



Town of Mesilla, New Mexico

PZHAC WORKSHOP & MEETING

AGENDA

AUGUST 17, 2020

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION VIA TELECONFERENCE ON MONDAY, AUGUST 17, 2020 AT 2:30 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 603-754-4231 PASSWORD 193857.

- A. Discussion of a combined barn and dwelling (Case 061084) to be built on a property adjacent to the south side of 2515 Snow Road (address to be assigned), submitted by John and Judy Harris. Zoned: Rural Farm (RF)

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A REGULAR MEETING VIA TELECONFERENCE ON MONDAY, AUGUST 17, 2020 AT 3:00 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 603-754-4231 PASSWORD 193857.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

III. CHANGES/APPROVAL OF THE AGENDA

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

A. *PZHAC MINUTES – PZHAC Workshop and Meeting of August 3, 2020.

B. *ADMINISTRATIVE APPROVALS

Zoning Permit:

1. Case 061093 – 2830 Teresita Street, submitted by Shirley Stotz; a request for a zoning permit to install solar panels on a dwelling at this address. Zoned: Historical Residential (HR)
2. Case 061094 – 2320 calle de Santiago, submitted by Martha Liefeld; a request for a zoning permit to repair a roof and an adobe parapet on a dwelling at this address. Zoned: Historical Residential (HR)
3. Case 061096 – 2080 Calle de Parian, submitted by Charles Rogers for the “Billy the Kid” gift shop; a request for a zoning permit to replace an existing exit door. Zoned: Historical Commercial (HC)
4. Case 061097 – 2080 Calle de Parian, submitted by Charles Rogers for the “Billy the Kid” gift shop; a request for a zoning permit to repair the Territorial facade at the northwest entrance to the building. Zoned: Historical Commercial (HC)
5. Case 601098 - 2610 Calle Tercera, submitted by Samuel Kane; a request for a zoning permit to allow the painting of two duplexes on the property at this address. Zoned: Historical Residential (HR)

Sign Permis:

6. Case 061101– 2385 Calle de Parian, submitted by Charles Rogers for “Billy the Kid Gift Shop”; a request for a sign permit to repaint an existing sign on a gift shop at this location. Zoned: Historical Commercial (HC)

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

Public input shall be received at larrys@mesillanm.gov at least one hour prior to the meeting and will be read into the record. You will also be given an opportunity to speak during this time by joining the meeting by phone and pressing *9 while in the teleconference. This will let the host know that you wish to speak. You will be prompted by the host or the Commission Chair when to begin speaking.

B. DECISIONS:

Zoning Permits:

1. **Case 061046** – 1850 Calle de Mesilla, submitted by Samantha Simpson for Nancy Clayshulte; a request for a zoning permit to install a farm fence along the east side of a pecan grove on this property. Zoned: Historic Residential (HR)
2. **Case 061084** – Snow Road (adjacent to the south side of 2515 Snow Road – address to be assigned) submitted by John and Judy Harris, a request for a zoning permit to allow the construction of a combined barn and dwelling on the subject property at this location. Zoned: Rural Farm (RF)
3. **Case 061085** – 2852 Erminda Street, submitted by Eric and Cindy Van Pelt; a request for a zoning permit to allow the construction of a pergola over a patio at the rear of a dwelling at this address. Zoned: Historical Residential (HR)
4. **Case 061088** – 2067 Stithes Road, submitted by Jon Strain; a request for a zoning permit to allow the construction of a garage/workshop on a residential property at this address. Zoned: Rural/Agricultural (RA)
5. **Case 061099**– 23230 Calle de Santiago, submitted by Martha Liefeld; a request for a zoning permit to allow the installation of an adobe wall and latia fence on a residential property at this address. Zoned: Historical Residential (HR)
6. **Case 061100** – 2120 Calle del Sur, submitted by Davie Salas; a request for a zoning permit to allow the placement of four latia fences on a residential property at this address. Zoned: Historical Residential (HR)

VI. PZHAC/STAFF COMMENTS

VII. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 8/13/20 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristramn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC NEW BUSINESS

AUGUST 17, 2020

WORK SESSION

**PZHAC WORK SESSION
AUGUST 17, 2020**

Discussion of a combined barn and dwelling (Case 061084) to be built on a property adjacent to the south side of 2515 Snow Road (address to be assigned), submitted by John and Judy Harris. Zoned: Rural Farm (RF)

This case was postponed by the PZHAC during the August 3, 2020 PZHAC meeting in order to allow staff to obtain a legal opinion as to whether the process by which the subject four acre property was created resulted in a separate buildable lot recognized by the Town.

Staff has still not received a legal opinion concerning the creation of the property at the time of this writing.

DESCRIPTION OF REQUEST:

The applicants would like to build a combination barn and dwelling on a property they own that is adjacent to the property they live on. According to the applicants, the dwelling will be for their daughter to live in, and the remainder of the barn will be used to store equipment that they use in the pecan groves that are located on the two properties. The property to be occupied by the barn/dwelling is currently occupied by a pecan grove and a small storage building. There are no other structures on the property. Since the dwelling portion of the barn is over 600 square feet in size, the applicants have been informed that this will be considered the primary dwelling on the property if they ever decide to build a second dwelling on the property. (Secondary dwellings in the R F zone are considered "Guest Houses" and are limited to a maximum of 600 square feet.) The applicants have stated that the reason for combining the dwelling and the barn is that this is the most economical way for them to build both uses.

The barn will be a 40 foot by 50 foot (2000 square feet) metal Mueller building. The dwelling will occupy about 850 square feet of the barn (see attached floorplan and elevations). The applicants have been informed that due to the fact that the dwelling will be over 600 square feet in size, the dwelling will be considered the primary residence on this property, if the property is recognized by the Town as a legal property.

According to Tom Maese, Chief building Inspector for CID, there will need to be a firewall between the dwelling and the storage sides of the barn based on the fact that the two uses are completely different types of occupancies. Additionally, according to the RF zoning code for the property, any new electrical service to the barn will need to be underground.

Consistency with the Code:

The property is zoned Single Family Residential (R-1). The PZHAC will need to determine if the subject four acre lot is recognized as a separate subdivided lot from the original five acres according to MTC 18.60.180 stated below; and the proposed work barn/dwelling meets the requirements of the RF zone for this type of structure:

Chapter 18.20 RF – RURAL FARM ZONE

18.20.020 Permitted uses.

A lot in the RF zone shall be used for the following purposes only:

A. A farm or ranch.

B. A one-family home, only as an accessory to the primary agricultural use.

J. Accessory structures and uses such as barns, corrals, sheds, pens and similar structures customarily incidental to any of the above uses, when located on the same lot.

18.20.050 Development standards.

E. Utilities. All installation of utility lines shall be underground, wherever technically feasible. [Ord. 2004-7 § 3; Ord. 2004-01 § 2; Ord. 94-06 § 1; prior code § 11-2-11.1.E]

Chapter 18.60 GENERAL PROVISIONS, CONDITIONS AND EXCEPTIONS

18.60.180 Area requirements deemed met.

Any lot or building site shall meet the minimum area requirements when:

A. It existed as an entire lot, or as an entire parcel, for which either a deed was on record in the office of the county recorder or a bona fide contract of sale was in effect prior to the effective date of the ordinance codified in this section.

B. It is legally subdivided after the effective date of the ordinance codified in this section. [Ord. 94-06 § 1; prior code § 11-2-5.18]

If it is determined by the Town that the property is not recognized as having been legally subdivided and the property is still part of the original five acres, then the dwelling can be allowed as a “Guest House”, but it will be limited in size to 600 square feet.

The PZHAC will need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

The applicant will be present at the work session to provide further details about the proposed construction, and to answer any questions that may arise.

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number ▾ Er

Maps

Legend

Map Themes

Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0400123](#)
Parcel Number: 4005138425238
Owner: HARRIS JOHN E & JUDY L
Mail Address: PO BOX 271
Subdivision:
Property Address: SNOW RD
Acres: 4.05



VIEW OF THE APPLICANT'S DWELLING FROM SNOW ROAD



VIEW OF THE SUBJECT PROPERTY FROM SNOW ROAD



Property Record Card

Doña Ana Assessor

HARRIS JOHN E & JUDY L

Account: R0400123

Parcel: 4-005-138-425-238

PO BOX 271
MESILLA, NM 88046-0271

Tax Area: 2DIN_NR - 2DIN_NR

Situs Address:

Acres: 4.060

SNOW RD
Mesilla, 88046

Neighborhood S11 - MESILLA

Legal Description

S: 35 T: 23S R: 1E BRM 10 PT OF TR 67



Land Occurrence 1

Property Code	0400 - AGRICULTURAL LAND	Electricity	OE - OVER-ELECTRC
Measure	PA - PER-ACRE	Sewer Type	ST - SEPTIC-TANK
Street Code	D - DIRT	Topography Code	L - LEVEL
Acres	4.06	Zoning	RR - RURAL-RESID

SubArea	ACTUAL	EFFECTIVE	HEATED	FOOTPRINT
Acres				
Total				

Commercial/Ag Occurrence 1

Property Code	0120 - RESIDENTIAL IMPROVEMENT	Actual Year Built	1985
Condition	P - POOR	Foundation	Y
Percent Complete	100		



Ron C. Nims Architect, LLC.

3200 McDowell Rd., Las Cruces, NM 88005

(575) 644-1799

rcnimsarchitect@gmail.com

JULY 12, 2020

PZHAC of Mesilla, New Mexico
Community Development Coordinator
Larry Shannon

Dear Larry,

My name is Ron Nims and I am an Architect that has been Hired by John & Judy Harris of Mesilla to help develop plans for a Barn/Residence on a 4.064 ac tract of land located on Snow Road.

The proposed project consist of a 40ft. x 50ft. x 12ft eave ht Pre-Engineered Metal Building with a 3/12 roof pitch.

1. Half of the building will consist of a Work Shop/Garage and Half of the building will be a Residence.
2. The Residence half of the building will be fully finished in accordance to the building code of the state of New Mexico.
3. The pre-engineered Metal Building is an economical solution that solves the problem of providing a facility to help take care of the existing Pecan Orchard and provide a residence for their daughter who will be taking care of the Orchard.
4. I have submitted a preliminary Site plan, Floor plan, Elevations, and some isometrics of the pre-engineered Metal Building.

I am requesting approval of this request so that the final building plans can be completed and submitted to the NM CID for a building permit.

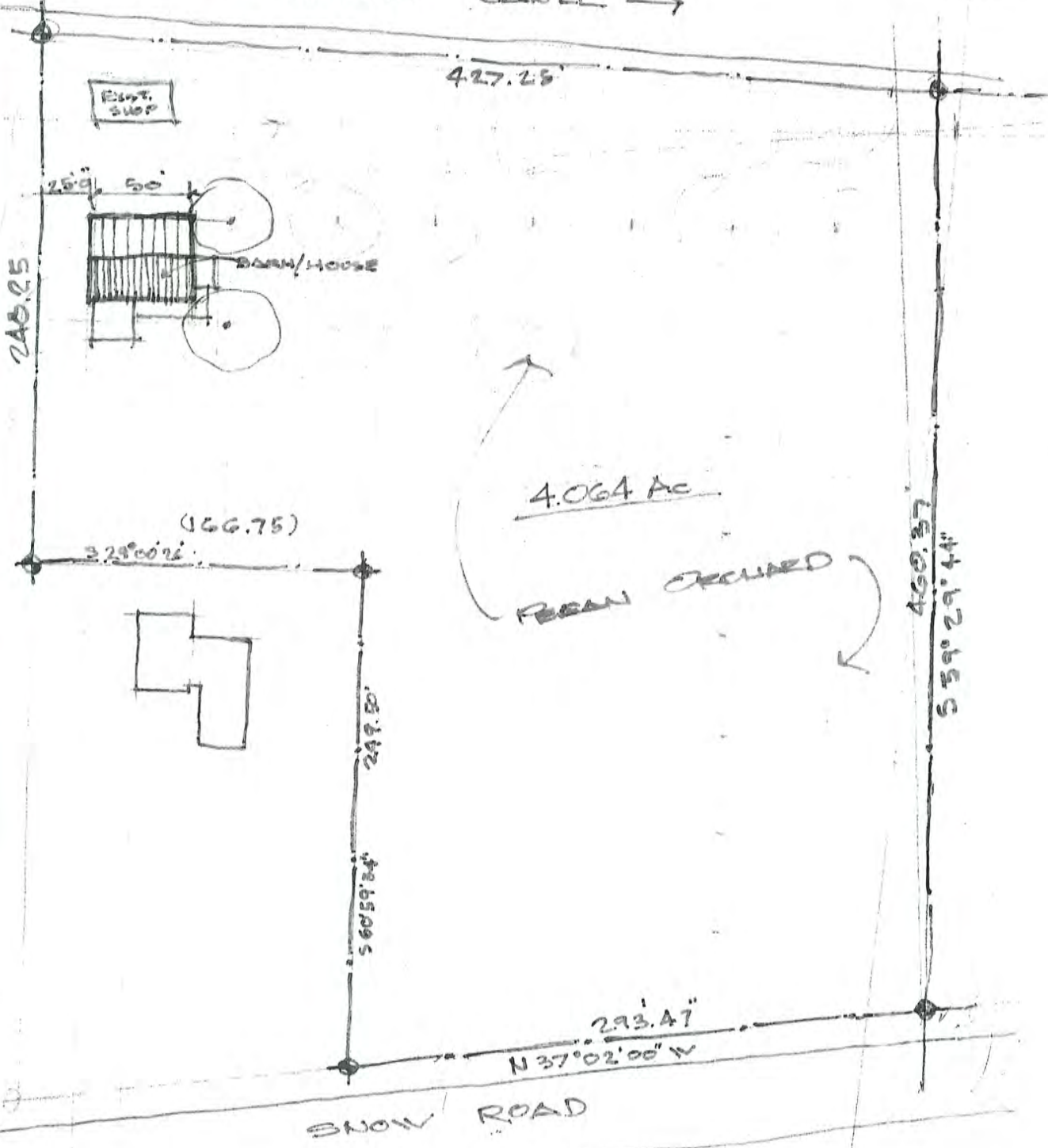
Thank you for your help and I will be available to answer questions from the PZHAC of Mesilla.

Ron C. Nims Architect, LLC

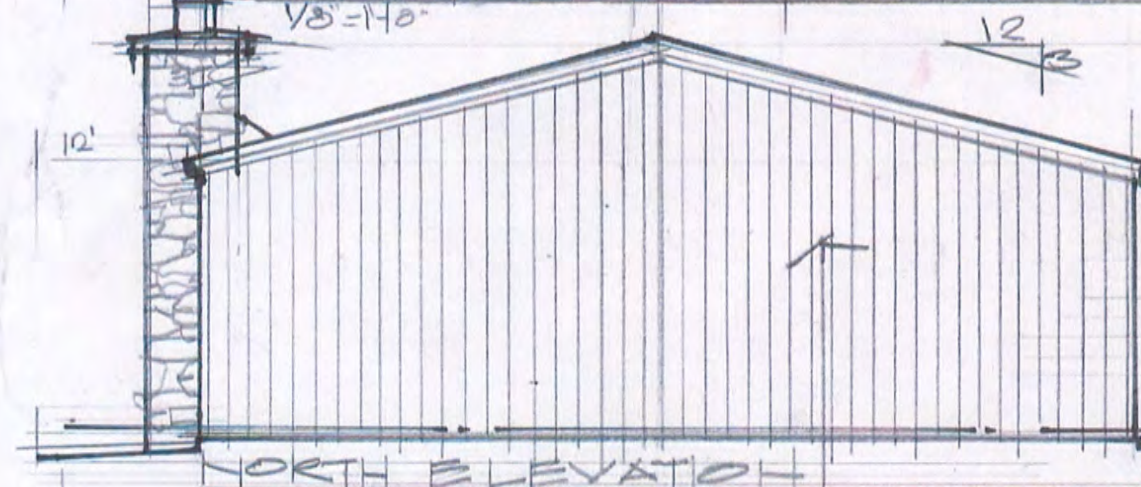
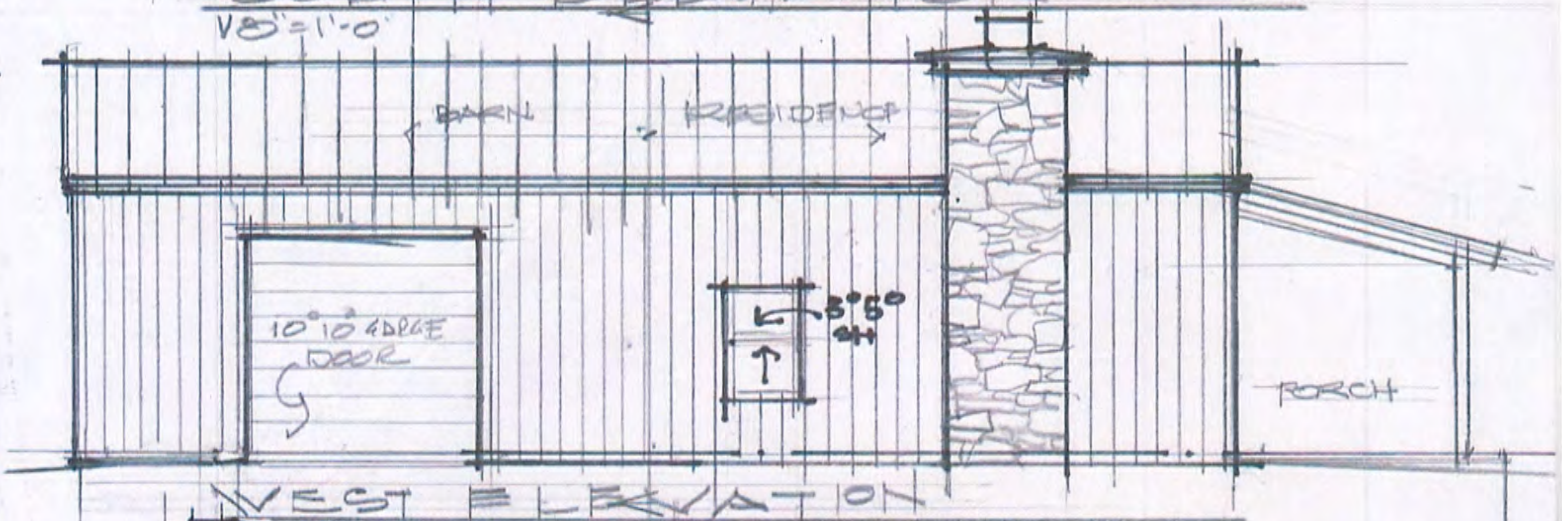
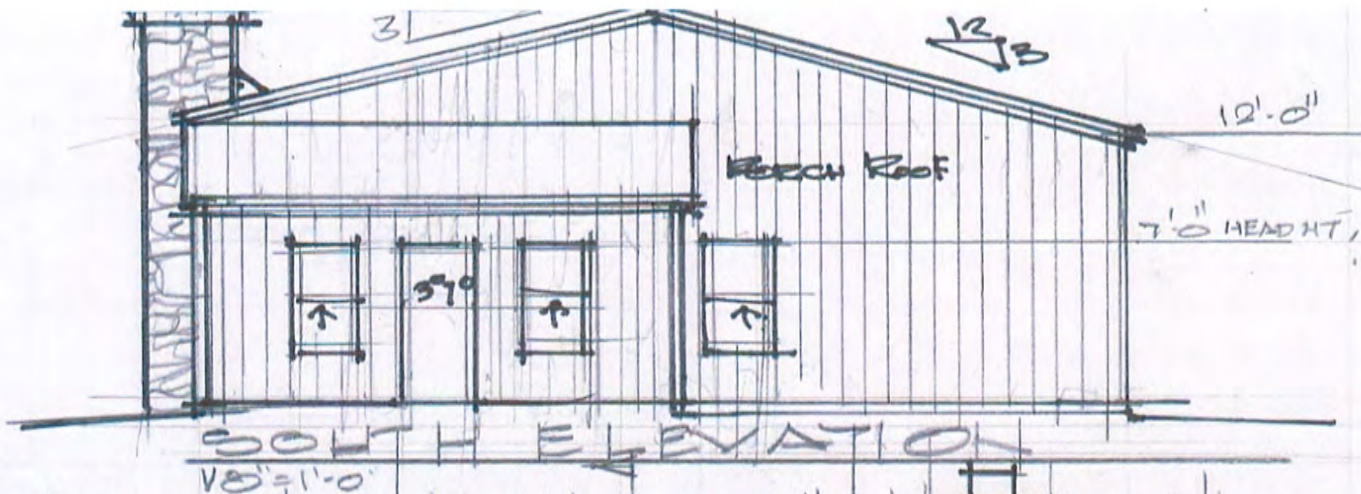
5

John & Judy Harris
2515 Snow Rd.
575-640-5535
judy@queenofshomes.com

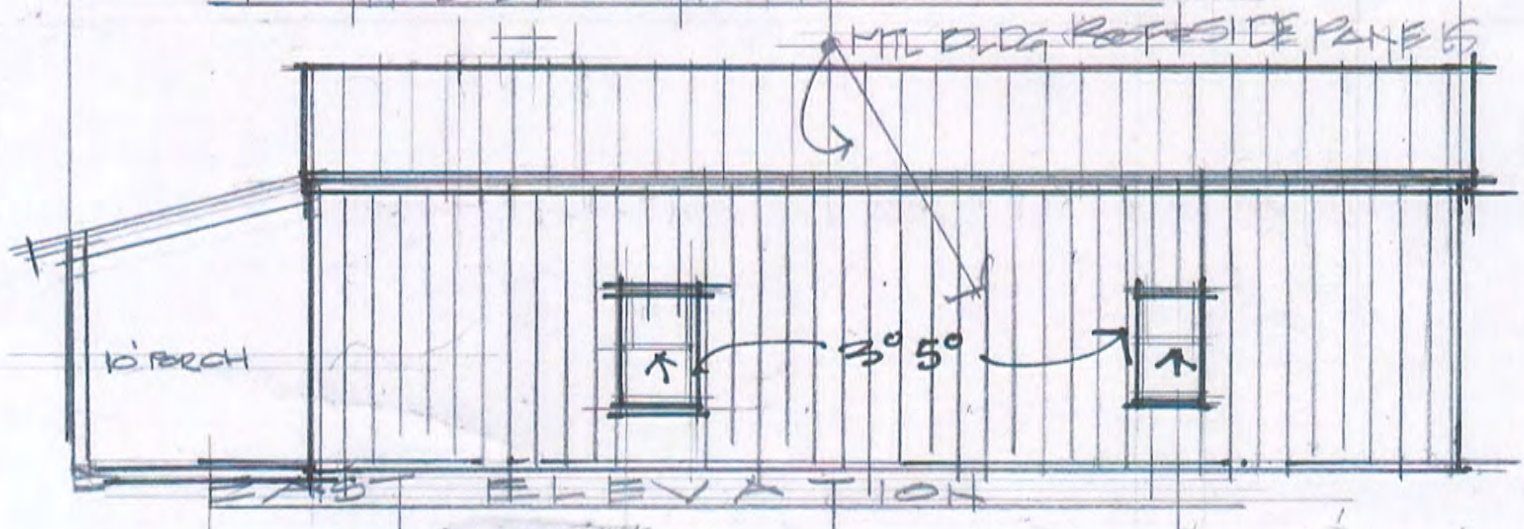
← CALIFORNIA CANAL →



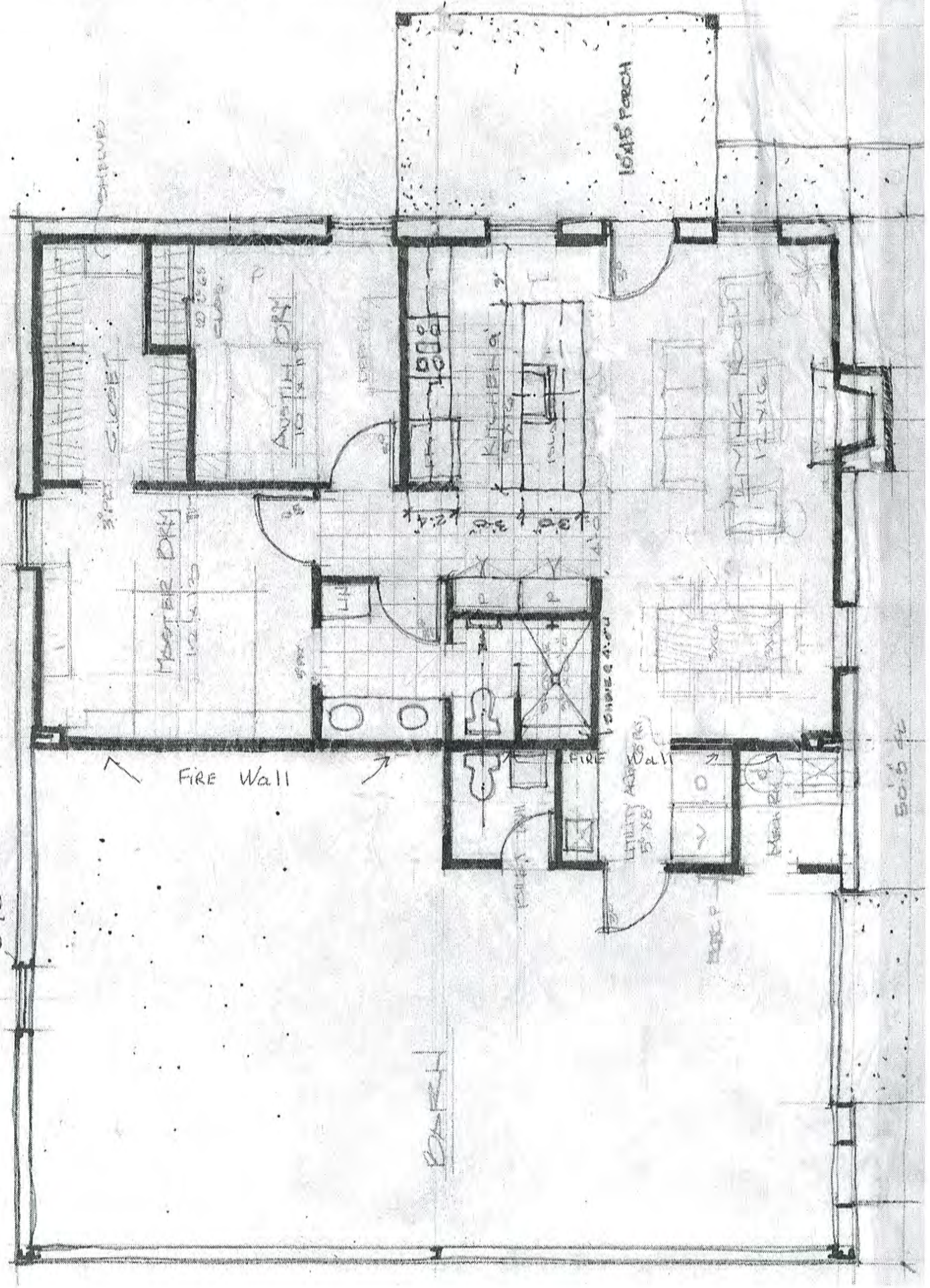
NORTH
SITE PLAN
1" = 100'-0"

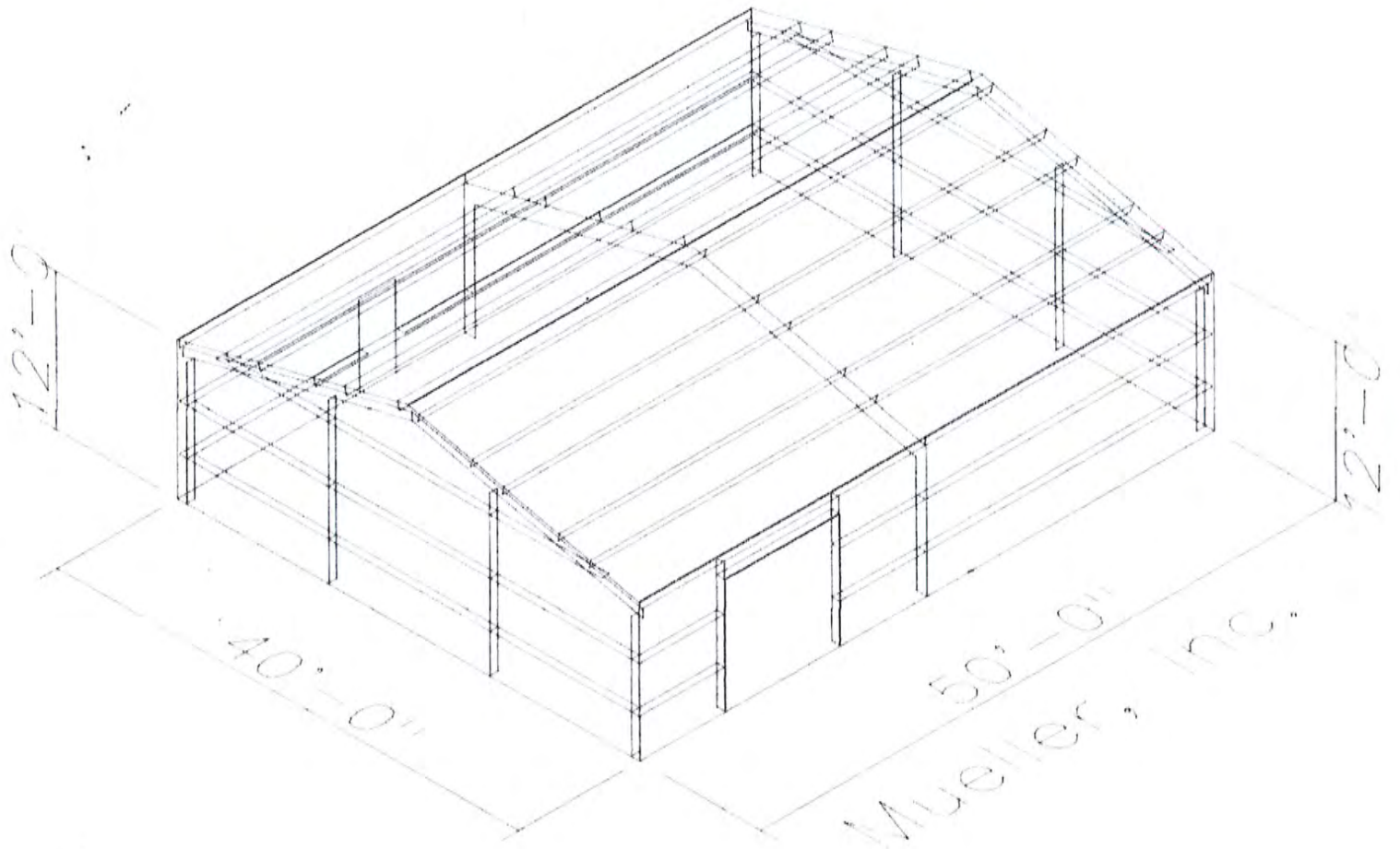


- SPECS:**
1. ALL WINDOWS 3'5" SH
 2. ALL DOORS 3'0" WIDE
 3. R-19 WALL INSUL.
 4. R-30 ROOF INSULATION



John & Judy Harris 2515 Snow Rd
575-640-5535

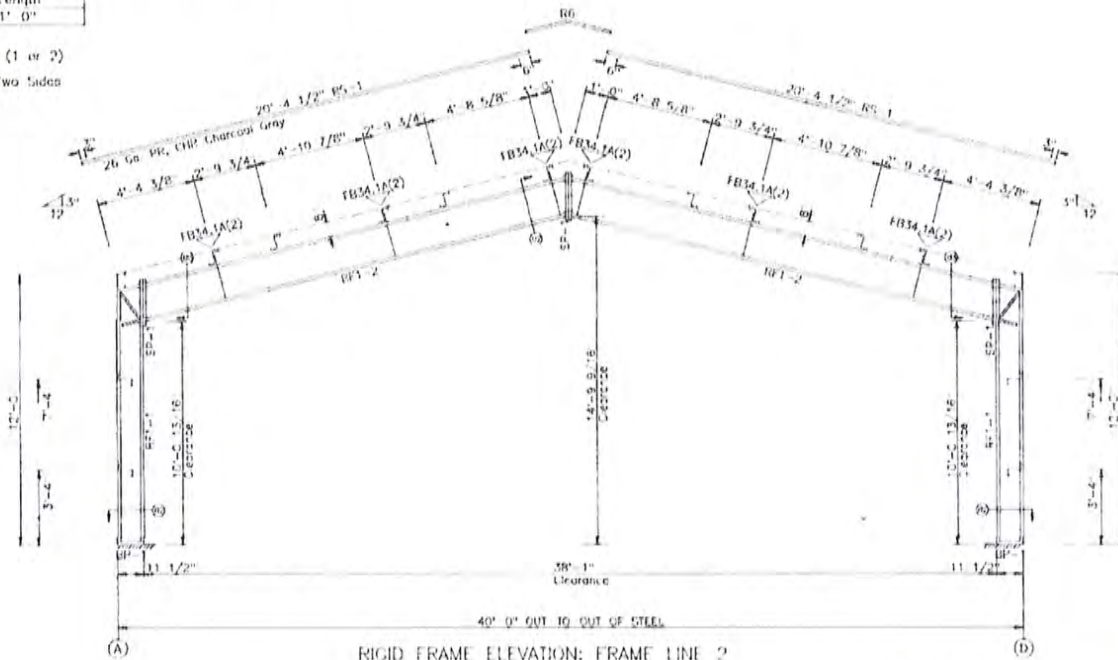




SPLICE PLATE & BOLT TABLE							
Mark	Qty	Top	Bot	Int	Type	Dia	Length
SP-1	4	4	2	A325		0.750	2.50
						6"	1 1/2" 2" 1"

BASE PLATE TABLE			
Col	Plate Size	Width	Thick length
BP-1	6"	1 1/2"	1' 0"

FLANGE BRACE, FBxx (1 or 2)
 xx=length(in)
 (1) One Side, (2) Two Sides
 A - FB2X2X12

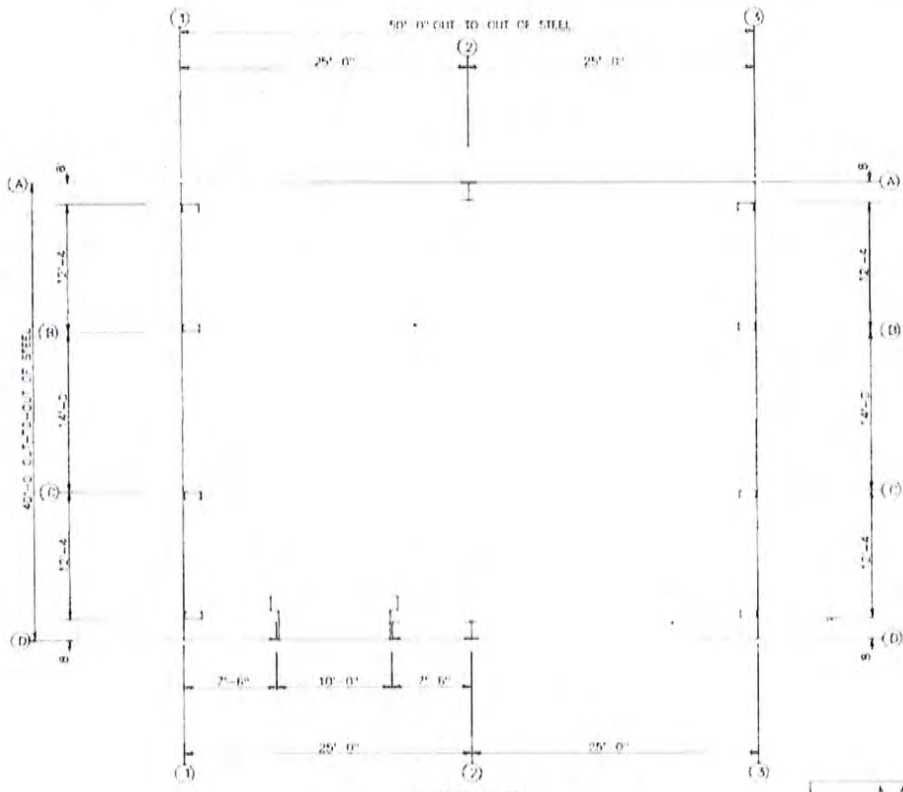


RIGID FRAME ELEVATION: FRAME LINE 2

**** THIS ENDWALL FRAME IS NOT EXPANDABLE ****
 (Will be verified during renumbering)

MUELLER, INC.
 STEEL ERECTING SYSTEMS & COMPONENTS
 1913 Hulsman Ave Dallas, TX 75221
 (214) 527-1607 (325) 365-8103 (Fax)

PROJECT: RIGID FRAME ELEVATION
 SHEET: 40' 0" x 50' 0" x 12' 0" (Sheet Scale: 3/8" = 1'-0")
 CONTRACTOR: Kenneth Colson Construction
 LOCATION: 1st Cross St. RD111
 DATE BY: EKA/EP 1/17/20
 DATE: 6/11/20
 SCALE: NONE
 DESIGNED BY: Jesus Carrera
 APPROVED BY: Kenneth JG
 SHEET NO: 000006
 REV: 01



FLOOR PLAN

Preliminary
Not for Construction

MUELLER, INC. SHELL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Balinger, TX 76021 (817) 527-1017 (524) 265-8103 (Fax)		
REGION: FLOOR PLAN SIZE: 45'-0" x 50'-0" x 12'-0" CUSTOMER: Kenneth Cochran Construction DRAWN: Les Cordero, NM 25011 DATE: 6/11/23 SCALE: NONE SHEET: 0000000 JOB NO: Kenneth-76 SHEET NO: 01	SHEET NO: 1012 DATE: 01	

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061084

Fee \$ 123.⁰⁰

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061084 ZONE: RF CODE: NE APPLICATION DATE: 7/16/20

John & Judy L. Harris 575-640-5535
Name of Property Owner Property Owner's Telephone Number

PO Box 271 Mesilla, N.M 88046
Property Owner's Mailing Address City State Zip Code

judy@quinoneshomes.com
Property Owner's E-mail Address

Quinones Design Build, Inc.
Contractor's Name & Address (If none, indicate self)

575-524-4646 85-0413497 54879
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

2515 Snow Rd, Mesilla NM 88046
Address of Proposed Work:

Construction of 40x50 barn with south end being finished off as a small house
Description of Proposed Work:

\$75,000.00 John Harris 7-16-2020
Estimated Cost Signature of Applicant Date

Judy L. Harris
Signature of property owner:

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions)

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC APPROVAL REQUIRED
CID PERMIT REQUIRED
ZL

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
- _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 - _____ Site Plan with dimensions and details.
 - _____ Foundation plan with details.
 - _____ Floor plan showing rooms, their uses and dimensions.
 - _____ Cross section of walls
 - _____ Roof and floor framing plan
 - _____ Proof of legal access to the property.
 - _____ Drainage plan.
 - _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 - _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).

PZHAC
WORK SESSION & REGULAR MEETING
MINUTES
AUGUST 3, 2020

(PART OF CONSENT AGENDA)



**PZHAC MEETING
MINUTES
AUGUST 3, 2020**

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION VIA TELECONFERENCE ON MONDAY, AUGUST 3, 2020 AT 2:30 P.M. **TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 603-754-4231 PASSWORD 193857.**

A. Discussion of duplexes to be built by Steven Cadena on properties at 2220 and 2230 Calle del Sur (Case 061089 and Case 061090). Zoned Historical Residential (HR)

Case 061089 – 2220 Calle del Sur, submitted by Steven Cadena; a request for a zoning permit to allow the construction of a duplex on a property containing an existing duplex at this address. Zoned: Historical Residential (HR)

Case 061090 – 2230 Calle del Sur, submitted by Steven Cadena; a request for a zoning permit to allow the construction of a three additional dwellings, including a duplex, on a property containing half of a duplex under construction, to create a total of two duplexes on the property at this address. Zoned: Historical Residential (HR)

The applicant was present by “Zoom” to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case, explaining that the applicant has submitted two applications for duplexes that were submitted after the moratorium on construction in the Historic Residential (HR) zone expired, but before the new amendment to the HR zone (MTC 18.35) was approved by the BOT in May. As a result, the requested permits were to be considered under the old regulations and the Town’s legal opinion that the wording of MTC 18.35 allowed properties to be developed to a density of one dwelling per every 4000 square feet of land for “multi-family” (duplexes or larger) development. The requested permits, when considered with dwellings that were already on the two properties, would result in development of the properties to eight dwelling in four duplexes on about one acre, or about one dwelling per 4000 square feet of land.

Commission Chair stated that the fire chief would need to check the access to the dwellings to ensure that it met Code. She also stated that the overall development of the two properties appeared to be a subdivision without having to meet the subdivision requirements such as road standards and fire hydrant requirements, and that there was nothing else like it in Town. Mr. Cadena compared his project to others in Town. Commissioner Salas replied that these were on one-half acre and did not have as many dwellings. Further discussion included the stated from Mr. Cadena that he was there to get input from the PZHAC as to how they would like to see the development take place. Commissioner Nevarez stated that the current proposal looks like it has the elements of a subdivision, and that the impacts of the development should be analyzed. Commission Chair suggested that a Traffic Impact Analysis be done. She also stated that she would like to have the proposal heard by the full commission, since Commissioner Prieto was not present. Commissioner Salas suggested that the applicant meet with staff to consider the input from this meeting, and that another work session was needed after the meeting with staff and the issues brought up at this meeting were addressed. There were no other issues.

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A REGULAR MEETING VIA TELECONFERENCE ON MONDAY, AUGUST 3, 2020 AT 3:00 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 603-754-4231 PASSWORD 193857.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

Commissioner Prieto was absent. All other Commissioners were present. There was a quorum. Commissioner Lucero was acting chair.

III. CHANGES/APPROVAL OF THE AGENDA

Commission chair Lucero recommended that Case 061084 be removed from the agenda to allow property research to be done to determine if the subject lot was created legally under the subdivision regulations. A motion to approve the Agenda as amended was made by Commissioner Salas, seconded by Commissioner Houston, and approved by a vote of 4 - 0

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

There were no changes to the Consent Agenda. A motion to approve the Consent Agenda was made by Commissioner Salas, seconded by Commissioner Lucero, and approved by a vote of 4 - 0.

A. *PZHAC MINUTES – PZHAC Special Meeting of July 23, 2020.

Approved as part of the Consent Agenda

B. *ADMINISTRATIVE APPROVALS

Zoning Permit:

1. **Case 061083** – 2649 Calle del Sur, submitted by Paul Barraza; a request for a zoning permit to allow repairs to a wrought iron driveway gate at this address. Zoned: Historical Residential (HR)

Approved as part of the Consent Agenda

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

Public input shall be received at larrys@mesillanm.gov at by one hour prior to the meeting and will be read into the record. You will also be given an opportunity to speak during this time by joining in the meeting by phone and pressing *9 while in the teleconference. This will let the host know that you wish to speak. You will be prompted by the host when to begin speaking.

Judy Harris, applicant for Case 061084 (by telephone)

Stated that the case was submitted four months ago and that numerous questions were brought up about the proposed building, but nothing was ever mentioned about the property size. This should have been brought up four months ago.

B. DECISIONS:

Zoning Permits:

1. **Case 061084** – Snow Road (adjacent to the south side of 2515 Snow Road – address to be assigned) submitted by John and Judy Harris, a request for a zoning permit to allow the construction of a combined barn and dwelling on the subject property at this location. Zoned: Rural Farm (RF)

Removed from the agenda to allow research into the creation of the property.

2. **Case 061085** – 2852 Ermindia Street, submitted by Eric and Cindy Van Pelt; a request for a zoning permit to allow the construction of a pergola over a patio at the rear of a dwelling at this address. Zoned: Historical Residential (HR)

Staff provided a brief review of this request, including the fact that the site diagram showed that a corner of the pergola intrude into the new rear setback requirement of five feet. The PZHAC determined that the entire pergola needed to be outside the seven foot required setback. There were no other issues with the proposed request. A motion was made by Commissioner Nevarez to POSTPONE the request to allow the applicant to address the setback issue, seconded by Commissioner Houston, and postponed by a vote

of 4 - 0.

3. **Case 061086** – 2288 Calle de Arroyo, submitted by Mary A. Madrid; a request for a zoning permit to allow the repainting of a dwelling at this address. Zoned: Historical Residential (HR)
Staff provided a brief review of this request. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Salas to approve the request, seconded by Commissioner Nevarez, and approved by a vote of 4 - 0.
4. **Case 061087** – West side of 2890 Avenida de Mesilla, along Calle de San Albino; submitted by Pena Rentals; a request for a zoning permit to allow the replacement of a deteriorating white wooden fence along the west property line at this address with a similar white wooden fence. Zoned: Historical Residential (HR)
Staff provided a brief review of this request. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Nevarez to approve the request, seconded by Commissioner Salas, and approved by a vote of 4 - 0.
5. **Case 061088** – 2067 Stithes Road, submitted by Jon Strain; a request for a zoning permit to allow the construction of a garage/workshop on a residential property at this address. Zoned: Rural/Agricultural (RA)
Staff provided a brief review of this request. Discussion arose as to the fact that the RA zoning of the property requires three acres for each property and that this property does not meet that requirement, making the property a legal non-conforming property. The PZHAC then determined that since this was a legal non-conforming property, the structures on it are legal non-conforming and therefore such use could not be expanded. A motion was made by Commissioner Houston to POSTPONE the request to allow staff to obtain a legal opinion from the Town attorney on this determination. The motion was seconded by Commissioner Salas, and approved by a vote of 4 - 0.

VI. PZHAC/STAFF COMMENTS

Commission chair Lucero directed staff to research the creation of the property in Case 061084, and to obtain a legal opinion as to the PZHAC decision reached in Case 061088.

VII. ADJOURNMENT

The meeting was adjourned at 3:45 pm.

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 7/31/20 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristramn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC NEW BUSINESS

AUGUST 17, 2020

ADMINISTRATIVE APPROVALS

(PART OF CONSENT AGENDA)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061093
[PZHAC CONSENT AGENDA –8/17/20]**

Item:

Case 061093 – 2830 Teresita Street, submitted by Shirley Stotz; a request for a zoning permit to install solar panels on a dwelling at this address. Zoned: Historical Residential (HR)

Description of Work Done:

The applicant will add solar panels to a dwelling having a flat roof. The panels will be primarily hidden behind a parapet that runs around the roof. There will be no changes to the dwelling or any other parts of the property.

Consistency with the Code:

Since the proposed solar panels will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

VIEW OF THE PROPERTY TERESITA STREET



Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points | Select Search Type: Account Number | Enter Value: | Search



Map Legend

Map Themes
Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: **RD400998**
Parcel Number: 4006137366514
Owner: STOLTZ, SHIRLEY A
Mail Address: 2830 TERESITA ST
Subdivision: MESILLA FARMS
8822094
Property Address: 2830 TERESITA ST
Acres: 0

Array:
15 x Panasonic Modules



2 Circuit Diagram
Scale: N.T.S.

Note:
-All new conduit will follow securing and supporting requirements established in the NEC Articles 348, 350, and 358 for FMC, LFMC and EMT respectively.



1 Roof Diagram
Scale: N.T.S.

($\frac{3}{4}$ " EMT)
4 x #10 THWN-2,
1 x #10 AWG GND

($\frac{1}{2}$ " EMT)
2 x #10 THWN-2,
1 x #10 AWG GND

Legend:
■ Circuit 1 (9x Modules)
■ Circuit 2 (6x Modules)



Organ Mountain Solar & Electric
 400 South Compress Road
 Suite D
 Las Cruces, NM 88005
 (575) 288-1792
 NM Electrical Contractor's
 License # 394801

Owner

Shirley Stotz

Utility-Interactive Photovoltaic System
 System Size = 4.95 kWdc
 2830 Teresita Street
 Mesilla, NM 88046

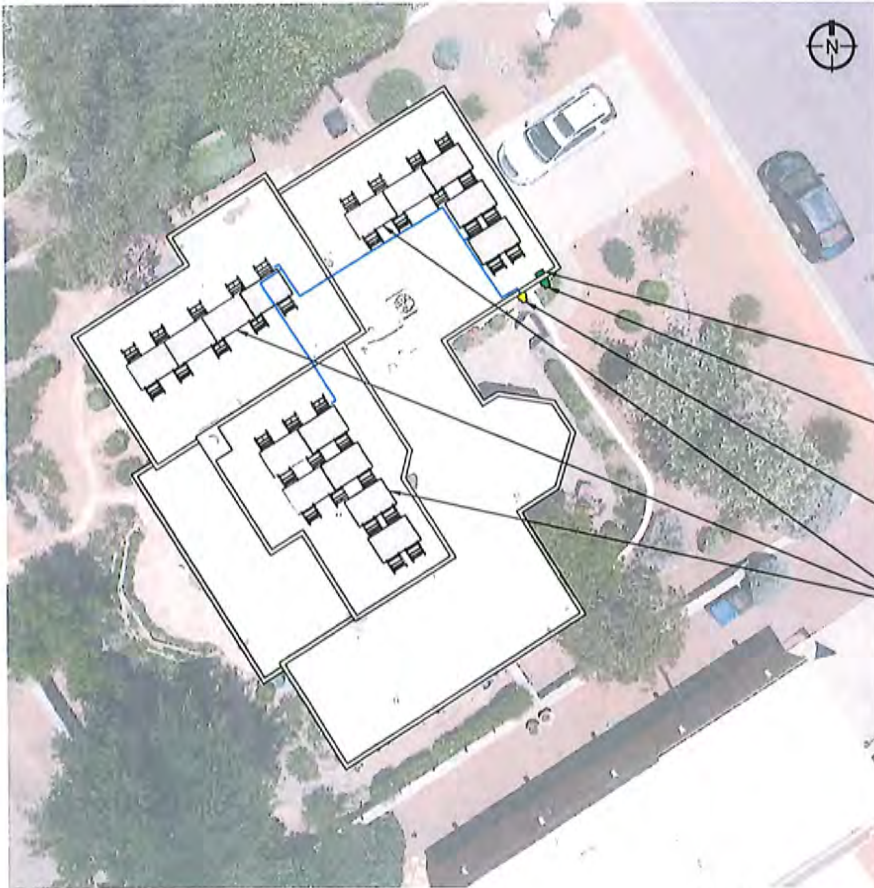
DESIGNER:
 Polizois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	7/21/20

CIRCUIT DIAGRAM

PV-1.3

Note:
-Special Access Instructions: None.



2 Site Plan
Scale: 3/32" = 1'-0"



1 Vicinity Map
Scale: CUSTOM

- Existing Main Service Disconnect & Panel (Inside Garage)
- Existing Utility Meter (Outside)
- QF Visible Manual Non Fusible AC Disconnect / REC Meter / AC Combiner Panel / Data Monitoring Unit (Outside)
- Roof Mounted Array
15 x Panasonic Modules

SHEET NOTES

- 1 Exact location of equipment and conduit is subject to minor variations during installation.
- 2 Estimated Annual energy production is based on existing site conditions and this array layout. Annual variations in weather and module degradation will affect production.

Design Approval

I approve of this design showing all equipment and locations, and estimated production. Any change to this design may result in delays and additional costs.

Approved By: _____
Date: _____



Organ Mountain Solar
400 South Compress Road
Suite D
Las Cruces, NM 88005
(575) 288-1792
NM Electrical Contractor's
License # 394801

Owner
Shirley Stotz

Utility-Interactive Photovoltaic System
System Size = 4.95 kWdc
2830 Teresita Street
Mesilla, NM 88046

DESIGNER:
Polzolis Dallis

REV	DESCRIPTION	DATE
0	Initial Release	7/21/20

DESIGN SUMMARY

Number of Modules	15
Module Tilt Angle	10°
Module Azimuth	145°
Average Annual Shading	4.34%
Year 1 Production Estimate	8999 kWh

SITE PLAN
PV-1.0



1 Partial Elevation
Scale: CUSTOM

REV	DESCRIPTION	DATE
0	Initial Release	7/21/20

DESIGNER: Polzolis Dalks



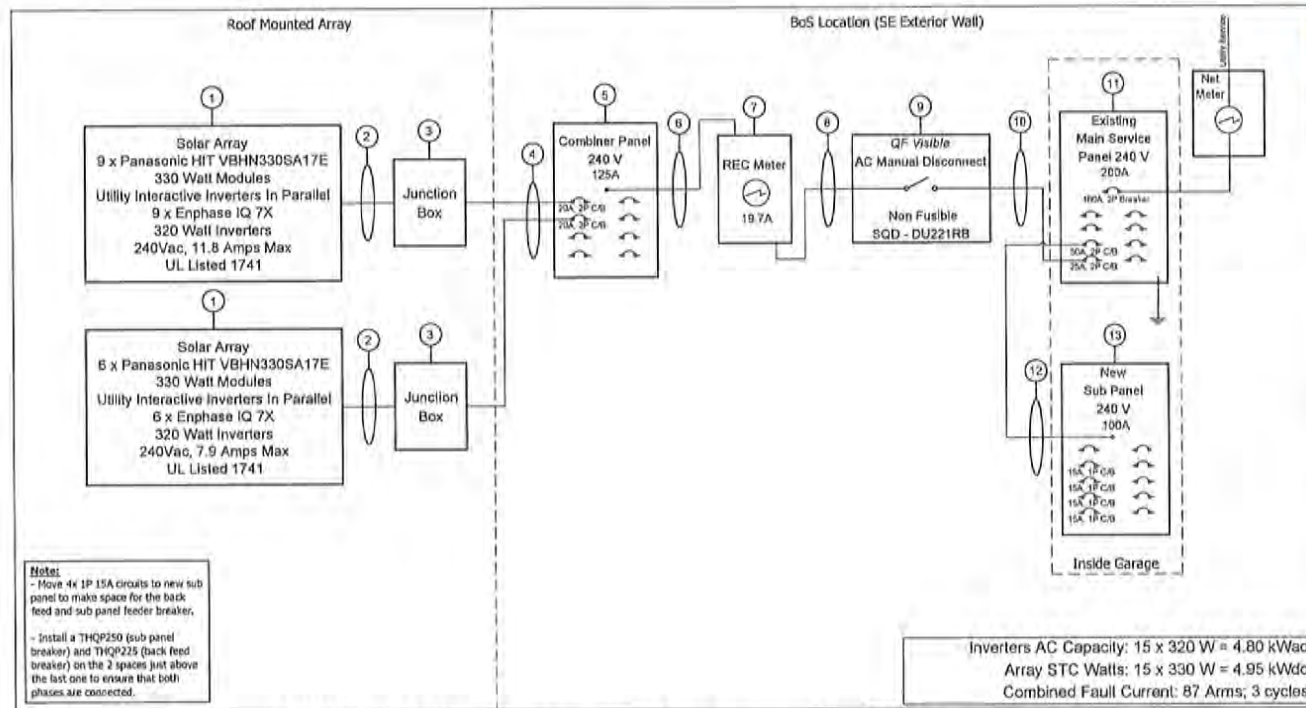
Organ Mountain Solar
400 South Compress Road, Suite D
Las Cruces, NM 88005
(575) 288-1792

NM Electrical Contractor's License # 394801

Owner
Shirley Stotz

Utility-Interactive Photovoltaic System
System Size = 4.95 kWdc
2830 Teresita Street
Mesilla, NM 88046

PV-1.2



Notes:
 - Move 4x 1P 15A circuits to new sub panel to make space for the back feed and sub panel feeder breaker.
 - Install a THQP250 (sub panel breaker) and THQP225 (back feed breaker) on the 2 spaces just above the last one to ensure that both phases are connected.

Inverters AC Capacity: 15 x 320 W = 4.80 kWac
 Array STC Watts: 15 x 330 W = 4.95 kWdc
 Combined Fault Current: 87 Arms; 3 cycles

- Electrical System Notes**
- All electrical components are UL listed where warranted.
 - PV system shall be installed in accordance with Article 690 of the 2017 National Electric Code.
 - Electrical legs used with multiple conductors shall be rated for both multiple conductors and circular mill.
 - Panel buildings shall be used on concentric and eccentric metal knockouts.
 - EMT conduit shall include expansion joints where required.
- Grounding Notes**
- A grounding electrode system in accordance with NEC 690.47 and 250.50 through 250.53 and 250.166 shall be provided.
 - All grounds shall be connected to the main service ground in the existing Main Service.

- Keyed Notes**
- Roof Mounted Array (T₁₀₀ = 10 F, T₂₀₀ = 100 F) and 1x #8 AWG bare Cu per rack.
 - MicroInverter Conductors, TC-ER Cable, 2 x #12 AWG, 90 C wet rated.
 - J-Box 6x6x4 type 3R pass-through enclosure for wire transition or equivalent.
 - 3/4" EMT (min) contains 4x #10 AWG THWN-2 (current carrying conductors) and 1x #10 AWG THWN-2 (EGC).
 -8' AC run at 0.65% Vdrop for #8 AWG THWN-2.
 - Enphase IQ Combiner 4, X-IQ-AM1-240-2, NEMA 3R, 125A rated panel with pre-wired IQ Envoy (data monitoring).
 3/4" EMT (min) contains 2x #8 AWG THWN-2 (current carrying conductors), 1x #8 AWG THWN-2 (neutral) and 1x #8 AWG THWN-2 (EGC).
 -8' AC run at 0.05% Vdrop for #8 AWG THWN-2.
 - Milbank U5934XL, NEMA 3R, 100 A meter enclosure.
 - 3/4" Nipple (min) contains 2x #8 AWG THWN-2 (current carrying conductors), 1x #8 AWG THWN-2 (neutral) and 1x #8 AWG THWN-2 (EGC).
 -3' AC run at 0.04% Vdrop for #8 AWG THWN-2.
 - Square D DU221RB, NEMA 3R, 30A rated non-fusible disconnect.
 - 3/4" EMT (min) contains 2x #8 AWG THWN-2 (current carrying conductors), 1x #8 AWG THWN-2 (neutral) and 1x #8 AWG THWN-2 (EGC).
 -10' AC run at 0.13% Vdrop for #8 AWG THWN-2.

- Keyed Notes**
- Existing OE Load Center with a 200 Amp Bus Bar, a 100 Amp Main Breaker and a new 25 Amp solar back feed CB.
 - 3/4" EMT (min) contains 2x #8 AWG THWN-2 (current carrying conductors), 1x #8 AWG THWN-2 (neutral) and 1x #10 AWG THWN-2 (EGC).
 - Square D HQN612L100F, NEMA 1, 100A rated panel.

TOTAL AC Vdrop = 0.62% (max)

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Owner
Shirley Stotz

Utility-Interactive Photovoltaic System
 System Size = 4.95 kWdc
 2830 Teresita Street
 Mesilla, NM 88046

DESIGNER:
Polizois Dallis

REV	DESCRIPTION	DATE
0	Initial Release	7/21/20

DESIGN SUMMARY

Number of Modules	15
Module Tilt Angle	10°
Module Azimuth	145°
Year 1 Production Estimate	8999 kWh

ONE-LINE DIAGRAM
PV-3.0



U-BUILDER PROJECT REPORT

VERSION: 3.0.0

PROJECT TITLE

ROOFMOUNT RM10

PROJECT ID

CFBB59A5

CREATED

July 21, 2020, 6:28 p.m.

NAME	Stotz, Shirley	Designed by pdallis@78
ADDRESS	2830 Teresita Street	ROOFMOUNT RM10
CITY, STATE	Mesilla, NM	Panasonic
MODULE	Panasonic HIT N330 or VBHN330SA16	15 - HIT N330 or VBHN330SA16
		270.35 ft ²
		4.95 KW

BILL OF MATERIALS

LEGEND: ■ Base System Part ■ Accessory

PART NUMBER	PART TYPE	DESCRIPTION	QUANTITY	SUGGESTED QUANTITY	UNIT PRICE (USD)	TOTAL LIST PRICE (USD)
UserSupplied	Ballast Block	Ballast Block	87	87	0.00	0.00
310710	Ballast Bay	RM Ballast Bay 10 Degree	35	35	42.63	1492.05
310760	RM Roof Pad	RM Roof Pad	70	70	2.23	156.10
310750	Module Clip	RM Module Clip	92	92	1.13	103.96
310751	RM Hex Bolt	RM Hex Bolt (Module Clip)	92	92	0.47	43.24

BASE SYSTEM PRICE	\$1639.25	ACCESSORIES PRICE	\$156.10	TOTAL PRICE	\$1795.35
	\$0.331 PER WATT		\$0.032 PER WATT		\$0.363 PER WATT

This design is to be evaluated to the product appropriate Unirac Code Compliant Installation Manual which references International Building Code 2009, 2012, 2015, 2018 and ASCE 7-05, ASCE 7-10, ASCE 7-16 and California Building Code 2010, 2016. The installation of products related to this design is subject to requirements in the above mentioned installation manual.

DETAILED PARTS DESCRIPTION

QTY



Ballast Block UserSupplied Ballast Block

87

Standard 4x8x16 inch cap blocks. Nationwide availability. Please confirm the weight of your ballast block as this will affect the total blocks required for your installation.



Ballast Bay 310710 RM Ballast Bay 10 Degree

35

Aluminum ballast bay attaches to north and south module edges (for 10 degree tilt installations) and provides ballast placement location.



RM Roof Pad 310760 RM Roof Pad

70

TPE 201-73 BK Santoprene Roof Pad. PLEASE NOTE: Depending on your roof type and seismic conditions, some quantity of roof pads may be required. These will be listed separately on your bill of materials.



Module Clip 310750 RM Module Clip

92

Aluminum clip fastens module frame to ballast bay and provides bonding path from module to bay to module.



RM Hex Bolt 310751 RM Hex Bolt (Module Clip)

92

Hex bolt with integrated locking patch.

ENGINEERING REPORT

Plan review

AVERAGE PSF	7.64 psf
TOTAL NUMBER OF MODULES	15
TOTAL KW	4.95 KW
TOTAL AREA	-470 ft ²
TOTAL WEIGHT ON ROOF	3589 lbs
RACKING WEIGHT	123 lbs
MODULE WEIGHT	612 lbs
BALLAST WEIGHT	2784 lbs
MAX BAY LOAD (DEAD)	236 lbs

Loads Used for Design

BUILDING CODE	ASCE 7-10
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	20.00 psf
SEISMIC (SS)	0.28
ELEVATION	3890.00 ft
WIND EXPOSURE	B
MRI	25

Loads Determined by Zip

CITY, STATE	Mesilla, NM
BASIC WIND SPEED	115.00 mph
GROUND SNOW LOAD	0.00 psf

Inspection

PRODUCT	ROOFMOUNT RM10
MODULE MANUFACTURER	Panasonic
MODEL	HIT N330 or VBHN330SA16
MODULE WATTS	330 watts
MODULE LENGTH	62.60"
MODULE WIDTH	41.46"
MODULE THICKNESS	1.38"
MODULE WEIGHT	40.80 lbs
BALLAST BLOCK (CMU) WEIGHT	32.0 lbs
MAX BLOCKS PER BAY	4
BUILDING HEIGHT	15.00 ft
ROOF TYPE	MINERAL_CAP
PARAPET HEIGHT	> 1 Array Height (> 12 inches)

Array 1

AVERAGE PSF	8.72 psf	MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
		ARRAY TO ARRAY:	3.0"
TOTAL NUMBER OF MODULES:	4	TO FIXED OBJECT ON ROOF:	6.0"
TOTAL KW:	1.32 KW	TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TOTAL AREA:	139 ft ²	TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
TOTAL WEIGHT ON ROOF:	1210 lbs	MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
RACKING WEIGHT:	35 lbs	MAX NUMBER OF NORTH-SOUTH ROWS:	15
MODULE WEIGHT:	163 lbs	MAX NUMBER OF EAST-WEST COLUMNS:	65
BALLAST WEIGHT:	992 lbs		

*In jurisdictions that follow SEAOC PV-1 methodology.

Array 2

AVERAGE PSF	7.86 psf	MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
		ARRAY TO ARRAY:	3.0"
TOTAL NUMBER OF MODULES:	5	TO FIXED OBJECT ON ROOF:	6.0"
TOTAL KW:	1.65 KW	TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TOTAL AREA:	157 ft ²	TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
TOTAL WEIGHT ON ROOF:	1230 lbs	MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
RACKING WEIGHT:	42 lbs	MAX NUMBER OF NORTH-SOUTH ROWS:	17
MODULE WEIGHT:	204 lbs	MAX NUMBER OF EAST-WEST COLUMNS:	75
BALLAST WEIGHT:	960 lbs		

*In jurisdictions that follow SEAOC PV-1 methodology.

Array 3

AVERAGE PSF	6.59 psf	MINIMUM SEISMIC SEPARATION (UNATTACHED ARRAYS) *	
		ARRAY TO ARRAY:	3.0"
TOTAL NUMBER OF MODULES:	6	TO FIXED OBJECT ON ROOF:	6.0"
TOTAL KW:	1.98 KW	TO ROOF EDGE WITH QUALIFYING PARAPET:	6.0"
TOTAL AREA:	174 ft ²	TO ROOF EDGE WITHOUT QUALIFYING PARAPET:	9.0"
TOTAL WEIGHT ON ROOF:	1148 lbs	MAX ARRAY (SEISMIC) (FOR UNATTACHED ARRAYS) *	
RACKING WEIGHT:	46 lbs	MAX NUMBER OF NORTH-SOUTH ROWS:	20
MODULE WEIGHT:	245 lbs	MAX NUMBER OF EAST-WEST COLUMNS:	89
BALLAST WEIGHT:	832 lbs		

*In jurisdictions that follow SEAOC PV-1 methodology.

RM10 U-BUILDER PRODUCT ASSUMPTIONS

RM10 – Ballasted Flat Roof Systems

Limitations of Responsibility: It is the user's responsibility to ensure that inputs are correct for your specific project.

Unirac is not the solar, electrical, or building engineer of record and is not responsible for the solar, electrical, or building design for this project.

Building Assumptions

1. Risk Category II
2. Building Height \leq 50 ft
3. Building Height > 50 ft: only where (longest length of building x building height)^{0.5} \leq 100 ft
4. Roof Slope \geq 0° (0:12) and \leq 3° (5/8:12) for Seismic Design Category C, D, E and F. For low seismic regions Seismic Design Category A and B (provided Array Importance factor = 1.0), Roof Slope \geq 0° (0:12) and \leq 7° (1 1/2:12).
5. Roofing Material Types: EDPM, PVC, TPO, or Mineral Cap
6. Surrounding Building Grade: Level

Ballast Blocks

The installer is responsible for procuring the ballast blocks (Concrete Masonry Units – CMU) and verifying the required minimum weight needed for this design. CMU should comply with ASTM standard specification for concrete roof pavers designation (C1491 or C90 with an integral water repellent suitable for the climate it is placed. It is recommended that the blocks are inspected periodically for any signs of degradation. If degradation of the block is observed, the block should immediately be replaced.

The CMU ballast block should have nominal dimensions of 4"x8"x16". The actual block dimensions are 3/8" less than the nominal dimensions. Ballast blocks should have a weight as specified for the project in the "Inspection" section of this report.

Design Parameters

1. Risk Category II
2. Wind Design
 - a. Basic Wind Speed: 85-120 mph (ASCE 7-05)/110-150 mph (ASCE 7-10)/90-180 mph (ASCE 7-16)
 - b. Exposure: B, C or D (ASCE 7-05/ASCE 7-10)
 - c. 25 year Design Life/50 year Design Life for ASCE 7-16
 - d. Elevation: Insertion of the project at - grade elevation can result in a reduction of wind pressure. If your project is in a special case study region or in an area where wind studies have been performed, please verify with your jurisdiction to ensure that elevation effects have not already been factored into the wind speed. If elevation effects have been included in your wind speed, please select 0 ft as the project site elevation.
 - e. Wind Tunnel Testing: Wind tunnel testing coefficients have been utilized for design of the system.
3. Snow Design
 - a. Ground Snow Load: 0-80 psf (ASCE 7-10/ASCE 7-16)
 - b. Exposure Factor: 0.9
 - c. Thermal Factor: 1.2
 - d. Roof Snow Load: Calculation per Section 7.3 (ASCE 7-05/ASCE 7-10/ASCE 7-16)
 - e. Unbalanced/Drifting/Sliding: Results are based on the uniform snow loading and do not consider unbalanced, drifting, and sliding conditions
4. Seismic Design
 - a. Report *SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 – Structural Seismic Requirements and Commentary for Rooftop Solar Photovoltaic Arrays*
 - b. Seismic Site Class: A, B, C, or D (ASCE 7-05/ASCE 7-10/ASCE 7-16)
 - c. Importance Factor Array (I_p): 1.0
 - d. Importance Factor Building (I_e): 1.0
 - e. Site Class: D

Properties

1. Bay Weight: ~3.5 lbs
2. Module Gaps (E/W) = 0.25 in
3. Bays: North row bays overhang the module by ~19.5 inches.

Module Properties

1. Module return flange: Minimum of 0.9in (when using 1-3/4 in. clip bolts) is required.
2. Module return flange: Minimum of 0.65in (when using 2 in. clip bolts) is required.

Testing

1. Coefficient of Friction
2. Wind Tunnel
3. UL 2703
4. Component Testing (Bay and Clamp)

Setbacks

For the wind tunnel recommendations in U-Builder to apply, the following setbacks should be observed/followed for U-Builder wind design:

1. Modules should be placed a minimum of 3 feet from the edge of the building in any direction.
2. If the array is located near an obstruction that is 3.5 feet wide and 3.5 feet high or larger, the nearest module of the array must be located a distance from the obstruction that is greater than or equal to the height of the obstruction.
Exception: When using ASCE 7-16 Building Code and using the obstruction feature in the module editor to accurately model the size and location of obstruction
3. Installations within the setbacks listed above require site specific engineering²
4. The setbacks above are for wind. High seismic areas, fire access isles, mechanical equipment, etc., may require larger setbacks than listed above for wind.

Site Specific Engineering

Conditions listed below are beyond the current capabilities of U-Builder. Site specific engineering is required.

1. Wind designs for a project design life exceeding 25 years¹/ASCE 7-16
2. Building assumptions and design parameters outside of U-Builder assumptions²
3. Attachments²
4. Risk Category III or IV projects (U-Builder can be adjusted for the correct wind, but not the seismic or snow design)²
5. Wind tunnel testing reduction factors are not permitted by the Authority Having Jurisdiction (AHJ)³
6. Seismic designs that fall outside SEAOC PV1-2012/ASCE 7-16 SECTION 13.6.12 recommendations (>3% roof slope, or AHJ's that require shake table testing or non-linear site-specific response history analysis)³
7. Signed and sealed site-specific calculations, layouts, and drawings³

Notes:

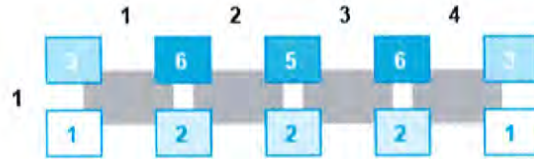
¹Please contact info@unirac.com.

²Please contact EngineeringServices@unirac.com for more information.




³Please contact Theresa Allen with PZSE Structural Engineers at theresa@pzse.com. These items will require direct coordination with PZSE to complete the requested services.

INSTALLATION AND DESIGN PLAN

Roof Area 1 / Array 1



LEGEND

-  Module
-  Standard corner bay with CMU block count
-  Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

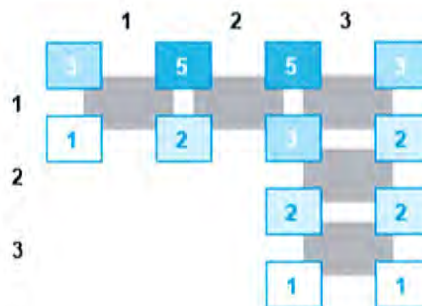
Layout Dimensions

NS DIMENSION ~ 6.65 ft

EW DIMENSION ~ 20.95 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	4	5	23	736
2	0	5	8	256

Roof Area 1 / Array 2



LEGEND



Module



Standard corner bay with CMU block count



Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

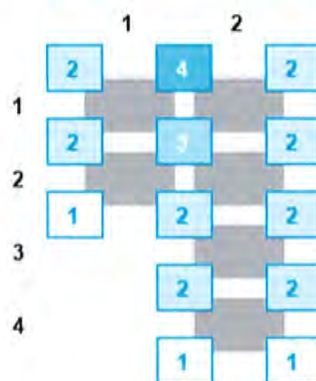
Layout Dimensions

NS DIMENSION ~ 16.71 ft

EW DIMENSION ~ 15.71 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	3	4	16	512
2	1	4	8	256
3	1	2	4	128
4	0	2	2	64

Roof Area 1 / Array 3



LEGEND



Module



Standard corner bay with CMU block count



Supplemental bay with CMU block count

NOTE

Blocks above with values greater than 4 require extra ballast bays, except north-most bays which require extra bays for values greater than 6. The proper number of bays are provided in the Bill of Materials. The installer must install these extra bays as near to the indicated location as possible.

Layout Dimensions

NS DIMENSION ~ 21.74 ft

EW DIMENSION ~ 10.48 ft

ROW	MODULES	BAYS	BALLAST BLOCKS (CMU)	BALLAST WEIGHT (LBS)
1	2	3	8	256
2	2	3	7	224
3	1	3	5	160
4	1	2	4	128
5	0	2	2	64



January 8, 2020

Unirac
1411 Broadway Boulevard NE
Albuquerque, New Mexico 87102-1545
TEL: (505) 242- 6411
FAX: (505) 242-6512

Attn.: Engineering Department,

Re: Engineering Certification for the Unirac RM Roof Mounted Ballasted Photovoltaic Panel Support System.

The Unirac RM Roof Mounted Ballasted Photovoltaic Panel Support System is a proprietary framed ballasted assembly which supports Photovoltaic panels. The ballast frames hold the PV panels and are ballasted with concrete blocks as required for the wind loads. The wind uplift loads are resisted directly by the ballast. Lateral forces, both wind and seismic, are resisted by friction between the ballast and the roof surface. For wind forces, the system is designed for no lateral or vertical displacement of the array. For seismic forces, the system is designed per SEAOC PV1-2012 requirements for lateral movement/displacement.

The ballasting requirements are determined using the Unirac online "U-Builder" Design Assistant tool. The Design Assistant covers a wide range of system configurations and loading and allows the user to customize the input to match the specific project conditions.

We have reviewed the Unirac RM Roof Mounted Ballasted Photovoltaic Panel Support System, the RDWI wind tunnel test results and the Unirac ballasted system design methodology and have determined that the Unirac RM ballasted system design methodology is a rational approach and is in compliance with the structural requirements of the following Reference Documents:

Codes: ASCE/SEI 7-05 and ASCE/SEI 7-10 Minimum Design Loads for Buildings and other Structures
International Building Code, 2009, 2012 & 2015 Editions
Other: Aluminum Design Manual, 2010 & 2015 Edition
RWDI Wind Pressure Study Report #1300856
SEAOC PV1-2012 Report – Structural Seismic Requirements and Commentary for Rooftop Solar PV Arrays
SEAOC PV2-2012 Report - Wind Design for Low-Profile Solar Photovoltaic Arrays on Flat Roofs
Terrapin Testing #TT513010-ASTM G115 Coefficient of Friction Testing Report

This letter certifies that the Unirac RM Roof Mounted Ballasted Photovoltaic Panel Support System and the Unirac online "U-Builder" Design Assistant tool are in compliance with the above Reference Documents.

If you have any questions on the above, do not hesitate to call.

Prepared By:
PZSE, Inc. - Structural Engineers
Roseville, CA



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select 5

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership



Shirley Stotz System Component List
Document Number PV-3.2

Roof Mounted Array

System Component	Make/Model
Array -	15x Panasonic HIT VBHN330SA17E
Inverters	15x Enphase IQ7X-96-2-US
DC Combiner Box -	N/A
Inverter Combiner Panel -	Enphase IQ Combiner+ X-IQ-AM1-240-2
Customer Generation AC Disconnect -	SquareD DU221RB - 30A Rated
Production Meter Base -	Milbank U5934-XL Meter Socket 100A Rated 1ph 4-Terminal
Racking System -	Flatroof - Unirac RM

Shirley Stotz
2830 Teresita Street
Mesilla, NM 88046
bstotzb@comcast.net
(505) 363-2138

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061093

Fee \$ 43.50

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061093 ZONE: HR CODE: ALT APPLICATION DATE: 8/10/20

Name of Property Owner: Shirley Stotz Property Owner's Telephone Number: 505-363-2138
 Property Owner's Mailing Address: 2830 Teresita St. Mesilla, NM City State Zip Code: 88046
 Property Owner's E-mail Address: bstotzb@comcast.net
 Contractor's Name & Address (If none, indicate Self): Organ Mountain Solar + Electric 400 S. Compress Rd.
 Contractor's Telephone Number: 575-202-9268 Contractor's Tax ID Number: 03-461215-00-0 Contractor's License Number: 394801
 Address of Proposed Work: 2830 Teresita St. Mesilla, NM 88046
 Description of Proposed Work: Residential Solar PV

Estimated Cost: \$22,000 Signature of Applicant: Scott Burns Date: 8/4/20

Signature of property owner: Shirley Stotz

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: n/a
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: CID PERMIT REQUIRED.

PERMISSION ISSUED DENIED BY: [Signature] ISSUE DATE: 8/10/20

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061094
[PZHAC CONSENT AGENDA –8/17/20]**

Item:

Case 061094 – 2320 Calle de Santiago, submitted by Martha Liefeld; a request for a zoning permit to repair a roof and an adobe parapet on a dwelling at this address. Zoned: Historical Residential (HR)

Description of Work Done:

The applicant will repair the flat roof on a small dwelling at this address. The repairs will not have any effect on the appearance of the dwelling. Additionally, the applicant will also repair part of the adobe parapet that surrounds the roof on this dwelling. There will be no structural changes to the parapet and it will be repainted to match the original color of the parapet. There will be no changes to the dwelling or any other parts of the property.

Consistency with the Code:

Since the proposed repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

VIEW OF THE PROPERTY CALLE DE SANTIAGO



Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: [Account Number] Enter Value: Search

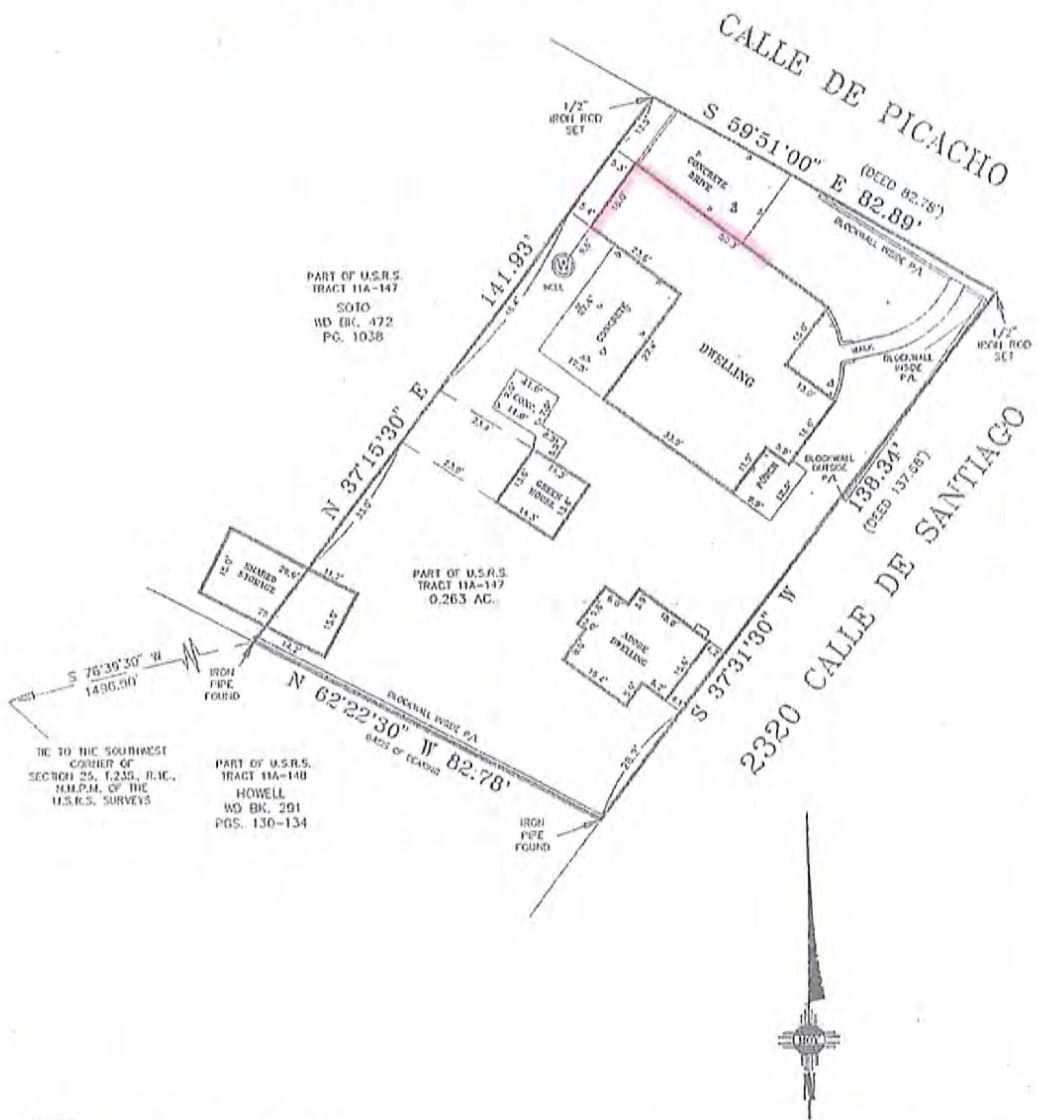


Maps Legend

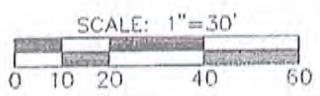
Map Themes
Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: **RO400228**
Parcel Number: 4006137154481
Owner: LIEFFELD MARTHA L
Mall Address: PO BOX 634
Subdivision:
Property Address: 2320 CALLE DE
SANTIAGO
Acres: 0

Area of adobe parapet repair



NOTES:
 FLOOD ZONE "X"; AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN, IN MAP NO. 35013C0633 E. EFFECTIVE SEPTEMBER 27, 1991.
 THIS SURVEY MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.
 INFORMATION IN THE PREPARATION OF THIS PLAT DERIVES FROM WARRANTY DEED FILED OCTOBER 23, 2003, IN CLERKS BOOK 472, PAGE 1037, DONA ANA COUNTY RECORDS.



"INDEXING INFORMATION FOR COUNTY CLERK"
 PROPERTY OWNER:
 SOTO
 PROPERTY LOCATION:
 TOWN OF MESILLA



PLAT OF SURVEY
 SHOWING THE LOCATION OF IMPROVEMENTS
 ON A 0.263 ACRE TRACT
 IN SECTION 25, T.23S., R.1E., N.M.P.M.
 OF THE U.S.R.S. SURVEYS BEING PART OF
 U.S.R.S. TRACT 11A-147
 TOWN OF MESILLA
 DONA ANA COUNTY, NEW MEXICO

I, JORGE MOY, A NEW MEXICO PROFESSIONAL SURVEYOR CERTIFY THAT I CONDUCTED THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

Jorge Moy
 JORGE MOY N.M.P.S. 5939

MOY SURVEYING INC.
 414 N. DOWNTOWN MALL,
 LAS CRUCES, NEW MEXICO
 88001
 PHONE: (505) 525-9683
 FAX: (505) 524-3238

JOB NO. 07-0037
 DRAWN BY ROBERT E. LAWS
 FIELD BY PETE & JERRY
 DATE 1/10/07 SCALE: 1"=30'

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061094

Fee \$ 68.00

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061094 ZONE: HR CODE: 141 APPLICATION DATE: 8/10/20

Name of Property Owner Martha Liefeld Property Owner's Telephone Number 575-571-5642

Property Owner's Mailing Address P.O. Box 634 Mesilla NM 88046
City State Zip Code

Property Owner's E-mail Address eric.liefeld@gmail.com

Contractor's Name & Address (If none, indicate Self) Self

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2320 Calle de Santiago, Mesilla, NM 88046

Description of Proposed Work: Minor roof repair & adobe parapet repair (renew 1-2 courses of adobe parapet)

Estimated Cost \$1,500 Signature of Applicant E. Liefeld (PoA for Martha) Date 7/28/2020

Signature of property owner: E. Liefeld (PoA for Martha)

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO SEE CONDITIONS

CONDITIONS: CID APPROVAL MAY BE REQUIRED

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: 8/10/20

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
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 3. Foundation plan with details.
 4. Floor plan showing rooms, their uses and dimensions.
 5. Cross section of walls
 6. Roof and floor framing plan
 8. Proof of legal access to the property.
 9. Drainage plan.
 10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. Proof of legal access to the property.
 13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061096
[PZHAC CONSENT AGENDA –8/17/20]**

Item:

Case 061096 – 2080 Calle de Parian, submitted by Charles Rogers for the “Billy the Kid” gift shop; a request for a zoning permit to replace an existing exit door. Zoned: Historical Commercial (HC)

Description of Work Done:

The applicant will replace a badly deteriorated exterior door at this location in the structure. The replacement door will match the original in style and color. There will be no other changes to the entrance. There will be no changes to the structure as a result of this permit.

Consistency with the Code:

Since the replacement of the door will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

VIEW OF THE PROPERTY CALLE DE GUADALUPE



Doña Ana County, NM

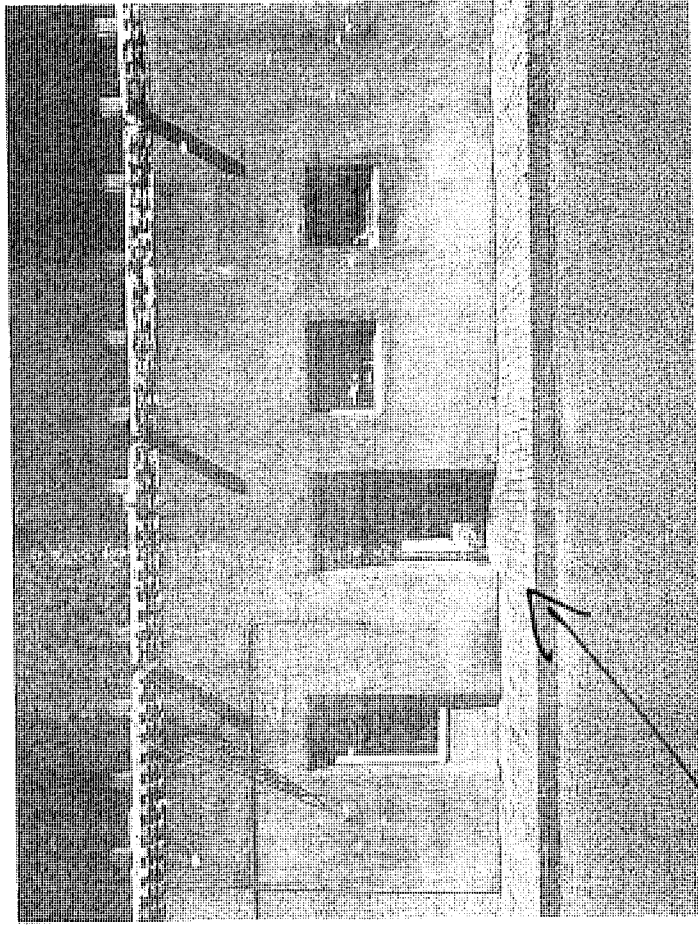
General Reference Maps

2014 Aerial | Addresses | County Address Points | Select Search Type: Account Number | Enter Value: | Search

- Maps | Legend
- Map Themes
 - Parcels
 - UDC Zoning
 - Roads and Transportation
 - NM House Districts
 - NM Senate Districts
 - County Commission Districts
 - City Council Districts
 - Median Household Income
 - General Land Ownership

Account Number: [R0400330](#)
Parcel Number: 4006137247451
Owner: MESILLA BTK LLC
Mail Address: PO BOX 1724
Subdivision:
Property Address: 2385 CALLE DE
GUADALUPE
Acres: 0





Replace existing
Door

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061096

Fee \$ 68.⁰⁰

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061096 ZONE: M1 CODE: HC APPLICATION DATE: 8/10/20

Charles Rogers

575 523 5561

Name of Property Owner

Property Owner's Telephone Number

PO Box 531

Mesilla

NM

88046

Property Owner's Mailing Address

City

State

Zip Code

rogers@mesilla.com

Property Owner's E-mail Address

Self

Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number

Contractor's Tax ID Number

Contractor's License Number

Address of Proposed Work: 2080 Calle de Parian

Description of Proposed Work: Replace existing door with
identical door. Color will remain the same.

\$1500⁰⁰
Estimated Cost

Signature of Applicant

Date

Signature of property owner.

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC

Administrative Approval

BOT

Approved Date: _____

Approved Date: _____

Disapproved Date: _____

Disapproved Date: _____

Approved with Conditions

Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO

BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO APPEARANCE OF STRUCTURE

PERMISSION ISSUED DENIED BY: [Signature]

ISSUE DATE: 8/10/20

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks, Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
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3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061097
[PZHAC CONSENT AGENDA –8/17/20]**

Item:

Case 061097 – 2080 Calle de Parian, submitted by Charles Rogers for the “Billy the Kid” gift shop; a request for a zoning permit to repair the Territorial facade at the northwest entrance to the building. Zoned: Historical Commercial (HC)

Description of Work Done:

The applicant will replace a portion of the façade that has fallen off the wall above the exterior door here. (The door is being replaced under Permit 061096). The façade will be returned to its original appearance and the whole repaired area repainted to match the rest of the wall. The repairs door will match the original in style and color. There will be no changes to the structure as a result of this permit.

Consistency with the Code:

Since the repairs will not affect or change the appearance of the structure, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).Administrative Approval Permit –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

VIEW OF THE PROPERTY CALLE DE GUADALUPE



Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Enter Value:

Maps | Legend

Map Themes

Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: **RD400330**
Parcel Number: 400613727451
Owner: MESSILA BTK, LLC
Mail Address: PO BOX 1224
Subdivision:
Property Address: 2385 CALLE DE
GUADALUPE
Acres: 0







TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061097

Fee \$ _____

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061097 ZONE: HC CODE: M1 APPLICATION DATE: 8/10/20

Name of Property Owner: Charles Rogers Property Owner's Telephone Number: 525 523-5561

Property Owner's Mailing Address: PO Box 531 Mesilla NM 88046
City: Mesilla State: NM Zip Code: 88046

Property Owner's E-mail Address: Rogers@mesilla.com Billgtrunkid@mesilla.com

Contractor's Name & Address (If none, indicate Self): Self

Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2385 Calle de Guadalupe

Description of Proposed Work: Repair Territorial Facade on NW Building entrance. Rain and the environment has destroyed the existing Facade. Repairs to original permits.

Estimated Cost: \$2000 Signature of Applicant: [Signature] Date: 7/31/2020

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: N/A
 Approved Date: _____
 Disapproved Date: _____
 Approved with Conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO ORIGINAL APPEARANCE OF STRUCTURE

PERMISSION ISSUED DENIED BY: [Signature] ISSUE DATE: 8/10/20

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Foundation plan with details.
4. ___ Floor plan showing rooms, their uses and dimensions.
5. ___ Cross section of walls
6. ___ Roof and floor framing plan
8. ___ Proof of legal access to the property.
9. ___ Drainage plan.
10. ___ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. ___ Proof of legal access to the property.
13. ___ Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061098
[PZHAC CONSENT AGENDA –8/17/20]**

Item:

Case 601098 - 2610 Calle Tercera, submitted by Samuel Kane; a request for a zoning permit to allow the painting of two duplexes on the property at this address. Zoned: Historical Residential (HR)

Description of Work Done:

The applicant will eliminate the two-toned color appearance on the duplexes by painting them all one color that is one of the colors that is acceptable for use in Town. There will be no changes to the structures.

Consistency with the Code:

Since the painting will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit** –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

VIEW OF THE PROPERTY CALLE TERCERA



Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number Enter Value:

Maps

Legend

Map Themes

Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: **80400538**
Parcel Number: 4006138182056
Owner: KANE SAMUEL I
Mail Address: PO BOX 849
Subdivision: SOUTHWEST ADDITION
TO MESILLA 201
Property Address: CALLE TERCERA
Acres: 0



TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061098

Fee \$ 80.00

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061098 ZONE: HR CODE: M1 APPLICATION DATE: 8/10/20

Name of Property Owner Samuel Kane Property Owner's Telephone Number 575-496-6044

Property Owner's Mailing Address POB 849 Mesilla NM 88046 City State Zip Code

Property Owner's E-mail Address Sam_Kane@yahoo.com

Contractor's Name & Address (if none, indicate Self) N/A

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2610 Calle Tercera Mesilla

Description of Proposed Work: paint four plex

Estimated Cost \$ 3,000.00 Signature of Applicant Samuel K Date July 31, 2020

Signature of property owner: Samuel K

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: N/A
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: COLOR WILL BE ONE OF THE ORIGINAL COLORS USED ON THE DUPLEXES

PERMISSION ISSUED DENIED BY: L. Shuman ISSUE DATE: 8/10/20

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 - Site Plan with dimensions and details.
 - Foundation plan with details.
 - Floor plan showing rooms, their uses and dimensions.
 - Cross section of walls
 - Roof and floor framing plan
 - Proof of legal access to the property.
 - Drainage plan.
 - Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 - Proof of legal access to the property.
 - Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
SIGN PERMIT REQUEST CASE 061098
[PZHAC CONSENT AGENDA –8/17/20]**

Item:

Case 061101– 2385 Calle de Parian, submitted by Charles Rogers for “Billy the Kid Gift Shop”; a request for a sign permit to repaint an existing sign on a gift shop at this location. Zoned: Historical Commercial (HC)

Description of Work Done:

The applicant will repaint the existing sign at this address in the original colors that are now faded and peeling. The sign is actually painted on the building. There will be no changes or additions to the sign, nor will there be any changes to the original colors. There will be no changes to the structures.

Consistency with the Code:

Since the painting will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - Application for building permit, Administrative Approval).Administrative Approval Permit –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

PHOT OF SIGN FROM CALLE DE GUADALUPE



Doña Ana County, NM
General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number Enter Value: Search

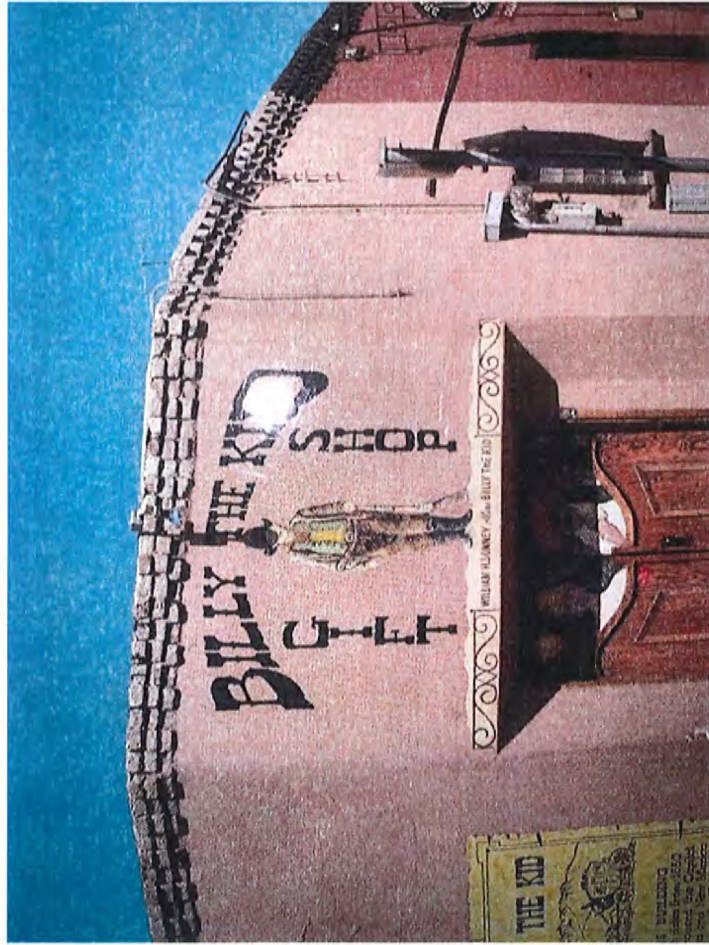


Maps Legend

- Map Themes**
- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [RD400330](#)
 Parcel Number: 400613727451
 Owner: MESILLA BTK, LLC
 Mail Address: PO BOX 1124
 Subdivision:
 Property Address: 2385 CALLE DE
 GUADALUPE
 Acres: 0

ORIGINAL COLONS







OFFICIAL USE ONLY:

Case # 061100

Fee \$ 50.00

CASE NO. 061100 ZONE: HC APPLICATION DATE: 8/20/20

The Silversmith Inc. dba Bixby Truck & Gift Shop 523-5561
Business Name Business Telephone Number

2385 Calle de Guadalupe Mesilla NM 88046
Business Address City State Zip Code

Charles Rogers 575 523 5561
Applicant Name Applicant Telephone/Cell Number

Po Box 531 Mesilla NM 88046
Mailing Address City State Zip Code

Description of sign: Repaint existing sign circa 1950 to original colors.

Please include dimensions, lettering, shape, material, texture, colors, and/or finish to be used on the diagram below.



Colors: _____

FOR OFFICAL USE ONLY

- PZHAC [] Administrative Approval [] Approved Date: _____ [] Disapproved Date: _____ [] Disapproved with conditions [] Approved with conditions
- BOT [] Approved Date: _____ [] Disapproved Date: _____ [] Approved with Conditions

CONDITIONS: NO OTHER CHANGES TO SIGN OR STRUCTURE

PERMIT ISSUED BY: _____ ISSUE DATE: _____

PZHAC NEW BUSINESS

AUGUST 17, 2020

PZHAC DECISIONS

ZONING PERMITS

PZHAC ACTION FORM
ZONING PERMITS 061046
[PZHAC REVIEW – 5/18/20]

Items:

Case 061046 – 1850 Calle de Mesilla, submitted by Nancy Clayshulte; a request for a zoning permit to install a farm fence around a pecan grove on this property. Zoned: Historic Residential (HR)

This case was postponed by the PZHAC at the May 18, 2020 PZHAC meeting in order to allow the applicant to present further information, including a survey of the property showing the proposed location of the fence, as well as descriptions of the type of fence to be installed.

Staff Analysis:

The applicant would like to install a five to six foot high agricultural type fence along a property line on Avenida de Mesilla in order to keep trespassers out of a small pecan orchard that is on the property. This is a triangular shaped property that is bordered on the west by Motel Boulevard, on the east by Avenida de Mesilla, and the on the north by a commercial property. A six foot high chain link fence currently runs along the property line on Motel Boulevard. The north part of the property contains a dwelling that is occupied by Samantha Simpson, the applicant's niece.

The fence will consist of a sheep fence (see attached photos) on metal uprights that will run from the chain link fence that terminates at the intersection of Motel Boulevard and Avenida de Mesilla to the wall for the dwelling at the north end of the property (see attached survey). Although one of the photos showing the type of fence to be installed shows two strands of barbed wire at the top, the actual fence will not have barbed wire anywhere in its construction. The fence will be entirely on the applicant's property outside of the seven foot front setback and will not intrude on the NM DOT ROW for Avenida de Mesilla.

Estimated Cost: \$2000.00

Consistency with the Code:

The PZHAC will need to determine that the fence will be consistent with Chapters 18.33 (Historic Preservation), 18.60 (General Provisions, Conditions and Exceptions) and 18.35 (HR-Residential Cultural Historic zone) of the Code.

18.33.080 Historical appropriateness permit.

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

18.35.030 Exterior appearance.

An application for a permit which would authorize construction, modification, moving or destruction which would affect the exterior appearance of any structure, sign, or other improvement affecting use or function must first be approved by the commission. [Ord. 94-06 § 1; prior code § 11-2-11.4.C]

18.60.340 Wall, fence, or hedge.

E. Walls or fences constructed **within the front yard setback** area facing a street within the H-R, H-C, R-1 zones must be built with the following materials only: stucco, brick, stone, wood, adobe and wrought iron.

(The proposed fence will not be in the front setbacks of the property.)

The PZHAC will need to determine that the proposed fence will be consistent with other fences in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing a wire agricultural style fence along a property line in order to keep trespassers out of a pecan orchard at this address.
- The PZHAC has determined that the proposed fence meets all applicable Code requirements.

PZHAC OPTIONS:

- 1. Recommend approval of the zoning permit to the BOT.**
- 2. Recommend approval of the zoning permit to the BOT with conditions.**
- 3. Reject the application.**

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

2014 Aerial

Select Search Type:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400270](#)
 Parcel Number: 4006137198287
 Owner: CLAYSHULTE NANCY L
 Mail Address: PO BOX P
 Subdivision:
 Property Address: 1850 AVENIDA DE
 MESILLA
 Acres: 1.87



PHOTO OF PROPERTY FROM AVENIDA DE MESILLA

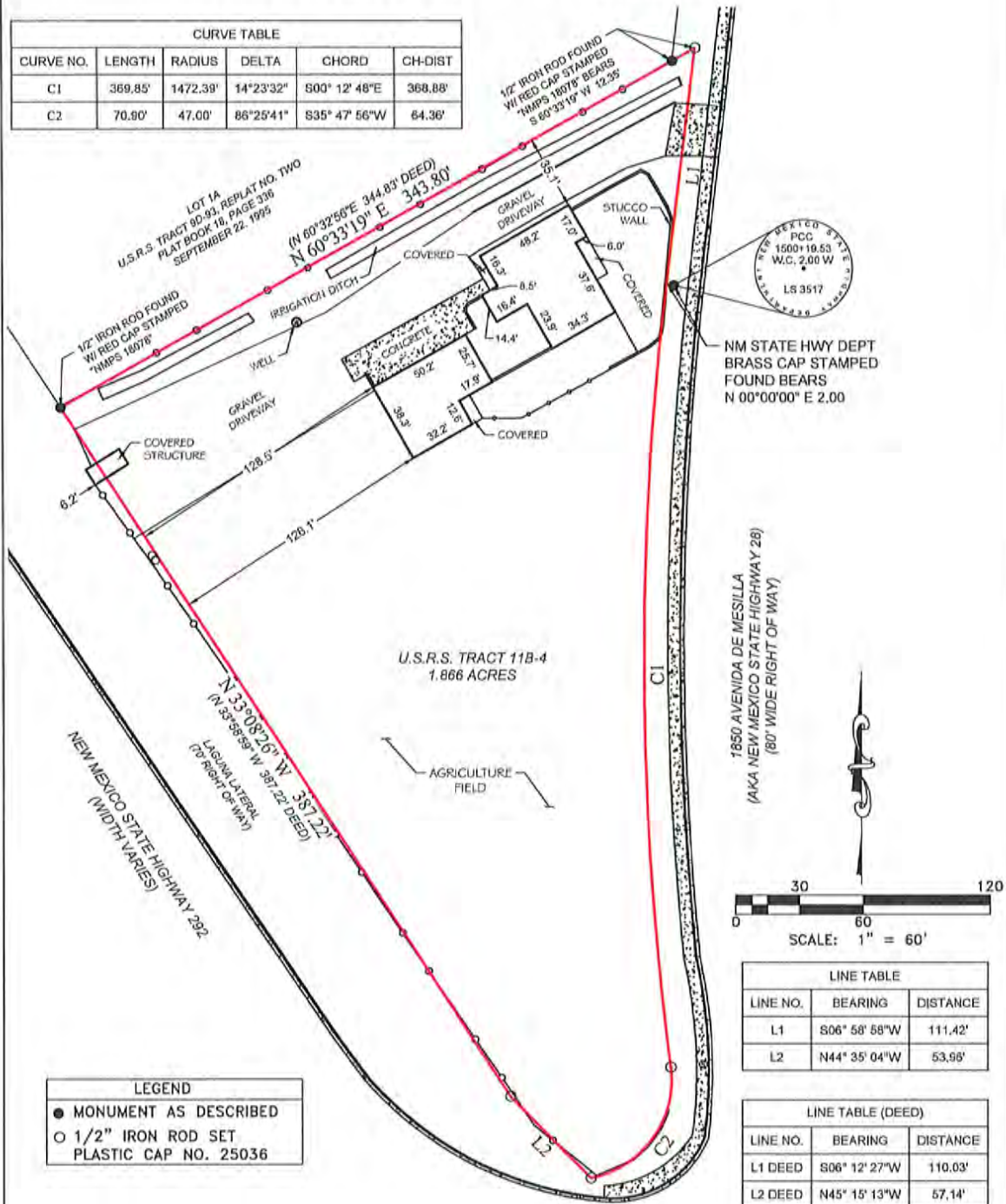


PHOTO FROM MOTEL BLVD. SHOWING CHAIN LINK FENCE



PLAT OF SURVEY OF A 1.866 ACRE TRACT OF LAND
SITUATE WITHIN THE TOWN OF MESILLA, DONA ANA COUNTY, NEW MEXICO,
IN SECTION 25, TOWNSHIP 23S, RANGE 1 EAST, OF THE N.M.P.M.
OF THE U.S.R.S. SURVEYS BEING U.S.R.S. TRACT 11B-4
TOWN OF MESILLA, DOÑA ANA COUNTY, NEW MEXICO
SCALE: 1" = 60' JUNE 22, 2020

CURVE TABLE					
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD	CH-DIST
C1	369.85'	1472.38'	14°23'32"	S00° 12' 48"E	368.88'
C2	70.90'	47.00'	86°25'41"	S35° 47' 56"W	64.36'



SURVEYOR'S CERTIFICATION

I, GARRETT J. SMELKER, A NEW MEXICO PROFESSIONAL SURVEYOR CERTIFY THAT I CONDUCTED AND AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO. I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED BY THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.



SMELKER SURVEYING, LLC

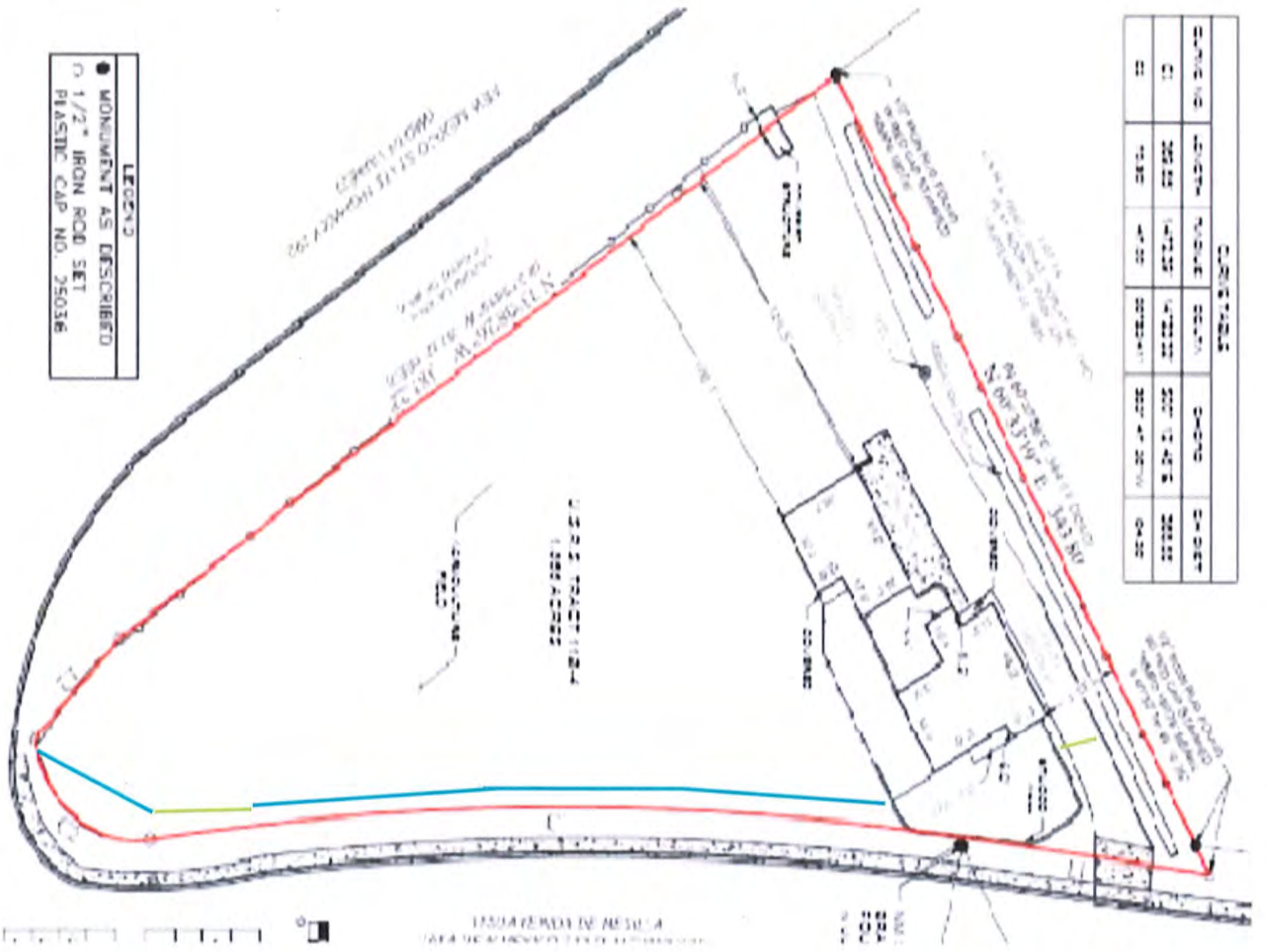
Garrett J. Smelker
GARRETT J. SMELKER, PLS 25036

08/23/2020
DATE

PO BOX 287
FAIRACRES, NM 88033

575-993-8552
smelkersurveying@gmail.com

LEON'S
 MONUMENT AS DESCRIBED
 1/2" IRON ROD SET
 PLASTIC CAP NO. 25036



KEY
 Property line
 Fence
 Gates

CALCULATED					
NO.	BEARING	DISTANCE	AREA	PERIMETER	COORDINATES
1	N 00° 00' 00" E	100.00	0.00	100.00	100.00, 0.00
2	S 89° 59' 59" W	100.00	100.00	141.42	100.00, -100.00
3	N 00° 00' 00" E	100.00	0.00	100.00	0.00, -100.00
4	S 89° 59' 59" W	100.00	100.00	141.42	0.00, 0.00
5	N 00° 00' 00" E	100.00	0.00	100.00	100.00, 0.00
6	S 89° 59' 59" W	100.00	100.00	141.42	100.00, -100.00
7	N 00° 00' 00" E	100.00	0.00	100.00	0.00, -100.00
8	S 89° 59' 59" W	100.00	100.00	141.42	0.00, 0.00
9	N 00° 00' 00" E	100.00	0.00	100.00	100.00, 0.00
10	S 89° 59' 59" W	100.00	100.00	141.42	100.00, -100.00
11	N 00° 00' 00" E	100.00	0.00	100.00	0.00, -100.00
12	S 89° 59' 59" W	100.00	100.00	141.42	0.00, 0.00

1750A REBORN IN MEXICO
 AREA DE MEXICO (1750A)

Lawrence Shannon

From: Samantha Simpson <simpson7613@gmail.com>
Sent: Thursday, August 6, 2020 9:56 AM
To: larrys@mesillanm.gov
Subject: 1850 Avenida De Mesilla permit
Attachments: 200601 - 1850 Avenida De Mesilla.pdf; 20200806_093632.jpg; 20200806_093645.jpg; 20200806_093657.jpg

Hello Mr. Shannon,

I apologize for the delay. Here is the survey and materials we will use. On both sides of gate for the field entrance will have to be a steel pipe to support the weight and also for the driveway. The fence will be on the west side of the pine trees. The gate will be at the south end of the property for tractor access. The other gate will be in the driveway to prevent trespassing.

Please contact me if you have any questions or concerns.

Samantha Simpson
5756495621

Lawrence Shannon

From: simpson1850@yahoo.com
Sent: Wednesday, May 27, 2020 8:37 AM
To: Larry Shannon
Subject: Re: fence permit
Attachments: 20200526_185459.jpg; 20200526_190154.jpg; Screenshot_20200526-194753_Maps.jpg; 086546703100_04489181.webp

Mr. Shannon,

We will be putting a gate here in the driveway before the gate on the wall. This will allow access to the home and prevent trespassing. We will also put a gate in the field entrance to allow tractor access to the field. We are working to get the property surveyed to make sure of the easements as well as property line. We will meet the existing fence and take it to the driveway to meet with the gate we will be putting in. We will allow the 2 foot clearance around the fire hydrant on Avenida De Mesilla. As far as material we are looking at horse fencing as pictured below. As far posts we are wondering what are we allowed to doing? Preferably we'd like galvanized posts but if not allowed we'd like to know what options we have. If you have any further questions please contact me.

Samantha Simpson
575.649.5621

On May 11, 2020 1:18 PM, Larry Shannon <larrys@mesillanm.gov> wrote:

Attached is a copy of the zoning permit for the fence. Just fill it out and return it to me and I will get you started.

Tank you,

Larry Shannon



Virus-free. www.avast.com

On May 11, 2020 1:18 PM, Larry Shannon <larrys@mesillanm.gov> wrote:

Attached is a copy of the zoning permit for the fence. Just fill it out and return it to me and I will get you started.

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Attached is a copy of the zoning permit for the fence. Just fill it out and return it to me and I will get you started.

Tank you,





**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061046

Fee \$ 77.00

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061046 ZONE: HR CODE: M1 APPLICATION DATE: 5/11/20

Name of Property Owner: Nancy Clayshulte. Property Owner's Telephone Number: 575.644.1724
 PO Box "P": _____ City: Mesilla State: NM Zip Code: 88046
 Property Owner's Mailing Address: _____
 Property Owner's E-mail Address: Ancy5737@yahoo.com
 Contractor's Name & Address (If none, indicate Self): _____
 Contractor's Telephone Number: _____ Contractor's Tax ID Number: _____ Contractor's License Number: _____

Address of Proposed Work: 1850 Avenida De Mesilla

Description of Proposed Work: Put up farm fencing in front of the pecan field to discourage trespassing as we have had major issues recently. We would also add a gate to allow tractor access at the south end of the fence.

Estimated Cost: \$ 2000 Signature of Applicant: [Signature] Date: 5/11/2020
 Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT APPROVAL REQUIRED
[Signature]

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Site Plan with dimensions and details.
 3. Foundation plan with details.
 4. Floor plan showing rooms, their uses and dimensions.
 5. Cross section of walls
 6. Roof and floor framing plan
 8. Proof of legal access to the property.
 9. Drainage plan.
 10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. Proof of legal access to the property.

PZHAC ACTION FORM
ZONING PERMIT 061084
[PZHAC REVIEW – 8/17/2020]

Items:

Case 061084 –Snow Road (adjacent to the south side of 2515 Snow Road – address to be assigned) submitted by John and Judy Harris, a request for a zoning permit to allow the construction of a combined barn and dwelling on the subject property at this location. Zoned: Rural Farm (RF)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the subject lot is recognized as having been legally subdivided, and the proposed barn/dwelling is acceptable to the Town as proposed and meets all applicable codes, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the subject lot is not recognized as having been legally subdivided, or the proposed barn/dwelling is not acceptable to the Town or does not meet all applicable codes, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$75,000.00

Findings That Need to be Made.

- The PZHAC has jurisdiction to review and approve this request.
- The PZHAC has determined that the property is recognized by Mesilla as having been legally subdivided.
- The proposed consists of building a barn and dwelling on a four acre property used for agricultural purposes.
- There are no other dwellings on the property.
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

PZHAC OPTIONS:

1. Approval of the requested zoning permit.
2. Approval of the requested zoning permit with conditions.
3. Reject the permit.

PZHAC ACTION:

PZHAC ACTION FORM
ZONING PERMIT 061085
[PZHAC REVIEW – 8/3/2020]

Items:

Case 061085 – 2852 Erminda Street, submitted by Eric and Cindy Van Pelt; a request for a zoning permit to allow the construction of a pergola over a patio at the rear of a dwelling at this address. Zoned: Historical Residential (HR)

This case was postponed by the PZHAC at the August 3, 2020 PZHAC meeting in order to allow the applicant to address the issue of the rear setbacks. The applicant has since revised his plans for the pergola to allow for the setbacks (see attached site plan). The rear setbacks are no longer an issue in this request.

Description of Request:

The applicant would like to install a 15-foot by 22-foot wood pergola over an existing open patio at the rear of the dwelling. The pergola will be similar in materials, design, and appearance to other pergolas that have been approved in this subdivision in the past. (A photo of a similar pergola is attached.)

Although the required rear setbacks approved by the Homeowner's Association for the subdivision are five feet (see attached HOA letter of approval), the Town recently amended the setbacks required by Chapter 13.35 (Historical Residential District) to seven feet. The site plan attached shows the rear setbacks of the pergola to be five feet. The purpose of the porch is to provide the patio with protection from the sun and elements. The overall construction will not be out of character with other pergolas that have been approved in the area.

Estimated Cost: @ \$1300.00

Consistency with the Code:

The PZHAC will need to determine that the proposed pergola, when finished, will be consistent with the following sections of the Code:

Chapter 18.33 HISTORIC PRESERVATION

18.33.060 Development zone.

A development zone defines the immediate physical vicinity to be used to identify the historic character of a particular area and includes the predominant architectural style and design standards of existing structures together with their setting.

A. Function of the Development Zone. The function of the development zone is to provide for historically appropriate development within an existing historic district by setting standards for both new construction and alterations to existing structures.

Chapter 18.06 PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION

18.06.110 Review of applications within Historical and General Commercial zones – Considerations.

A. All applications for work in the Historical zones and Commercial zone (not subject to administrative approval) shall be reviewed by the planning, zoning and historical appropriateness commission. The commission shall determine whether the request involved will be appropriate for the purposes of this title. If the request shall be determined to be inappropriate, the board shall determine whether, owing to conditions especially affecting the building or structure involved, but not affecting the historical district generally, such application may be approved without substantial detriment to the public welfare and without substantial derogation of the intent and purposes of this title.

B. In reviewing an application, the planning, zoning and historical appropriateness commission shall consider in addition to this chapter:

1. The historical and literary value and significance of the site, building, or structure;
2. The general design, arrangement, texture, material and color of the features, sign or billboard involved;
3. The relation of such factors to similar factors or sites, buildings and structures in the immediate surroundings;
4. The appropriateness of the size and shape of the building or structure in relation to:
 - a. The land area upon which the building or structure is situated;
 - b. The landscaping and planting features proposed by the applicant; and
 - c. The neighboring sites, buildings or structures within the historical district.
5. The commission shall also consider the applicable zoning and other laws of the town.

C. In recommending approval of an application the commission may impose conditions which shall be binding upon the property. Prior to approving an application subject to conditions, the commission may notify the applicant of its proposed action to solicit his opinion. The concurring vote of three members of the board shall be necessary to make a determination in favor of the applicant on any application. [Ord. 2009-05 § 2]

Chapter 18.35 H-R – HISTORICAL RESIDENTIAL ZONE

D. Yards. For all new buildings, front, side and rear yard must be at least seven feet.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed consists of covering an open patio at the rear of the dwelling at this address.
- The PZHAC has determined that the proposed work meets all applicable Code requirements but the seven foot rear setbacks.

PZHAC OPTIONS:

1. Recommend approval of the requested doors to the BOT.
2. Recommend approval of the requested doors with conditions to the BOT.
3. Reject the permit.

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Numbe Er

Maps | Legend

Map Themes

Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0401011](#)
Parcel Number: 4006137396510
Owner: VANPELT ERIC P & CINDY E
Mail Address: 2852 ERMINDA
Subdivision: MESILLA FARMS
SUBDIVISION (BK 15 PG 389-390 -
8822094)
Property Address: 2852 ERMINDA ST
Acres: 0



PHOTO OF THE FRONT OF THE PROPERTY FROM ERMINDA STREET



PHOTO OF THE REAR OF THE PROPERTY FROM THE NEIGHBORHOOD POOL



(B) $\Delta = 61^{\circ}06'55''$
 R = 75.00'
 T = 44.28'
 L = 80.00'
 CH = S $65^{\circ}27'02''$ E 76.26'

2852 Erminda Street





July 13, 2020

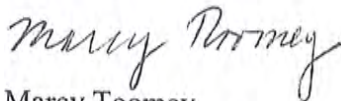
RE: The addition of a patio cover on the west side (rear) of the home at 2852 Erminda Street (Lot 11, Block B, Mesilla Farms Subdivision), Mesilla
Owners of Record: Eric & Cindy Van Pelt

Dear Board Members and Town of Mesilla,

I have researched the impact of the homeowners' request to add a 15' x ~~21'~~ patio cover/ pergola over an existing patio to be attached to their existing residence. There will be no expansion of the home's footprint and will not extend into the home's existing setbacks.

The plans & description of the work to be done furnished by the owner indicates the addition will fit into the Town of Mesilla's historic residential requirements and it is assumed that the work will be performed in a professional manner. The Mesilla Farms Homeowners Association approves the issuing of a permit for the described work from the Town of Mesilla.

Sincerely,



Marcy Toomey
Mesilla Farms HOA President

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061085

Fee \$ 11.40

**PERMISSION TO CONDUCT WORK
OR**

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061085 ZONE: HR CODE: AO APPLICATION DATE: 7/14/20

Name of Property Owner: Eric & Cindy VanKelt Property Owner's Telephone Number: (575) 644-0719

Property Owner's Mailing Address: 2852 Erminola Street City: Mesilla State: NM Zip Code: 88005

Property Owner's E-mail Address: eee-cc-vp@comcast.net

Contractor's Name & Address (If none, indicate Self): none work to be done by homeowner

Contractor's Telephone Number: _____ Contractor's Tax ID Number: _____ Contractor's License Number: _____

Address of Proposed Work: 2852 Erminola St

Description of Proposed Work: patio cover of rough sawn wood, 3 uprights (6"x6") support cross beams with 2x8"x15" hung from house joists 18" on center 22' width more or less

Estimated Cost: \$ 1300 Signature of Applicant: [Signature] Date: 7/14/2020

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____ Disapproved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Site Plan with dimensions and details.
 3. Foundation plan with details.
 4. Floor plan showing rooms, their uses and dimensions.
 5. Cross section of walls
 6. Roof and floor framing plan
 8. Proof of legal access to the property.
 9. Drainage plan.
 10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. Proof of legal access to the property.
 13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

PZHAC ACTION FORM
ZONING PERMIT 061088
[PZHAC REVIEW – 8/3/2020]

Case 061088 – 2067 Stithes Road, submitted by Jon Strain; a request for a zoning permit to allow the construction of a garage/workshop on a residential property at this address. Zoned: Rural/Agricultural (RA)

This case was originally heard at the August 3, 2020 PZHAC meeting. The PZHAC determined at that meeting that since the RA zoning of the property requires three acres for each property and this property does not meet that requirement, the property a legal non-conforming property. The PZHAC then determined that since this was a legal non-conforming property, the structures on it are legal non-conforming and therefore such use could not be expanded. The case was postponed to allow staff to obtain a legal opinion from the Town attorney on this determination.

Staff has not received a legal opinion as of the time of this writing.

DESCRIPTION OF REQUEST:

The applicant would like to install a garage/workshop southwest corner of his property behind his dwelling. This will be a wood frame structure measuring 30 ft. by 34 ft. (1020 square feet), with three overhead doors on one side with a pitched shingled roof having a 4/12 pitch. Drainage will onto the applicant's property. Total height will be just about 20 feet, which is under the 30 feet allowed in the Rural/Agricultural zone. The exterior of the structure will be stuccoed to match the color of the shop building to the east on the property.

According to the site diagram supplied with the application, the structure will be set back about 14 feet from the west property line and 20 feet from the south property line. (There are no required side or rear setbacks in the Zoning Code for the Rural/Agricultural zoning district.)

Since the property is in a Residential/Agricultural (RA) zoning district, there are no architectural or historical guidelines that need to be met for the structure. However, the PZHAC has historically (for at least the last five years) considered how new structures in the "R" zones fit in with other structures on the property and in the area, and has allowed storage buildings that are compatible with the residential use of the property. are compatible with other structures in the immediate area. The proposed structure does appear to be similar in style and construction with other structures on the same property, as well as with other structures in the area.

ESTIMATED COST: @ \$20,000.00

CONSISTENCY WITH THE CODE:

The PZHAC will need to determine that the proposed structure will be compatible with the RA Zoning of the property. Detached garages and storage sheds are generally considered to be an ancillary or subordinate use to the residential use of a property and are permitted by the following section:

RA – RESIDENTIAL/AGRICULTURAL ZONE 18.25.020 Permitted uses.

Permitted uses in the RA zone are as follows:

E. Accessory uses customarily incidental to the uses listed above (see Code).

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of replacing a deteriorating wood fence with a similar wood fence along Calle de San Albino.
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

PZHAC OPTIONS:

- 1. Recommend approval of the application to the BOT.**
- 2. Recommend approval of the application to the BOT with conditions.**
- 3. Reject the application.**

PZHAC ACTION:

VIEWS OF THE PROPERTY FROM STITHES ROAD



LEGEND

- INDICATES 1/2" SET REBAR W/FLAGGING
- INDICATES FOUND 1/2" SET REBAR WITH FLAGGING

SITE PLAN

SHOWING A NEW BUILDING ADDITION ON A TRACT OF LAND BEING PART OF U.S.R.S. TRACT 9D-90 & U.S.R.S. TRACT 9D-104, SITUATE IN SECTION 25, T.23S., R.1E., N.M.P.M., OF THE U.S.R.S. SURVEYS, WITHIN THE LIMITS OF THE TOWN OF MESILLA, DONA ANA COUNTY, NEW MEXICO.

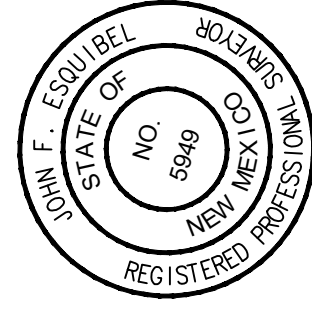
DATE OF SURVEY: MAY 13, 2020



LINE TABLE		
LINE	LENGTH	DIRECTION
L1	54.46	S47° 33' 19"W
L2	8.16	N41° 12' 34"W

- NOTES:**
1. RECORD MEASUREMENTS IN ITALICS
 2. USE DRAWING SCALE TO DETERMINE MEASUREMENTS WHEN NOT LABELED.
 3. PROPERTY SHOWN TO BE IN FLOOD ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD) PER FEMA MAP 350130035G, EFFECTIVE SEPTEMBER 27, 1991.
 4. ORTHORECTIFIED AERIAL PHOTOGRAPHY CAPTURED ON MAY 9, 2020, AND DERIVED FROM THE STATE OF NEW MEXICO'S AERIAL PHOTOGRAPHY ARCHIVE. IMPROVEMENTS OF 0.5' AT GROUND LEVEL. IMPROVEMENTS NOT LABELED ARE CONSIDERED TO BE SELF EVIDENT.
 5. BASIS OF BEARINGS IS WGS84 DATUM, GEODETIC NORTH IN GROUND DISTANCES BASED ON GPS OBSERVATIONS. OBLIQUE STEREOGRAPHIC PROJECTION WITH THE POINT OF ORIGIN AT 32° 16' 49.31" N, 106° 47' 59.90" W. ORIGIN SCALE OF 1:1000191624. ALL COORDINATES SHOWN, IF ANY, ARE LOCAL ONLY.
 6. INSTRUMENT OF OWNERSHIP: FILED JULY 7, 2017, INST. NO. 2017.
 7. INSTRUMENT OF OWNERSHIP: FILED JULY 7, 2017, INST. NO. 2017.

GEM SURVEYING
P.O. BOX 183
ORGAN, NM 88052
TEL: 575-635-0176
FAX: 866-293-0551



SURVEYORS CERTIFICATION

I, JOHN F. ESQUIVEL, A NEW MEXICO PROFESSIONAL SURVEYOR, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT, AND THAT THE SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYS IN NEW MEXICO. THIS IS A SURVEY OF AN EXISTING TRACT OF LAND AND IS NOT A SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT.

John F. Esquivel
 JOHN F. ESQUIVEL, N.M.P.S. #5949

7-30-2020

DATE

SHEET 1 OF 1

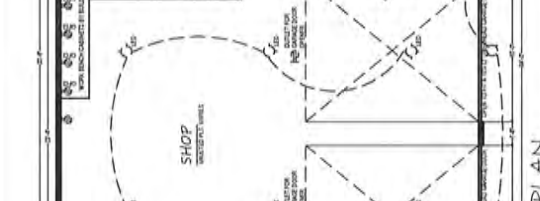
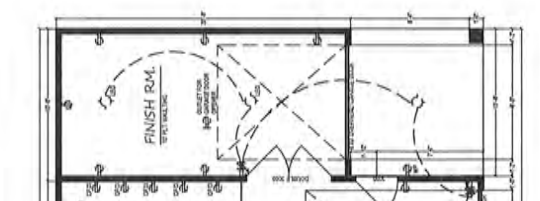
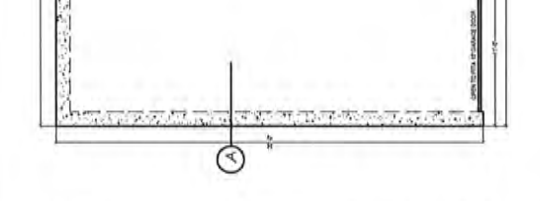
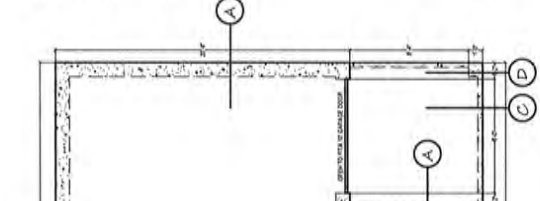
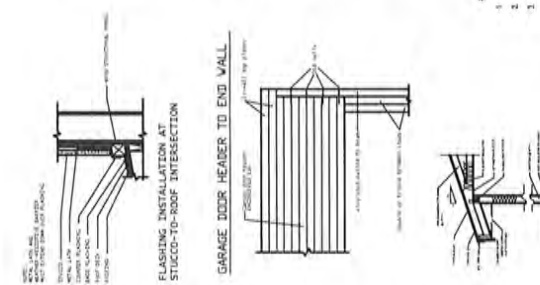
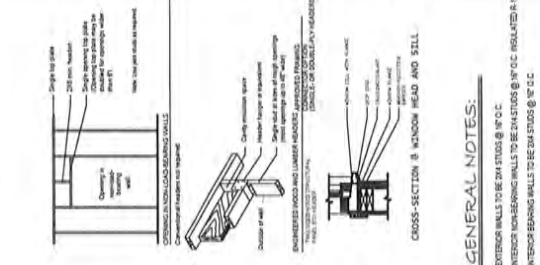
**ISSUED PERMIT:
 REVISIONS: 1**

**GENERAL CONTRACTOR:
 LAS CRUCES BUILDERS LLC**

**PROJECT:
 JON STRAIN SHOP BUILDING**

**SHEET TITLE:
 FLOOR PLAN/ROOF/
 FOUNDATION ELEVATIONS
 ELECTRICAL LAYOUT**

**CHECKED BY: J. STRAIN
 DATE: 6/24/2020
 SHEET NUMBER: A.1**

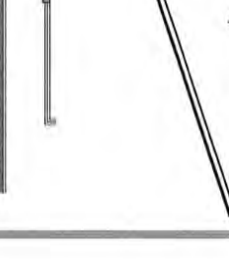
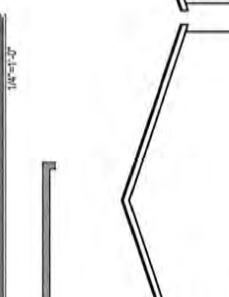
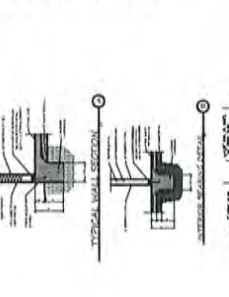
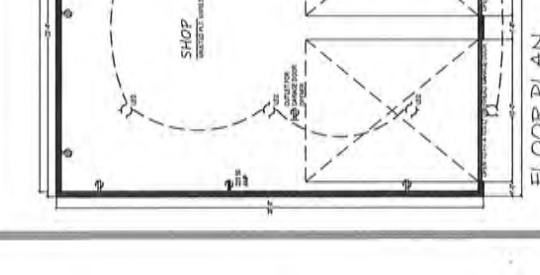
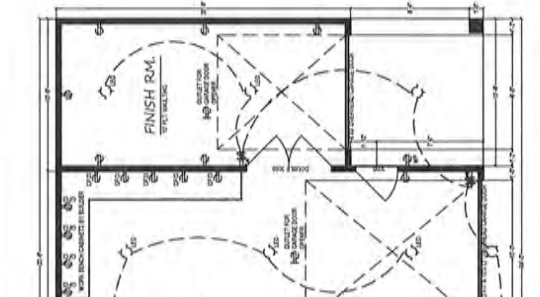
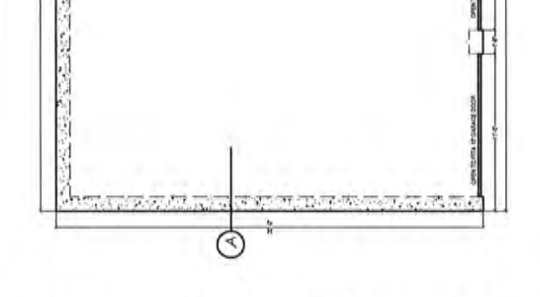
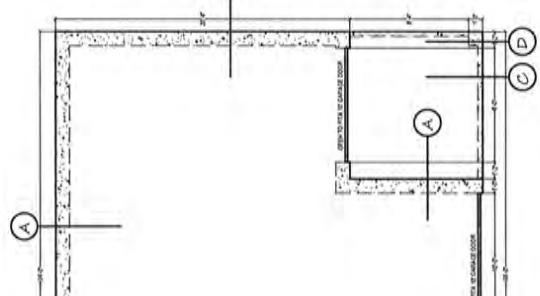
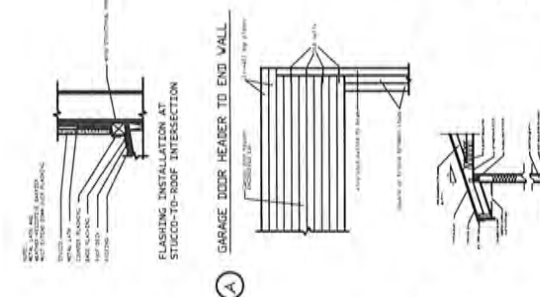


GENERAL NOTES:

1. EXTERIOR WALLS TO BE 24" STUDS @ 16" O.C.
2. INTERIOR NON-BEARING WALLS TO BE 24" STUDS @ 16" O.C. ISOLATED R-11
3. INTERIOR BEARING WALLS TO BE 24" STUDS @ 16" O.C.
4. ALL JOISTS SPANNING MORE THAN 12' SHALL BE 2X12
5. ALL JOISTS SPANNING MORE THAN 12' SHALL BE 2X12
6. ALL JOISTS SPANNING MORE THAN 12' SHALL BE 2X12
7. ALL DIMENSIONS ARE TO BE CHECKED AND CONFIRMED BY CONTRACTOR PRIOR TO POURING OF CONCRETE
8. INSULATE WALLS R-11 MIN. CEILING R-19. PERIMETER R-4 MIN.
9. INTERIOR TO BE SHEATHED, TYPED, TEXTURED, AND PAINTED
10. EXTERIOR TO BE STUCCO - COLOR BY OWNER/CONTRACTOR
11. ALL ANGLED WALLS TO BE 45° ANGLES
12. ALL TILED AREAS TO BE UP LARGER TAP TILE SELECTION BY OWNER

GENERAL ELECTRICAL NOTES:

1. THIRD PARTY ALL INFORMATION AND DO NOT SHOW THE EXACT LOCATION TO AN ELECTRICAL AND MECHANICAL PLUMB AND DRAIN TO BE USED
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING ELECTRICAL AND MECHANICAL PLUMB AND DRAIN TO BE USED
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES
4. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES
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NO.	REVISION	DATE
1	ISSUED PERMIT	6/24/2020
2	REVISIONS	6/24/2020
3		
4		
5		
6		
7		
8		
9		
10		

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:
Case # 061088
Fee \$ 40.50

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061088 ZONE: RA CODE: _____ APPLICATION DATE: 7/24/20

Jon Strain _____ 719-661-0729 _____

Name of Property Owner _____ Property Owner's Telephone Number _____
PO Box 1006 Fairacres NM 88033

Property Owner's Mailing Address _____ City _____ State _____ Zip Code _____

strainjon@yahoo.com

Property Owner's E-mail Address _____

J M S Construction

Contractor's Name & Address (If none, indicate Self) _____

719-661-0729 03-413347-00-0 397044

Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2067 Stithes RD

Description of Proposed Work: Detached Garage

\$ 20,000.00 _____ 7-29-2020

Estimated Cost _____ Signature of Applicant _____ Date _____

Signature of property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____

Approved Date: _____ Disapproved Date: _____

Disapproved Date: _____ Approved with Conditions

Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC APPROVAL REQUIRED

CID PERMIT REQUIRED

TL

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. _____ Site Plan with dimensions and details.
3. _____ Foundation plan with details.
4. _____ Floor plan showing rooms, their uses and dimensions.
5. _____ Cross section of walls
6. _____ Roof and floor framing plan
8. _____ Proof of legal access to the property.
9. _____ Drainage plan.
10. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. _____ Proof of legal access to the property.
13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

PZHAC ACTION FORM
ZONING PERMIT 061100
[PZHAC REVIEW – 8/17/2020]

Case 061100 – 2120 Calle del Sur, submitted by Davie Salas; a request for a zoning permit to allow the placement of four latia fences on a residential property at this address. Zoned: Historical Residential (HR)

Staff Analysis:

The applicant would like to install four six foot high latia fences around the ends of the two duplexes on the property at this address (see red lines on the attached site plan) to provide privacy to the dwellings. The style of the fences will be similar to the latia fence at the front of the dwelling at 2219 Calle de Parian (see attached photo). According to the applicant, the fences will be six feet in height, and will be made of latias on wood or metal uprights. The fences at the front of the property will be at least ten feet from the pavement and will be outside the required clear-sight-triangle for driveways. A right-of-entry agree with the neighbor to the rear of the property is attached.

Estimated Cost: @ \$2000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed fences will be consistent with the development of properties in the HR district. Additionally, the request appears to meet all other development and application requirements of the Code.

The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing four six foot high latia fences on a residential properties for privacy.
- The PZHAC has determined that the proposed fences meet the Code.

PZHAC OPTIONS:

1. Recommend approval of the fences to the BOT.
2. Recommend approval of the fences to the BOT with conditions.
3. Reject the permit.

PZHAC ACTION:

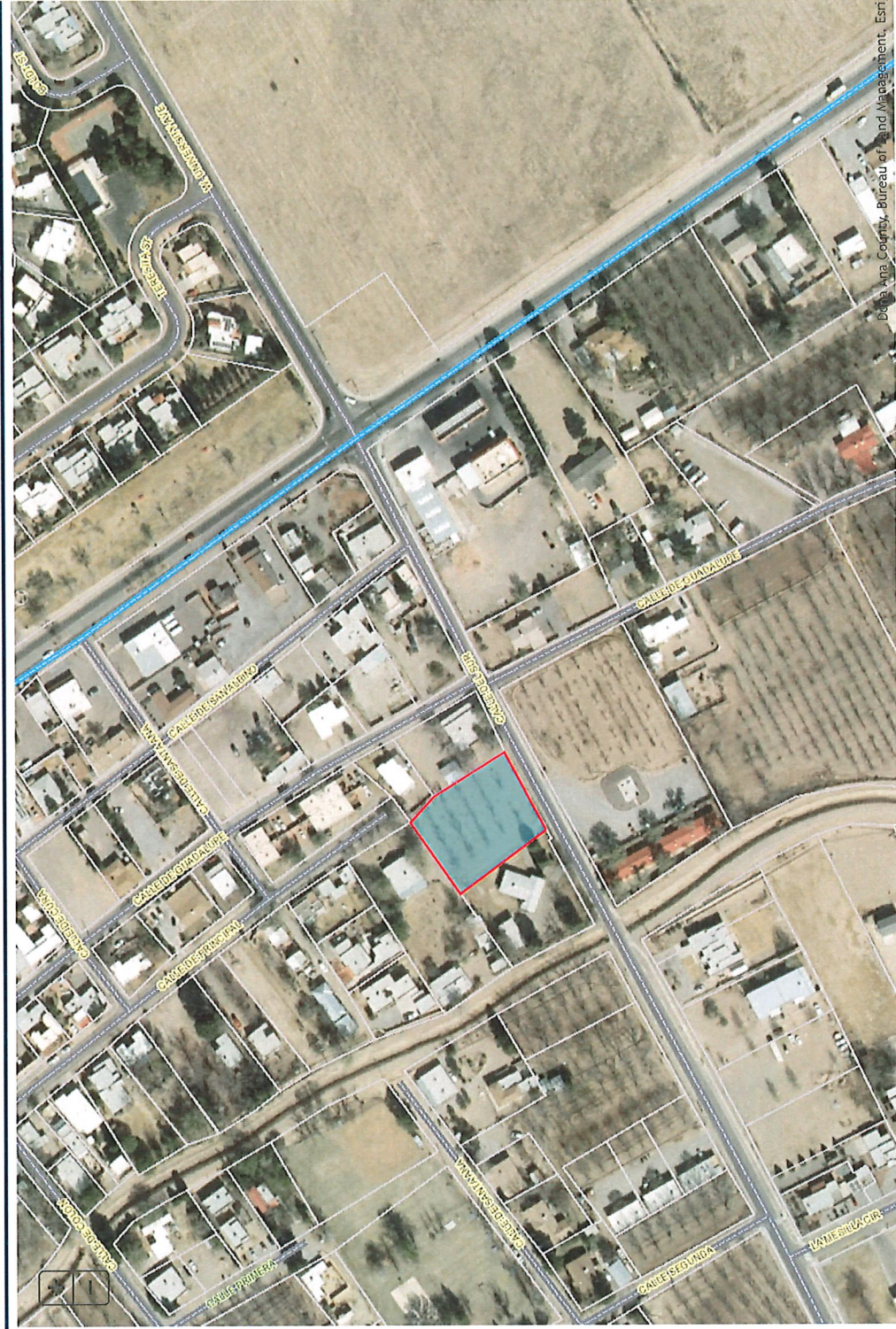
Doña Ana County, NM
General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number | Enter Value: Search

Map Themes	
Parcels	<input checked="" type="checkbox"/>
UDC Zoning	<input type="checkbox"/>
Roads and Transportation	<input type="checkbox"/>
NM House Districts	<input type="checkbox"/>
NM Senate Districts	<input type="checkbox"/>
County Commission Districts	<input type="checkbox"/>
City Council Districts	<input type="checkbox"/>
Median Household Income	<input type="checkbox"/>
General Land Ownership	<input type="checkbox"/>

Account Number: R1902694
 Parcel Number: 4006138316054
 Owner: SALAS DAVIE C
 Mail Address: 2417 CALLE DE PARIAN
 A
 Subdivision: EL JALITO SUBDIVISION
 (BK 24 PG 386 - 1825205)
 Property Address: CALLE DEL SUR
 Acres: 0.56



Doña Ana County, Bureau of Land Management, Esri



CALLE DEL SUR
 LOT 2
 EL JÁLITO SUBDIVISION
 0.566 AC.

- SITE PLAN NOTES**
1. 20' WIDE, 4" ROAD BASE GRAVEL DRIVE.
 2. LANDSCAPE AREA, AND 0' TO 18" DEEP PONDING. CONNECT PONDS UNDER WALKS AND WALKS WITH SHORT 6" PVC PIPES.
 3. NEW STUCCO WALL. SEE ELEVATIONS.
 4. ROOF OVER GRAVEL WALK BETWEEN CARPORTS. SEE ELEVATIONS.
 5. NOT USED
 6. NOT USED

DRAWING INDEX

1. SITE PLAN
2. FLOOR PLAN TYPICAL UNIT
3. BUILDING ELEVATIONS
4. FOUNDATION PLAN
5. FRAMING PLAN
6. ROOF PLAN
7. SCHEMATIC ELECTRICAL PLAN
8. SCHEMATIC MECHANICAL PLAN

AREA

TYPICAL UNIT
 ONE EAST HEATED AREA
 TWO SOUTH HEATED AREA

LEGAL DESCRIPTION

LOT 2
 CALLE DEL SUR
 LOT 2, EL JÁLITO SUBDIVISION
 TOWN OF FRESNO
 SEE LOCAL AG
 ADDRESSING PARCEL NO. R020644

- GENERAL NOTES**
1. VERIFY LOCATION OF ALL UTILITIES ON SITE.
 2. RESIDENCE DESIGNED IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE AND CITY OF LAS CRUCES REQUIREMENTS. ALL WORK TO MEET APPLICABLE STANDARDS.
 3. PLANS ARE PROVIDED FOR THE PURPOSES OF NEGOTIATED CONTRACT WITH A SELECTED GENERAL CONTRACTOR AND MAY CONTAIN OMISSIONS AND MODIFICATIONS. THE GENERAL CONTRACTOR OBTAINING THESE PLANS AND CONTRACTING THEREON SHALL BE RESPONSIBLE FOR CORRECTING THESE.
 4. FINISH FLOOR ELEVATION OF THE RESIDENCE TO BE SET 6" ABOVE ADJACENT ROAD CURB.

SITE PLAN
 SCALE: 1" = 30'-0"

CALLE DEL SUR HOMES
 PREPARED FOR
 DAVIE & KELLY SALAS
 NILES, ILL. IN
 NEW MEXICO

DATE	PHASE
05/19/10	CONCEPT
05/20/10	PERMIT

genton ventures, inc.
 1336 GARDEN VIEW DR.
 LAS CRUCES, NM 87801
 TEL: 505.252.1111
 FAX: 505.252.1111
 WWW.GENTONVENTURES.COM

SHEET

1

07/05/10

- Note.*
- Fence will be 10' from the curb, to meet clear side Triangle
 - Fence will be 6' in front and Back
 - Fence will be Lattis



PHOTO OF SIMILAR FENCE AT FRONT OF 2219 CALLE DE PARIAN



**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061100

Fee \$ ~~82.00~~

77.00

**PERMISSION TO CONDUCT WORK
OR**

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061100 ZONE: HR CODE: M1 APPLICATION DATE: 8/10/20

Davie & Kelly Salas 575-650-3362
Name of Property Owner Property Owner's Telephone Number

P.O. Box 615 Mesilla NM 88046
Property Owner's Mailing Address City State Zip Code

daviesalas@comcast.net
Property Owner's E-mail Address

"Self"
Contractor's Name & Address (if none, indicate Self)

N/A N/A N/A
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

2120 Calle del Sur
Address of Proposed Work:

Installation of 14" Latilla Fences
To be 6' High and will be 10' off the Street Curb.
Description of Proposed Work:

\$ 2,000.00 Davie Salas 7-30-2020
Estimated Cost Signature of Applicant Date

Signature of property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW ; BOT APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
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