas where the adverse impact on the community is minimal;

5. Encourage users of WTFs to configure them in a way that minimizes the adverse visual impact of the towers and antennas through careful design, siting, landscape screening and innovative camouflaging techniques;

6. Enhance the ability of providers of telecommunications services to provide such services to the community quickly, effectively and efficiently;

7. Avoid potential damage to adjacent properties from tower failure through engineering and careful siting of tower structures.

In furtherance of these goals and in approving sites for the location of towers and antennas, the town of Mesilla shall give due consideration to Mesilla's master plan, its zoning map, existing land uses and environmentally and historically sensitive areas. [Ord. 2003-10 § 1]

18.54.020 Definitions.

A. "Alternative tower structure" means such structures as manmade trees, clock towers, bell steeples, light poles and similar alternative-design mounting structures that camouflage or conceal the presence of antennas or towers.

B. "Antenna" means any structure that radiates or receives radio or other communication signals.

C. "Co-location" means the physical attachment and/or placement of one communication structure upon another communication structure, and may include placing different or similar communication structures on the receiving structure.

D. "Commercial tower" means a freestanding vertical structure that may or may not have various attachments thereto, which is intended to radiate and/or receive radio frequency signals for the purpose of providing a commercial service to the public. Commercial tower uses include, but are not limited to, cellular communications, paging stations, TV stations, AM and FM radio stations, two-way radio base stations, communication mobile service, common carrier wireless services and communications used for intra-business and inter-business purposes.

E. "Communication structure" means any structure, including antennas and satellite service devices, or any other device which is normally used for radio, television, microwave or wireless communications. This shall include any device that is attached to a new or an existing tower, or attached to a building facade or roof or other noncommunication structure, and such attachment is made to the facade or roof vertically, horizontally and/or diagonally.

F. "Facial mount" means the physical attachment of a communication structure to a building or other noncommunication structure, which does not substantially increase the height of the building or structure. This can include attaching the structure either vertically, horizontally, or diagonally along the structure's building facade, facades, walls, roofs or other structures.

G. "Height," when referring to a tower or other structure, means the distance measured from the lowest adjacent ground level of the parcel of land vertically to the highest point on the tower or other structure, including the base pad and any antenna and whether attached to the ground, the building, or other structure(s).

H. Historic Resources or Districts. For the purposes of this chapter, a resource or district is considered historic if it is listed individually or collectively or eligible to be listed in the National Historic Landmark Register, the National Register of Historic Places or the State Register of Cultural Properties or if the resource or district has been identified by a governmental agency, such as the New Mexico Historic Preservation Division, as having significant value as an historic, cultural or archaeological resource.

I. "Personal (private) tower" means a freestanding vertical structure that may or may not have various attachments thereto, which is intended to radiate and/or receive radio frequency signals for the purpose of radio communications without the intent of commercial service. Personal tower uses include, but are not limited to, television signal reception, amateur radio stations, AM and FM radio signal reception and citizen band (CB) base stations. Personal (private) towers are excluded from the C, H-C and H-R zones.

J. "PZHAC" means the planning, zoning and historical appropriateness commission, the body that shall review applications for WTFs and recommend action to the board of trustees, which is the governing body of the town of Mesilla.

K. "Satellite service device (SSD)" means any structure used to receive satellite programming services specifically associated with television reception from the transmission of signals from a satellite to a receiver, usually a round "dish" that can vary in size from 18 inches to 10 feet in diameter.

L. "Tower" means any structure, vertical in inclination, that is designed and constructed and normally used for the purpose of supporting one or more antennas for telephone, radio and similar communication purposes, including self-supporting lattice towers, guyed towers, or monopole towers. This may include television and radio transmission towers, microwave towers, common-carrier towers, cellular telephone towers, alternative tower structures, and other freestanding towers, either for private or commercial purposes. The term includes the structure and any support thereto.

M. "Vertical structure" means any built object that is either independent of or attached to any building or other structure that is perpendicular in its direction to the nearest adjacent ground, including but not limited to flag poles, belfries, chimneys and parapet walls.

N. "View corridors" are defined as an area identified either in the Mesilla comprehensive plan or by a federal or state agency as the location of a particular designated scenic or cultural resource or trail system and as an area from which a WTF can be seen.

O. "Wireless telecommunications facility (WTF)" includes all equipment, buildings and structures with which a wireless communications service carrier broadcasts and receives the radio frequency waves and all locations of said equipment or any part thereof. [Ord. 2003-10 § 2]

18.54.030 Applicability and exemptions.

A. 1. New Towers and Antennas. All new towers or antennas in the town of Mesilla shall be subject to these regulations, except as provided in subsections (B) and (C) of this section.

2. Amateur Radio Station Operators/Receive Only Antennas. The sections that follow shall not govern television antennas, satellite dishes and receive only antennas; provided, that the primary use of the property is not a wireless telecommunications facility (WTF) and that the antenna use is accessory to the primary use of the property. Nor shall the sections that follow govern any freestanding vertical structure or the installation of any freestanding vertical structure located in the R-1 zone that is under 30 feet in height or located in the RA zone that is under 40 feet in height or located in the RF zone that is under 50 feet in height and is owned and operated by a federally licensed amateur radio station operator or is used exclusively for receive only antennas.

B. Preexisting Towers or Antennas. Preexisting towers and preexisting antennas for which a building permit has been properly issued prior to the effective date of the ordinance codified in this chapter shall not be required to meet the requirements of this chapter, other than the requirements of MTC 18.54.040(G) and (H).

C. Public property owned or otherwise controlled by the town of Mesilla may be exempt from the requirements of this chapter.

D. Towers and antennas shall be regulated and permitted pursuant to this chapter and shall not be regulated or permitted as essential services, public utilities, or private utilities. [Ord. 2003-10 § 3]

18.54.040 General standards and construction provisions.

A. Height. All structure heights shall be measured from the lowest adjacent ground level vertically to the highest point of all structures, whether attached to the ground, the building or other structure(s). The principal supporting structure for WTFs shall be permitted to exceed the height limit of the zoning district in which it is located; provided, that the setback standards in MTC 18.54.060 shall apply.

B. Lot Size. For the purposes of determining whether the installation of a tower or antenna complies with zoning development regulations, including but not limited to setback requirements, lot-coverage requirements, and other such requirements, the dimensions of the entire lot shall control, even though the WTF may be located on leased parcels within such lot.

C. Measurement. For purposes of measurement, tower setbacks and separation distances shall be calculated and applied to facilities located in Mesilla irrespective of municipal and county jurisdictional boundaries.

D. Public Notice. For purposes of this chapter, a special use permit request, a variance request or an appeal of a special use permit or variance shall require public notice in a local newspaper of general circulation within the town of Mesilla. In order that the town may notify nearby landowners, the application shall contain the names and address of all property owners of properties that are located within 1,500 feet of any property line of the lot or parcel on which the WTF is proposed to be located. This requirement is in addition to any and all notice requirements contained in the town's zoning ordinance.

E. Minimum Wind Speed. All structures shall be constructed and installed to manufacture's specification and constructed to withstand a minimum 90-mile-per-hour wind, or the minimum wind speed as required by the town's adopted Uniform Building Code, as amended, whichever wind speed is greater.

F. Building Codes. Structures shall be permitted and constructed to meet current town of Mesilla building code requirements, including the Uniform Building Code, and required setback provisions as prescribed for the zoning districts in which such structures are permitted. If any setback or buffer yard as prescribed in the town's zoning code requires a greater distance than required in this chapter, the greater setback shall apply.

G. Safety Standards. To ensure the structural integrity of towers, the owner of a tower shall ensure that the tower is maintained in compliance with the standards contained in applicable federal, state and town building codes. If, upon inspection, the town of Mesilla concludes that a tower fails to comply with such codes and constitutes a danger to persons or property, then upon notice being provided to the owner of the tower, the owner shall have 30 days to bring such tower into compliance with such standards. Failure to do so shall constitute grounds for the removal of the tower or antenna at the owner's expense.

H. State or Federal Requirements. All towers shall meet or exceed current standards and regulations of the Federal Communication Commission (FCC), the Federal Aviation Administration (FAA) and any other agency of the state or federal government with the authority to regulate towers and antennas. If such standards and regulations are changed, then the owners of the towers and antennas governed by this chapter shall bring such towers and antennas into compliance with such revised standards and regulations within six months of the effective date of the revisions, unless a different compliance schedule is mandated by the controlling state or federal agency. Failure to bring towers and antennas into compliance with such revised standards and regulations shall constitute grounds for the removal of the tower or antenna at the owner's expense.

I. Business Registration Required. Business registrations are required for each WTF for commercial purposes located within the town limits of Mesilla, regardless of whether said structure is freestanding, co-located, facial or roof mounted, or part of an integrated structure or improvement. Business registrations are renewable annually.

J. Inventory of Existing Sites. Each applicant for a WTF shall provide to the PZHAC an inventory of existing towers, antennas or sites approved for towers or antennas that are located within the service area proposed to be served by the new tower, including specific information about the location, height and design, and the owners/operators of each tower or site and indicate the distance of such towers, antennas or sites from the proposed WTF.

K. Aesthetics. Towers and antennas shall meet the following aesthetic requirements:

1. Towers shall either maintain a galvanized steel finish or, subject to any applicable standards of the FAA, be painted a neutral color so as to reduce visual obtrusiveness.

2. The design of the buildings and related structures at a WTF site shall, to the extent possible, use materials, colors, textures, screening and landscaping that will blend them into the natural setting and any surrounding buildings.

3. If an antenna is installed on a structure other than a tower, the antenna and supporting electrical and mechanical equipment must be of a neutral color that is identical to, or closely compatible with, the color of the supporting structure so as to make the antenna and related equipment as visually unobtrusive as possible.

L. Lighting. Only security lighting not to exceed 12 feet in height or lighting required by a state and/or federal agency is allowed, providing the location of the lighting fixture together with its cut-off angle shall be such that it does not shine directly on any public right-of-way or any residential premises.

M. Signs. No signs shall be allowed on an antenna or tower other than signage required by the FCC or other regulatory agency and signs that warn of safety hazards or prohibit access; provided, that such signs are no larger than one square foot and are reviewed by town staff and approved by the board of trustees.

N. Building and Support Equipment. Buildings and support equipment associated with antennas or towers shall comply fully with the town's building codes.

O. Health Issues. Every wireless telecommunications facility shall meet health and safety standards for electromagnetic field emissions as established by the Federal Communications Commission or any successor thereof, and any other federal or state agency.

P. View Corridors. No wireless communication tower or facility is allowed within 660 feet (or one-eighth mile) of the outer edge of the right-of-way of any designated view corridor.

Q. Historic Preservation Review. No WTF that may affect archaeological, historic or cultural properties that are listed or are eligible for listing on the National Register of Historic Places shall be constructed, installed or modified without first obtaining Historic Preservation Division 106 Review as per 36 CFR part 800 in accordance with the National Historic Preservation Act of l966, as amended. A project comment review letter from the State of New Mexico Historic Preservation Division, Office of Cultural Affairs shall be filed with the town at the time of filing a business registration application and/or special use permit application.

R. Visual Models. Visual models shall be required of all applicants for a WTF as follows:

1. Photographic Simulation. The applicant shall be required to provide a photographic simulation with the image of a tower or other proposed communications structure and all structures associated with the site superimposed over the existing view to provide a sense of the visual impact expected from the proposed WTF.

2. Site-Located Height Model or Balloon Test. A height model, which shall be a pole or other object erected or floated at the site to the requested height of the proposed WTF, may be required as a condition of the special use permit. If required, the following conditions shall apply:

a. The applicant shall submit photographs of the height model or balloon test from neighboring residential areas and public roadways and other locations around the town as specified by the PZHAC within three miles from which the height model or balloon is visible. The height model or balloon shall be a minimum of three feet in diameter.

b. Photographs of the height model or balloon test shall be submitted no less than 10 days prior to the scheduled public hearing date for the special use permit.

c. Height models or balloon tests shall be erected for a minimum of three days no less than 15 days prior to the scheduled public hearing date for the special use permits. The legal notice for the special use permit shall state the dates and location during which the height model or balloon test will be erected.

d. The PZHAC may waive this requirement if it is determined that the photographic simulation is adequate to address any and all visual impact issues.

e. Town staff shall issue administratively any permit necessary for a temporary height model required for staff and public inspection purposes.

S. All utilities at a WTF site shall be installed underground and in compliance with all laws, ordinances, rules and regulations of the town of Mesilla, the National Electrical Safety Code and the National Electrical Code where appropriate.

T. All applicants for a WTF or any modification to an existing WTF should develop their plans to allow reasonable requests from the town to use space on its towers and space within the existing or planned compound for deploying and operating public service radio facilities at no cost to the town. Provisions for adequate advance notice regarding town access to the WTF for routine activities will be arranged with the applicant. [Ord. 2003-10 § 4]

18.54.050 Co-location.

To minimize adverse visual impacts associated with the proliferation and clustering of towers, co-location or shared use of antennas by more than one carrier on existing towers shall take precedence over the construction of new towers, provided such co-location is accomplished in a manner consistent with the following:

A. The antenna complies with all applicable FCC and FAA regulations.

B. A tower which is modified or reconstructed to accommodate the co-location of an additional antenna shall be of the same tower type as the existing tower, unless the PZHAC allows reconstruction as a monopole.

C. Height. An existing tower may be modified or rebuilt to a taller height not to exceed 30 feet over the tower's existing height, to accommodate the co-location of an additional antenna. This height change may occur only one time per communication tower and the additional height cannot require an additional distance separation as set forth in MTC 18.54.070(D). The tower's premodification height shall be used to calculate such distance separations.

D. On-Site Location. A tower which is being rebuilt to accommodate the co-location of an additional antenna may be moved on-site within 50 feet of its existing location. If the tower is moved to accommodate co-location, only one tower may remain on the site. A relocated on-site tower shall continue to be measured from the original tower location for purposes of calculating separation distances between towers pursuant to MTC 18.54.070(D). [Ord. 2003-10 § 5]

18.54.060 Heights, placement provisions and setbacks.

A. Heights.

Zone	**Towers**	**Other Communication Structures**
HR, HC	Expressly prohibited	Prohibited
Towers and other communication structures are also expressly prohibited within 660 feet (or 1/8 mile) of the boundary of an historic resource or district or view corridor.		
C	Expressly prohibited	Must be concealed as per subsection (D) of this section
R-1	Up to 65 feet For noncommercial use only	Up to 65 feet For noncommercial use only
RA	Up to 65 feet For noncommercial use only	Up to 65 feet For noncommercial use only
RF	Up to 65 feet for a single user Up to 75 feet for three users Up to 100 feet for four or more users	See MTC 18.54.030(B)

The applicant shall submit documentation justifying the total height of any tower or other communication structure, facility, and/or antenna and the basis therefore. Such documentation will be analyzed, to the extent practicable, in the context of the justification of the height needed to provide service primarily and essentially within the town boundaries and the immediately surrounding area, to the extent practicable.

No tower, including allowing for all attachments, shall exceed that height which shall permit operations without required artificial lighting of any kind in accordance with municipal, county, state and/or federal law, ordinance, code, rule or regulation.

B. The following placement and setback requirements shall apply to all freestanding vertical structures under 50 feet for which a special use permit is not required:

1. Towers and other freestanding vertical structures and satellite service devices in the R-1, RA and RF zones shall be placed within the primary buildable area for the lot's zone and must be to the side and/or rear of any and all residential dwelling structures, including houses, apartments, duplexes, etc.

2. Structures shall be set back from any adjoining property line one foot for each one foot in height plus 10 percent of the total height of the structure.

3. Additional setbacks may be required in both this section and in the following section to meet the distance equal to at least the potential fall radius of a support structure as certified by a licensed New Mexico professional engineer or to preserve the privacy and integrity of adjoining residential, public or historic properties.

4. Guy wires used to secure and steady a tower and accessory buildings shall conform to the minimum setback requirements for the lot's zone.

C. The following placement and setback requirements shall apply to all towers for which a special use permit is required:

1. Towers and other communication structures for which a special use permit is required shall be placed within the primary buildable area for the lot's zone and must be to the side and/or rear of the primary building structure. If the antenna, communication structure or satellite service device is the primary structure, then such structure shall be within the primary buildable area, including all equipment buildings.

2. Required tower or other antenna support setbacks from all property lines:

a. Up to 75 feet, the setback is one foot for each foot of height, plus 10 percent of the total height of the structure;

b. From 75 to 125 feet, the setback is two feet for each foot of height;

c. From 126 to 150 feet, the setback is three feet for each foot of height.

3. When a proposed tower will be located in or adjacent to a district which permits residential use, or where a residential structure is located, the tower shall also be set back from the nearest residential use on the same or any adjacent parcel, a distance 20 percent greater than its total height.

4. A special use permit shall be required for WTFs proposed to be constructed on lots adjacent to property zoned R-1 or RA.

D. Concealed wireless communications facilities are permitted within the C zone providing the following conditions are met:

1. The structure is architecturally integrated with existing buildings, structures and landscaping, including height, color, style, massing, placement, design and shape and is not readily visible as a wireless telecommunications facility. No setback shall be required for an architecturally integrated WTF less than 24 feet high.

2. The structure is located in areas where the existing topography, vegetation, buildings or other structures provide the greatest amount of screening.

3. The structure is located on existing vertical infrastructure, such as utility poles and public utility structures, if possible.

4. The structure complies with all other aesthetic requirements as set forth in this chapter.

5. The structure is approved through the special use permit process. [Ord. 2003-10 § 6]

18.54.070 Special use permits.

A. General. The following provisions shall govern the issuance of special use permits for the siting of a WTF, including but not limited to the construction of a tower and the placement of an antenna, by the board of trustees, the governing body of the town of Mesilla.

1. Applications for special use permits under this section shall be subject to the procedures and requirements of the zoning regulations and standards, MTC 18.55.010, 18.85.080, 18.85.100; and Chapter 18.85 MTC, Article III; except as modified in this chapter, with the planning, zoning and historical appropriateness commission (PZHAC) acting as a recommending body and the board of trustees acting as the granting body.

2. The PZHAC, in recommending a special use permit to the board of trustees, and the board of trustees, in granting a special use permit, may impose conditions and limitations to the extent the commission and board conclude such conditions and limitations are necessary to minimize any adverse effect of the proposed WTF on adjoining properties.

3. Any engineering information submitted by the applicant, whether civil, mechanical, or electrical, shall be certified by a professional engineer licensed in the state of New Mexico.

4. An applicant for a special use permit shall submit the information described below in this section and a nonrefundable filing fee as described in the zoning regulations and standards, MTC 18.85.140(A).

B. Wireless Telecommunications Facilities (WTFs) – Information Required. In addition to any information required for applications for special use permits pursuant to MTC 18.55.010 and Chapter 18.85 MTC, Article II, of the zoning regulations and standards, applicants for a special use permit for a WTF shall submit the following information:

1. A scaled site plan clearly indicating the location, type and height of the proposed tower; on-site land uses and zoning, adjacent land uses and zoning, including, when adjacent to the county or another municipality; adjacent roadways; proposed means of access; setbacks from property lines; elevation drawings of the proposed tower and any other structures; topography; parking and other information deemed by town staff to be necessary to assess compliance with this chapter.

2. Legal description of the property upon which or upon part of which the applicant proposed to located the WTF and a list of all mortgages on the property at the time of application.

3. The setback distance between the proposed tower and the nearest residential unit or the nearest platted or unplatted residentially zoned properties.

4. The separation distance from other existing towers within 1,000 feet of the proposed tower. The applicant shall also identify the type of construction of such existing tower(s) and their owner(s)/operator(s).

5. The landscape screening plan showing specific landscape materials.

6. Method of providing security, fencing or wall, and finished color and, if applicable, the method of camouflage and illumination.

7. A description of compliance with MTC 18.54.040(E) to (H) and (K) to (R) and all applicable federal, state and local laws.

8. A notarized statement by the applicant as to whether construction of the tower will accommodate co-location of additional antennas for future users.

9. Identification of the entities providing the network connections for the proposed tower and other cellular sites owned or operated by the applicant in the town of Mesilla.

10. A statement as to the projected number and locations of any WTFs proposed to be built in the town of Mesilla within two years of the date of the current application and that are part of the same system as the WTF for which a special use permit is currently being sought.

11. The applicant shall submit documentation of the legal right to install the WTF, including ingress and egress easements, and shall include original signature(s) of such land owner(s) and a copy of the property deed, plus a full copy of any proposed lease agreement with subject property owner(s).

12. A copy of the tax map and parcel identification code number of the subject property as shown in the records of the Dona Ana County assessor's office.

13. A site plan showing all property within 1,500 feet of the perimeter of the proposed property that will house the proposed WTF. A list of the owners of each of the affected properties and their mailing addresses as shown by the Dona Ana County assessor's office.

14. A copy of the FCC license for the WTF and a notarized statement from the owner or operator of the WTF attesting that the WTF complies with current FCC regulations.

15. Project comment review letter from the State of New Mexico Historic Preservation Division and any other letters of clearance required pursuant to the National Historic Preservation Act 1996, as amended.

16. Photo simulations and, if required, the photographic results of the site-located height model or balloon test.

17. Propagation maps showing the cellular coverage that the site will provide.

18. A written report indicating the applicant's efforts to secure shared use or co-location with existing towers, other structures or alternative technology or buildings within the town of Mesilla and neighboring areas within the city of Las Cruces and Dona Ana County. Copies of written requests and responses for shared use shall be provided to the PZHAC along with the application for a special use permit.

C. Demonstration of Need. An applicant shall submit to the PZHAC documentation that demonstrates the need for the WTF to provide service within the geographical area proposed to be serviced by such WTF. The documentation shall include propagation studies of the proposed site and all adjoining planned, proposed, in-service or existing sites.

D. Separation Distances. When a second tower is proposed near an existing tower, there shall be a minimum separation distance between them of not less than the combined height of the existing tower and the proposed tower, which distance shall be measured by drawing or following a straight line between the base of the existing tower and the proposed base, pursuant to a site plan of the proposed tower. The same separation distance shall apply when more than one tower is proposed at one location.

E. Security Fencing. Towers shall be enclosed by a security fence or wall not less than six feet in height which is equipped with an appropriate anti-climbing device other than barbed or other cutting wire.

F. Screening. WTFs shall be landscaped with a buffer of plant material that effectively screens the view of the tower compound. The standard buffer shall consist of a landscaped strip at least four feet wide outside the perimeter of the compound.

G. Existing mature tree growth and natural land forms on the site shall be preserved to the maximum extent possible. In some cases, such as towers sited on large, wooded lots, natural growth around the property perimeter may be sufficient buffer. [Ord. 2003-10 § 7]

18.54.080 Buildings or other equipment storage.

The following requirements shall apply to the buildings and all other equipment storage space associated with a WTF requiring a special use permit:

A. The related unmanned equipment structure or cabinet, being part of the WTF, used in association with an antenna(s) located on a tower shall not contain more than 120 square feet of gross floor areas or be more than 10 feet in height and shall be located in accordance with the minimum yard requirements of the zone in which it is located.

B. Such equipment structures or cabinets shall comply with all applicable building codes.

C. Security lighting, if required, shall not exceed 12 feet in height and the location of the lighting fixture together with its cut-off angle shall be such that it does not shine directly on any public right-of-way or any residential premises. [Ord. 2003-10 § 8]

18.54.090 Application review and inspection fee.

An application review and engineering inspection fee of 15 percent of the total estimated cost of the installation of the tower and antenna(s) shall be paid by the applicant upon filing of an application for a special use permit with the town.

This fee shall be deposited in an escrow account and it shall be used to reimburse the town for all reasonable costs of expert services for evaluation and consultation to the town in connection with the review of the application and the construction of the site once the WTF is permitted. In the event the amount held in escrow by the town is more than the amount of the actual invoicing for consultant and expert services for work performed through the date of issuance of a certificate of compliance for the project, the remaining balance shall be promptly refunded to the applicant. In the event the amount is less than the amount of actual invoicing, the town shall rely on MTC 18.85.140(B) of the zoning regulations and standards, which permits charging additional review fees. [Ord. 2003-10 § 9]

18.54.100 Performance security bond.

The applicant and the owner of record of any proposed WTF property site shall, at its cost and expense, be jointly required to execute and file with the town a bond or other form of security acceptable to the town as to type of security and the form and manner of execution, in the amount of at least $75,000 to assure the faithful performance of the terms and conditions of this chapter and the conditions of any special use permit issued pursuant to this chapter. The full amount of the bond or security shall remain in full force and effect through the term of the special use permit and/or until any necessary site restoration is completed to restore the site to a condition comparable to that which existed prior to the issuance of the original special use permit. [Ord. 2003-10 § 10]

18.54.110 Liability insurance.

A. A holder of a special use permit for a WTF shall secure and at all times maintain public liability insurance for personal injuries, death and property damage and umbrella insurance coverage for the duration of the special use permit in the following amounts:

1. Commercial general liability covering personal injuries, death and property damage and automobile coverage each at $1,000,000 per occurrence and $2,000,000 aggregate and the commercial liability policy shall specifically include the town as an additional named insured.

2. Workers' compensation at not less than minimum statutory limits.

B. The insurance policies shall be issued by an insurance agent of an insurance company licensed to do business in the state of New Mexico with a Best's rating of at least A and shall contain an endorsement obligating the insurance company to furnish the town with at least 30 days prior written notice in advance of the cancellation of the insurance. Renewal or replacement policies or certificates shall be delivered to the town at least 15 days before the expiration of the insurance that the policies are to renew or replace.

C. The holder of a special use permit for a WTF shall deliver to the town a copy of each of the policies or certificates representing the insurance in the required amounts before construction of the permitted WTF is initiated. [Ord. 2003-10 § 11]

18.54.120 Indemnification.

Any application for a WTF that is proposed for town property pursuant to this chapter shall contain an indemnification provision. Such indemnification provision shall require the applicant, to the extent permitted by the law, to at all times indemnify and hold harmless the town of Mesilla from and against all claims, liabilities, damages, losses and expenses, including attorneys' fees, which might arise out of or be caused by the performance of work in the location, construction, modification, use, maintenance, repair, replacement or removal of the WTF, which causes contract bodily injury, illness or death or any other injury or for property damage caused by the negligent act or omission of the owner/operator/applicant of the WTF. [Ord. 2003-10 § 12]

18.54.130 Removal of a wireless telecommunications facility.

A. Under the following circumstances, the town may determine that the health, welfare and safety of the town residents warrant and require the removal of a WTF:

1. A permitted WTF has not been operated as a WTF for a continuous period of six months and is therefore considered to have been abandoned;

2. A permitted WTF falls into such a state of disrepair that it creates a health or safety hazard as determined by town staff;

3. A WTF has been located, constructed or modified without first obtaining, or in a manner not authorized by, the required special use permit.

B. If the town makes such a determination as appears in subsection (A) of this section, then the town shall provide the owner of such WTF with a notice of abandonment and an order to remove the same within 90 days of receipt of the notice of abandonment from the town.

C. Failure by the owner or his successors or assigns to remove the abandoned WTF and all associated structures and facilities from the site and to restore the site to as close to its original conditions as is possible or to take substantial steps toward removing the abandoned WTF within said 90 days shall be grounds to remove the WTF at the owner's expense. [Ord. 2003-10 § 13]

18.54.140 Required annual report.

In conjunction with the annual renewal of their business registration, the owner of each WTF shall submit a report to the Town of Mesilla, Town Clerk, PO Box 10, Mesilla, NM 88046, stating the current user status of the tower and providing proof of renewal of the insurance policies or certificates required pursuant to MTC 18.54.110. [Ord. 2003-10 § 14]

18.54.150 Provision for waiver or variance.

A. An administrative waiver of up to a 10 percent difference, except for height, or a variance for over a 10 percent difference, except for height, may be requested by the applicant at the time of filing for the special use permit. The conditions regulating the process for waiver and variance requests are set forth in Chapter 18.85 MTC, Article I, and shall apply in this chapter.

B. In instances where strict compliance with this chapter would result in a violation of a clearly established, applicable provision of the Telecommunications Act of 1996 or other federal law or regulation, a minimal easing of the provision of this chapter may be granted by the board of adjustment to the extent required to comply with such law. [Ord. 2003-10 § 15]

18.54.160 Penalty.

Any person who violates any provision of this chapter or any special use permit issued pursuant to this chapter shall be charged with a petty misdemeanor and upon conviction may be punished by a fine of not more than $500.00 or imprisonment for not more than 90 days or both such fine and imprisonment as provided for in MTC Title 1. [Ord. 2003-10 § 16]

18.54.170 Default and/or revocation.

A. If a WTF is repaired, rebuilt, placed, moved or modified in a way that is inconsistent or not in compliance with the provisions of this chapter or of the special use permit, then the town shall notify the holder of the special use permit in writing of such violation. Such notice shall specify the nature of the violation(s) or noncompliance and that action to begin correction of the violation(s) must be commenced within seven days of the date of the postmark or personal service of the notice, whichever is earlier, and completed within 45 days of such date. Notwithstanding anything to the contrary in this subsection or any other section of this chapter, if the violation causes or presents an imminent danger to the health or safety of lives or property, the town may, at its sole discretion, order the violation remedied within 24 hours.

B. If within the 45-day time period set forth in subsection (A) of this section, the WTF is not brought into compliance with the provisions of this chapter or of the special use permit, or substantial steps are not taken in order to bring the affected WTF into compliance, then the town may revoke such special use permit for the affected WTF and shall notify the holder of the special use permit within 48 hours of such action. [Ord. 2003-10 § 17]

The Mesilla Town Code is current through Ordinance 2020-04, and legislation passed through June 8, 2020.

Disclaimer: The town clerk's office has the official version of the Mesilla Town Code. Users should contact the town clerk's office for ordinances passed subsequent to the ordinance cited above.

Town Website: http://www.mesillanm.gov/

Town Telephone: (575) 524-3262

Code Publishing Company

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Numbe Enter Value:

Maps | Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: R0400963
Parcel Number: 4006137363318
Owner: KRUEGER SUSAN A
Mail Address: PO BOX 1143
Subdivision: MESILLA GREENS (BK 17 PG 125-126 - 921098)
Property Address: 1584 W BOUTZ RD
Acres: 2

PZHAC NEW BUSINESS
NOVEMBER 16, 2020

SPECIAL USE PERMIT
[SUP20-001]

APPLICATION AND INFORMATION

TOWN OF MESILLA
SPECIAL USE PERMIT
APPLICATION

OFFICIAL USE ONLY:
Case # 061139
Fee $ 310.00

CASE NO. 061139 ZONE: RF SUBMITTED DATE: OCTOBER 21, 2020

VERIZON WIRELESS — Name of Applicant
505.710.2079 Les Gutierrez, AGENT — Applicant's Telephone/Cell Number

3. Cholita Peak — Mailing & Physical Address
SANTA FE. — City
NM — State
LESGUTIERREZ235@GMAIL.COM 87508 — Zip Code

SUSAN KRUEGER — Property Owner(s) Name *(if different than above)*
P.O. Box 1143 — Mailing & Physical Address
Mesilla NM 88046 — City, State, Zip Code

1584 W. BOUTZ RD — Physical Address
LAS CRUCES — City
NM — State
88005 ~~88046~~ — Zip Code

Description of Special Use Permit Requested: VERIZON WIRELESS IS REQUESTING TO CONSTRUCT A 65' MONO PINE TOWER ON A TRACT OF LAND WITHIN THE TOWN OF MESILLA, NM

Justification for Request: THE NEW TELECOM FACILITY IS NEEDED TO PROVIDE EXPANDED DATA + VOICE SERVICES TO NEARBY HOMES, VEHICULAR TRAFFIC + 911 USERS.

Notice: No application will be accepted without the signature of the owner(s) of record of the above described property. If more than one, all owners of or their agents must sign.

Property Owner Signature (if different than Applicant)

Les F Gutierrez For Verizon Wireless
Applicant Signature

FOR OFFICAL USE ONLY

PZHAC
- ☐ Administrative Approval (N/A)
- ☐ Approved Date: _____
- ☐ Disapproved Date: _____
- ☐ Approved with conditions

BOT
- ☐ Approved Date: _____
- ☐ Disapproved Date: _____
- ☐ Approved with Conditions

CONDITIONS: PZHAC PUBLIC HEARING AND REVIEW REQUIRED
BOT FINAL APPROVAL REQUIRED FOR ZONING APPROVAL
CID BUILDING AND OTHER PERMITS REQUIRED

ISSUED BY: _____ ISSUE DATE: _____

The Protective Covenants for Mesilla Greens Subdivision, administered by the Administrative Control Committee, took effect on December 23, 1991; and

Given that, during the twenty-six (26) years and ten (10) months the Protective Covenants for Mesilla Greens Subdivision have been in effect, there has been no need for the Administrative Control Committee to take action; and

Given that, the current Code of the Town of Mesilla contains substantial and up-to-date rules and regulations governing land use and development in the Rural Farm (RF) zone, which is the zoning for the Mesilla Greens Subdivision; and

Given that, development in the Mesilla Greens Subdivision has conformed to the requirements of the Mesilla Town Code;

Now, therefore, having considered each of the above points, I, Betty J. Boldt, the sole remaining member of the Administrative Control Committee, choose, pursuant to the Protective Covenants for Mesilla Greens Subdivision IV 1. "ADDITIONAL POWERS OF COMMITTEE" (b), to exercise my authority to modify deed restrictions, and herewith amend said Protective Covenants I 1. "TERM" as follows:

1. Delete the existing text of I. 1 "TERM" in its entirety; and
2. Replace it with the following text: I. 1 "TERM. These deed restrictions are to run with the land and shall be binding on all parties and all persons claiming under them until 5:00 p.m. Mountain Time on October 30, 2018, after which time and date said deed restrictions shall be removed in whole."

SIGNATURE: Betty Boldt
Betty J. Boldt

DATE: 10/31/18

SUBSCRIBED AND SWORN TO BEFORE ME ON THIS 31 DAY OF October 2018.

(SEAL)

Jory L. Torres Jr.
NOTARY PUBLIC

OFFICIAL SEAL
Jory L Torres
NOTARY PUBLIC
STATE OF NEW MEXICO
My Comm. Expires 8/3/2022

MY COMMISSION EXPIRES: 8/3/2022

Attachment: copy of the Protective Covenants for Mesilla Greens Subdivision

This document was filed for record with the County Clerk of Dona Ana County, New Mexico on the 31 day of October, 2018

veri onwireless

June 4, 2020

Mr. Larry Shannon, Senior Planner Community Development Department
Town of Mesilla
2231 Avenida de Mesilla, P.O. Box 10
Mesilla, New Mexico 88046

Re: Verizon Wireless
Proposal for a New Telecommunications Facility
(Verizon Wireless LSC La Posta 1584 W. Boutz Road, Mesilla NM 88046)

Dear Mr. Shannon:

I apologize for the delay in getting this Special Permit request to you for your review. Based on our previous conversations on the Town of Mesilla's Ordinance requirements please find the following submittal documents:

1. Signed application and check for $600.
2. Propagation and RF Maps showing before and after coverage improvement of new facility.
3. Zoning Drawings for a new 65' Mono-pine structure.
4. Photo-Simulations showing before and after.
5. Release of protective covenants from Mesilla Greens Subdivision.

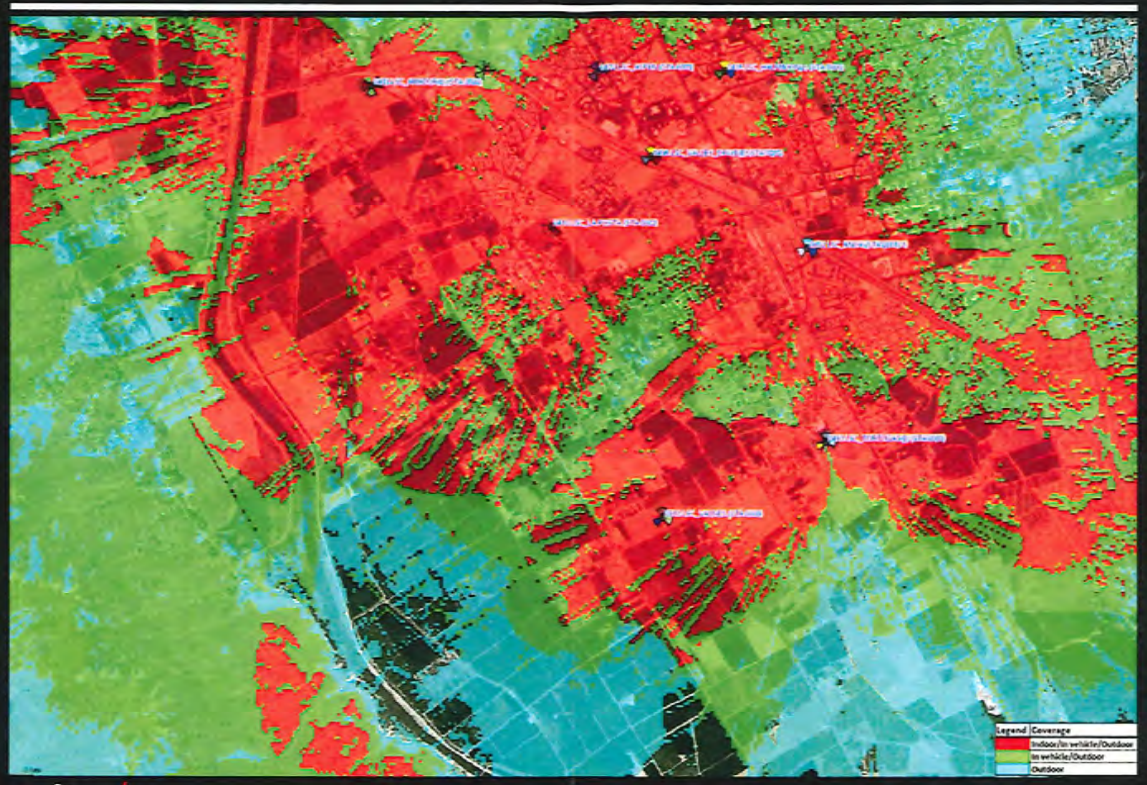
Albert, I would appreciate your review of the enclosed docs and advise what additional open items you need to process our request. Also if you could advise when the zoning/commission dates might be for this project. I look forward to working with you Larry on this project.

Sincerely,

Les F. Gutierrez

Les F. Gutierrez, Senior Site Acquisition Manager
KGI Wireless/Verizon Wireless.
3150 Carlisle Blvd NE, Suite 211
Albuquerque, NM 87110
505-710-2079

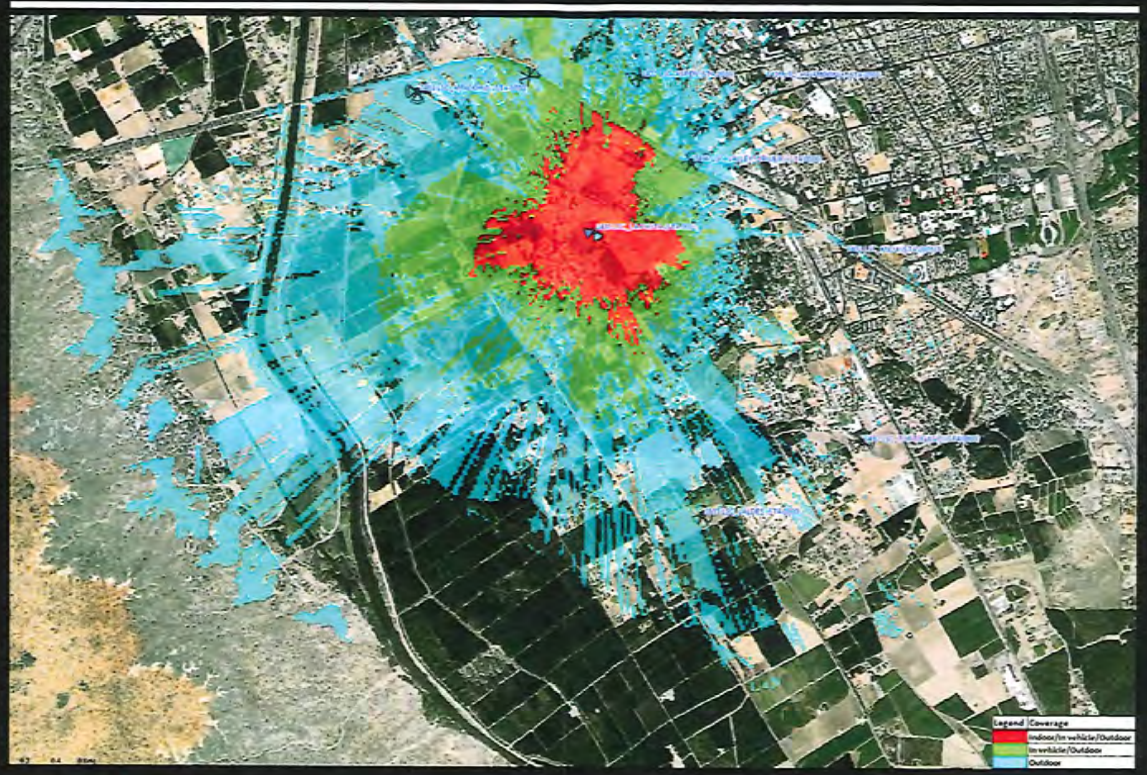
Las Cruces area coverage with no LSC_La Posta



verizon

Verizon confidential and proprietary. Unauthorized disclosure, reproduction or other use prohibited.

Las Cruces La Posta coverage



verizon

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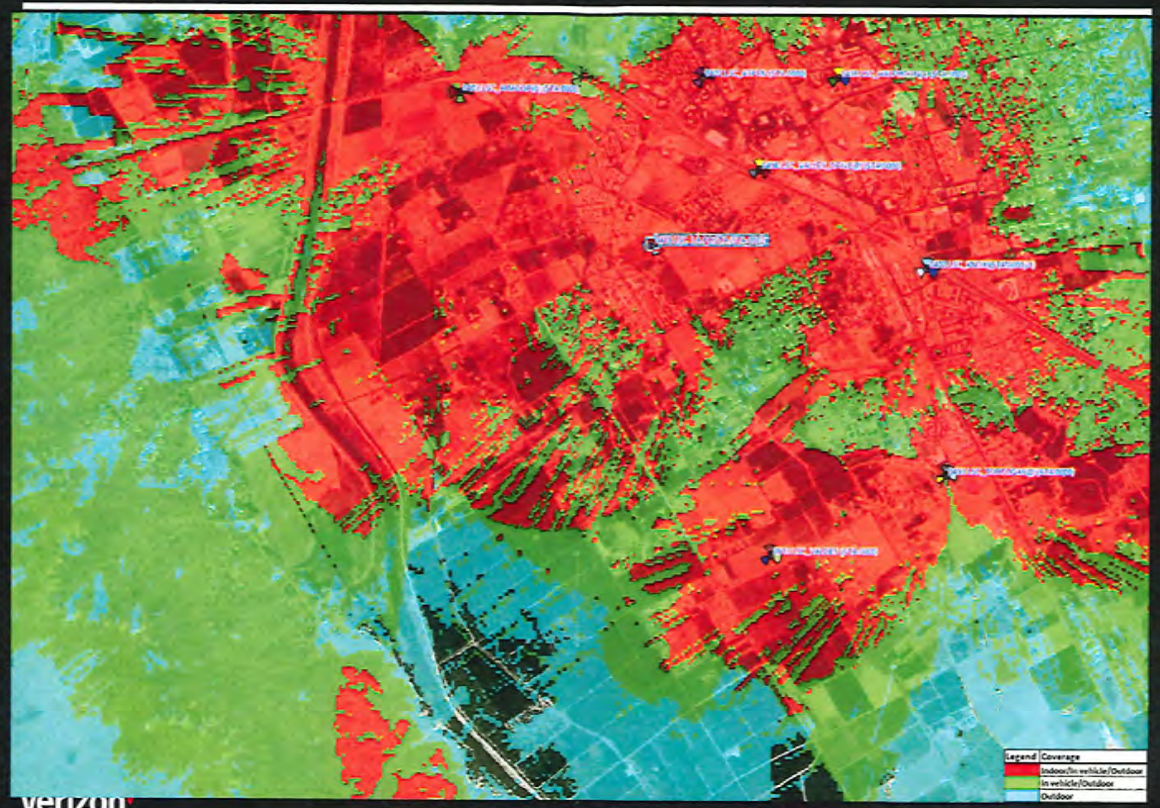
Area coverage with LSC_La Posta added



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1 LOOKING NORTH BEFORE

SCALE: N.T.S.

2 LOOKING NORTH AFTER

SCALE: N.T.S.

3 LOOKING SOUTH BEFORE

SCALE: N.T.S.

4 LOOKING SOUTH AFTER

SCALE: N.T.S.

FOR INFORMATION ONLY

PRELIMINARY DOCUMENTS

THESE DOCUMENTS ARE RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF TYLER B. BOLINGER ON 04/24/2019

THEY ARE NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES OR AS THE BASIS FOR ISSUANCE OF A PERMIT.

- TYLER B. BOLINGER, P.E.
- NEW MEXICO PROFESSIONAL ENGINEER REGISTRATION NUMBER 23437, RENEWAL DATE DECEMBER 31, 2019
- KGI WIRELESS, INC.

verizon

KGI

KGI WIRELESS, INC.
805 LAS CIMAS PKWY
BUILDING THREE, SUITE 370
AUSTIN, TX 78746
TEL: 512.345.9595
FAX: 512.345.9898

SITE NAME:
LSC LA POSTA

LOCATION CODE:
286827

SITE ADDRESS:
1584 W. BOUTZ RD.
MESILLA, NM 88046

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ISSUED FOR:	DATE
REVIEW REV A	04/24/2019

REVISION

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
PHOTO SHEET

SHEET NUMBER:
PS1

1 LOOKING EAST BEFORE

SCALE: N.T.S.

2 LOOKING EAST AFTER

SCALE: N.T.S.

3 LOOKING WEST BEFORE

SCALE: N.T.S.

4 LOOKING WEST AFTER

SCALE: N.T.S.

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ISSUED FOR: DATE
REVIEW REV A 04/24/2019

REVISION

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
PHOTO SHEET

SHEET NUMBER:
PS2

verizon

PROJECT:	NEW BUILD
SITE NAME:	LSC LA POSTA
LOCATION CODE:	286827
PROJECT NUMBER:	20131016352
STRUCTURE TYPE:	65' MONOPINE TOWER
ADDRESS:	1584 W. BOUTZ ROAD MESILLA, NM 88046 DONA ANA COUNTY

TYLER B BOLINGER
NEW MEXICO
23437
REGISTERED PROFESSIONAL ENGINEER
04/10/2020

PE RENEWAL DATE DECEMBER 31, 2021

PROJECT SUMMARY

PPLICANT:
ERIZON WIRELESS
821 EUBANK NE
LBUQUERQUE, NM 87111
ONTACT: JEFF DEWALT
HONE: 505.250.0004

ITE ACQUISITION:
GI WIRELESS, INC.
UILDING THREE, SUITE 370
05 LAS CIMAS PKWY
USTIN, TX 78746

NGINEER:
GI WIRELESS, INC.
UILDING THREE, SUITE 370
05 LAS CIMAS PKWY.
USTIN, TX 78746
YLER BOLINGER, P.E.
RINCIPAL ENGINEER
HONE: 512.334.3256

URVEYOR:
LAUSEN LAND SURVEYING LLC
5328 COUNTRY OAKS DR.
L PASO, TX 79932

OWER OWNER:
ERIZON WIRELESS
26 W GEMINI DRIVE
EMPE, AZ 85283
ONTACT:

AND OWNER:
USAN KRUEGER
O BOX 1143
ESILLA, NM 88046
HONE: 575.525.0654
MAIL: SKRUEGER575@MSN.COM

OWER COORDINATES:
AD83: 32° 16' 44.681" N
106° 47' 30.107" W
ECIMAL: 32.279078°
-106.791696°
AD27: 32° 16' 44.342" N
106° 47' 28.089" W

AVD88: 3888' AMSL
GVD29: 3887.45' AMSL

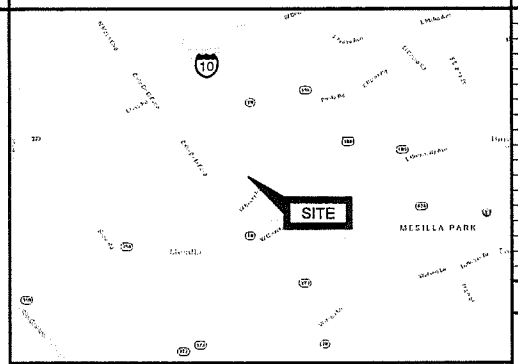
URISDICTION:
ITY OF MESILLA

UBLIC RECORD PARCEL NO:
005137364295

OWER COMPANY:
L PASO ELECTRIC

AV PROVIDER:
ENTURY LINK

LOCATION MAP



SITE LOCATION

FROM I-10 TAKE EXIT 140 FOR NM-28/AVENIDA DE MESILLA.
TURN SOUTH ONTO NM-28 S/AVENIDA DE MESILLA.
(SIGNS FOR HISTORIC LA MESILLA)
CONTINUE STRAIGHT TO STAY ON NM-28 S/AVENIDA DE MESILLA.
TURN LEFT ONTO W BOUTZ RD. THE SITE WILL BE ON THE LEFT.

SCOPE OF WORK

1. THIS WIRELESS COMMUNICATIONS FACILITY IS NOT INTENDED FOR HUMAN OCCUPANCY
2. THIS FACILITY DOES NOT REQUIRE POTABLE WATER AND WILL NOT PRODUCE ANY SEWAGE.
3. THE SCOPE OF WORK CONSISTS OF PROPOSED WIRELESS INSTALLATION OF:
   A. EQUIPMENT CABINET
   B. 65' MONOPINE TOWER
   C. ANTENNAS
   D. ELECTRICAL AND CIVIL CONSTRUCTION

LEGAL DESCRIPTION

A PARCEL OF LAND FOR A PROPOSED TELECOMMUNICATIONS LEASE AREA ("PROPOSED 20' X 20' LEASE AREA") WITHIN THAT UNDERLYING PARCEL DESCRIBED GENERALLY AS LOTS 4 AND 5, MESILLA GREENS, (PLAT RECORD BOOK 17, PAGES 125-126) AS THE SAID UNDERLYING PARCEL IS DESCRIBED IN WARRANTY DEEDS RECORDED IN BOOK 357, PAGE 644 RECORDED MARCH 17, 1992 (AS TO LOT 4); AND IN BOOK 359, PAGE 601 RECORDED MAY 26, 1992 (AS TO LOT 5), DOÑA ANA COUNTY DEED RECORDS

PROJECT INFORMATION

OCCUPANCY CLASSIFICATION:	TYPE II-B		
ITEM:	REQUIRED-ALLOWED	PROVIDED	COMPLIANCE
FIRE SPRINKLERS:	NO	NO	YES
FIRE ALARM:	NO	NOT APPLICABLE	YES
BUILDING HEIGHT:	UP TO 50 FEET	NOT APPLICABLE	YES
BUILDING STORIES:	1	NOT APPLICABLE	YES
BUILDING AREA:	UP TO 9000 SQ. FT.	NOT APPLICABLE	YES
OCCUPANT LOAD:	NOT APPLICABLE	UNOCCUPIED	YES
NUMBER OF EXITS:	1	1	YES
FIRE RESISTANCE OF EXTERIOR WALLS:	1 HOUR	NOT APPLICABLE	YES
FIRE RATING OF BUILDING ELEMENTS:	1 HOUR	NOT APPLICABLE	YES
PROTECTION OF OPENINGS:	NOT APPLICABLE	NOT APPLICABLE	YES
NON-SEPERATED OR SEPARATED USES:	NOT APPLICABLE	NOT APPLICABLE	YES
ROOF COVERING MATERIAL:	CLASS B	NOT APPLICABLE	YES
PLUMBING FIXTURES:	NONE	UNOCCUPIED, NO PLUMBING	YES
TOTAL LEASE AREA:	400 SQ. FT.		

APPLICABLE CODES AND STANDARDS

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- INTERNATIONAL BUILDING CODE, 2015 EDITION AS ADOPTED BY LOCAL JURISDICTION
- NFPA 70 - NATIONAL ELECTRIC CODE, 2014 EDITION AS ADOPTED BY LOCAL JURISDICTION

ADA COMPLIANCE: THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION LANDINGS AND EXITS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES.
FCC COMPLIANCE: EVERY WIRELESS TELECOMMUNICATIONS FACILITY SHALL MEET THE REGULATIONS OF THE FCC REGARDING PHYSICAL AND ELECTROMAGNETIC INTERFERENCE. THE ONLY SIGNAGE WHICH IS PERMITTED IS THAT WHICH IS REQUIRED BY STATE OR FEDERAL LAW. RADIATION FROM THIS FACILITY WILL NOT INTERFERE WITH OPERATION OF OTHER COMMUNICATION DEVICES.
HEALTH ISSUES: EVERY WIRELESS TELECOMMUNICATIONS FACILITY SHALL MEET HEALTH AND SAFETY STANDARDS FOR ELECTROMAGNETIC FIELD EMISSIONS AS ESTABLISHED BY THE FEDERAL COMMUNICATIONS COMMISSION OR ANY SUCCESSOR THEREOF, AND ANY OTHER FEDERAL OR STATE AGENCY.

GENERAL PROJECT NOTES

1. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL BE FAMILIAR WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE NEW PROJECT.
2. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS OF THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.
3. ALL FIELD MODIFICATIONS BEFORE, DURING, OR AFTER CONSTRUCTION SHALL BE APPROVED IN WRITING BY A VERIZON WIRELESS REPRESENTATIVE.
4. INSTALL ALL EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, U.N.O.
5. NOTIFY VERIZON WIRELESS, IN WRITING, OF ANY MAJOR DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM A VERIZON WIRELESS REPRESENTATIVE AND ADJUSTING THE BID ACCORDINGLY.
6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK UNDER THE CONTRACT.
7. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING THE CONSTRUCTION TO THE SATISFACTION OF A VERIZON WIRELESS REPRESENTATIVE.
8. THE CONTRACTOR IS RESPONSIBLE FOR RED-LINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS BUILT CONDITION OF THE SITE. FOLLOWING THE FINAL INSPECTION BY VERIZON WIRELESS, THE CONTRACTOR SHALL PROVIDE VERIZON WIRELESS WITH ONE COPY OF ALL RED-LINED DRAWINGS.
9. VERIFY ALL FINAL EQUIPMENT WITH A VERIZON WIRELESS REPRESENTATIVE. ALL EQUIPMENT LAYOUT, SPECS, PERFORMANCE INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY VERIZON WIRELESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER WORK WITH THE WORK AND CLEARANCES REQUIRED BY OTHERS RELATED TO SAID INSTALLATIONS.

DRAWINGS INDEX

GENERAL SHEETS		REVISION
T1	TITLE SHEET	0
SP1	SPECIFICATION SHEET	0
GN1	ABBREVIATIONS AND SYMBOLS	0
PS1	SITE PHOTOS	0
CIVIL SURVEY		
SUR1	SURVEY	0
CIVIL PLANS		
C1	OVERALL SITE PLAN	0
C2	DETAILED SITE PLAN	2
C3	TOWER ELEVATION	2
C4	TOWER ELEVATION	2
C5	CIVIL DETAILS	0
C6	CIVIL DETAILS	D
C7	CIVIL DETAILS	0
C8	CIVIL DETAILS	1
ELECTRICAL PLANS		
UC1	UTILITY COORD. OVERALL SITE PLAN	0
UC2	UTILITY COORDINATION SITE PLAN	2
E1	ELECTRICAL AND GROUNDING NOTES	0
E2	ONE-LINE DIAGRAM	1
E3	ELECTRICAL DETAILS	1
GROUNDING PLANS		
G1	GROUNDING SITE PLAN	2
G2	GROUNDING DETAILS	1
G3	GROUNDING DETAILS	D
G4	GROUNDING DETAILS	D
RF INFORMATION		
RF1	ANTENNA INFORMATION	0

NOTE: DRAWING SCALES ARE FOR 11"X17" SHEETS

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AUSTIN, TX 78746
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FAX: 512.345.9898

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ISSUED FOR:	DATE
CONSTRUCTION REV 0	08/19/2019
CONSTRUCTION REV 1	01/14/2020
CONSTRUCTION REV 2	04/10/2020

REVISION

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T1

GENERAL PROJECT NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND/OR FENCING TO PROTECT THE SAFETY OF THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BARRIERS AND REPAIR ALL DAMAGE TO PROPERTY ON THE SITE CAUSED BY THIS CONSTRUCTION. THE COST OF REPAIR IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE PRIOR TO ORDERING ANY MATERIALS OR CONDUCTING ANY WORK.
4. EXCESS SOIL MATERIAL AND DEBRIS CAUSED BY THIS CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
5. CONTRACTOR SHALL MAKE ADJUSTMENTS TO GRADING ELEVATIONS AS NECESSARY TO ENSURE A SITE FREE OF DRAINAGE PROBLEMS.
6. CONTRACTOR SHALL COORDINATE A CONSTRUCTION LAY-DOWN AREA WITH THE PROPERTY OWNER. CONSTRUCTION LAY-DOWN AREA SHALL BE FENCED-IN WITH TEMPORARY (45 DAY) CONSTRUCTION FENCE. THE TEMPORARY FENCE SHALL BE CONSTRUCTED OF 6' HIGH CHAIN LINK FABRIC AND IS TO BE REMOVED AT THE END OF CONSTRUCTION. LAY-DOWN AREA IS TO BE RESTORED TO ITS ORIGINAL CONDITION AFTER FENCE REMOVAL.
7. SURVEY INFORMATION SHOWN WAS CREATED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A LEGAL BOUNDARY SURVEY.
8. THESE PLANS DO NOT ADDRESS THE SAFETY AND STABILITY OF THE STRUCTURE DURING ASSEMBLY AND ERECTION, WHICH ARE THE RESPONSIBILITY OF THE ERECTOR, BASED ON THE MEANS AND METHODS CHOSEN BY THE ERECTOR.
9. NEW EQUIPMENT COMPOUND SHALL BE COVERED W/ 4" CRUSHED ROCK INSTALLED OVER CLIENT-APPROVED WEED BARRIER MATERIAL (IF APPLICABLE).

GENERAL CONTRACTOR NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE PROJECT SCOPE OF WORK DEFINED UNDER THE REQUEST FOR PROPOSAL (RFP) FOR THIS PROJECT AND ALL ASSOCIATED ATTACHMENTS AND DOCUMENTS PROVIDED.

   THE RFP AND ALL ASSOCIATED DOCUMENTS SHALL DEFINE THE COMPLETE PROJECT SCOPE OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL DOCUMENTS AND IS SOLELY RESPONSIBLE FOR ALL WORK.

   ALL DOCUMENTS INCLUDED WITHIN THE PROJECT REQUEST FOR PROPOSAL ARE REQUIRED FOR THE COMPLETE PROJECT SCOPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK (EQUIPMENT, MATERIAL, INSTALLATION, TESTING, ETC.) INDICATED IN ALL DOCUMENTS. THE RFP, VERIZON WIRELESS NETWORK STANDARDS AND PROJECT ADDENDUMS AND CLARIFICATIONS ARE COMPLEMENTARY TO EACH OTHER. THE FORMAT OF THE SPECIFICATIONS AND DRAWING NUMBERING PER DISCIPLINE IS NOT INTENDED TO IMPLY SEGREGATION OF SUB CONTRACTOR WORK. CONTRACTOR SHALL ASSIGN ALL SUB CONTRACTOR WORK AND VERIZON WIRELESS WILL NOT ACCEPT ANY CHANGE ORDERS FOR INTERNAL CONTRACTOR WORK ASSIGNMENTS.

   CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING ALL RFP DOCUMENTS TO THEIR SUB CONTRACTORS. ALL RFP DOCUMENTS ARE REQUIRED TO INDICATE THE PROJECT SCOPE OF WORK. PARTIAL SUB CONTRACTOR DOCUMENT PACKAGES ARE HIGHLY DISCOURAGED.

   IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, REFERENCED STANDARDS, VERIZON WIRELESS STANDARDS, OR AGREEMENT TERMS AND CONDITIONS THE ARCHITECT/ENGINEER SHALL BE CONTACTED FOR FORMAL INTERPRETATION OF THE REQUIREMENTS. THE CONTRACTOR SHALL BE DEEMED TO HAVE PROVIDED THE DETAILED AND EXTENSIVE INTERPRETATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECT/ENGINEER INTERPRETATIONS SHALL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO VERIZON WIRELESS.
2. ALL ANTENNAS MUST BE PIM TESTED WITHIN 48 HOURS OF THEM BEING RECEIVED BY THE INSTALLATION CONTRACTOR. THOSE RESULTS MUST BE SENT BACK TO THE VERIZON WIRELESS CONSTRUCTION ENGINEER AND EQUIPMENT ENGINEER WITHIN THE SAME 48 HOURS. IF YOU MISS THE 48HR TIMELINE AND THE ANTENNAS DO NOT PASS UPON INSTALLATION, YOUR COMPANY WILL BE CHARGED FOR THE COST OF THE ANTENNAS FOR REPLACEMENT.
3. ALL LOADS MUST BE SECURED PROPERLY TO THE VEHICLE OR TRAILER. VERIZON WIRELESS WILL PASS ALONG THE COST OF ANY REPLACEMENTS DUE TO DAMAGE OR LOSS WHETHER IT IS NEW OR USED.
4. ALL VENDORS ARE REQUIRED TO SHOW UP TO THE DC IN TEMPE, OR DELTA/KING COMMUNICATIONS, OR BROKEN ARROW IN NM WITH ENCLOSED TRANSPORTATION FOR ALL ELECTRONICS.

ANTENNA, MOUNTS AND HARDWARE INSTALLATION NOTES:

1. CONTRACTOR TO INSTALL ANTENNAS, MOUNTS AND TOWER HARDWARE PER MANUFACTURER'S RECOMMENDATIONS (OR AS REQUIRED BY THE OWNER/PROVIDER).
2. ALL BOLTS SHALL BE TIGHTENED PER AISC REQUIREMENTS (SEE STEEL NOTES).
3. ANY GALVANIZED SURFACES THAT ARE DAMAGED BY ABRASIONS, CUTS, DRILLING OR FIELD WELDING DURING SHIPPING OR ERECTION SHALL BE TOUCHED-UP WITH TWO COATS OF COLD GALVANIZING COMPOUND MEETING THE REQUIREMENTS OF ASTM A780.
4. ANTENNA MOUNTS SHALL NOT BE USED AS A CLIMBING DEVICE. WORKERS SHALL ALWAYS TIE OFF TO AN APPROVED CLIMBING POINT.
5. SEE ALSO GENERAL ANTENNA NOTES ON SHEET RF1 (IF APPLICABLE).

STRUCTURAL DESIGN CRITERIA:

ALL LOADS DERIVED FROM REQUIREMENTS OF INTERNATIONAL BUILDING CODE 2009, ASCE 7-05, "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" & ANSI TIA-222-G "STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS".

BUILDING STRUCTURES:

1. WIND LOADS: IBC 2009 §1609 & ASCE 7-05 §6.4 (SIMPLIFIED METHOD)
   V3s = 90 MPH
   OCCUPANCY CAT. = II; EXPOSURE CAT. = C; IMPORTANCE FACTOR = 1.0
2. SEISMIC LOADS: IBC 2009 §1613 & ASCE 7-05 §12.14 (SIMPLIFIED METHOD)
   OCCUPANCY CAT. = II; SITE CLASS = D
   V=F(S DS)W/R
   F = 1.0 (SINGLE-STORY), 1.1 (TWO STORY), 1.2 (THREE STORY)
   Sds = (2/3) Sms
   R = 1.5 (ORDINARY PLAIN CONCRETE SHEARWALLS),
   6.5 (LIGHT-FRAMED WALLS W/ WOOD STRUCTURAL PANELS),
   4.0 (ORDINARY REINFORCED CONCRETE SHEARWALLS)

COMMUNICATIONS STRUCTURES:

1. WIND LOADS: IBC 2009 §1609, ASCE 7-05 §6.5.15 & ANSI TIA-222-G
   V = 90 MPH (3-SEC. GUST)
   V = 30 MPH (0" RADIAL ICE)
   STRUCTURE CLASS = II; EXPOSURE CAT. = C; IMPORTANCE FACTOR = 1.0
2. SEISMIC LOADS*: IBC 2009 §1613, ASCE 7-05 §15.6.6 & ANSI TIA-222-G
   *MAY BE IGNORED FOR STRUCTURE CLASS I AND/OR EARTHQUAKE SPECTRAL RESPONSE FOR SHORT PERIOD (Ss) ≤ 1.0
   STRUCTURAL CLASS = II; OCC. CAT. = II; SITE CLASS = D; IMPORTANCE FACTOR = 1.0
   V = Sds(W)I/R (EQUIVALENT LATERAL FORCE PROCEDURE (METHOD 1))
   V =Σ Sax(Wz)I/R (EQUIVALENT MODAL ANALYSIS PROCEDURE (METHOD 2))

STEEL NOTES:

1. ALL STEEL SHALL BE GALVANIZED PER ASTM A 123 & CONFORM TO THE FOLLOWING MINIMUM SPECIFICATIONS:

HSS SHAPES (TUBE)	ASTM A500, GR. B	(46 KSI)
HSS SHAPES (ROUND)	ASTM A500, GR. B	(42 KSI)
W-SHAPES	ASTM A992,	(50 KSI)
CHANNELS, ANGLES & PLATES	ASTM A36,	(36 KSI)
PIPE	ASTM A53, GR. B	(35 KSI)

2. ALL BOLTS SHALL BE GALVANIZED PER ASTM A153 AND CONFORM TO ASTM A325 U.N.O. ALL BOLTED CONNECTIONS SHALL BE EQUIPPED WITH AN APPROVED NUT-LOCKING DEVICE.
3. ALL WELDING WORK SHALL CONFORM TO THE AWS D1 .1 STRUCTURAL WELDING CODE. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS ONLY. WELDING ELECTRODES SHALL BE E70XX.
4. ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO AISC SPECS AND CODES, LATEST EDITION.
5. AT HIS OWN DISCRETION, THE CONTRACTOR MAY SUBMIT DETAILED, ENGINEERED, COORDINATED AND CHECKED SHOP DRAWINGS FOR ALL STRUCTURAL STEEL TO THE ENGINEER OF RECORD TO REVIEW FOR COMPLIANCE WITH DESIGN INTENT PRIOR TO THE START OF FABRICATION AND/OR ERECTION. THE ENGINEER IS ABSOLVED OF ALL LIABILITY ASSOCIATED WITH THE MISINTERPRETATION OF THE CONSTRUCTION DOCUMENTS IF CONTRACTOR CHOOSES NOT TO SUBMIT SHOP DRAWINGS.
6. TORCH-CUTTING OF ANY KIND SHALL NOT BE PERMITTED.
7. ALL BOLTS SHALL BE TIGHTENED TO AISC SNUG TIGHT REQUIREMENTS. THE SNUG TIGHT CONDITION IS DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A MAN USING AN ORDINARY SPUD WRENCH.

FOUNDATION NOTES:

1. THE CONTRACTOR SHALL READ THE GEOTECHNICAL REPORT (IF AVAILABLE) AND SHALL CONSULT THE GEOTECHNICAL ENGINEER AS NECESSARY PRIOR TO CONSTRUCTION.
2. THE GEOTECHNICAL ENGINEER (OR INSPECTOR) SHALL INSPECT THE EXCAVATION PRIOR TO THE PLACEMENT OF CONCRETE AND SHALL PROVIDE A NOTICE OF INSPECTION FOR THE BUILDING INSPECTOR FOR REVIEW AND RECORDS PURPOSES.
3. THE CONTRACTOR SHALL DETERMINE THE MEANS AND METHODS NECESSARY TO SUPPORT THE EXCAVATION DURING CONSTRUCTION.
4. REBAR AT BOTTOM OF FOUNDATIONS SHALL BE BONDED TO SITE GROUNDING SYSTEM (WHEN APPLICABLE). SEE ADDITIONAL DETAILS ON GROUNDING SITE PLAN.
5. ALL FOOTINGS TO BE PLACED ON FIRM, UNDISTURBED, INORGANIC MATERIAL. PROOF ROLL SUB-GRADE PRIOR TO PLACING CONCRETE WHERE THE MATERIAL HAS BEEN DISTURBED BY EQUIPMENT. UNACCEPTABLE/DISTURBED MATERIAL SHALL BE OVER-EXCAVATED AND REPLACED WITH "LEAN CONCRETE FILL".
8. STRUCTURAL BACKFILL SHALL BE GRANULAR FREE-DRAINING MATERIAL FREE OF DEBRIS, ORGANICS, REFUSE AND OTHERWISE DELETERIOUS MATERIALS. MATERIAL SHALL BE PLACED IN LIFTS NO GREATER THAN 6" IN DEPTH AND COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED PER ASTM D1557 (MODIFIED PROCTOR).

CONCRETE NOTES:

1. ALL CONCRETE SHALL BE IN ACCORDANCE WITH CHAPTER 19 OF THE IBC & ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION & HAVE THE FOLLOWING PROPERTIES:
   A. MINIMUM 28-DAY COMPRESSIVE STRENGTH (f'c) OF 4,000 PSI.
   B. CEMENT SHALL BE "LOW-ALKALI" TYPE IIA (MODERATE SULFATE RESISTANCE, AIR ENTRAINING) CONFORMING TO ASTM C150.
   C. MAXIMUM WATER/CEMENT RATIO OF 0.45 AND AIR-ENTRAINED 4% TO 7%.
   D. CONCRETE PROPORTIONING SHALL BE DESIGNED BY AN APPROVED LABORATORY. TOLERANCES IN ACCORDANCE WITH ACI 117. COPIES OF CONCRETE MIX SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO PLACEMENT.
   E. ALL AGGREGATE USED IN CONCRETE SHALL CONFORM TO ASTM C33. USE ONLY AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE. MAXIMUM AGGREGATE SIZE TO BE 1)2".
   F. MAXIMUM SLUMP: 3" (FOUNDATION, FOOTING, SLAB), 4" (WALL, COLUMN, BEAM)
2. FORMWORK FOR CONCRETE SHALL CONFORM TO ACI 347. TOLERANCES FOR FINISHED CONCRETE SURFACES SHALL MEET CLASS-C REQUIREMENTS. IN NO CASE SHALL FINISHED CONCRETE SURFACES EXCEED THE FOLLOWING VALUES AS MEASURED FROM NEAT PLAN LINES AND FINISHED GRADES: ± 1/4" VERTICAL, ± 1" HORIZONTAL.
3. CHAMFER ALL EXPOSED CORNERS AND FILLET ENTRANT ANGLES 3/4" U.N.O.
4. CONCRETE FINISHING:
   A. FLOORS: CONCRETE FLOOR SLABS SHALL BE FINISHED IN ACCORDANCE WITH ACI 302.1 CHAPTER 8. PROVIDE CLASS 4 FINISH U.N.O. PROVIDE NON-SLIP FINISH FOR EXTERIOR SURFACES.
   B. OTHER SURFACES: CONCRETE SURFACES SHALL BE FINISHED IN ACCORDANCE WITH ACI 301 SECTIONS 5.3, 6.3, AND 7.3. PROVIDE ROUGH FINISH FOR ALL SURFACES NOT EXPOSED TO VIEW AND SMOOTH FINISH FOR ALL OTHERS, U.N.O.
5. A MINIMUM OF ONE (1) SET OF CONCRETE CYLINDERS SHALL BE TAKEN PER TRUCK (IF REQUIRED BY SPECIAL INSPECTIONS). EACH SET SHALL CONSIST OF THREE (3) CYLINDERS. ONE (1) SHALL BE TESTED AT 7 DAYS, TWO (2) SHALL BE TESTED AT 28 DAYS. ALL CYLINDERS SHALL BE TAKEN, PREPARED AND TESTED BY A TESTING LAB IN ACCORDANCE WITH ASTM C172, C31 AND C39.

REINFORCING STEEL NOTES:

1. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615. VERTICAL/HORIZONTAL BARS SHALL BE GRADE 60; TIES OR STIRRUPS SHALL BE A MINIMUM OF GRADE 40. ALL REINFORCING STEEL SHALL HAVE 3" (± 3/8") OF CONCRETE COVER, U.N.O.
2. ALL BAR BENDS, HOOKS, SPLICES AND OTHER REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ACI 315.
3. ALL BARS SHALL BE SPLICED WITH A MINIMUM LAP OF 48 BAR DIAMETERS. LAP SPLICES OF DEFORMED BARS IN TENSION ZONES SHALL BE CLASS-B SPLICES. WELDING OF BARS IS NOT PERMITTED.
4. AT ALL CORNERS AND WALL INTERSECTIONS, PROVIDE BENT HORIZONTAL BARS TO MATCH THE HORIZONTAL REINFORCING STEEL.
5. PROVIDE VERTICAL DOWELS IN FOOTINGS AND AT CONSTRUCTION JOINTS TO MATCH VERTICAL REINFORCING BAR SIZE AND SPACING.
6. ACI-APPROVED PLASTIC-COATED BAR CHAIRS OR PRECAST CONCRETE BLOCKS SHALL BE PROVIDED FOR SUPPORT OF ALL GRADE-CAST REINFORCING STEEL & SHALL BE SUFFICIENT IN NUMBER TO PREVENT SAGGING. METAL CLIPS OR SUPPORTS SHALL NOT BE PLACED IN CONTACT WITH THE FORMS OR THE SUB-GRADE.
7. DOWELS AND ANCHOR BOLTS SHALL BE WIRED OR OTHERWISE HELD IN CORRECT POSITION PRIOR TO PLACING CONCRETE. IN NO CASE SHALL DOWELS OR ANCHOR BOLTS BE "STABBED" INTO FRESHLY-POURED CONCRETE.

TYLER B BOLINGER
NEW MEXICO
23437
REGISTERED PROFESSIONAL ENGINEER
01/14/2020

PE RENEWAL DATE DECEMBER 31, 2021

verizon

KGI

KGI WIRELESS, INC.
805 LAS CIMAS PKWY
BUILDING THREE, SUITE 370
AUSTIN, TX 78746
TEL: 512.345.9595
FAX: 512.345.9898

SITE NAME:
LSC LA POSTA
LOCATION CODE:
286827
SITE ADDRESS:
1584 W. BOUTZ RD.
MESILLA, NM 88046

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ISSUED FOR:	DATE
CONSTRUCTION REV 0	08/19/2019
CONSTRUCTION REV 1	01/14/2020

REVISION

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
SPECIFICATION SHEET

SHEET NUMBER:
SP1

ABBREVIATION	DEFINITION
AAV	ACCELERATED ACCESS VENDOR
AB	ANCHOR BOLT
ABV	ABOVE
ACCA	ANTENNA CABLE COVER ASSEMBLY
ADD'L	ADDITIONAL
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AGL	ABOVE GRADE LEVEL
ALT	ALTERNATE
ALUM	ALUMINUM
AMSL	ABOVE MEAN SEA LEVEL
ANT	ANTENNA
~	APPROXIMATE
APPROX	APPROXIMATE
ARCH	ARCHITECT(URAL)
AWG	AMERICAN WIRE GAUGE
B/U	BACK-UP CABINET
BBS	BATTERY BACK UP STATION
BLK	BLOCK
BLDG	BUILDING
BLKG	BLOCKING
BTCW	BARE TINNED COPPER WIRE
BTS	BASE TRANSMISSION STATION
BM	BEAM
BOF	BOTTOM OF FOOTING
BN	BOUNDARY NAILING
℄	CENTERLINE
CAB	CABINET
CANT	CANTILEVER(ED)
CIP	CAST IN PLACE
CLG	CEILING
CLR	CLEAR
CND	CONDUIT
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION(OR)
CONT	CONTINUOUS
d	PENNY (NAILS)
DEPT	DEPARTMENT
ø	DIAMETER
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DBL	DOUBLE
DF	DOUGLAS FIR
DWG	DRAWING(S)
(E)	EXISTING
EA	EACH
EGB	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
ELEV (EL)	ELEVATION
EN	EDGE NAIL
ENGR	ENGINEER
EMT	ELECTRICAL METALLIC TUBING
EQ	EQUAL
EQUIP	EQUIPMENT
EXP	EXPANSION
EXT	EXTERIOR
F	FIBER
FAB	FABRICATION(OR)
FF	FINISH FLOOR
FG	FINISH GRADE
FN	FIBERNET
FOC	FACE OF CONCRETE
FOM	FACE OF MASONRY
FOS	FACE OF STUD
FOW	FACE OF WALL
FS	FINISH SURFACE
FIN	FINISH(ED)
FLR	FLOOR
FT (')	FOOT(FEET)
FTG	FOOTING
FND	FOUNDATION
G	GROWTH (CABINET)
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GLB (GLU-LAM)	GLUE LAMINATED BEAM
GND	GROUND
GFI	GROUND FAULT CIRCUIT INTERRUPTER
GPS	GLOBAL POSITIONING SYSTEM
HGR	HANGER
HDR	HEADER
HT	HEIGHT
ICGB	ISOLATED COPPER GROUND BUS
IN (")	INCH(ES)
INT	INTERIOR
L	LONG(ITUDINAL)
LB	LAG BOLTS
LB(S) or #	POUND(S)
LF	LINEAR FEET (FOOT)
LTE	LONG TERM EVOLUTION
MAS	MASONRY

ABBREVIATION	DEFINITION
MAX	MAXIMUM
MB	MACHINE BOLT
MECH	MECHANICAL
MFR	MANUFACTURER
MGB	MASTER GROUND BAR
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
(N)	NEW
NO (#)	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER
OE/OT	OVERHEAD ELECTRIC/TELCO
OPNG	OPENING
ϕ	PHASE (ELECTRICAL)
(P)	PROPOSED
PL	PLATE OR PROPERTY LINE
P/C	PRECAST CONCRETE
PCS	PERSONAL COMMUNICATION SERVICES
PLY	PLYWOOD
PPC	POWER PROTECTION CABINET
PRC	PRIMARY RADIO CABINET
PSI	POUNDS PER SQUARE INCH
PSF	POUNDS PER SQUARE FOOT
PT	PRESSURE TREATED
PWR	POWER (CABINET)
QTY	QUANTITY
RAD (R)	RADIUS
RBS	RADIO BASED STATION
REF	REFERENCE
REQ'D	REQUIRED
REINF	REINFORCEMENT(ING)
RGS	RIGID GALVANIZED STEEL
RRH	REMOTE RADIO HEAD
RRU	REMOTE RADIO UNIT
SCH	SCHEDULE
SF	SQUARE FOOT
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION(S)
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STRUC	STRUCTURAL
TC	TOWERCLOUD
TEMP	TEMPORARY
THK	THICK(NESS)
TMA	TOWER MOUNTED AMPLIFIER
TN	TOE NAIL
TOA	TOP OF ANTENNA
TOC	TOP OF CURB
TDF	TOP OF FOUNDATION
TOP	TOP OF PLATE (PARAPET)
TOS	TOP OF STEEL
TOW	TOP OF WALL
XFMR	TRANSFORMER
TYP	TYPICAL
UE/UT	UNDERGROUND ELECTRIC/TELCO
UG	UNDERGROUND
UL	UNDERWRITER'S LABORATORY
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
W	WIDE(WIDTH)
W/	WITH
WD	WOOD
WP	WEATHERPROOF
WT	WEIGHT

LINETYPES

EXISTING LAYER
PROPOSED LAYER
CHAIN-LINK FENCE
BARBED-WIRE FENCE
OVERHEAD POWER
OVERHEAD TELCO
UNDERGROUND POWER
UNDERGROUND TELCO
UNDERGROUND FIBER
UNDERGROUND ALARM
UNDERGROUND POWER & ALARM
INTERIOR ELECTRICAL CONDUIT
UNDERGROUND LP FUEL
COAX CABLE
HYBRID CABLE
INTERIOR GROUND LINE
EXTERIOR GROUND LINE
PROPERTY LEASE LINE

GROUNDING SYMBOLS

IRREVERSIBLE CONNECTION
EXOTHERMIC
MECHANICAL CONNECTION
COPPER GROUND ROD
CHEM ROD
GROUND ROD TEST-WELL
12"/20" GROUND BAR

TYLER B BOLINGER
NEW MEXICO
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01/14/2020

PE RENEWAL DATE DECEMBER 31, 2021

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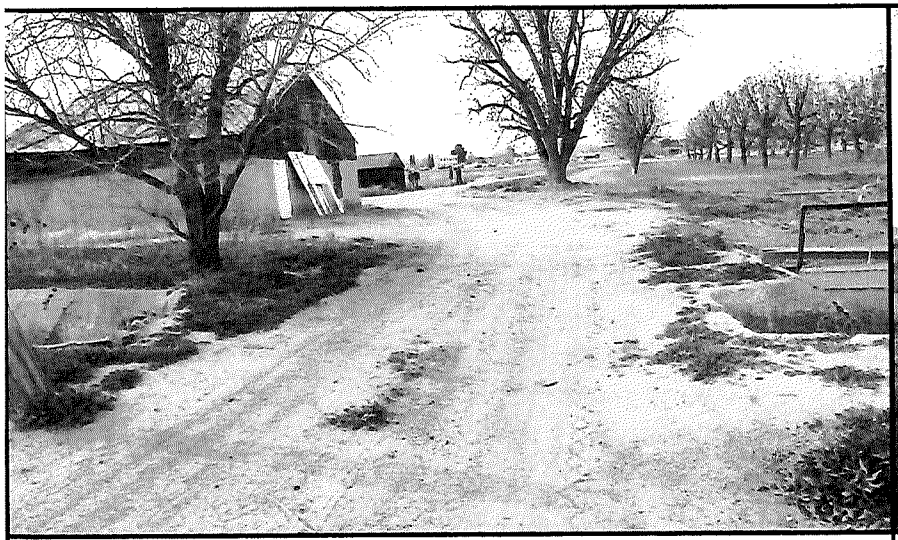
CONSTRUCTION REV 1	01/14/2020

REVISION

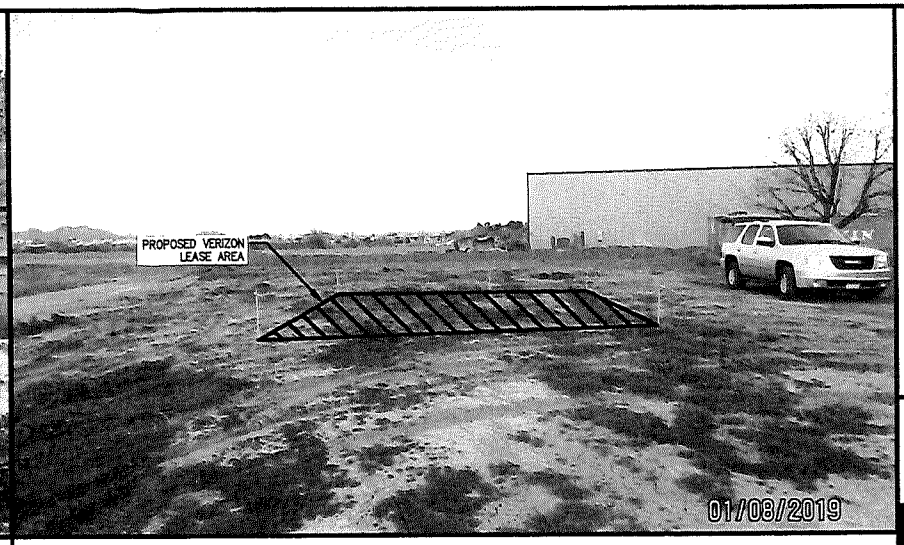
NO	DESCRIPTION	BY	DATE

SHEET TITLE:
ABBREVIATIONS AND SYMBOLS

SHEET NUMBER:
GN1



1 ACCESS ROAD AT DRAINGE DITCH
(VIEW LOOKING NORTHWEST)
SCALE: N.T.S.



2 PROPOSED LEASE AREA
(VIEW LOOKING NORTH)
SCALE: N.T.S.

3 PROPOSED LEASE AREA
(VIEW LOOKING EAST)
SCALE: N.T.S.

4 PROPOSED LEASE AREA
(VIEW TO WEST)
SCALE: N.T.S.

TYLER B BOLINGER
NEW MEXICO
23437
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01/14/2020

PE RENEWAL DATE DECEMBER 31, 2021

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ISSUED FOR:	DATE
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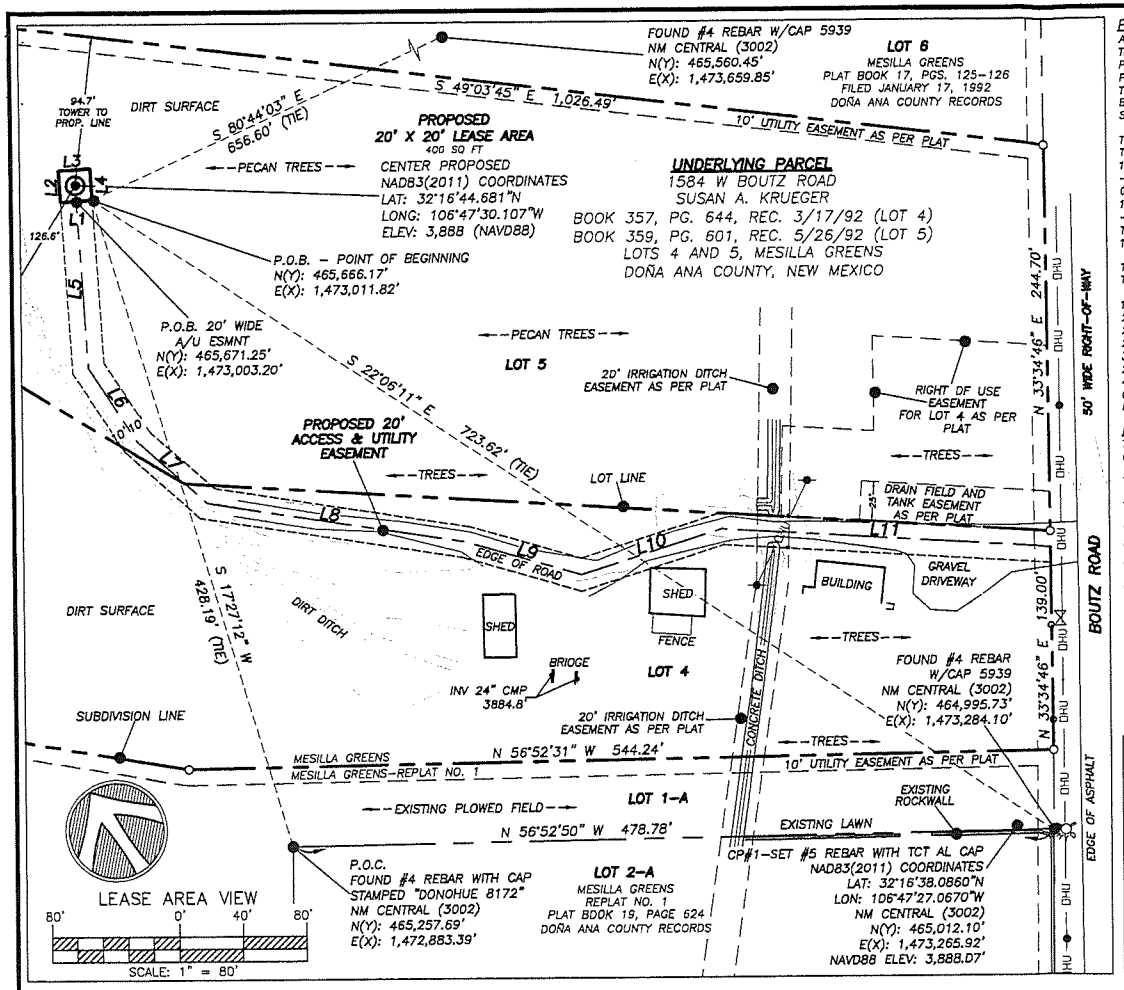
CONSTRUCTION REV 1	01/14/2020

REVISION

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
PHOTO SHEET

SHEET NUMBER:
PS1



NOTES

1. REFERENCE WAS MADE TO A REPORT OF TITLE BY US TITLE SOLUTIONS FILE NO.62480-NM1901-5030, REFERENCE NO. 286827 - LA POSTA SITE NAME LSC LA POSTA DATED 2/07/2019. THERE WERE NO EASEMENTS CALLED OUT AS EXCEPTIONS IN SCHEDULE B, ITEM 8 OF SAID REPORT OF TITLE.

2. CONTRACTOR BEARS FULL RESPONSIBILITY TO PROPERLY LOCATE UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION. SURVEYOR MAKES NO CLAIM, EXPRESSED OR IMPLIED, AS TO ANY UNDERGRDUND SITE CONDITIONS.

3. LESSEE BEARS FULL RESPONSIBILITY IN VERIFYING OWNERSHIP OR INTERESTS ATTACHED TO ANY PROPERTY INCLUDED WITHIN THE BOUNDARIES OF THE PROPOSED SUBJECT LEASE AREA OR ANY EXISTING OR PROPOSED EASEMENTS.

4. BASIS OF BEARINGS IS GRID NORTH, NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE 3002, NAD B3(2011). BASIS OF ELEVATION IS NAVD88 BASED ON TIED TO THE NATIONAL CORS USING GPS OBSERVATIONS.

LEGEND

- WATER METER
- T-POST
- FIRE HYDRANT
- POWER POLE
- DHU — OVERHEAD POWER LINE

PROPOSED LEASE AREA DESCRIPTION

A PARCEL OF LAND FOR A PROPOSED TELECOMMUNICATIONS LEASE AREA ("PROPOSED 20' X 20' LEASE AREA") WITHIN THAT UNDERLYING PARCEL DESCRIBED GENERALLY AS LOTS 4 AND 5, MESILLA GREENS, (PLAT RECORD BOOK 17, PAGES 125-126) AS THE SAID UNDERLYING PARCEL IS DESCRIBED IN WARRANTY DEEDS RECORDED IN BOOK 357, PAGE 644 RECORDED MARCH 17, 1992 (AS TO LOT 4); AND IN BOOK 359, PAGE 601 RECORDED MAY 26, 1992 (AS TO LOT 5), DOÑA ANA COUNTY DEED RECORDS; SAID PROPOSED 20' X 20' LEASE AREA LYING WITHIN SAID LOT 5 AND BEING MORE PARTICULARLY DESCRIBED WITH REFERENCE TO THE NAD83 NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (3002) AS FOLLOWS:

THE POINT OF BEGINNING ("P.O.B.") BEING THE SOUTHEASTERLY CORNER OF THE PROPOSED 20' X 20' LEASE AREA; THE SAME BEING MARKED WITH A 100D SPIKE AND TAG HAVING COORDINATES OF N(Y): 465,666.17', E(X): 1,473,011.82'; FROM WHICH FOR REFERENCE THE FOLLOWING ARE LOCATED:
-- A #4 REBAR WITH CAP STAMPED "DONOHUE 8172" FOUND FOR THE NORTHWEST CORNER OF LOT 2-A, MESILLA GREENS REPLAT No.1 (PLAT RECORD BOOK 19, PAGE 624) AND HAVING COORDINATES OF N(Y): 465,257.69', E(X): 1,472,883.39' BEARS SOUTH 17° 27' 12" WEST 428.19 FEET;
-- A #4 REBAR WITH CAP STAMPED "5939" FOUND IN THE NORTHWESTERLY RIGHT-OF-WAY LINE OF BOUTZ ROAD AT THE COMMON CORNER OF SAID LOTS 2-A AND LOT 4 AND HAVING COORDINATES OF N(Y): 464,995.73', E(X): 1,473,284.10' BEARS SOUTH 22° 06' 11" WEST 723.62 FEET;

THENCE, FROM SAID P.O.B. AND SOUTHEASTERLY CORNER OF THE PROPOSED 20' X 20' LEASE AREA, THE FOLLOWING FOUR (4) COURSES:

1. NORTH 59° 27' 11" WEST 20.00 FEET TO THE SOUTHWESTERLY CORNER OF THE PROPOSED 20' X 20' LEASE AREA (N(Y): 465,676.34', E(X): 1,472,994.59');
2. NORTH 30° 32' 49" EAST 20.00 FEET TO THE NORTHWESTERLY CORNER OF THE PROPOSED 20' X 20' LEASE AREA (N(Y): 465,693.56', E(X): 1,473,004.76');
3. SOUTH 59° 27' 11" EAST 20.00 FEET TO THE NORTHEASTERLY CORNER OF THE PROPOSED 20' X 20' LEASE AREA (N(Y): 465,683.40', E(X): 1,473,021.98');
4. SOUTH 30° 32' 49" WEST 20.00 FEET TO THE P.O.B. AND CONTAINING, IN ALL, 400 SQUARE FEET OF LAND; TOGETHER WITH A PROPOSED EASEMENT, 20' WIDE FOR ACCESS AND UTILITIES DESCRIBED BY CENTERLINE AS FOLLOWS:

PROPOSED 20' WIDE ACCESS & UTILITY EASEMENT, CENTERLINE DESCRIPTION

THE POINT OF BEGINNING ("P.O.B. ESMT") BEING THE MIDPOINT OF THE SOUTHERLY LINE OF THE HEREINABOVE DESCRIBED PROPOSED 20' X 20' LEASE AREA HAVING COORDINATES OF N(Y): 465,671.25', E(X): 1,473,003.20';

THENCE, SOUTH 30° 32' 49" WEST 105.92 FEET TO A POINT;

THENCE, SOUTH 01° 07' 10" WEST 55.78 FEET TO A POINT;

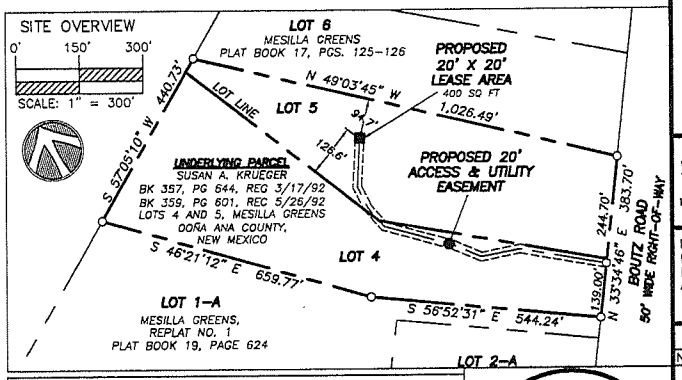
THENCE, SOUTH 13° 42' 21" EAST, AT 38.99 FEET CROSSING THE COMMON BOUNDARY LINE OF SAID LOTS 4 AND 5 AND ENTERING SAID LOT 5, CONTINUING A TOTAL DISTANCE OF 58.40 FEET TO A POINT;

THENCE, SOUTH 47° 00' 47" EAST 184.83 FEET TO A POINT;

THENCE, SOUTH 39° 39' 32" EAST 75.66 FEET TO A POINT;

THENCE, SOUTH 73° 52' 17" EAST 92.54 FEET TO A POINT;

THENCE, SOUTH 52° 25' 29" EAST 206.97 FEET, EXTENDING OR CONTRACTING AS NECESSARY TO TERMINATE AT A POINT IN THE NORTHWESTERLY RIGHT-OF-WAY LINE OF BOUTZ ROAD AT A POINT IN THE SOUTHEASTERLY BOUNDARY LINE OF SAID LOT 4 (N(Y): 465,144.97', E(X): 1,473,383.91'); FROM WHICH THE COMMON CORNER OF SAID LOTS 4 AND 5 ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF BOUTZ ROAD BEARS NORTH 33° 34' 46" EAST 10.02 FEET.



CERTIFICATION

I HEREBY CERTIFY THAT THIS PROPOSED LEASE AREA SURVEY EXHIBIT WAS PREPARED BY ME AND THAT THE INFORMATION PRESENTED HEREON IS TRUE AND CORRECT TO BEST OF MY KNOWLEDGE AND BELIEF. THIS IS NOT A BOUNDARY SURVEY OF THE UNDERLYING PARCEL. THIS IS NOT A LAND SUBDIVISION ACCORDING TO THE NEW MEXICO LAND SUBDIVISION ACT. (FIELD 4-01-2019) 02-01-2019

CHRISTIAN A. CLAUSEN, NMPLS, RPLS
(TX 5511-NM 16467-AZ 36621)
5328 COUNTRY OAKS DRIVE, EL PASO, TX 79932 PH: 915-355-9482
FOR AND ON BEHALF OF: KGI WIRELESS, BUILDING THREE, SUITE 370
805 LAS CIMAS PARKWAY, AUSTIN, TEXAS 78746
WWW.KGIWIRELESS.COM - PH: 512.345.9595

CHRISTIAN A. CLAUSEN
NEW MEXICO
16467
LICENSED PROFESSIONAL SURVEYOR

TOPOGRAPHIC & PROPOSED LEASE AREA SURVEY

DEPICTING EXISTING TOPOGRAPHY AND A PROPOSED LEASE AREA LOCATED WITHIN AND BEING A PART OF THAT UNDERLYING PARCEL KNOWN AS LOTS 4 AND 5, MESILLA GREENS, DOÑA ANA COUNTY, NEW MEXICO (DEED REF: BOOK 357, PG. 644, REC. 3/17/92 AND BOOK 359, PG. 601, REC. 5/26/92)

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 59°27'11" W	20.00'
L2	N 30°32'49" E	20.00'
L3	S 59°27'11" E	20.00'
L4	S 30°32'49" W	20.00'
L5	S 30°32'49" W	105.92'
L6	S 01°07'10" W	55.78'
L7	S 13°42'21" E	58.40'
L8	S 47°00'47" E	184.83'
L9	S 39°39'32" E	75.66'
L10	S 73°52'17" E	92.54'
L11	S 52°25'29" E	206.97'

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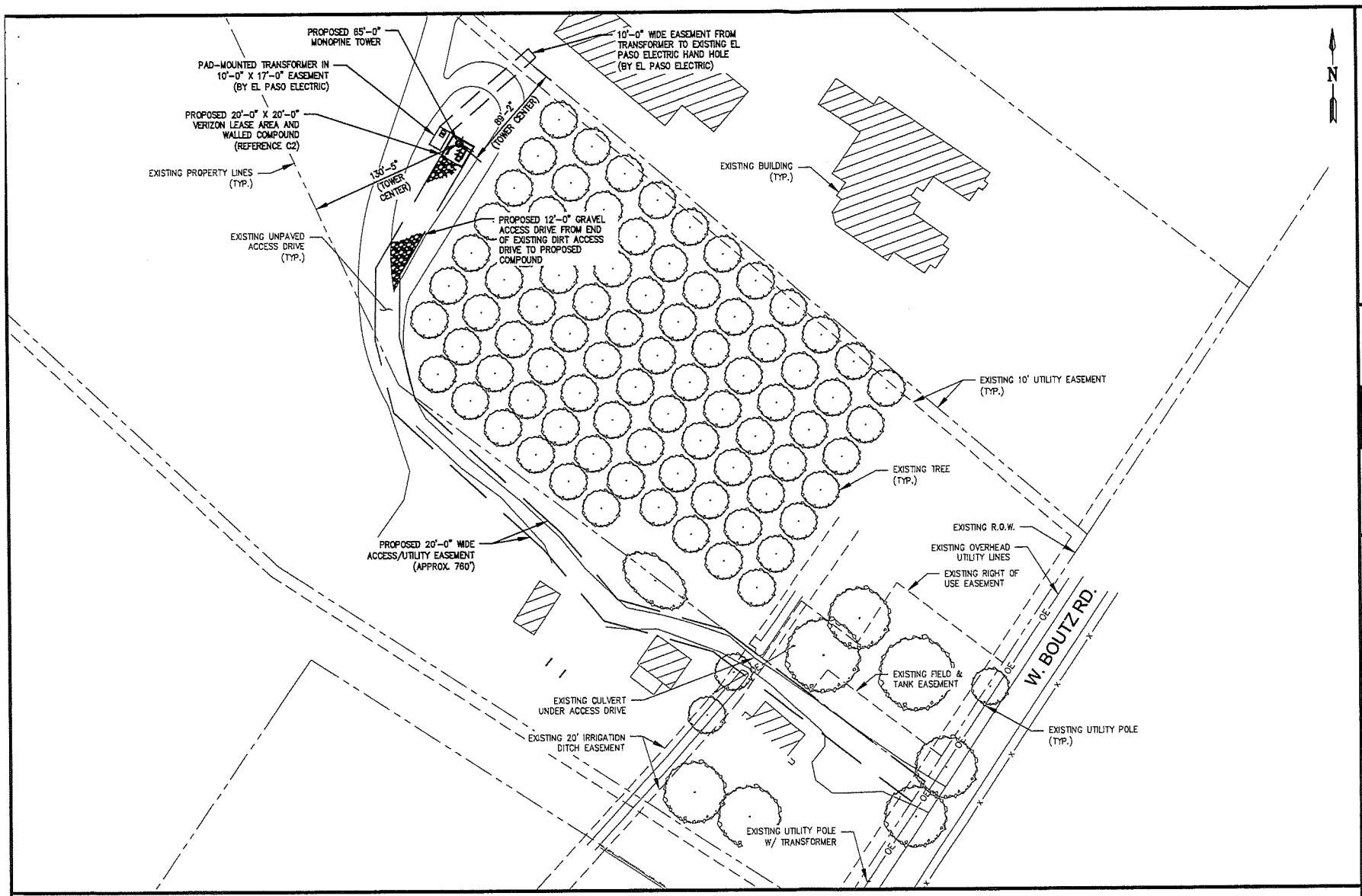
ISSUED FOR:	DATE
REVIEW REV A	02/06/2019
FINALIZE W TITLE REVIEW	03/03/2019
ADD OFFSET DIM'S TOWER	04/01/2019

REVISION

NO	DESCRIPTION	BY	DATE

SHEET TITLE:

SHEET NUMBER:



811 Know what's **below.** **Call** before you dig.

1 OVERALL SITE PLAN

SCALE: 1"= 40'-0"

0 20' 40' 120'

TYLER B BOLINGER
NEW MEXICO
23437
REGISTERED PROFESSIONAL ENGINEER
01/14/2020

PE RENEWAL DATE DECEMBER 31, 2021

verizon

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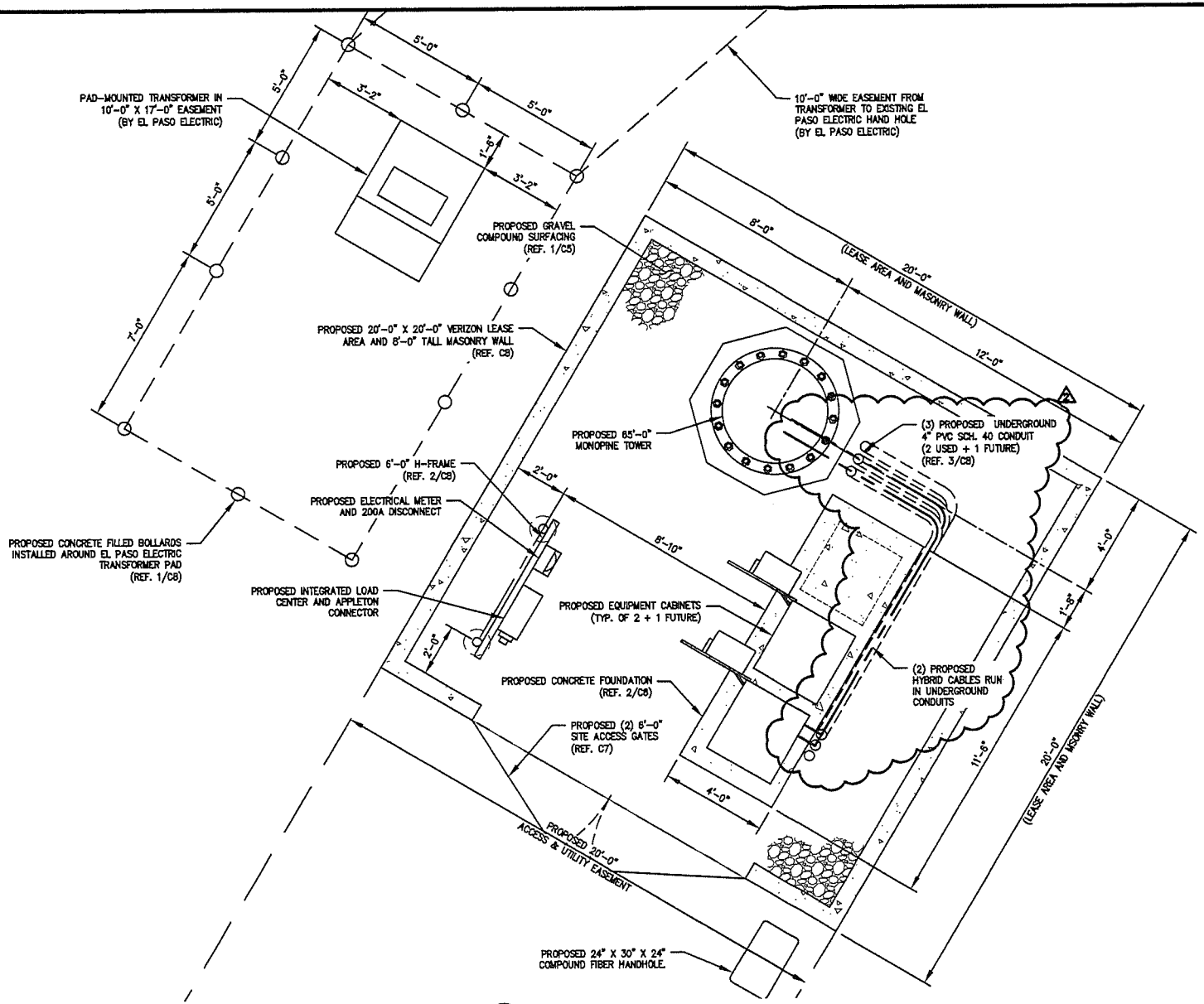
CONSTRUCTION REV 1	01/14/2020

REVISION

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C1



1 DETAILED SITE PLAN

SCALE: 1/4"= 1'-0"

0 6" 1' 2' 4' 8' 12'

TYLER B BOLINGER
NEW MEXICO
23437
REGISTERED PROFESSIONAL ENGINEER
04/10/2020

PE RENEWAL DATE DECEMBER 31, 2021

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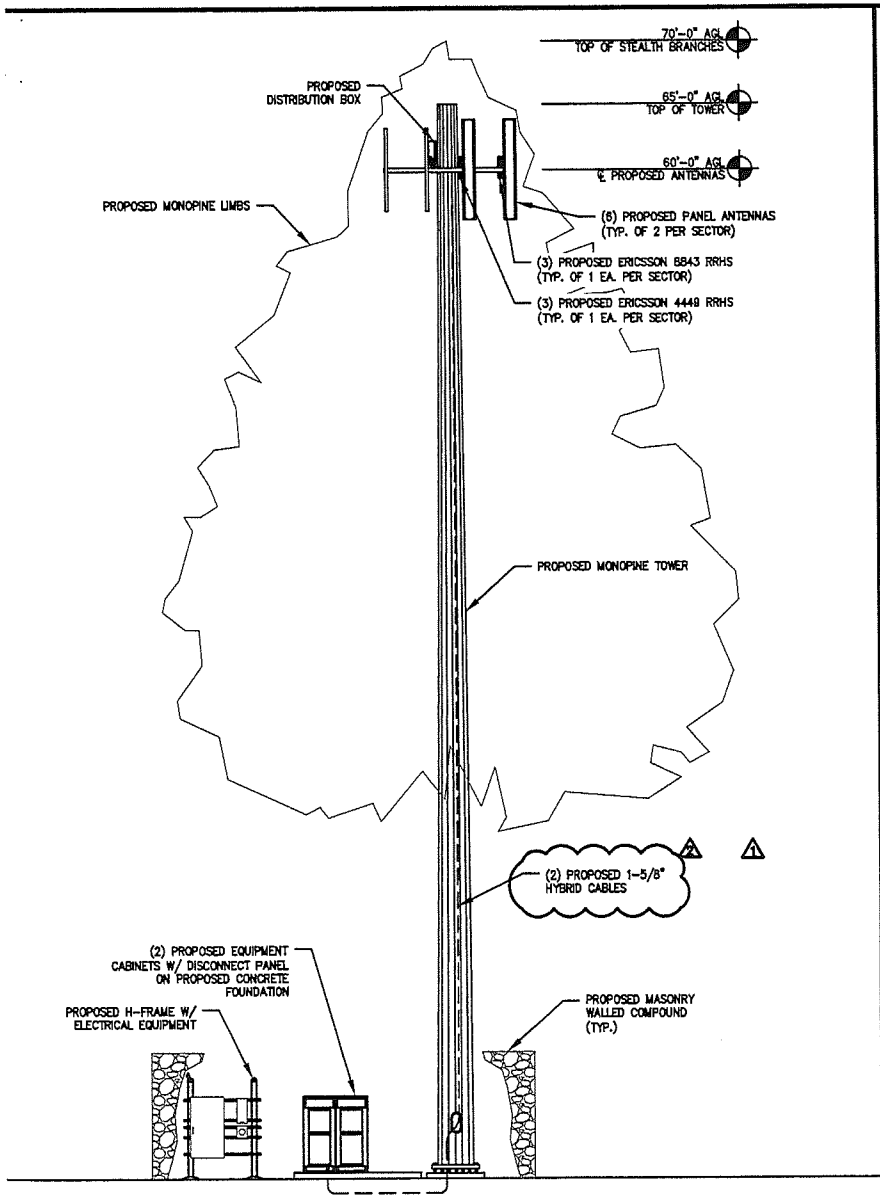
ISSUED FOR:	DATE
CONSTRUCTION REV 0	08/19/2019
CONSTRUCTION REV 1	01/14/2020
CONSTRUCTION REV 2	04/10/2020

REVISION

NO	DESCRIPTION	BY	DATE
1	REMOVE ICE BRIDGE	MJR	01/14/20
2	ADDED CABLE/CONDUIT	MJR	04/10/20

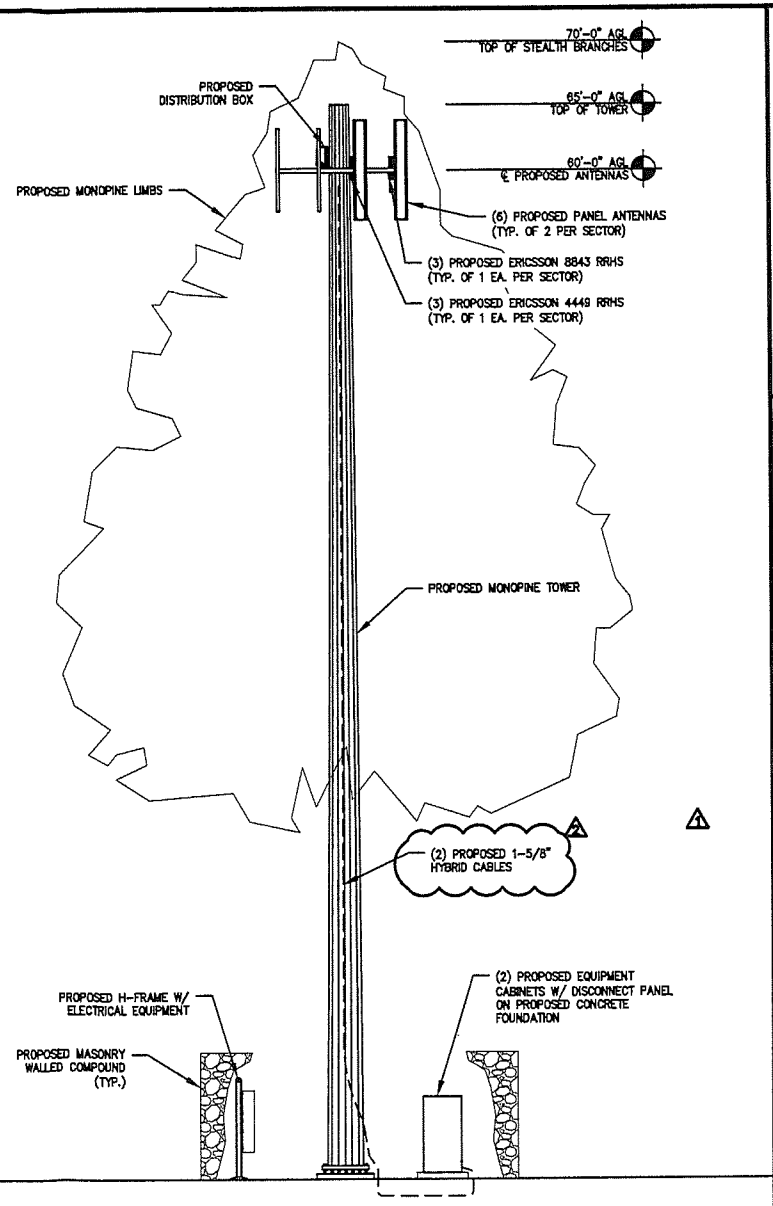
SHEET TITLE:
DETAILED SITE PLAN

SHEET NUMBER:
C2



1 EAST VIEW

SCALE: N.T.S.



2 SOUTH VIEW

SCALE: N.T.S.

TYLER B BOLINGER
NEW MEXICO
23437
REGISTERED PROFESSIONAL ENGINEER
04/10/2020

PE RENEWAL DATE DECEMBER 31, 2021

verizon

KGI

KGI WIRELESS, INC.
605 LAS CIMAS PKWY
BUILDING THREE, SUITE 370
AUSTIN, TX 78746
TEL: 512.345.9595
FAX: 512.345.9898

SITE NAME:
LSC LA POSTA

LOCATION CODE:
286827

SITE ADDRESS:
1584 W. BOUTZ RD.
MESILLA, NM 88046

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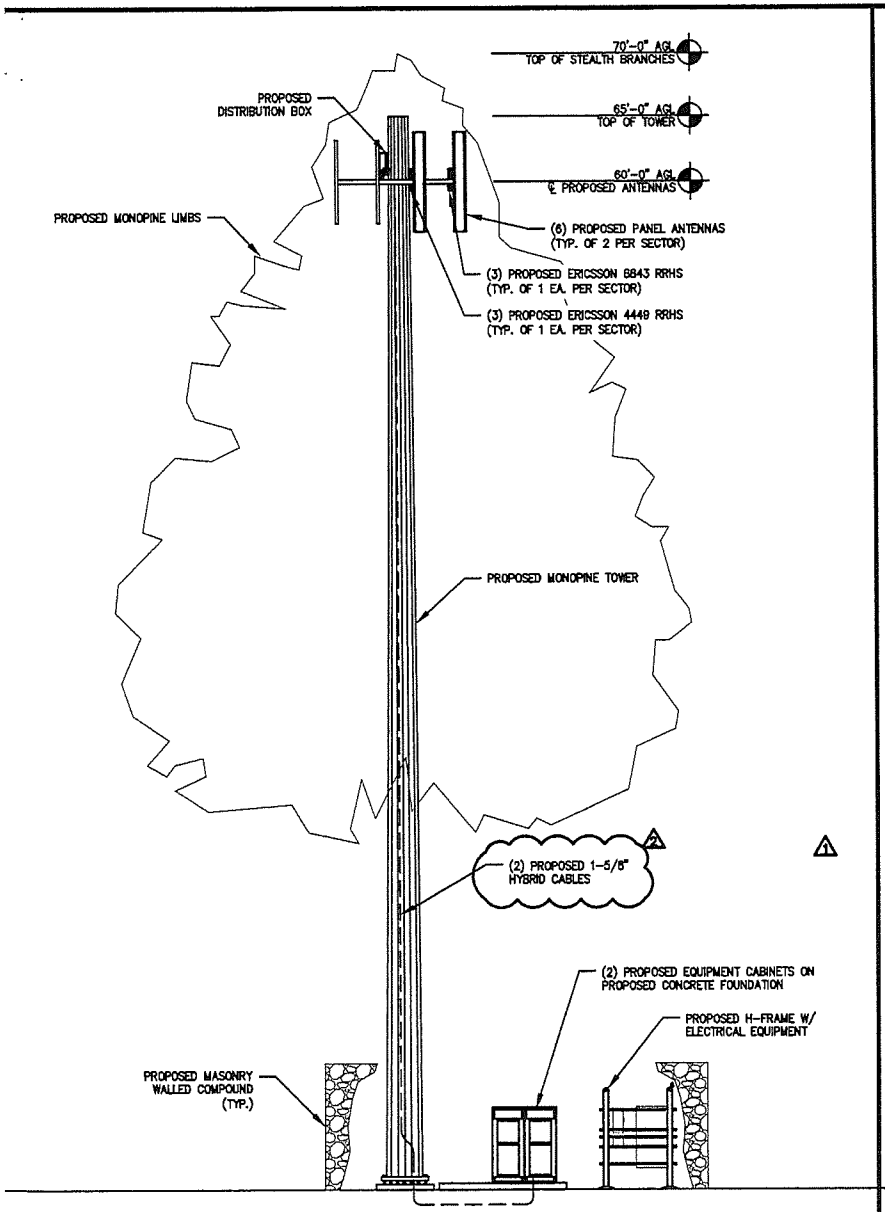
ISSUED FOR:	DATE
CONSTRUCTION REV 0	08/19/2019
CONSTRUCTION REV 1	01/14/2020
CONSTRUCTION REV 2	04/10/2020

REVISION

NO	DESCRIPTION	BY	DATE
1	REMOVE ICE BRIDGE	MJR	01/14/20
2	ADDED ADDITIONAL CABLE	MJR	04/10/20

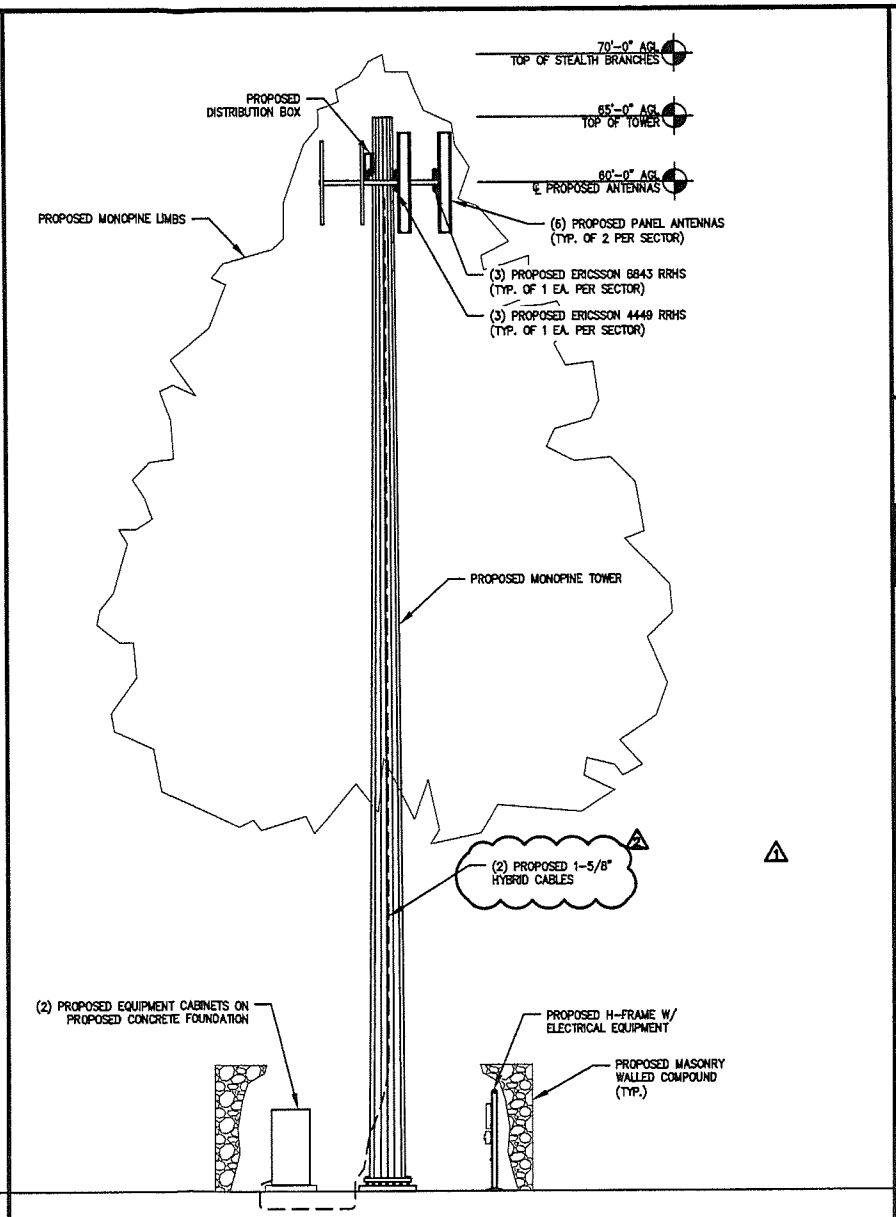
SHEET TITLE:
TOWER ELEVATION

SHEET NUMBER:
C3



1 WEST VIEW

SCALE: N.T.S.



2 NORTH VIEW

SCALE: N.T.S.

TYLER B BOLINGER
NEW MEXICO
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REGISTERED PROFESSIONAL ENGINEER
04/10/2020

PE RENEWAL DATE DECEMBER 31, 2021

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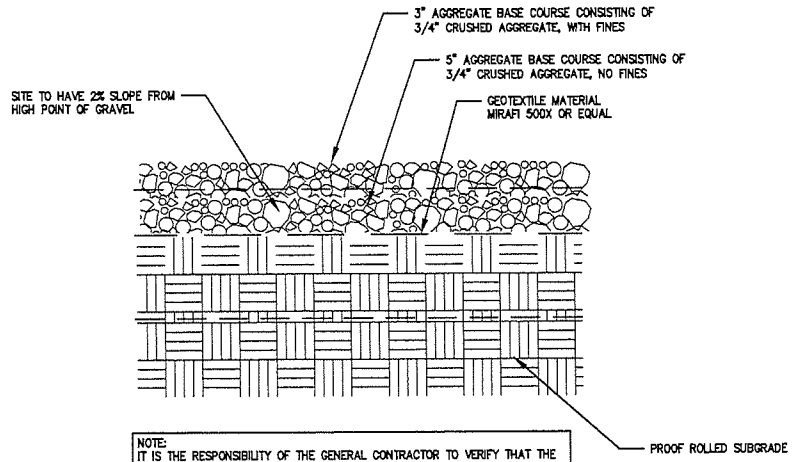
CONSTRUCTION REV 2	04/10/2020

REVISION

NO	DESCRIPTION	BY	DATE
1	REMOVE ICE BRIDGE	MJR	01/14/20
2	ADDED ADDITIONAL CABLE	MJR	04/10/20

SHEET TITLE:
TOWER ELEVATION

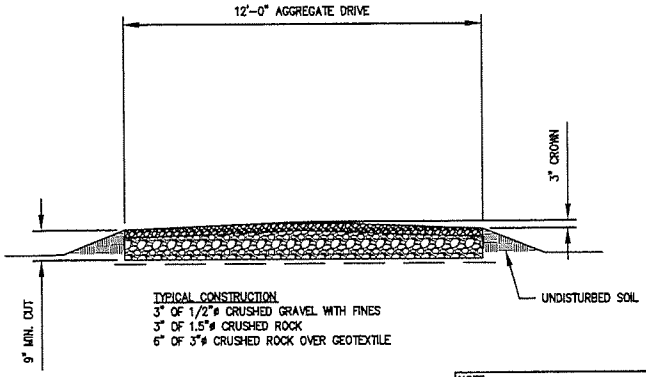
SHEET NUMBER:
C4



NOTE:
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THAT THE LIMESTONE IS UNIFORMLY WHITE IN COLOR AFTER PLACEMENT.
CONTRACTOR SHALL GRADE SITE TO DRAIN AWAY FROM FOUNDATION LOCATIONS.

1 COMPOUND SURFACING

SCALE: N.T.S.



NOTE:
ANY VARIANCE FROM THIS TYPICAL SECTION MUST BE SUBMITTED AND APPROVED PRIOR TO BID.
REFER TO GRADING PLAN FOR ELEVATION CHANGES.

2 ACCESS DRIVE SECTION

SCALE: N.T.S.

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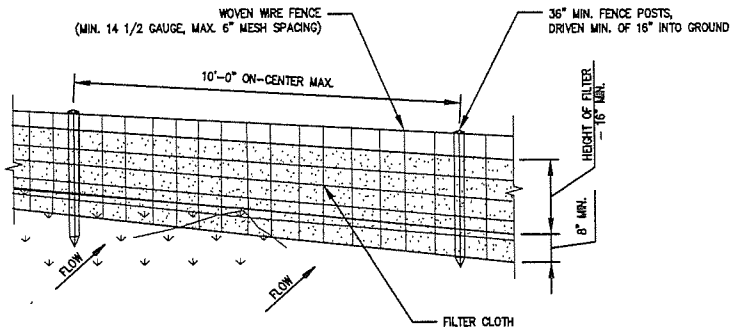
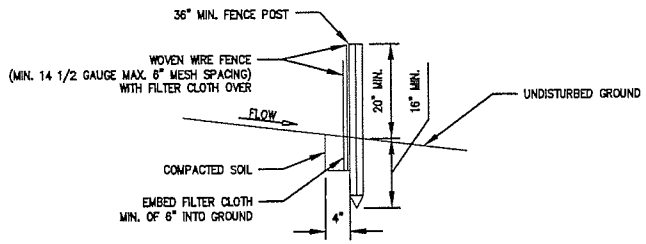
REVISION

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
CIVIL DETAILS

SHEET NUMBER:
C5





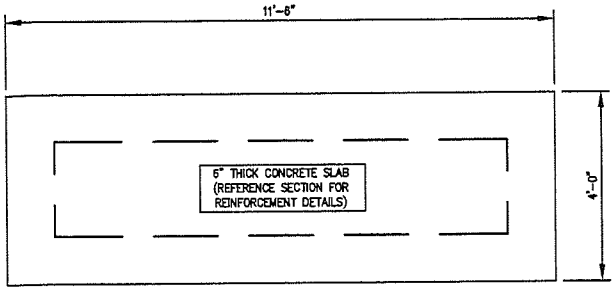
POSTS:	STEEL EITHER "T" OR "U" TYPE OR 2"
HARDWOOD FENCE:	WOVEN WIRE, 14 1/2 GA., 6" MAX. MESH OPENING
FILTER CLOTH:	FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
PREFABRICATED UNIT:	GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

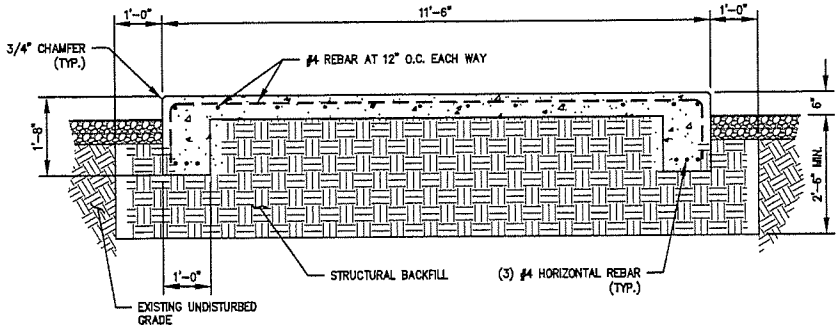
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

1 SILT FENCE DETAIL

SCALE: N.T.S.



PLAN VIEW



SECTION VIEW

NOTES:
1. REFER TO CIVIL/STRUCTURAL NOTES FOR CONCRETE AND REBAR SPECIFICATIONS.
2. 3" MIN. REBAR CLEAR COVER REQUIRED ON SIDES AND BOTTOM OF PAD. 2" MIN. REBAR CLEAR COVER REQUIRED ON TOP OF PAD.

2 EQUIPMENT PAD DETAILS

SCALE: 3/8"= 1'-0"

0 6" 1' 2' 4' 8'

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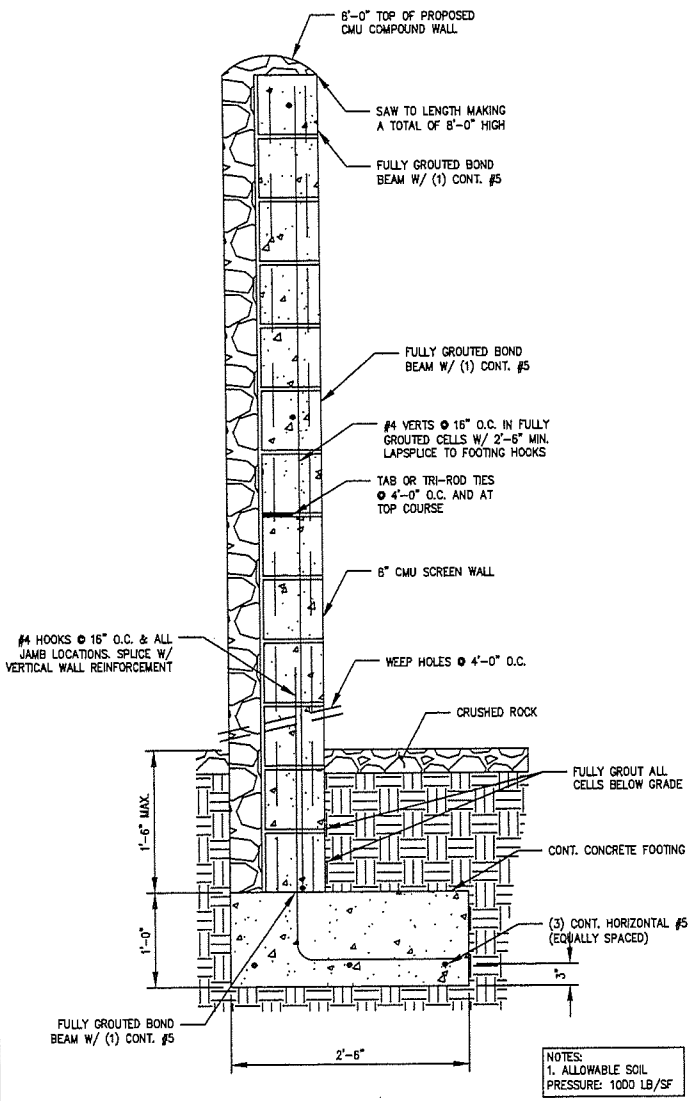
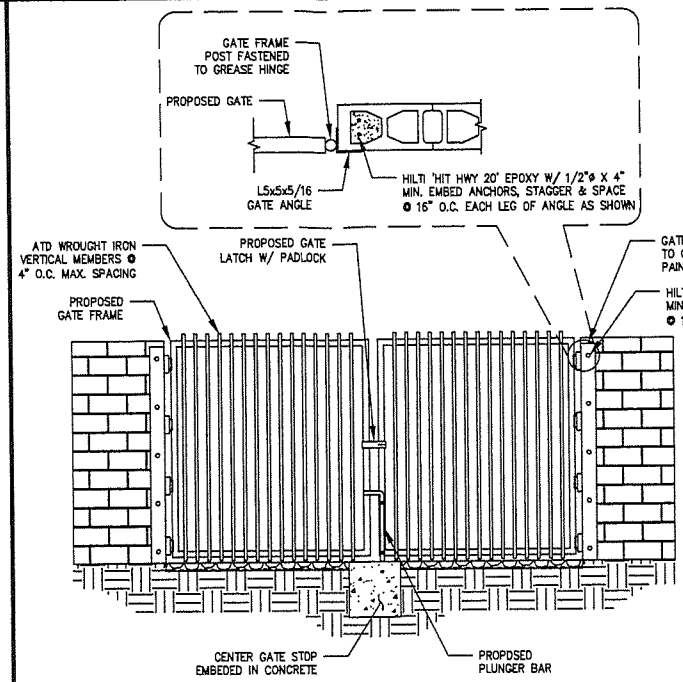
SHEET TITLE:
CIVIL DETAILS

SHEET NUMBER:
C6



1 CMU WALL SECTION

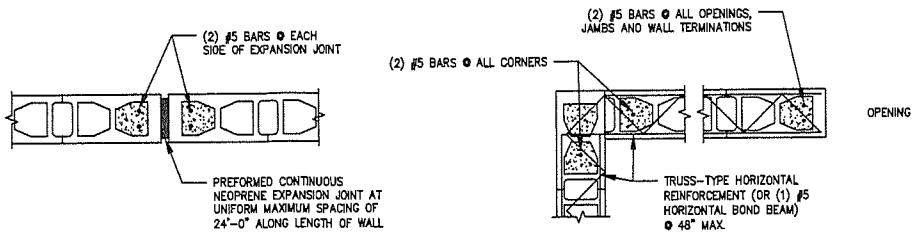
SCALE: N.T.S.



WROUGHT IRON SPECIFICATIONS:	
GATE POST	4" X 4" TUBE STEEL 12 GAUGE FOR GATE WIDTHS UP TO 6'-0"
LINE POST	3" X 3" TUBE STEEL 14 GAUGE WITH 8'-0" MAX. SPACING BETWEEN POSTS
CORNER POST	3" X 3" TUBE STEEL 14 GAUGE
TOP/BOTTOM RAIL	1.50" X 1.38" X 1.50" STEEL U CHANNEL 11 GAUGE
GATE FRAME	2" X 2" TUBE STEEL 14 GAUGE
GATE LATCH	1.375" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK. CONTRACTOR TO INSTALL (2) GATE HOLDBACKS TO HOLD GATE OPEN DURING USE.
VERTICAL MEMBERS	3/4" X 3/4" TUBE STEEL 18 GAUGE MIN.

2 WROUGHT IRON GATE DETAIL

SCALE: N.T.S.



3 CMU EXPANSION DETAIL
CORNER & JAMB DETAIL

SCALE: N.T.S.

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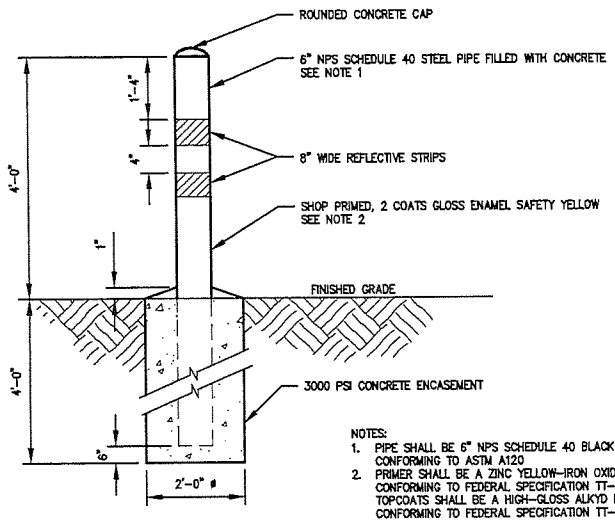
SHEET TITLE:
CIVIL DETAILS

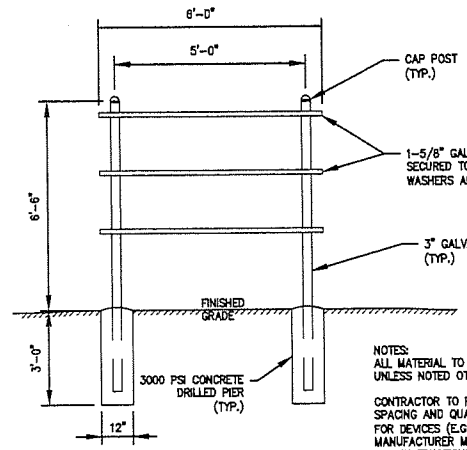
SHEET NUMBER:
C7



NOTES:
1. PIPE SHALL BE 6" NPS SCHEDULE 40 BLACK STEEL PIPE CONFORMING TO ASTM A120
2. PRIMER SHALL BE A ZINC YELLOW-IRON OXIDE-BASE PAINT CONFORMING TO FEDERAL SPECIFICATION TT-P-57, TYPE II. TOPCOATS SHALL BE A HIGH-GLOSS ALKYD ENAMEL PAINT CONFORMING TO FEDERAL SPECIFICATION TT-E-489

1 TYP. BOLLARD DETAIL

SCALE: N.T.S.



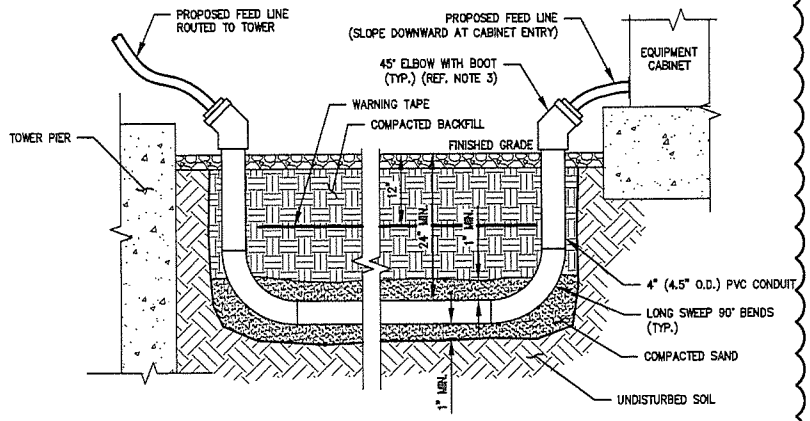
NOTES:
ALL MATERIAL TO BE GALVANIZED UNLESS NOTED OTHERWISE

CONTRACTOR TO FIELD VERIFY UNISTRUT SPACING AND QUANTITY AS REQUIRED FOR DEVICES (E.G. METER BASE), MANUFACTURER MOUNTING DIMENSIONS AND INSTRUCTIONS

2 H-FRAME DETAIL

SCALE: N.T.S.

NOTES:
1. CONTRACTOR SHALL INSTALL PULL STRING IN ALL CONDUITS.
2. CONTRACTOR SHALL CAP AND SEAL UNUSED CONDUIT TO WEATHER TIGHT CONDITION.
3. CONTRACTOR SHALL INSTALL CABLE ENTRY PORT BOOT AND APPROPRIATE CUSHION INSERT ON USED CONDUIT AND SEAL TO WEATHER TIGHT CONDITION WITH CLEAR UV RESISTANT SILICON CAULKING. (SITEPRO1 PART# B450 OR EQUAL)
4. MULTIPLE CONDUITS MAY BE RUN STACKED OR SIDE BY SIDE, WITH MINIMUM 1" SEPARATION.
5. CONTRACTOR TO SIZE CONDUIT BENDS TO ENSURE THAT MINIMUM FEED LINE BEND RADIUS IS MAINTAINED



3 FEEDLINE CONDUIT TRENCH DETAIL

SCALE: N.T.S.

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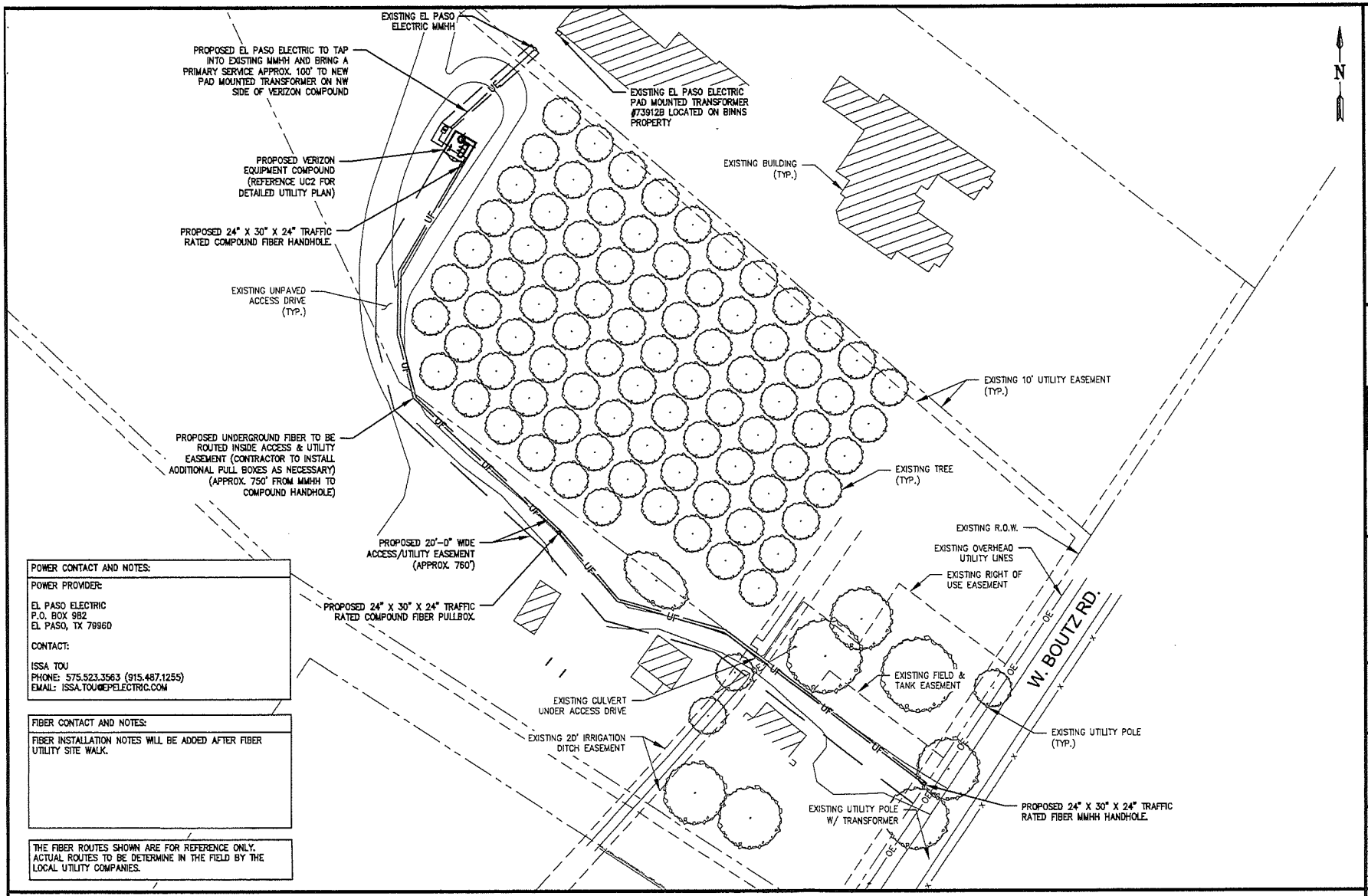
REVISION

NO	DESCRIPTION	BY	DATE
1	ADDED DETAILS 2 & 3	MJR	01/14/20

SHEET TITLE:
CIVIL DETAILS

SHEET NUMBER:
C8



POWER CONTACT AND NOTES:
POWER PROVIDER: EL PASO ELECTRIC P.O. BOX 982 EL PASO, TX 79960 CONTACT: ISSA TOU PHONE: 575.523.3563 (915.487.1255) EMAIL: ISSA.TOU@EPELECTRIC.COM

FIBER CONTACT AND NOTES:
FIBER INSTALLATION NOTES WILL BE ADDED AFTER FIBER UTILITY SITE WALK.

THE FIBER ROUTES SHOWN ARE FOR REFERENCE ONLY. ACTUAL ROUTES TO BE DETERMINE IN THE FIELD BY THE LOCAL UTILITY COMPANIES.

SITE POWER
SINGLE PHASE
120 / 240 VAC 60 HZ
200 AMPS

1 UTILITY COORDINATION OVERALL SITE PLAN

SCALE: N.T.S.

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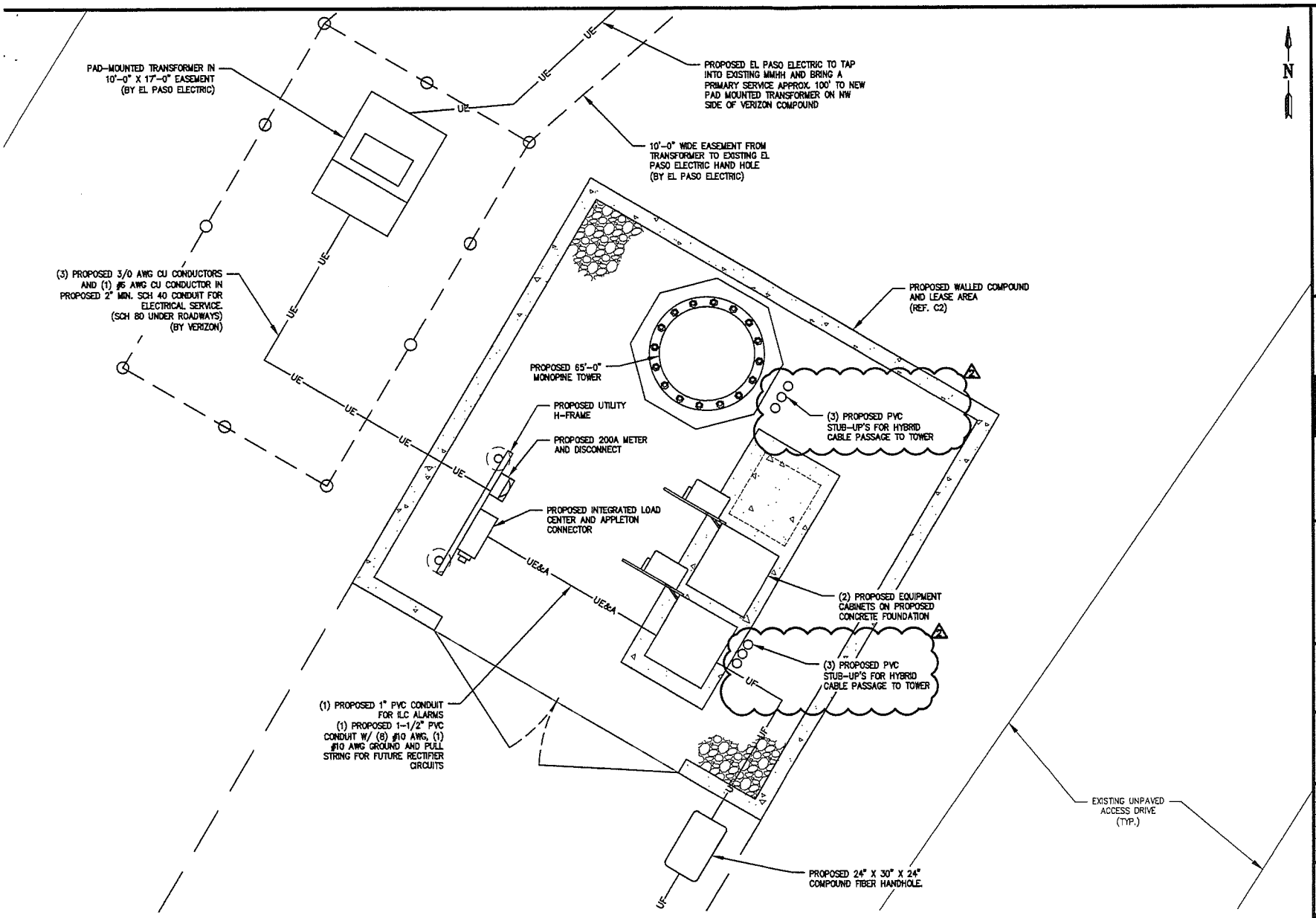
REVISION

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
UTILITY COORDINATION SITE PLAN

SHEET NUMBER:
UC1



1 UTILITY COORDINATION SITE PLAN

SCALE: N.T.S.

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REVISION

NO	DESCRIPTION	BY	DATE
1	REMOVE ICE BRIDGE	MJR	01/14/20
2	ADDED CONDUIT	MJR	04/10/20

SHEET TITLE:
UTILITY COORDINATION SITE PLAN

SHEET NUMBER:
UC2

GENERAL ELECTRICAL NOTES:

1. CONTRACTOR SHALL COMPLY WITH UTILITIES ELECTRICAL SERVICE SPECIFICATIONS. OBTAIN A COPY AS NEEDED.
2. THE ELECTRICAL INSTALLATION WORK SHALL COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES APPLICABLE TO ELECTRICAL WORK.
3. ARC FLASH HAZARD WARNING SIGNS
   PER NEC ARTICLE 110.16, EACH OF THE FOLLOWING DEVICES SHALL HAVE A PERMANENT LABEL OR SIGN AFFIXED WARNING QUALIFIED PERSONS OF POTENTIAL ARC FLASH HAZARDS: SERVICE CUTTER-BOXES, METER ENCLOSURES, DISCONNECTS, TRANSFORMERS, DOWN-STREAM OR SERVICE EQUIPMENT, TRANSFER SWITCHES, DISTRIBUTION PANEL BOARDS, ANY OTHER DEVICES THAT ARE INSTALLED AND ARE SPECIFIED IN NEC ARTICLE 110.16. THIS LABEL OR SIGN SHALL MEET THE GUIDELINES FOR SAFETY SIGNS SPECIFIED IN THE CURRENT REVISION OF ANSI Z535.4
4. CONTRACTOR SHALL VISIT SITE AND VERIFY EXISTING CONDITIONS BEFORE BEGINNING WORK.
5. ALL MATERIAL AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
6. ALL WORK TO BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK.
8. ALL BRANCH CIRCUIT CONDUCTORS SHALL BE COPPER TYPE "TH".
   #12, AND #10 SOLID, #8 AND LARGER STRANDED.
9. CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS TO THE VERIZON WIRELESS PROJECT MANAGER UPON COMPLETION OF THE JOB.
10. ELECTRICAL WORK SHALL INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED, INCLUDING, BUT NOT LIMITED TO, COMPLETE ELECTRICAL SYSTEMS, POWER AND LIGHTING, TELEPHONE CONDUIT SYSTEM, SIGNAL SYSTEMS, PANEL BOARDS, CONTROL WIRING, GROUNDING, CONDUIT ONLY SYSTEMS, ETC., AS INDICATED ON ELECTRICAL DRAWINGS AND/OR REQUIRED BY GOVERNING CODES.
11. PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS AND REQUIREMENTS ON THE JOB, AND BY REFERENCE TO ARCHITECTURE, AND EQUIPMENT SUPPLIERS DRAWINGS. SHOULD THERE BE ANY QUESTIONS OR PROBLEMS CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS FROM THE VERIZON WIRELESS PROJECT MANAGER SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
12. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS, ELECTRICAL SERVICE REQUIREMENTS AND COORDINATE ALL INTERCONNECTION REQUIREMENTS WITH LOCAL UTILITY AS NECESSARY.
13. THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS.
14. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.
15. THE CONSTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE, STATE OF TEXAS ELECTRICAL SAFETY ORDERS, ALL CODES AND ORDINANCES AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION OVER THIS WORK.

GENERAL GROUNDING NOTES:

1. CONTRACTOR TO COMPLY WITH VERIZON WIRELESS CELL SITE GROUNDING & BONDING SPECIFICATIONS. IN THE EVENT THAT DRAWINGS CONFLICT WITH VERIZON WIRELESS SPECIFICATIONS, VERIZON WIRELESS SPECIFICATIONS SHALL GOVERN.
2. ALL DETAILS ARE SHOWN IN GENERAL TERMS, ACTUAL GROUNDING INSTALLATION AND MOUNTING MAY VARY DUE TO SITE SPECIFIC CONDITIONS, XIT GROUND MAY BE REQUIRED.
3. GROUND RODS SHALL BE COPPER CLAD STEEL, 5/8"ø X 8'-0" LONG.
4. INSTALL GROUND AND BONDING CONDUCTORS WITH SUFFICIENT SLACK TO AVOID BREAKING DUE TO SETTLEMENT AND MOVEMENT OF CONDUCTORS AT ATTACHED POINTS.
5. RESISTANCE TO GROUND SHALL NOT EXCEED 5 OHMS MEASUREMENT. ADDITIONAL GROUND RODS OR XIT GROUND SHALL BE PROVIDED TO ATTAIN THIS VALUE OR LESS. WHERE MULTIPLE RODS ARE INSTALLED, THEY SHALL BE SPACED BETWEEN 8 AND 16 FEET APART.
6. ALL GROUNDING CONDUCTORS SHALL BE U.L. LISTED FOR THEIR PURPOSE.
7. ALL GROUND CONNECTIONS TO GROUND BARS SHALL BE U.L. 467 LISTED, IRREVERSIBLE COMPRESSION TYPE.
8. ALL CONNECTIONS TO GROUND BARS SHALL BE COATED WITH ANTIOXIDANT COMPOUND.
9. PROVIDE ONE-TIME HIT 1lb HAMMER TEST ON ALL CADWELDS.
10. ALL EXTERIOR GROUND BARS SHALL BE GALVANIZED STEEL.

1 ELECTRICAL AND GROUNDING NOTES

SCALE: N.T.S.

TYLER B BOLINGER
NEW MEXICO
23437
REGISTERED PROFESSIONAL ENGINEER
01/14/2020

PE RENEWAL DATE DECEMBER 31, 2021

verizon

KGI

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805 LAS CIMAS PKWY
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AUSTIN, TX 78746
TEL: 512.345.9595
FAX: 512.345.9898

SITE NAME:
LSC LA POSTA

LOCATION CODE:
286827

SITE ADDRESS:
1584 W. BOUTZ RD.
MESILLA, NM 88046

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ISSUED FOR:	DATE
CONSTRUCTION REV 0	08/19/2019
CONSTRUCTION REV 1	01/14/2020

REVISION

NO	DESCRIPTION	BY	DATE

SHEET TITLE:
ELECTRICAL AND GROUNDING NOTES

SHEET NUMBER:
E1

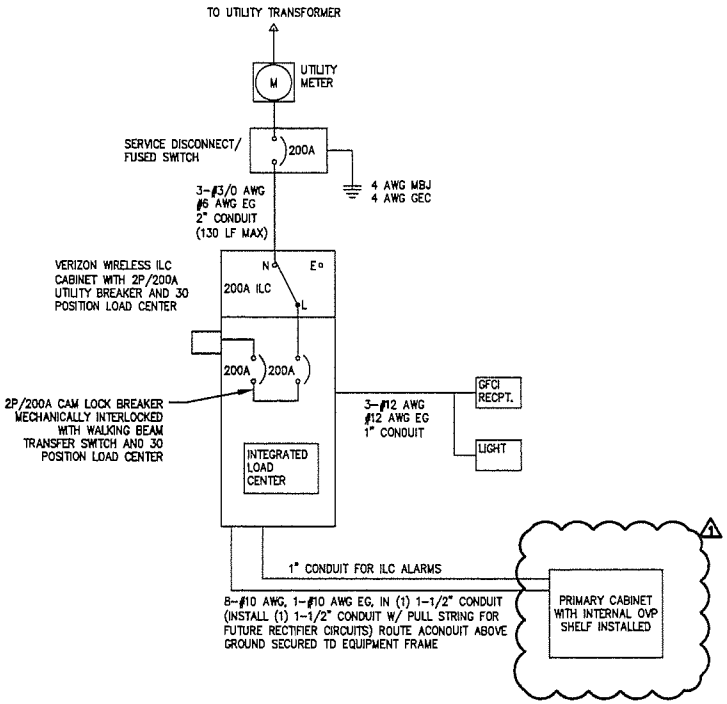
LOAD CALCULATION	
LOAD	AMPS
PROPOSED LOAD:	160.0
TOTAL DEMAND:	160.0
VOLTAGE: 120/240V SINGLE PHASE 3W 200A	

PANEL NAME:	PARALELL PANEL				MODEL NUMBER:	ASCO D300L SERIES										
RATED VOLTAGE:	240	120	VOLTS		PHASE/WIRE:	1	3									
PANEL BREAKER:	200	AMPS			BUS RATING:	200					KEY DOOR LATCH:	YES				
MOUNT:	SURFACE				NEUTRAL BAR:	YES					HINGED DOOR:	YES				
ENCOLSURE TYPE:	NEMA 3R				AIC:	65K										
POS	USAGE FACTOR	BUS AMPS L1	BUS AMPS L2	LOAD	POLES	AMPS	L1	L2	AMPS	POLES	LOAD	BUS AMPS L1	BUS AMPS L2	USAGE FACTOR	POS	
1	1	18		RECTIFIER	2	30A			30A	2	FUTURE RECTIFIER	18		1	2	
3	1		18										18	1	4	
5	1	18		RECTIFIER	2	30A			30A	2	FUTURE RECTIFIER	18		1	6	
7	1		18										18	1	8	
9	1	18		RECTIFIER	2	30A			30A	2	FUTURE RECTIFIER	18		1	10	
11	1		18										18	1	12	
13	1	18		RECTIFIER	2	30A			30A	2	FUTURE RECTIFIER	18		1	14	
15	1		18										18	1	16	
17	1,25	16		GFI RECEPT./LIGHT	1	20A									18	
19															20	
21															22	
23															24	
25															26	
27															28	
29															30	
		88	72	:SUB TOTAL AMPS							SUB TOTAL AMPS:	72	72			
											FACTORED TOTAL AMPS:	160	144			

NOTES:
1. ALL CONDUCTORS ARE TYPE THWN (75°C) COPPER.
2. MAXIMUM LENGTH OF RUN FOR RECTIFIER CIRCUITS IS 50FT.
3. ASCO INTEGRATED LOAD CENTER INCLUDES 200 AMP MAIN DISCONNECT AND TRANSFER SWITCH FOR PORTABLE OR PERMANENT GENERATOR.
4. RECTIFIER LOADS ARE CONSIDERED TO BE NON-CONTINUOUS.

2 PANEL SCHEDULE

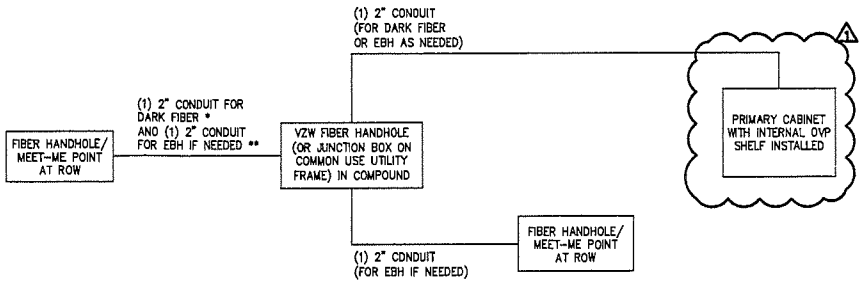
SCALE: N.T.S.



NOTES:
1. ALL EQUIPMENT SHALL BE NEMA 3R RATED
2. ALL EQUIPMENT SHALL BE LIGHTNING PROTECTED IN ACCORDANCE WITH TIA-222-G AND VERIZON WIRELESS STANDARDS
3. CONDUCTOR SIZES AND DISTANCES HAVE BEEN SIZED FOR 3% MAX VOLTAGE DROP (TOTAL SYSTEM VOLTAGE DROP ON BOTH FEEDERS AND BRANCH CIRCUITS TO THE FARTHEST DEMAND SHALL NOT EXCEED 5%)
4. WIRE SIZING AND MAXIMUM DISTANCE FROM GENERATOR TO ILC ASSUMES POWER FACTOR OF 0.9
5. BELOW GRADE CONDUIT SHALL BE SCHEDULE 80 PVC. ABOVED GRADE CONDUIT SHALL BE GALVANIZED RIGID CONDUIT. BELOW GRADE PVC CONDUIT SHALL TRANSITION TO GRC PRIOR TO RISING ABOVE GRADE. ALL BENDS SHALL HAVE A MINIMUM 24" RADIUS. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. VERIFY CONDUIT TYPE WITH LOCAL CONSTRUCTION MANAGER AND ADJUST IF NECESSARY. ALL CONDUIT SHALL MEET NEC, STATE, AND LOCAL CODE REQUIREMENTS AS REQUIRED.

1 ONE-LINE DIAGRAM

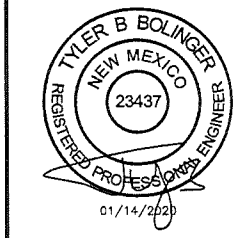
SCALE: N.T.S.



NOTES:
* ADD (1) ADDITIONAL 2" CONDUIT FOR DARK FIBER (2 TOTAL) IF REQUIRED BY LOCAL MARKET FACILITIES. VERIFY PRIOR TO CONSTRUCTION (ADD 2 PULL STRINGS TO EACH CONDUIT)
** VERIFY EBH REQUIREMENTS WITH TELCO PROVIDER PRIOR TO CONSTRUCTION (ADD 2 PULL STRINGS TO EACH CONDUIT)

3 FIBER SINGLE LINE DIAGRAM (TYP.)

SCALE: N.T.S.



PE RENEWAL DATE DECEMBER 31, 2021

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ISSUED FOR:	DATE
CONSTRUCTION REV 0	08/19/2019
CONSTRUCTION REV 1	01/14/2020

REVISION

NO	DESCRIPTION	BY	DATE
1	UPDATED EQUIPMENT	MJR	01/14/20

SHEET TITLE:
ONE-LINE DIAGRAM

SHEET NUMBER:
E2

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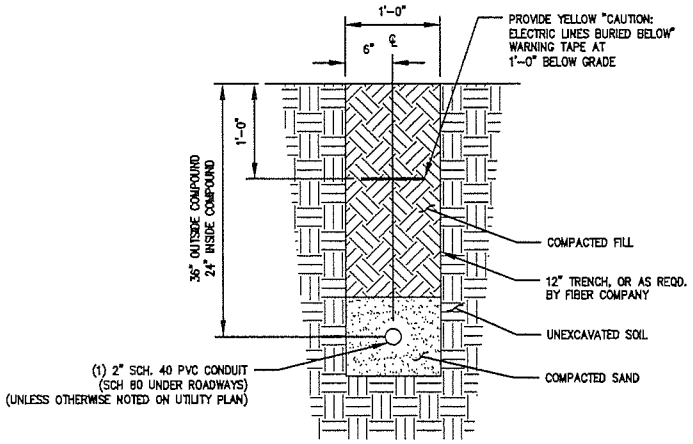
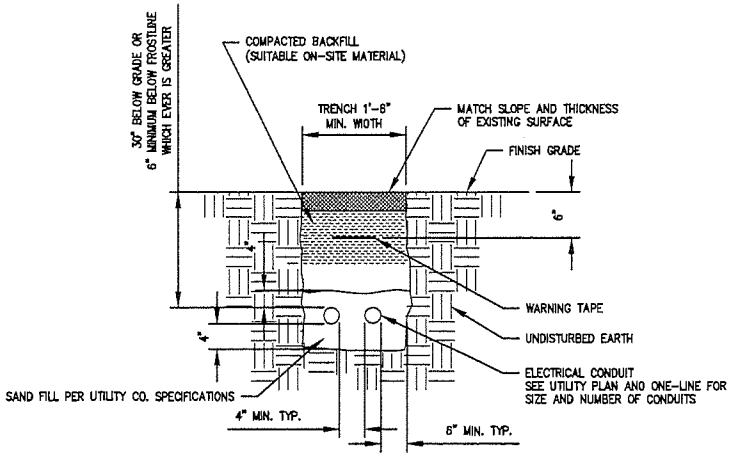
LEFT BLANK



2 TYP. FIBER TRENCH DETAIL



NOTE:
SEPARATION DIMENSION TO BE VERIFIED WITH
LOCAL UTILITY COMPANY REQUIREMENTS

3 ELECTRICAL TRENCH DETAIL

TYLER B BOLINGER
NEW MEXICO
23437
REGISTERED PROFESSIONAL ENGINEER
01/14/2020

PE RENEWAL DATE DECEMBER 31, 2021

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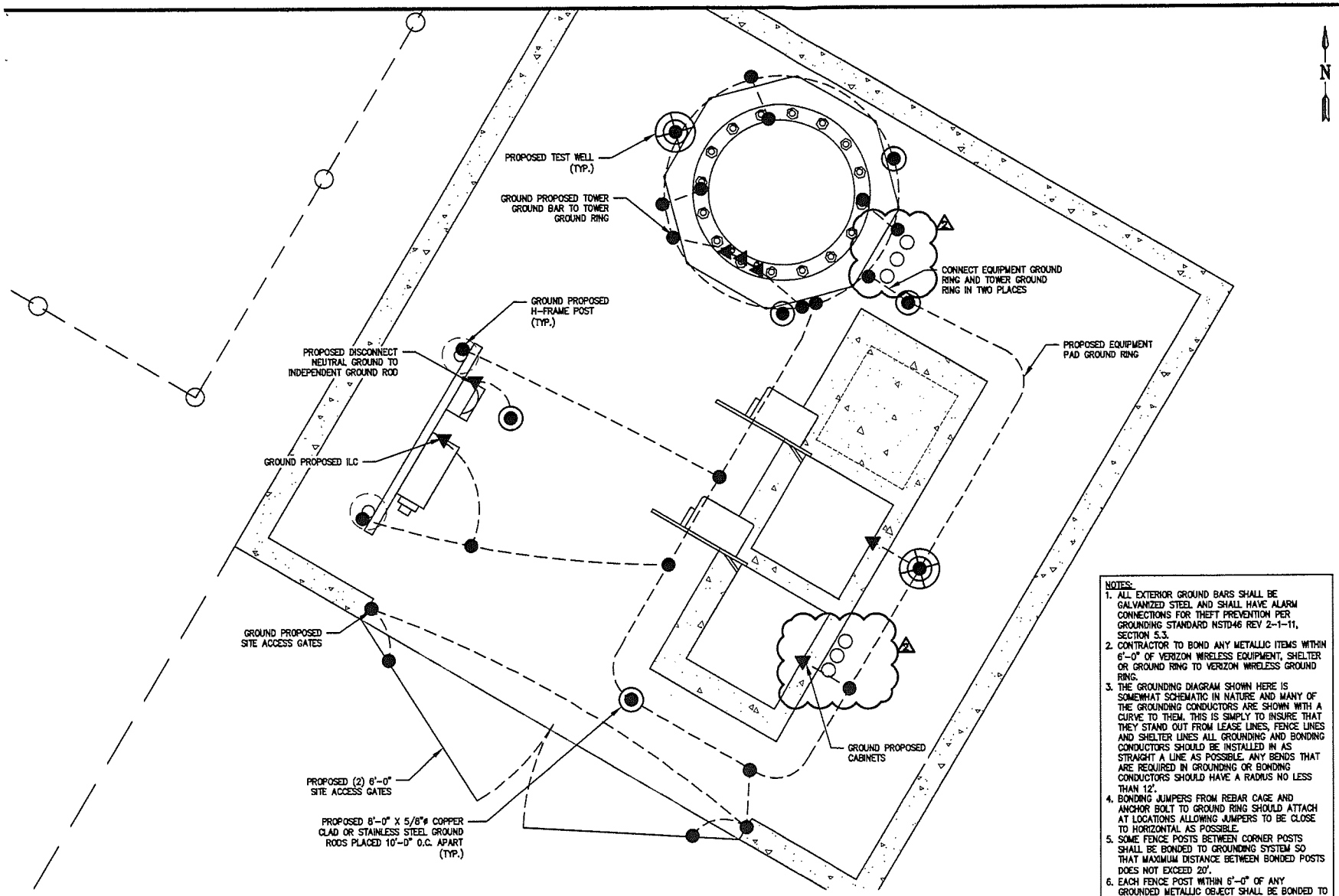
ISSUED FOR:	DATE
CONSTRUCTION REV 0	08/19/2019
CONSTRUCTION REV 1	01/14/2020

REVISION

NO	DESCRIPTION	BY	DATE
1	REMOVED DETAIL	MJR	01/14/20

SHEET TITLE:
ELECTRICAL DETAILS

SHEET NUMBER:
E3



NOTE:
CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX

1 GROUNDING PLAN

SCALE: N.T.S.

NOTES:

1. ALL EXTERIOR GROUND BARS SHALL BE GALVANIZED STEEL AND SHALL HAVE ALARM CONNECTIONS FOR THEFT PREVENTION PER GROUNDING STANDARD NSTD46 REV 2-1-11, SECTION 5.3.
2. CONTRACTOR TO BOND ANY METALLIC ITEMS WITHIN 6'-0" OF VERIZON WIRELESS EQUIPMENT, SHELTER OR GROUND RING TO VERIZON WIRELESS GROUND RING.
3. THE GROUNDING DIAGRAM SHOWN HERE IS SOMEWHAT SCHEMATIC IN NATURE AND MANY OF THE GROUNDING CONDUCTORS ARE SHOWN WITH A CURVE TO THEM. THIS IS SIMPLY TO INSURE THAT THEY STAND OUT FROM LEASE LINES, FENCE LINES AND SHELTER LINES ALL GROUNDING AND BONDING CONDUCTORS SHOULD BE INSTALLED IN AS STRAIGHT A LINE AS POSSIBLE. ANY BENDS THAT ARE REQUIRED IN GROUNDING OR BONDING CONDUCTORS SHOULD HAVE A RADIUS NO LESS THAN 12'.
4. BONDING JUMPERS FROM REBAR CAGE AND ANCHOR BOLT TO GROUND RING SHOULD ATTACH AT LOCATIONS ALLOWING JUMPERS TO BE CLOSE TO HORIZONTAL AS POSSIBLE.
5. SOME FENCE POSTS BETWEEN CORNER POSTS SHALL BE BONDED TO GROUNDING SYSTEM SO THAT MAXIMUM DISTANCE BETWEEN BONDED POSTS DOES NOT EXCEED 20'.
6. EACH FENCE POST WITHIN 6'-0" OF ANY GROUNDED METALLIC OBJECT SHALL BE BONDED TO THE GROUND SYSTEM.
7. INSTALL NEW SECONDARY GROUNDING BAR AT BASE OF TOWER IN ACCORDANCE WITH GROUNDING STANDARD NSTD46. CONTRACTOR TO ALSO INSTALL SECONDARY GROUNDING BARS AT ANTENNAS IF REQUIRED TO MAKE COMPLETE GROUNDING SYSTEM AT SELF-SUPPORT IN ACCORDANCE WITH GROUNDING STANDARD NSTD46.

TYLER B BOLINGER
NEW MEXICO
23437
REGISTERED PROFESSIONAL ENGINEER
04/10/2020

PE RENEWAL DATE DECEMBER 31, 2021

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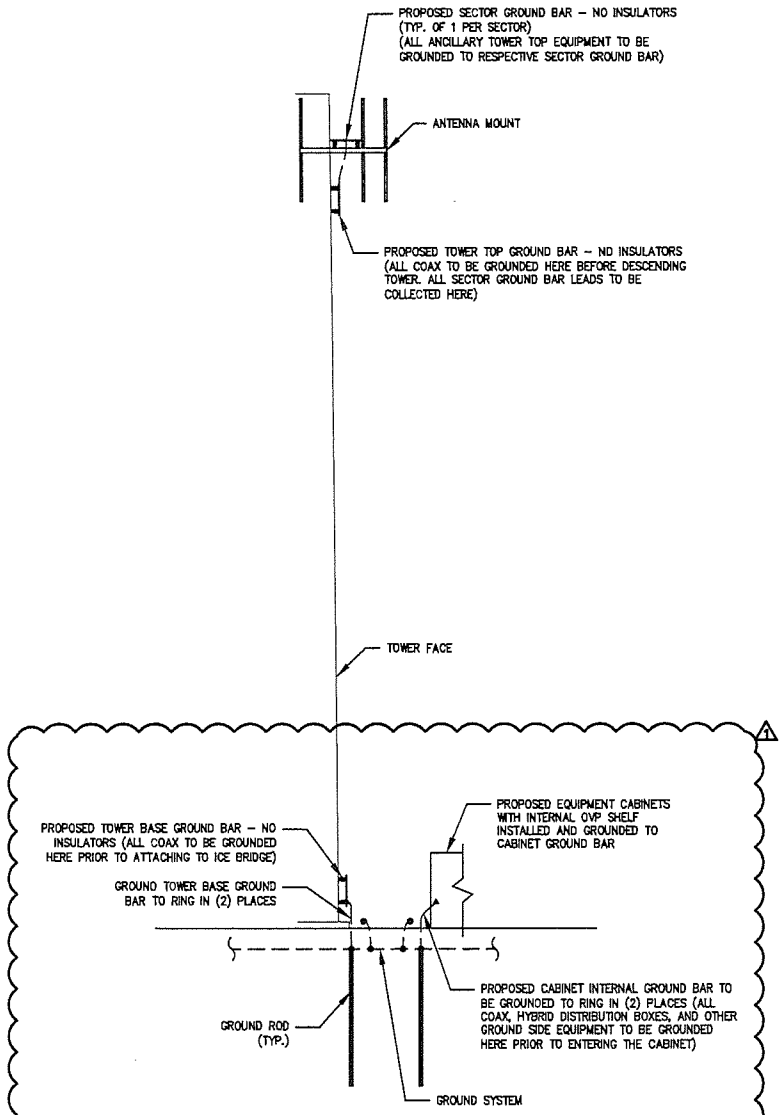
ISSUED FOR:	DATE
CONSTRUCTION REV 0	08/19/2019
CONSTRUCTION REV 1	01/14/2020
CONSTRUCTION REV 2	04/10/2020

REVISION

NO	DESCRIPTION	BY	DATE
1	REMOVE ICE BRIDGE	MJR	01/14/20
2	ADDED CONDUIT	MJR	04/10/20

SHEET TITLE:
GROUNDING SITE PLAN

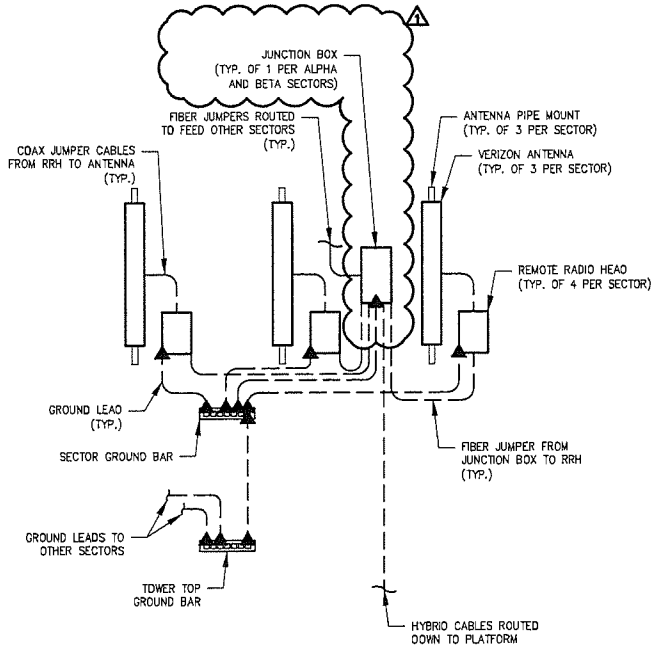
SHEET NUMBER:
G1



1 TYP. TOWER GROUNDING ELEVATION

SCALE: N.T.S.

NOTE:
GROUNDING DIAGRAM IS TYPICAL FOR ALL SECTORS EXCEPT WHERE NOTED.



2 TYP. ANTENNA GROUNDING DIAGRAM

SCALE: N.T.S.

TYLER B BOLINGER
NEW MEXICO
23437
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01/14/2020

PE RENEWAL DATE DECEMBER 31, 2021

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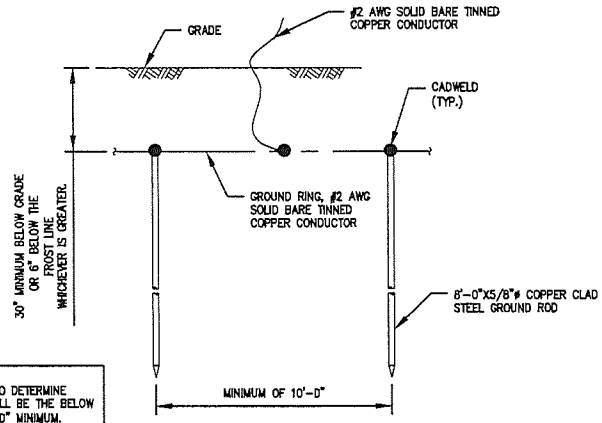
NO	DESCRIPTION	BY	DATE
1	UPDATED GROUNDING	MJR	01/14/20

SHEET TITLE:
GROUNDING DETAILS

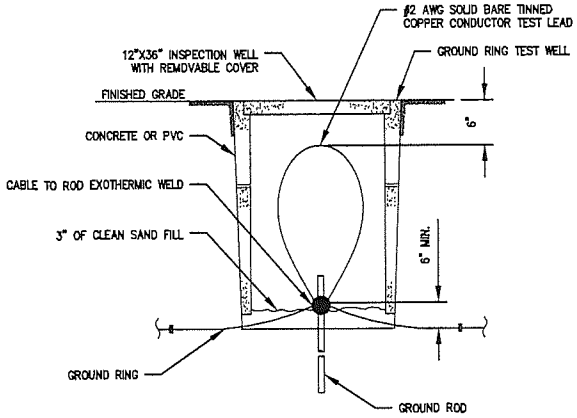
SHEET NUMBER:
G2



NOTES:
1. DESIGNER/ENGINEER TO DETERMINE WHICH DIMENSION SHALL BE THE BELOW THE FROST LINE OR 30" MINIMUM.
2. GROUND RODS SHALL BE DRIVEN VERTICALLY, NO TO EXCEED 45° FROM THE VERTICAL.

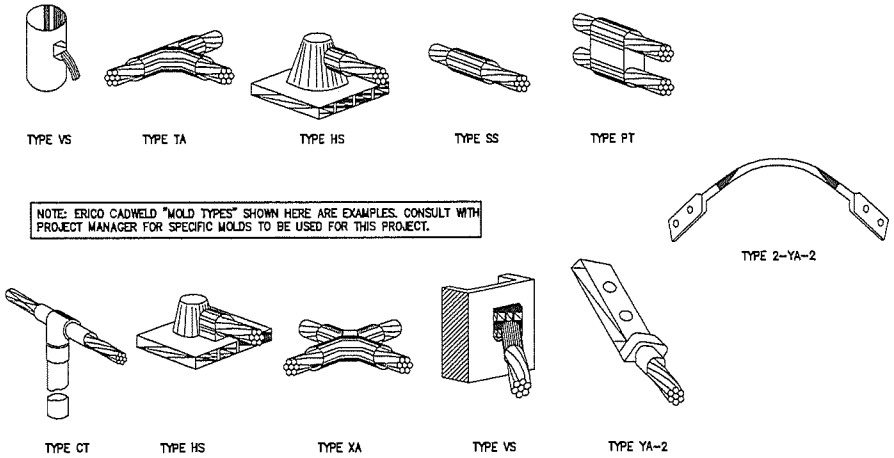
1 GROUND ROD DETAIL

SCALE: N.T.S.



2 TEST WELL DETAIL

SCALE: N.T.S.



NOTE: ERICO CADWELD "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.

3 TYP. EXOTHERMIC WELDS

SCALE: N.T.S.

PE RENEWAL DATE DECEMBER 31, 2021

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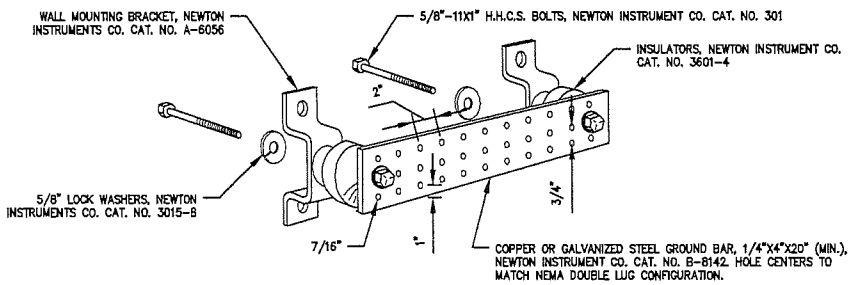
SHEET TITLE:
GROUNDING DETAILS

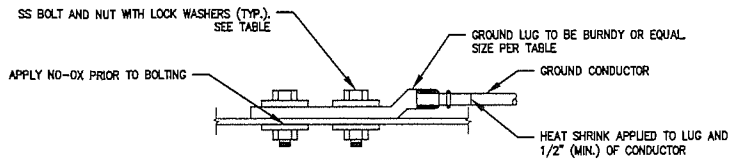
SHEET NUMBER:
G3



NOTES:
1. GROUND BAR SHALL BE SIZED TO ACCOMMODATE ALL GROUNDING CONNECTIONS REQUIRED PLUS PROVIDE 50% SPARE CAPACITY.
2. GROUND BAR SHALL BE NEITHER FIELD FABRICATED NOR NEW HOLES DRILLED.
3. GROUND LUGS SHALL MATCH THE HOLE SPACING ON THE BAR.
4. HAROWARE DIAMETER SHALL BE A MINIMUM 3/8".

1 TYP. GROUND BAR DETAIL

SCALE: N.T.S.

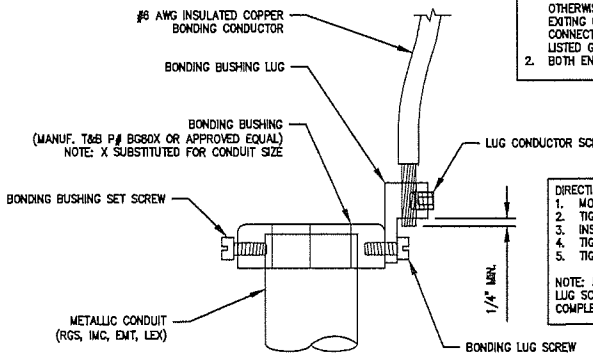


WIRE SIZE	LUG #	BOLT DIA.
#6 AWG	YA6C2TC14E2	1/4"
#2 AWG	YA2CL-2TC14	1/4"
#2 AWG SOLID	YA3C2TC38	3/8"
#2/0 AWG	YA262LN	1/2"
#4/0 AWG	YA282LN	1/2"

2 TYP. TWO-HOLE LUG DETAIL

SCALE: N.T.S.

NOTE:
1. IF WITHIN 18 INCHES OF A GROUND BAR, CONNECT CONDUIT BOND CONDUCTOR TO GROUND BAR, OTHERWISE, CONNECT TO MAIN GROUND CONDUCTOR EXITING CONDUIT VIA C-TYPE COMPRESSION CONNECTION. WRAP CONNECTION POINT WITH UL LISTED GREEN ELECTRICAL TAPE.
2. BOTH ENDS OF CONDUIT TO BE GROUNDED.



DIRECTIONS:
1. MOUNT BONDING BUSHING ONTO CONDUIT
2. TIGHTEN BOND BUSHING SET SCREW
3. INSERT COPPER CONDUCTOR INTO LUG
4. TIGHTEN LUG CONDUCTOR SCREW
5. TIGHTEN BONDING CONDUCTOR SCREW

NOTE: BONDING BUSHING, SET SCREW, LUG, LUG SCREW, COND. LUG SCREW, SHOWN AS COMPLETE UNIT.

3 TYP. CONDUIT GROUNDING DETAIL

SCALE: N.T.S.

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NO	DESCRIPTION	BY	DATE

SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER:
G4

GENERAL ANTENNA NOTES:

1	CONTRACTOR TO VERIFY MECHANICAL DOWNTILT WITH FINAL SLF/RF ENGINEER
2	DUAL POLAR ANTENNAS REQUIRE TWO RUNS OF COAX PER ANTENNA
3	CONTRACTOR TO VERIFY ALL ACTUAL LENGTHS IN FIELD PRIOR TO INSTALLATION AND NOTIFY THE FIELD ENGINEER FOR VERIFICATION OF SIZES OF CABLES
4	CONTRACTOR TO PROVIDE AS BUILT FOR THE LENGTH OF CABLES UPON COMPLETION OF INSTALLATION
5	CONTRACTOR TO PROVIDE FINAL CABLE LENGTHS AND RETURN LOSSES FOR ALL CABLES
6	ALL AZIMUTHS REFERENCE TRUE NORTH. CONSULT REQUIRED QUADRANGLE MAP FOR NECESSARY MECHANICAL DECLINATION

NEW LESSEE ANTENNA SCHEDULE:

ATTACH LEVEL (COR)	AZIMUTHS (DEG., TN)	ANTENNA TYPE	ANTENNA QUANTITY	MOUNT TYPE	COAX (QUANTITY) SIZE (NOMINAL)	ESTIMATED COAX CABLE LENGTH	MECHANICAL DOWN TILT
60'-0"	0° 150° 250°	PANEL ANTENNAS	6	SEE ANTENNA MOUNT SCHEDULE	(2) HYBRID CABLE	80'-0"	0°

NOTES:

1	FOR EXACT ANTENNA INFORMATION REFER TO THE RF DESIGN
2	ALL NEW COAX SHALL BE INSTALLED INSIDE MONOPOLE (IF POSSIBLE)
3	CONTRACTOR TO INSTALL DIPLEXERS IN SHELTER AND ON TOWER AS REQUIRED BY RF DESIGN (IF APPLICABLE)

NEW LESSEE RRH & RAYCAP SCHEDULE:

ATTACH LEVEL (COR)	AZIMUTHS (DGE., TN)	MAKE/MODEL	QUANTITY
60'-0"	–	DISTRIBUTION BOX	1
60'-0"	–	ERICSSON 8843 RRHS ERIXSSON 4449 RRHS	3 3

SECTOR COLOR CODE:

SECTOR	ANTENNA LOCATIONS	FIRST STRIPE (PCS) OR (LTE) OR (A-BAND) OR (B-BAND)	SECOND STRIPE	THIRD STRIPE
ALPHA	1	RED OR WHITE OR YELLOW OR PURPLE	GREEN	–
	2			
	3			GREEN
	4			
BETA	1	RED OR WHITE OR YELLOW OR PURPLE	ORANGE	–
	2			
	3			ORANGE
	4			
GAMMA	1	RED OR WHITE OR YELLOW OR PURPLE	BROWN	–
	2			
	3			BROWN
	4			

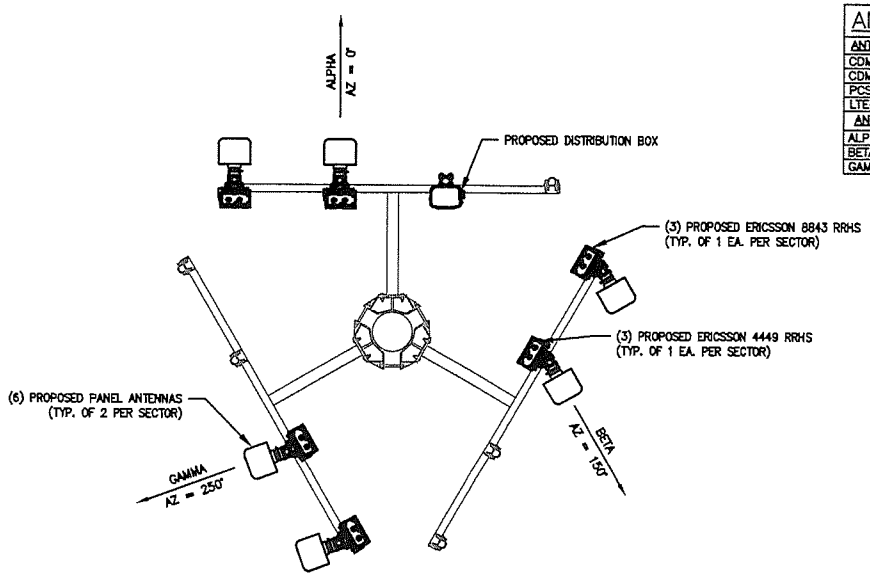
ANTENNA MOUNT SCHEDULE:

QUANTITY	DESCRIPTION	PART NUMBER(S)
1	MONOPOLE CO-LOCATION T-FRAME KIT, 12" TO 50" OD, 10'-6" FACE – (12) 2-3/8"OD X 96" ANTENNA MOUNT PIPES	MC-K10M-12-96

NOTE: ALL PRODUCTS ARE FROM "COMMSCOPE"
WWW.COMMSCOPE.COM

ANTENNA COLOR CODE:

ANTENNA FUNCTION	COLOR
CDMA-800 B-BAND	RED
CDMA-800 A-BAND	WHITE
PCS-1900	YELLOW
LTE-700	PURPLE
ANTENNA SECTOR	
ALPHA	GREEN
BETA	ORANGE
GAMMA	BROWN



1 ANTENNA SECTION @ 60'-0"

SCALE: N.T.S.

N

NOTE:
CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX

TYLER B BOLINGER
NEW MEXICO
23437
REGISTERED PROFESSIONAL ENGINEER
04/10/2020

PE RENEWAL DATE DECEMBER 31, 2021

verizon

KGI

KGI WIRELESS, INC.
805 LAS CIMAS PKWY
BUILDING THREE, SUITE 370
AUSTIN, TX 78746
TEL: 512.345.9595
FAX: 512.345.9898

SITE NAME:
LSC LA POSTA

LOCATION CODE:
286827

SITE ADDRESS:
1584 W. BOUTZ RD.
MESILLA, NM 88046

THESE DRAWINGS ARE THE PROPERTY OF VERIZON WIRELESS. THEY ARE INTENDED FOR THE EXCLUSIVE USE OF THIS PROJECT ONLY. ANY RE-USE OF THESE PLANS (DRAWINGS) WITHOUT THE EXPRESS WRITTEN CONSENT OF VERIZON WIRELESS IS PROHIBITED.

ISSUED FOR:	DATE
CONSTRUCTION REV 0	08/19/2019
CONSTRUCTION REV 1	01/14/2020
CONSTRUCTION REV 2	04/10/2020

REVISION

NO	DESCRIPTION	BY	DATE
2	ADDED ADDITIONAL CABLE	MJR	04/10/20

SHEET TITLE:
ANTENNA INFORMATION

SHEET NUMBER:
RF1

VZW Tower Location
1584 W Boutz Rd
Calle De Alvarez
Calle De Mercado
Tierra de Mesilla
Calle Del Norte
Avenida de Mesilla
W Boutz Rd
Calle de Medanos
Calle De Arroyo
Calle De San Ali
Calle De Gu
Laguna Ct
Olla De Oro Ln
292
28

Account Id: R0202816
Parcel Number:4 006137365079
Owners: JW JONES PROPERTIES LLC
Address:1320 STONEGATE DR
SHERIDAN, WY 82801
Situs Address: 711 ALAMOSA AVE
Legal: S: 25 T: 23S R: 1E PT OF USRS TR 9D-94A1

Account Id: R0202808
Parcel Number: 4006137268122
Owners: HOOVER RICK J TRUSTEE :RICK J HOOVER FAMILY TRUST DTD 11/01/2012
Address: 1551 AVENIDA DE MESILLA
LAS CRUCES, NM 88005
Situs Address: 1551 W AVENIDA DE MESILLA
Legal: S: 25 T: 23S R: 1E MAP 9D TR 95A PART OF TRACT

Account Id: R0400323
Parcel Number: 4006137243181
Owners: KABO DORIANNE J
Address: PO BOX 2065
RUIDOSO, NM 88355
Situs Address:1 508 N HIGHWAY 28,1516 N HIGHWAY 28 Mesilla
Legal: S: 25 T: 23S R: 1E BRM 11B TR 2

Account Id: R0401316
Parcel Number: 4006137325182
Owners: BINNS LTD #2
Address: 2700 E MISSOURI STE 1
LAS CRUCES, NM 88011
Situs Address: CALLE DE ALVAREZ Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 2 REPLAT NO 1 (BK 22 PG 123-124 - 073641) Lot: 10 Block: A S: 25 T: 23S R: 1E

Account Id: R0401608
Parcel Number: 4006137284147
Owners: ZIA TRUST INC CUSTODIAN FOR WW BURKE IRA
Address: 4131 CAMINO COYOTE STE A
LAS CRUCES, NM 88011
Situs Address: CALLE DE ALVAREZ Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 3A REPLAT NO 1 (BK 23 PG 145 - 1035564) Lot: 7A S: 25 T: 23S R: 1E

Account Id: R0401176
Parcel Number: 4006137255160
Owners: LEAVITT GROUP SOUTHWEST LLC
Address: PO BOX 1027
CEDAR CITY, UT 84721
Situs Address: CALLE DE ALVAREZ Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 3A (BK 19 PG 124-125 - 9815898) Lot: 2 Block: A S: 25 T: 23S R: 1E

Account Id: R0225735
Parcel Number: 4006137204152
Owners: SINGER MICHAEL INVESTMENT/BENEFITS TRUSTEE
: PEAK TRUST COMPAY AK ADMINISTRATIVE TRUSTEE
: HAL AND FRANCINE SINGER REVOCABLE TRUST DTD AUGUST 16, 2007
Address: 825 BENHAM STREET
HAMDEN, CT 06514
Situs Address: 1610 AVENIDA DE MESILLA
Legal: Subd: TIERRA VERDE PHASE 1 (BK 18 PG 715-717 - 9714532) Lot: TRACT-1 S: 25 T: 23S R: 1E

Account Id: R0221095
Parcel Number: 4006137198175
Owners: HINSA VALLEY CORPORATION ATTN WILLIAM A WALKER JR
Address: PO BOX 2669
LAS CRUCES, NM 8004-2669
Situs Address:
Legal: S: 25 T: 23S R: 1E BRM 9D PT OF 83

Account Id: R0221011
Parcel Number: 4006137195186
Owners: HINSA VALLEY CORPORATION ATTN WILLIAM A WALKER JR
Address: PO BOX 2669
LAS CRUCES, NM 8004-2669
Situs Address: 1710 AVENIDA DE MESILLA
Legal: S: 25 T: 23S R: 1E USRS 9D PT OF TR 83

Account Id: R0401314
Parcel Number: 4006137295165
Owners: CINCO ESTRELLAS LLC
Address: 816 CANTERBURY ARC
LAS CRUCES, NM 88005
Situs Address: 1785 CALLE DE FUENTE Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 2 REPLAT NO 1 (BK 22 PG 123-124 - 073641) Lot: 6 Block: A S: 25 T: 23S R: 1E

Account Id: R0401313
Parcel Number: 4006137291174
Owners: DESERT MIRAGE INC
Address: PO BOX 4080
LAS CRUCES, NM 88003
Situs Address: CALLE DE FUENTE Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 2 REPLAT NO 1 (BK 22 PG 123-124 - 073641) Lot: 5
Block: A S: 25 T: 23S R: 1E

Account Id: R0401312
Parcel Number: 4006137286182
Owners: BUNCH HENRY C & CAROLYN J
Address: PO BOX 1478
MESILLA, NM 88046
Situs Address: 1765 CALLE DE MERCADO Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 2 REPLAT NO 1 (BK 22 PG 123-124 - 073641) Lot: 4
Block: A S: 25 T: 23S R: 1E

Account Id: R0401311
Parcel Number: 4006137282197
Owners: PRESTON WISCONSIN LP
Address: 6600 W TOUHY AVE
NILES, IL 60714
Situs Address: 1755 CALLE DE MERCADO Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 2 REPLAT NO 1 (BK 22 PG 123-124 - 073641) Lot: 3
Block: A S: 25 T: 23S R: 1E

Account Id: R0401310
Parcel Number: 4006137271210
Owners: MINER MARCUS
Address: 6612 VISTA HERMOSA
LAS CRUCES, NM 88007
Situs Address: CALLE DE FUENTE Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 2 REPLAT NO 1 (BK 22 PG 123-124 - 073641) Lot: 2
Block: A S: 25 T: 23S R: 1E

Account Id: R0401309
Parcel Number: 4006137274219
Owners: JAMES R HANSEN & CAROL J WORTNER
Address: 3150 MCDOWELL RD
LAS CRUCES, NM 88005
Situs Address: CALLE DE FUENTE Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 2 REPLAT NO 1 (BK 22 PG 123-124 - 073641) Lot: 1
Block: A S: 25 T: 23S R: 1E

Account Id: R0401240
Parcel Number: 4006137253258
Owners: HACIENDA INVESTMENTS LLC
Address: 5140 NIZHONI TRAIL
LAS CRUCES, NM 88005
Situs Address: 1730 TIERRA DE MESILLA Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 1 & 3B REPLAT NO 1 (BK 24 PG 163 - 1627098) Lot: 2 S: 25 T: 23S R: 1E

Account Id: R0401232
Parcel Number: 4006137242263
Owners: HACIENDA INVESTMENTS LLC
Address: 5140 NIZHONI TRAIL
LAS CRUCES, NM 88005
Situs Address: 1730 TIERRA DE MESILLA Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 3B (BK 20 PG 163-164 - 0231702) Lot: 4 Block: B S: 25 T: 23S R: 1E

Account Id : R0401233
Parcel Number: 4006137233267
Owners: CBE III LLC
Address: PO BOX 116
MESILLA, NM 88046.
SitusAddress: MesillaLegalSubd: MERCADO DE LA MESILLA PHASE 3B (BK 20 PG 163-164 - 0231702) Lot: 5 Block: B S: 25 T: 23S R: 1E

Account Id: R0401234
Parcel Number: 4006137226270
Owners: CBE III LLC
Address: PO BOX 116
MESILLA, NM 88046.
Situs Address: Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 3B (BK 20 PG 163-164 - 0231702) Lot: 6 Block: B S: 25 T: 23S R: 1E

Account Id: R0401235
Parcel Number: 4006137218272
Owners; CBE III LLCAddressPO BOX 116
MESILLA, NM 88046.
SitusAddressMesillaLegalSubd: MERCADO DE LA MESILLA PHASE 3B (BK 20 PG 163-164 - 0231702) Lot: 7 Block: B S: 25 T: 23S R: 1E

Account Id: R0400932
Parcel Number: 4006137230244
Owners: CBE III LLC
Address: PO BOX 116
MESILLA, NM 88046.
Situs Address: 1891 AVENIDA DE MESILLA Mesilla
Legal: S: 25 T: 23S R: 1E BRM 5 PART OF TR 11B

Account Id: R0400314
Parcel Number: 4006137229231
Owners: KABO DORIANNE J & STEPHEN L CAMP
Address: PO BOX 2065
RUIDOSO, NM 88355
Situs Address: 1801 S HIGHWAY 28,1799 S HIGHWAY 28 Mesilla
Legal: S: 25 T: 23S R: 1E BRM 11B TR 3

Account Id: R0401180
Parcel Number: 4006137230213
Owners: HACIENDA INVESTMENTS LTD
Address: 5140 NIZHONI TRAIL
LAS CRUCES, NM 88005
Situs Address: 1701 CALLE DEL MERCADO Mesilla
Legal: Subd: MERCADO DE LA MESILLA PHASE 1 (BK 19 PG 87-88 - 989472) Lot: 1 Block: B S: 25 T: 23S R: 1E

Account Id: R0400270
Parcel Number: 4006137198287
Owners: CLAYSHULTE NANCY L
Address: PO BOX P
MESILLA, NM 88046
Situs Address: 1850 AVENIDA DE MESILLA Mesilla
Legal: S: 25 T: 23S R: 1E USRS TR 11B-4

Account Id: R0400311
Parcel Number: 4006137228335
Owners: TOW LIMITED LIABILITY COMPANY
Address: 3150 BOWMAN LAS CRUCES, NM 88005
SitusAddress2011 AVENIDA DE MESILLA MesillaLegalS: 25 T: 23S R: 1E BRM 11B TR 1A

Account Id: R0400322
Parcel Number: 4006137241339
Owners: LUCERO MARY (ESTATE OF) & JAMES ZAPIEN JR & GLORIA P
Address: PO BOX 222
MESILLA, NM 88046-0222
Situs Address: 2145 AVENIDA DE MESILLA Mesilla
Legal: S: 25 T: 23S R: 1E BRM 11B TR 17 18B

Account Id: R0400344
Parcel Number: 4006137263363
Owners: TOWN OF MESILLA
Address: PO BOX 10
MESILLA, NM 88046
Situs Address: 2231 AVENIDA DE MESILLA Mesilla
Legal: Subd: USRS TRACT 11B-18 PLAT NO 1 (BK 18 PG 162 - 9428245) Lot: TR A S: 25 T: 23S R: 1E BRM 11B PT OF TR 18A

Account Id: R0400980
Parcel Number4006137299393
OwnersLAS CRUCES SCHOOL DISTRICT #2Address505 S MAIN STE #249
LAS CRUCES, NM 88001
SitusAddress2355 AVENIDA DE MESILLA MesillaLegalS: 25 T: 23S R: 1E USRS TR 11B-19 20

Account Id: R0401580
Parcel Number: 4006137312040
Owners: MARY ALEXANDER MUSEUM PROPERTY LLC
Address: 1912 NEWTON
LAS CRUCES, NM 88001
Situs Address: W BOUTZ RD Mesilla
Legal: Subd: EL TRATADO DE MESILLA (BK 22 PG 649 - 0903547) Lot: 6 S: 25 T: 23S R: 1E

Account Id: R0401579
Parcel Number: 4006137320040
Owners: MARY ALEXANDER MUSEUM PROPERTY LLCAddress1912 NEWTON
LAS CRUCES, NM 88001
Situs Address: E BOUTZ RD MesillaLegalSubd: EL TRATADO DE MESILLA (BK 22 PG 649 - 0903547) Lot: 5 S: 25 T: 23S R: 1E

Account Id: R0400978
Parcel Number: 4006137346418
Owners: JOHN WRIGHT REVOCABLE TRUST DATED MARCH 21, 2017
Address: PO BOX 566
MESILLA, NM 88046
Situs Address: W BOUTZ RD #1-5 Mesilla
Legal: Subd: PLAT OF SURVEY TOWN OF MESILLA (BK 24 PG 275 - 1729072) Lot: 3 S: 25 T: 23S R: 1E BRM 11B TR 27B

Account Id: R1903435
Parcel Number: 4006137351406
Owners: TORRES ROY V
:TORRES MERCEDES G
Address: P.O. BOX 391
MESILLA, NM 88046
Situs Address: 1715 W BOUTZ RD Mesilla
Legal: Subd: PLAT OF SURVEY TOWN OF MESILLA (BK 24 PG 275 - 1729072) Lot: 1 S: 25 T: 23S R: 1E USRS 11B-25 PT OF

Account Id: R0400981
Parcel Number: 4006137342407
Owners: JOHN WRIGHT REVOCABLE TRUST DATED MARCH 21, 2017
Address: PO BOX 566
MESILLA, NM 88046
Situs Address: 1717 W BOUTZ RD Mesilla
Legal: Subd: PLAT OF SURVEY TOWN OF MESILLA (BK 24 PG 275 - 1729072) Lot: 2 S: 25 T: 23S R: 1E BRM 11B TR 26

Account Id R0401020
Parcel Number 4006137356421
Owners MARTINEZ EDWARD & MARTHA J
Address 2690 BOLT ST
LAS CRUCES, NM 88005
SitusAddress 2690 BOLDT ST Mesilla
Legal Subd: MESILLA FARMS SUBDIVISION (BK 15 PG 389-390 - 8822094) Lot: 7 Block: D S: 25 T: 23S R: 1E

Account Id: R0401019
Parcel Number: 4006137365415
Owners: TUFTE SCOTT
Address: 2680 BOLDT ST
LAS CRUCES, NM 88005
Situs Address: 2680 BOLDT ST Mesilla
Legal: Subd: MESILLA FARMS SUBDIVISION (BK 15 PG 389-390 - 8822094) Lot: 8 Block: D S: 25 T: 23S R: 1E

Account Id: R0401110
Parcel Number: 4006137320274
Owners: KRUEGER SUSAN A
Address: PO BOX 1143
MESILLA, NM 88046-1143
SitusAddress: CALLE TERCERA RD Mesilla
Legal: Subd: MESILLA GREENS (BK 17 PG 125-126 - 921098) Lot: PT OF LT 4 S: 25 T: 23S R: 1E

Account Id: R0401219
Parcel Number: 4006137345348
Owners: VELASQUEZ MONICA Y
Address: 1660 W. BOUTZ RD
LAS CRUCES, NM 88005
SitusAddress: 1660 W BOUTZ RD Mesilla
Legal: Subd: MESILLA GREENS REPLAT NO 1 (BK 19 PG 624 - 0110740) Lot: 2A S: 25 T: 23S R: 1E

Account Id: R0401113
Parcel Number: 4006137378269
Owners: BINNS DAVID V & TARA G
Address: 1400 W BOUTZ RD
LAS CRUCES, NM 88005-4069
SitusAddress: 1400 W BOUTZ RD Mesilla
Legal: Subd: MESILLA GREENS (BK 17 PG 125-126 - 921098) Lot: PT OF LT 6 S: 25 T: 23S

Account Id: R0401114
Parcel Number: 4006137386251
Owners: POLONER MATTHEW BAddressPO BOX 681
MESILLA, NM 88046
SitusAddress: W BOUTZ RD Mesilla
LegalSubd: MESILLA GREENS (BK 17 PG 125-126 - 921098) Lot: 7 S: 25 T: 23S R: 1E

Account Id: R0401115
Parcel Number: 4006137404237
Owners: MAYFAIR MANAGEMENT LTD CO
Address: PO BOX 1278
MESILLA, NM 88046-1278
SitusAddress: W BOUTZ RD Mesilla
Legal: Subd: MESILLA GREENS (BK 17 PG 125-126 - 921098) Lot: 8 S: 25 T: 23S R: 1E

Account Id: R0400399
Parcel Number: 4006137420395
Owners: LAN LEA INCAddress300 MOTEL BLVD
LAS CRUCES, NM 88005-4005
SitusAddress: W BOUTZ RD MesillaLegalS: 25 T: 23S R: 1E BRM 11B TR 24

Account Id: R0400961
Parcel Number: 4006137527325
Owners: LAN LEA INC
Address: 300 MOTEL BLVD
LAS CRUCES, NM 88005-4005
SitusAddress: W BOUTZ RD Mesilla
Legal: S: 25 T: 23S R: 1E BRM 11B TR 23A

Account Id: R0202856
Parcel Number: 4006137510237
Owners: REED AUSTIN B
:BEANBLOSSOM CYNTHIA L
Address: 1040 RAINBOW
LAS CRUCES, NM 88005
SitusAddress: 1040 RAINBOW DR
Legal: Subd: BUENA VISTA ESTATES #4 1551 Lot: TR B1 S: 25 T: 23S R: 1E

Account Id: R0220043
Parcel Number: 4006137476235
Owners: MERRELL FLOYD F & ARACELI D
Address: 1225 W BOUTZ RD
LAS CRUCES, NM 88005
SitusAddress: 1225 W BOUTZ RD
Legal: Subd: BUENA VISTA ESTATES #4 1551 Lot: TR D1 S: 25 T: 23S R: 1E

Account Id: R0202848
Parcel Number: 4006137497220
Owners: BALLINGER JIM & JUDY
Address: 1020 RAINBOW DR
LAS CRUCES, NM 88005
SitusAddress: 1020 RAINBOW DR
Legal: Subd: BUENA VISTA ESTATES #4 1551 Lot: TR A1 S: 25 T: 23S R: 1E

Account Id: R0202837
Parcel Number: 4006137487209
Owners: ALLEY GENE A & STACY J
Address: 1000 RAINBOW DR
LAS CRUCES, NM 88005-3833
Situs Address: 1000 RAINBOW**Legal:** S: 25 T: 23S R: 1E BRM 9D TR 1 2 103A 103B

Account Id: R0229044
Parcel Number: 4006137454208
Owners: MARQUEZ JUAN JOSE & ANAHI LORENA
Address: 1195 PAPILLON LN
LAS CRUCES, NM 88005-3594
SitusAddress: 1195 PAPILLON LN
Legal: Subd: ALICANTE ORCHARD REPLAT NO 1 (BK 20 PG 487 - 0343632) Lot: 2 S: 25 T: 23S R: 1E
NORTHEAST 1/4

Account Id: R0229043
Parcel Number: 4006137461202
Owners: GONZALES RICARDO FLOYD
:GONALES AMBER RENEE
Address: 1185 PAPILLON LN
LAS CRUCES, NM 88005
SitusAddress: 1185 PAPILLON LN
Legal: Subd: ALICANTE ORCHARD REPLAT NO 1 (BK 20 PG 487 - 0343632) Lot: 1 S: 25 T: 23S R: 1E NORTHEAST 1/4

Account Id: R0229045
Parcel Number: 4006137445198
Owners: AGUIRRE STEPHEN A TRSTEE
:SURVIVOR'S TRUST A SUB-TRUST CREATED UNDER THE STEPHEN A AGUIRRE AND GRACE AGUIRRE TRUST DATED JANUARY 22, 1993
:BYPASS TRUST A SUB-TRUST CREATED UNDER THE STEPHEN A AGUIRRE AND GRACE AGUIRRE TRUST DATED JANUARY 22, 1993
Address: 1175 PAPILLON LANE
LAS CRUCES, NM 88005
SitusAddress: 1175 PAPILLON LN
Legal: Subd: ALICANTE ORCHARD REPLAT NO 1 (BK 20 PG 487 - 0343632) Lot: 3 S: 25 T: 23S R: 1E NORTHEAST ¼

Account Id: R0229046
Parcel Number: 4006137441185
Owners: BURKE WILLIAM W TRUSTEE WILLIAM W BURKE REVOCABLE TRUST
Address: 1690 S TELSHOR BLVD
LAS CRUCES, NM 88011-4889
SitusAddress: 1165 PAPILLON RD
Legal: Subd: ALICANTE ORCHARD REPLAT NO 1 (BK 20 PG 487 - 0343632) Lot: 4 S: 25 T: 23S R: 1E NORTHEAST 1/4

Account Id: R0229048
Parcel Number: 4006137437168
Owners: STOUT DAVID L & AMANDA K
Address: 1145 PAPILLON LN
LAS CRUCES, NM 88005
SitusAddress: 1145 PAPILLON LN
Legal: Subd: ALICANTE ORCHARD REPLAT NO 1 (BK 20 PG 487 - 0343632) Lot: 6 S: 25 T: 23S R: 1E NORTHEAST 1/4

Account Id: R0229049
Parcel Number: 4006137427162
Owners: AGUIRRE LAND HOLDINGS LLC
Address: 1175 PAPILLON LANE
LAS CRUCES, NM 88005
SitusAddress: 1126 PAPILLON LN
Legal: Subd: ALICANTE ORCHARD REPLAT NO 1 (BK 20 PG 487 - 0343632) Lot: 7 S: 25 T: 23S R: 1E NORTHEAST 1/4

Account Id: R0229050
Parcel Number: 4006137414178
Owners: ALICANTE ORCHARD LLC
Address: 1175 PAPILLON LN
LAS CRUCES, NM 88005
SitusAddress: 1136 PAPILLON LN
Legal: Subd: ALICANTE ORCHARD REPLAT NO 1 (BK 20 PG 487 - 0343632) Lot: 8 S: 25 T: 23S R: 1E NORTHEAST 1/4

Account Id: R0229051
Parcel Number: 4006137402198
Owners: FRF TRUST
Address: 12033 MALVA PL
LAS VEGAS, NV 89138
SitusAddress: 1146 PAPILLON LN

Account Id: R0229052
Parcel Number: 4006137418195
Owners: ENCHANTED DESERT HOMES LLC & FRF TRUST
Address: PO BOX 2105
LAS CRUCES, NM 88004
SitusAddress: 1156 PAPILLON LN
Legal: Subd: ALICANTE ORCHARD REPLAT NO 1 (BK 20 PG 487 - 0343632) Lot: 10 S: 25 T: 23S R: 1E NORTHEAST 1/4

Account Id: R0229053
Parcel Number: 4006137420206
Owners: FLAMM ROBERT H & DEBBIE K
Address: PO BOX 2105
LAS CRUCES, NM 88004
SitusAddress: 1166 PAPILLON LN
Legal: Subd: ALICANTE ORCHARD REPLAT NO 1 (BK 20 PG 487 - 0343632) Lot: 11 S: 25 T: 23S R: 1E NORTHEAST 1/4

Account Id: R0229054
Parcel Number: 4006137429214
Owners: SCHMITT HOWARD G
:SCHMITT ANNE M
Address: 1176 PAPILLON LN
LAS CRUCES, NM 88005
SitusAddress: 1176 PAPILLON LN
Legal: Subd: ALICANTE ORCHARD REPLAT NO 1 (BK 20 PG 487 - 0343632) Lot: 12 S: 25 T: 23S R: 1E NORTHEAST 1/4

Account Id: R0229055
Parcel Number: 4006137437222
Owners: SANCHEZ DAWN
Address: 2010 CORN DRIVE
LAS CRUCES, NM 88001
SitusAddress: 1186 PAPILLON LN
Legal: Subd: ALICANTE ORCHARD REPLAT NO 1 (BK 20 PG 487 - 0343632) Lot: 13 S: 25 T: 23S R: 1E NORTHEAST 1/4

Account Id: R0229056
Parcel Number: 4006137447230
Owners: ALICANTE ORCHARD LLC
Address: 1175 PAPILLON LN
LAS CRUCES, NM 88005
SitusAddress: 1196 PAPILLON LN
Legal: Subd: ALICANTE ORCHARD REPLAT NO 1 (BK 20 PG 487 - 0343632) Lot: 14 S: 25 T: 23S R: 1E NORTHEAST 1/4

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- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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City, State, ZIP+4® Mesilla, NM 88046

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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- Adult Signature Required $ $0.00
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10/30/2020

Sent To Gene Stacy Alley
Street and Apt. No., or PO Box No. 1800 Rainbow Dr.
City, State, ZIP+4® Las Cruces, NM 88005

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0000 8881 9514

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- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $ $0.00

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Sent To James Hansen
Street and Apt. No., or PO Box No. 3150 M.C. Dowell Rd
City, State, ZIP+4® Las Cruces, NM 88005

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Sheridan, WY 82801

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- Adult Signature Required $ $0.00
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Postage $0.55
Total Postage and Fees $6.95

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Sent To J.N. Jones Properties LLC
Street and Apt. No., or PO Box No. 1320 Stone Gate Dr.
City, State, ZIP+4® Sheridan, WY 82801

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- Certified Mail Restricted Delivery $ $0.00
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- Adult Signature Restricted Delivery $ $0.00

Postage $0.55
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Sent To Binnk LTD 2
Street and Apt. No., or PO Box No. 2700 E. Missouri Ste #4
City, State, ZIP+4® Las Cruces, NM 88011

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- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $ $0.00

Postage $0.55
Total Postage and Fees $6.95

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Sent To Monica Velasquez
Street and Apt. No., or PO Box No. 1660 W. Boutz Rd
City, State, ZIP+4® Las Cruces, NM 88005

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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

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Sent To: Rick Hoover, Trustee
Street and Apt. No., or PO Box No.: 1551 Avenida De Mesilla
City, State, ZIP+4®: Las Cruces, NM 88046

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

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Sent To: Jim & Judy Balinger
Street and Apt. No., or PO Box No.: 1020 Rainbow Dr
City, State, ZIP+4®: Las Cruces, NM 88005

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

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Sent To: MAY FIELD MGMT LTD
Street and Apt. No., or PO Box No.: P.O. BOX 1278
City, State, ZIP+4®: Mesilla, NM 88046

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)
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- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

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Sent To: Austin Reed
Street and Apt. No., or PO Box No.: 1040 Rainbow
City, State, ZIP+4®: Las Cruces, NM 88005

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

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Sent To: EDMAND MARTINEZ
Street and Apt. No., or PO Box No.: 2690 Bolt St
City, State, ZIP+4®: Las Cruces, NM 88005

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $ $0.00

Postage $0.55

Total Postage and Fees $6.95

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Sent To: DAVID STUART
Street and Apt. No., or PO Box No.: 1145 Papillon Ln
City, State, ZIP+4®: Las Cruces NM 88005

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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- Adult Signature Required $ $0.00
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Sent To HOWARD SCHMITT
Street and Apt. No., or PO Box No. 1176 PAPPILLON LN
City, State, ZIP+4® LAS CRUCES NM 88005

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Las Vegas, NV 89138

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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $ $0.00

Postage $0.55
Total Postage and Fees $6.95

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Sent To FRF TRUST
Street and Apt. No., or PO Box No. 12033 MALVA PL 89138
City, State, ZIP+4® LAS VEGAS, NV 1146 PAPILLON

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- Adult Signature Required $ $0.00
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Sent To HACienda Investments LLC
Street and Apt. No., or PO Box No. 5140 NIZHONI TRAIL
City, State, ZIP+4® LAS CRUCES, NM 88005

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Las Cruces, NM 88001

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- Adult Signature Required $ $0.00
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Sent To MARY ALEXANDER MUSEUM PROP LLC
Street and Apt. No., or PO Box No. 1912 NEWTON
City, State, ZIP+4® LAS CRUCES, NM 88001

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Mesilla, NM 88046

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Sent To CBE AFF LLC
Street and Apt. No., or PO Box No. P.O. BOX 116
City, State, ZIP+4® MESILLA, NM. 88046

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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
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Postage $0.55
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Sent To FLOYD RICARDO GONZALES
Street and Apt. No., or PO Box No. 1185 PAPILLON LN
City, State, ZIP+4® LAS CRUCES NM 88005

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Las Cruces, NM 88004

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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

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Sent To HINSA VALLEY CORP
Street and Apt. No., or PO Box No. P.O. BOX 2669
City, State, ZIP+4® LAS CRUCES, NM 88004

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- Return Receipt (hardcopy) $ $0.00
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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

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Sent To NANCY CLAYSHULTE
Street and Apt. No., or PO Box No. P.O. BOX D.
City, State, ZIP+4® MESILLA, NM 88046

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- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

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City, State, ZIP+4® MESILLA, NM 88046

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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

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Sent To HACIENDA INVESTMNTS LLC
Street and Apt. No., or PO Box No. 6140 NIZHONI TRL
City, State, ZIP+4® LAS CRUCES, NM 88005

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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
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Postage $0.55

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Sent To HENRY BANDA
Street and Apt. No., or PO Box No. P.O. BOX 1478
City, State, ZIP+4® MESILLA, NM 88046

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Cedar City, UT 84721

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- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

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Sent To LEAVITT GROUP SW LLC
Street and Apt. No., or PO Box No. P.O. BOX 1027
City, State, ZIP+4® CEDAR CITY UT 84721

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Las Cruces, NM 88011

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- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

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Sent To 21A TRUST CUST / NN BUNKE IRA
Street and Apt. No., or PO Box No. 4131 CAMINO COYOTE STE A
City, State, ZIP+4® LAS CRUCES, NM 88011

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Las Cruces, NM 88003

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Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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Sent To DESERT MIRAGE INC
Street and Apt. No., or PO Box No. P.O. BOX 4060
City, State, ZIP+4® LAS CRUCES, NM 88003

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Ruidoso, NM 88355

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Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $ $0.00

Postage $0.55
Total Postage and Fees $6.95

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10/30/2020

Sent To DUIANNE + STEVE KABO
Street and Apt. No., or PO Box No. P.O. BOX 2065
City, State, ZIP+4® RUIDOSO, NM 88355

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- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $ $0.00

Postage $0.55
Total Postage and Fees $6.95

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Sent To TON LIMITED LIBILITY C
Street and Apt. No., or PO Box No. 1150 BOWMAN
City, State, ZIP+4® LAS CRUCES, NM 88005

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Las Cruces, NM 88001

OFFICIAL USE

Certified Mail Fee $3.55
Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $ $0.00

Postage $0.55
Total Postage and Fees $6.95

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Sent To LAS CRUCES SCHOOL DISTRICT
Street and Apt. No., or PO Box No. 505 MAIN STE #249
City, State, ZIP+4® LAS CRUCES, NM 88001

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Mesilla, NM 88046

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Certified Mail Fee $3.55
Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $ $0.00

Postage $0.55
Total Postage and Fees $6.95

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Sent To CBE III LLC
Street and Apt. No., or PO Box No. P.O BOX 116
City, State, ZIP+4® MESILLA NM 88046

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Niles, IL 60714

OFFICIAL USE

Certified Mail Fee $3.55
Extra Services & Fees (check box, add fee as appropriate) $2.85
- Return Receipt (hardcopy) $0.00
- Return Receipt (electronic) $0.00
- Certified Mail Restricted Delivery $0.00
- Adult Signature Required $0.00
- Adult Signature Restricted Delivery $0.00

Postage $0.55
Total Postage and Fees $6.95

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Sent To PRESTON WISCONSIN LP
Street and Apt. No., or PO Box No. 6600 N. TONHY AVE
City, State, ZIP+4® NILES, IL 60714

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- Adult Signature Required $0.00
- Adult Signature Restricted Delivery $0.00

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Total Postage and Fees $6.95

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City, State, ZIP+4® LAS CRUCES, NM 88005

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- Certified Mail Restricted Delivery $0.00
- Adult Signature Required $0.00
- Adult Signature Restricted Delivery $0.00

Postage $0.55
Total Postage and Fees $6.95

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Sent To CBE III LLC
Street and Apt. No., or PO Box No. P.O BOX 116
City, State, ZIP+4® MESILLA, NM 88046

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- Return Receipt (hardcopy) $0.00
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- Certified Mail Restricted Delivery $0.00
- Adult Signature Required $0.00
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Postage $0.55
Total Postage and Fees $6.95

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Sent To DORIANNE & STEPHEN KADO
Street and Apt. No., or PO Box No. P.O. BOX 2065
City, State, ZIP+4® RUIDOSO, NM 88355

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- Return Receipt (hardcopy) $0.00
- Return Receipt (electronic) $0.00
- Certified Mail Restricted Delivery $0.00
- Adult Signature Required $0.00
- Adult Signature Restricted Delivery $0.00

Postage $0.55
Total Postage and Fees $6.95

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Sent To MICHAEL SINDER
Street and Apt. No., or PO Box No. 825 BEN HAM ST
City, State, ZIP+4® HAMDEN, CT 06514

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- Return Receipt (hardcopy) $0.00
- Return Receipt (electronic) $0.00
- Certified Mail Restricted Delivery $0.00
- Adult Signature Required $0.00
- Adult Signature Restricted Delivery $0.00

Postage $0.55
Total Postage and Fees $6.95

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Sent To CINCO ESTRELLAS LLC
Street and Apt. No., or PO Box No. 816 CANTERBURY AVE
City, State, ZIP+4® LAS CRUCES, NM 88005

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Las Cruces, NM 88007

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- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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City, State, ZIP+4® LAS CRUCES, NM 88005

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- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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Sent To FLOYD + MERELL FLOYD
Street and Apt. No., or PO Box No. 1225 W. BOUTZ RD.
City, State, ZIP+4® LAS CRUCES, NM 88005

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Extra Services & Fees (check box, add fee as appropriate) $2.85
- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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ALBUQUERQUE, NM 87110-3801
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Sent To JUAN JOSE MARQUEZ
Street and Apt. No., or PO Box No. 1195 PAPILLON LANE
City, State, ZIP+4® LAS CRUCES, NM 88005

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Mesilla, NM 88046

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Certified Mail Fee $3.55
Extra Services & Fees (check box, add fee as appropriate) $2.85
- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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ALBUQUERQUE, NM 87110-3801
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Sent To Roy Torres + Melissa Torres
Street and Apt. No., or PO Box No. P.O. BOX 391
City, State, ZIP+4® MESILLA, NM 88046

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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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Sent To SCOTT TUFTE
Street and Apt. No., or PO Box No. 2680 BOLDT ST
City, State, ZIP+4® LAS CRUCES, NM 88005

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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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10/30/2020

Sent To DAVID + TARA BINNS
Street and Apt. No., or PO Box No. 1400 W. BOUTZ RD
City, State, ZIP+4® LAS CRUCES, NM 88005

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
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Sent To ALICANTE ORCHARD LLC
Street and Apt. No., or PO Box No. 1175 PAPILLION LN
City, State, ZIP+4® LAS CRUCES, NM. 88005

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- Return Receipt (hardcopy) $ $0.00
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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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Sent To WILLIAM BURKE TRUSTEE
Street and Apt. No., or PO Box No. 1690 S. TELSHOW BLVD
City, State, ZIP+4® LAS CRUCES, NM. 88011

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- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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Sent To ALICANTE ORCHARD LLC
Street and Apt. No., or PO Box No. 1175 PAPILLION LANE
City, State, ZIP+4® LAS CRUCES, NM. 88005

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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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Sent To Robert + Debbie FLAM
Street and Apt. No., or PO Box No. P.O. BOX 2105
City, State, ZIP+4® LAS CRUCES, NM. 88004

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- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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Sent To MATTHEW POLONER
Street and Apt. No., or PO Box No. P.O. BOX 621
City, State, ZIP+4® MESILLA, NM 88046

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Extra Services & Fees (check box, add fee as appropriate)
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- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55
Total Postage and Fees $6.95

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Sent To SUSAN KNUEGER
Street and Apt. No., or PO Box No. P.O. BOX 1143
City, State, ZIP+4® MESILLA, NM. 88046

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Certified Mail Fee	$3.55
Extra Services & Fees (check box, add fee as appropriate)	$2.85
☐ Return Receipt (hardcopy)	$0.00
☐ Return Receipt (electronic)	$0.00
☐ Certified Mail Restricted Delivery	$0.00
☐ Adult Signature Required	$0.00
☐ Adult Signature Restricted Delivery	$
Postage	$0.55
Total Postage and Fees	$6.95

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Sent To: HNSA Valley Grp/ MILLAN WALKER
Street and Apt. No., or PO Box No.: P.O. Box 2669
City, State, ZIP+4®: LAS CRUCES, NM 88004

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☐ Return Receipt (electronic)	$0.00
☐ Certified Mail Restricted Delivery	$0.00
☐ Adult Signature Required	$0.00
☐ Adult Signature Restricted Delivery	$
Postage	$0.55
Total Postage and Fees	$6.95

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Sent To: DAWN SANCHEZ
Street and Apt. No., or PO Box No.: 2010 GUN. DRIVE
City, State, ZIP+4®: LAS CRUCES, NM 88001

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☐ Return Receipt (hardcopy)	$0.00
☐ Return Receipt (electronic)	$0.00
☐ Certified Mail Restricted Delivery	$0.00
☐ Adult Signature Required	$0.00
☐ Adult Signature Restricted Delivery	$
Postage	$0.55
Total Postage and Fees	$6.95

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10/30/2020

Sent To: JOHN WRIGHT REVOCABLE TRUST
Street and Apt. No., or PO Box No.: P.O. BOX 566
City, State, ZIP+4®: MESILLA, NM. 88046

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Extra Services & Fees (check box, add fee as appropriate)	$2.85
☐ Return Receipt (hardcopy)	$0.00
☐ Return Receipt (electronic)	$0.00
☐ Certified Mail Restricted Delivery	$0.00
☐ Adult Signature Required	$0.00
☐ Adult Signature Restricted Delivery	$
Postage	$0.55
Total Postage and Fees	$6.95

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Sent To: TOWN OF MESILLA
Street and Apt. No., or PO Box No.: P.O. BOX 10
City, State, ZIP+4®: MESILLA, NM. 88046

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Las Cruces, NM 88007

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Extra Services & Fees (check box, add fee as appropriate)	$2.85
☐ Return Receipt (hardcopy)	$0.00
☐ Return Receipt (electronic)	$0.00
☐ Certified Mail Restricted Delivery	$0.00
☐ Adult Signature Required	$0.00
☐ Adult Signature Restricted Delivery	$
Postage	$0.55
Total Postage and Fees	$6.95

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10/30/2020

Sent To: MARCUS MINER
Street and Apt. No., or PO Box No.: 6612 VISTA HERMOSA
City, State, ZIP+4®: LAS CRUCES, NM 88007

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Las Cruces, NM 88004

OFFICIAL USE

Certified Mail Fee	$3.55
Extra Services & Fees (check box, add fee as appropriate)	$2.85
☐ Return Receipt (hardcopy)	$0.00
☐ Return Receipt (electronic)	$0.00
☐ Certified Mail Restricted Delivery	$0.00
☐ Adult Signature Required	$0.00
☐ Adult Signature Restricted Delivery	$
Postage	$0.55
Total Postage and Fees	$6.95

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10/30/2020

Sent To: ENCHANTED Desert Homes LLC
Street and Apt. No., or PO Box No.: P.O. BOX 2105
City, State, ZIP+4®: LAS CRUCES, NM 88004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Las Cruces, NM 88005

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Certified Mail Fee $3.55
Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

ALBUQUERQUE, NM 87110-3801 0110 21 Postmark Here OCT 30 2020 USPS 10/30/2020

Sent To AGUIRRE LAND HOLDINGS, LLC
Street and Apt. No., or PO Box No. 1175 PAPILLON LANE
City, State, ZIP+4® LAS CRUCES, NM 88005

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Las Cruces, NM 88005

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Certified Mail Fee $3.55
Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

ALBUQUERQUE, NM 87110-3801 0110 21 Postmark Here OCT 30 2020 USPS 10/30/2020

Sent To STEVEN AGUIRRE TRUST
Street and Apt. No., or PO Box No. 1175 PAPILLON LANE
City, State, ZIP+4® LAS CRUCES, NM 88005

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Mesilla, NM 88046

OFFICIAL USE

Certified Mail Fee $3.55
Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

ALBUQUERQUE, NM 87110 0110 16 Postmark Here OCT 30 2020 10/30/2020

Sent To JOHN WRIGHT REVOCABLE TRUST
Street and Apt. No., or PO Box No. P.O. BOX 566
City, State, ZIP+4® MESILLA, NM. 88046

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Las Cruces, NM 88007

OFFICIAL USE

Certified Mail Fee $3.55
Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) $ $0.00
- Return Receipt (electronic) $ $0.00
- Certified Mail Restricted Delivery $ $0.00
- Adult Signature Required $ $0.00
- Adult Signature Restricted Delivery $

Postage $0.55

Total Postage and Fees $6.95

ALBUQUERQUE, NM 87110 0110 16 Postmark Here OCT 30 2020 10/30/2020

Sent To LAN LEA INC
Street and Apt. No., or PO Box No. 300 MOTEL BLVD
City, State, ZIP+4® LAS CRUCES, NM 88005

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

PZHAC NEW BUSINESS
NOVEMBER 16, 2020

SPECIAL USE PERMIT
[SUP20-001]

LETTERS RECEIVED
(AGAINST)

June 26, 2020

Town of Mesilla

Attn: Planning Department

2231 Avenida de Mesilla

Mesilla, New Mexico 88046

Re: Petition on Future Permit for Tower

Dear Planning Department:

Good day, this is David and Tara Binns and we own property at 1400 West Boutz Road. This letter is coming to you because there is a concern of land being surveyed and developed for the installation of a cell tower in the Town of Mesilla. Our neighbor, Susan Krueger, who owns property is planning to place this tower in the corner of her pecan trees which is also alongside our property and basically in our backyard. Pursuant to our protective covenant's of the Mesilla Greens Subdivision, executed on the 26th of January, 2000 with an expiration date in thirty years. Section II, paragraph 13 states as follows:

> TOWERS, ETC. No radio or television transmission tower or radio or television receiving towers shall be erected, placed or permitted upon any part of said property. Satellite dish receivers if erected shall be concealed from view buy landscaping or fencing.

Given these terms we are in fact adhering to these covenants and have had more than one conversation with Susan Krueger which is our neighbor in question. We are expressing concern since she has already begun this project. We absolutely are against this tower going up for several reasons. First and foremost, the health concern for years to come for our families, also the possibility of lowering our value on our property and the obstruction of beautiful views in the area. If a permit is accepted, we will take further recourse to stop this tower from going up. It is our hope that we can end this right here before further energy and time is spent. Please contact us as soon as possible, so that this matter can be taken care of. Thank you for your time and consideration.

Kindly,

David and Tara Binns

PROTECTIVE COVENANTS FOR

MESILLA GREENS SUBDIVISION

The following covenants, attached hereto and made a part hereof, were adopted and executed by the then owners Benjamin Boldt and Betty Boldt on December 23, 1991, and were inadvertently not recorded. The undersigned, as present owner, hereby adopt and reaffirm that said restrictive covenants are binding on the following described real estate from and after December 23, 1991.

IN WITNESS WHEREOF, the undersigned have caused this instrument to be executed this 26 day of January, 2000

Monica Y. Velasquez

Monica Velasquez

Lot number: #2

STATE OF NEW MEXICO

COUNTY OF DOÑA ANA

The foregoing instrument was acknowledged before me this ____ day of January, 2000, by Monica Velasquez.

_____

Notary Public

My Commission Expires:

PROTECTIVE COVENANTS FOR

MESILLA GREENS SUBDIVISION

43 Acre tract located in section 25, T.23-S, R.1E., N.M.P.M of U.S.R.S. tracts 11B-21 and 11B-22 within the town limits of Mesilla Dona Ana County, New Mexico.

I

1. TERM. These deed restrictions are to run with the land and shall be binding on all parties and all persons claiming under them for a period of thirty years from the date these deed restrictions are recorded, after which time said deed restrictions shall be automatically extended for successive periods of ten years unless an instrument signed by a majority of the then owners of the lots has been recorded, agreeing to change or remove said deed restrictions in whole or in part.

2. ENFORCEMENT. All persons who now own, or who may in the future own property in the 43 acre tract are specifically given the right to enforce these deed restrictions through any proceedings, at law or in equity, against any person or persons, firms and corporations, violating or threatening to violate such deed restrictions, and to recover any damages suffered by them from any violation thereof.

3. SEVERABILITY. Invalidation of any one of these deed restrictions by judgement or court order shall in no way effect any of the other provisions, which at all times shall remain in

full force and effect.

4. ADMINISTRATIVE CONTROL COMMITTEE. The Administrative Control Committee (Committee) shall initially be composed of two persons, Benjamin Boldt and Betty Boldt, the original owners of the eight (8) five acre plus tracts. In the event of death or resignation of either member of the committee, the remaining member shall have full authority to designate a successor or successors. Neither the members of the committee or its designated representative shall be entitled to any compensation for services performed pursuant to these deed restrictions. The Administrative Control Committee shall consist of the above members until such time as the above mentioned members state in writing to all individual owners of lots that control shall pass to three persons elected by a majority of those lot owners present at a meeting called by the committee and held at a place in Mesilla, New Mexico, designated by the committee. At this meeting, a majority of the lot owners present shall determine the means of continuation and succession of members of the Administrative Control Committee.

5. ARCHITECTURAL CONTROL. No building, wall or fence shall be erected, placed or altered on any lot until the construction plans and specification, and a plan showing the location of the improvements, have been approved by the Administrative Control Committee as to quality of workmanship and materials, harmony of external design with existing structures, and as to locations

with respect to topography and finish grade elevation. "A" frame, cubical Geodesic and Dome structures, and Mobile Homes are herewith prohibited as residences or for any other purpose.

6. PROCEDURE. The Committee's approval or disapproval as required in these covenants shall be in writing, and shall be given within ten (10) days after plans and specifications have been submitted to it. Provided further that any delay or omission on the part of the Committee does not constitute a waiver or approval of any breach of the deed restrictions, or reservations herein contained.

7. NON-LIABILITY. Neither the original owner, the Administrative Control Committee or it's representative shall incur liability to anyone submitting plans for approval, or to any owner or owners of land subject to the deed restrictions by reason of mistake in judgement, negligence or non-feasance of itself, it's agents or employees, arising out of or in connections with the approval, or disapproval, or failure to approve any such plans; anyone submitting plans for approval, by the submitting of such plans, and by anyone acquiring title to property covered hereby waives his claim for any such damages.

II

1. LAND USE AND BUILDING TYPE. All lots will be subject to the same restrictions as outlined in the zoning code of the Town of Mesilla, New Mexico, as specified for Rural Farm District. In

addition to the restrictions covered by such zoning now in force and as amended from time to time, the following restrictions as to use shall also apply:

(a) Only one single family dwelling on each lot is permitted, although separate quarters for servants or for other members of the immediate family will be allowed. The renting of such separate quarters is herewith prohibited.

(b) No manufacturing or commercial enterprise or enterprises of any kind for profit, churches or schools, shall be maintained on, in front of, or in connection with, any property in the subdivision except, home occupations may be permitted in accordance with the codes of the Town of Mesilla. There shall be no fair, exhibition, festival, show or other activity which attracts or is intended to attract, divert, or collect a large number of persons. Such restrictions shall not prevent, however, what is commonly known as "garage sales" or "backyard parties" conducted by residents or their children living in the 43 acre tract, provided such are only occasional.

(c) No commercial or private kennels for pets as described by City of Las Cruces Animal Control Ordinance is permitted. A maximum of two dogs and/or cats may be kept with litters to be disposed of within four months of birth.

2. DWELLING SIZE.

(a) The ground floor area of the main structure for a one-story dwelling exclusive of open porches and garages shall not be less than 2,000 sq. ft., which may include varying levels in the ground floor area.

(b) The total floor area of multi-floor dwellings, exclusive of open porches and garages shall not be less than 2,500 sq. ft.

(c) The maximum height allowed for any residence shall be two (2) stories above grade.

3. BUILDING LOCATION.

(a) No residence or structure, excluding fences, shall be located nearer to Barker Road than one hundred feet (100) and nearer to any lot line than fifty feet (50).

(b) For the purpose of these Deed Restrictions; eaves, steps and open porches shall be considered as a part of the building.

(c) The ground floor building pad of the residence shall be placed at least twenty four inches (24") above existing grade of the lot for the protection against irrigation.

4. ROAD MAINTENANCE. Each individual lot owner will be

responsible for maintaining their own roads.

5. EASEMENTS. Easements for installation and maintenance of utilities and drainage facilities are reserved as shown on the recorded plat. Within these easements, no structure, planting, or other material shall be placed or permitted to remain which may damage or interfere with the installation and maintenance of utilities, or which may change the direction of flow in the drainage channels, in the easements, or which reduce the capacity of each lot to retain water, as specified in the 43 acre tract's plan. The easement area of each lot and all improvements in it shall be maintained continuously by the owners of the lot, except for those improvements for which a public authority or utility company is responsible. No overhead lines will be allowed for electricity, telephone, or cable TV, except for those electric transmission lines already in place on existing boundaries of the 43 acre tract.

6. NUISANCES. No noxious or offensive activity shall be carried on upon any lot, nor shall anything be done thereon which may be or may become an annoyance or nuisance to the neighborhood.

7. TEMPORARY STRUCTURES. No structure of a temporary character, trailer, automobiles not in use, basement, tent, shack, garage, barn or other outbuilding shall be placed or used on any lot at anytime as a residence, either temporarily or

permanently. All construction, once started, will be completed within twelve months.

8. SIGNS. No billboards or advertising signs of any character shall be erected, placed, permitted, or maintained on any lot or on any building erected thereon, other than a name plate of the occupancy of any residence upon which his professional or occupational title may also be added, and provided no such sign or name plate shall exceed a size of one square foot. Provided, however, that permission is granted for the erection and maintenance of not more than one signboard to each building site during the course of construction of new single-family dwelling and upon it's completion, during the course of it's initial sale, or resale, which signboard shall not exceed six square feet. Notwithstanding anything herein contained to the contrary, nothing herein shall be construed to prevent the developer from erecting, placing, or maintaining sign structures and offices as may be determined necessary by the owners to promote sale and development of lots of the 43 acre tract.

9. MAINTENANCE OF LOTS. No lot or portion thereof shall be used in whole or in part for the storage or dumping of rubbish of any character whatsoever, nor for the storage of any other property or thing that will cause such lot to appear in an unclean or untidy condition or what will be obnoxious to the eye, nor shall any substance, thing, or material be kept upon any lot

that will emit four or obnoxious odors, or that will cause any noise that will or might be unreasonable disturb the peace, quiet, comfort, or serenity of the occupants of surrounding property. The owner of each lot is required to control the growth of weeds. When, in the sole discretion of the Administrative Control Committee, weed growth is not controlled, the Committee shall give written notice to the owner to remove excessive weeds. If the owner fails to remove excessive weeds, the Committee will have the weeds removed and will bill the owner for the removal of weeds. If such amount remains unpaid for an additional 30 days, the amount due will constitute a lien on the lot, and the owner or the Administrative Control Committee may bring suit to enforce collection thereof or to foreclose the lien, and the cost of suit then shall be added to the amount due, together with legal interest and reasonable attorney's fees to be fixed by the court.

10. OIL AND MINING OPERATIONS. No oil drilling, oil development operations, oil refining, quarrying or mining or thermal operations of any kind shall be permitted upon or in any lot, nor shall oil wells, tanks, tunnels, mineral excavations or shafts be permitted on, under or upon any lot. No derrick or other structure designed for use in boring for oil or natural gas shall be erected, maintained, or permitted upon any lot.

11. EXTERIOR CONSTRUCTION MATERIALS. The exterior construction of any dwelling or garage or outbuilding erected on

any tract may be of brick, brick veneer, stucco, stone, mission stone, wood or combinations thereof, or any other fire resisting material approved by the Administrative Control Committee, and permitted under the New Mexico Uniform Building Code.

12. ANIMALS, LIVESTOCK AND POULTRY. No commercial operations. Animals limited to two (2) dogs, two (2) cats, horses and other livestock - number to be agreed upon by the Administrative Control Committee, five (5) miscellaneous poultry. No roping arena will be permitted.

13. TOWERS, ETC. No radio or television transmission tower or radio or television receiving towers shall be erected, placed or permitted upon any part of said property. Satellite dish receivers if erected shall be concealed from view by landscaping or fencing.

14. TANKS, ETC. No tanks of any kind except state approved septic tanks shall be installed, placed, or permitted. All equipment and mechanical equipment shall be walled-in. Boats, campers, trucks, trailers, buses, recreational and similar vehicles or equipment, or vehicles under extensive repair, clothes lines, storage piles and construction materials shall be concealed so that none may be viewed from the street, or adjoining property.

15. BOUNDARY/FRONT YARD FENCES. All walls and fenced

constructed on lot lines, shall become property jointly owned by adjoining owners. A lot owner, prior to the construction of such a boundary fence or wall shall obtain the adjacent lot owners consent to the height of the fence or wall. After construction, all maintenance shall be the joint and equal responsibility of both owners. Any improvements to existing boundary walls, or fences shall be undertaken only after the consent from the adjacent owner is obtained.

III

1. BREACH OF DEED RESTRICTIONS. It is further stipulated that breach of any of the foregoing conditions and covenants within thirty years from the date hereof shall not effect any mortgage or other lien which in good faith may be existing at the time upon said property and any improvements thereon.

2. PROVISIONS. Any provision herein contained may be waived by the Administrative Control Committee excepting when such provisions constitute a law or regulation of the State of New Mexico or any political subdivision thereof.

IV

1. ADDITIONAL POWERS OF COMMITTEE. In addition to other powers and authorities vested in the Administrative Control Committee, it shall also:

(a) Rule upon any questions arising with respect to

interpretation of the deed restrictions, and, if necessary, may but shall not be required to, take any action necessary to enforce the same on behalf of all parties having an interest. Such shall not preclude any other person authorized by law from either enforcing or enjoining the enforcement of these deed restrictions.

(b) Modify any deed restriction, which in the judgement of the Administrative Control Committee, has ceased to serve the original intent, and enforcement thereof would be injurious or harmful to the owners of the parcels within the tract or other parties having an interest therein. Any modification shall be in writing and signed by at least a majority of the members of the Administrative Control Committee and filed for record with the County Clerk of Dona Ana County, New Mexico.

IN WITNESS WHEREOF, the undersigned have caused this instrument to be executed this 23rd day of December, 1991.

Benjamin Boldt

Betty Boldt

STATE OF: NEW MEXICO }

COUNTY OF: DONA ANA }

The foregoing instrument was acknowledged before me this 23rd day of December, 1991, by Benjamin and Betty Boldt.

Notary Public, ~~State of New Mexico~~

DAVID W. LUNA

5:40

11-2-10.16 Board of Trustees to Hold Public Hearing on Commission's Recommendations on Proposed Amendment, Supplement or Repeal

Within forty (40) days following the filing of a written appeal from an order of the Commission denying an application for the amendment of this Ordinance the Board of Trustees shall conduct a public hearing with public notice at least fifteen (15) days prior to the hearing.

11-2-10.17 Decision of Board of Trustees

Any amendment, supplement or repeal of any portion of this Ordinance must be approved, after all hearings by the affirmative vote of at least three trustees.

Town of Mesilla

SECTION 11-2-11 LAND USE REGULATIONS IN THE VARIOUS ZONES

11-2-11.1 RF - Rural Farm Zone

A. Purpose

This zone is intended for the preservation of agricultural use, for the continuance of agriculturally related industries and activities; and for the maintenance of low residential densities.

B. Permitted Uses

A lot in the RF Zone shall be used for the following purposes only:

1. A farm or ranch.

2. A one-family home, only as an accessory to the primary agricultural use.

3. Farm labor housing, only as an accessory to the primary agricultural use.

4. A guest house, used only as an accessory to the primary single-family home and not rented or otherwise conducted as a business.

5. A roadside stand offering for sale only farm products, the majority of which are grown on the premises, provided that such stands shall be removed during any period of time when not in use.

a. Employment shall be limited to a maximum of five persons plus one additional person for every two acres above the minimum lot size.

b. Structures housing cottage industries shall occupy no more than five (5) percent of the lot where they are located.

c. No noxious, odorous or hazardous processes shall be employed; nor shall the use or storage of explosives or flammable materials be permitted, excepting those specifically related to the allowed use and in conformance with applicable codes. Dust, noise or glare shall not extend beyond the properties on which they are located.

d. One parking space shall be provided for each employee.

e. One (1) unlighted sign, having a maximum area of ten (10) square feet shall be permitted.

f. Parking, outdoor storage areas or other unsightly appurtenances shall be screened from public view.

2. Agriculturally related industries such as cotton gins, food processing plants, packaging plants or mills providing the following conditions are met:

a. The site for the use shall be no smaller than five acres.

b. Structures housing agriculturally related industries shall occupy no more than twenty (20) percent of the parcel.

c. No noxious, odorous or hazardous processes shall be employed, nor shall the use or storage of explosives or flammable materials be permitted, excepting those specifically related to the allowed use and in conformance with applicable codes, nor shall industries emit dust, noise or glare beyond the property.

d. No industry shall be permitted closer than five hundred (500) feet from abutting adjacent properties.

e. One parking space shall be provided for each employee.

f. Parking, outdoor storage areas or other unsightly appurtenances shall be screened from public view.

3. Feedlots provided that the following conditions are complied with:

how many horses / chicken

a. Livestock in a feedlot shall not be corralled within five hundred (500) feet of any residence or any residential zones.

b. One parking space shall be provided for each employee.

4. Bed and Breakfast Inns may be permitted provided the following conditions are met:

a. General

(1) The owner/manager shall live on site.

(2) Employment shall be limited to a maximum of five persons including the owner/manager.

(3) No more than seven guest rooms shall be permitted.

(4) Length of stay shall be limited to no more than fourteen consecutive days. Bed and breakfast inns are specifically prohibited from allowing guests a permanent residence.

(5) Food service shall be limited to breakfasts.

b. Land Use Requirements

(1) The guest rooms shall be part of or attached to the main residence of the owner/manager.

(2) Only one (1) unlighted sign having a maximum area of ten (10) square feet shall be permitted.

(3) A minimum of two parking spaces shall be required for the owner/manager. In addition, one parking space shall be required for each employee and one parking space shall be required for each guest room.

(4) Inns shall meet the provisions of the New Mexico Uniform Building Code, New Mexico Environmental Improvement Division Regulations and pertinent fire safety regulations.

(5) Newly constructed inns or existing residences modified to meet the provisions of this section shall be designed to be compatible with the

residential character of the neighborhood in which they are located. New construction of bed and breakfast inns must meet the architectural guidelines and criteria for development established for Historic Residential and Historic Commercial Zones in Mesilla.

c. Development Plans. The owner/manager of the land shall submit a complete detailed plan of the project. The development plan shall contain the following information:

(1) Site plan with scale and north point showing all existing and proposed improvements.

(2) Surveyed boundaries or legal description of the area proposed to be developed.

(3) Parking areas with arrangement of stalls, location of entrance and exit driveways and their relation to existing streets.

(4) Landscaping plan including fencing.

(5) Floor plans, elevations and exterior details of proposed improvements.

(6) Existing development of adjacent properties within 600' of the exterior boundary of the lot, including the location, type and use of buildings and structures.

D. **Uses Prohibited**

1. Multi-family uses.

2. Commercial uses other than the sale of agricultural products, the majority of which were produced on the property.

3. Industrial uses other than cottage or agricultural industries.

4. Use of trailers as dwellings with or without wheels attached.

5. Signs other than those permitted by this Ordinance.

E. **Development Standards**

1. Lot Area - Each lot shall have a minimum area of five (5) acres.

2. Lot Dimensions - Each lot shall have a minimum width of two hundred twenty five (225) feet. Each lot shall have a minimum depth of three hundred (300) feet.

3. Yards - Front: Each lot or parcel of land shall have a front yard extending across the full width of the lot or parcel, with a depth of not less than thirty (30) feet.

4. Height Limitations - The maximum height of buildings or structures in the RF Zone shall be two (2) stories or thirty (30) feet, whichever is less.

11-2-11.2 RA - Residential Agricultural Zone

A. **Purpose**

This Zone is intended to encourage a suitable environment for single-family residential use on large parcels of land on the periphery of the built-up portions of the Town and to provide for a low density of population.

B. **Permitted Uses**

hawman

1. A farm or ranch, provided that livestock or poultry is not kept in corrals, barns or structures located within fifty feet of an adjacent residential property.

2. A one-family house.

3. A guest house, used only as an accessory to the primary single-family home and not rented or used as a business.

4. Home occupations provided that the same conditions listed in the RF Zone are met.

5. Accessory uses customarily incidental to the uses listed above.

6. One (1) unlighted sign not to exceed one (1) square foot in area and containing only the name and address of the occupants.

7. Storage of trailers and campers as specified in the RF Zone.

Lawrence Shannon

From: simpson1850@yahoo.com
Sent: Wednesday, November 11, 2020 5:57 PM
To: Larry Shannon
Subject: Cell Phone Tower Town Meeting

Mr. Shannon,

I am writing on behave of my mother, Nancy Clayshulte, the owner of 1850 Avenida De Mesilla, my husband, Dylan Simpson and myself, Samantha Simpson whom reside at the residence and stand to inherit the property following Nancy's death. Nancy received a letter stating the intentions of a 60ft cell phone tower being placed at a location off of Boutz Rd. within our range of view. For numerous reasons we are against this tower being placed in the area. First, we are concerned about health factors that go along with cell phone towers including but not limited to radiation exposure. Dylan used to work on cell phone towers for a living and can tell you how detrimental to your health they can be. In our society we have enough fears of health concerns, we don't need to add them closer to the one place we should feel safe, home. This is not just for our health but the community of Mesilla. Something to take into consideration is the age of most residents in Mesilla. Pace makers and other medical equipment that runs off of frequencies can be disrupted. Secondly, there is a cell phone tower further east on Boutz by the freeway. Lastly, when my grandfather, Nelson (Dyke) Clayshulte built this home, he built it with the view of the Organs in mind. That view has since been obstructed by the two story building, Acton Academy. We do not want another thing hindering the view as it brings down property value. We are asking to please not allow this tower to be placed for those reasons.

We will also be present at the 2:30 zoom meeting on the 16th.

Thank you,
Samantha Simpson

Lawrence Shannon

From: L J <losjurados@msn.com>
Sent: Wednesday, November 11, 2020 3:43 PM
To: larrys@mesillaNM.gov
Cc: larry@mesillanm.gov
Subject: Application for Special Use Permit for cell tower at 1584 W. Boutz Rd.

Mr. Larry Shannon,
Following are our comments related to the above application, which we are also mailing to you:

We are concerned about the possible installation of this cell phone tower across the street from our home.

We believe it will devalue our residential property and others nearby. It will be unsightly in this particular area, against the backdrop of open fields and residential homes. We also understand that it violates the covenants for that subdivision. Therefore, we are against approving this application.

We would appreciate our concerns being represented in the Public Hearing on November 16, 2020 before the Town of Mesilla Planning, Zoning and Historical Appropriateness Commission.

Respectfully,

Xavier and Lori Jurado
1401 W. Boutz Rd.
Mesilla, NM
Note: Both email addresses above were listed in your letter to Property Owners.

PZHAC NEW BUSINESS
NOVEMBER 16, 2020

ZONE CHANGE
[Z20-001]

ZONE CHANGE REQUEST
CASE 061140 (Z20-001)
[PZHAC PUBLIC HEARING AND REVIEW]

Item:
Case 061140 (Z20-001) – 2424 West Union Avenue, submitted by Dominic Licon for David and Eleanor Bustos (property owners); a request for a Zone Change from Rural Farm (RF) to Single Family Residential (R-1) for a four acre parcel located at this address.

Description of Request:
The property in question is located on the southeast corner of the intersection of West Union Avenue and Los Arenales Street in Mesilla. The property is immediately surrounded on the north, east, and west by properties that are zoned RF, the same as the subject property. (The RF zone requires a minimum lot size of five acre.) Immediately to the south, across West Union Avenue, is property that is located outside Town limits in Dona Ana County. Further to the east and west along West Union Avenue are properties that are zoned Residential/Agricultural (RA). (The RA zone requires am minimum lot size of three acres.) Lots in both the RA and the RF zones range in size from about ½ acre in size to over 21 acres in size (Mesilla Verde Subdivision). Although there are a number of lots in the area that are less than the acreages required by their respective zoning classifications, the zoning applied to these properties and others along the outskirts of Town was done with the intent of encouraging the preservation of larger lots in order to preserve a "Greenbelt" around the historic core of the Town, according to the Mayor with reference to the 1972 Comprehensive Plan for the Town. The intent was to allow limited development of these properties.

According to the applicant, the four-acre parcel was divided into four one acre lots prior to the adoption of the Zoning Code in 1972 (see attached documentation provided by the applicant) and are therefore individual buildable lots because they existed prior to the zoning on the property. The applicant would like to build a dwelling on one of the lots.

The Town does not believe that the lots were actually subdivided, but were merely separated on the Dona Ana County Zoning map for tax purposes, since the maps used by the County were, and still are, primarily used to distinguish how different parts of a property are taxed according to Charles Saenz, the County Assessor's GIS supervisor. Additionally, according to the assessor's office, the County does not recognize the lots as separate one-acre lots. Since the property is currently zoned RF, the parcel is considered legal non-conforming by the Town and no further development can take place because legal non-conforming uses of land cannot be expanded, according to MTC 18.60. 060 (see below). Even if the individual lots were to be recognized, they would be considered legal non-conforming and would not be considered buildable because this would be an expansion of a legal non-conforming use.

Additionally, as per a legal opinion from the Town Attorney dated April 21, 2020 referring to this property in which properties smaller than the required five acres were "created" in the RF zone, the following rationale applies:

> The property is zoned RF Rural Farm under Chapter 18.20. The RF zoning requires a minimum area of 5 acres for "each lot". MTC 18.20.050.
>
> The word "Lot" is defined by the MTC 18.10.020 as follows: "Lot" means a portion of a legally platted subdivision that is shown as a lot, tract or parcel of land and held in separate ownership, as shown on the record of the County assessor. A legal lot is a parcel that has been divided in accordance with present or past zoning and subdivision requirements. (italics added).

> The MTC definition for a "lot", which requires the showing of a "legally platted subdivision". MTC 18.10.020. The mere dividing of land is not a "subdivision" within the statutory subdivision law. State ex rel. Anaya v. Select Western Lands, Inc., 1979-NMCA-161, 94 N.M. 555, writ quashed, 613 P.2d 425.
>
> The burden is upon an applicant … to demonstrate the existence of a lawful subdivision. The burden is not on the Town of Mesilla to research the property or title history for a lawful subdivision.
>
> The policy implications for a lawful subdivision are well established under New Mexico law. Imposition of subdivision controls is a classic exercise of state police power to preserve the health, safety and general welfare of the community. Udall v. Cresswell, 1998-NMCA-072, 125 N.M. 276, 960 P.2d 818. The purpose of subdivision laws is to ensure that planned development is regulated by state, county, and municipal authorities so that subdivided land areas do not become a burden on the taxpayers of the state. McGanJ1 v. Scott, 2003-NMSC-016, 134 N.M. 32, 72 P.3d 608

It was determined by the Town that the property is not recognized as having been legally subdivided and the property is still part of the original five acres, therefore the proposed dwelling can only be allowed as a "Guest House", and will be limited in size to 600 square feet.

If the PZHAC approves the zone change request for R-1 Zoning, but does not recognize the existence of the one acre parcels, the applicant will be required to create the one acre parcels through the subdivision process as required by Chapter 17 of the Mesilla Town Code (MTC).

A potential issue that the PZHAC will need to address is whether or not approval of this request would result in "Spot Zoning", since there are no other parcels zoned R-1 in the immediate area (see attached definition of "spot zoning" from Wikepedia on the internet at: https://en.wikipedia.org/wiki/Spot_zoning).

THE PZHAC WILL NEED TO MAKE THE FOLLOWING FINDINGS FOR APPROVAL:

- The PZHAC has jurisdiction to review this request.
- The zoning code allows this type of zone change request.
- The application meets the requirements of the Code for a zone change.
- The requested zone change would not be out of character with the Comprehensive Plan, nor will it constitute "spot zoning".
- The proposed zoning, as requested, or amended with conditions; will be beneficial to the Town.
- The proposed zone change meets all other applicable Code requirements.

PZHAC OPTIONS:

Recommend approval to the BOT of the application.
Recommend approval to the BOT of the application with conditions.
Postpone a decision on the request to allow the applicant to modify the request.
Reject the application

PZHAC ACTION:

The applicant and his representative will be present electronically at the meeting to answer any questions about the request that might arise.

Excerpt of Definition of “Spot Zoning” from “Wikipedia”

[From: https://en.wikipedia.org/wiki/Spot_zoning.]

Spot zoning is the application of zoning to a specific parcel or parcels of land within a larger zoned area when the rezoning is usually at odds with a city's master plan and current zoning restrictions. Spot zoning may be ruled invalid as an "arbitrary, capricious and unreasonable treatment" of a limited parcel of land by a local zoning ordinance.[1] While zoning regulates the land use in whole districts, spot zoning makes unjustified exceptions for a parcel or parcels within a district.[2]

The small size of the parcel is not the sole defining characteristic of a spot zone. Rather, the defining characteristic is the narrowness and unjustified nature of the benefit to the particular property owner, to the detriment of a general land use plan or public goals. The rezoning may provide unjustified special treatment that benefits a particular owner, while undermining the pre-existing rights and uses of adjacent property owners. This would be called an instance of spot zoning. On the other hand, a change in zoning for a small land area may not be a spot zone, if it is consistent with, and furthers the purposes of the general area plan.

For example, a small zone allowing limited commercial uses such as a corner store within a residential area may not be a spot zone, but a carve-out for an industrial use or a night club might be considered a case of spot zoning. In the first case, the differing land uses are mutually compatible and supportive. In the latter case, the residential nature of the area would be harmed by a conflicting land use.

When the change in zoning does not advance a general public purpose in land use, courts may rule certain instances of spot zoning as illegal. The Standard State Zoning Enabling Act states "all such regulations shall be uniform for each class or kind of building throughout each district."[3] It may also be an invalid exercise of authority, if spot zoning is not a right conferred upon the body by the state's zoning enabling statute, because it deviates from the plan set out by the enabling statute.[1]

Special zoning treatment may have a legitimate use, however, such as when a community wishes to have more local control of land use. This may occur in a rural county which has no zoning at all, where a village or hamlet may wish to maintain its characteristic feel and historic appeal (often to protect tourism), without adding another layer of local government and taxes by creating a municipality. The county designates the boundaries (often that of an already census-designated place) and maintain regulations through the county commission instead of a separate town council.

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Numbe Enter Value:

Maps | Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: R0400661
Parcel Number: 4006138332348
Owner: BUSTOS DAVID & ELEANOR
Mail Address: 2424 W UNION AVE
Subdivision:
Property Address: 2424 W UNION AVE
Acres: 4

Town of Mesilla, New Mexico

Phone (575) 524-3262

P.O. Box 10

2231 Avenida de Mesilla, Mesilla, NM 88046

Application Form For Zone Change

Case # 061140 (Z20-001) Date Submitted OCTOBER 21, 2020

Discussed by: L. SHANNON Date (s) VARIOUS THROUGH SEPT/OCT 2020

Section 1:

Name (s) of Property Owner (s) David and Eleanor Bustos

Address 2424 W. Union Ave. Phone _____

Name of Applicant (s) Dominic Licon

Address 4212 Hermia Ct. Phone 575-915-4605

Section 2:

Property Description: Address 2424 W. Union Ave.

Legal Description Lot (s) See Exhibit A Block _____

Subdivision N/A

If legal description is in metes and bound; is it attached to the application? Yes X No _____

Survey Plat attached: Yes _____ No no

Area (sq. ft. or acres) 4 1 acre lots Present Zone RF Present Land Use Residential and agricultural

Proposed Land Use:
Four residential lots zoned R1

Section 3:

Why is this change of zoning status being requested?

See Exhibit B.

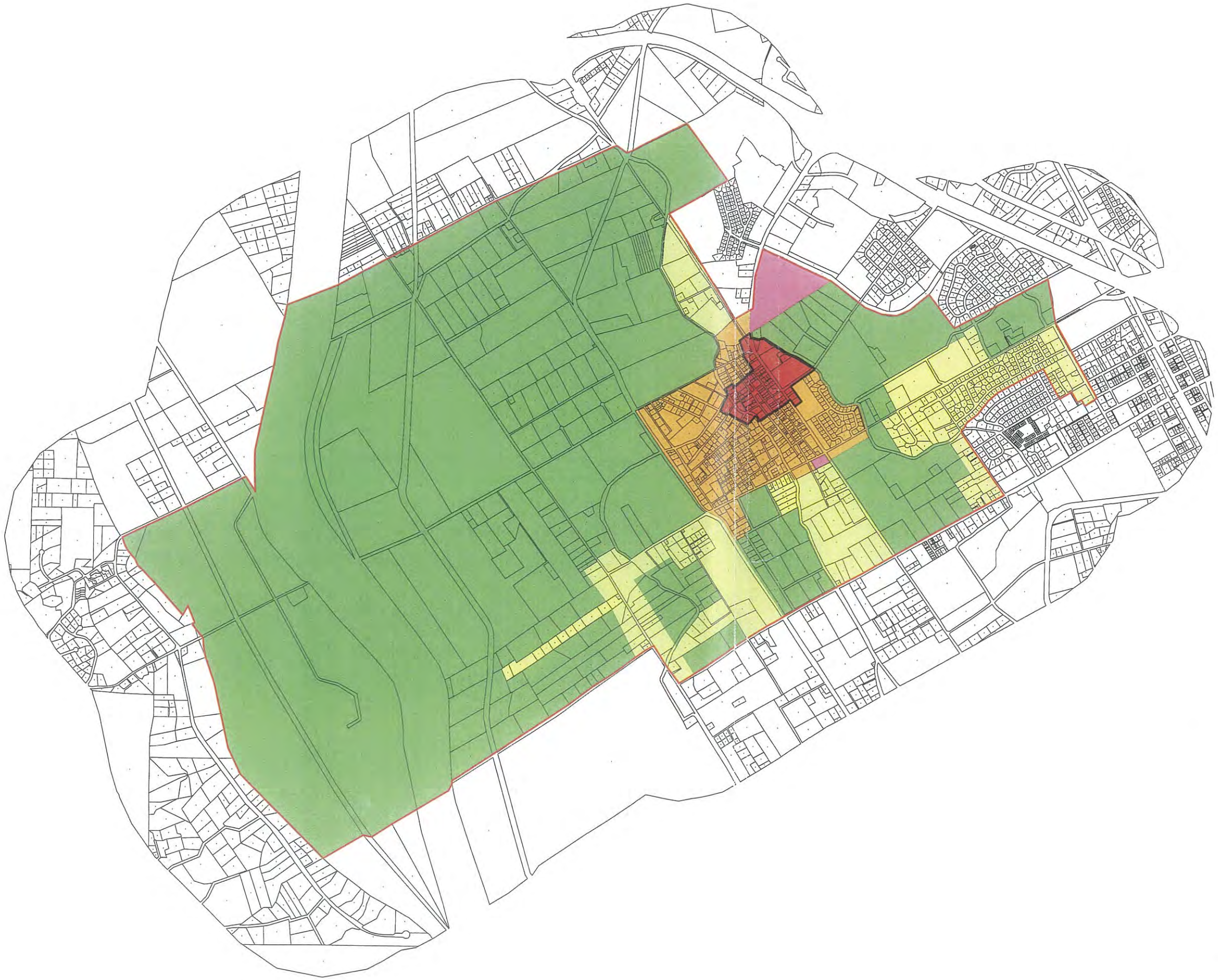
Signatures: **Property Owner** Eleanor Buster David Buster

Applicant Dominic Licon

NOTICE: NO APPLICATION WILL BE ACCEPTED WITHOUT THE SIGNATURE OF THE OWNER (S) OF RECORD OF THE ABOVE DESCRIBED PROPERTY. IF MORE THAN ONE, ALL OWNERS OF OR THEIR AGENTS MUST SIGN.

Fee Paid : Yes _____ **No** _____ **Affidavit : Yes** _____ **No** _____

Received by: _____ **Receipt #:** _____ **Amount:** _____



ZONING DISTRICT LEGEND

- GENERAL COMMERCIAL
- HISTORICAL COMMERCIAL
- HISTORICAL RESIDENTIAL
- SINGLE FAMILY - 1 ACRE MIN.
- RESIDENTIAL / AGRICULTURAL - 3 ACRE MIN.
- RURAL FARM - 5 ACRE MIN.

ZONING MAP

TOWN OF MESILLA

Prepared for:
Town of Mesilla
Dona Ana County, New Mexico

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

January, 2005

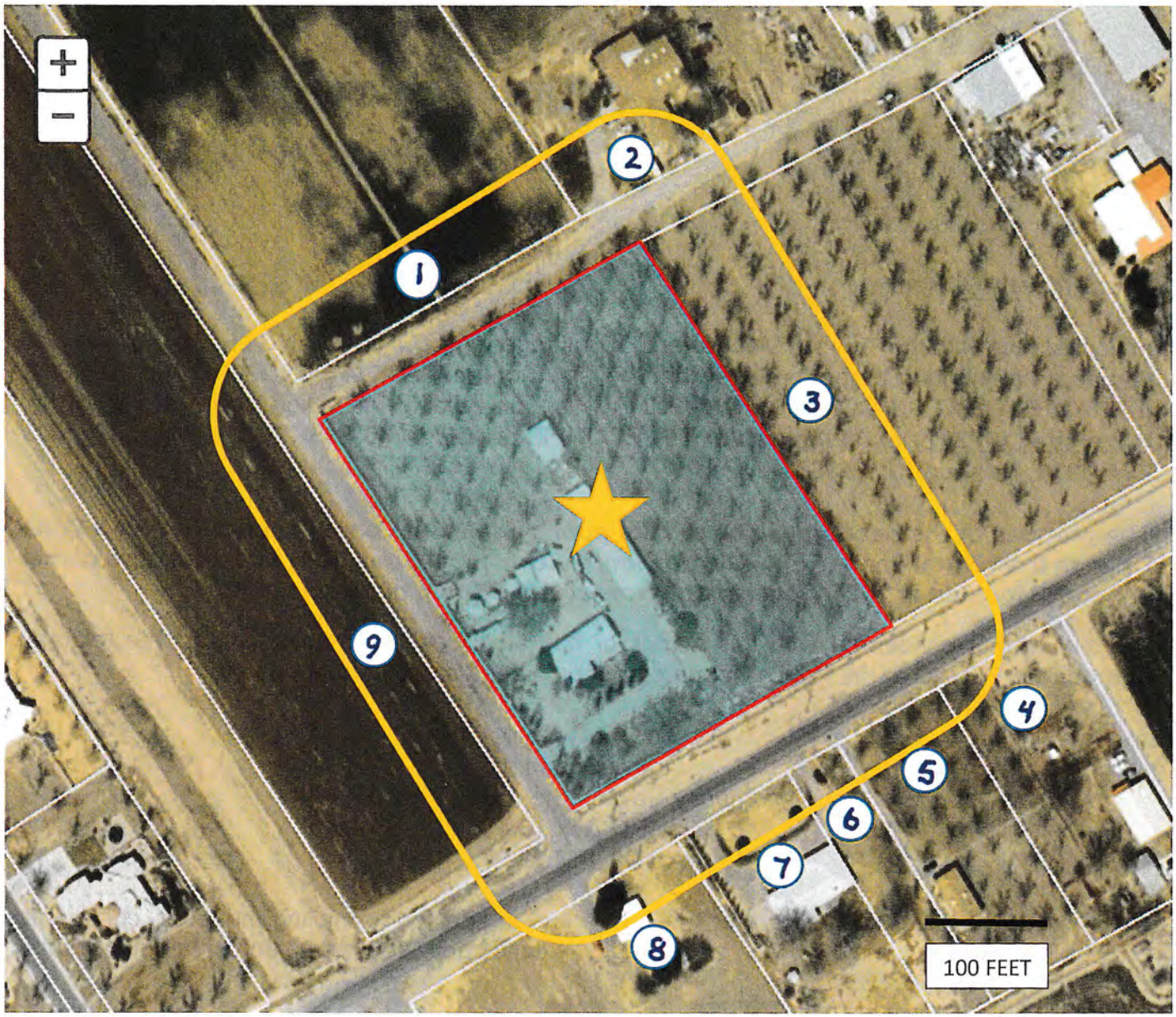
CONSENSUS PLANNING

SCALE: 1" = 1000'

500 0 1000 2000 feet

north

NOTIFICATION MAP
Z20-001



PROPERTY OWNERS

David & Eleanor Bustos
2424 W. Union Avenue
Las Cruces, NM 88005-4311

1. Margaret Z. Brunk
8. 3928 Rodeo Road
Santa Fe, NM 87505-4817

2. Charles W. Jr. & Diane A. Rogers
PO Box 531
Las Cruces, NM 88005

3. Christopher M. & Mary G. Canavan
2357 W. Union Avenue
Las Cruces, NM 88005

4. Blue Heron Enterprises LLC
5. 2357 W. Union Avenue
Las Cruces, NM 88005

6. James A. Stein - Trustee
The Stein Family Trust
2419 Union Avenue
Las Cruces, NM 88005

7. Jack L. & Mary C. Ruttle
2457 W. Union Avenue
Las Cruces, NM 88005

Town of Mesilla, New Mexico

November 1, 2020

Dear Property Owner:

In accordance with the Town of Mesilla regulations regarding ZONE CHANGES, we are notifying you as a neighboring property owner that the Town of Mesilla PLANNING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) will be holding a Public Hearing on **Monday, November 16, 2020 at 3:00 p.m. VIA TELECONFERENCE 1-346-248-7799, Meeting ID: 603 754 4231, Passcode: 193857.**

The purpose of the hearing will be to take public comments on an application for a Zone Change from Rural Farm (RF) to Single Family Residential Zone (R-1) for a four acre parcel zoned RF located at 2424 West Union Avenue in the Town of Mesilla, NM.

Anyone who is concerned with this matter or has any questions should contact me, or may address the PZHAC at the Public Hearing, or should send a written response to:

Town of Mesilla
Larry Shannon
Community Development Department
PO Box 10
Mesilla, NM 88046

Letters must be received before the Public Hearing. In addition to mailing the letter, comments may be e-mailed to Larry Shannon at larrys@mesillaNM.gov. You may also contact me at 575-524-3262 or 575-288-5357.

Sincerely,

Larry Shannon
Mesilla Community Development Coordinator
Town of Mesilla
Office: (575) 524-3262 ext. 104
Cell: (575) 288-5357
Fax: (575) 541-6327
E-mail: larry@mesillanm.gov

LAW OFFICES OF
MARTIN & LUTZ, P.C.
2110 NORTH MAIN STREET

REPLY TO (MAILING ADDRESS) P.O. DRAWER 1837
LAS CRUCES, NEW MEXICO 88004-1837

AREA CODE 575
526-2449

FAX 526-0946

WILLIAM L. LUTZ
DAVID P. LUTZ

R. WILSON MARTIN
OCTOBER 4, 1928 - MARCH 12, 2015

August 25, 2020

Mr. Larry Shannon
Mesilla Community Development Coordinator
larrys@mesillanm.gov

Re: Bustos-Licon Zoning Application

Dear Larry,

I have enclosed a draft of a zoning application. The properties are located on the north side of Union. We have requested pursuant to IRPA information on the original zoning. Mesilla has not been able to find anything. The land was divided some years ago into 4 one acre lots. Mr. and Mrs. Bustos some years ago built their home. The other lots are planted in pecans.

Dominic Licon, the Bustos' grandson, wishes to build a home on one of the lots. This is the reason for the application.

The property never should have been zoned RF as it never met the criteria for this zoning–a minimum 5 acre lot. The nearby property also had a number of lots of less than 5 acres. Since the time of the original zoning there are two residential subdivisions with what look to be one acre lots. The area has changed such that R-1 is now the appropriate zoning. In fact, it always should have been that zoning.

After review I would appreciate visiting with this proposed application. We would like the Town of Mesilla to support this change.

Thanks for the information you sent me.

MARTIN & LUTZ, PC

By _____
William L. Lutz

EXHIBIT B

This property was sold to the Bustos family from a party who has acquired the property as four one acre tracts. It was never the Bustos' grantor to convert the property to one four acre tract. The Bustos family acquired the property as four one acre tracts. At some point in time this property was zoned for 5 acre with a single family residence, even through the property was 4 one acre lots. Therefore this zoning was incorrect. Surrounding property also contain multiple lots of less that 5 acres, but were zoned for a 5 acre lot incorrectly. The Town of Mesilla has been unable to provide any information on the initial zoning.

Since the initial zoning there has been changes in the surrounding area such that the predominate lot size is well less that 5 acres. It is now mostly 1 acre lots. At this time there are two residential subdivisions nearby–Mesilla Verde and Los Arenales. Thus, the surrounding property use had changed. To change this zoning to R-1 is consistent with the surrounding area and zoning.

Dominic Licon desires to build a home near his grandparents residence on one of the lots. The Town of Mesilla should encourage grandchildren of Mesilla residents to build and reside in Mesilla to preserve the character of the community.

EXHIBIT "A"

TRACT NO. ONE

A tract of land situate in the Mesilla Civil Colony Grant and in Section 36, T 23 S, R1E, of the U.S.R.S. Surveys being part of County Plat No. 822, U.S.R.S. Tract 11-164 and more particularly described as follows, to wit:

Beginning at the Northwest corner of the tract herein described, a point on the East line of a fifty foot road easement; whence the Southwest corner of Lot 12, Los Arenales Subdivision bears N. 33°29' W. 950.64 feet; thence N. 60° 25' E. 187.08 feet to the Northeast corner; thence S. 33°29' E. 233.32 feet to the Southeast corner; thence S. 60°25' W. 187.08 feet to the Southwest corner; thence N. 33°29' W. 233.32 feet to the place of beginning, containing 1.000 acre of land more or less.

TRACT NO. TWO

A tract of land situate in the Mesilla Civil Colony Grant and in Section 36, T 23 S, R1E, of the U.S.R.S. Surveys being part of County Plat No. 822, U.S.R.S. Tract 11-164 and more particularly described as follows, to wit:

Beginning at the Northwest corner of the tract herein described, a point on the East line of a fifty foot road easement; whence the Southwest corner of Lot 12, Los Arenales Subdivision bears N. 33°29' W. 717.32 feet; thence N. 60° 25' E. 187.08 feet to the Northeast corner; thence S. 33°29' E. 233.32 feet to the Southeast corner; thence S. 60°25' W. 187.08 feet to the Southwest corner; thence N. 33°29' W. 233.32 feet to the place of beginning, containing 1.000 acre of land more or less.

TRACT NO. FOUR

A tract of land situate in the Mesilla Civil Colony Grant and in Section 36, T 23 S, R1E, of the U.S.R.S. Surveys being part of County Plat No. 822, U.S.R.S. Tract 11-164 and more particularly described as follows to wit:

Beginning at the Northwest corner of the tract herein described ; whence the Southwest corner of Lot 12, Los Arenales Subdivision bears the following two courses and distances; S. 60°25' W. 187.08 feet, and N. 33°29' W. 717.32 feet; thence from said place of beginning N. 60°25' E. 187.08 feet to the Northeast corner, a point on the west line of a 50 foot road easement; thence S. 33°28' E. 233.32 feet to the Southeast corner; thence S. 60°25' W. 187.08 feet to the Southwest corner; thence N. 33°29' W. 233.32 feet to the place of beginning containing 1.000 acre of land more or less.

TRACT NO. FIVE

A tract of land situate in the Mesilla Civil Colony Grant and in Section 36, T 23 S. R1E, of the U.S.R.S. Surveys being part of County Plat No. 822, U.S.R.S. Tract 11.164 and more particularly described as follows to wit;

Beginning at the Northwest corner of the tract herein described ; whence the Southwest corner of Lot 12, Los Arenales Subdivision bears the following two courses and distances; S. 60°25' W. 187.08 feet and N. 33°29' W. 950.64 feet; thence from said place of beginning, N. 60°25' E. 187.08 feet to the Northeast corner, a point on the west line of a 50 foot road easement; thence S. 33°29' E. 233.32 feet to the Southeast corner; thence S. 60°25' W. 187.08 feet to the Southwest corner; thence N. 33°29' W. 233.32 feet to the Place of beginning, containing 1.000 acre of land more or less.

State of N. Mex., Co. of Dona Ana
RECEPTION NO. 72875 I hereby certify that this instrument was filed for record and duly recorded on:

DEC 29 1975

2:40 o'clock P.M. in Book 237 Page 424-425 of the records of this County. Witness my hand and seal of office
County Clerk
By Deputy

COUNTY CLERK SEAL

DONA ANA COUNTY CLERK

'75 DEC 29 PM 2 40

L.C. abst.

425

EXHIBIT
A