



Town of Mesilla, New Mexico

PZHAC MEETING AGENDA JULY 6, 2020

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A VIRTUAL MEETING VIA ZOOM OR PHONE MONDAY, JULY 6, 2020 AT 2:30 P.M. **TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 979 1336 8353, PASSWORD 361878.**

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

III. CHANGES/APPROVAL OF THE AGENDA

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

A. *PZHAC MINUTES – PZHAC Regular Meeting of June 16, 2020.

B. *ADMINISTRATIVE APPROVALS

Zoning Permit:

1. **Case 061058** – 319 Capri Arc, submitted by Sam McBurney; a request for a zoning permit to allow the replacement of seven windows on a dwelling at this address. Zoned: Single family, one acre site built (R1)
2. **Case 061063** – 3463 Calle del Norte, submitted by Dan Howard; a request for a zoning permit to allow a partial reroof of a dwelling at this address. Zoned: Rural Farm (RF)
3. **Case 061064** – 2965 Calle de Guadalupe, submitted by Anelita and Andres Montoya; a request for a zoning permit to allow an evaporative air cooling unit to be replaced by a refrigerated air conditioner in a dwelling at this address. Zoned: Historical Residential (HR)
4. **Case 061065** – 2408 Calle de Santiago, submitted by Teresa Sanchez, trustee for Roberto and Eliza Fietze LLC; a request for a zoning permit to allow soffit repair and a new roof coating on a dwelling at this address. Zoned: Historical Residential (HR)
5. **Case 061066** – 3260 North Highway 28, submitted by Indalecio Prieto; a request for a zoning permit to add additional pavement (flatwork) to an existing residential driveway at this address. Zoned: Rural/Agricultural (RA)
6. **Case 061067** – 1922 Calle de Cura, submitted by Nia Rucker; a request for a zoning permit to allow window frames on a dwelling at this address to be repaired and repainted the original color, Zoned: Historical Residential (HR)
7. **Case 061068** – 2231 Calle de Santiago, submitted by Patrick Taylor for MaryHelen Ratje; a request for a zoning permit to allow the replacement of a broken or damaged canales with identical new canales. Zoned: Historical Residential (HR)

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

Public input shall be received at larrys@mesillanm.gov at by 1:30 p.m. July 6, 2020 and will be read into the record. You will also be given an opportunity to speak during this time by joining in the meeting by phone and pressing *9 while in the teleconference. This will let the host know that you wish to speak. You will be prompted by the host when to begin speaking.

B. DECISIONS:

Zoning Permits:

1. **Case 061069** – 2330 Calle de Santiago, submitted by Patrick Taylor for the Taylor-Barela Reynolds Mesilla Historic Site; a request for a zoning permit to conduct restoration on the adobe and plaster on the historic dwelling at this address. Zoned: Historic Commercial (HC)

2. **Case 061070** – 1985 Calle de Colon, submitted by Sylvia Fierro; a request for a zoning permit to allow the installation of two exterior security doors on a commercial building at this address. Zoned: Historical Commercial (HC)
3. **Case 061071** – 2305 Calle de Colon, submitted by Jerry Nevarez; a request for a zoning permit to allow the installation of an aluminum gutter on a dwelling at this address to connect two canales to a ponding area. Zoned: Historical Residential (HR)

VI. PZHAC/STAFF COMMENTS

VII. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 7/2/20 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristramn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC REGULAR
MEETING MINUTES
JUNE 1, 2020

(PART OF CONSENT AGENDA)



PZHAC MEETING
AMENDED AGENDA
JUNE 15, 2020

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A VIRTUAL MEETING VIA ZOOM OR PHONE MONDAY, JUNE 15, 2020 AT 2:30 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 979 1336 8353, PASSWORD 361878.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

Attendance was electronic via “Zoom”. All PZHAC members were present. Commissioner Lucero was acting chair.

III. CHANGES/APPROVAL OF THE AGENDA

There were no changes to the agenda. Commissioner Prieto made a motion to approve the Agenda, seconded by Commissioner Houston, and approved by a vote of 5 – 0.

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

There were no changes to the Consent Agenda. Commissioner Salas made a motion to approve the Agenda, seconded by Commissioner Prieto, and approved by a vote of 5 – 0.

A. *PZHAC MINUTES – PZHAC Regular Meeting of June 1, 2020.

Approved as part of the Consent Agenda

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

Public input shall be received at larrys@mesillanm.gov at by 1:30 p.m. June 15 and will be read into the record. You will also be given an opportunity to speak during this time by joining in the meeting by phone and pressing *9 while in the teleconference. This will let the host know that you wish to speak. You will be prompted by the host when to begin speaking.

Staff stated that one e-mail had been received from Susan Krueger, resident. Staff read the e-mail for inclusion into the record. (A copy of the e-mail is attached at the end of these minutes.)

B. DECISIONS:

Zoning Permits:

1. **Case 061047 – 2631 Calle Tercera**, submitted by Frankie Torres, a request for a zoning permit to allow a rock wall to be constructed on the front property line of a residential property at this address. Zoned: Historical Residential (HR) (**Postponed at the June 1, 2020 PZHAC meeting**)

Staff provided a brief review of this request and the fact that the case was postponed a second time in order to allow the applicant to clarify and provide specific details about the location of the front wall and how the clear-sight-triangle requirements for the two driveways would be met. Staff explained that the applicant finally did provide a more accurate diagram after this packet was initially written and that the packet was amended to include the case. Discussion centered around the fact that the wall was now shown on the diagram to be eleven feet from the edge of the pavement, thereby meeting the clear-sight-triangle requirements of the Code. There were no further problems. A motion was made by Commissioner Prieto to recommend approval of the case to the BOT, seconded by Commissioner Salas, and APPROVED by a vote of 5 – 0.

2. **Case 061051** – 2447 Calle del Norte, submitted by Matilde Estrada; a request for a zoning permit to allow the replacement of nine windows on a dwelling at this address. Zoned: Historical Residential (HR) **(Postponed at the June 1, 2020 PZHAC meeting)**
Staff explained that the applicant still had not provided the requested information at the time this packet was written, and therefore the case was not ready to be decided on at this time. Commissioner Salas made a motion to remove the case from the agenda, seconded by Commissioner Prieto, and the case was removed from the agenda by a vote of 5 – 0.

3. **Case 061052** – 2445 Calle de Santa Ana, submitted by ViCa One Inc. for Jack and Lisa Kirby; a request for a zoning permit to allow the construction of a new dwelling at this address. Zoned: Historical Residential (HR) **(Postponed at the June 1, 2020 PZHAC meeting)**
Staff provided a brief review of this request, including a the fact that this case had been reviewed with Tom Maese, Chief CID Inspector, to ensure that the required information had been provided by the applicant. There were no issues. A motion was made by Commissioner Prieto to recommend approval of the request to the BOT, seconded by Commissioner Salas, and APPROVED by a vote of 5 – 0.

4. **Case 060153** – Calle Pacana, Lot 2 of the Sommer Grove Subdivision, submitted by ViCa One Inc. for Charles and Marilyn McMurray; a request for a zoning permit to allow the construction of a new dwelling at this address. Zoned: Historical Residential (HR) **(Postponed at the June 1, 2020 PZHAC meeting)**
Staff provided a brief review of this request, including a the fact that this case had been reviewed with Tom Maese, Chief CID Inspector, to ensure that the required information had been provided by the applicant. There were no issues. A motion was made by Commissioner Salas to recommend approval of the request to the BOT, seconded by Commissioner Prieto, and APPROVED by a vote of 5 – 0.

5. **Case 061055** – 2821 Cielo Grande Court, submitted by Zachary and Jodie Penn; a request for a zoning permit to allow the installation of an in-ground pool behind a new dwelling at this address. Zoned: Rural Farm (RF) **(Postponed at the June 1, 2020 PZHAC meeting)**
Staff provided a brief review of this request, including a the fact that this case had been with Tom Maese, Chief CID Inspector, to ensure that the required information had been provided by the applicant. There was a question as to whether the requested automatic safety cover on the pool would eliminate the requirement for a fence around the pool. Mr. Maese stated that a fence would not be needed with the proposed cover. There were no further questions or issues. A motion was made by Commissioner Prieto to approve the request, seconded by Commissioner Salas, and APPROVED by a vote of 5 – 0.

6. **Case 061056** – 1680 Calle de Alvarez Suite C, submitted by Stefan Schaefer for Christopher Schaefer; a request to expand an existing 161 square foot patio service area by 294 square feet. Zoned: General Commercial (C) **(Postponed at the June 1, 2020 PZHAC meeting)**
Staff provided a brief review of this request, including a the fact that this case had been reviewed with Tom Maese, Chief CID Inspector, to ensure that the required information had been provided by the applicant. Mr. Maese explained that the previous questions with respect to parking and ADA access had been answered by the applicant, and that there were no further issues. A motion was made by Commissioner Houston to recommend approval of the request to the BOT, seconded by Commissioner Salas, and APPROVED by a vote of 5 – 0.

VI. PZHAC/STAFF COMMENTS

Commissioner Nevarez

Questioned whether the electronic meetings currently being held complied with the “Open Meetings Act” and was assured by Staff that they did.

VII. ADJOURNMENT

The meeting was adjourned at 3:08 pm.

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted by 1:45 pm on 6/12/20 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristramn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PUBLIC INPUT

6/15/2020

TO: Larry Shannon

FROM: Susan Krueger, with thanks

Subject: Public Input for June 15, 2020 PZHAC meeting

Regarding item V. B. Decisions: #3. Case 061052, zoning permit for a new dwelling in the Spanish Pueblo architectural style to be located in the HR zone.

At the 6/1/2020 PZHAC meeting, PZHAC Commissioners discussed concerns about the size and style of the dwelling and that it would not fit in with the development zone.

I did not see this concern addressed in the "New Information" provided for this case, but I may have missed it.

My comments are a series of questions, and my thought is this structure should meet the design elements of the Spanish pueblo style as these elements appear in the "Guide to Building Permits in the Historic Zones."

If there are enough examples of the Spanish pueblo style in the development zone, then, using the "Guide Building Permits in the Historic Zones," please go over the overall configuration, construction and details of this structure.

Does it appear to be a form of simulated adobe construction?

Is it long and low in proportion?

Do the porches create a lower silhouette than the basic building?

Are the building shapes generally rounded and softened rather than sharp?

Are window and door openings small and randomly placed on the facades?

Are window heights from grade uneven?

Is the roof flat with a slight slope for drainage?

Is the roof surrounded on at least three sides by a parapet or firewall?

Is the wooden trim around window and door openings minimal and is there a rounding of the wall creating a transition from wall surface to window and door surface?

Etc.

Be careful that the faux, "stubby" additions to the roof that give additional height to the structure are not somehow identified as part of Mesilla's Spanish pueblo style.

Note that the architectural style has to be a Mesilla architectural style as it existed in the Town in 1973, the year the Yguado Plan was adopted. The style cannot come out of a general textbook on pueblo styles, and that is why the Town has the "Guide" to illustrate specifically the style as it appears in Mesilla. Also note that the same architectural style information appears again in Chapter 18.33 "Historic Preservation," MTC. Other examples of the Spanish pueblo style in the neighborhood may not be so exact; however, there is no reason to repeat past errors.

Generally, the above comments apply as well to Case 060153, also a Spanish pueblo style home proposed to be built in the HR zone by the same builder.

Finally, I believe both of these applications should be presented and signed by owners rather than by the builder.

PZHAC NEW BUSINESS

JULY 6, 2020

ADMINISTRATIVE APPROVALS
(PART OF CONSENT AGENDA)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061058
[PZHAC CONSENT AGENDA – 7/6/20]**

Item:

Case 061058 – 319 Capri Arc, submitted by Sam McBurney; a request for a zoning permit to allow the replacement of seven windows on a dwelling at this address. Zoned: Single family, one acre site built (R1)

Description of Work Done:

The applicant would like to replace most of the windows in the dwelling with windows having a similar style to those being replaced. There will be no structural or visual changes to the dwelling.

Consistency with the Code:

Since the proposed repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes the structure., the permit may be approved administratively. [(15.15.030(B) - Application for building permit, Administrative Approval).Administrative Approval Permit –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type:

Account Number

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400760](#)

Parcel Number: 4007137176386

Owner: MCBURNEY SAMUEL

Mail Address: 319 CAPRI ARC

Subdivision: MESILLA PARK MANOR

PL 3C 622

Property Address: 319 CAPRI ARC

Acres: 0



Sales Person:
19 - MARCO SAUCEDO



Customer Acknowledgement
Quote Date 5/7/2020
Date Ordered 5/18/2020

Dealer Name:
850340 WINDOW WORLD OF LAS CRUCES

Bill To:
WINDOW WORLD OF LAS CRUCES
300 N TELSHOR BLVD SU 100
LAS CRUCES NM 88011

Ship To:
SAME

Job Info:

Phone: (575) 532-9390 Fax:

Order Notes:

Delivery Notes:

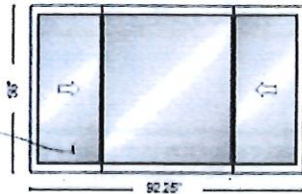
Quote Name:
McBurney, Sam

Project Name:
McBurney, Sam

QUOTE #	RUSH	STATUS	PO#
2577669	No	Ordered	213-2590

Line Item #	Qty	Width x Height	UI	Description
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✓ 1 92.25" X 58" 151



3A03-New 4000 Series XOX 92 1/4 x 58
Frame Width = 92.25, Frame Height = 58, Sash Split = 1/4 - 1/2 - 1/4
Operation / Venting = XOX
Frame Option = Stucco, Steel Reinforcement
Frame Color = White, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Glass Breakage Warranty
Lock Height = Standard Lock Height
Standard Screen
U-Factor = 0.28, CR = 59, SHGC = 0.21, VT = 0.49, CPD = ASO-A-90-61915-00001
Foam Wrap, Net Overall

Line Item Notes:

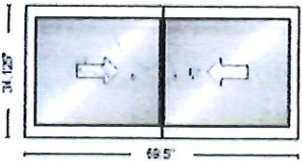
Silver AAMA Label ONLY

Comment / Room:

LINE 1

Line Item #	Qty	Width x Height	UI	Description
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2 1 69.5" X 34.125" 105



3A02-New 4000 Series XX 69 1/2 x 34 1/8
Frame Width = 69.5, Frame Height = 34.125, Sash Split = Even
Operation / Venting = XX
Frame Option = Stucco, Composite Reinforcement
Frame Color = White, Exterior Finish = No Exterior Finish
SolarZone Elite, Double Strength, Glass Breakage Warranty
Lock Height = Standard Lock Height
Standard Screen
U-Factor = 0.28, CR = 59, SHGC = 0.21, VT = 0.49, CPD = ASO-A-90-57577-00001
Foam Wrap, Net Overall

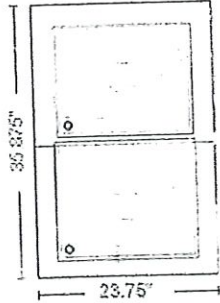
Line Item Notes:

Comment / Room:

LINE 2

QUOTE #	RUSH	STATUS	PO#
2577669	No	Ordered	213-2590

Line Item #	Qty	Width x Height	UI	Description
3	1	23.75" X 35.875"	60	

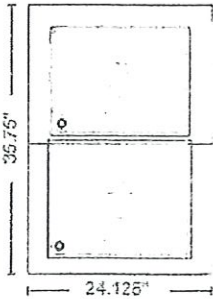


3A01-New 4000 Series Double Hung 23 3/4 x 35 7/8
 Frame Width = 23.75, Frame Height = 35.875, Sash Split = Even
 Operation / Venting = Double Hung
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = White, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, OBSCURE FULL, Glass Breakage Warranty
 Standard Screen
 U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-69629-00001
 Header Expander, Foam Wrap, Net Overall
Line Item Notes:

Comment / Room:

LINE 3

Line Item #	Qty	Width x Height	UI	Description
8	1	24.125" X 35.75"	61	



3A01-New 4000 Series Double Hung 24 1/8 x 35 3/4
 Frame Width = 24.125, Frame Height = 35.75, Sash Split = Even
 Operation / Venting = Double Hung
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = White, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Laminated, OBSCURE FULL
 Standard Screen
 Header Expander, Foam Wrap, Net Overall
Line Item Notes:

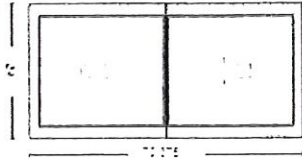
Comment / Room:

LINE 8

QUOTE #	RUSH	STATUS	PO#
2577669	No	Ordered	213-2590

Line Item #	Qty	Width x Height	UI	Description
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9 1 70.375" X 35" 106



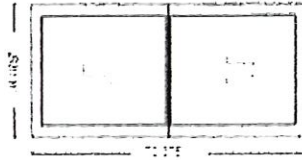
3A02-New 4000 Series XX 70 3/8 x 35
 Frame Width = 70.375, Frame Height = 35, Sash Split = Even
 Operation / Venting = XX
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = White, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Glass Breakage Warranty
 Lock Height = Standard Lock Height
 Standard Screen
 U-Factor = 0.28, CR = 59, SHGC = 0.21, VT = 0.49, CPD = ASO-A-90-57577-00001
 Header Expander, Foam Wrap, Net Overall
Line Item Notes:

Comment / Room:

LINE 9

Line Item #	Qty	Width x Height	UI	Description
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~~10~~ 1 70.375" X 34.875" 106



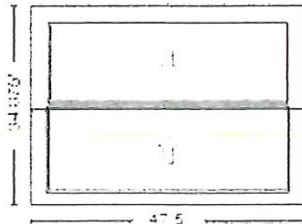
3A02-New 4000 Series XX 70 3/8 x 34 7/8
 Frame Width = 70.375, Frame Height = 34.875, Sash Split = Even
 Operation / Venting = XX
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = White, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Glass Breakage Warranty
 Lock Height = Standard Lock Height
 Standard Screen
 U-Factor = 0.28, CR = 59, SHGC = 0.21, VT = 0.49, CPD = ASO-A-90-57577-00001
 Header Expander, Foam Wrap, Net Overall
Line Item Notes:

Comment / Room:

LINE 10

Line Item #	Qty	Width x Height	UI	Description
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11 1 47.5" X 34.875" 83

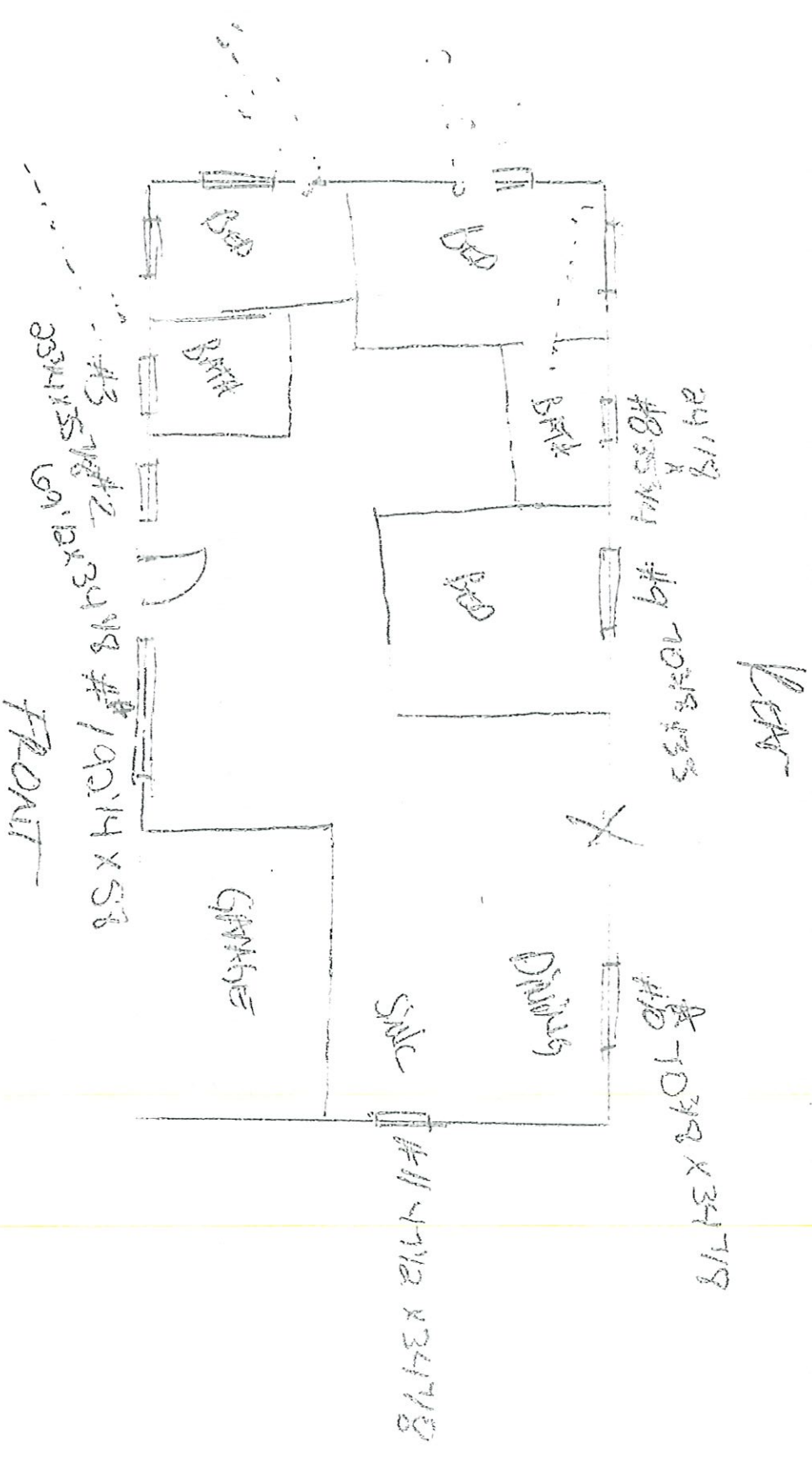


3A01-New 4000 Series Double Hung 47 1/2 x 34 7/8
 Frame Width = 47.5, Frame Height = 34.875, Sash Split = Even
 Operation / Venting = Double Hung
 Frame Option = Standard Block Frame, Composite Reinforcement
 Frame Color = White, Exterior Finish = No Exterior Finish
 SolarZone Elite, Double Strength, Glass Breakage Warranty
 Standard Screen
 U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-69629-00001
 Header Expander, Foam Wrap, Net Overall
Line Item Notes:

Comment / Room:

LINE 11

Samuel McBarney
 319 Cypri Ave. 88005
 505-934-0100



1. All windows that originally meet egress will meet egress.
2. No changes to existing construction.
3. All windows are energy efficient.



WINDOW AND PATIO DOOR ORDER FORM

Account # Sales Rep Name / #
 Date 3-23-2020 Customer P.O. #

WEST COAST
 Customer Name and Address:

Ship To: Samuel McBarney
319 Cami Ave. 4th cross
505-934-0100
 Contact Phone Number:
 Job Name:
 Ordered By:
 Stitches:

Special Instructions:
Painted Glass
#6, #7, #8

Head Expander Glass Breakage Warranty Foam Wrap

(This entire order requires (where applicable) Head Expander) Glass Breakage Warranty Foam Wrap

NOTE: Hinge Left (HL) or Hinge Right (HR) on all casement orders as viewed from the exterior. Add (EH) for Egress Hinge

ALL PRODUCT CONFIGURATIONS MUST BE ORDERED AS VIEWED FROM THE EXTERIOR

LINE	QTY	MODEL	WENT	COLOR	RD	HQA	WIDTH	X	HEIGHT	FRAME OPTION	PAINT	ROOM LOCATION	GRID EXISTENT	GRID TYPE	GLASS OPTION	ETIC OPTION	TINTS	OBSCURE	CHNL	WDRN	GRID OPTION STYLE	PATTERN	SCREEN ENHANCED	MAT FN	TEMP
1	1	3A01	01				24 1/8		35 3/4	RP		BEN DATA	ICE	ICE	ICE										
2	1	3A02	01				25 3/4		35 7/8	RP		BEN DATA	ICE	ICE	ICE										
3	1	3A01	01				24 1/8		35 3/4	RP		BEN DATA	ICE	ICE	ICE										
4	1	3A02	01				25 3/4		35 7/8	RP		BEN DATA	ICE	ICE	ICE										
5	1	3A01	01				24 1/8		35 3/4	RP		BEN DATA	ICE	ICE	ICE										
6	1	3A02	01				25 3/4		35 7/8	RP		BEN DATA	ICE	ICE	ICE										
7	1	3A01	01				24 1/8		35 3/4	RP		BEN DATA	ICE	ICE	ICE										
8	1	3A02	01				25 3/4		35 7/8	RP		BEN DATA	ICE	ICE	ICE										
9	1	3A01	01				24 1/8		35 3/4	RP		BEN DATA	ICE	ICE	ICE										
10	1	3A02	01				25 3/4		35 7/8	RP		BEN DATA	ICE	ICE	ICE										
11	1	3A01	01				24 1/8		35 3/4	RP		BEN DATA	ICE	ICE	ICE										
12																									
13																									
14																									
15																									
16																									
17																									

COATING OPTIONS: WOODGRAINS: 11000 SERIES ONLY
 01 = WHITE
 02 = ALUMINUM
 03 = DESERT CLAY
 04 = BRONZE EASY
 05 = WHITE INTERIOR
 06 = LIGHT OAK
 07 = DARK OAK
 08 = 1000 SERIES ONLY

FRAMING: RR = REFRIGERANT BOX FRAME RIP FIN
 RS = FLANGE FOR STUCCO APPLICATION
 JC = J-CHANNEL (793 ONLY)
 21 = DESERT CLAY
 02 = BRONZE EASY
 WITH WHITE INTERIOR
 NT1 = 1" NAIL FIN SET BACK (793 ONLY)
 NT2 = 1/2" NAIL FIN SET BACK (803 ONLY)
 BT = BRICK HOLD 1 1/2"
 NO = BRICK HOLD 2"

GLASS: 2 = DOUBLE
 3 = TRIPLE
 0 = 1/4", 1/2", 3/4"
 S = STAMKED
 C = CUSTOM

10 = TEAR BOTTOM
 11 = TEAR FULL
 12 = OPG BOTTOM
 13 = OPG FULL
 14 = OPG BOTTOM
 15 = OPG FULL
 16 = NARROW REED

008 = DOUBLE OPG BOTTOM
 R = RAIN GLASS FULL
 H = RAIN BOTTOM
 G = OLUCTION FULL
 DR = OLUCTION BOTTOM

17 = SOLARZONE
 18 = SOLARZONE ELITE
 19 = SOLARZONE PLUS
 20 = SOLARZONE 2
 21 = SOLARZONE T2
 22 = SOLARZONE T2 ELITE
 23 = LOW E AND ARGON (DOD SHEET ONLY)

FS = RUL SCREEN (PBR/OLASS)
 FSR = RUL SCREEN 1/2 SCREENS
 ARE STANDARD

SEE BACK OF ORDER FORM FOR GRID OPTIONS

TOWN OF MESILLA
ZONING APPROVAL

OFFICIAL USE ONLY:
Case # 061058
Fee \$ 19.50

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061058 ZONE: R1 CODE: ACM APPLICATION DATE: 6-9-2020

Sam Mc Burney 505-934-0100
Name of Property Owner Property Owner's Telephone Number
319 Capri Arc. Mesilla NM 88005
Property Owner's Mailing Address City State Zip Code
sam.mcburney@gmail.com
Property Owner's E-mail Address

Window World of Las Cruces 300 N. Teishorste 100
Contractor's Name & Address (If none, indicate Self)
575-532-9390 81-4803551 391055
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 319 Capri Arc mesilla, nm 88005

Description of Proposed Work: All windows that meet egress code will be replaced (7 windows) vinyl, for energy efficiency.

\$5,977.47 [Signature] 6-9-2020
Estimated Cost Signature of Applicant Date

Signature of property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES NO BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO SEE CONDITIONS

CONDITIONS: NO CHANGE TO EXTERIOR APPEARANCE OR STYLE OF STRUCTURE
CID PERMIT MAY BE REQUIRED

PERMISSION ISSUED DENIED BY: [Signature] ISSUE DATE: 6/9/20

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061063
[PZHAC CONSENT AGENDA – 7/6/20]**

Item:

Case 061063 – 3463 Calle del Norte, submitted by Dan Howard; a request for a zoning permit to allow a partial reroof of a dwelling at this address. Zoned: Rural Farm (RF)

Description of Work Done:

The applicant would like replace a portion of the roof that has become damaged. The new roof section will be identical to the original roof section and not result in any visual impacts to the area. No other work will be done on the dwelling, and the dwelling will maintain the same appearance.

Consistency with the Code:

Since the proposed inspection and possible repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - Application for building permit, Administrative Approval).Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type:

Account Numbe

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401249](#)

Parcel Number: 4005138126204

Owner: HOWARD DANIEL J &
JENIFER M LICHTENFELS

Mail Address: 4501 GEOTHERMAL DR

Subdivision: CLAY - BARRO PLACE
(BK 20 PG 314-315 - 0312670)

Property Address: 3463 CALLE DEL
NORTE

Acres: 5



Proposal

& DEPOSIT RECEIPT

D.J. Walker Construction LLC License #360618
 DBA A PLUS EXTERIORS (575-644-3180)
 518 N. 17th Street, Las Cruces, NM 88005

Date: 6/11/2020
 W.O. #: 842020036
 Est. #: Bureau Fee: 1500
 Page: 3/3-642-3180

Customer: Dan Howard
 3463 Calle Del Norte
 Mesilla, NM 88046
 Phone 575-202-9763
 dhoward1532@gmail.com



Assessment & Scope of Work

Single story residence with hip and gable roof / Concrete S-tile covering all roof surfaces except under the 2 solar panel fields which appears to be a BUR with granulated cap sheet in place / Homeowner reports an active roof leak through garage ceiling / Existing underlayment appears to be completely deteriorated upon checking under the roof tiles at several locations / The areas directly underneath the solar panels on the SE facing garage roof plane & the SW facing house roof plane, as well as the NE facing house roof plane have been previously re-roofed and are not included in this proposal; (*The need for re-roofing on the 2 planes with solar, specifically areas surrounding the solar panels is unknown at this time and will be determined during the main roof tear-off; Should re-roofing be necessary, will be handled as a change order) / A complete re-roof is recommended with installation of MSA self adhering underlayment

- 1) Areas A, B, & C: Remove existing roof tiles and underlayment / then re-roof with new self-adhering underlayment, Eagle Concrete "S" tile, and appropriate components (utilize tile boosting & mortar profile)
- 2) Replace all drip edge, bird stop, metal flashings, and re-flash (boot) all other penetrations / Repair- replace battens as necessary
- 3) Install 4 ply BUR asphalt roofing on low slope (1.5-2:12 slope) roof area located at back of entry hip roof

Product	Detailed Description	Quantities	Line Total
Permit	State of NM CID / Town of Mesilla		incl
Main House 4:12 slope / General Detail			
Preparation	Remove all existing roofing & underlayment in designated areas A, B, & C / dispose of all waste and debris	see below	
Decking	Replace up to 200 SQ FT as needed; **additional decking replaced to be billed at \$1.50 sq ft plus tax	TBD	TBD
	Replace plumbing vent pipe boots	all	incl
Vents	Stack vent - re-seal and replace storm collars and rain caps	all	incl
	JV Vent - replace and seal as necessary	all	incl
Valley Flashing	New galvanized metal valley flashing in all valleys	all	incl
Drip Edge	Install new 2.5 x 2.5 galvanized metal drip edge (*pre colored metal- additional cost)	all	incl
Underlayment	MSA Quik-STIK HT - SBS modified, self-adhering, fiberglass reinforced membrane	all	incl
Roof Tile	Eagle Concrete "S" Roof Tile color matched to existing / Random scattered boosted tile with mortar in the field & along eaves		
Ridge, Hip, & Nake Cap	Eagle Concrete color matched barrel tile	289 LF	incl
Low Slope Roof = or < 2:12 slope / General Detail			
Decking	Inspect and replace decking as needed	incl	incl
Base	GAF 75# base sheet mechanically attached to the deck		
Ply Sheet	GAF Gafglass ply sheet (mop application)	3.36 SQ	1,737.00
Cap Sheet	GAF 90# granulated cap sheet (mop application)		
Individual Roof Areas (see diagram)			
Area A	West & North facing roof planes incl entry area with gable and hip roofs (West facing slope to include small gable and hip roofs over the entry area)	30.79 SQ	20,014.00
	Tear off and disposal	27 SQ	1,350.00
Area B	East facing house roof plane, Breezway & Casita roof	28.45 SQ	18,493.00
	Tear off and disposal	24.96 SQ	1,248.00
Area C	NW & SW facing attached garage roof slope	10.96 SQ	7,124.00
	Tear off and disposal	9.61 SQ	481.00
Drip Edge & Birdstop	Drip edge - 2.5" x 2.5" pre-colored metal drip edge - white	645 LF	484.00
	Bird Stop - profile & color to match existing	490 LF	incl
Tile Boosting	Install boosted accessory tiles (mortared) along the eaves (bottom the course of tile) / Install random placed boosted tiles (mortared) throughout the field		incl
Mortar	Install gray mortar under hips & top ridge cap	391 LF	880.00
NOTE**	The necessity to re-roof Area D and square footage will be determined upon roof demo and billed as a change order		
	5 Years Workmanship and Labor along with all implied manufacturer warranties		incl
Roof Warranty	WARRANTY: Installation Warranties require a roof inspection be completed on an annual basis. All Asphalt based roofing materials require maintenance at least every 2 years to maintain you installation warranty. We offer free inspections annually however any required maintenance will be at the expense of the home owner. Scheduling of annual inspections shall be the responsibility of the homeowner.		
General Notes**	Estimated time frame to begin roof work is 3 to 4 weeks upon obtaining proper permits from Town of Mesilla and State of NM CID. A signed proposal is required for permitting. Upon job start the work should take approx. 21 working days to complete, weather permitting. Terms: 50% deposit is required before job start and remaining balance is due upon completion of work.		

Customer Signature X *[Signature]*
 Company Representative X *[Signature]*

sub total 51,811.00
 8.1875% tax 4,242.03
 total balance \$ 56,053.03

Initial Deposit - Cashier's Check 6/11/2020

6/13/2020

Pd 6/15/20

(17,100.00)
 (10,927.00)

\$ 28,026.03

TOWN OF MESILLA
ZONING APPROVAL

PERMISSION TO CONDUCT WORK
OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

OFFICIAL USE ONLY: Case # 061063 Fee \$ 88.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061063 ZONE: RF CODE: RF APPLICATION DATE: 6/12/20

Name of Property Owner: DAN HOWARD Property Owner's Telephone Number: 575-202-9763
Property Owner's Mailing Address: 3463 CALLE DEL NORTE City: MESILLA, NM State: NM Zip Code: 88046
Property Owner's E-mail Address: DJ HOWARD1930@GMAIL.COM
Contractor's Name & Address (if none, indicate Self): DJ WALKER CONSTRUCTION LLC DBA A PLUS EXTERIORS
Contractor's Telephone Number: 575-644-3180 / Tax ID # 27-0098517 / Lic # 360618
Contractor's Tax ID Number: _____ Contractor's License Number: _____
Address of Proposed Work: 3463 CALLE DEL NORTE
Description of Proposed Work: PARTIAL RE-ROOF

Estimated Cost: \$51,811.00
Signature of Applicant: [Signature] Date: 6/13/2020
Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY			
PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: YES NO
BOT APPROVAL REQUIRED: YES NO
CID PERMIT INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: NO CHANGES TO APPEARANCE OR STYLE OF STRUCTURE

PERMISSION ISSUED/DENIED BY: [Signature]
ISSUE DATE: 6/22/20

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 - Site Plan with dimensions and details.
 - Foundation plan with details.
 - Floor plan showing rooms, their uses and dimensions.
 - Cross section of walls
 - Roof and floor framing plan
 - Proof of legal access to the property.
 - Drainage plan.
 - Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 - Proof of legal access to the property.
 - Other information as necessary or required by the City Code or Community Development Department (See other side.)

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

- A. Completed application, including:
 - Applicant's name
 - Applicant/property owners contact information
 - Physical address of property
 - Description of work to be done, including dimensions of any construction or repairs
 - Value of work to be done
 - Property owner's signature on the application
- B. Include all information required in the checklist at the bottom of the application.
- C. Additional information required:

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061064
[PZHAC CONSENT AGENDA – 6/7/20]**

Item:

Case 061064 – 2965 Calle de Guadalupe, submitted by Andelita and Andres Montoya; a request for a zoning permit to allow an evaporative air cooling unit to be replaced by a refrigerated air conditioner in a dwelling at this address. Zoned: Historical Residential (HR)

Description of Work Done:

The applicant will replace the evaporative cooler in the dwelling with a refrigerated air conditioning system. There will be no changes to the structure or appearance of the dwelling. The applicant has been informed that a permit from CID will be needed.

Consistency with the Code:

Since the proposed inspection and possible repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type:

Account Numbe

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400681](#)
Parcel Number: 4006138372111
Owner: MONTOYA ANDRES M &
ADELITA H
Mail Address: PO BOX 229
Subdivision:
Property Address: 2965 CALLE DE
GUADALUPE
Acres: 0.51



**TOWN OF MESILLA
ZONING APPROVAL**

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

061064

OFFICIAL USE ONLY: Case # 1 Fee \$ 39.00
88046 (575) 524-3262 ext. 104

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM

CASE NO. 061064 ZONE: _____ CODE: M1 APPLICATION DATE: 6/18/20

Name of Property Owner **ADELITA & ANDRES MONTOYA**

Property Owner's Telephone Number **575-642-0926**

Property Owner's Mailing Address
2965 CALLE DE GUADALUPE
Property Owner's E-mail Address

City
MESILLA

State
NM

Zip Code
88005

Contractor's Name & Address (If none, indicate Self)
CONDITION SOLUTIONS

Contractor's Telephone Number **915-867-1989**

Contractor's Tax ID Number **27-5087750 NM TAX REVENUE 03-380969-00-0**
Contractor's License Number **394811**

Address of Proposed Work: **2965 CALLE DE GUADALUPE MESILLA NM 88005**

Description of Proposed Work:
REPLACEMENT 4 TON S/S UNIT & 2 TON COMBINED UNIT HVAC SYSTEMS

\$16,000

Estimated Cost

Signature of Applicant

Date

6-17-2020

Signature of property owner:

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC	<input checked="" type="checkbox"/>	Administrative Approval	BOT	<input type="checkbox"/>	Approved Date:
	<input type="checkbox"/>	Approved Date:		<input type="checkbox"/>	Disapproved Date:
	<input type="checkbox"/>	Disapproved Date:		<input type="checkbox"/>	Approved with Conditions
	<input type="checkbox"/>	Approved with conditions			

PZHAC APPROVAL REQUIRED: ___ YES NO

BOT APPROVAL REQUIRED: ___ YES NO

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGE TO APPEARANCE OR STYLE OF DWELLING

PERMISSION ISSUED DENIED BY: [Signature]

ISSUE DATE: 6/22/20

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses and dimensions.

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061065
[PZHAC CONSENT AGENDA – 7/6/20]**

Item:

Case 061065 – 2408 Calle de Santiago, submitted by Teresa Sanchez, trustee for Roberto and Eliza Frieze LLC; a request for a zoning permit to allow soffit repair and a new roof coating on a dwelling at this address. Zoned: Historical Residential (HR)

Description of Work Done:

The applicant would like to repair weather damage to the roof and soffit of the dwelling. The rood, which is flat, will have a new overlay. The damaged portion of soffit, once repaired, will be painted the same color as the original soffit. The will be no changes to the appearance or the style of the dwelling.

Consistency with the Code:

Since the proposed inspection and possible repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points | Select Search Type: Account Number | Enter Value:

Maps

Legend

Map Themes

Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0400211](#)
Parcel Number: 4006137132512
Owner: ROBERTO & ELIZA FRIETZE LLC
Mail Address: PO BOX 358
Subdivision:
Property Address: 2408 CALLE DE SANTIAGO
Acres: 1.17



**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:
Case # 061065
Fee \$ 100.00

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061065 ZONE: HR CODE: RR APPLICATION DATE: 6/16/20

ROBERTO & ELIZA FRIETZE, LLC		915-313-1973 or 575-649-6916	
Name of Property Owner		Property Owner's Telephone Number	
C/O P.O. Box 358	Mesilla Park	NM	88047
Property Owner's Mailing Address		City	State
eandlmanagementllc@gmail.com or dnkinvest@comcast.net		Zip Code	
Property Owner's E-mail Address			
A&A Roofing, Inc. P.O. Box 998, Mesilla, NM 88046			
Contractor's Name & Address (if none, Indicate Self)			
575-496-9119	20-8999423	365808	
Contractor's Telephone Number	Contractor's Tax ID Number	Contractor's License Number	
Address of Proposed Work: <u>2408 Calle de Santiago, Mesilla, NM 88047</u>			

Description of Proposed Work: Repair/roll on new roof coating and repair fascia and re-paint existing color.

\$ 4,765.75 Estimated Cost

Teresa D. Sanchez Signature of Applicant Date 16 June 2020

Signature of property owner: Teresa D. Sanchez

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

<input checked="" type="checkbox"/> PZHAC Administrative Approval	<input type="checkbox"/> BOT	<input type="checkbox"/> Approved Date: _____
<input type="checkbox"/> Approved Date: _____	<input type="checkbox"/> Disapproved Date: _____	<input type="checkbox"/> Disapproved Date: _____
<input type="checkbox"/> Disapproved Date: _____	<input type="checkbox"/> Approved with Conditions	
<input type="checkbox"/> Approved with conditions		
PZHAC APPROVAL REQUIRED: YES NO <input checked="" type="checkbox"/>	BOT APPROVAL REQUIRED: YES NO <input checked="" type="checkbox"/>	
SITE ELEVATION EDITION REQUIRED: YES NO <input checked="" type="checkbox"/>	SEE CONDITIONS	
CONDITIONS: <u>NO CHANGES TO APPEARANCE APPEARANCE OR STYLE OF STRUCTURE</u>		

APPROVED

PERMISSION ISSUED/DEFINIED BY: _____ ISSUE DATE: 6/30/20

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 - Site Plan with dimensions and details.
 - Foundation plan with details.
 - Floor plan showing rooms, their uses and dimensions.
 - Cross section of walls
 - Roof and floor framing plan
 - Proof of legal access to the property.
 - Drainage plan.
 - Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 - Proof of legal access to the property.
 - Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061066
[PZHAC CONSENT AGENDA –7/6/20]**

Item:

Case 061066 – 3260 North Highway 28, submitted by Indalecio Prieto; a request for a zoning permit to add additional pavement (flatwork) to an existing residential driveway at this address. Zoned: Rural/Agricultural (RA)

Description of Work Done:

The applicant will add new asphalt sections to an existing driveway. Since this will be on the ground and will not be part of any structures, it can be considered flatwork. No other work will be done at this time and there will be no changes to the dwelling

Consistency with the Code:

Since the proposed inspection and possible repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points | Select Search Type: Account Number Enter Value:

Maps

Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0401614](#)
Parcel Number: 4006138450221
Owner: PRIETO INDALECIO G & DOROTHY B
Mail Address: PO BOX 286
Subdivision:
Property Address: 3260 HIGHWAY 28
Acres: 2.79



TOWN OF MESILLA
ZONING APPROVAL

PERMISSION TO CONDUCT WORK
OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

OFFICIAL USE ONLY: Case # 061066 Fee \$ 60.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061066 ZONE: RA CODE: M APPLICATION DATE: 6/20/20

Name of Property Owner INDALECIO PRIETO Property Owner's Telephone Number 575.525.0335

Property Owner's Mailing Address P.O. Box 286 City MESILLA State NM Zip Code 88046

Property Owner's E-mail Address _____

Contractor's Name & Address (if none, indicate Self) _____

Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 3260 N Hwy 28

Description of Proposed Work: PAVE 8'x22' SECTION OUT SIDE OF GATE
PAVE 12'x34 SECTION INSIDE OF GATE

Estimated Cost \$ 1,100 Signature of Applicant [Signature] Date 6-24-2020

Signature of property owner [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO SEE CONDITIONS

CONDITIONS: NO CHANGES TO APPEARANCE OR STYLE OF STRUCTURES
ON PROPERTY

PERMISSION ISSUED DENIED BY: [Signature]
ISSUE DATE: 7/1/20

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Site Plan with dimensions and details.
 3. Foundation plan with details.
 4. Floor plan showing rooms, their uses and dimensions.
 5. Cross section of walls
 6. Roof and floor framing plan
 8. Proof of legal access to the property.
 9. Drainage plan.
 10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 12. Proof of legal access to the property.
 13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

- A. Completed application, including:
1. Applicant's name
 2. Applicant/property owners contact information
 3. Physical address of property
 4. Description of work to be done, including dimensions of any construction or repairs
 5. Value of work to be done
 6. Property owner's signature on the application
- B. Include all information required in the checklist at the bottom of the application.
- C. Additional information required:

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061067
[PZHAC CONSENT AGENDA –7/6/20]**

Item:

Case 061067 – 1922 Calle de Cura, submitted by Nia Rucker; a request for a zoning permit to allow window frames on a dwelling at this address to be repaired and repainted the original color, Zoned: Historical Residential (HR)

Description of Work Done:

The applicant will repair and repaint the wooden window frames on the dwelling. The frames will be painted the same color.. No other work will be done at this time and there will be no changes to the dwelling

Consistency with the Code:

Since the proposed inspection and possible repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type:

Account Numbe

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400389](#)
Parcel Number: 4006137320503
Owner: RUCKER NIA
Mail Address: PO BOX 1668
Subdivision:
Property Address: 1922 CALLE DE CURA
Acres: 0



OFFICIAL USE ONLY:

Case # 061067

Fee \$ 0.00

TOWN OF MESILLA

APPLICATION FOR RESIDENTIAL BUILDING PERMIT

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061067 ZONE: HR CODE: MI APPLICATION DATE: 6/24/20

NIA RUCKER
Name of Applicant

575-993-2930
Applicant's Telephone Number

PO BOX 1668
Mailing Address

MESILLA
City

NM
State

88046
Zip Code

Self
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number

Contractor's Tax ID Number

Contractor's License Number

Address of Proposed Work: 1922 CALLE DE CURA

Description of Proposed Work: repair + re-paint window frames + trim. Existing paint is white + new paint will be white.

\$ 50.00
Estimated Cost

Nia Rucker
Signature of Applicant

6/24/2020
Date

With the exception of administrative approvals, all permit applications must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC	<input checked="" type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

CONDITIONS: NO CHANGES TO APPEARANCE OF STYLE OF DWELLING

REVIEW ISSUED BY: [Signature]
PERMIT ISSUED BY: [Signature]

ISSUE DATE: _____
ISSUE DATE: 6/30/20

This application includes:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Foundation Plan with details.
3. Floor Plans showing rooms, their uses and dimensions.
4. Cross Sections of walls.
5. Roof and floor framing plan. (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
6. Drainage plan.
7. Architectural style and color scheme (Historical and commercial zones only).
8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061068
[PZHAC CONSENT AGENDA –7/6/20]**

Item:

Case 061068 – 2231 Calle de Santiago, submitted by Patrick Taylor for MaryHelen Ratje; a request for a zoning permit to allow the replacement of a broken or damaged canales with identical new canales. Zoned: Historical Residential (HR)

Description of Work Done:

The applicant will replace broken and unmatched canales on the dwelling with matching new canales that will have a more uniform and historic appearance than the canales being replaced. No other work will be done at this time and there will be no changes to the dwelling

Consistency with the Code:

Since the proposed inspection and possible repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type:

Account Numbe

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401247](#)

Parcel Number: 4006137201468

Owner: RATJE MARY HELEN & JAMES PAUL

Mail Address: PO BOX 707

Subdivision:

Property Address: 2231 CALLE DE SANTIAGO

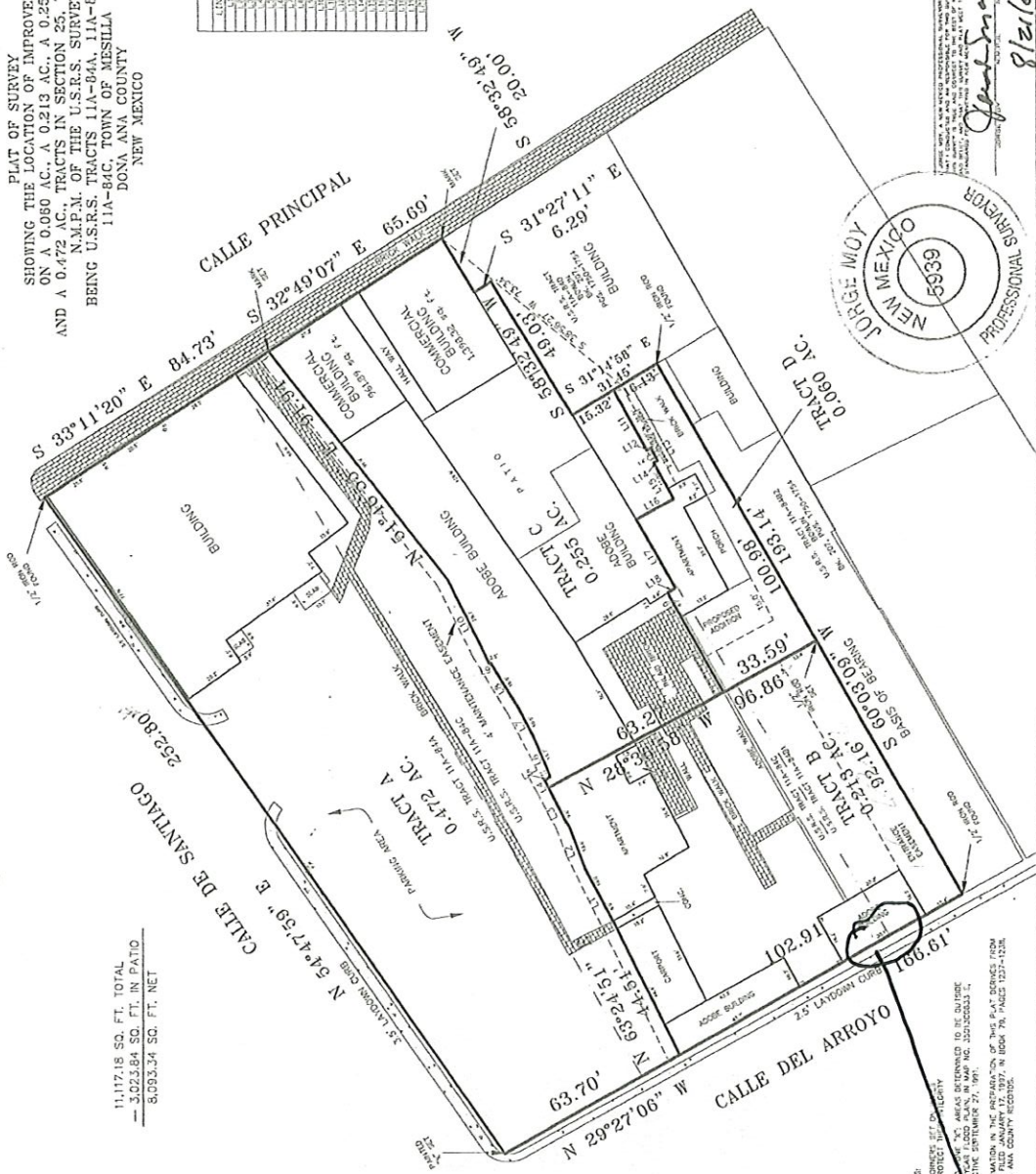
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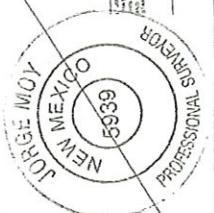
PLAT OF SURVEY
 SHOWING THE LOCATION OF IMPROVEMENTS
 ON A 0.080 AC., A 0.213 AC., A 0.265 AC.,
 AND A 0.472 AC. TRACTS IN SECTION 25, T.23S., R.1E.,
 N.M.P.M. OF THE U.S.R.S. SURVEYS
 BEING U.S.R.S. TRACTS 11A-84A, 11A-84B1 AND
 11A-84C, TOWN OF MESILLA
 DONA ANA COUNTY
 NEW MEXICO

11,117.18 SQ. FT. TOTAL
 — 3,023.84 SQ. FT. IN PATO
 8,093.34 SQ. FT. NET

LINE	LENGTH	BEARING
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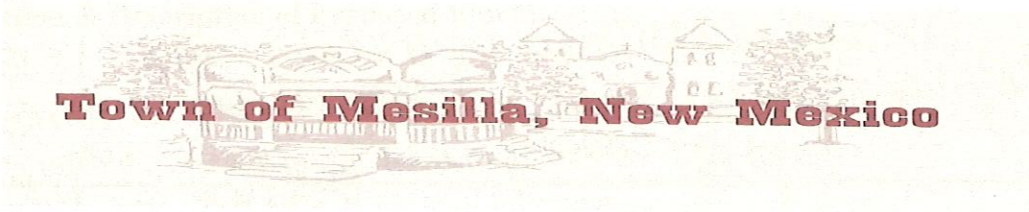
JOY SURVEYING INC
 444 N. BROADWAY BLVD
 SUITE 200
 PHOENIX, ARIZONA 85004
 PHONE: (602) 343-0883
 FAX: (602) 554-3228
 DRAWN BY: JAMES L. JOY
 CHECKED BY: JAMES L. JOY
 DATE: 7/21/02



NOTES:
 NO CORRECTION FOR CURVATURE
 TO PROJECT POINTS TO THE SURFACE
 COMPUTED TO LOCAL MEAN SEA LEVEL
 EFFECTIVE SEPTEMBER 27, 1991.
 INFORMATION IN THE PREPARATION OF THIS PLAT DERIVED FROM
 DONA ANA COUNTY RECORDS.

LOCATION OF CAVES

061068
\$100.00



P.O. BOX 10
MESILLA, NM 88046
PHONE: (505)524-3262 FAX (505)541-6327

Application for Building Permit
Certificate of Occupancy, Use and Historic Appropriateness

Application is hereby for the issuance of a Certificate of Occupancy, Use, and when applicable, a Certificate of Historical Appropriateness.

Application Date: 6/3/2020

PA+TAYLOR
Name of Applicant

575 526 7995
Telephone Number

PO BOX 673
Address

MESILLA, NM 88046
City State Zip Code

Proposed Use or Occupancy: residence Zone: HC

PA+TAYLOR, INC.
Contractor Name

PO BOX 673 MESILLA, NM 88046
Address

575 526 7995
Telephone Number

02 131095 005
Contractor Tax I.D. #

365860
Contractor License #

This application includes:

1. Plot plan with legal description to show existing structures, adjoining, streets, driveway(s), improvements & setbacks.
2. Foundation Plan with details
3. Floor Plans showing rooms, their uses and dimensions
4. Cross Sections of walls
5. Roof and floor framing plan (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
6. Drainage plan
7. Architectural style and color scheme (Historical zones only)
8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from Public Utility providing water service.
9. Recorded proof of ownership with legal description of property (deed or current tax bill)

All applications for electrical, mechanical/plumbing installations are made at the construction industries division

PZHAC NEW BUSINESS

JULY 6, 2020

PZHAC DECISIONS

ZONING PERMITS

PZHAC ACTION FORM
ZONING PERMIT 061069
[PZHAC REVIEW – 7/6/2020]

Items:

Case 061069 – 2330 Calle de Santiago, submitted by Patrick Taylor for the Taylor-Barela Reynolds Mesilla Historic Site; a request for a zoning permit to conduct restoration on the adobe and plaster on the historic dwelling at this address.

Zoned: Historic Commercial (HC)

DESCRIPTION OF REQUEST:

The applicant has been contacted by the State to conduct repairs on the residence that has been donated to the State by the Taylor family as a museum. The scope of work for the Department of Cultural Affairs, New Mexico Historic Sites is attached. (Please refer to this scope of work for a complete description of the work to be done under the applicant's contract with the State.)

The building, which is adobe, is on a property that was at one time part of a larger property owned by Edgar Griggs that contained the Reynolds/Griggs Store on the Plaza (see attached Historical Description). The buildings associated with this property are in the Historic Register (see attached). The Historical Register considers the buildings "significant" in that they are "...architecturally outstanding and important in the history of the community...". This building is one of the properties that is being acquired by the State as a future museum.

Consistency with the Code:

The PZHAC will need to determine that the proposed structure, when finished, will be consistent with the following sections of the Code:

18.06.110 Review of applications within Historical and General Commercial zones – Considerations.

A. All applications for work in the Historical zones and Commercial zone (not subject to administrative approval) shall be reviewed by the planning, zoning and historical appropriateness commission. The commission shall determine whether the request involved will be appropriate for the purposes of this title. If the request shall be determined to be inappropriate, the board shall determine whether, owing to conditions especially affecting the building or structure involved, but not affecting the historical district generally, such application may be approved without substantial detriment to the public welfare and without substantial derogation of the intent and purposes of this title.

B. In reviewing an application, the planning, zoning and historical appropriateness commission shall consider in addition to this chapter:

1. The historical and literary value and significance of the site, building, or structure;
2. The general design, arrangement, texture, material and color of the features, sign or billboard involved;
3. The relation of such factors to similar factors or sites, buildings and structures in the immediate surroundings;
4. The appropriateness of the size and shape of the building or structure in relation to:
 - a. The land area upon which the building or structure is situated;
 - b. The landscaping and planting features proposed by the applicant; and
 - c. The neighboring sites, buildings or structures within the historical district.
5. The commission shall also consider the applicable zoning and other laws of the town.

C. In recommending approval of an application the commission may impose conditions which shall be binding upon the property. Prior to approving an application subject to conditions, the commission may notify the applicant of its proposed action to solicit his opinion. The concurring vote of three members of the board shall be necessary to make a determination in favor of the applicant on any application. [Ord. 2009-05 § 2]

In order to successfully meet the requirements of the contract with the State, the applicant will need to meet the requirements of the State Historic Preservation Office (SHPO) for any work done on the property.

Estimated Cost: @ \$144,302.00

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed consists of conducting repairs on a Historic structure being acquired by the State. .
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested zoning permit to the BOT.
2. Recommend approval of the requested zoning permit with conditions to the BOT.
3. Reject the permit.

PZHAC ACTION:

VIEW OF THE PROPERTY FROM CALLE DE SANTIAGO



Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points | Select Search Type: Account Number | Enter Value:

Maps

Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
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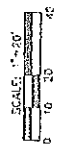
Account Number: [R0401623](#)
Parcel Number: 4006137203434
Owner: STATE OF NEW MEXICO
Mail Address: 725 CAMINO LEJO
Subdivision:
Property Address: 2330 CALLE DE PRINCIPAL
Acres: 0



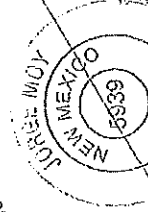
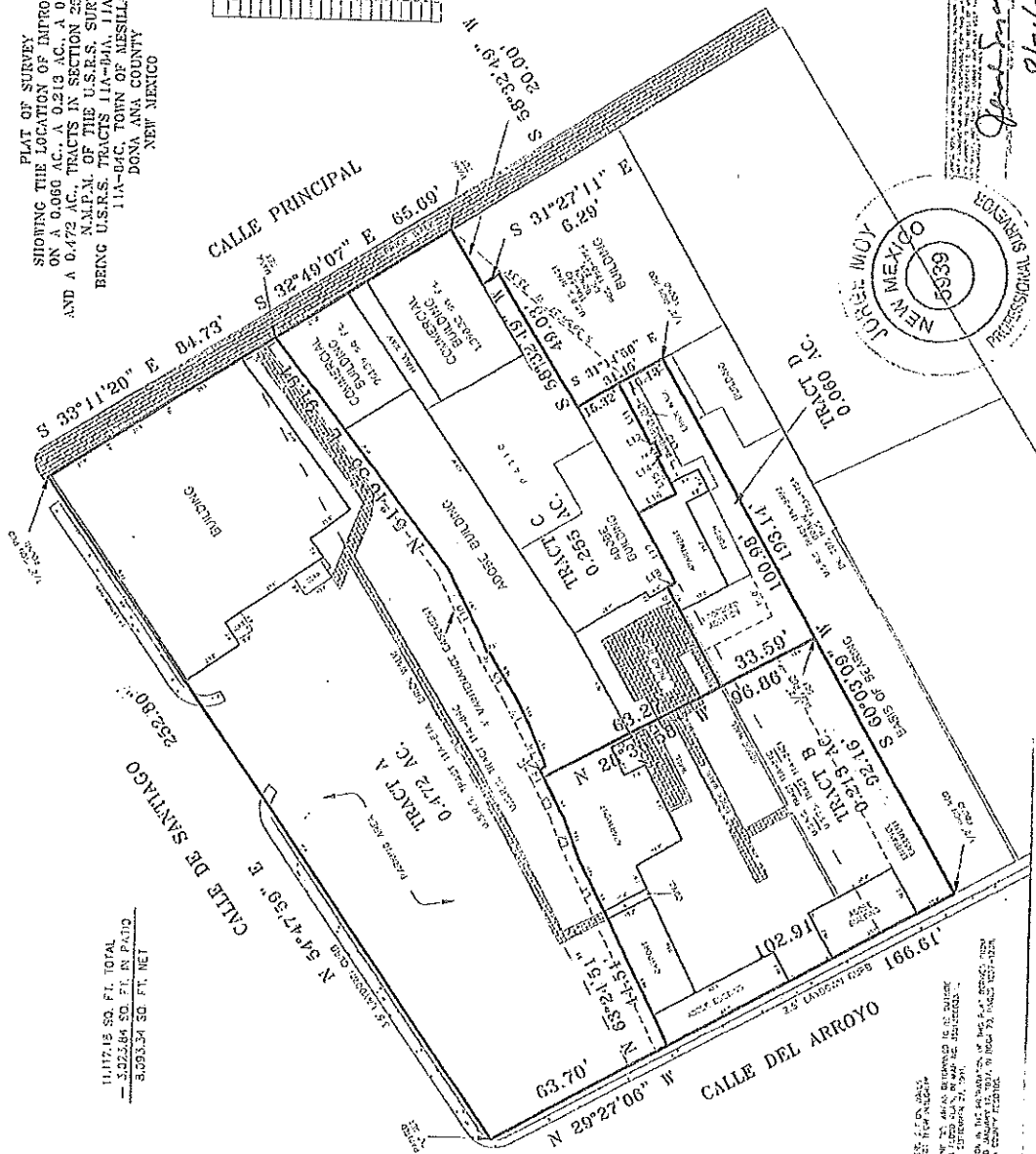
PLAT OF SURVEY
 SHOWING THE LOCATION OF IMPROVEMENTS
 ON A 0.060 AC., A 0.213 AC., A 0.255 AC.,
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 N.M.P.M. OF THE U.S.R.S. SURVEYS
 BEING U.S.R.S. TRACTS 11A-04A, 11A-04B AND
 11A-04C, TOWN OF MESILLA
 DONA ANA COUNTY
 NEW MEXICO

11,117.15 SQ. FT. TOTAL
 — 3,023.84 SQ. FT. IN PATIO
 8,093.31 SQ. FT. NET

LINE	LENGTH	BEARING	AREA
1	199.60	S 33° 11' 20" E	11,117.15
2	166.60	N 29° 27' 06" W	3,023.84
3	102.91	N 63° 21' 51" W	8,093.31
4	63.70	N 54° 47' 59" E	
5	252.80	S 33° 11' 20" E	
6	252.80	N 54° 47' 59" E	
7	199.60	S 33° 11' 20" E	
8	166.60	N 29° 27' 06" W	
9	102.91	N 63° 21' 51" W	
10	63.70	N 54° 47' 59" E	



BY SURVEYING INC.
 111 N. WASHINGTON BLVD.
 ALBUQUERQUE, N.M. 87102
 PHONE (505) 253-0900
 FAX (505) 253-0300
 1988-1989
 DRAWN BY: J. M. GARCIA
 CHECKED BY: J. M. GARCIA
 DATE: 11/21/02



J. M. Garcia
 8/21/02

NOTICE:
 THIS SURVEY WAS MADE IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYING ACT OF 1908, AS AMENDED BY THE SURVEYING ACT OF 1931, AND THE SURVEYING ACT OF 1951, AND IS SUBJECT TO THE PROVISIONS OF THE SURVEYING ACT OF 1908, AS AMENDED BY THE SURVEYING ACT OF 1931, AND THE SURVEYING ACT OF 1951.

EXTERIOR RESTORATION – SCOPE OF WORK (SOW)
For a GENERAL CONTRACTOR
New Mexico Historic Sites, the Taylor-Barela Reynolds Mesilla Historic Site (TBRM)
May 1, 2020

A. PURPOSE OF REQUEST FOR SOW Proposal

The purpose of this SOW is to establish a contract for the procurement of general contracting services for repairs to the Taylor-Barela Reynolds Mesilla Historic Site. Services provided by the general contractor will include expert adobe based plaster restoration work and related site drainage work for protection of the adobe structure. All upgrades to this property under this contract must meet state and federal historic preservation standards.

B. BACKGROUND

Currently, the Taylor-Barela Reynolds Mesilla Historic Site is undergoing preservation, restoration and rehabilitation in a phased manner. New HVAC systems will be installed as a separate phase of work from this exterior oriented plaster restoration and site drainage project. Work under this contract includes:

- Concrete collar removal and lime plaster installation on east section of North Wall
- Mud plaster work at the Back Patio and west section of the North Wall
- Replace gutters and downspouts on the North Wall, and install new gutter and downspouts on the South Wall and install splash blocks at all downspouts
- Replace drainage supports in the Zaguán
- Seal off tops of fireplaces at rooms #18 and #20
- Site drainage work at the north and south

C. SCOPE OF WORK

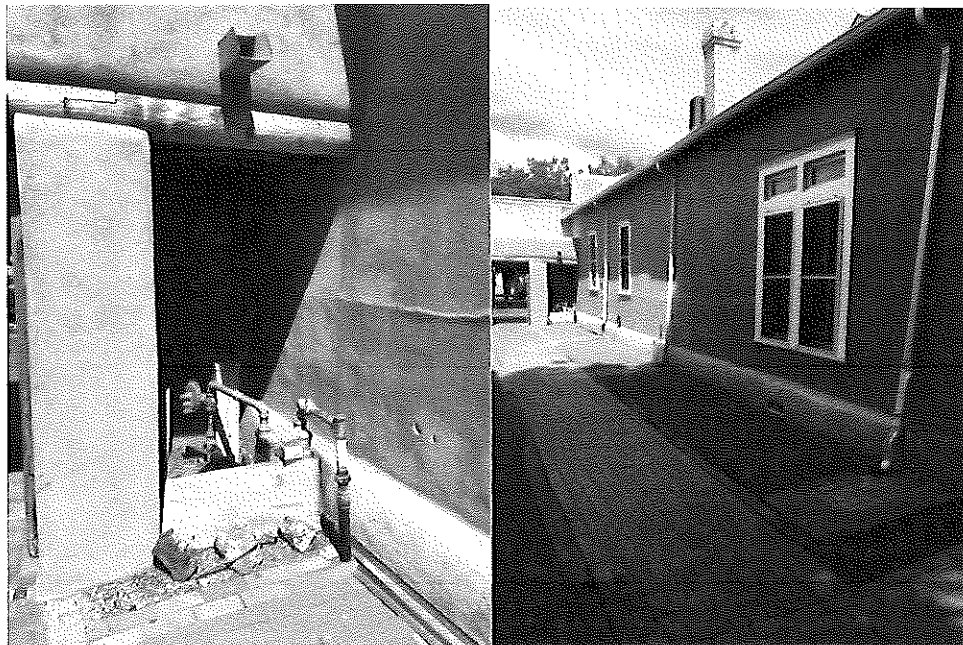
The Department of Cultural Affairs, New Mexico Historic Sites requests submission of a proposal from a qualified general contractor to deliver the following services that will include all contracting, procurement, layout, any required investigations, construction and clean-up. Comprehensive restoration of the exterior Lime and Mud Plaster walls of this property is the focus of the work. Related site drainage work at the north and south will be accomplished, along with installation of new gutters/downspouts at the North and South Walls and other miscellaneous work items.

A site staging and management plan should be submitted by the General Contractor as part of the proposal. The plan will need to address COVID 19 safety protocols relating to workers, DCA staff, the Taylor Family and the public. Due to the COVID situation, only exterior work will be permitted under this contract. Any access to the building interior will need to be approved by Historic Sites in advance of any entry.

Deliverables for the General Contractor will include:

1. Concrete Collar Removal and Lime Plaster Installation on east section of North Wall

- a) Careful removal concrete collar (*contrapared*) that abuts the North Wall of the TBRM property. The concrete collar system shall be removed in small (3 foot or less) sections using non-vibratory equipment.
- b) Carefully remove all existing cement stucco on the TBRM North Wall for the full height of the wall (except where previously replaced with lime plaster).
 - i) Monitor the interior as north wall stabilization is occurring.
 - ii) Inspect existing adobe bricks for damage and cracking and replacement of damaged adobes with new, un-amended adobe bricks set mud mortar (to match existing); adobe depth repair estimate is 3 courses at 4 inch depth.
 - iii) Re-plaster the exposed adobe bricks with a 2 coat lime plaster (using the traditional *rajuelar* rock-anchor method described in Attachment A of this document.)
- c) Accomplish plaster repairs at all plaster areas on the building to prepare for unifying lime wash across all surfaces.
- d) Use a lime wash tinted to match the existing plaster colors (3) on building. Paint the lime plaster section of the north wall with the tinted lime wash so that new repairs and older plasters match. *At least three colors of lime wash will be required with colors to be approved by Historic Sites and HPD.*
- e) Apply painted lime wash at all exterior walls of the building including courtyards. Where lime plaster is, lightly mist plaster before first application. Where cement stucco is retained, brush down cement plaster with scrub brush to remove loose dirt. Two respected sources for tinted lime wash are Portola Paint and Keim, both are permeable tinted paints.



North Wall – concrete contrapared detail on the left; length of system on the right

2. Mud Plastering Work at Several Areas

a) The Back Patio Wall -

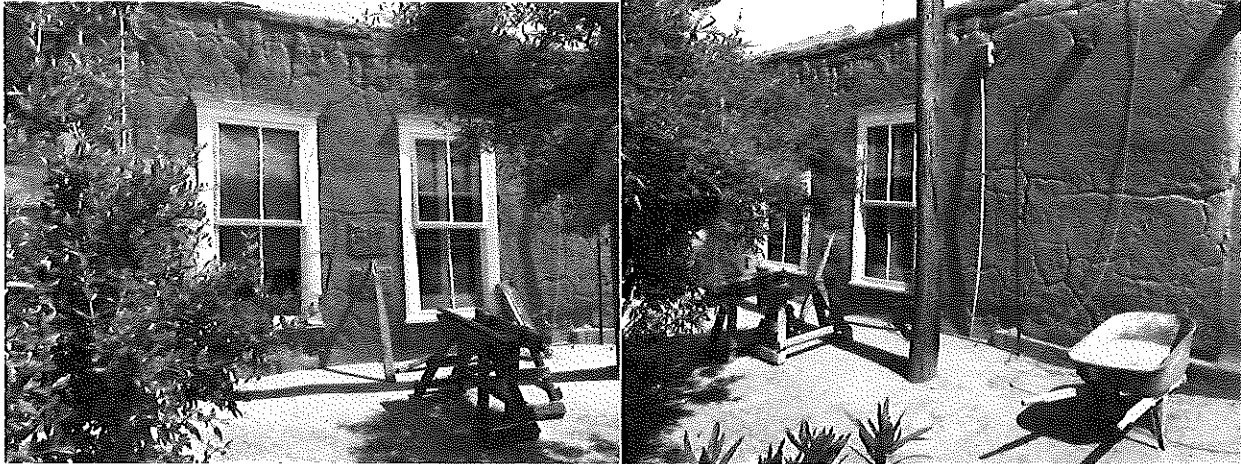
- i) Carefully clean off/remove any loose existing adobe plaster. Inspect adobe bricks and repair any damaged bricks per section 1(b.ii) above.
- ii) Prepare new adobe plaster per the following: Selected adobe fines will have between 18 and 24% clay content with no more than 10% detritus/soil and the remaining as sand. Adobe fines will be screened prior to application in order to remove any aggregate larger than $\frac{1}{4}$ ". If appropriate, the plaster mix can be amended with Chemstar brand S-type bagged lime (at a 5% of total lime-to-soil weight mix) and cut straw.
- iii) All wall surfaces will be lightly swept to remove loose materials. Before the application of each plaster coat, the surface of the adobe walls should be moistened by splashing water from a wet brush or fine mist hose sprayer.
- iv) Walls will be plastered to an average depth of a quarter inch. The first plaster coat, a thin basal thick binder coat, slightly less than $\frac{1}{4}$ inch thick, will then be applied. The basal coat should be scored with diagonal lines to provide an anchor for the subsequent finish coat. The basal coat must dry and adhere before subsequent plaster coats are applied. The final "finish" coat should be thin, and have slightly less clay, than the scratch coat and should be smoothed with a wood float.
- v) Accomplish any required repairs to the parapet.



Back Patio wall

b) Parapet and North Wall Adobe Repairs –

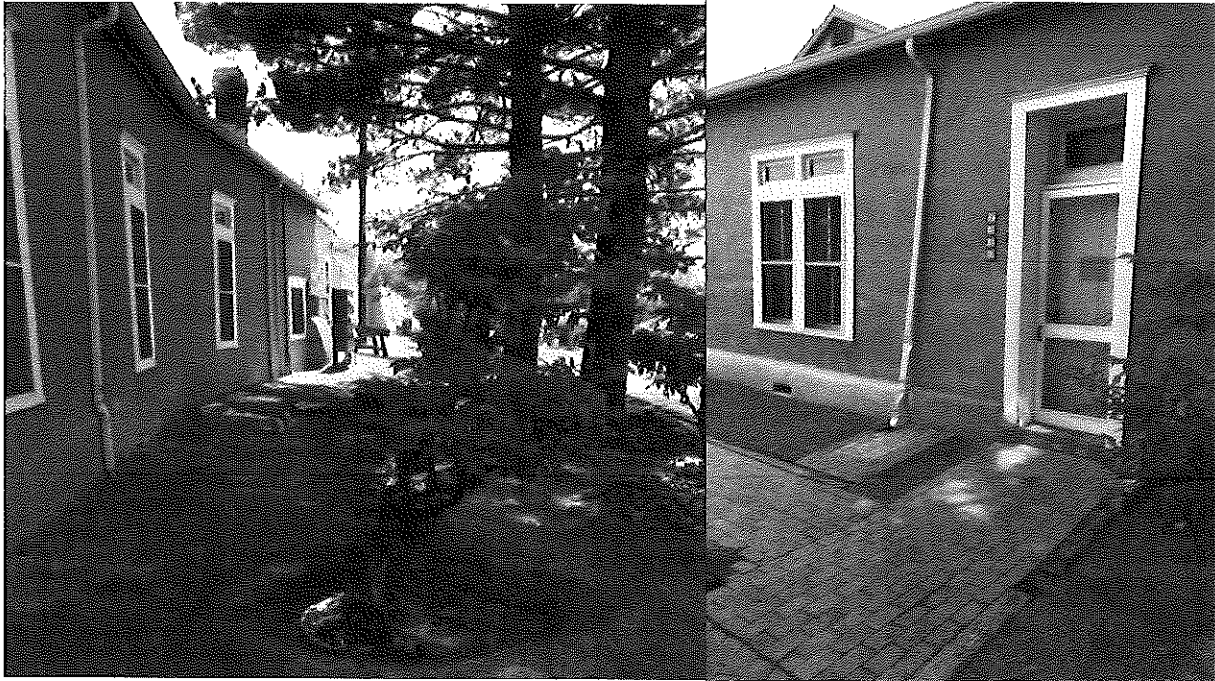
- i) Repair masonry parapet.
- ii) Mud plaster the section on the north wall that has mud plaster with methods described under 2(a) for the back patio wall.



NW section of North Wall with mud plaster

3. Replace Gutters and Downspouts on the North Wall and Install New Gutter and Downspouts on the South Wall, and install splash blocks at all downspouts

- a) Remove existing gutters and downspouts prior to plastering work at the North Wall. There is currently no gutter or downspouts at the South Wall.
- b) Before installation of new gutter, accomplish any required repairs to rafter overhangs for an even gutter installation. Extend or trim rafters to create even condition for installation of new fascia board. Replace any damaged decking on eave overhang with wood to match existing. Paint all new boards and decking.
- c) Install a seamless type half-round gutter.
- d) Install new round downspouts. Create a tight, angled transition from the gutter to the face of wall, with the same transition for all five downspouts on the North Wall; install at least two downspouts at the South Wall with the positions to be approved by Historic Sites and HPD. Anchor the downspouts to the adobe wall at the bottom of the transition and at the bottom of the wall with sheet metal straps that are anchored to the wall with expansion anchors. When there are irregularities in the wall, additional straps may be required to anchor transitions over uneven surfaces.
- e) Install concrete splash blocks at all downspout conditions including the North Wall downspout by the door (image on right below) that lands on brick paving.
- f) Install open clay tile-lined canales recessed into grade from the splash blocks out to at least 4 feet from the building wall.
- g) The gutter and downspouts should be white in color to match the existing. All metal downspout straps and anchors should be painted to match the downspout.



North Wall downspouts

Replace Drainage Supports in the Zaguan

- h) Replace rusted metal supports in the gutter inside the Zaguan with stainless steel supports. Custom measure and fabricate to fit in the gutter in the floor. Use existing rusted out supports as a pattern for the new ones.

4. Seal Off Tops of Fireplaces on Rooms #18 and #20

- a) Seal off the top of the fireplaces in rooms 18 & 20 with galvanized steel caps that have been custom fabricated to seal the existing flue openings. The caps should fit tightly over the flues and extend vertically as required to anchor to brick masonry. The caps should be sloped to repel water and painted out to match existing brick. *The Contractor should provide a detail sketch for this condition for approval by Historic Sites and HPD prior to fabrication.*

5. Site Drainage

- a) **North Side** - at the north side raise the brick sidewalk area 5 inches by the front living room door way. Reset the bricks and slope eastward to the plaza matching existing grade. Reset the bricks and slope westward towards parking area matching existing grade. Use non vibratory compaction in raising the brick level. Raise the area on both sides of the brick walkway to match new existing brick area along with landscaping material.
- b) **South Side** - at the south side pour a concrete runnel running east to west, property corner to property corner, against the existing concrete curb line. Set the runnel to drain rain water east to west with a 2 foot wide butterfly shaped surface, 4 inches thick with 6x6x10x10 remesh wire.

Appendix A:
Application of Lime Plaster with the Stone Anchor Technique

Once the concrete stucco and collar is removed from the exterior of the adobe walls, install a replacement lime plaster. Mix the lime as an "S" type hydrated lime, slaked in water for at least 48 hours. Anchor the first or "leveling" coat of plaster to the adobe walls with a natural system of angular stones inserted into the header and bedding masonry joints of the wall. In order to receive the rock anchors, scrape these masonry joints down to a depth of $\frac{3}{4}$ of an inch below the surface of the adobe bricks, spray them clean with lime water (left over from the slaking process) and leave them open to dry. After the mortar joints dry out:

- Brush the adobe walls clean, re-dampen the walls near joints with lime water, and forcefully throw lime mortar into the opened joints.
- Smooth out the lime mortar by hand with a trowel or with smoothing tool and then insert angular rock anchors into the moist lime mortar in the header and bedding wall joints. Insert several stones in each header joint. Insert a continuous row or ancho stones in every second bedding joint
- Allow lime mortar and anchors to dry before applying the leveling coat of lime plaster. Apply a minimum of two coats of lime plaster, leveling-finishing (or coarse to fine grain), to the adobe walls. Allow each coat to dry fully before applying another coat. Moisten the wall surface before applying a new coat of plaster. A third coat may be applied as a "filler" or leveling coat where necessary. Tint the finish coat of the lime plaster with a lime-wash mineral paint to match the existing color of the structure.

061069
\$ 235.50

Town of Mesilla, New Mexico

P.O. BOX 10
MESILLA, NM 88046
PHONE: (505)524-3262 FAX (505)541-6327

Application for Building Permit
Certificate of Occupancy, Use and Historic Appropriateness
Application is hereby for the issuance of a Certificate of Occupancy, Use, and when applicable, a Certificate of Historical Appropriateness.

Application Date: 6/04/2020
PAT TAYLOR, INC. representing 575-526-7995
BED INDUSTRIES, Bud GAMER 505-218-2437
Name of Applicant Telephone Number
9720 Bell Ave. SE
BED INDUSTRIES Address City Albuquerque State NM Zip Code 87123

Proposed Use or Occupancy: Residence currently Zone: HC
BED INDUSTRIES Contractor Name 9720 Bell Ave. SE Albuquerque, NM Address 87123
505 218 2437 Telephone Number Contractor I.D.# NM GC-71426 Contractor License #

- This application includes:
1. Plot plan with legal description to show existing structures, adjoining, streets, driveway(s), improvements & setbacks.
 2. Foundation Plan with details
 3. Floor Plans showing rooms, their uses and dimensions
 4. Cross Sections of walls
 5. Roof and floor framing plan (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
 6. Drainage plan
 7. Architectural style and color scheme (Historical zones only)
 8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from Public Utility providing water service.
 9. Recorded proof of ownership with legal description of property (deed or current tax bill)

All applications for electrical, mechanical/plumbing installations are made at the construction industries division

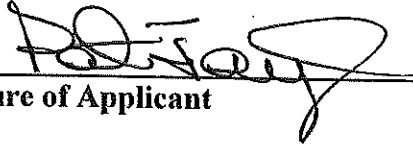
Location & Description of Proposed Work:

F. PAUL TRAYLOR WORK, 2330 CALLE SAN JUAN
WORK CONSISTS OF EXISTING PLASTER DEMO, lime plaster, gutter
system, grade work. PLEASE SEE ATTACHED SCOPE OF WORK

Estimated Cost \$ 144,300.00

Material: _____

Labor: _____



Signature of Applicant

Required Setbacks: Front Rear Side

PZHAC	<u> </u> Administrative Approval	BOT	<u> </u> Approved
	<u> </u> Approved		<u> </u> Disapproved
	<u> </u> Approved with Conditions	Date	<u> </u> Approved w/ Cond.

FEE: 235.50 RECEIPT #: _____ ISSUE DATE: _____

THERE IS A TEN (10) DAY MINIMUM REVIEW PERIOD ON ALL APPLICATIONS (with the exception of administrative approvals)

CASE NO. 061089

Date Received: 6/5/20

PZHAC ACTION FORM
ZONING PERMIT 061070
[PZHAC REVIEW – 7/6/2020]

Items:

Case 061070 – 1985 Calle de Colon, submitted by Sylvia Fierro; a request for a zoning permit to allow the installation of two exterior security doors on a commercial building at this address. Zoned: Historical Commercial (HC)

Description of Request:

The property in question is located immediately adjacent to and behind Palacio's Bar on Avenida de Mesilla. The property consists of a 7749 square foot (0.18 acre) parcel containing a 1378 square foot dwelling (see attached DAC property map). This structure was originally a residence, but underwent a zone change last year to Historical Commercial to allow it to be used as a small office building. Prior to the zone change, the structure was completely renovated by the applicant in accordance with SHPO guidelines for structures in the Historic Register.

The applicant would like to add the security doors in response to a request by the current tenants for security against break-ins through the existing wood exterior doors. Although the current doors meet historic preservation requirements, they are not designed to provide adequate resistance to forced entry. Due to the structure's proximity to the bar and the fact that is unoccupied during the hours of operation of the bar, the applicant and the tenant believe that the additional security to be provided by the proposed doors is needed.

The proposed doors (see attached photo) will actually be strong storm doors, and the original doors will be left in place. The new doors will be installed in front of the existing doors and will offer an added level of resistance to forced entry.

Consistency with the Code:

The PZHAC will need to determine that the proposed structure, when finished, will be consistent with the following sections of the Code:

18.33.080 Historical appropriateness permit.

D. Exemptions. Work in any of the following categories shall be exempt from obtaining a certificate of historical appropriateness permit:

1. Maintenance or repairs which do not involve a change of the existing design, exterior materials or scale or outward appearance of the structure.
2. Work required by a town staff to eliminate an unsafe condition; provided, that any permanent repairs shall meet the criteria of subsection (D)(1) of this section.
3. Installation of storm windows or storm doors, with or without screens, painted or unpainted; provided, however, that no such windows or doors shall have any ornamental feature such as grilles, monograms, etc. This provision shall not be construed to prohibit the installation of plain bars on the inside of such windows or doors for protection of the screens or glass. If a study indicates that storm windows are necessary, the use of interior storm windows is preferred, and interior storm windows are also exempt from obtaining a certificate.

18.06.110 Review of applications within Historical and General Commercial zones – Considerations.

- A. All applications for work in the Historical zones and Commercial zone (not subject to administrative approval) shall be reviewed by the planning, zoning and historical appropriateness commission. The commission shall determine whether the request involved will be appropriate for the purposes of this title. If the request shall be determined to be inappropriate, the board shall determine whether, owing to conditions especially affecting the building or structure involved, but not affecting the historical district generally, such application may be approved without substantial detriment to the public welfare and without substantial derogation of the intent and purposes of this title.
- B. In reviewing an application, the planning, zoning and historical appropriateness commission shall consider in addition to this chapter:
 1. The historical and literary value and significance of the site, building, or structure;
 2. The general design, arrangement, texture, material and color of the features, sign or billboard involved;
 3. The relation of such factors to similar factors or sites, buildings and structures in the immediate surroundings;
 4. The appropriateness of the size and shape of the building or structure in relation to:
 - a. The land area upon which the building or structure is situated;
 - b. The landscaping and planting features proposed by the applicant; and
 - c. The neighboring sites, buildings or structures within the historical district.
 5. The commission shall also consider the applicable zoning and other laws of the town.

C. In recommending approval of an application the commission may impose conditions which shall be binding upon the property. Prior to approving an application subject to conditions, the commission may notify the applicant of its proposed action to solicit his opinion. The concurring vote of three members of the board shall be necessary to make a determination in favor of the applicant on any application. [Ord. 2009-05 § 2]

Additionally, according to Tom Maese, Chief Building Inspector for CID, since this is a commercial structure, the doors will need to have the appropriate exit hardware (panic bar or similar device) to meet the emergency exit requirements of the building code for the current occupancy.

Estimated Cost: @ \$800.00

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed consists of installing security doors on the subject structure.
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested doors to the BOT.
2. Recommend approval of the requested doors with conditions to the BOT.
3. Reject the permit.

PZHAC ACTION:

**PHOTO OF THE PROPERTY FROM AVENIDA DE MESILLA
SHOWING PROXIMITY TO PALACIOS BAR**



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type:

Account Numbe

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400386](#)

Parcel Number: 4006137305491

Owner: FIERRO SYLVIA J

Mail Address: P.O. BOX 1725

Subdivision:

Property Address: 1985 DALLE DE

COLON

Acres: 0



PHOTO FROM CALLE DE SAN ALBINO



PHOTO FROM CALLE DE COLON SHOWING ONE OF THE EXIT DOORS



David Fierro <davidfierro@comcast.net>

6/2/2020 3:19 PM

Security door

To DAVID FIERRO <davidfierro@comcast.net>

Sent from my iPhone



• IMG_0737.jpg (165 KB)

**TOWN OF MESILLA
ZONING APPROVAL**

061070
\$9.90

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

OFFICIAL USE ONLY: Case # 061070 Fee \$ 9.90
88046 (575) 524-3262 ext. 104

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM

CASE NO. 061070 ZONE: H.C. CODE: M1 APPLICATION DATE: 7/1/20

Name of Property Owner Sylvia J. FIERRO Property Owner's Telephone Number 575 642-7964

Property Owner's Mailing Address PO Box 1725 City MESILLA PARK State NM Zip Code 88047
Property Owner's E-mail Address

Contractor's Name & Address (If none, indicate Self)
SELF

Contractor's Telephone Number 575 642 7964 Contractor's Tax ID Number 585 32 4314 Contractor's License Number

Address of Proposed Work: 1985 Calle de Colon

Description of Proposed Work: INSTALL Wrought IRON Security doors, front & back entries

\$ 800.00
Estimated Cost

Sylvia J. Fierro
Signature of Applicant

Date

Signature of property owner: Sylvia J. Fierro

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/>	Administrative Approval	BOT	<input type="checkbox"/>	Approved Date:
	<input type="checkbox"/>	Approved Date:		<input type="checkbox"/>	Disapproved Date:
	<input type="checkbox"/>	Disapproved Date:		<input type="checkbox"/>	Approved with Conditions
	<input type="checkbox"/>	Approved with conditions			

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS:

PZHAC REVIEW / BOT APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. _____ Site Plan with dimensions and details.
3. _____ Foundation plan with details.
4. _____ Floor plan showing rooms, their uses and dimensions.
5. _____ Cross section of walls
6. _____ Roof and floor framing plan
8. _____ Proof of legal access to the property.
9. _____ Drainage plan.
10. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).

PZHAC ACTION FORM
ZONING PERMIT 061071
[PZHAC REVIEW – 7/6/2020]

Items:

Case 061071 – 2305 Calle de Colon, submitted by Jerry Nevarez; a request for a zoning permit to allow the installation of an aluminum gutter on a dwelling at this address to connect two canales to a ponding area. Zoned: Historical Residential (HR)

DESCRIPTION OF REQUEST:

The applicant would like to install an 18 foot long aluminum gutter and downspout on an exterior garage wall along Calle de Colon in order to divert rainwater from two canales above the garage to a small ponding area at the front of the dwelling. The gutter will run along the front of the garage wall below the canales to the downspout which will bring the water to the ponding area at the front of the dwelling. The gutter and the downspout will be painted to match the color of the wall.

ESTIMATED COST: @ \$448.48

Consistency with the Code:

The PZHAC will need to determine that the proposed gutter and downspout will be consistent with the following sections of the Code:

18.06.110 Review of applications within Historical and General Commercial zones – Considerations.

- A. All applications for work in the Historical zones and Commercial zone (not subject to administrative approval) shall be reviewed by the planning, zoning and historical appropriateness commission. The commission shall determine whether the request involved will be appropriate for the purposes of this title. If the request shall be determined to be inappropriate, the board shall determine whether, owing to conditions especially affecting the building or structure involved, but not affecting the historical district generally, such application may be approved without substantial detriment to the public welfare and without substantial derogation of the intent and purposes of this title.
- B. In reviewing an application, the planning, zoning and historical appropriateness commission shall consider in addition to this chapter:
1. The historical and literary value and significance of the site, building, or structure;
 2. The general design, arrangement, texture, material and color of the features, sign or billboard involved;
 3. The relation of such factors to similar factors or sites, buildings and structures in the immediate surroundings;
 4. The appropriateness of the size and shape of the building or structure in relation to:
 - a. The land area upon which the building or structure is situated;
 - b. The landscaping and planting features proposed by the applicant; and
 - c. The neighboring sites, buildings or structures within the historical district.
 5. The commission shall also consider the applicable zoning and other laws of the town.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed consists of installing a gutter and downspout on the subject dwelling.
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested gutter and downspout to the BOT.
2. Recommend approval of the requested gutter and downspout with conditions to the BOT.
3. Reject the permit.

PZHAC ACTION:

PHOTOS OF FRONT OF PROPERTY FROM CALLE DE COLON SHOWING THE CANALES



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type:

Account Numbe

Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400572](#)
Parcel Number: 4006138208035
Owner: NEVAREZ GERARD R
Mail Address: PO BOX 1102
Subdivision:
Property Address: 2305 CALLE DE COLON
Acres: 0





Jerry Nevarez

Signed on: 06/10/2020

Jerry Nevarez

**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061071

Fee \$ 45.00

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061071 ZONE: HR CODE: M1 APPLICATION DATE: 6/10/20

Jerry Nevarez		5756483938	
Name of Property Owner		Property Owner's Telephone Number	
2305 Calle De Colon Mesilla, NM			
Property Owner's Mailing Address	City	State	Zip Code
Mesillaj3@aol.com			
Property Owner's E-mail Address			
Quality Works LLC DBA Quality Gutter 6501 Aldrich Rd Las Cruces, NM			
Contractor's Name & Address (If none, indicate Self)			
5756363382	03-356405-00-1	389021	
Contractor's Telephone Number	Contractor's Tax ID Number	Contractor's License Number	

Address of Proposed Work: 2305 Calle De Colon Mesilla, NM

Description of Proposed Work: Seamless aluminum gutter install connecting 2 canales with downspout to existing ponding area. Gutter porch area with downspout to existing ponding area

\$ 449.48 before tax
 Estimated Cost Signature of Applicant Date 6-10-20

Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZHAC APPROVAL REQUIRED: YES ___ NO BOT APPROVAL REQUIRED: YES ___ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW AND BOT APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 - Site Plan with dimensions and details.
 - Foundation plan with details.
 - Floor plan showing rooms, their uses and dimensions.
 - Cross section of walls
 - Roof and floor framing plan
 - Proof of legal access to the property.
 - Drainage plan.
 - Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
 - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 - Proof of legal access to the property.
 - Other information as necessary or required by the City Code or Community Development Department (See other side.)