



**THE BOARD OF TRUSTEES OF THE TOWN OF MESILLA WILL HOLD A REGULAR MEETING ON MONDAY, JUNE 8, 2020 AT 6:00 P.M. VIA TELECONFERENCE 1-346-248-7799, MEETING ID 959-9129-0622, PASSWORD 724083.**

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL & DETERMINATION OF A QUORUM
3. CHANGES TO THE AGENDA & APPROVAL
4. PUBLIC INPUT – The public is invited to address the Board for up to 3 minutes.

**Public input in writing shall be received at [cvnthias-h@mesillanm.gov](mailto:cvnthias-h@mesillanm.gov) at by 5:00 p.m., the day of the meeting and will be read into the record. You will also be given an opportunity to speak during this time by pressing \*9 while in the teleconference. You will be prompted when to begin speaking.**

**5. \*APPROVAL OF CONSENT AGENDA –**

(The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk \*):

- a) \*BOT Minutes – Minutes of a Regular Meeting on May 26, 2020.
- b) \*PZHAC Case 061021 - 1922 Calle de Cura, submitted by Nia Rucker; a request for a zoning permit to replace windows on a dwelling at this address. **Zoned: Historical Residential (HR).**
- c) \*PZHAC Case 061032 - 2305 Calle de Colon, submitted by Gerard Nevarez, a request for a zoning permit to enclose an existing covered patio and install a new covered patio at the rear of a dwelling at this address. **Zoned: Historic Residential (HR).**
- d) \*PZHAC Case 061034 - 2230 Calle del Sur, submitted by Stephen Cadena; a request for a zoning permit to construct a porch around a dwelling at this address. **Zoned: Historic Residential (HR).**
- e) \*PZHAC Case 061054 – 2581 Calle de Cura, submitted by Gary and Laura Ramsey; a request for a zoning permit to allow renovations to the interior as well as the replacement of windows and repair and repainting of the exterior of a dwelling at this address. **Zoned: Historical Residential (HR)**

**6. FOR RECONSIDERATION:**

- a) **Ordinance 2020-02** – Revising Chapter 18.35 Historic Residential Zone. – *Requested by Trustee Johnson-Burick & Trustee Caro.*

**7. \*STAFF REPORTS:**

Community Development  
Community Programs  
Finance Department  
Fire Department  
Marshal's Department  
Public Works Department

**8. BOARD OF TRUSTEE COMMITTEE REPORTS**

**9. BOARD OF TRUSTEE/STAFF COMMENTS**

**10. ADJOURNMENT**

**NOTICE:**

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least one week prior to the meeting. The Mayor and Trustees request that all cell phones be turned off or set to vibrate. Members of the audience are requested to step outside the Board Room to respond to or to conduct a phone conversation. A copy of the agenda packet can be found online at [www.mesillanm.gov](http://www.mesillanm.gov).

Posted 6/05/2020 at the following locations: Town Clerk's Office 2231 Avenida de Mesilla, Public Safety Building 2670 Calle de Parian, Mesilla Community Center 2251 Calle de Santiago, Shorty's Food Mart 2290 Avenida de Mesilla, Ristramn Chile Co., 2531 Avenida de Mesilla and the U.S. Post Office 2253 Calle de Parian.





**BOARD OF TRUSTEES  
TOWN OF MESILLA  
REGULAR MEETING  
TUESDAY, MAY 26, 2020**

**6:00 P.M.**

**VIA TELECONFERENCE 1-346-248-7799**

**TRUSTEES:** Nora L. Barraza, Mayor  
Carlos Arzabal, Mayor Pro Tem  
Jesus Caro, Trustee  
Veronica Garcia, Trustee  
Stephanie Johnson-Burick, Trustee

**STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
Kevin Hoban, Fire Chief  
Eddie Lerma, Marshal  
Rod McGillivray, Public Works Director  
Dorothy Sellers, Special Events Coordinator  
Larry Shannon, Community Development

**1. PLEDGE OF ALLEGIANCE**

Mayor Barraza led the Pledge of Allegiance.

**2. ROLL CALL & DETERMINATION OF A QUORUM**

**Roll Call.**

**Present:** Mayor Barraza, Mayor Pro Tem Arzabal, Trustee Caro, Trustee Garcia, Trustee Johnson-Burick.

**3. CHANGES TO THE AGENDA & APPROVAL**

**Motion: To approve agenda, Moved by Trustee Garcia, Seconded by Trustee Caro.**

**Roll Call Vote:** Motion passed (summary: Yes =4).

Mayor Pro Tem Arzabal Yes  
Trustee Caro Yes  
Trustee Garcia Yes  
Trustee Johnson-Burick Yes

1           **4. PUBLIC INPUT** – The public is invited to address the Board for up to 3 minutes.

2           **Public input in writing shall be received at [cvnthias-h@mesillanm.gov](mailto:cvnthias-h@mesillanm.gov) at by 5:00**  
3           **p.m., the day of the meeting and will be read into the record. You will also be given**  
4           **an opportunity to speak during this time by pressing \*9 while in the teleconference.**  
5           **You will be prompted when to begin speaking.**  
6

7 Ms. Stoechner-Hernandez read public input submitted; see attached.  
8

9  
10           **5. \*APPROVAL OF CONSENT AGENDA –**

11           (The Board will be asked to approve by one motion the following items of recurring or routine business. The  
12           Consent Agenda is marked with an asterisk \*):

13 Mayor Barraza removed Case 061033 and 061047 from consent agenda.  
14

15 **Motion: To approve consent agenda as amended, Moved by Mayor Pro Tem Arzabal, Seconded by**  
16 **Trustee Garcia.**

17  
18 **Roll Call Vote:** Motion passed (summary: Yes =4).

19 Mayor Pro Tem Arzabal   Yes

20 Trustee Caro           Yes

21 Trustee Garcia        Yes

22 Trustee Johnson-Burick   Yes  
23

24           a) **\*BOT Minutes** – Minutes of a Work Session & Regular Meeting on May 11, 2020.  
25           *Approved by consent agenda*

26           b) **\*PZHAC Case 061026** – 2149 Calle de Los Huertos, submitted by Martin Serna for  
27           Gabriel Quintana; request for a zoning permit to allow the construction of stucco wall  
28           around a courtyard at this address. **Zoned: Historical Residential (HR).** *Approved by*  
29           *consent agenda.*

30           c) **\*PZHAC Case 061033 w/Condition of submittal of right-of-entry agreement** – 2230  
31           Calle del Sur, submitted by Stephen Cadena; a request to for a zoning permit to construct a  
32           rock wall and a stucco wall on a property at this address. **Zoned: Historic Residential**  
33           **(HR).**

34 **Motion: To approve PZHAC Case 061033 w/Condition of submittal of right-of-entry agreement –**  
35 **2230 Calle de Sur, submitted by Stephen Cadena; a request for a zoning permit to construct a rock**  
36 **wall and a stucco wall on a property at this address. Zoned: Historic Residential (HR), Moved by**  
37 **Mayor Pro Tem Arzabal, Seconded by Trustee Garcia.**  
38

39 Mayor Barraza asked if the color of the stucco was discussed; permit does not indicate the color.  
40

41 Mr. Shannon responded it was discussed; will match the color of the house. Approval of the gate was  
42 postponed.  
43

44 Mayor Barraza asked if the stucco wall will be on 1 or 2 properties.  
45

46 Mr. Shannon responded it is on the east side of the applicant's property; Referred to the site plan.  
47

48 Mayor Barraza stated the stucco wall runs north to south; rock wall runs southwest to northeast. She  
49 asked if the properties are 1 or 2 addresses and if the application is for 2230 Calle de Sur will it create a  
50 problem.  
51

52 Mr. Shannon responded there are 2 addresses, but the application is for 2230 Calle de Sur. The property  
53 landowner to the south has submitted a letter of agreement granting permission for the wall.  
54

1 Trustee Johnson-Burick asked if the wall is not going across both properties why is permission from the  
2 other property owner being requested.

3  
4 Mr. Shannon responded the wall is on the property line which requires a letter of agreement.

5  
6 Trustee Johnson-Burick asked if there is anything in writing referencing the color of the wall.

7  
8 Mr. Shannon responded the color was discussed at the Planning and Zoning Meeting.

9  
10 Trustee Johnson-Burick stated she is not comfortable approving something that is not in writing show  
11 support of the ordinances.

12  
13 Mr. Shannon stated the board can place a condition on the case.

14  
15 **Amended Motion: To approve PZHAC Case 061033 w/condition of submittal of right-of-entry**  
16 **agreement – 2230 Calle del Sur, submitted by Stephen Cadena; a request for a zoning permit to**  
17 **construct a rock wall and a stucco wall on a property at this address./ Zoned: Historic Residential**  
18 **(HR); with condition that color of stucco wall be submitted in writing, Moved by Mayor Pro Tem**  
19 **Arzabal, Seconded by Trustee Johnson-Burick.**

20  
21 **Amended Roll Call Vote:** Motion passed (summary: Yes =4).

22 Mayor Pro Tem Arzabal Yes

23 Trustee Caro Yes

24 Trustee Garcia Yes

25 Trustee Johnson-Burick Yes

26  
27 **Original Motion Roll Call Vote:** Motion passed (summary: Yes =4).

28 Mayor Pro Tem Arzabal Yes

29 Trustee Caro Yes

30 Trustee Garcia Yes

31 Trustee Johnson-Burick Yes

32  
33 d) **\*PZHAC Case 061044 w/Condition of submittal of right-of-entry agreement – 2545**  
34 **Calle Santa Ana, submitted by Oscar Fritze; a request for a zoning permit to install a fence**  
35 **along the west edge of a pecan grove at this address. Zoned: Historical Residential (HR).**  
36 **Approved by consent agenda**

37  
38 e) **\*PZHAC Case 061047 w/Condition submittal of right-of-entry agreement for all sides**  
39 **and only approving the 6 ft wall in the back until documentation is given for clear-**  
40 **sight-triangle on the walls for the sides of the property. – Calle Tercera; submitted by**  
41 **Frankie Torres, a request for a zoning permit to allow a rock wall to be constructed on the**  
42 **property lines of a residential property at this address. Zoned: Historical Residential (HR).**

43  
44 **Motion: To approve PZHAC Case 061047 w/Condition submittal of right-of-entry agreement for**  
45 **all sides and only approving the 6 ft. wall in the back until documentation is given for clear-sight-**  
46 **triangle on the walls for the sides of the property – Calle Tercera; submitted by Frankie Torres, a**  
47 **request for a zoning permit to allow a rock wall to be constructed on the property lines of a**  
48 **residential property at this address. Zoned: Historical Residential (HR), Moved by Mayor Pro**  
49 **Tem Arzabal, Seconded by Trustee Garcia.**

50  
51 Mayor Barraza asked for clarification on the discussion that took place.

52  
53 Mr. Shannon responded the resident began work prior to getting a permit. He directed the applicant to get

1 a right-of-entry agreement from the adjacent property owner for the back wall. The front wall is 4 ft.  
2 high; with 2 openings (only 1 will be used as a driveway). The applicant will provide a site plan diagram  
3 with the clear-sight-triangle. The wall at the clear-sight-triangle can only be 3 ft. in height as per  
4 ordinance. The applicant will come back to Planning and Zoning with the requested information for the  
5 front wall prior to approval.

6  
7 Mayor Barraza asked if the board is only approving the back wall at this time.

8  
9 Mr. Shannon responded yes.

10  
11 Mr. Shannon responded documentation for the right-of-entry is for the back-wall driveway which is being  
12 considered tonight. The case can be approved with the conditions; a permit will not be issued until the  
13 condition is met.

14  
15 Mayor Barraza clarified the front wall which faces Calle Tercera is going back to the Planning and  
16 Zoning once the required documentation is presented for approval and then will come to the board.  
17 Tonight, the board will be approving the 6 ft. back wall with condition. Asked if the applicant was being  
18 fined for beginning work prior to getting a permit.

19  
20 Mr. Shannon responded the applicant will be double fined.

21  
22 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

23 Mayor Pro Tem Arzabal Yes

24 Trustee Caro Yes

25 Trustee Garcia Yes

26 Trustee Johnson-Burick Yes

27  
28 f) **\*For Approval:** the hiring of three (3) temporary employees for the Summer Recreation  
29 program. *Approved by consent agenda*

30  
31  
32 **6. \*OLD BUSINESS:**

33 a) **\* BOT Minutes** – Minutes of a Regular Meeting on April 27, 2020. *Approved by consent agenda*

34  
35  
36  
37  
38 **7. PUBLIC HEARINGS:**

39 Ms. Stohner-Hernandez reviewed the Public Hearing cases.

40 **Motion: To close regular meeting and open Public Hearing on Planning and Zoning Case 061021-**  
41 **1922 Calle de Cura, submitted by Nia Rucker; a request for a zoning permit to replace windows on**  
42 **a dwelling at this address. Zoned: Historical residential (HR) and A LIQUOR LICENSE -**  
43 **Application 1156030 for Creative Spirits Distillery LLC aka Dry Point Distillers for a winegrower**  
44 **liquor license, with on premises consumption and package sales, Moved by Trustee Johnson-**  
45 **Burick, Seconded by Trustee Garcia.**

46  
47 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

48 Mayor Pro Tem Arzabal Yes

49 Trustee Caro Yes

50 Trustee Garcia Yes

51 Trustee Johnson-Burick Yes

52  
53 **Closed regular meeting and opened Public Hearing at 6:34 p.m.**

- 1  
2 a) **AN APPEAL FROM A PLANNING & ZONING DECISION**: on Case 061021- 1922  
3 Calle de Cura, submitted by Nia Rucker; a request for a zoning permit to replace windows  
4 on a dwelling at this address. **Zoned: Historical Residential (HR).**  
5

6 Mr. Shannon gave a summary of case 061021.  
7

8 Ms. Rucker stated she is requesting that she be allowed to use windows where the panes are framed with  
9 aluminum. The window frames will remain wood and will not affect the architecture of the house. She is  
10 requesting that the Planning and Zoning decision be overturned.  
11

12 Ms. Amanda stated the frames would remain intact; the frame holding the panes would be different.  
13

14 Mayor Barraza asked for clarification on what the Planning and Zoning wanted to see.  
15

16 Mr. Shannon responded the Planning and Zoning wants to see less aluminum and more wood.  
17

18 Mayor Barraza stated they want the windowpanes to have wood frames.  
19

20 Ms. Amanda responded the frames will remain intact.  
21

22 Mayor Pro Tem Arzabal referred to the Action Form which is different from what is being said tonight.  
23

24 Mr. Shannon stated the Planning and Zoning spoke about rebuilding the entire window so that it would be  
25 wood. Windows with aluminum or vinyl have been allowed in the surrounding area.  
26

27 Mayor Barraza asked if the building is a contributing dwelling per New Mexico Historic Inventory.  
28

29 Mr. Shannon responded yes.  
30

31 Mayor Barraza understands the Planning and Zoning wants to continue the use of wood frame since the  
32 building is a contributing dwelling in the Historic Residential area.  
33

34 Trustee Johnson-Burick stated she has the understanding that other homes have been allowed to use  
35 aluminum.  
36

37 Mayor Barraza stated we need to look at what is before us and not look at the past.  
38

39 Trustee Johnson-Burick stated she is concerned with the hardship it would present to the homeowner.  
40

41 Ms. Amanda stated Ms. Rucker has paid for the windows that have been here since November. These  
42 windows are energy efficient and healthier.  
43

44 Mayor Barraza asked if the wood frame provide the same coverage as the aluminum or vinyl.  
45

46 Ms. Amanda responded the vinyl would be better.  
47

48 Mayor Barraza stated the New Mexico Historical Preservation Office (SHPO) demanded the town keep  
49 the wooden frames during the renovation of the Community Center and the town was able to support that.  
50 She understands that the Planning and Zoning is trying to preserve historical buildings.  
51

52 Ms. Amanda stated they can keep the wood frames and work around it.  
53

1 Ms. Rucker stated the architecture is not going to change; only the part that holds the glass.

2  
3 Mayor Pro Tem Arzabal asked if this is the same information that was provided to the Planning and  
4 Zoning. He believes the information is conflicting.

5  
6 Ms. Shannon responded the information is in the board's packets.

7  
8 Ms. Amanda responded this is different information. They did not know the window frame issue would  
9 come up and there was new management at Window World.

10  
11 Mayor Barraza asked if the windows purchased before going to Planning and Zoning.

12  
13 Ms. Rucker responded yes; she did not think it out clearly.

14  
15 Mayor Pro Tem Arzabal recommended the case go back to Planning and Zoning so they can see the new  
16 information that is being presented to the board.

17  
18 Ms. Stoechner-Hernandez responded the Planning and Zoning's decision was based on the information that  
19 was not provided to them. It is up to the board to send it back or reverse the commission's decision.

20  
21 Trustee Johnson-Burick agreed it should go back to the Planning Zoning.

22  
23 Ms. Micaela Cadena spoke during the public hearing and agreed the case should be sent back to the  
24 Planning and Zoning to review the information that is being presented to the board. The board should not  
25 be picking and choosing who they decide to allow to move forward on projects, which sets precedence.  
26 Recommends reviewing the definition of wood frame. It is obvious the applicant has intent of respecting  
27 the integrity of the home she purchased.

- 28  
29 b) **A LIQUOR LICENSE** - Application 1156030 for Creative Spirits Distillery LLC aka Dry  
30 Point Distillers for a winegrower liquor license, with on premises consumption and package  
31 sales.

32  
33 Mr. Shaefer stated they applied for a Wine Growers License which will allow them to produce wine and  
34 serve on site as well as package sales.

35  
36 **Motion: To close Public Hearing and open regular meeting, Moved by Mayor Pro Tem Arzabal,**  
37 **Seconded by Trustee Garcia.**

38  
39 **Roll Call Vote:** Motion passed (summary: Yes =4).

40 Mayor Pro Tem Arzabal Yes

41 Trustee Caro Yes

42 Trustee Garcia Yes

43 Trustee Johnson-Burick Yes

44  
45 **Closed Public Hearing and Opened Regular Meeting at 7:01 p.m.**

46  
47  
48 **8. NEW BUSINESS:**

- 49 a) **For Consideration:** an appeal of the PZHAC's decision on Case 061021- 1922 Calle de  
50 Cura, submitted by Nia Rucker; a request for a zoning permit to replace windows on a  
51 dwelling at this address. **Zoned: Historical Residential (HR).**

52 **Motion: To approve sending Case 061021-1922 Calle de Cura, submitted by Nia Rucker; a request**  
53 **for a zoning permit to replace windows on a dwelling at this address. Zoned: Historical residential**

1 **(HR) back to Planning and Zoning Commission for further review of current information, Moved**  
2 **by Mayor Pro Tem Arzabal, Seconded by Trustee Johnson-Burick.**

3  
4 Trustee Johnson-Burick stated the Planning and Zoning needs to have the same information as presented  
5 to the Board of Trustees for consistency.

6  
7 **Roll Call Vote:** Motion passed (summary: Yes =4).

8 Mayor Pro Tem Arzabal Yes

9 Trustee Caro Yes

10 Trustee Garcia Yes

11 Trustee Johnson-Burick Yes

12  
13 **b) For consideration:** Application 1156030 for Creative Spirits Distillery LLC aka Dry Point  
14 Distillers for a winegrower liquor license, with on premises consumption and package sales.  
15 – *Cynthia Stoechner-Hernandez, Clerk/Treasurer.*

16 Ms. Stoechner-Hernandez stated this is a change to the liquor license; there are no concerns.

17  
18 **Motion: To approve Application 1156030 For Creative Spirits Distillery, LLC aka Dry Point**  
19 **Distillers for a winegrower liquor license, with on premises consumption and package sales, Moved**  
20 **by Mayor Pro Tem Arzabal, Seconded by Trustee Garcia.**

21  
22 Mayor Barraza had concerns with the amount of parking at this location.

23  
24 **Roll Call Vote:** Motion passed (summary: Yes =4).

25 Mayor Pro Tem Arzabal Yes

26 Trustee Caro Yes

27 Trustee Garcia Yes

28 Trustee Johnson-Burick Yes

29  
30 **c) For consideration:** FY 2020-2021 Preliminary Budget for the Town of Mesilla. – *Cynthia*  
31 *Stoechner-Hernandez, Clerk/Treasurer.*

32 Ms. Stoechner-Hernandez reviewed the FY 2020.2021 Preliminary Budget for the Town of Mesilla.

33  
34 Mayor Pro Tem Arzabal stated the budget is the same as FY 2019.2020. The board received an email  
35 requesting a 5% increase for the Court Clerk. Even though the town is not in charge of the court he does  
36 not feel it is appropriate currently for increases or moving monies around.

37  
38 Trustee Garcia stated she does not see Capital Outlay monies for the Marshal's Department in the budget.  
39 Were those monies spent?

40  
41 Mayor Barraza responded money approved at this year's legislative session will not become available  
42 until July 1<sup>st</sup>.

43  
44 Mayor Barraza responded there will be a Special Legislative Session in June to discuss the money  
45 situation. They are looking at pulling back Capital Outlay funding for projects that were approved during  
46 the last legislative session. Mesilla's Capital Outlay Projects were the Marshal's vehicles and the booster  
47 pump at Raasaf Hills.

1 Mayor Pro Tem Arzabal stated we need to be careful moving forward.

2

3 Mayor Barraza stated is very conservative with the budget. She does not want to have to cut the budget  
4 and/or staff in mid-year. The budget was not increased; monies were taken from other funding items to  
5 meet the health increases. Operating expenses has not been increased in years. Things were going well  
6 for the town before the pandemic. The GRT that will come in for the last two months will be almost  
7 nothing; we may have to tap into our reserves. She cannot see where we can get funding to cover the  
8 Judge's request for an increase.

9

10 Mayor Pro Tem Arzabal stated a 5% increase is the highest request ever since he has been on the board.

11

12 Trustee Garcia asked when we will get a final budget.

13

14 Ms. Stoechner-Hernandez responded Preliminary Budget is due to the State by June 1<sup>st</sup>; Final Budget is  
15 due by July 31<sup>st</sup>.

16

17 Mayor Barraza stated we send the Preliminary Budget for review and approval. If changes need to be  
18 made Ms. Stoechner-Hernandez will be contacted prior to submitting the final budget. Ms. Stoechner-  
19 Hernandez will present the final budget to the board with any recommendations brought forth by DFA.

20

21 Trustee Garcia stated an increase would need to be given to all employees and not just the court clerk.

22

23 Trustee Johnson-Burick stated the judge is free to work out his budget and do what he sees fit. We should  
24 not increase the court's budget when we cannot take care of our employees.

25

26 Mayor Barraza responded that is correct. To ask for increase in the budget to meet the 5% increase  
27 cannot be done; none of the other departments are getting a budget increase.

28

29 Trustee Caro stated eliminating the take-home car policy for the Marshal's Department can be looked at  
30 as a way of saving money.

31

32 Mayor Barraza responded it is going to take a while for things to get back to some normalcy.

33

34 Trustee Garcia asked if the judge knows how the budget works.

35

36 Ms. Stoechner-Hernandez responded she reached out to him and told Ms. Carbajal for him to come speak  
37 to her with any questions and he has not reached out.

38

39 **Motion: To approve FY 2020-21 Preliminary Budget for the Town of Mesilla, Moved by Mayor Pro**  
40 **Tem Arzabal, Seconded by Trustee Garcia.**

41

42 **Roll Call Vote:** Motion passed (summary: Yes =4).

43 Mayor Pro Tem Arzabal Yes

44 Trustee Caro Yes

45 Trustee Garcia Yes



1 Trustee Johnson-Burick Yes  
2

- 3 d) **Resolution 2020-10:** amending the Planning, Zoning and Historical Appropriateness  
4 Commission meeting time to 2:30 p.m. on the 1<sup>st</sup> and 3<sup>rd</sup> Monday's of each month. – *Nora*  
5 *L. Barraza, Mayor.*

6 **Motion: To approve Resolution 2020-10: amending the Planning, Zoning and Historical**  
7 **Appropriateness Commission meeting time to 2:30 pm on the 1<sup>st</sup> and 3<sup>rd</sup> Monday's of each month,**  
8 **Moved by Mayor Pro Tem Arzabal, Seconded by Trustee Garcia.**

9  
10 Mr. Shannon stated the Planning and Zoning Commission would like this change to be temporary,  
11 duration of the pandemic. It can then revert to the original scheduled time after.

12  
13 Ms. Stoechner-Hernandez responded resolutions can be repealed at any time or changed at the Board's  
14 pleasure.

15  
16 **Roll Call Vote:** Motion passed (summary: Yes =4).

17 Mayor Pro Tem Arzabal Yes

18 Trustee Caro Yes

19 Trustee Garcia Yes

20 Trustee Johnson-Burick Yes  
21  
22

## 23 9. BOARD OF TRUSTEE COMMITTEE REPORTS

24 Trustee Garcia - MPO meeting on June 10th.

25  
26 Mayor Pro Tem Arzabal – CFO meeting will be held by June 30<sup>th</sup> to close out fiscal year via Zoom.

27  
28 Trustee Johnson-Burick – MPO meeting June 10<sup>th</sup> pending restrictions

29  
30 Mayor Barraza – SRTD (teleconference); MAC updates (weekly); NMML Mayor's updates (weekly); as  
31 well as other weekly updates with other entities.  
32

## 33 10. BOARD OF TRUSTEE/STAFF COMMENTS

34 Trustee Garcia asked what is frozen with regards to Capital Outlay.

35  
36 Mayor Barraza responded any project that has not been expended or obligated is frozen. The plaza  
37 lighting and a portion of the Marshal's equipment will be affected.

38  
39 Mayor Pro Tem Arzabal reiterated as a finance board we need to make sure we are doing the right thing  
40 for our town. He was on a conference call with other entities regarding safety precautions.

41  
42 Trustee Johnson-Burick stated the June 1<sup>st</sup> target date to reopen is dictated by the Governor and the state;  
43 she understands why the need to reopen but feels it is unrealistic. Restaurants will be allowed to open at  
44 25% patio dining.

45  
46 Mayor Pro Tem Arzabal stated there have been spikes in the Sunland Park area; recommendation has  
47 been to not go to El Paso.  
48

49 Mayor Barraza stated many of the new case numbers in are from the southern part and Chaparral of Dona  
50 Ana County. We are doing the best we can promoting public safety. Ms. Sellers is doing a good job in  
51 keeping the town updated. She is seeing what the county is doing with regards to facemask requirements

1 to see what direction we want to take. There are more and more Texas plates being seen in Mesilla. Our  
2 Public Safety personnel is doing a great job enforcing our regulations; town parks are closed. We did the  
3 best we could while putting together the budget. We did meet our GRT projections for this fiscal year  
4 with the last GRT distribution. The moratorium is no longer in place. Town Hall is still closed to the  
5 public, but appointments can be made by calling the departments. The Marshal's Department has a  
6 vehicle in the shop. She asked Marshal Lerma for the status on the new vehicles.  
7

8 Marshal Lerma responded the vehicles are on hold as the manufacture is closed due to COVID19.  
9

10 Mayor Barraza stated she is in contact with the state regarding police vehicles which are part of the 2020  
11 Capital Outlay money. The Summer Recreation Program start date has not been decided on. Staff ratio  
12 will be on 1 to 5 students. El Paso Electric has given us a \$4,500 sponsorship for the Summer Recreation  
13 Program. She asked everyone to continue to be safe. We will look at a meeting at the Community Center  
14 as to include the public.  
15

16 **11. ADJOURNMENT**

**The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-4)**

**MEETING ADJOURNED AT 7:46 P.M.**

**APPROVED THIS 8TH DAY OF JUNE, 2020.**

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Nora L. Barraza  
Mayor

**ATTEST:**

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Cynthia Stoechner-Hernandez  
Town Clerk/Treasurer

COMMENTS RECEIVED FOR 5/26/2020 BOT MEETING:

Susan Krueger: thoughts regarding the proposed ordinance to revise 18.35, the Historic Residential Zone.

Being a resident who is interested in what the Board of Trustees is proposing for Mesilla, I track and attend Town meetings regularly and often provide comments, some factual and some opinion. With regard to Chapter 18.35, each meeting was posted as required by ordinance, and if the Board needed a legal interpretation, it consulted with the Town's attorney. It is probable that elimination of development rights was not discussed because the proposed ordinance does not do that. While some may believe their property values will go down if such an ordinance is passed, others believe without such an ordinance their property values will go down and a group of such minded residents came and addressed the Board.

To me, the research and work that went into this proposal was a Town effort, directed by the Mayor at each meeting as is her responsibility, but not manipulated by her. Even though, my suggestions were not incorporated into the several drafts, I was impressed by the Board's concern with maintaining the historical character of the Town, because once it's gone, it's gone.

**BOT ACTION FORM**  
**ZONING PERMIT 061021**  
**[PZHAC REVIEW – 6/1/20]**

**Items:**

**Case 061021:** 1922 Calle de Cura, submitted by Nia Rucker; a request for a zoning permit to replace windows on a dwelling at this address. Zoned: Historical Residential (HR)

This case was originally heard by the PZHAC on March 2, 2020. At that time, the applicant applied to the PZHAC for a zoning permit to allow the replacement of windows on a small dwelling at 1922 Calle de Cura in the Historic Residential zoning district. The windows to be replaced consisted of double-hung single pane glass in wood frames that were in badly deteriorated condition. The replacement windows were to be double-hung two pane windows in aluminum frames that would have the same appearance and size as the original windows. There were a total of six windows to be replaced.

The following are the minutes from that work session and meeting.

**PZHAC Work Session (3/2/20)**

*A person from “Window World” was present to represent the applicant and to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case stating that the dwelling was in the Historical register and was built in the 1920’s. Staff also explained that the applicant intended to replace the wood framed windows in the structure with vinyl framed windows that looked very similar to the original windows. There would be no other work to the structure. The main issue that was discussed was that the original windows had wood frames and that the new windows had modern vinyl frames. There was no other discussion.*

**PZHAC Regular Meeting (3/2/20)**

*Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC determined that the wood framing of the windows should remain wood, and that other similar dwellings in the Historic zoning districts had been required to have wood frames. A motion was made by Commissioner Prieto to approve the request, seconded by Commissioner Houston, and APPROVED by a vote of 3 – 0 with the following CONDITION: THE WINDOW FRAMES SHALL BE WOOD, NOT VINYL.*

The applicant appealed this decision by the PZHAC’s to require the frames around the panes be wood. According to the applicant, the head, jambs, and sill of each window to be replaced are currently wood and will remain in place. The only parts to be metal will be the casing holding the glass panes. The overall appearance will remain the same as the original windows (see attached letter and photos from appellant).

At the appeal, the applicant stated that the kitchen window, which is one of the windows being replaced, is all metal around the panes. She provided the BOT with a number of photos (attached) showing the deteriorated condition of the wood holding the glass panes, and told the BOT that it was her intention to install wood frames around the windows to maintain the character of the original windows.

The contractor for the appellant (WindowWorld) also submitted a letter to the BOT and stated that the frames of the windows will be wood and that only the portions of the window holding the glass will be aluminum (see attached letter from the contractor).

The BOT heard the appeal at their regularly scheduled meeting on Tuesday, May 26, 2020 and determined that the condition by the PZHAC the “...the **frames** shall remain wood...” was confusing in that the BOT could not determine if the PZHAC was referring to the frame around each window itself or the portions of the windows holding each pane of glass.

**DECISION:**

**As a result of additional information provided to the BOT during the appeal, The BOT REMANDED THE CASE BACK TO THE PZHAC to be reheard based on new information about the windows provided by the applicant during the appeal, and so that the PZHAC could clarify their decision.**

**The original information provided to the PZHAC is attached, as well as the information and photos provided to the BOT for the appeal.**

**Consistency with the Code:**

The PZHAC will need to determine that the new windows, as proposed, will be consistent with Chapters 18.33 (Historic Preservation) and 18.40 (HC-Historical Commercial zone) of the Code.

**18.33.080 Historical appropriateness permit.**

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

**18.40.030 Exterior appearance.**

An application for a permit for erection, construction, modification of, moving or destruction which would affect the exterior appearance of any structure, sign, or any other improvement affecting use or function must first be approved by the commission. [Ord. 94-06 § 1; prior code § 11-2-11.5.C]

The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

If it is determined that the proposed windows will be historically and architecturally acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request, with or without conditions, based on the Findings stated below.

If, on the other hand, it is determined that the proposed windows will not be historically and architecturally acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

**Estimated Cost: \$2710.80**

**Consistency with the Code:**

The PZHAC will need to determine that the proposed windows will be consistent with other construction in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

**Findings that need to be made:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of replacing the windows on an existing dwelling at this address.
- The PZHAC has determined that the proposed dwelling meets all applicable Code requirements.

**PZHAC ACTION:**

*The PZHAC determined that the proposed window replacements as provided by Window World would not be out of character with the historic requirements of the Code and voted 4 – 0 to recommend APPROVAL of this request to the BOT.*

**BOT OPTIONS:**

1. Approve the application as recommended by the PZHAC.
2. Approve the application with conditions.
3. Reject the application.

**BOT ACTION:**

NIA RUCKER  
PO BOX 1668 MESILLA, NM 88046

Dear Planning and Zoning and Historical Appropriateness Commission members,

I am writing to request for clarification of the decision on March 20, 2020 allowing window replacement with a condition. I apologize for not having been at the hearing in March to be able to explain the proposal for the window replacement and to avoid misunderstandings. I hope that with this additional information and by being present on June 1st, we can clear up this issue.

I've been lucky enough to live in Mesilla for over nine years. I chose to live here because I love the unique charm and historical nature of our town. When I finally purchased my home in 2018, I knew that I was purchasing an older casita that needed a lot of work including plumbing and electrical upgrades to bring the building up to code, structural repairs and remodeling the bathroom and kitchen. The major upgrades have been contracted out to licensed professionals and I'm proud to say that I've done a lot of work myself with the help of friends with experience. Along the way, I've contacted Mr. Shannon for any necessary permits prior to starting my projects.

I would like to clarify my intentions with the window replacements. As I stated above, I bought a casita that I knew needed a lot of work and my goal has always been to respect the local flavor while updating the house to modern health, safety and comfort standards. Last fall, I contacted several window providers and decided on Window World due to their excellent product and affordability. My kitchen window (which is not part of this permit request) is a metal window inside of the wood frame.(see attachment "Kitchen Window") This window is not original to the house and was changed by a prior owner. Because of this, I did not realize that there would be a concern about the window material.

This committee agreed to allow for my windows to be replaced as long as the frames were wood. I think there is some confusion on the request and I want to make sure we are all on the same page. I have included a diagram below from homedepot.com so that we can use the same terminology. The frames - by which I mean the head, jamb and sill - would remain wood. The frames are a fixed part of the adobe structure of my casita. The glass panes would be surrounded by white vinyl sash and rails. They are identical in outward appearance to the ones that are currently in place. The reason I am requesting vinyl is that the quality of modern vinyl is much better than wood. Wood tends to deteriorate, where vinyl windows will never chip, peel, crack or warp. These vinyl windows are high quality, energy efficient and affordable making them a better long term investment for my home.

Thank you for taking this additional information into consideration.

Sincerely, Nia Rucker

# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select 5

Maps

Legend

### Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0400389](#)  
Parcel Number: 4006137320503  
Owner: RUCKER NIA  
Mail Address: PO BOX 1668  
Subdivision:  
Property Address: 1922 CALLE DE CURA  
Acres: 0





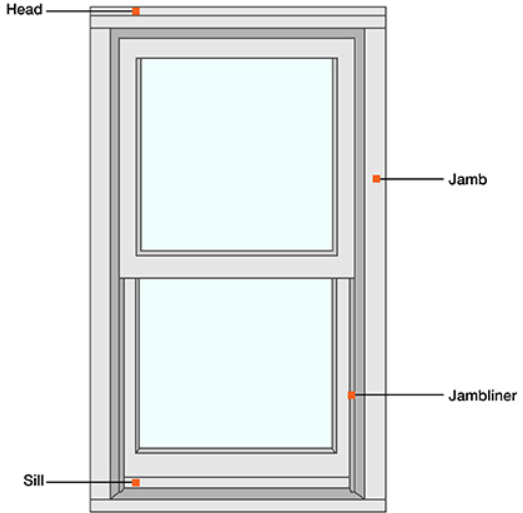
Kitchen Window



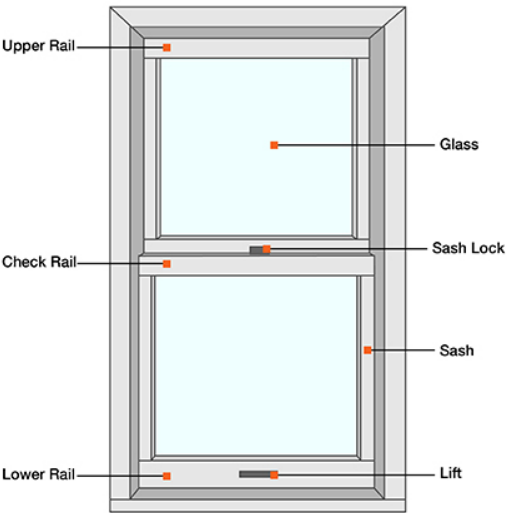


# PARTS OF A WINDOW

## EXTERIOR



## INTERIOR



West Window





North 1





North 2



North 3





Aluminum





Window Jamb





Sales Person:  
19 - MARCO SAUCEDO



Customer Acknowledgement
Quote Date 12/27/2019
Date Ordered Quote Not Ordered

Dealer Name:  
850340 WINDOW WORLD OF LAS CRUCES

**Bill To:**  
WINDOW WORLD OF LAS CRUCES  
300 N TELSHOR BLVD SU 100  
LAS CRUCES, NM 88011

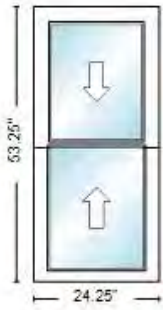
**Ship To:**  
SAME

Order Notes:	Delivery Notes:	Phone: (575) 532-9390	Fax:
		Quote Name:	Project Name:
		Rucker Nia	Rucker Nia

QUOTE #	RUSH	STATUS	PO#
2448542	No	None	213-2543

Line Item #	Qty	Width x Height	UI	Description
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1 1 24.25" X 53.25" 79



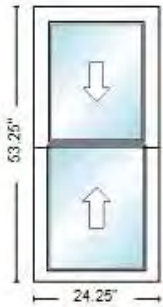
3A01-New 4000 Series Double Hung 24 1/4 x 53 1/4  
 Frame Width = 24.25, Frame Height = 53.25, Sash Split = Even  
 Operation / Venting = Double Hung  
 Frame Option = Standard Block Frame, Composite Reinforcement  
 Frame Color = White, Exterior Finish = No Exterior Finish  
 SolarZone Elite, Double Strength, IE Liners, Glass Breakage Warranty  
 Standard Screen  
 U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-69629-00001  
 Header Expander, Foam Wrap, Net Overall  
 Line Item Notes:

Comment / Room:

FRONT LIV

Line Item #	Qty	Width x Height	UI	Description
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2 1 24.25" X 53.25" 79



3A01-New 4000 Series Double Hung 24 1/4 x 53 1/4  
 Frame Width = 24.25, Frame Height = 53.25, Sash Split = Even  
 Operation / Venting = Double Hung  
 Frame Option = Standard Block Frame, Composite Reinforcement  
 Frame Color = White, Exterior Finish = No Exterior Finish  
 SolarZone Elite, Double Strength, IE Liners, Glass Breakage Warranty  
 Standard Screen  
 U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-69629-00001  
 Header Expander, Foam Wrap, Net Overall  
 Line Item Notes:

Comment / Room:

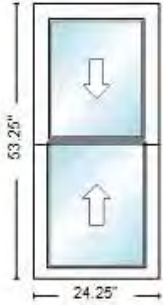
FRONT LIV



QUOTE #	RUSH	STATUS	PO#
2448542	No	None	213-2543

Line Item #	Qty	Width x Height	UI	Description
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3 1 24.25" X 53.25" 79



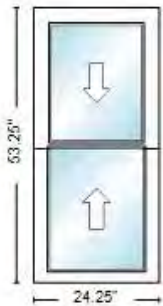
3A01-New 4000 Series Double Hung 24 1/4 x 53 1/4  
 Frame Width = 24.25, Frame Height = 53.25, Sash Split = Even  
 Operation / Venting = Double Hung  
 Frame Option = Standard Block Frame, Composite Reinforcement  
 Frame Color = White, Exterior Finish = No Exterior Finish  
 SolarZone Elite, Double Strength, IE Liners, Glass Breakage Warranty  
 Standard Screen  
 U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-69629-00001  
 Header Expander, Foam Wrap, Net Overall  
 Line Item Notes:

Comment / Room:

LEFT LIV

Line Item #	Qty	Width x Height	UI	Description
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4 1 24.25" X 53.25" 79



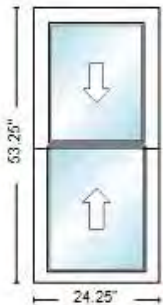
3A01-New 4000 Series Double Hung 24 1/4 x 53 1/4  
 Frame Width = 24.25, Frame Height = 53.25, Sash Split = Even  
 Operation / Venting = Double Hung  
 Frame Option = Standard Block Frame, Composite Reinforcement  
 Frame Color = White, Exterior Finish = No Exterior Finish  
 SolarZone Elite, Double Strength, IE Liners, Glass Breakage Warranty  
 Standard Screen  
 U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-69629-00001  
 Header Expander, Foam Wrap, Net Overall  
 Line Item Notes:

Comment / Room:

LEFT LIV

Line Item #	Qty	Width x Height	UI	Description
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5 1 24.25" X 53.25" 79



3A01-New 4000 Series Double Hung 24 1/4 x 53 1/4  
 Frame Width = 24.25, Frame Height = 53.25, Sash Split = Even  
 Operation / Venting = Double Hung  
 Frame Option = Standard Block Frame, Composite Reinforcement  
 Frame Color = White, Exterior Finish = No Exterior Finish  
 SolarZone Elite, Double Strength, IE Liners, Glass Breakage Warranty  
 Standard Screen  
 U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-69629-00001  
 Header Expander, Foam Wrap, Net Overall  
 Line Item Notes:

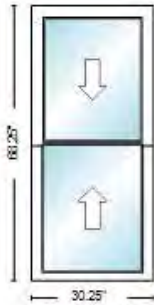
Comment / Room:

REAR BED

QUOTE #	RUSH	STATUS	PO#
2448542	No	None	213-2543

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

6 1 30.25" X 68.25" 100



3A01-New 4000 Series Double Hung 30 1/4 x 68 1/4  
 Frame Width = 30.25, Frame Height = 68.25, Sash Split =  
 Even  
 Operation / Venting = Double Hung  
 Frame Option = Standard Block Frame, Composite  
 Reinforcement  
 Frame Color = White, Exterior Finish = No Exterior Finish  
 SolarZone Elite, Double Strength, IE Liners, Glass  
 Breakage Warranty  
 Standard Screen  
 U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD  
 = ASO-A-89-69629-00001  
 Header Expander, Foam Wrap, Net Overall  
 Line Item Notes:

Comment / Room:

REAR BED

Customer Notes:

Total Unit Count	6
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ATTENTION

Please note that all weights provided are estimates and subject to change based on actual order shipment.  
 For Informational Purposes: All windows are viewed from the outside looking in.

NOTICE: The rating information provided on this quote is based upon the NFRC ratings at the time of quote.  
 Such ratings are subject to changes in the standard by the applicable regulatory agencies and will be finalized at  
 the time of manufacturing. All ratings printed on the NFRC label will supersede the NFRC rating set forth in the  
 quote. Any changes made to an order after submission may also result in changes to the NFRC rating.  
 Customer shall be solely responsible for determining whether the product ordered meets their jurisdiction's  
 requirements.

In accordance with the state of California:

WARNING: Cancer and Reproductive Harm - [www.p65Warnings.ca.gov](http://www.p65Warnings.ca.gov)

This order is subject to AMI's Standard Terms and Conditions, which can be found here:  
<http://www.associatedmaterials.com/Tools.html>

I have reviewed this order and certify that it is correct. I understand that this order is noncancellable,  
 nonreturnable, and nonrefundable.

By \_\_\_\_\_ Authorized Representative

**INFORMATION PRESENTED TO PZHAC 3/20/20  
&  
MINUTES OF PZHAC MEETING**



**PHOTOS OF THE FRONT AND REAR OF THE SUBJECT PROPERTY**





1. ALERT SHEET? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		NEW MEXICO HISTORIC BUILDING INVENTORY FORM 1: BUILDINGS & STRUCTURES 6-6 79							
2. SURVEY DATE 1-25-80 JM	3. BY JM	4. CHECK DATE	5. BY	6. COMPUTER DATE	7. BY	8. FILE DATE	9. BY	10. REVISION DATE	11. BY
13. FIELD MAP Dona Ana		14. NUMBER CORA 1962		15. UTM REFERENCE NUMBER 12 331250 3571950 ZONE EASTING NORTHING					
16. SPECIFIC LOCATION The second house west of the north/west corner of the Camino Real & Calle de Cura intersection						17. CITY/TOWN Mesilla		20. I.D. # 183202291	
20. LEGAL DESCRIPTION: TOWNSHIP NS RANGE EW SECTION 1/4 1/4 1/4						18. ZIP		22. ROLL #	
						19. LAND GRANT OR. RESERVATION Mesilla Civil Colony		23. NEG #	
25. ARCHITECTURAL STYLE Adobe Vernacular						26. NUMBER OF STORIES one			
27. FOUNDATION MATERIAL(S) ?						Robert Buckingham Box 7 Mesilla PARK 88046-4625			
28. EXTERIOR WALL SURFACE(S) Stucco / adobe						4.006.137.320.503			
29. FENESTRATION (TYPE, DIVISIONS, SURROUNDS, SILLS, ARRANGEMENTS) - random 1/1 dhw, w/narrow surrounds, concrete lug sills - Horizontal 4/4 fixed frame, window w/out surrounds or sills									
30. DOOR/ENTRANCE (TYPE/SURROUNDS) Standard wood panel door w/lite, no surrounds									
31. ROOF(S) (NUMBER/SHAPE/MATERIAL DETAILS) flat roof w/ flat parapet									
32. CHIMNEY(S) (NUMBER, EXTERIOR-INTERIOR/MATERIALS) none									
33. EXTERIOR DETAILS Small louvered attic vents, picket fence around front									
34. COMMENTS									
DATE OF CONSTRUCTION		35. ESTIMATED 1920		36. ACTUAL		45. IMMEDIATE SURROUNDINGS Residential			
37. SOURCE OF DATE						46. RELATION TO SURROUNDINGS <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR			
38. ARCHITECT/ENGINEER/BUILDER						47. ARCHITECTURAL CONTRIBUTION TO SURROUNDINGS <input checked="" type="checkbox"/> PLUS <input type="checkbox"/> NEUTRAL <input type="checkbox"/> MINUS			
39. SOURCE OF INFORMATION						48. OVERALL SIGNIFICANCE <input type="checkbox"/> NATIONAL <input type="checkbox"/> STATE <input checked="" type="checkbox"/> LOCAL <input type="checkbox"/> NONE			
40. NAME						49. ASSOCIATED BUILDINGS? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
USE		41. PRESENT Residential		42. HISTORIC "		50. WHAT TYPE?			
CONDITION		<input type="checkbox"/> EXCELLENT <input checked="" type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED				51. IF INVENTORIED, LIST I.D. #'S			
44. DEGREE OF REMODELING		<input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR				52. SEE BACK? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			

- 287 This stuccoed, gabled house has aluminum frame windows and a gabled porch protecting the entrance. est. 1960. (N)
- 288 This is a stuccoed residence with a flat roof and parapet. and aluminum frame windows. est. 1930. (C)
- ~~289 This is an adobe farm house with aluminum frame windows, a flat roof with parapet, viga ends visible, and a shed roof porch with mission tile. There is a utility shed, a barn, and a silo associated with this house. est. 1900. (C)~~
- 290 This stuccoed adobe residence has a flat roof and parapet and metal casement windows. est. 1910. (C)
- 291 This stuccoed adobe residence has a flat roof, wood frame windows, a parapet, and a square-plan. est. 1920. (C)
- 292 This Ranch Style house has terrecotta brick walls. est. 1965. (N)
- 293 This is an apartment complex in a Territorial Revival style. The architecture matches that of the house to the north. This building blends well with the surroundings. est. 1975. (N)
- 294 This stuccoed house has a gabled roof and wood frame windows. est. 1910. (C)
- 295 This stuccoed gabled house with a brick half wall and wood frame windows has purlins and brackets. est. 1935. (N)
- 296 This gabled adobe residence has wood frame windows. est. 1910. (C)
- 297 This Ranch Style house has brick walls and aluminum frame windows. est. 1965. (I)
- 298 This stuccoed adobe house has a low gabled roof and aluminum frame windows. est. 1900. (C)
- 299 This is a rectangular-plan house with aluminum frame windows and a gabled roof. est. 1965. (N)
- 300 This is a small gabled house with aluminum frame windows. A trailer house is adjacent to it to the west. est. 1955. (I)
- 301 This house has a crenalated parapet and wood frame windows covered by tiled hoods. est. 1915. (C)
- 302 This square-plan stuccoed house with a flat roof and parapet has wood frame windows. est. 1900. (C)
- 303 This is a very long, rectangular-plan adobe house with a flat roof, parapet, wood frame windows, and an open porch spanning the length of the facade. est. 1900. (C)



# Window World

**Window World of Las Cruces**  
 300 N. Telshor • Suite 100 • Las Cruces, NM 88011  
 Phone: (575) 632-9390 • Fax: (575) 632-5230

NM CID# 391055

Customer: NIA ROCKER Phone (h) 575-993-2930  
 Install Address: 1922 CALLE DE CORA - BECOS Phone (w) \_\_\_\_\_  
 Bill Address: \_\_\_\_\_ E-mail \_\_\_\_\_

WINDOW WORLD WINDOW PACKAGES	
<small>(Window max single hung / double hung 48x72 or 2-Lite 60x60. Package includes SolarZone Elite, DS glass, 1/2 screen, foam on jambs and head)</small>	
3000 Series Single Hung	\$368
3000 Series 2-Lite Single Slider	\$388
<u>6</u> 4000 Series Double Hung	\$388 <u>2328</u>
4000 Series 2-Lite Slider	\$408
6000 Series Double Hung	\$459
6000 Series 2-Lite Slider	\$489

WINDOW WORLD WINDOWS	
<small>(All Windows include SolarZone Elite)</small>	
4000 Series Picture / Fixed	\$459
4000 Series 3-Lite (1/3, 1/3, 1/3) (1/4, 1/2, 1/4)	\$610
6000 Series Picture / Fixed	\$499
6000 Series 3-Lite (1/3, 1/3, 1/3) (1/4, 1/2, 1/4)	\$670
3000 Series 3-Lite Slider (1/3, 1/3, 1/3) (1/4, 1/2, 1/4)	\$590
3000 Series Picture / Fixed	\$449
3000 Series Rounded Top SH	\$719
Windows Over 120 U.I	\$100
Casement (Not Egress)	\$459
Specialty Window	\$
Almond / Desert Clay	\$50
Bronze Exterior (Series 3000/4000) <small>(Full Screens Only)</small>	\$160
Window Color <u>White</u> / <u>White</u>	
<small>Inside Outside</small>	

DOORS	
Vinyl Rolling Patio Door	\$
Stucco Protector (Y/N) Custom Trim (Y/N)	
Color _____ Grids _____	
Custom Rail Rolling Patio Door	\$
3" Rail _____ 5" _____ French Rail _____	
Stucco Protector (Y/N) Custom Trim (Y/N)	
Color _____ Grids _____	
Interior Blinds (white blinds in white door panels) <small>(Specific Standard Series Only)</small>	\$
Specialty Doors	\$

INSULATED GLASS PACKS	
Solar Sun Shield Upgrade	\$60
Triple Glazed TG2** (Argon Filled)	\$155
Triple Glazed TK2** (Krypton Filled)	\$196
<small>(**Series 6000 Only)</small>	

ADDITIONAL FEATURES	
1/2 Screens	\$9
Foam Insulation on Jambs and Head	\$11
Double Strength Glass	\$15
Double Locks (> 26") (4000/6000)	\$5
Full Screens	\$22
Colonial Grids (Contoured/Flat)	\$65
Prairie Grids	\$75
Specialty Grids	\$
Tempered Sash	\$70
Tempered Other	\$
Tinted or Specialty Glass	\$
Obscure Glass Both Sash	\$80
Oriel Style (40/60 or 60/40)	\$60

PRE 1978 BUILT HOMES (Federal Lead Containment Law)	
<u>4</u> With Custom Premium Exterior Trim	\$50 <u>200</u>
Without Custom Premium Exterior Trim	\$70
<u>1</u> Lead Testing Fee (up to 4 windows)	\$50 <u>50</u>
MY HOME WAS BUILT IN THE YEAR	Initial

MISCELLANEOUS	
Second Story Labor	\$60
Custom Exterior Trim (minimum of 2 windows)	\$60
Custom Coil Color	
<u>6</u> Window Removal Steel or in Stucco	\$60
Window Removal Other	\$40 <u>240</u>
Stucco Protector/Flush Fin	\$40
<small>(Designed to be trimmed for installation)</small>	
Install Interior Stops (unpainted wood)	\$50
Install Interior Casing	\$50
<small>(Customer must provide the materials)</small>	
Replace Sill (pine-no painting or staining)	\$100
Wood or Steel Mull Removal	\$40
Mull to Form Mull Unit	\$40
Remove Storm Window	\$30
Remove Security Bars (no reinstallation)	\$50
Other	\$

**ROUND-UP FOR WINDOW WORLD CARES**  
 St. Jude Children's Research Hospital \$

You the buyer are responsible for providing at least two feet of clear access on both sides of windows and for completely removing all blinds, brackets, shutters and other window coverings prior to installation. Initial: NR  
 You the buyer are responsible for any applicable permitting. Balance due based upon percentage of windows installed upon completion. No compensation for job delays or product errors. No painting and no repairs or painting of damages to Stucco unless stated on Contract. Initial: NR

**NO EXTRA WORK IF NOT IN WRITING!**  
-120 - off Double Hung  
-122-10 - Final  
9-Weeks

Customer agrees to the terms of payment as follows:	
Subtotal	\$ <u>2818</u>
Setup and Handling (5%) Fee (minimum \$50)	\$ <u>134.90</u>
Permit	\$ <u>65</u>
Trip Charge	\$
Subtotal	\$ <u>2678</u>
Tax (where applicable)	\$ <u>24.20</u>
Total Amount	\$ <u>3000</u>
Custom Order Deposit 50%	\$ <u>1500</u> Ck#
Balance Paid to Installer upon Completion	\$ <u>1500</u>
Amount Financed	\$

You the buyer may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. Notice of cancellation must be in writing postmarked no later than midnight of the following third business day.  
**THIS IS A CUSTOM ORDER NOT FOR RESALE!**

11-18-19  
 Salesman \_\_\_\_\_ Date \_\_\_\_\_ Owner \_\_\_\_\_ Date \_\_\_\_\_





"Simply the Best for Less"

WEST COAST

WINDOW AND PATIO DOOR ORDER FORM  
 Phone: 866.716.5368 Fax: 866.618.2783

Account # \_\_\_\_\_ Sales Rep Name / # MALLO D'9  
 Date 11-18-19 Customer P.O. # 213-2513

Customer Name and Address: Window World Las Cruces #85034  
 Ship To: N/A Dutel  
 Job Name 1: \_\_\_\_\_ Job Name 2: \_\_\_\_\_  
1922 Cailles DE CUNA - 8800  
 Ordered By: Window World Las Cruces #85034  
 Sketches: \_\_\_\_\_

Special instructions: Be sure to note if non-mullied units require grid alignment or shade configurations requires a continuous radius

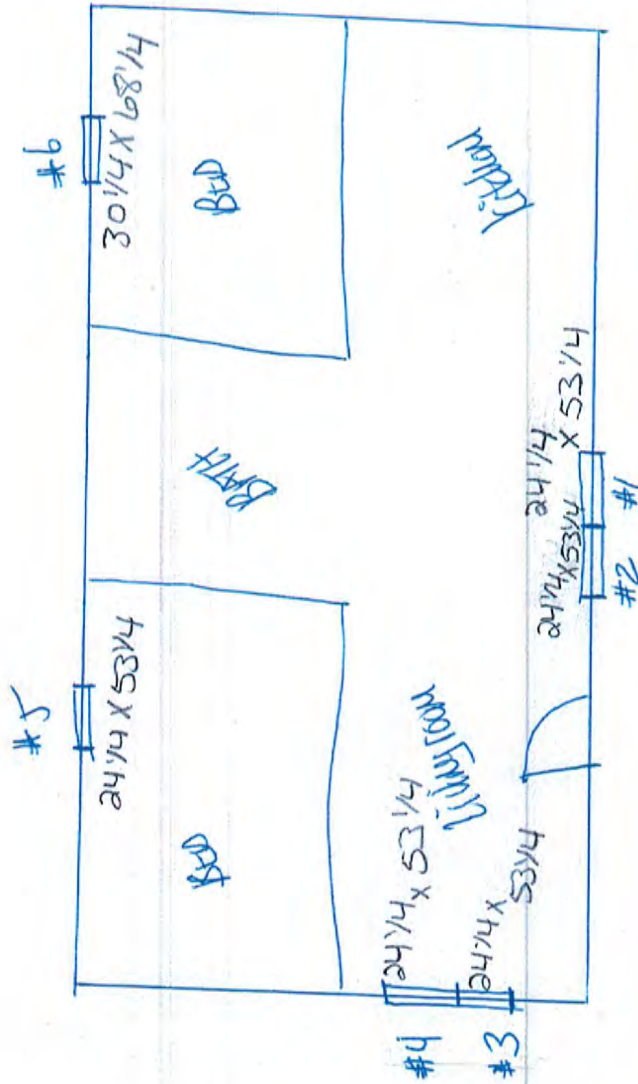
This entire order requires (where applicable):  Head Expander  Glass Breakage Warranty  Foam Wrap  
 (NOTE: Hinge Left (HL) or Hinge Right (HR) on all casement orders as viewed from the exterior. Add (RH) for Express Hinge)

**ALL PRODUCT CONFIGURATIONS MUST BE ORDERED AS VIEWED FROM THE EXTERIOR**

LINE	QTY	MODEL	WHTL COLOR	DIMENSIONS R.D.	WIDTH	HEIGHT	FRAME OPTIONS	MULL TYPE	ROOM LOCATION	6500 SASH STYLE 3", 5", or FRENCH	HINGE (L/R/N)	GLASS OPTION	E/E/C OPTION	TINTS	OBSCURE	ORNL	WOODEN STYLE	GRID OPTION PATTERN	SCREEN	FOAM ENHANCED	MULL FN	TEMP
1	1	3401	01		24 1/4	53 1/4	RD		FRONT	GLASS	LE	LE										
2	1	3401	01		24 1/4	53 1/4	RD		FRONT	GLASS	LE	LE										
3	1	3401	01		24 1/4	53 1/4	RD		FRONT	GLASS	LE	LE										
4	1	3401	01		24 1/4	53 1/4	RD		FRONT	GLASS	LE	LE										
5	1	3401	01		24 1/4	53 1/4	RD		FRONT	GLASS	LE	LE										
6	1	3401	01		30 1/4	68 1/4	RD		FRONT	GLASS	LE	LE										
7																						
8																						
9																						
10																						
11																						
12																						
13																						
14																						
15																						
16																						
17																						

FRAME OPTIONS	MULL TYPE	TUPTERED AND OBSCURE	GLASS OPTIONS	SCREENS	GRID OPTIONS
RP = REPLACEMENT/BOX FRAME/PFN FS = FLANGE FOR STUDIO APPLICATION S1 = SERRIS CLAY S2 = BRONZE EXT WITH WHITE INTERIOR NF78 = 7/8" MAL FN SET BACK (OTS ONLY) NF1 = 1" MAL FN SET BACK (OTS ONLY) BT = BRONZE TINT BL = BRONZE TINT BR = BRONZE TINT PS = AQUA TINT PL = AQUA TINT	D = DOUBLE T = TRIPLE Q = 1/4", 1/2", 1/4" S = STACKED C = CUSTOM GT = GREY TINT BT = BRONZE TINT BL = BRONZE TINT BR = BRONZE TINT PS = AQUA TINT PL = AQUA TINT	TB = TEMP BOTTOM TF = TEMP FULL OF = OBSCURE FULL OS = OBS BOTTOM NB = NARROW REED DOB = DOUBLE OBS BOTTOM R = RAIN GLASS FULL RB = RAIN BOTTOM G = GLUECHIP FULL GB = GLUECHIP BOTTOM SIB = SOLAR COOL BRONZE SOG = SOLAR COOL GRAY EV = EVERGREEN SS = SOLER	LE = SOLARZONE LEE = SOLARZONE ELITE LEP = SOLARZONE PLUS LEZ = SOLARZONE 2 LET = SOLARZONE TQZ LEL = SOLARZONE ELITE LT = LOW END ANCHOR (P900 SERIES ONLY)	FS = FULL SCREEN (FIBERGLASS) FB = FIBERGLASS 1/2 SCREENS ARE STANDARD SEE BACK OF ORDER FORM FOR GRID OPTIONS	SEE BACK OF ORDER FORM FOR GRID OPTIONS





1. All windows that originally meet egress will meet egress.
2. No changes to existing construction.
3. All windows are energy efficient.

NIA LUCKER  
 1122 CALLE DE CURA - 88005  
 575-993-2930

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061021  
Fee \$ 80.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061021 ZONE: UR CODE: ACC APPLICATION DATE: 2-19-20

Nia Rucker 575-993-2930  
Name of Property Owner Property Owner's Telephone Number  
1922 Calle De curra mesilla NM 88005  
Property Owner's Mailing Address City State Zip Code

Property Owner's E-mail Address  
Window World of Las Cruces  
Contractor's Name & Address (If none, indicate Self)  
575-532-9390 81-4803551 391055  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 1922 Calle De curra mesilla NM 88005  
Description of Proposed Work: Window Installation

\$ 2710.80 ATD 2-19-20  
Estimated Cost Signature of Applicant Date  
Signature of property owner: Nia Rucker

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED:  YES  NO BOT APPROVAL REQUIRED:  YES  NO

CID PERMIT/INSPECTION REQUIRED:  YES  NO  SEE CONDITIONS

CONDITIONS: CID PERMIT MAY BE REQUIRED.

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**BOT ACTION FORM**  
**ZONING PERMITS 061032**  
**[PZHAC REVIEW – 6/1/20]**

**Items:**

**Case 061032** - 2305 Calle de Colon, submitted by Gerard Nevarez, a request for a zoning permit to enclose an existing covered patio and install a new covered patio at the rear of a dwelling at this address. Zoned: Historic Residential (HR)

**Staff Analysis:**

The applicant plans to enclose an existing covered patio at the rear of the dwelling (see attached site plan). Since there are bedroom doors that open onto the existing patio, it will be necessary to ensure that any bedrooms that have direct access to the existing patio have windows that open directly to the outside and meet the requirements of the building code for emergency egress. Additionally, the applicant would like to build a new covered patio to be attached to the enclosed patio (see attached site plan).

According to the applicant, the enclosed patio and new porch will be constructed in the same style as the dwelling and will be finished and painted to match the dwelling.

**Estimated Cost: \$20,000.00**

**Consistency with the Code:**

The PZHAC will need to determine that the proposed work will be consistent with Chapters 18.33 (Historic Preservation) and 18.35 (HR-Residential Cultural Historic zone) of the Code.

**18.33.080 Historical appropriateness permit.**

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

**18.35.030 Exterior appearance.**

An application for a permit which would authorize construction, modification, moving or destruction which would affect the exterior appearance of any structure, sign, or other improvement affecting use or function must first be approved by the commission. [Ord. 94-06 § 1; prior code § 11-2-11.4.C]

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

**Findings that need to be made:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing a decorative panel along the wall at the rear of a dwelling at this address.
- The PZHAC has determined that the proposed renovation meets all applicable Code requirements.

**PZHAC ACTION:**

*The PZHAC determined that enclosing the existing patio and constructing a new covered porch would not be out of character with the historic requirements of the Code and voted 3 – 0 to recommend APPROVAL of this request to the BOT (Commissioner Nevarez recused himself from voting on the case.)*

**BOT OPTIONS:**

1. Approve the application as recommended by the PZHAC.
2. Approve the application with conditions.
3. Reject the application.

**BOT ACTION:**



# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select 5

Maps

Legend

### Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0400572](#)  
Parcel Number: 4006138208035  
Owner: NEVAREZ GERARD R  
Mail Address: PO BOX 1102  
Subdivision:  
Property Address: 2305 CALLE DE COLON  
Acres: 0





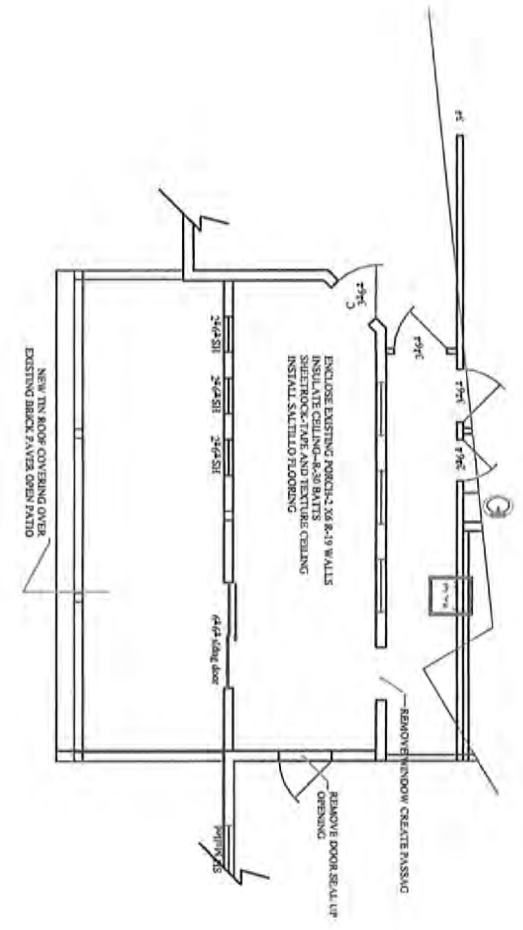
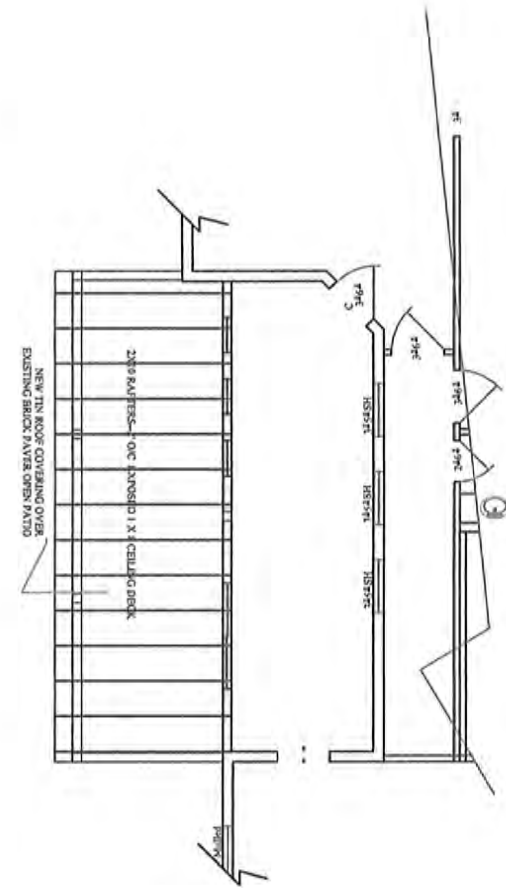
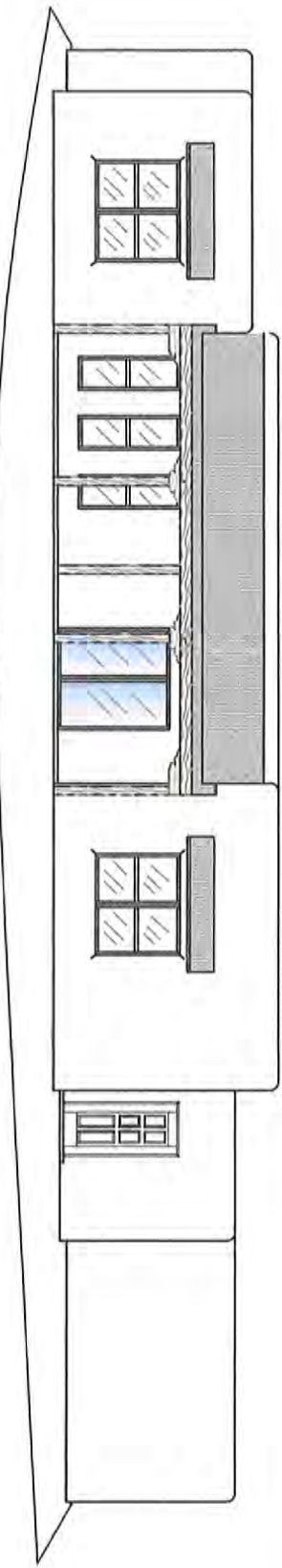
PHOTOS OF THE FRONT AND REAR OF THE SUBJECT PROPERTY





Not to Scale

BACK-SOUTH

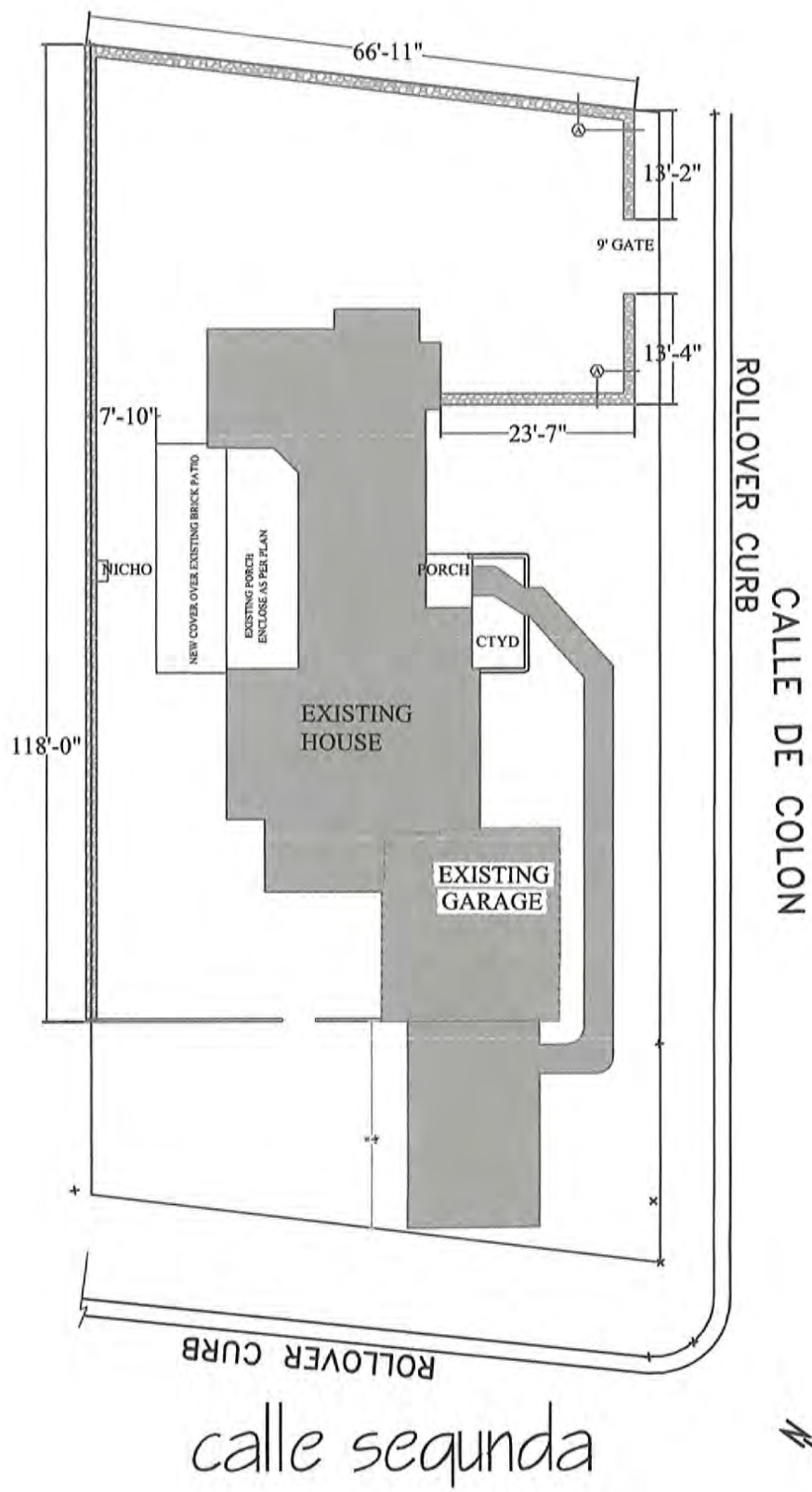


03/05/2020

Drawn By: Patrick Vigil  
DRAWN FOR: Gerard Nevarez

2305 Calle Colon

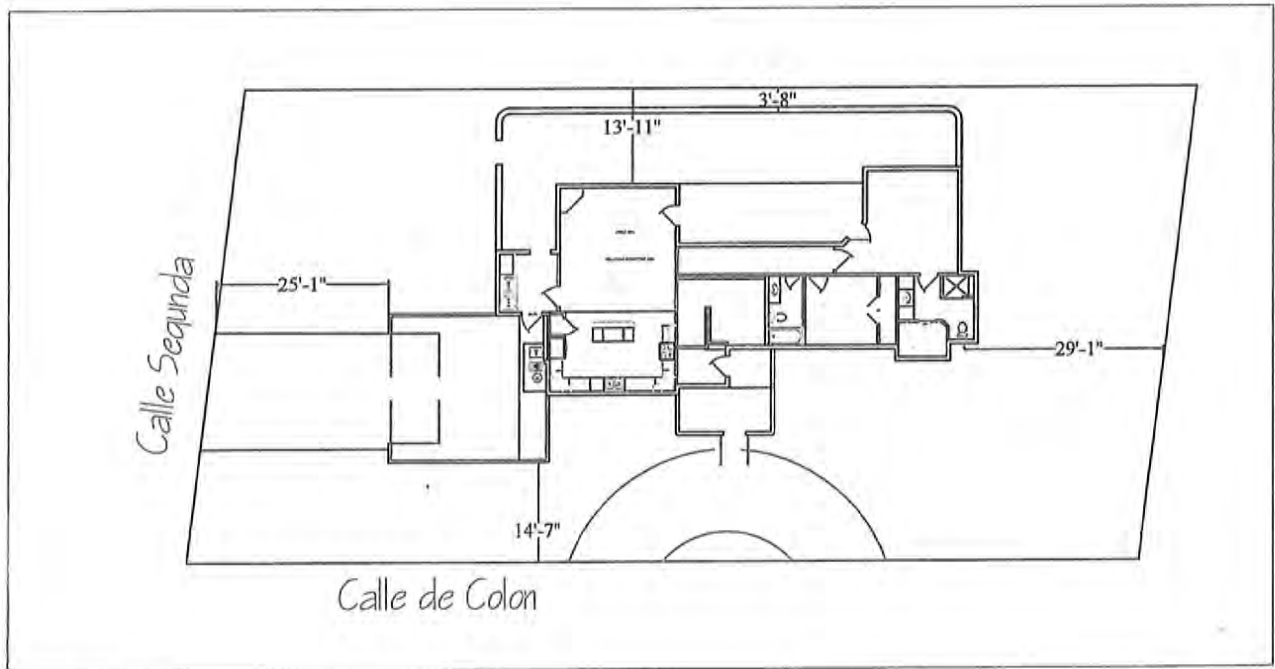
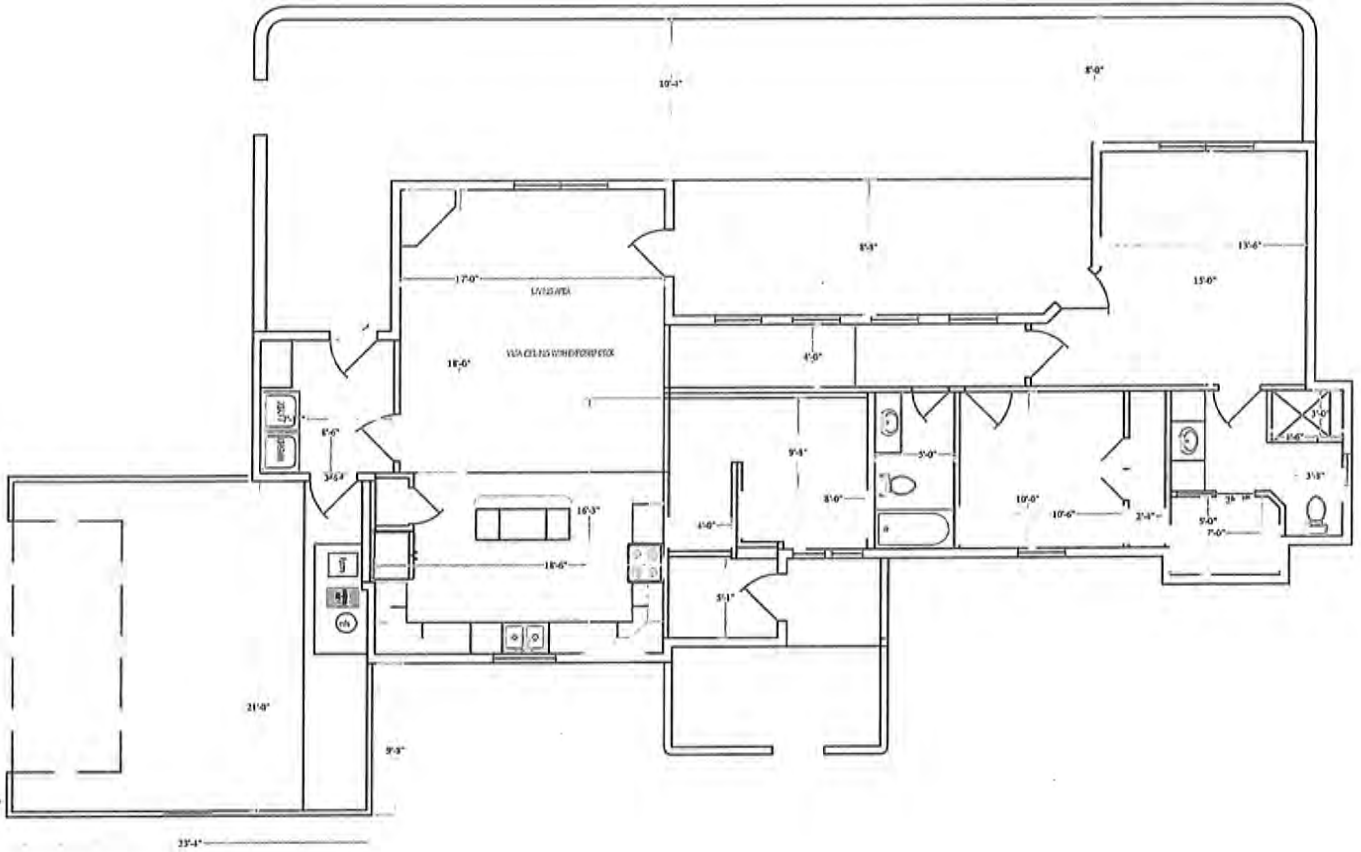
ViCa One Inc.  
PO Box 669  
Mesilla Park NM



3-5-2020

NTS

Drawn By: Patrick Vigil	2305 CALLE DE COLON	ViCa One Inc.
Drawn for: Gerard Nevarez		PO Box 669
575-644-3748	Mesilla, NM, 88046	Mesilla Park, NM



Oct. 16, 2017

NTS

Drawn By: Patrick Vigil	Calle Segunda and Calle Colon	ViCa One Inc.
Drawn for: Gerard Nevarez	42	PO Box 669
575-644-3748	Mesilla, NM	Mesilla Park, NM



**TOWN OF MESILLA**  
**APPLICATION FOR RESIDENTIAL BUILDING PERMIT**  
 2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (505)524-3262 extension 109

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: 02/02/20

Gerard Nevarez 575.642.3938  
 Name of Applicant Telephone Number

2305 Calle de Colon Mesilla NM 88046  
 Street Address City State Zip Code

Patrick Vigil - VICA one PO Box 669 Mesilla Park  
 Contractor Name and Address

575.644.3748 \_\_\_\_\_  
 Contractor Telephone Number Contractor Tax I.D. Number Contractor License #

**LOCATION & DESCRIPTION OF PROPOSED WORK:**  
2305 Calle de Colon - Enclose back patio +  
build a covered patio - see attached

**Estimated Cost:**  
\$20,000

[Signature]  
 Signature of Applicant

Date: 03.09.20

*With the exception of administrative approvals, all permit applications must undergo a review process from staff, PZHAC and BOT before issuance of a building permit.  
 Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required.  
 Plan sheets are to be no larger than 11 x 17 inches.*

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved
	<input type="checkbox"/> Approved		<input type="checkbox"/> Disapproved
	<input type="checkbox"/> Disapproved		<input type="checkbox"/> Approved with condition
	<input type="checkbox"/> Approved with conditions		

CONDITIONS: \_\_\_\_\_

FEE: \_\_\_\_\_ REVIEW: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_  
 PERMIT: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

- This application includes:**
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. Foundation Plan with details
  3. Floor Plans showing rooms, their uses and dimensions
  4. Cross Sections of walls.
  5. Roof and floor framing plan. (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
  6. Drainage plan.
  7. Architectural style and color scheme (Historical and commercial zones only.)
  8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from Public Utility providing water service.)

**BOT ACTION FORM**  
**ZONING PERMIT 061034**  
**[PZHAC REVIEW – 6/1/2020]**

**Items:**

**Case 061034** - 2230 Calle del Sur, submitted by Stephen Cadena; a request for a zoning permit to construct a porch around a dwelling at this address. Zoned: Historic Residential (HR)

Currently, the property is occupied by a dwelling that is under construction in the southwest corner of the property. The westernmost side of the dwelling is about 7 feet from the west property line. The southern side is 16 feet from the southern property line. The applicant would like to construct an 8 foot wide porch on the northern and southern sides of the dwelling, and five feet wide along the eastern side of the dwelling. The total width includes two foot eaves. There will be no porch on the western side of the dwelling. The porch will consist of a framework of unfinished wood beams and rough lumber with a gray corrugated metal roof (see site plan and attached photos) on 8 foot high posts. The purpose of the porch is to provide shade to the structure. According to the applicant, the porch will complement the “Northern New Mexico” style of the dwelling (see attached photos).

The applicant is aware that a permit from CID will be required to construct the porch.

**Consistency with the Code:**

The PZHAC will need to determine that the porch will be consistent with Chapters 18.33 (Historic Preservation) and 18.35 (HR-Residential Cultural Historic zone) of the Code.

**18.33.080 Historical appropriateness permit.**

- A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

**18.35.030 Exterior appearance.**

An application for a permit which would authorize construction, modification, moving or destruction which would affect the exterior appearance of any structure, sign, or other improvement affecting use or function must first be approved by the commission. [Ord. 94-06 § 1; prior code § 11-2-11.4.C]

The PZHAC will also need to determine that the request, as submitted, is consistent with all other sections of the **Building and Zoning Codes** that may be applied to this project.

**Estimated Cost: \$2000.00**

**Findings that need to be made:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing a wooden porch along three sides of a dwelling under construction at this address.
- The PZHAC has determined that the proposed renovation meets all applicable Code requirements.

**PZHAC ACTION:**

*The PZHAC determined that enclosing the proposed porch would not be out of character with the historic requirements of the Code and voted 4 – 0 to recommend APPROVAL of this request to the BOT*

**BOT OPTIONS:**

1. Approve the application as recommended by the PZHAC.
2. Approve the application with conditions.
3. Reject the application.

**BOT ACTION:**

# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select 5

Maps

Legend

### Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0400628](#)  
Parcel Number: 4006138275105  
Owner: CHAIN ENTERPRISES LLC  
Mail Address: PO BOX 489  
Subdivision: DEL SUR SUBDIVISION  
1073  
Property Address: 2230 CALLE DEL SUR  
Acres: 0



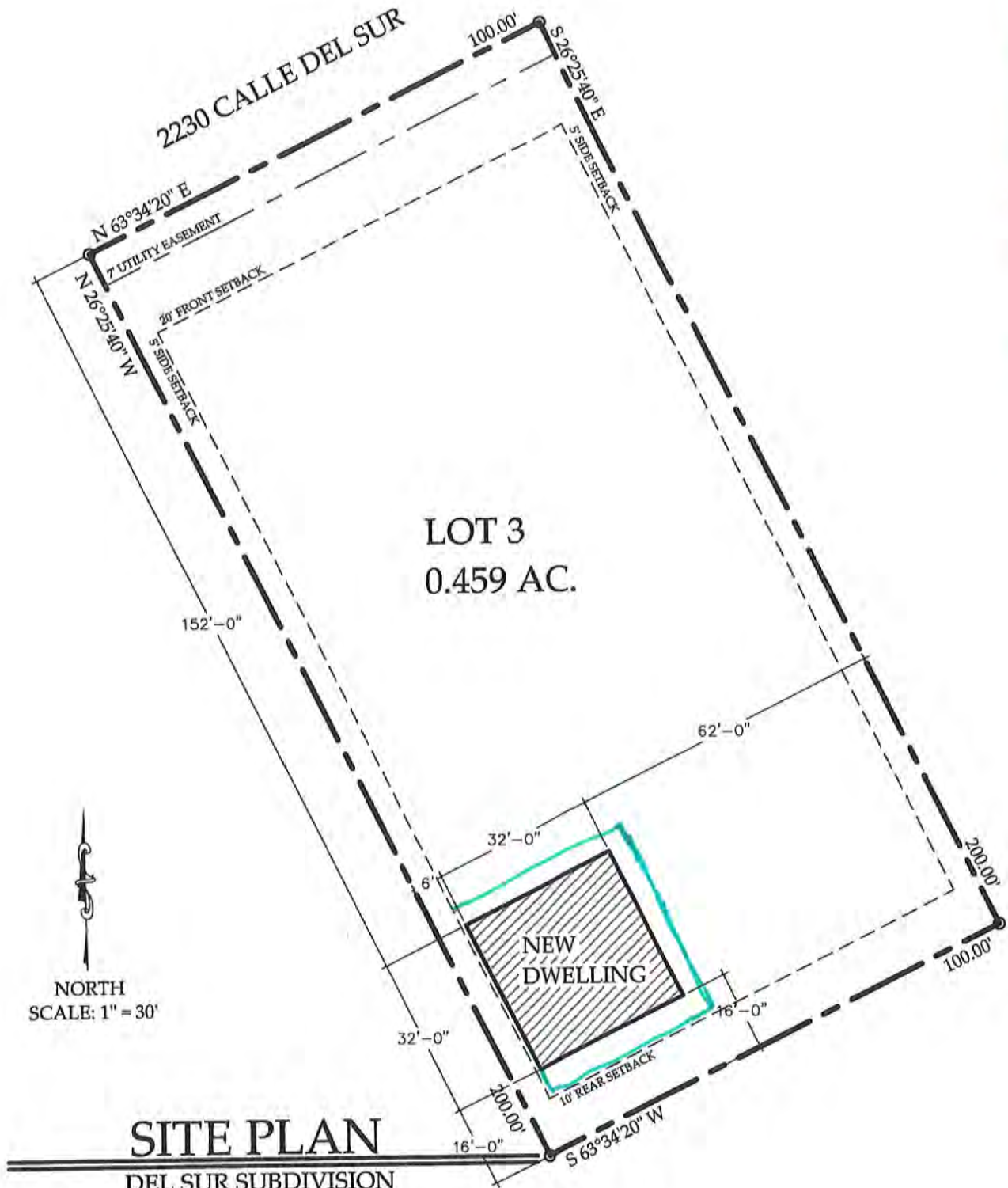


PHOTOS OF PROPERTY FROM CALLE DEL SUR






Porch  
 Extending 8 Feet from House

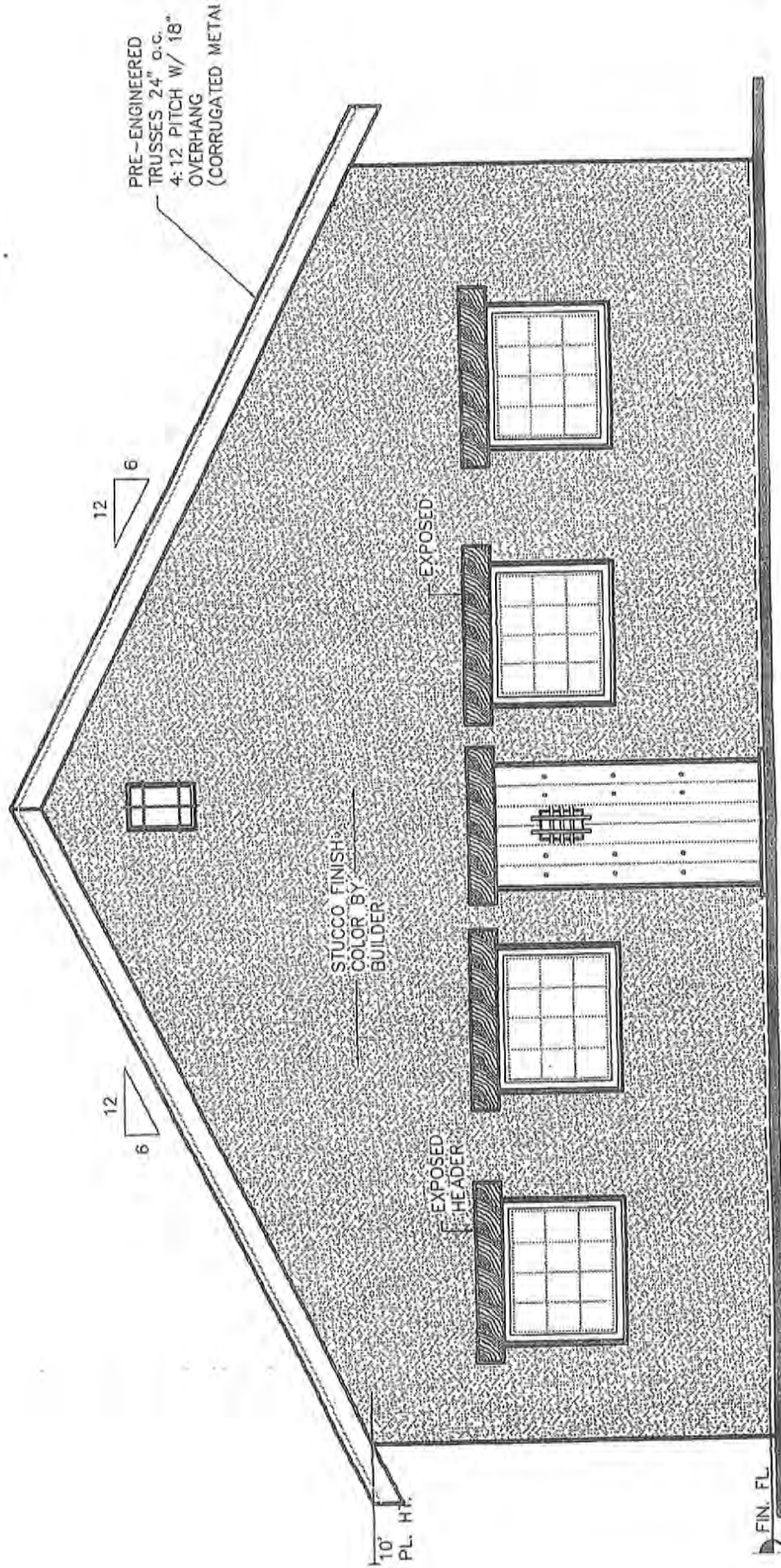


NORTH  
 SCALE: 1" = 30'

# SITE PLAN

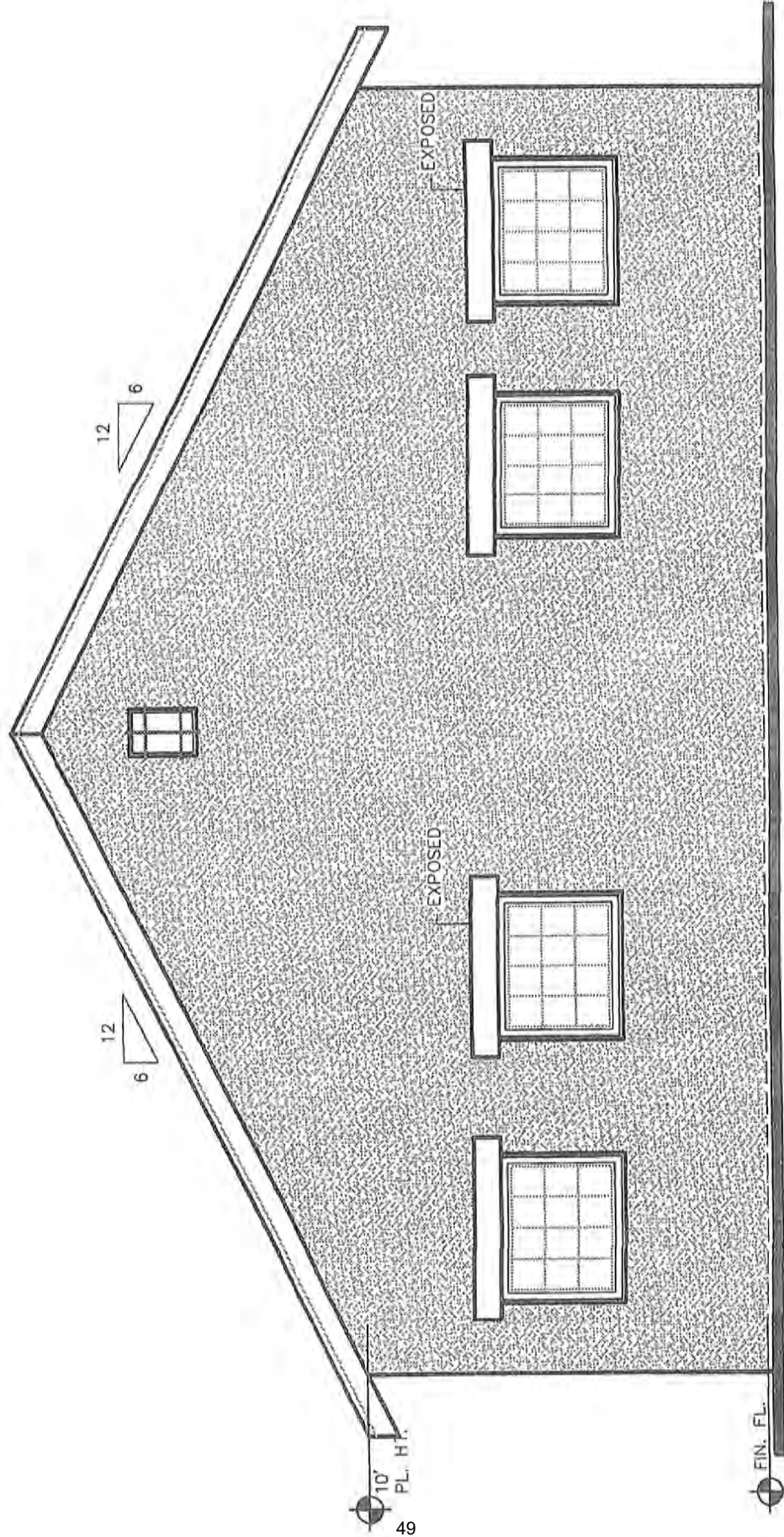
DEL SUR SUBDIVISION  
 LOT 3  
 TOWN OF MESILLA, DONA ANA COUNTY  
 NEW MEXICO

 <p>Cadworks          Home Designs &amp;          Drafting          P.O. BOX 1872          Las Cruces, N.M. 88004          Office: (575) 523-7720</p>	DATE		PROJECT NAME:	SHEET TITLE
	11/1/17		Steve Cadena	SITE PLAN
	DRAWN BY			SHEET NO.
	UMPHRESS			3 OF 3
FILE NAME	SC-828517			
<small>DISCLAIMER          ALL MEASUREMENTS, DIMENSIONS, &amp;          SPECIFICATIONS, INCLUDING ALL SLOPE          MATERIALS ARE TO BE CHECKED BY          OWNER &amp; CONTRACTOR &amp; ARE THE          RESPONSIBILITY OF THE OWNER &amp;          CONTRACTOR.          THE STRUCTURAL INTEGRITY OF THIS          PROJECT IS THE RESPONSIBILITY OF          THE CONTRACTOR AND OWNER.          THIS DRAWING IS AN INSTRUMENT OF          OWNER, AND CONTRACTOR. THIS          DRAWING MAY NOT BE REPRODUCED          OR REPRODUCTIONS HEREOF USED          WITHOUT THEIR WRITTEN PERMISSION.</small>				



**FRONT ELEVATION**

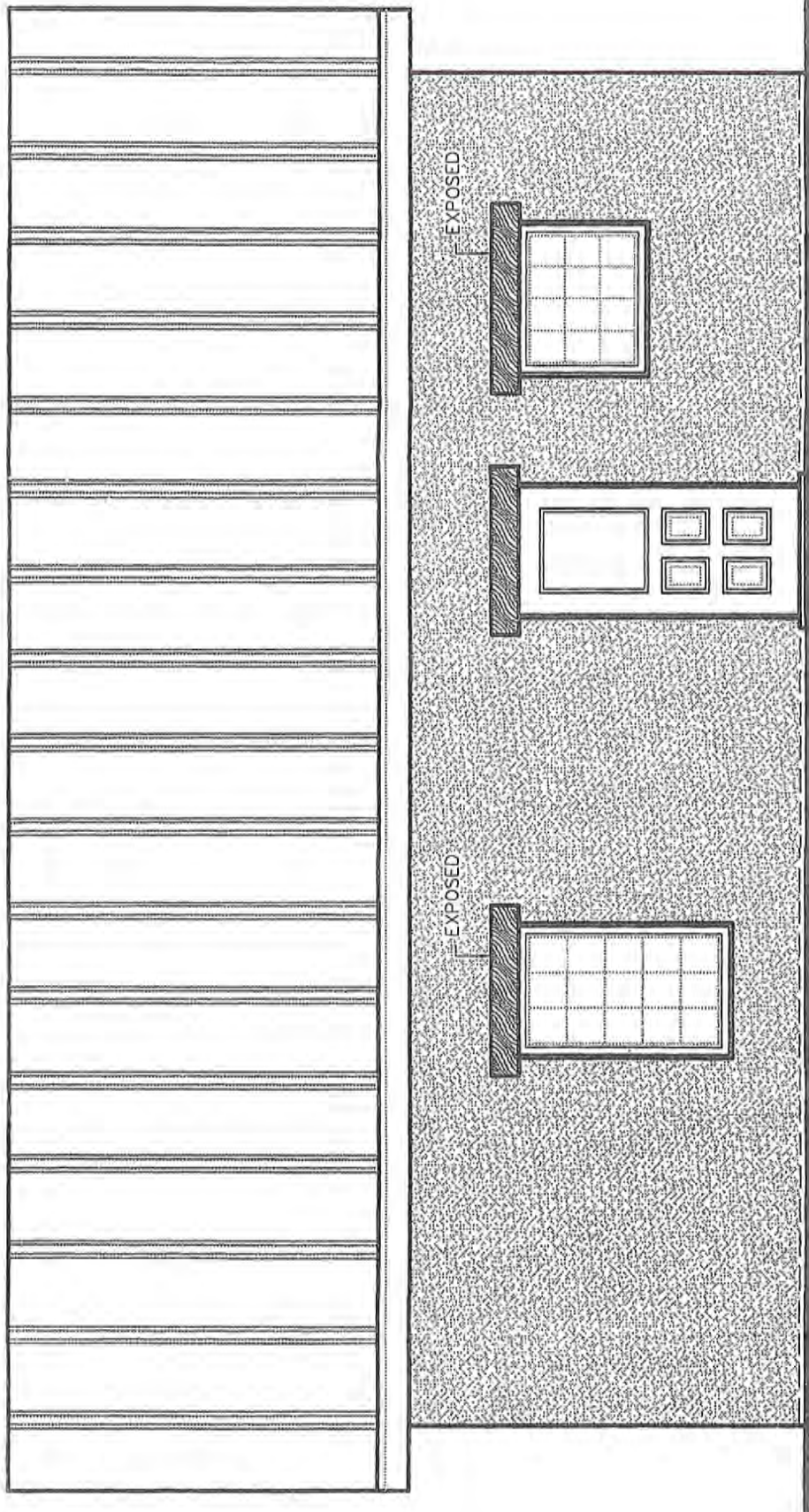
*Porch on this side*



**REAR ELEVATION**

*Porch on this side*



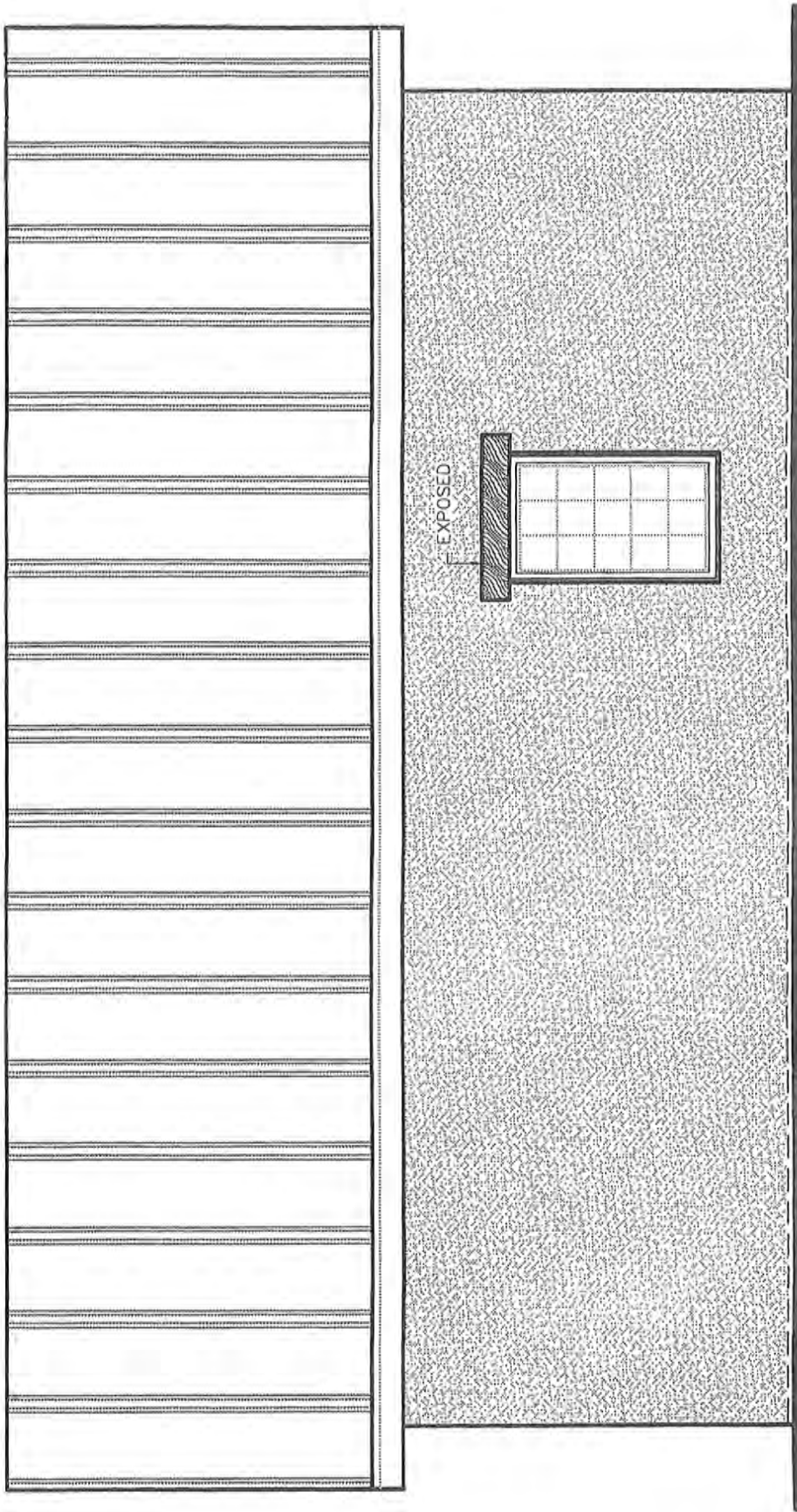


**LEFT ELEVATION**

1/4" = 1'-0"

Porch on this side

1/4" = 1'-0"



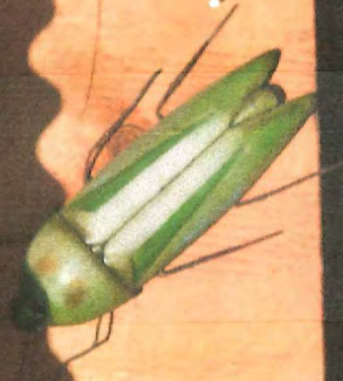
1/4" = 1'-0"

**RIGHT ELEVATION**

no porch



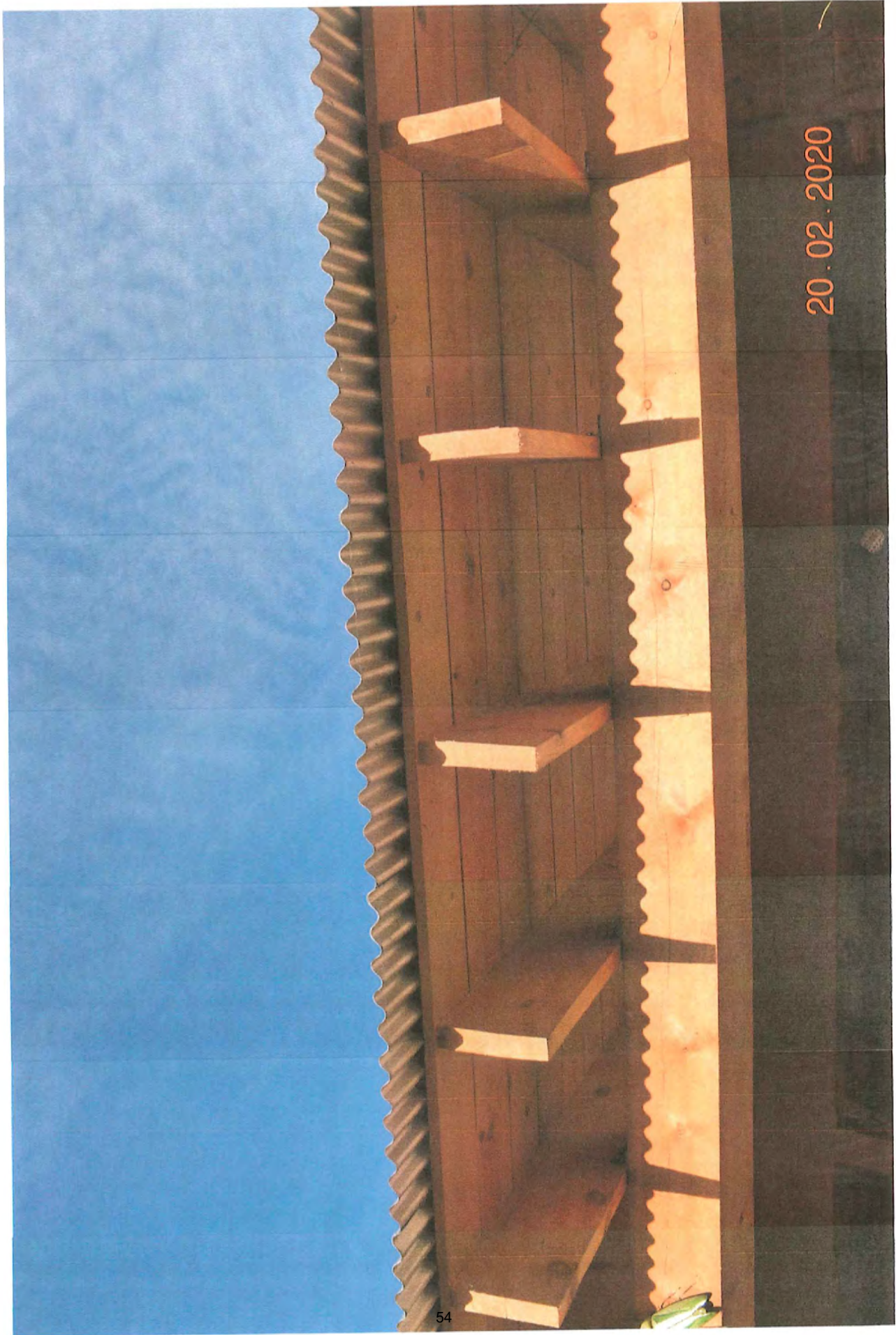
20.02.2020





20.02.2020





20.02.2020



**TOWN OF MESILLA  
ZONING APPROVAL**  
PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:  
Case # \_\_\_\_\_  
Fee \$ \_\_\_\_\_

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: \_\_\_\_\_ CODE: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

Steven Cadena (575) 800-9216  
Name of Applicant/Owner Applicant's Telephone Number

PO Box 489 Mesilla NM 88046  
Applicant's/Owner's Mailing Address City State Zip Code

saposc@msn.com  
Applicant's/Owner's E-mail Address

SELF  
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 2230 calle del sur

Description of Proposed Work: Beam and Rough Lumber porch around North, west, and south of House.

\$ 2000.00 Steven A Cadena 3/13/20  
Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: \_\_\_\_\_

**With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit.** Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

**FOR OFFICIAL USE ONLY**

**PZHAC**       Administrative Approval      **BOT**       Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_       Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_       Approved with Conditions  
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

- This Application will include the following, if checked:
1. \_\_\_\_\_ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **legally** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. \_\_\_\_\_ Site Plan with dimensions and details.
  3. \_\_\_\_\_ Proof of legal access to the property.
  4. \_\_\_\_\_ Drainage plan.
  5. \_\_\_\_\_ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
  6. \_\_\_\_\_ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  7. \_\_\_\_\_ Other information as necessary or required by the City Code or Community Development:



**BOT ACTION FORM**  
**ZONING PERMIT 061054**  
**[PZHAC REVIEW – 6/1/2020]**

**Items:**

**Case 061054**– 2581 Calle de Cura, submitted by Gary and Laura Ramsey; a request for a zoning permit to allow renovations to the interior as well as the replacement of windows and repair and repainting of the exterior of a dwelling at this address. Zoned: Historical Residential (HR)

The applicant is in the process of renovating the dwelling at this address. Proposed work will include substantial revisions to the interior of the structure as well as replacing the widows with more efficient windows and repairing and repainting the exterior stucco on the structure. Work to the interior typically is approved administratively and does not require PZHAC review. Since the exterior work involves changes to the windows, PZHAC review and BOT approval are required.

The applicant would like to replace all the windows on the dwelling with new windows that are in better condition and are more thermally efficient. The windows will be the same size as the original windows and will be similar in appearance (see attached elevations) to the existing windows. The existing windows are set in in metal frames throughout and are brown. The replacement windows will be similar, according to the applicant and will be painted “Enduring Bronze”, which is a color that is very similar to several colors in the color pallet that are acceptable for use as trim colors in Mesilla (see attached color chart). The stucco is to be painted in “Spar White”, which is also very similar to allowed colors in the color palette.

The structure is in the Historic Register (see attached) and appears to have been built around 1925. Attached are the Historical Registry worksheet and the description sheet for the structure which were submitted by the Town as part of the application for inclusion in the Historical Register in 1980 (see attached). The structure was described as being similar to its surroundings but not contributing architecturally to its surroundings. According to the Register, the structure does not have significance to the historical nature of the Town. The dwelling also appears to have had a moderate degree of remodeling since its construction, according to the Register.

**Consistency with the Code:** The PZHAC will need to determine that the proposed windows and door will be compatible with the style of the structure and the surrounding properties, and the proposed windows will be consistent with the following sections of the Code:

**Chapter 18.35 HR – Historical Residential Zone**

The windows could be compatible with the HR zoning of the property if the PZHAC determines that the replacement windows enhance the Historical nature of the dwelling.

**Chapter 18.33 – Historic Preservation**

**18.33.040 Declaration of purpose and statement of public policy.**

A. The board of trustees declares that the historical heritage of Mesilla and its historic buildings and its historic districts are among its most valued and important assets. The board finds that some buildings having historical, architectural, aesthetic and cultural value have been neglected, altered or destroyed notwithstanding the feasibility of preserving and continuing the use of such buildings and without adequate consideration of the irreplaceable loss to the public and the town. The board finds that the historic character of Mesilla is of vital importance in maintaining the economy of the town and that its historic landmarks and the buildings in its historic district can be preserved, rehabilitated and used. The board finds that this chapter benefits all the residents of Mesilla and all the owners of property.

**Estimated Cost: @ \$100,000.00**

**Findings that need to be made:**

- The PZHAC has jurisdiction to review and recommend approval of this request to the BOT.
- The proposed work consists of replacing windows on a dwelling at this address.
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

**PZHAC ACTION:**

*The PZHAC determined that enclosing the proposed porch would not be out of character with the historic requirements of the Code and voted 3 – 0 in favor with one abstention (Commissioner Nevarez) to recommend APPROVAL of this request to the BOT*

**BOT OPTIONS:**

1. Approve the application as recommended by the PZHAC.
2. Approve the application with conditions.
3. Reject the application.

**BOT ACTION:**

**PHOTO OF DWELLING FROM CALLE DE CURA**



# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select 5

Maps

Legend

### Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400504](#)  
Parcel Number: 4006138157107  
Owner: B & S RENTALS LLC  
Mail Address: 203 CAPRI ARC  
Subdivision: SOUTHWEST ADDITION  
TO MESILLA 201  
Property Address: 2581 CALLE DE  
CURA  
Acres: 0





- 333 This is a stuccoed frame house with false viga ends protruding just below the stepped parapet level. There are shed roofs over the front entries and double hung aluminum frame windows. est. 1971. (N)
- 334 This is a stuccoed frame house with a flat roof, stepped parapet, viga ends visible on the facade, and double hung aluminum frame windows. This new house fits in well with the neighborhood, 1980. (N)
- 335 This stuccoed residence with a low gabled roof has aluminum frame windows. est. 1965. (N)
- 336 This house is stuccoed, has aluminum frame windows, and a low gabled roof covered with asphalt shingles. est. 1960. (N)
- 337 This small house with unplastered adobe walls has a flat roof with parapet, canales, and wood frame windows. Local residents estimate this home to date from about 1900. (C)
- 338 This stuccoed house with aluminum frame windows has a hip roof covered with asphalt shingles. This has been the Michael Frietze residence for many years. est. 1930. (C)
- 339 This house was built for the Lucero family about 1930. It is a stuccoed adobe building with wood frame windows. It has a flat roof with parapet and a gabled hood protecting the front entrance. (C)
- 340 This is a stuccoed, concrete block apartment house with aluminum frame windows and an asphalt shingled roof. est. 1955. (N)
- 341 This stuccoed square-plan residence has a hipped roof with gablet and aluminum frame windows. est. 1940. (N)
- 342 This is a stuccoed frame duplex with a gabled roof hidden by high parapets. The building has double hung windows of aluminum frame. est. 1970. (N)
- 343 This is an impressive stuccoed adobe home, probably dating to the 1880's. It has a flat roof with parapet and tin canales. The wood frame windows vary in size and number of canales. The wood frame windows are spanned by rough timber lintels. There is an old back portal. est. 1890. (S)
- 344 A new residence keeping the Spanish/Pueblo Revival Style, this house has a stepped parapet and false vigas extending from the facade. This house does not detract from the surroundings. est. 1978. (N)
- 345 This stuccoed adobe residence has a flat roof, parapet, and wood frame windows. est. 1925. (C)
- This is a long, rectangular-plan adobe home with a slump block addition on the west end. This house has a flat roof, parapet, and aluminum sash windows. est. 1935. (N)

**RAMSEY RESIDENCE  
2581 CALLE DE CURA  
MESILLA, NM 88005**



# EXISTING CONDITIONS



**FRONT FACADE**



**WESTERN FACADE**



**EASTERN FACADE WILL REMAIN**

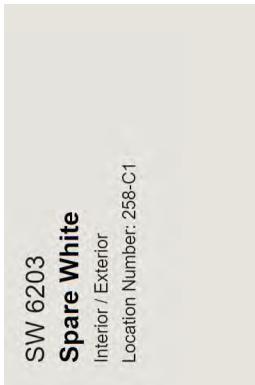
RAMSEY RESIDENCE

2581 CALLE DE CURA

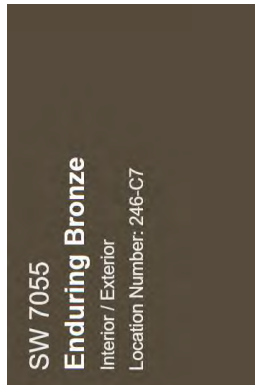
MESILLA, NM 88005



# PRELIMINARY EXTERIOR COLORS



## STUCCO COLOR



## FASCIA/ SOFFIT COLOR



## EXISTING ROOF TO REMAIN



## WINDOW TRIM from JELD-WEN Vinyl Window System

\*Colors are subject to change with product availability and will be in accordance with City of Mesilla Guidelines.

RAMSEY RESIDENCE

2581 CALLE DE CURA

MESILLA, NM 88005

# THANK YOU



**CHRISTINE  
HOWARD**  
DESIGNS

CHRISTINE HOWARD DESIGNS, LLC  
915.240.6008

[christinehowarddesigns.llc@gmail.com](mailto:christinehowarddesigns.llc@gmail.com)

CALLE DE CURA RESIDENTIAL REMODEL  
**RAMSEY FAMILY HOME**  
 2581 Calle de Cura Las Cruces, NM 88005

**BUILDING CODE DATA**

EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED, PERFORM THE WORK IN COMPLIANCE WITH ALL GOVERNING LAWS, CODES, ORDINANCES, RULES AND REGULATIONS HAVING JURISDICTION OVER THE PROJECT CONTACT GOVERNING AUTHORITIES DIRECTLY FOR NECESSARY INFORMATION AND DECISION HAVING BEARING ON THE PERFORMANCE OF THE WORK.

**LEGAL DESCRIPTION**

Parcel Number: 4-006-138-157-107  
 Legal Summary Subd: SOUTHWEST ADDITION TO MESILLA 201  
 Lot: 6 Block: N S. 36 T. 23S R. 1E BRM 11A TR 186A

**PROJECT DATA**

BUILDING CODE: 2018 IRC  
 BUILDING OCCUPANCY: RESIDENTIAL  
 ZONING CODE: R-3

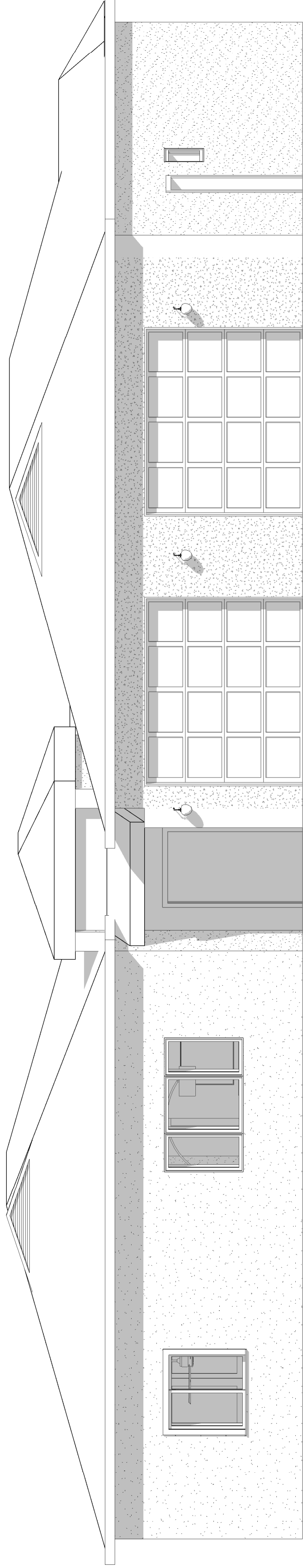
BUILDING SETBACKS:  
 FRONT YARD ..... 25'  
 REAR YARD ..... 5'  
 SIDE YARD 1 ..... 10'  
 SIDE YARD 2 ..... 3'

SQUARE FOOTAGE:  
 EXISTING LIVING AREA ..... 1689 S.F.  
 APPROXIMATE LIVING AREA AFTER REMODEL ..... 1833 S.F.  
 TOTAL CONSTRUCTION AREA ..... 2815 S.F.

**PROJECT GENERAL NOTES**

PROJECT GENERAL NOTES PROVIDE INFORMATION CONCERNING THE WORK OF THE ENTIRE PROJECT AND ARE NOT LIMITED TO ANY INDIVIDUAL DRAWING OR SHEET

- A. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL CODES, ORDINANCES AND REGULATIONS APPLICABLE AT PROJECT LOCATIONS. CONTRACTOR IS RESPONSIBLE FOR FILING AND SECURING ALL NECESSARY PERMITS, APPROVALS, ETC. FOR ALL TRADES.
- B. CONTRACTOR TO MAKE THE NECESSARY ARRANGEMENTS WITH THE OWNER TO VISIT THE SIDE PRIOR TO SUBMITTING A PROPOSAL. EXAMINE THE EXISTING SITE AND FACILITIES. FIELD VERIFY ALL CONDITIONS. SUBMISSION OF A PROPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR HAS TO SIGHTLY INSPECT THE WORK AND MAKE HIM OR HERSELF FAMILIAR WITH AND UNDERSTANDS THE REQUIRED SCOPE OF WORK.
- C. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR KEEPING AHEAD OF CONSTRUCTION PROGRESS, AND WHERE DELAYS HAVE OCCURRED DUE TO CONTRACTORS FAULT, MAKE UP THE LOTS TIME AT HIS OWN EXPENSE AS NECESSARY TO MAINTAIN THE CONTRACT SCHEDULE.
- D. ACTUAL FIELD VARIANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR HIS CONSIDERATION BEFORE PROCEEDING WITH WORK.
- E. ALL DIMENSIONS ARE NOMINAL AND REQUIRE FIELD VERIFICATION AND COORDINATION. DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF GYPSUM BOARD OR FACE OF CMU.
- F. GENERAL DATA SHOWN ON ONE PART OF THE DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS.
- G. CONTRACTOR SHALL TAKE PRECAUTIONS AS NECESSARY TO PROTECT NEW AND EXISTING UTILITY LINES AND EXISTING CONSTRUCTION.
- H. CONTRACTOR SHALL ESTABLISH CONTROL LINES AND POINTS. THESE CONTROLS SHALL BE MAINTAINED THROUGH THE USE OF BATTER BARDS, STRING LINES, CHALK LINES, LASERS OR OTHER METHODS TO ENABLE INSTALLERS TO DEFINE THEIR WORK.
- I. ALL WORK IS TO CONFORM WITH DRAWINGS. DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION.
- J. REPORT ALL DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- K. FINAL WATER HEATER LOCATION TO BE COORDINATED WITH OWNER UPON SELECTION OF UNIT.
- L. ALL TEMPORARY UTILITIES PAID BY CONTRACTOR.
- M. CONTRACTOR WILL COORDINATE THE PHASING OF THE WORK WITH THE OWNER/DESIGNER PRIOR TO BEGINNING THE WORK.



**CHRISTINE HOWARD DESIGNS, LLC**  
 2808 Davis Tower Cir.  
 915 240 6008  
 christinehowarddesignsllc@gmail.com

**RAMSEY HOME**  
 RESIDENTIAL INTERIOR REMODEL  
 2581 Calle de Cura  
 Mesilla, NM 88005

Architect Seal:  
 Date: MAY 5, 2020  
 Revised: FOR REVIEW ONLY  
 Project No. 20-01  
 Title: COVER

Sheet No. GA  
 Sheet Of X



# DEMOLITION LEGEND

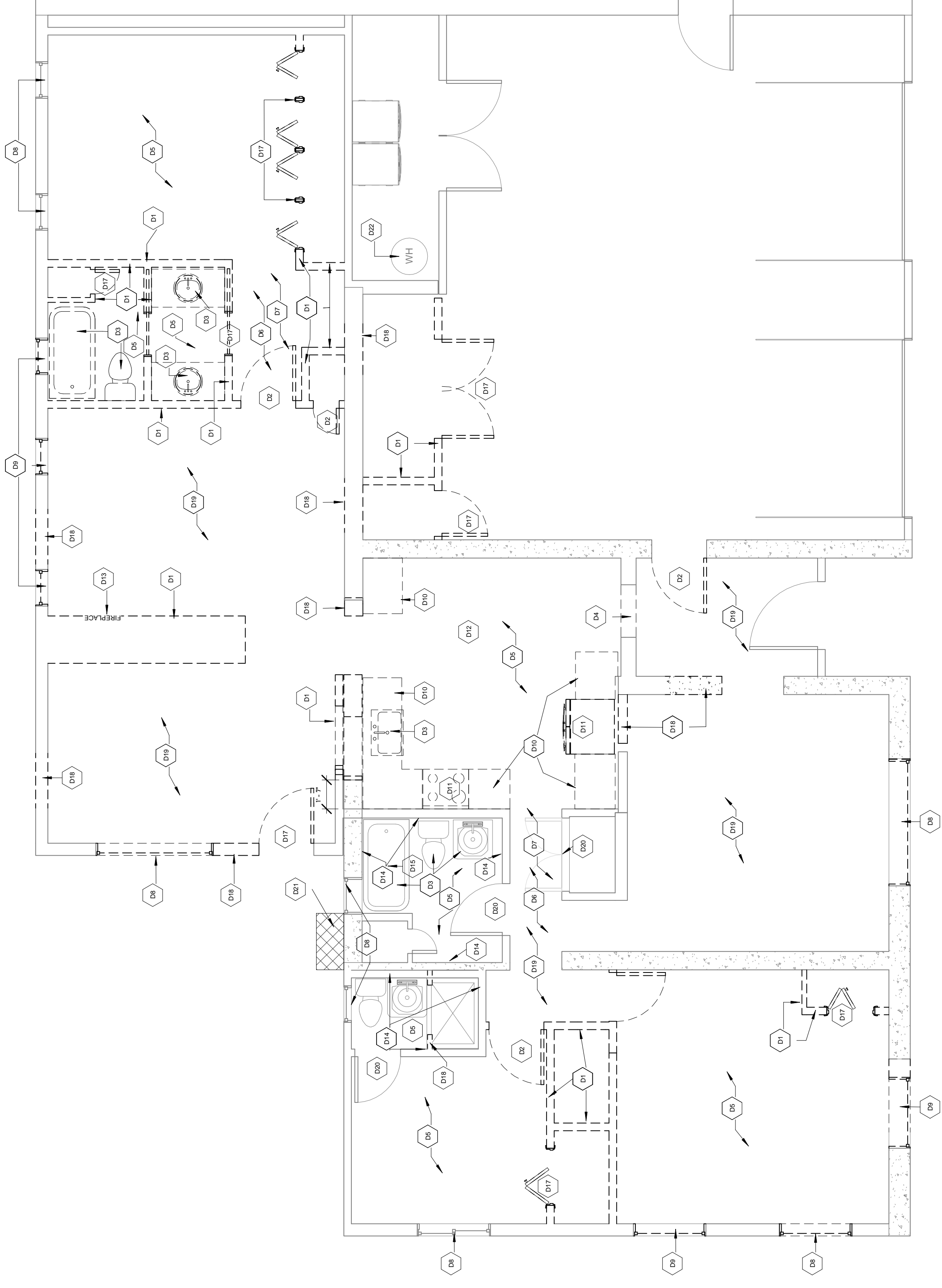
EXISTING TO REMAIN

EXISTING TO REMOVE

DASHED LINES INDICATES ITEMS TO BE REMOVED IN THEIR ENTIRETY. ITEMS NOT NOTED TO GENERALLY DESCRIBE EXISTING CONSTRUCTION ONLY AND ARE NOT INTENDED TO LIMIT EXTENT OF DEMOLITION. REMOVE ALL ITEMS LOCATED WITHIN PRIMARY PROJECT LIMITS EXCEPT AS INDICATED TO REMAIN, INCLUDING TREES, SHRUBS, WALLS, SLABS, POLES, ETC. NOTES SHALL BE CONSIDERED TYPICAL UNLESS INDICATED TO BE ABANDONED OR OTHERWISE DESCRIBED. UTILITY SERVICES ARE TO BE REMOVED BACK TO SOURCE VALVE AT THE PROPERTY DISCONNECT. CAP UTILITY AS REQUIRED BY UTILITY COMPANY CODE OR OWNER INDICATED PLAN AND ELEVATION LOCATION ON RECORD DRAWINGS.

## DEMOLITION GENERAL NOTES

- A. DISCONNECT UTILITIES PRIOR TO ANY DEMOLITION OR EXCAVATION. COORDINATE WITH REGULATING AUTHORITIES AND APPROPRIATE UTILITY COMPANIES ONLY IF REQUIRED.
- B. ANY DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION AND EQUIPMENT SHOULD BE COORDINATED WITH IMPROVEMENT PLAN.
- C. ALL ITEMS SHOWN OR SCHEDULED TO BE DEMOLISHED AND REMOVED ARE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.
- D. COORDINATE DEMOLITION OF EXISTING CONSTRUCTION WITH PLUMBING, ELECTRICAL, AND CIVIL DEMOLITION PLANS. IF THERE ARE DISCREPANCIES, NOTIFY THE DESIGNER IMMEDIATELY.
- E. PROVIDE AND MAINTAIN TEMPORARY PROTECTION OF EXISTING STRUCTURE AS REQUIRED. PERFORM DEMOLITION REQUIRED WITH CARE AND SAFETY OF PERSONNEL, PUBLIC, AND PROPERTY. PROVIDE ADEQUATE SHORING BRACING AND SUPPORT OF EXISTING AND NEW CONSTRUCTION AT ALL TIMES.
- F. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL PRECAUTIONS SUCH AS EXPLORATIONS OR PROBES NECESSARY BEFORE DEMOLITION.
- G. KEEP CONSTRUCTION SITE FREE OF ACCUMULATION DEBRIS AND RUBBISH. THERE WILL BE NO STOCKPILING OF MATERIALS.
- H. IMMEDIATELY NOTIFY THE OWNER/DESIGNER OF ANY DISCREPANCIES FOR CLARIFICATION BEFORE CONTINUING WORK.
- I. REMOVE EXISTING DUCTWORK AND FURR DOWNS. CLEAN AND PREPARE AREAS TO RECEIVE NEW WORK.
- J. REMOVE ANY TEXTURE OR DECORATIVE MOLDING FROM CEILINGS.
- K. INTENT OF DEMOLITION IS TO PREPARE EXISTING BUILDING FOR NEW IMPROVEMENTS. CONTRACTOR SHOULD EXECUTE ALL DEMOLITION WITH CARE. ANY AREAS DAMAGED AND NOT SCHEDULED TO BE DEMOLISHED WILL BE REPAIRED AT NO ADDITIONAL COST.



1 FLOOR PLAN- DEMO  
1/4" = 1'-0"

Key Value	Keynote Text
D1	REMOVE EXISTING WALL. CLEAN AND PREPARE AREA TO RECEIVE NEW CONSTRUCTION
D2	REMOVE EXISTING DOOR AND SALVAGE BACK TO OWNER. INCLUDE FRAME AND ALL ASSOCIATED EQUIPMENT AS REQUIRED.
D3	REMOVE EXISTING PLUMBING FIXTURES. ALL ASSOCIATED EQUIPMENT AS REQUIRED
D4	REMOVE EXISTING OPENING FRAME. ALL ASSOCIATED EQUIPMENT. CLEAN AND PREPARE AREA TO RECEIVE NEW CONSTRUCTION
D5	REMOVE EXISTING FLOORING FINISHES AND ADHESIVES IN ITS ENTIRETY AND PREPARE AREA TO RECEIVE NEW WORK
D6	REMOVE EXISTING CEILING
D7	REMOVE EXISTING DUCT WORK AND RELOCATE TO CRAWL SPACE. COORDINATE WITH HVAC SPECIALIST.
D8	REMOVE EXISTING WINDOW. CLEAN AND PREPARE AREA FOR NEW WINDOW
D9	REMOVE EXISTING WINDOW. CLEAN AND PREPARE AREA FOR NEW CONSTRUCTION
D10	REMOVE EXISTING MILLWORK IN ITS ENTIRETY
D11	REMOVE EXISTING APPLIANCES AND SALVAGE BACK TO OWNER
D12	REMOVE AND REPLACE EXISTING SKYLIGHT WITH NEW LIGHT TUNNEL
D13	REMOVE FIRE PLACE IN ITS ENTIRETY
D14	REMOVE TILE FROM WALLS. CLEAN AND PREPARE AREA FOR NEW TILE
D15	REMOVE SOFFIT ABOVE SHOWER
D17	REMOVE EXISTING DOOR AND PREPARE AREA TO RECEIVE NEW CONSTRUCTION
D18	REMOVE EXISTING PORTION OF WALL. CLEAN AND PREPARE AREA TO RECEIVE NEW CONSTRUCTION
D19	CLEAN AND PREPARE EXISTING FLOORING FOR NEW FLOORING FINISH
D20	REMOVE DOOR DURING CONSTRUCTION. CLEAN AND PREP FOR PAINT
D21	REMOVE EXISTING WATER HEATER AND ADJOINING HALF WALL. CLEAN AND PREP FOR STUCCO AND PAINT
D22	REMOVE EXISTING WATER HEATER AND HVAC UNIT. PREPARE FOR NEW TANKLESS UNIT

**FINISH NOTES**

1. ALL PAINTS AND WALL COVERINGS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS FOR THE PARTICULAR SURFACE.
2. SAMPLES OF FINISH COLORS SHALL BE FIELD APPLIED FOR APPROVAL OF OWNER/DESIGNER PRIOR TO COMMENCEMENT OF WORK.
3. ALL WALLS AND CEILINGS SHALL BE PROPERLY SPACKLED, SANDED, AND PRIMED FOR PAINTING AND WALL COVERING.
4. FLOOR MATERIAL TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR UNLESS NOTED OTHERWISE.
5. CONTRACTOR SHALL COORDINATED FINISHES WITH INTERIOR ELEVATIONS AND OWNER/DESIGNER.
6. TILE INSTALLATION: CONTRACTOR SHALL LAYOUT FLOOR, BASE, AND REVIEW WITH DESIGNER PRIOR TO INSTALLATION.
7. FINISH EXPOSED EDGES OF PORCELAIN TILE WITH SEALER.
8. BASEBOARDS AND TRIM TO BE DETERMINED BY OWNER/DESIGNER, INSTALLED BY CONTRACTOR.

**GENERAL NOTES**

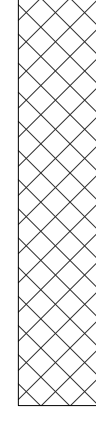
1. ALL FIXTURES & ACCESSORIES SHALL BE SELECTED AND APPROVED BY OWNER/DESIGNER.
2. TEXTURE ALL INTERIOR WALLS AND PAINT TO BE SELECTED BY OWNER.
3. PROVIDE R-30 INSULATION IN ROOF.
4. PROVIDE R-15 INSULATION ON EXTERIOR WALLS.

**NOTES:**

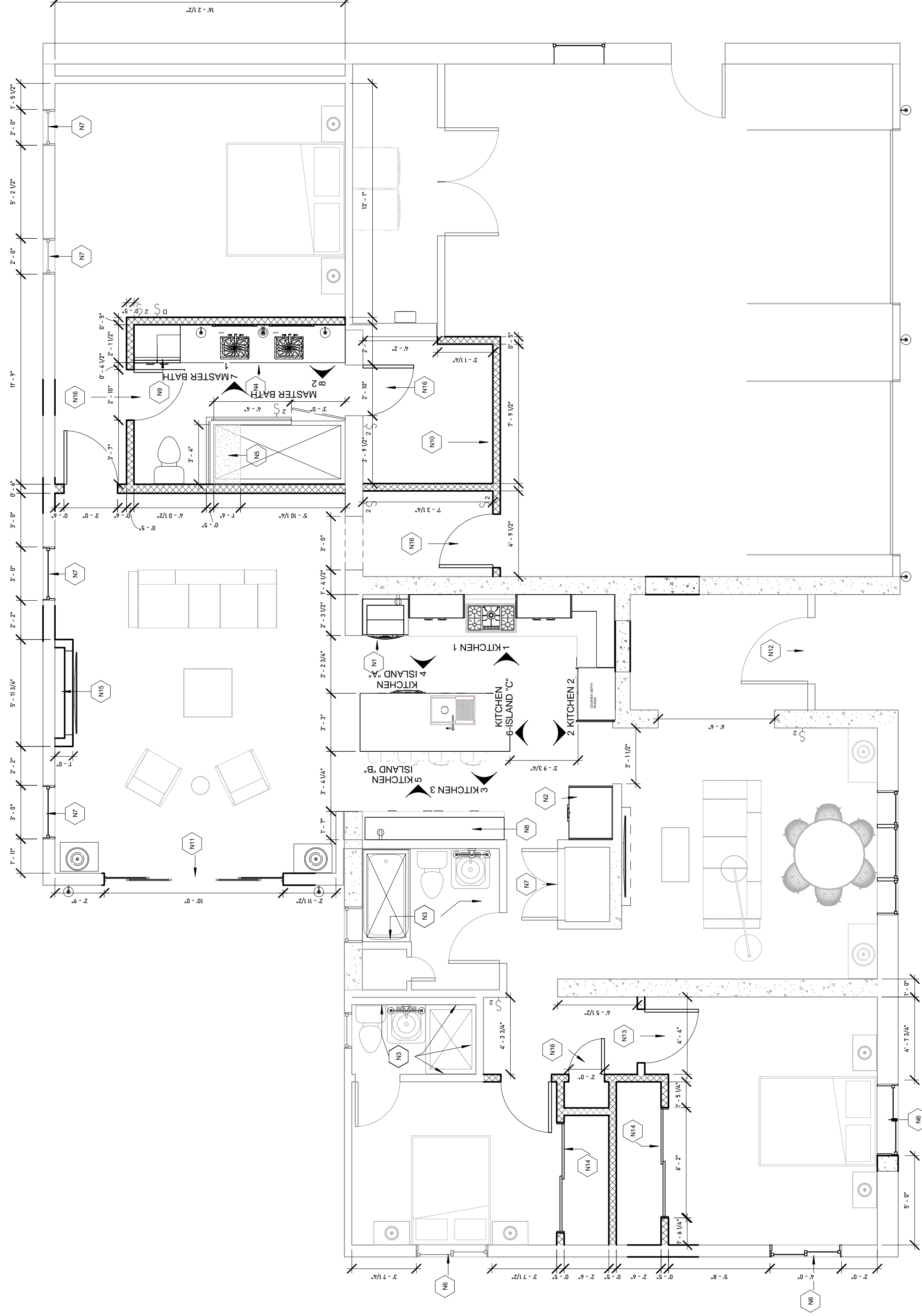
1. ALL WALL RECEIVING PLUMBING FIXTURES TO BE 2X6 @ 16" O.C.
2. ALL WINDOWS SHALL BE DOUBLE PANE LOW-E

Key Value	Keynote Text
N1	BUILT IN WALL OVEN AND MICROWAVE
N2	PANTRY
N3	NEW WALL TILE
N4	NEW CUSTOM VANITY CABINET
N5	SHOWER BENCH- 18"H
N6	REPLACE WITH NEW WINDOW (48"Hx48"W; sill height 36")
N7	REPLACE DOOR
N8	FLOATING SHELVES
N9	LAUNDRY BASKET SPACE
N10	CLOSET TO BE DESIGNED BY OWNER, INSTALLED BY CONTRACTOR
N11	NEW SLIDING DOOR BY OWNER/DESIGNER AND MANUFACTURER
N12	NEW FRONT DOOR
N13	NEW BEDROOM DOOR 36"X84"
N14	NEW SLIDING CLOSET DOOR
N15	NEW ENTERTAINMENT WALL
N16	NEW DOOR TO BE PURCHASED BY OWNER, INSTALLED BY CONTRACTOR

**WALL LEGEND**








NEW WALL CONSTRUCTION



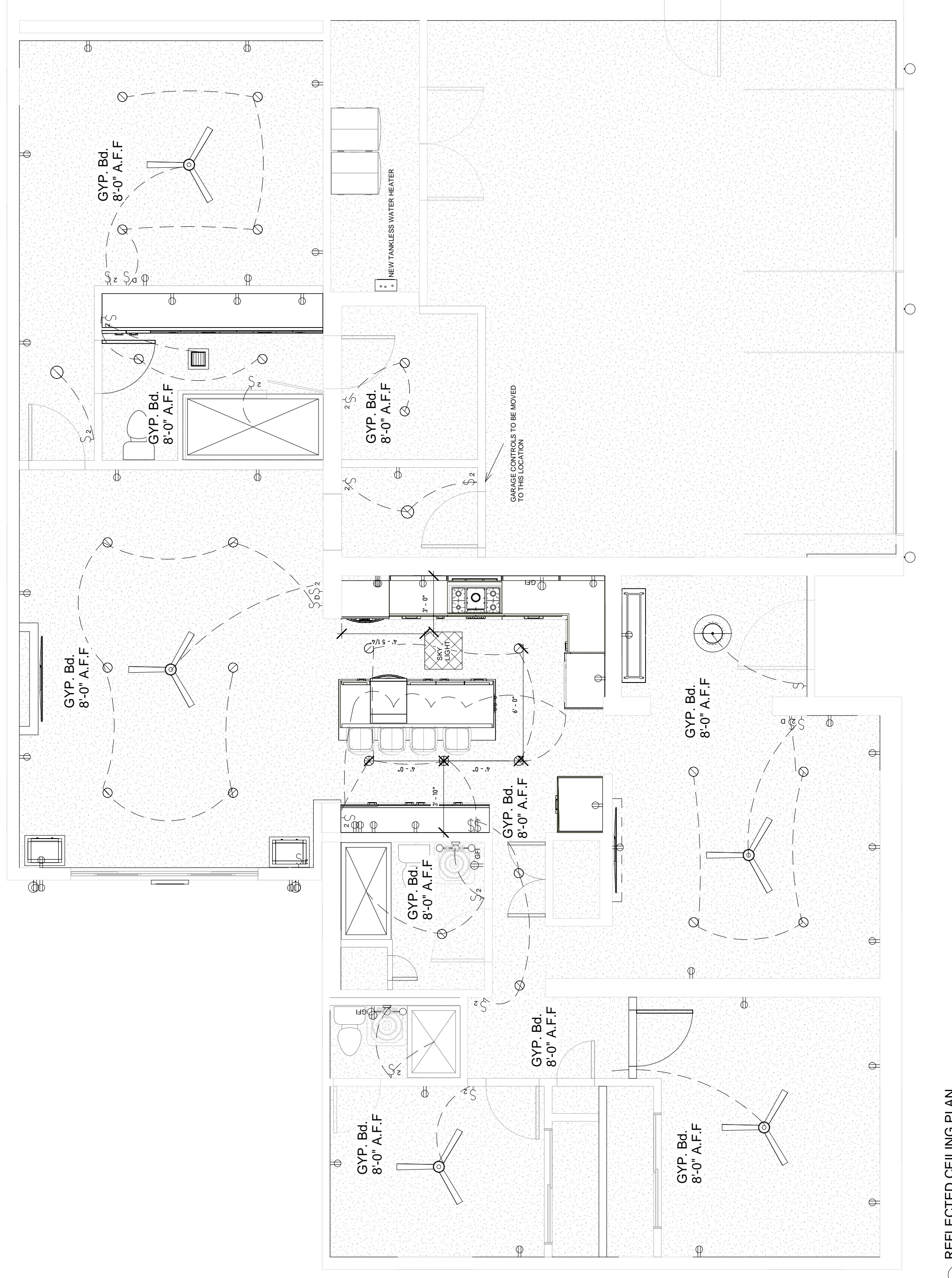
1 FLOOR PLAN- NEW  
1/4" = 1'-0"



**LIGHTING AND ELECTRICAL LEGEND**

-  BATHROOM SCONCE
-  6" CAN LIGHTING 120V
-  8" CAN LIGHTING 120V
-  PENDANT LIGHT
-  FLUSHMOUNT LIGHT
-  VANITY LIGHT
-  CEILING FAN
-  DIMMER SWITCH
-  LIGHT SWITCH
-  GFI SWITCH
-  OUTLET TO FIT NEED-DUPLEX

- NOTES:**
- HARDWIRED SMOKE/CO2 DETECTOR TO BE INSTALLED BY CONTRACTOR
  - NEW HVAC UNIT FOR MASTER BEDROOM/BATH BY CONTRACTOR
  - NEW 24"X24" SKYLIGHT IN KITCHEN INSTALLED BY CONTRACTOR
  - UNDERCOUNTER LIGHTING TBD BY OWNER/INSTALLED BY CONTRACTOR
  - NEW TANKLESS WATER HEATER INSTALLED BY CONTRACTOR
  - CEILING FANS BY OWNER/DESIGNER INSTALLED BY CONTRACTOR
  - ALL CEILING FANS MUST BE CENTERED
  - LIGHT FIXTURES BY OWNER/DESIGNER INSTALLED BY CONTRACTOR
  - CABLE HOOKUPS TO BE DETERMINED BY OWNER PREPARED BY CONTRACTOR



1 REFLECTED CEILING PLAN  
1/4" = 1'-0"





CHRISTINE HOWARD  
DESIGNS  
INTERIOR DESIGN

CHRISTINE HOWARD  
DESIGNS, LLC  
2888 DAVIS TOWER CR.  
RTE 1910 HWY 202 S.W.  
915.240.6008  
christinehowarddesignsllc@gmail.com

RESIDENTIAL INTERIOR REMODEL  
RAMSEY HOME  
Mesilla, NM 88005  
2581 Calle de Cura

Architect: Ssbl

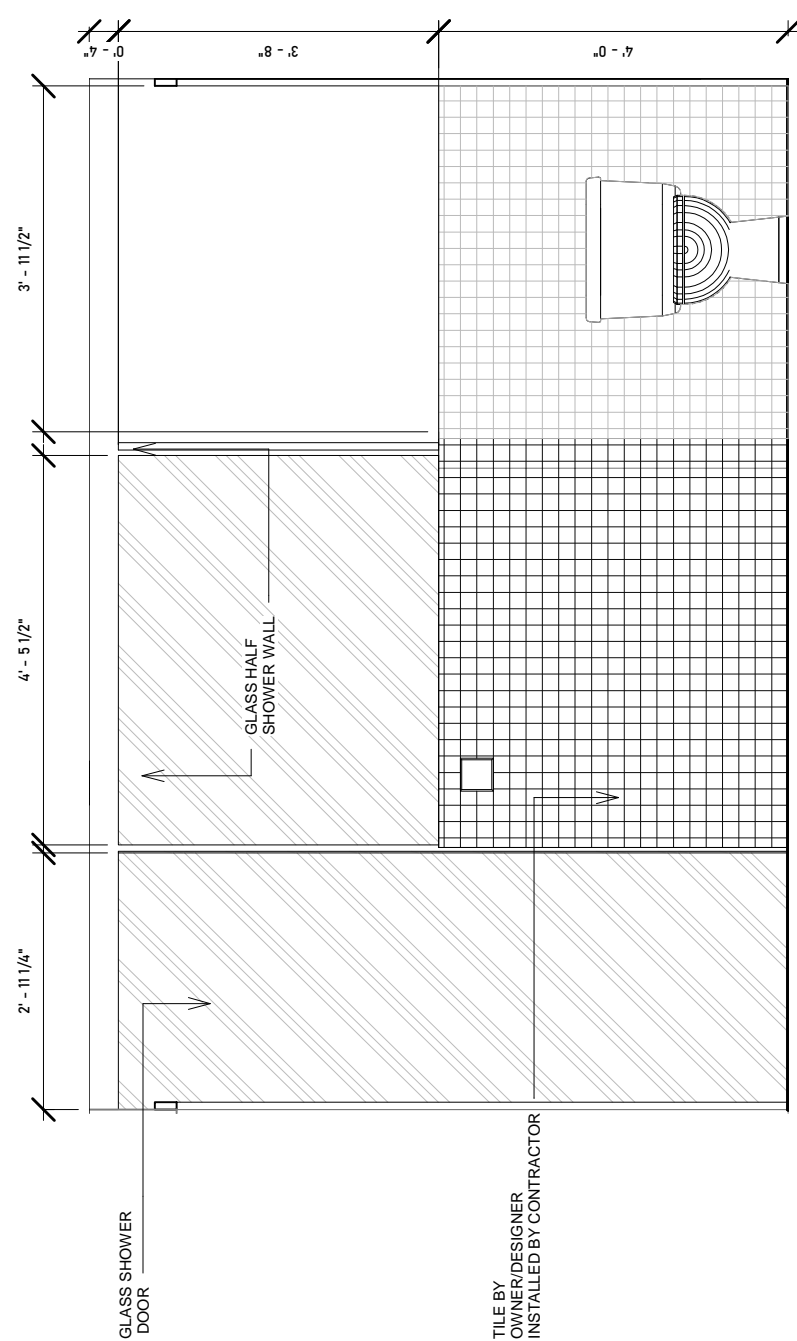
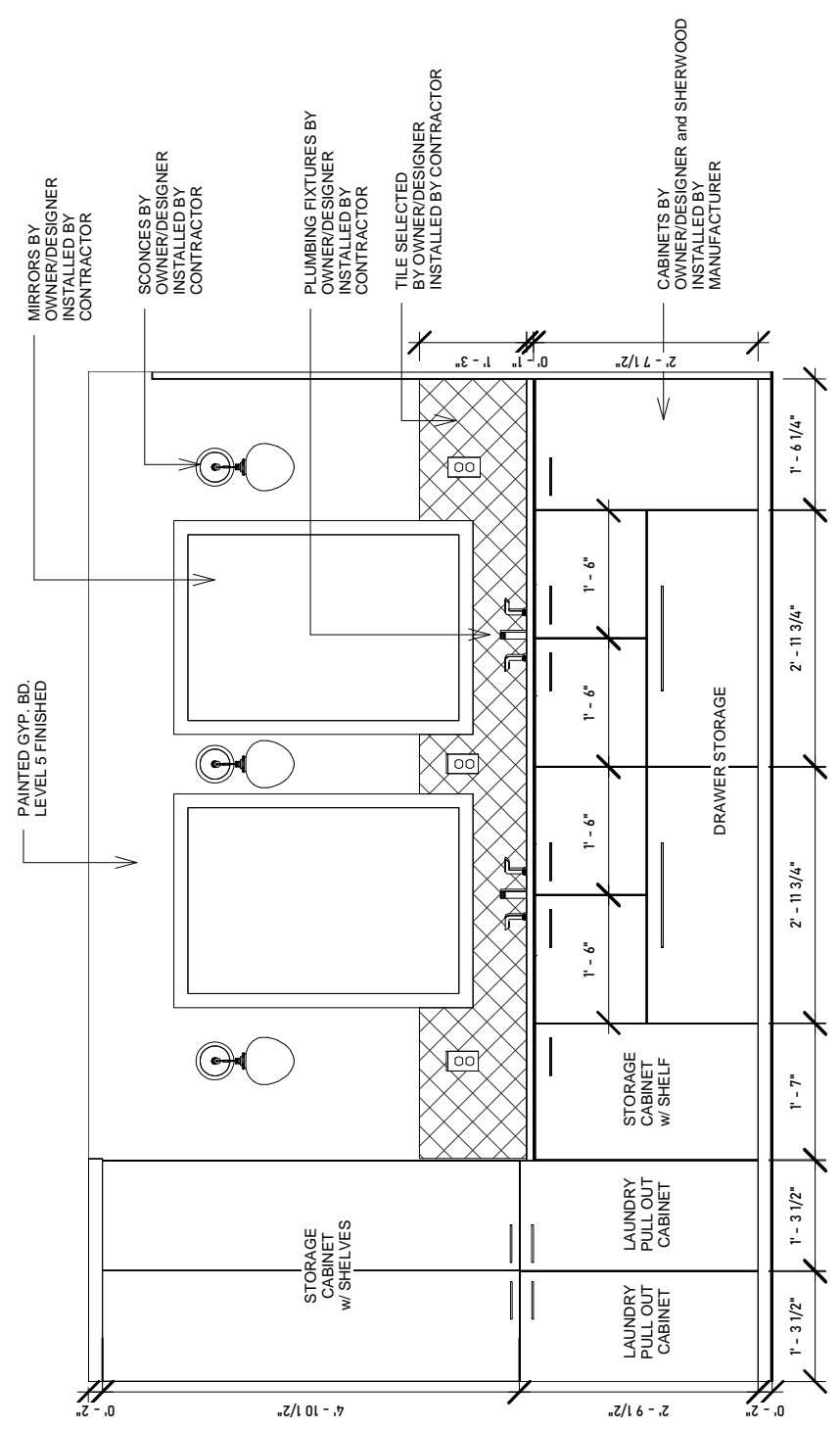
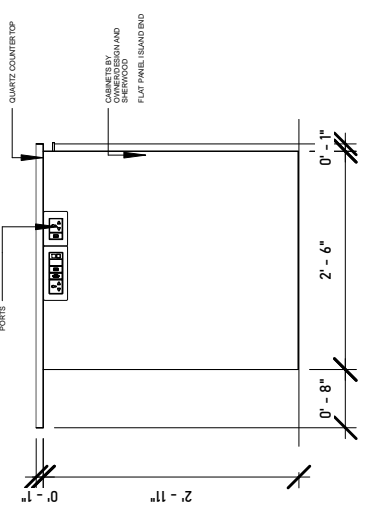
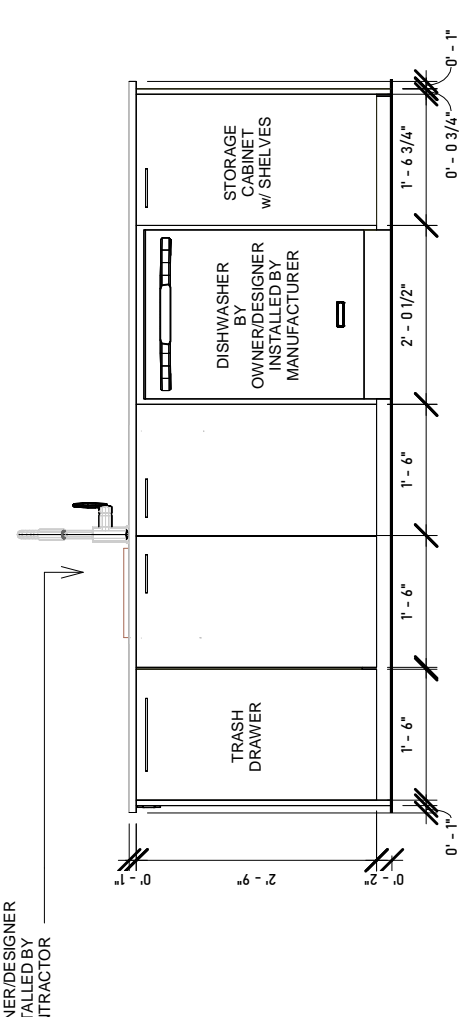
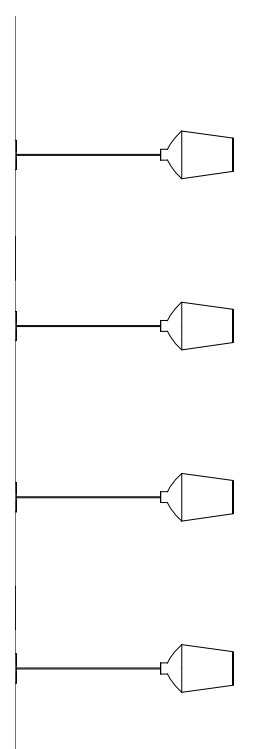
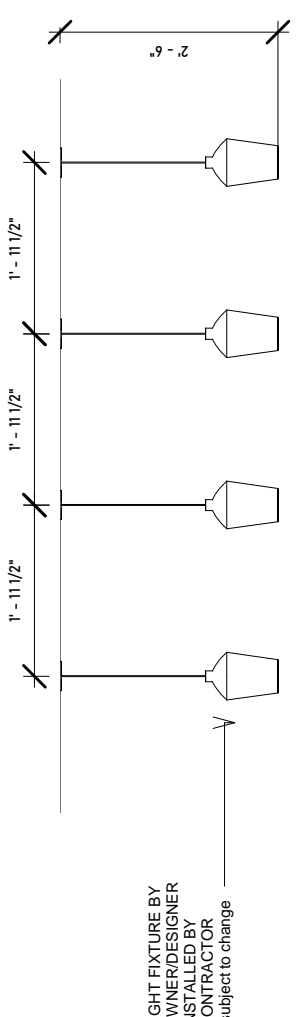
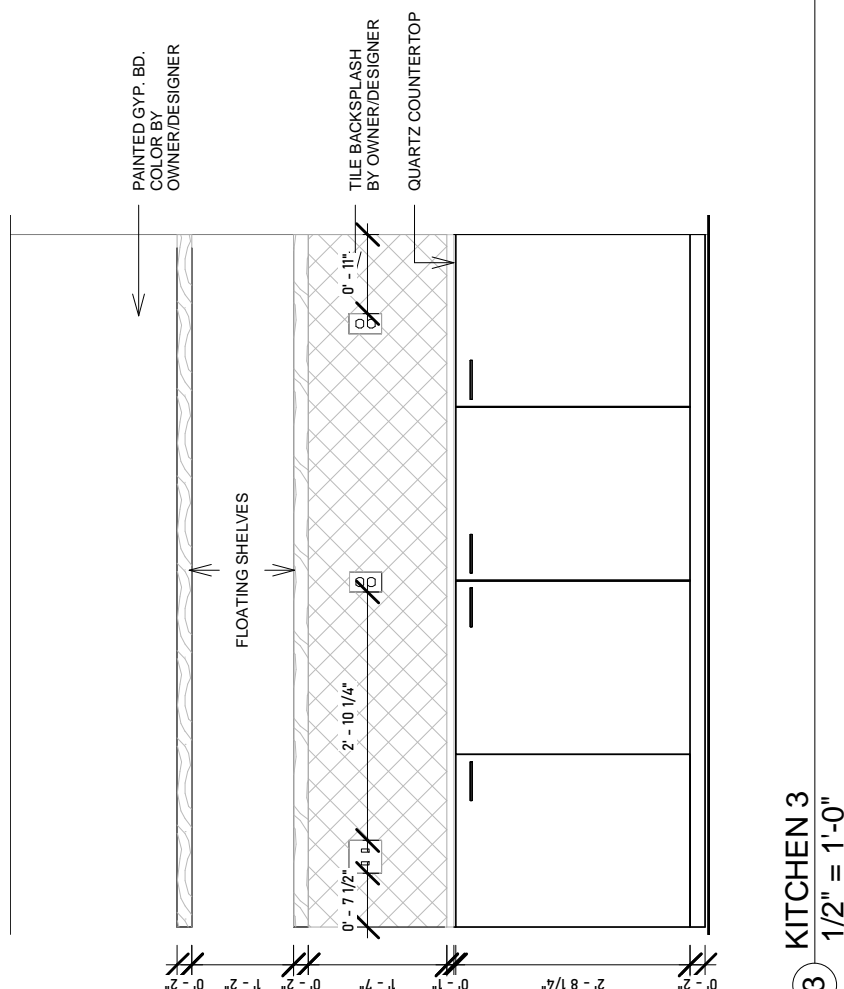
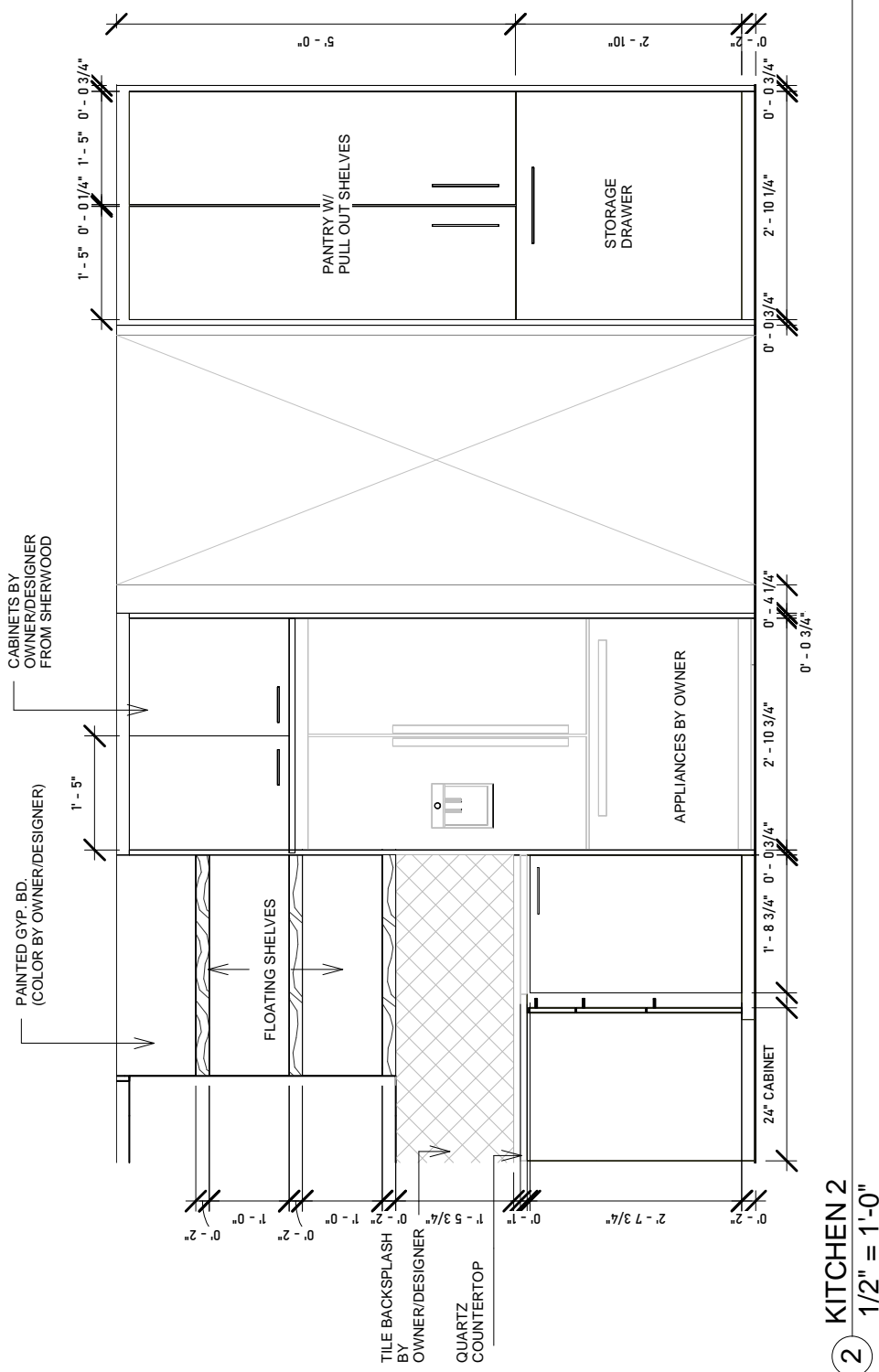
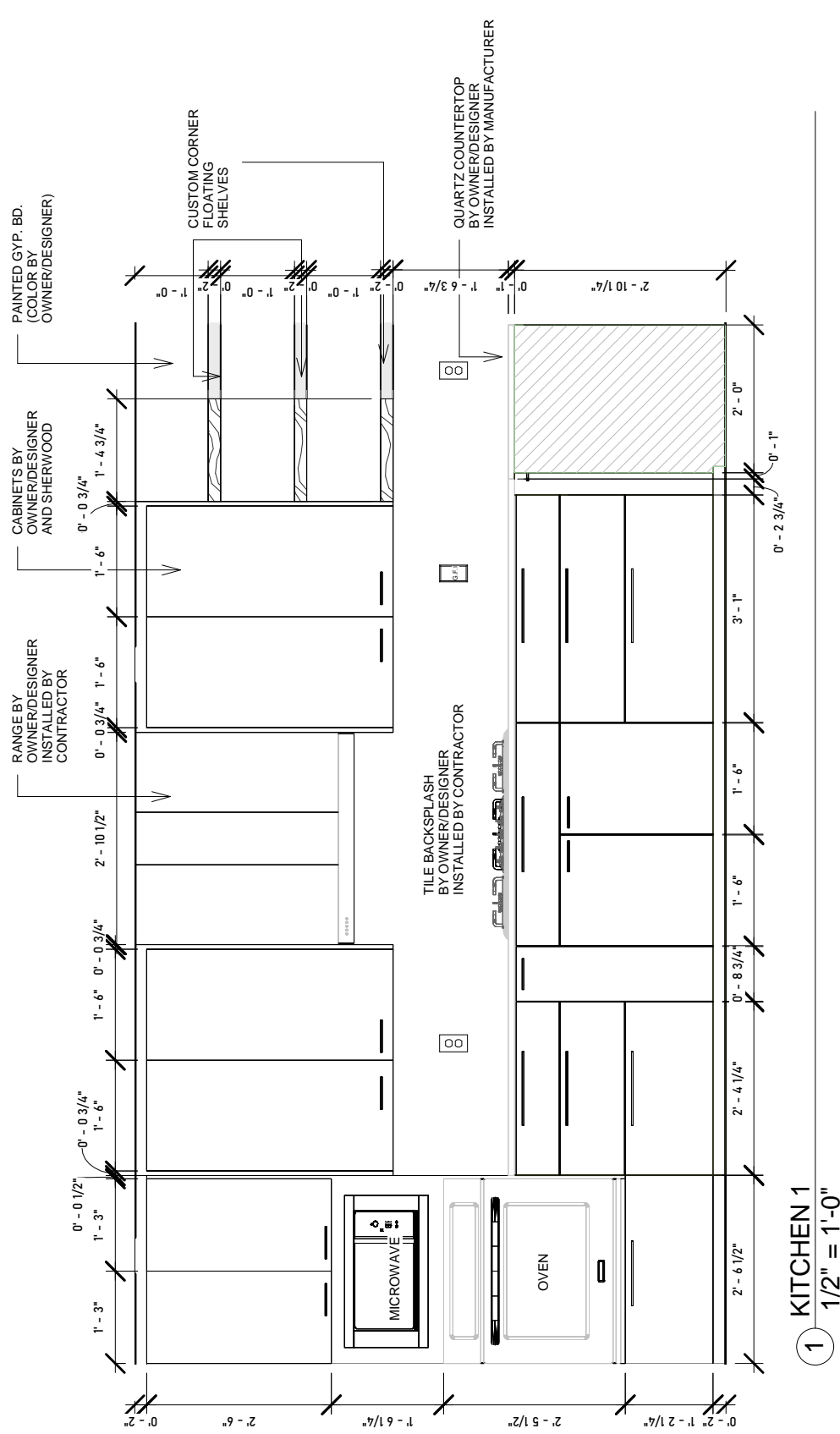
Date: MAY 5, 2020  
Revised: FOR REVIEW ONLY  
Project No: 20-01

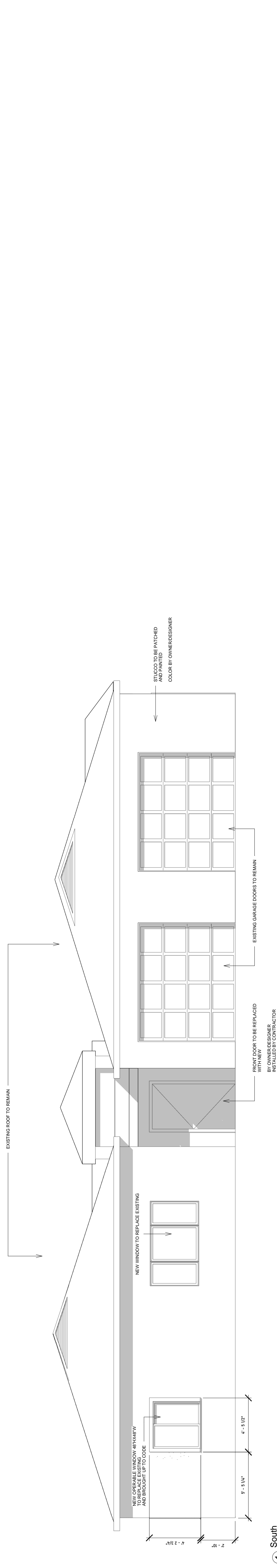
Title: INTERIOR ELEVATIONS

Sheet No.

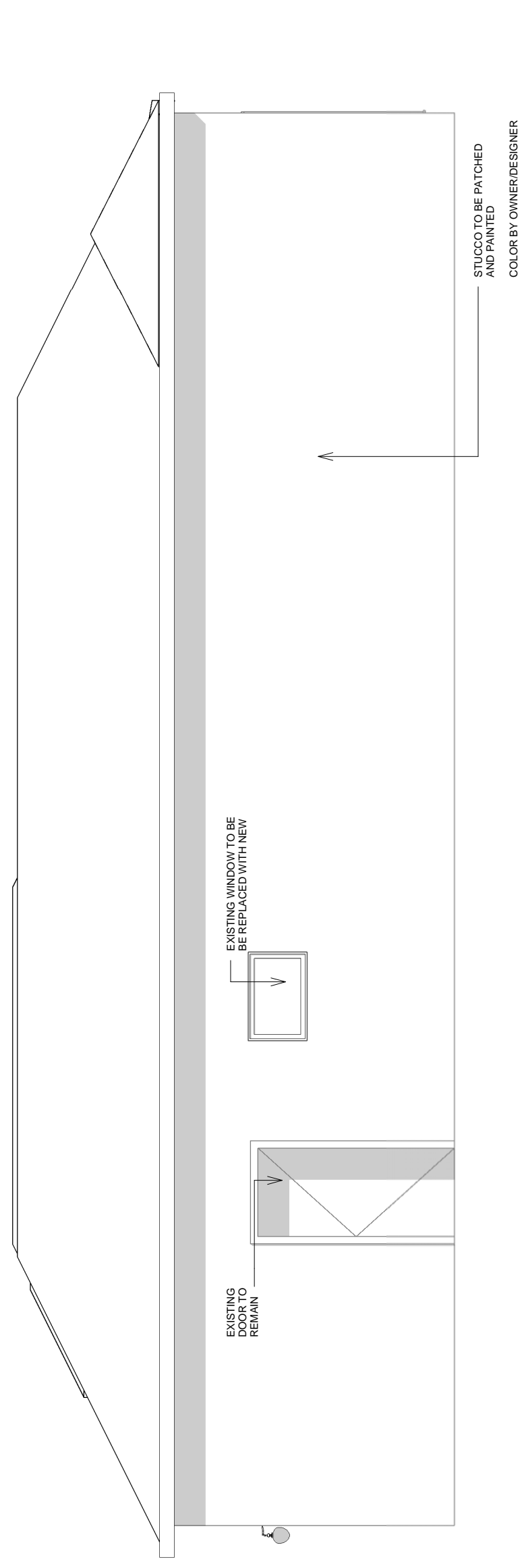
A4

Sheet Of X

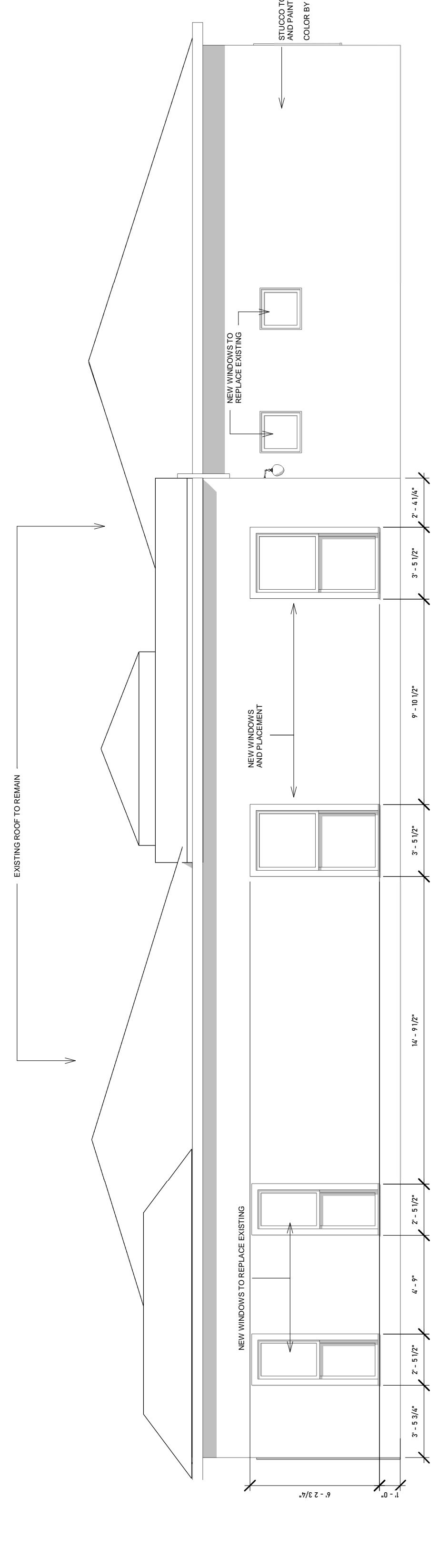




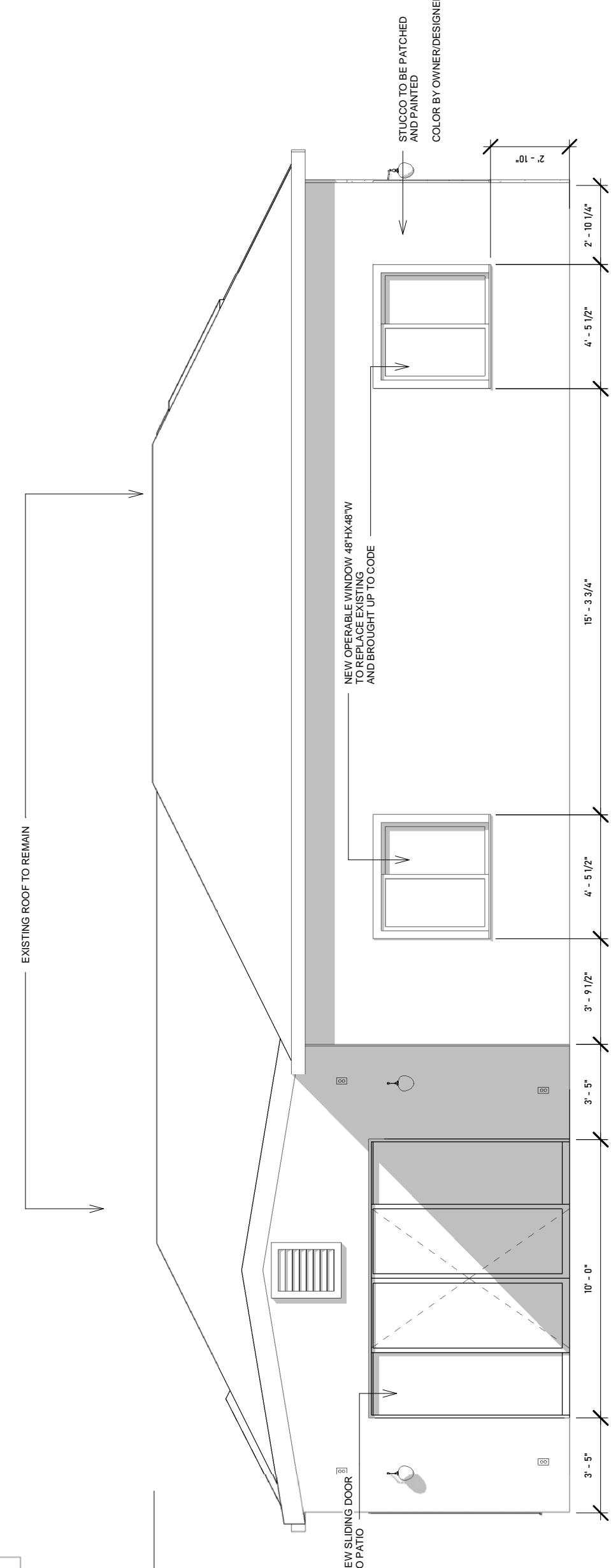
① South  
1/4" = 1'-0"



② East  
1/4" = 1'-0"



③ North  
1/4" = 1'-0"



④ West  
1/4" = 1'-0"



TOWN OF MESILLA  
PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 061054

Fee \$ 160.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061054 ZONE: ARR CODE: ACM APPLICATION DATE: 5/28/20

GARY & LAURA - Linn RAMSEY (G) 575 649 1489 575 649 0045(L)

Name of Applicant/Owner Applicant's Telephone Number

3514 CHACOMA CT. LAS CRUCES NM 88012

Applicant's/Owner's Mailing Address City State Zip Code

GARY.RAMSEY2@YAHOO.COM, LDL RAMSEY@COMCAST.NET

Applicant's/Owner's E-mail Address

Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2581 CALLE de CURA

Description of Proposed Work: REMODEL INTERIOR OF THE HOME, UPGRADE WINDOWS, REPAIR STUCCO AND PAINT EXTERIOR OF THE HOME CONSTRUCTION PLAN (PDF) TO FOLLOW

\$100,000.00  
Estimated Cost

Gary Ramsey / Laura Linn Ramsey MAY 19, 2020  
Signature of Applicant Date

Signature of property owner if applicant is not the property owner:

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: \_\_\_ YES  NO \_\_\_ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED:  YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

This Application will include the following, if checked:

1.  Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2.  Site Plan with dimensions and details.
3.  Proof of legal access to the property.
4.  Drainage plan.
5.  Architectural style and color scheme - diagrams or elevations (Historical and commercial zones only).
6.  Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7.  Other information as necessary or required by the City Code or Community Development:



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**ORDINANCE 2020-02 Chapter 18.35**

**H-R – HISTORICAL RESIDENTIAL ZONE**

Be it ordained by the Town of Mesilla that:

**Section 1:**

Sections:

- 18.35.010 Purpose.
- 18.35.020 Uses permitted.
- 18.35.030 Exterior appearance.
- 18.35.040 Development Standards

**18.35.010 Purpose.**

The purpose of this zone is to provide for the protection of those residential sections of the town that are worth preserving because of historical, cultural and aesthetic or architectural interest. All remodeling or new structures must be compatible with established architectural styles and design elements as outlined in Chapter 18.33 (Historic Preservation) MTC. [Ord. 94-06 § 1; prior code § 11-2-11.4.A]

**18.35.020 Uses permitted.**

Uses permitted in the H-R zone are as follows:

Single family and multiple-family residences and related uses approved by the commission upon application and approval of a “development plan” in accordance with Sections 18.33 (Historic Preservation) and 18.35 (Historic Residential Development Standards) MTC and the Comprehensive Land Use Ordinance for the Town. [Ord. 94-06 § 1; prior code § 11-2-11.4.B]

**18.35.030 Exterior appearance.**

An application for a permit which would authorize construction, modification, moving or destruction, use or function which would affect the exterior appearance of any structure or sign must first reviewed and approved by the PZHAC for compliance with Chapter 18.33 (Historic Preservation) MTC, and receive final approval by the Board of Trustees. [Ord. 94-06 § 1; prior code § 11-2-11.4.C]

**18.35.040 Development standards.**

A. Lot Area. Each lot or parcel to be developed in the H-R zone shall have a minimum of 80 feet of frontage on a public street and a minimum of 8,000 square feet of area.

B. Population Density. When lots or parcels in the H-R zone are to be developed to single-family or multiple single-family dwellings, each lot or parcel shall have sufficient area to provide 8,000 square feet of area for each family unit to be built. The maximum number of dwellings allowed on any property shall be two providing density and parking requirements are met. A maximum of 40% impervious and 60% pervious shall be required unless otherwise noted by the development zone requirements of Chapter 18.33 (Historic Preservation) MTC.

C. New Construction. New structures and modifications to existing structures may be built in this zone providing the exterior appearance of the structure is approved by the PZHAC for compliance with Chapter 18.33 (Historic Preservation) MTC and the Comprehensive Land Use Ordinance for the Town, with final approval by the BOT. [Ord. 94-06 § 1; prior code § 11-2-11.4.D]

1. New structures on properties containing existing structures shall be architecturally similar to the principal dwelling or structure on the property and shall not exceed the height or size of the principal dwelling or structure on the property. 2. If a property is undeveloped, any new structure shall be architecturally similar to the dwellings or structures in the development zone immediately adjacent to the property and shall not exceed 15 feet including parapet, whichever is lower. The height of chimneys is to meet building code, but not be higher than 17 feet.

D. Yards. For all new buildings, front, side and rear yard must be at least seven feet.

1. Any repairs of structures that have been legally built on a property line, or new construction of fences shall require a “right-of-entry” agreement signed by all property owners of all applicable properties for construction and maintenance that is recorded in Dona Ana County records and filed with the town clerk; and

2. This document must be acquired prior to planning, zoning, and historical appropriateness commission approval; and

3. This document shall be permanent and remain with all properties regardless of ownership; and

4. In the event that a mutual agreement cannot be acquired, the applicant may:

a. Meet the required setback of seven feet,

E. Utilities. All new installations of utility lines shall be underground unless a utility service provider demonstrates the inability to provide service.

F. Flagpole Lots (existing). Lots substandard of 80’ fronts.

1. Shall be limited to only one single-family home.

2. Must meet the height requirement in section 18.35.40 C (2).

3. Must meet the size requirements in 18.35.40 (B).

## **SECTION 2. Repealer**

All ordinances or resolutions, or part therefore, inconsistent with this ordinance are hereby repealed to the extent only of such inconsistency. This repealer shall not be construed to revive any ordinance or resolution.

## **SECTION 3. Effective Date**

This ordinance shall be in full force and effect, five (5) days after this approval, adoption and publication as provided by law.

PASSED, ADOPTED AND APPROVED this 8th day of June 2020.

## **TOWN OF MESILLA**

---

Nora L. Barraza, Mayor  
Town of Mesilla



**ATTEST:**

By: \_\_\_\_\_

Cynthia Stohner-Hernandez  
Town Clerk/Treasurer

## Cynthia Stoechner-Hernandez

---

**From:** Stephanie Johnson-Burick <stephaniejb@mesillanm.gov>  
**Sent:** Wednesday, May 20, 2020 4:22 PM  
**To:** Cynthia Stoechner-Hernandez  
**Cc:** Nora L. Barraza  
**Subject:** Agenda Item

Good afternoon,

Sorry for the delay, we had an issue with our internet connection. In conversation with Trustee Caro, he supports my request to place the HR Ordinance on the agenda for the upcoming meeting. Please let me know what else you need from me.

Thank you,

Trustee Johnson-Burick

5/22/2020

DEAR MAYOR AND BOT,

I AM REQUESTING THAT ORDINANCE 2020-02,  
CHAPTER 18,35 HISTORICAL RESIDENTIAL ZONE  
BE PLACED ON THE AGENDA.

THANK YOU,

TRUSTEE CARO



## Amend HR Ordinance 18.35

October 25 – Received petition

November 12 – BOT meeting Public Input (comment to place moratorium)

November 25 – BOT enacted Moratorium

December 9 – Work Session and BOT meeting – Public Input

January 13 – BOT Meeting – Public Input

January 27 – Work Session and BOT Meeting – Public Input

February 10 – Work Session and BOT Meeting – Public Input (Extended moratorium)

February 18 – Public Input Meeting

February 24 – Joint Work Session with P&Z – BOT Meeting – Public Input

March 9 – Work Session and BOT Meeting – Public Input

April 13 – BOT Meeting – Public Meeting – extended moratorium

April 23 – Public Hearing – 1<sup>st</sup> Reading

April 27 – BOT Meeting – Public Input and 1<sup>st</sup> Reading

May 11 – BOT Meeting – Public Input (Motion to approve amended ordinance, no second)

Attorney letter and NMML email

Pages from Comprehensive Plan 2017 Update

Revised 1/28  
 OCT 25 2019  
 mb

Nora Barraza, Mayor of Mesilla and the Board of Trustees. 10-21-2019

Through our petition, our families are requesting that something be done to keep our town from turning into the new Santa Fe of southern New Mexico. We are not talking about the art culture or Indian influence, but about local families who have inherited their homes from parents and grandparents only to be unable to keep them due to the changes bought about by the building of apartments or rentals in our historic neighborhoods. We do NOT want to have to leave our homes because of the transient culture that will soon be taking over our town. We love Mesilla and our families have lived here for generations, but these transient properties such as apartments and rentals have started to change the face of Mesilla which is historic and small town and where we know and talk to our neighbors. We welcome permanent residents who want to become a part of our neighborhoods and join in our culture and history without changing it. Please look into the ordinances allowing apartments and other rentals to be built in our neighborhoods before it is too late. Let us stop the building of these apartments and rentals before we lose the ambience of our town.

NAME (please print)                      SIGNATURE                      TELEPHONE                      ADDRESS

Rafael L. Geck	Rafael L. Geck	405-9414	2435 Calle de Colon, Mesilla
ESTER H. GECK	Esther Geck	639-3078	2435 Calle de Colon, Mesilla
Ruben M. Geck	Rub M Geck	(575) 642-9962	2485 Calle de Colon
Lola Chavez	Lola Chanz	575-523-5209	2544 Calle Teneena
Jesse Chantz	Jesse Chantz	575 523 5209	2544 Calle Tercera
MARIA NAVARRO	Maria Navarro	525-635-9726	2410 Calle Cura
Francisco Torres	Franco Torres	575-644-3490	2131 Calle Tercera
Ramona Avalos	Ramona Avalos	(575) 524-3265	2580 Calle de Colon, Mesilla, N.M.
Edna Bustamante	Edna Bustamante	523-461	2551 Calle de Colon, Mesilla
Alberto Bolivar	Alberto Bolivar	575 670 3433	2639 Calle Panam Mesilla
Elisa Parra	Elisa Parra	575-649-0704	2235 Calle de Colon, Mesilla
Patty Martinez	Patty Martinez	575-640-1561	2314 Calle de Colon Mesilla
STEVE MARTINEZ	Steve Martinez	575-636-5802	2316 CALLE DE COLON, MESILLA
Olga A. Ornelas-Torres	Olga Ornelas Torres	575-635-3711	2452 Calle Cura, Mesilla
RAYMOND TORRES	Raymond Torres	(575) 635-3454	2494 Calle de Cura
JONI GUTIERREZ	Joni Gutierrez	(575) 496-2474	MESILLA NM, 88046 2350 Calle Cura
Mercedes Gonzalez	Mercedes Gonzalez	(575) 649-6683	2452 Calle de Cura Mesilla 88046
Maria L Rios	Maria L Rios	(575) 433-0896	2471 W. calle de Cura Mesilla N. 88046
Martin Rodriguez	Martin Rodriguez	575-636-5333	Calle Cuarta Mesilla
Marta Ines Rodriguez	Marta Ines Rodriguez	575-528-8574	Calle Cuarta Mesilla

1 provide 100% of the maintenance.

2  
3 **Motion:** To approve Resolution 2019-25: A resolution supporting the City of Las Cruces’ Southwestern  
4 Dona Ana MOVE trail project, **Moved by Trustee Arzabal, Seconded by Mayor Pro Tem Johnson-**  
5 **Burick.**

6  
7 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

8 Mayor Pro Tem Johnson-Burick Yes

9 Trustee Arzabal Yes

10 Trustee Caro Yes

11 Trustee Garcia Yes

12  
13 Mayor Barraza asked Ms. Stoechner-Hernandez to place the moratorium on all construction for apartments  
14 and buildings on the agenda for the next meeting.

15  
16 Trustee Arzabal asked if a moratorium would apply to applicants that have started the process or for new  
17 applicants.

18  
19 Mayor Barraza responded it will be for new applicants.

20  
21 **8. \*STAFF REPORTS:**

- 22 Community Development
- 23 Community Programs
- 24 Finance Department
- 25 Fire Department
- 26 Marshal’s Department
- 27 Public Works Department

28  
29 **9. BOARD OF TRUSTEE COMMITTEE REPORTS**

30 Trustee Garcia stated she will not attend the MPO meeting tomorrow.

31 Trustee Arzabal stated CEO meeting is scheduled for December 13<sup>th</sup> in Hatch.

32 Mayor Pro Tem Johnson-Burick stated MPO meeting tomorrow at 1:30 p.m. at the City of Las Cruces  
33 Council Chambers.

34 Mayor Barraza stated she attended Safety Training in Albuquerque, the US/Mexico Border Summit in  
35 San Diego. Ms. Stoechner-Hernandez will be assigning town email address to all trustees through the  
36 Town of Mesilla which is strongly advised by Risk Management. Trustees will not be allowed to use  
37 personal emails for business correspondence. If the board would like the town can purchase small iPads  
38 for correspondence. The Veteran’s Day Ceremony was well attended and one of the best the town has  
39 had.

40 **10. BOARD OF TRUSTEE/STAFF COMMENTS**

41 Mayor Pro Tem Johnson-Burick stated the Veteran’s Day Ceremony was very nicely done. She read the  
42 county’s policy on community center rentals. She stated the exercise class does not charge.

43 Mayor Barraza responded Pilates group does have a fee or a donation amount which they pay Ms. Kane.

44





**BOARD OF TRUSTEES  
TOWN OF MESILLA  
WORK SESSION  
MONDAY, NOVEMBER 25, 2019  
5:00 P.M.**

- TRUSTEES:** Nora L. Barraza, Mayor  
Stephanie Johnson-Burick, Mayor Pro Tem  
Carlos Arzabal, Trustee  
Jesus Caro, Trustee  
Veronica Garcia, Trustee
- STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
Gloria Maya, Recorder

**PUBLIC:**

1. **Discussion:** Revisions to the Town of Mesilla Personnel Rules and Regulations Handbook. –  
*Cynthia Stoechner-Hernandez, Clerk/Treasurer.*

Mayor Barraza reviewed additions, deletions and changes for each article in the Town of Mesilla Personnel Rules and Regulations Handbook.

Worksession closed at 6:00 p.m.

1 **BOARD OF TRUSTEES**  
2 **TOWN OF MESILLA**  
3 **REGULAR MEETING**  
4 **MONDAY, NOVEMBER 25, 2019**  
5 **6:00 P.M.**  
6  
7

8 **TRUSTEES:** Nora L. Barraza, Mayor  
9 Stephanie Johnson-Burick, Mayor Pro Tem  
10 Carlos Arzabal, Trustee  
11 Jesus Caro, Trustee  
12 Veronica Garcia, Trustee  
13  
14 **STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
15 Kevin Hoban, Fire Chief  
16 Ron McGillivray, Public Works Director  
17 Enrique Salas, Lieutenant  
18 Gloria Maya, Recorder  
19

20 **PUBLIC:** Mary Helen Ratje Mike Noonchester  
21 Rafael Geck Sam Kane  
22 Davie Salas Kelly Salas  
23 Susan Krueger Becky King  
24 Victor R. Sakalys B. Denton  
25  
26

27 **1. PLEDGE OF ALLEGIANCE**

28 Mayor Barraza led the Pledge of Allegiance.  
29

30 **2. ROLL CALL & DETERMINATION OF A QUORUM**

31 **Roll Call.**

32 **Present:** Mayor Barraza, Mayor Pro Tem Johnson-Burick, Trustee Arzabal, Trustee Caro, Trustee  
33 Garcia.  
34

35 **3. CHANGES TO THE AGENDA & APPROVAL**

36 Mayor Barraza requested postponing PZHAC Case #060698 & #060973 from agenda until we receive  
37 clarification from the attorney.  
38

39 Trustee Arzabal asked if there could be a Special Meeting once we received the information from the  
40 attorney.  
41

42 Mayor Barraza asked for a motion with the condition that once written information is received that the

1 required posting be done accordingly for a Special Meeting.

2  
3 **Motion:** To approve agenda as amended with the condition that once written information is received that  
4 the required posting be done accordingly for a Special Meeting, **Moved by Trustee Arzabal, Seconded**  
5 **by Trustee Garcia.**

6  
7 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

8 Mayor Pro Tem Johnson-Burick Yes

9 Trustee Arzabal Yes

10 Trustee Caro Yes

11 Trustee Garcia Yes

12  
13 **4. PUBLIC INPUT** – The public is invited to address the Board for up to 3 minutes.

14 Mr. and Mrs. Noonchester thanked the town for fixing Bowman Street; everyone is thrilled.

15  
16 Mayor Barraza stated she is thankful as well.

17  
18 Ms. Ratje stated they are waiting for information on the wellness classes that were held at the Community  
19 Center. They are hoping it will be discussed during trustee comments. She stated there was concern  
20 regarding liability and insurance and hopes the town has that covered.

21  
22 Ms. King stated the fee for City of Rocks is \$5 for the whole day. We are asking for 2 days a week, 1  
23 hour a day for use of the Community Center.

24  
25 **5. \*APPROVAL OF CONSENT AGENDA** – (The Board will be asked to approve by one  
26 **motion the following items of recurring or routine business. The Consent Agenda is**  
27 **marked with an asterisk \*):**

28 Trustee Arzabal asked if the resolution can be placed on the consent agenda.

29  
30 Mayor Barraza responded she would like to leave it on the agenda for discussion.

31  
32 **Motion:** To approve consent agenda, **Moved by Mayor Pro Tem Johnson Burick, Seconded by**  
33 **Trustee Arzabal.**

34  
35 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

36 Mayor Pro Tem Johnson-Burick Yes

37 Trustee Arzabal Yes

38 Trustee Caro Yes

39 Trustee Garcia Yes

40  
41 **a) \*BOT Minutes** – Minutes of a Work Session & Regular Meeting on November 12, 2019.  
42 *Approved by consent agenda*

43 **b) \* For Acknowledgement:** termination of contract regarding the Town of Mesilla Arson  
44 Dog program. *Approved by consent agenda*



- c) **\*PZHAC Case 060979** – 2305 Calle de Colon, submitted by Gerard Nevarez, a request for a zoning permit to allow the addition of a sunroom to an existing dwelling at this address. Zoned: Historic Residential (HR). *Approved by consent agenda*
- d) **\*PZHAC Case 060982** – 2184 Avenida de Mesilla, submitted by Eric Serna for Eleda Guggiana; a request to discuss plans to renovate a dwelling at this address. (Case 060982) Zoned: Historic Commercial (HC). *Approved by consent agenda*
- e) **\*PZHAC Case 060986** – 1750 Calle de Mercado, submitted by Melissa Roybal for “United Country Real Estate – Revolution LLC”; a request for zoning permit to allow a wall sign for a real estate office at this location. Zoned: General Commercial (C). *Approved by consent agenda*

**6. OLD BUSINESS:**

- a) **PZHAC Case 060968** – SW corner of Calle de Colon and Calle de Tercera; submitted by Samuel Kane; a request for a zoning permit to allow the construction of four units on a property at this address. Zoned: Historical Residential (HR). *Postponed*
- b) **\*PZHAC Case 060973** – Immediately adjacent to the east side of 2138 Calle del Sur submitted by Davie and Kelly Salas; a request for a zoning permit to allow the construction of two units on a property at this address. Zoned: Historical Residential (HR). *Postponed*

**7. NEW BUSINESS:**

- a) **Resolution 2019-26:** A resolution by the Board of Trustees acting on a 120-day Moratorium regarding multifamily housing in the Historic Residential Zone. – *Nora L. Barraza, Mayor.*

Ms. Stoechner-Hernandez stated approval of this resolution will gives us 3 months for further review and research to see if ordinance changes are needed.

Mayor Barraza stated she would like the resolution to address all residential HR Zoning.

**Motion:** To approve Resolution 2019-26: A resolution by the Board of Trustees acting on a 120-day Moratorium regarding all residential housing in the Historic Residential Zone, **Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee Arzabal.** *\*\*Removed multifamily and added all residential housing in HR Zones.*

Mayor Barraza responded this would apply to construction of new homes.

Trustee Arzabal stated permits for a single house should be given the opportunity. The issue is apartments, multifamily homes, casitas.

Mayor Barraza responded she also wants to address setbacks to include new housing as well. The moratorium can be lifted if things are completed before the 120 days.

Mayor Barraza responded it does not include any remodeling or renovations; strictly new construction. There will be a worksession; information will be sent to the trustees for review.

Trustee Arzabal stated at the last meeting we did not talk about new buildings or setbacks.

1  
2 Mayor Barraza responded she wants to address everything at one time as to not prolong the process.

3  
4 Trustee Arzabal recommended a 60-day moratorium.

5  
6 **Amended Motion:** To approve Resolution 2019-26: A resolution by the Board of Trustees acting on a  
7 60-day Moratorium regarding all residential housing in the Historic Residential Zone; Chapter 18, **Moved**  
8 **by Mayor Pro Tem Johnson-Burick, Seconded by Trustee Arzabal \*\*\*Removed multifamily and**  
9 **added all residential housing in HR Zones.**

10  
11  
12 **Amended Motion Roll Call Vote:** Motion passed (summary: Yes =4).

13 Mayor Pro Tem Johnson-Burick Yes

14 Trustee Arzabal Yes

15 Trustee Caro Yes

16 Trustee Garcia Yes

17  
18 **Original Motion Roll Call Vote:** Motion passed (summary: Yes =4).

19 Mayor Pro Tem Johnson-Burick Yes

20 Trustee Arzabal Yes

21 Trustee Caro Yes

22 Trustee Garcia Yes

23  
24 **b) For Approval:** A stipend for Lieutenant Salas for temporary assignment of duties. - *Nora*  
25 *L. Barraza, Mayor.*

26 **Motion:** To approve a stipend for Lieutenant Salas for Temporary assignment of duties, **Moved by**  
27 **Trustee Arzabal, Seconded by Mayor Pro Tem Johnson-Burick.**

28  
29 Mayor Barraza stated it is only fair and fitting that we provide Lieutenant Salas a stipend for fulfilling the  
30 duties of the Marshal's position.

31  
32 Ms. Stoechner-Hernandez stated we are proposing \$100 a week until a new marshal is actually working.

33  
34 **Roll Call Vote:** Motion passed (summary: Yes =4).

35 Mayor Pro Tem Johnson-Burick Yes

36 Trustee Arzabal Yes

37 Trustee Caro Yes

38 Trustee Garcia Yes

39  
40 **8. BOARD OF TRUSTEE COMMITTEE REPORTS**

41 Trustee Arzabal stated CEO meeting December 13<sup>th</sup> in Hatch.

42  
43 Mayor Pro Tem Johnson-Burick stated MPO meeting will be December 11<sup>th</sup> at the City of Las Cruces  
44 Chambers. At the last MPO meeting there was a temporary hire for a Planning Assistant position, Valley  
45 Drive project should be finished in February, Round About Project on I25 will begin in January,  
46 University Avenue project is in process, I10 project will begin soon to the Arizona border.

47  
48 Mayor Barraza stated the trail will be going out to bid for Phase I (river through Calle de Norte) soon with  
49 Phase II (Calle de Norte, Calle de Oeste to Community Center Park) to follow. I10 had work done from

1 Las Cruces to Deming; looking for funding to work on I10 to the Arizona border. The National League  
2 of Cities Summit in San Antonio was enlightening. Cynthia could probably tell you more on that.  
3 Attended the Ribbon Cutting at the Leadership Academy; fortunate to have them as a neighbor. Las  
4 Cruces Public Schools have been hit with Ransom Ware; they are coming over to use our internet to  
5 complete projects. Asked Trustee Garcia to attend the RTD meeting on Wednesday. The offices will be  
6 closed Thursday and Friday for Thanksgiving.  
7

#### 8 **9. BOARD OF TRUSTEE/STAFF COMMENTS**

9 Lieutenant Salas thanked the board for approving the stipend.

10  
11 Trustee Garcia wished everyone a Happy Thanksgiving. She asked the Mayor to update the wellness  
12 representatives.

13  
14 Trustee Arzabal thanked the town for helping the schools.

15  
16 Mayor Pro Tem Johnson Burick thanked the applicants for their patience. She believes that people who  
17 assume higher duties should be compensated. She happy to see projects being fulfilled. She stated that  
18 something needs to be done for the exercising class. Wished everyone a Happy Thanksgiving and  
19 thanked staff for all they do for the town and the residents.  
20

21 Trustee Caro stated the wellness class is asking for limited space; believes there should be a minimum  
22 fee. Happy Thanksgiving to everyone.  
23

24 Mayor Barraza stated when she met with the group, she indicated she would be looking at a grant to hire  
25 an instructor and there would be a fee for participants. She is looking at getting other exercise classes as  
26 well. If the person is a town employee, the town picks up the additional liability.  
27

28 Mayor Pro Tem Johnson-Burick asked if participants will be charged a fee; what would the grant money  
29 do.  
30

31 Mayor Barraza responded the participants will be charged a fee; the grant money pays the instructor. Ms.  
32 Sellers collected food for 60 Thanksgiving Baskets for the schools in the town. We are so thankful to our  
33 local businesses for their donations. Town Hall will be closed Thursday and Friday for Thanksgiving,  
34 Military Civilian Luncheon is December 10<sup>th</sup> at 11:30 a.m. at La Posta, SCCOG meeting December 13<sup>th</sup>  
35 at 10:30 a.m. at La Posta, MPO meeting December 11<sup>th</sup>. Congratulations to all the newly elected persons  
36 for the City of Las Cruces. Tree Lighting Ceremony will be Friday, December 6<sup>th</sup> at 5:30 p.m.; there will  
37 be entertainment. Thanked the residents for the information regarding Bowman Street. She wished  
38 everyone a Happy Thanksgiving.  
39

#### 40 **10. ADJOURNMENT**

41 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-4)**

42  
43 **MEETING ADJOURNED AT 6:50 P.M.**  
44  
45  
46  
47  
48  
49



1 APPROVED THIS 9<sup>th</sup> DAY OF DECEMBER 2019.

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9

*Nora L. Barraza*  
\_\_\_\_\_  
Nora L. Barraza  
Mayor

10 ATTEST:

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18

*Cynthia Stoechner-Hernandez*  
\_\_\_\_\_  
Cynthia Stoechner-Hernandez  
Town Clerk/Treasurer





**BOARD OF TRUSTEES  
TOWN OF MESILLA  
WORK SESSION  
MONDAY, DECEMBER 9, 2019  
5:00 P.M.**

**TRUSTEES:** Nora L. Barraza, Mayor  
Stephanie Johnson-Burick, Mayor Pro Tem  
Carlos Arzabal, Trustee  
Jesus Caro, Trustee (absent)  
Veronica Garcia, Trustee (absent)

**STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
Kevin Hoban, Fire Chief  
Larry Shannon, Community Development  
Gloria Maya, Recorder

**PUBLIC:** Rafael Geck Susan Krueger

- 1. Discussion:** Revisions to the Town of Mesilla Personnel Rules and Regulations Handbook. – *Cynthia Stoechner-Hernandez, Clerk/Treasurer. (30 minutes)*

Mayor Barraza reviewed the revisions to the Town of Mesilla Personnel Rules and Regulations Handbook.

- 2. Discussion:** Revision to Chapter 18.35 H-R – Residential – Cultural – Historical Zone Ordinances – *Cynthia Stoechner-Hernandez, Clerk/Treasurer. (30 minutes)*

Mayor Barraza reviewed the revisions to Chapter 18.35 H-R – Residential – Cultural – Historical Zone Ordinances.

- No definition for Development Plan
- Setback concerns
- Property lines
- Requirements to build to property line

Mayor Barraza asked the trustees to look through the ordinance and submit changes.

Trustee Arzabal stated he understood they would be getting the document staff has been working on.

1 Mayor Barraza responded the trustee's input is needed. We can present what staff has worked on if that  
2 is what the trustee's want. She is against building up to the property line; recommends at least 5 feet  
3 from the property line.

4  
5 Trustee Arzabal asked if the applicant would need a variance if building up to property line.

6  
7 Mayor Barraza responded the plans would need to meet the requirements.

8  
9 Mayor Barraza closed worksession at 5:50 p.m.

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**BOARD OF TRUSTEES  
TOWN OF MESILLA  
REGULAR MEETING  
MONDAY, DECEMBER 9, 2019  
6:00 P.M.**

13  
14  
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16  
17  
18  
19

**TRUSTEES:** Nora L. Barraza, Mayor  
Stephanie Johnson-Burick, Mayor Pro Tem  
Carlos Arzabal, Trustee  
Jesus Caro, Trustee (arrived at 6:20p.m.)  
Veronica Garcia, Trustee (absent)

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**STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
Kevin Hoban, Fire Chief  
Ron McGillivray, Public Works Director  
Larry Shannon, Community Development  
Lance Shepan, Sergeant  
Gloria Maya, Recorder

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**PUBLIC:** Rafael Geck Susan Krueger  
Stefan Schaefer Ken Dickson  
Ricky Herrera Charles Madrid  
Yolanda Lucero Barb/Harold Denton  
Mary H. Ratje Becky King  
Sam Kane

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**1. PLEDGE OF ALLEGIANCE**

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Mayor Barraza led the Pledge of Allegiance.

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**2. ROLL CALL & DETERMINATION OF A QUORUM**

**Roll Call.**

**Present:** Mayor Barraza, Mayor Pro Tem Johnson-Burick, Trustee Arzabal, Trustee Caro (arrived at 6:20 p.m.)

**3. CHANGES TO THE AGENDA & APPROVAL**

**Motion:** To approve agenda, **Moved by Trustee Arzabal, Seconded by Mayor Pro Tem Johnson-Burick.**

**Roll Call Vote:** Motion passed (summary: Yes =2).

Mayor Pro Tem Johnson-Burick Yes

Trustee Arzabal Yes

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**4. PUBLIC INPUT** – The public is invited to address the Board for up to 3 minutes.

Ms. Krueger recommended the board work on developing an infield strategy with regards to 18.35. for the HR Zone. She reviewed her concerns on Case #06968. Mr. Shannon mentioned there had been

1 restricted development in the HR Zone regardless of the lot size.

2  
3 Officer Lopez stated himself and Officer Rivera will be attending Town of Mesilla Board meetings to see  
4 what is going on in the community.

5  
6 Mr. Geck stated he is concerned with too many structures being built on one lot. People speed through  
7 the town's narrow streets and adding 4 units would add to the issues. He asked the board to respect the  
8 voice of the people.

9  
10 **5. CLOSED SESSION** – pursuant to NMSA 1978 Chapter 10-15-1(H)(2): discussion limited  
11 to personnel matters in the Marshal's Department. – *Nora L. Barraza, Mayor.*

12 **Motion:** To enter Closed Session pursuant to NMSA 1978 Chapter 10-15-1(H)(2): discussion limited to  
13 personnel matters in the Marshal's Department, **Moved by Trustee Arzabal, Seconded by Mayor Pro**  
14 **Tem Johnson-Burick.**

15  
16 **Roll Call Vote:** Motion passed (**summary:** Yes =2).

17 Mayor Pro Tem Johnson-Burick Yes

18 Trustee Arzabal Yes

19  
20 **Entered Closed Session at 6:12 p.m.**

21  
22 **Motion:** To enter Regular Meeting after discussion limited to personnel matters in the Marshal's  
23 Department pursuant to NMSA 1978 Chapter 10-15-1(H)(2); no action taken in Closed Session, **Moved**  
24 **by Mayor Pro Tem Johnson-Burick, Seconded by Trustee Arzabal.**

25  
26 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

27 Mayor Pro Tem Johnson-Burick Yes

28 Trustee Arzabal Yes

29 Trustee Caro Yes

30  
31 **Entered Regular Meeting at 6:26 p.m.**

32  
33 **6. For Approval:** action on limited personnel matters following closed session relating to the  
34 Marshal's Department. – *Nora L. Barraza, Mayor.*

35 Mayor Barraza recommended Mr. Timothy Garcia for position of deputy in the Town of Mesilla.

36  
37 **Motion:** To approve the hiring of Mr. Timothy Garcia as deputy with the Town of Mesilla  
38 Marshal's Department, **Moved by Trustee Arzabal, Seconded by Mayor Pro Tem Johnson-Burick.**

39  
40  
41 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

42 Mayor Pro Tem Johnson-Burick Yes

43 Trustee Arzabal Yes

44 Trustee Caro Yes

45  
46 Mayor Barraza stated Mr. Garcia will be paid \$15.50 an hour; final approval will depend on background  
47 check.

48  
49 **7. \*APPROVAL OF CONSENT AGENDA – (The Board will be asked to approve by one**

1 **motion the following items of recurring or routine business. The Consent Agenda is**  
2 **marked with an asterisk \*):**

3 **Original Motion:** To approve consent agenda, **Moved by Trustee Arzabal, Seconded by Mayor Pro**  
4 **Tem Johnson-Burick.**

5  
6 Mayor Barraza stated Dr. Schaefer needs to provide the artwork being proposed for the directory sign to  
7 insure it follows the ordinance.

8  
9 **Amended Motion:** To approve consent agenda with the condition placed on Case #060896, **Moved by**  
10 **Mayor Pro Tem Johnson-Burick, Seconded by Trustee Arzabal.**

11  
12 **Amended Motion Roll Call Vote:** Motion passed (**summary:** Yes =3).

13 Mayor Pro Tem Johnson-Burick Yes

14 Trustee Arzabal Yes

15 Trustee Caro Yes

16  
17 **Original Motion Roll Call Vote:** Motion passed (**summary:** Yes =3).

18 Mayor Pro Tem Johnson-Burick Yes

19 Trustee Arzabal Yes

20 Trustee Caro Yes

21  
22 a) \* **BOT Minutes** – Minutes of a Work Session & Regular Meeting on November 25, 2019.  
23 *Approved by consent agenda*

24 b) \***PZHAC CASE 060896** – 1680 Calle de Alvarez, submitted by Chris Schaefer; a request  
25 for a zoning permit to construct a freestanding directory sign on a commercial property at  
26 this address. Zoned: General Commercial (C). *Approved by consent agenda with condition*  
27 *that sign graphic is submitted prior to adding to freestanding directory sign and meets the*  
28 *ordinance requirements.*

29 Dr. Schaefer stated nothing has been designed yet but would like to build the monument. He will approach  
30 the businesses to see who will be advertising on the sign.

31  
32 Mayor Barraza responded the monument foundation can be built but he must provide the artwork that will  
33 be on the sign for approval.

34  
35 Dr. Schaefer stated it will have the names of the businesses. It will depend on the cost of what artwork  
36 will be on the directory and will be added later. We will follow the ordinance.

37  
38 Mayor Barraza reiterated the monument foundation can be built now; the board will need to approve the  
39 final artwork.

40  
41 Dr. Schaefer responded he objects to that and is against bring everything to the board.

42  
43 Mayor Barraza stated the foundation is approved. The board will need to approve the final artwork and  
44 what is being put on the directory sign.



1 Dr. Schaefer stated this puts us in jeopardy. This application was approved on May 28<sup>th</sup> and there have  
2 been no changes made.

3  
4 Mayor Barraza responded he can move forward with the monument if it is approved by the board tonight.  
5 The content of the directory sign still needs to be approved by the board; plans are required to be  
6 submitted.

7  
8 Dr. Schaefer asked if it is mandated that the artwork be brought for approval.

9  
10 Mayor Barraza responded yes; it is mandated that the artwork be brought forth for approval.

11  
12 c) \* **PZHAC CASE 060987** – 2685 Calle de Parian, submitted by William McIlvaine; a  
13 request for a zoning permit to replace or install new posts on an existing porch as part of a  
14 renovation of a dwelling at this address. Zoned: Historic Residential (HR). *Approved by*  
15 *consent agenda*

16 d) \* **PZHAC CASE 060991** – 2214 Calle de Guadalupe, submitted by Pat Taylor; a request  
17 for a zoning permit to allow additional renovations on a commercial building this address.  
18 Zoned: Historical Commercial (HC). *Approved by consent agenda*

19  
20 **8. NEW BUSINESS:**

21 a) **Discussion:** submittal of a Letter of Interest to the Paso del Norte Health Foundation for  
22 active living classes at the Community Center.

23 Mayor Barraza stated she would like to move forward in submitting a Letter of Intent to the Paso del  
24 North Health Foundation for funding for the living classes held at the Community Center.

25  
26 Ms. Stoechner-Hernandez stated deadline for submitting Letter of Intent is December 18<sup>th</sup>; invitations for  
27 full proposals will be sent out afterward and we will see them if we can move forward.

28  
29 **9. OLD BUSINESS:**

30 **Motion:** Mayor Barraza requested a 10-minute break for Mr. Cervantes to be present, **Moved by Trustee**  
31 **Arzabal, Seconded by Mayor Pro Tem Johnson-Burick.**

32  
33 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

34 Mayor Pro Tem Johnson-Burick Yes

35 Trustee Arzabal Yes

36 Trustee Caro Yes

37  
38 Break at 6:43 p.m.

39  
40 Mayor Barraza reconvened at 7:00 p.m.

41  
42 **Motion:** Approval to reconvene regular meeting after break, **Moved by Trustee Arzabal, Seconded by**  
43 **Mayor Pro Tem Johnson-Burick.**

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**Roll Call Vote:** Motion passed (**summary:** Yes =3).  
Mayor Pro Tem Johnson-Burick Yes  
Trustee Arzabal Yes  
Trustee Caro Yes

Mayor Barraza requested Mr. Cervantes be available to answer questions and to review the ordinance.

a) **PZHAC Case 060968** – SW corner of Calle de Colon and Calle de Tercera; submitted by Samuel Kane; a request for a zoning permit to allow the construction of four units on a property at this address. Zoned: Historical Residential (HR).

**Original Motion:** To approve PZHAC Case 060968 – SW corner of Calle de Colon and Calle de Tercera; submitted by Samuel Kane; a request for a zoning permit to allow the construction of four units on a property at this address. Zoned: Historical Residential (HR), **Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee Arzabal.**

Mr. Cervantes reviewed his evaluation and interpretation of the Town of Mesilla’s Development Standards (18.35.070). Structures will need to meet the definition of multi-family dwellings.

Mayor Barraza stated over 4 units will become commercial properties. She met with Mr. & Mrs. Salas and Mr. Kane to provide information. She asked Mr. Cervantes if the applicants attached the units would that constitute a multi-family dwelling.

Mr. Cervantes responded structures with a common roof or common wall would constitute a multi-family dwelling.

Trustee Arzabal asked if that would apply to both classes.

Mr. Cervantes responded Mr. Kane could subdivide his property due to the size of the lot; multi-family dwellings.

Mr. Cervantes responded the lot area must be 4,000 square feet per unit not the units themselves.

Mayor Barraza responded the condition would need to be added to the motion. Mr. Salas currently has an application for 2 homes. He has additionally applied, which has been tabled by Planning and Zoning Commission, for 2 additional homes.

Mr. Kane stated they would be willing to join them together to meet the definition. Aesthetically they will not look as nice, but the landscape can be removed to join the structures.

Mayor Barraza recommended amending the motion to include a condition.

Mayor Pro Tem Johnson-Burick stated her concerns are historic preservation, architectural style, traffic and tin roof. She understands there could be 12 parking spaces.

Mr. Denton responded there are carports for the tenants and additional parking for visitors. Inaudible

Mayor Pro Tem Johnson-Burick stated she would be more comfortable going off the Historic Residential Code regarding the roof.

1  
2 Mr. Denton responded they picked the one they felt would best fit the area which called for a tin roof;  
3 corrugated roof.  
4

5 Trustee Arzabal stated there are tin roofs in the area. Planning and Zoning works hard researching  
6 applications and when it comes the board, we change them. He does not feel that is the way to do  
7 business.  
8

9 Mr. Geck asked what the distance from the property line would be; would it be greater than 5 feet and he  
10 does not agree with the style.  
11

12 Mayor Barraza asked what the setback would be.  
13

14 Mr. Denton responded not closer than 5 feet and, in some cases, it may be up to 10 feet.  
15

16 **Amended Motion:** To approve PZHAC Case 060968 – SW corner of Calle de Colon and Calle de  
17 Tercera; submitted by Samuel Kane; a request for a zoning permit to allow the construction of four units  
18 on a property at this address. Zoned: Historical Residential (HR) with condition that the structures are  
19 adjoined, **Moved by Mayor Pro Tem Johnson-Burick, Seconded by Trustee Arzabal.**  
20

21 **Amended Motion Roll Call Vote:** Motion passed (**summary:** Yes =3).  
22

23 Mayor Pro Tem Johnson-Burick Yes  
24

25 Trustee Arzabal Yes  
26

27 Trustee Caro Yes  
28

29

30 **Original Roll Call Vote:** Motion passed (**summary:** No=1, Yes =3).  
31

32 Mayor Pro Tem Johnson-Burick Yes  
33

34 Trustee Arzabal Yes  
35

36 Trustee Caro No  
37

38

39 **b) PZHAC Case 060973** – Immediately adjacent to the east side of 2138 Calle del Sur  
40 submitted by Davie and Kelly Salas; a request for a zoning permit to allow the construction  
41 of two units on a property at this address. Zoned: Historical Residential (HR).  
42

43 **Motion:** To approve PZHAC Case 060973 – Immediately adjacent to the east side of 2138 Calle del  
44 Sur submitted by Davie and Kelly Salas; a request for a zoning permit to allow the construction of two  
45 units on a property at this address with condition that the structures are adjoined. Zoned: Historical  
46 Residential (HR), **Moved by Trustee Arzabal, Seconded by Mayor Pro Tem Johnson-Burick.**  
47

48 Mayor Barraza stated Mr. & Mrs. Salas applied prior to us placing a moratorium on new structures; asked  
49 of the process can continue.  
50

51 Mr. Cervantes responded we cannot enforce the moratorium since the application was submitted prior to  
52 approving the moratorium.  
53

54 **Roll Call Vote:** Motion passed (**summary:** No=1; Yes =3).  
55

56 Mayor Pro Tem Johnson-Burick Yes  
57

58 Trustee Arzabal Yes  
59

60 Trustee Caro No  
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## 10. \*STAFF REPORTS:



- 1 Community Development
- 2 Community Programs
- 3 Finance Department
- 4 Fire Department
- 5 Marshal's Department
- 6 Public Works Department
- 7

8 **11. BOARD OF TRUSTEE COMMITTEE REPORTS**

9 Mayor Pro Tem Johnson-Burick stated there is an MPO meeting Wednesday at the City of Las Cruces  
 10 chambers.  
 11

12 **12. BOARD OF TRUSTEE/STAFF COMMENTS**

13 Mayor Pro Tem Johnson-Burick stated her job is to listen to the residents and their concerns. She must  
 14 follow the ordinance when making decisions. We would like to get the residents involved when making  
 15 decisions. We are lucky and blessed for working and living in the community.  
 16

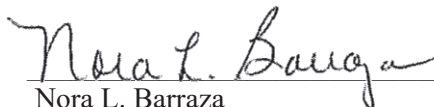
17 Mayor Barraza stated this has help aware of revisions that need to be made to our ordinances. We will be  
 18 meeting with legislators on December 17<sup>th</sup> at 10:00 a.m. at the Community Center to review our priorities.  
 19 We will be inviting the surrounding entities. There will be a Special Meeting on December 16<sup>th</sup> at 1:00  
 20 p.m. for a Special Use License Celebration. Civilian Military Luncheon will be held tomorrow at La  
 21 Posta at 11:30 p.m. The Christmas Tree Lighting Ceremony was well attended and thanked Andele's, and  
 22 La Posta for their donations. Luminarias on the plaza December 24<sup>th</sup> at 5:30 p.m.

23 **13. ADJOURNMENT**

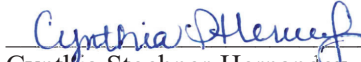
24 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-3)**

25 **MEETING ADJOURNED AT 7:44 P.M.**

26 **APPROVED THIS 23<sup>rd</sup> DAY OF DECEMBER, 2019.**

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 34 Nora L. Barraza  
 35 Mayor

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 37 **ATTEST:**

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 41 \_\_\_\_\_  
 42 Cynthia Stoechner-Hernandez  
 43 Town Clerk/Treasurer  
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**BOARD OF TRUSTEES  
TOWN OF MESILLA  
REGULAR MEETING  
MONDAY, JANUARY 13, 2019  
6:00 P.M.**

**TRUSTEES:** Nora L. Barraza, Mayor  
Stephanie Johnson-Burick, Mayor Pro Tem  
Carlos Arzabal, Trustee  
Jesus Caro, Trustee  
Veronica Garcia, Trustee (absent)

**STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
Kevin Hoban, Fire Chief  
Rod McGillivray, Public Works Director  
Enrique Salas, Lieutenant

**PUBLIC:** Susan Krueger Rafael Geck  
Charles Madrid Raymond Bernstein

22 **1. PLEDGE OF ALLEGIANCE**

23 Mayor Barraza led the Pledge of Allegiance.

25 **2. ROLL CALL & DETERMINATION OF A QUORUM**

26 **Roll Call.**

27 **Present:** Mayor Barraza, Mayor Pro Tem Johnson-Burick, Trustee Arzabal, Trustee Caro.

30 **3. CHANGES TO THE AGENDA & APPROVAL**

31 **Motion: To approve agenda, Moved by Trustee Caro, Seconded by Trustee Arzabal.**

33 **Roll Call Vote:** Motion passed (summary: Yes =3).

34 Mayor Pro Tem Johnson-Burick Yes

35 Trustee Arzabal Yes

36 Trustee Caro Yes

39 **4. PUBLIC INPUT** – The public is invited to address the Board for up to 3 minutes.

40 Ms. Krueger commented regarding Kane and Salas properties in the core. Her notes state something  
41 about doing away with zero lot line which would require an ordinance change. Development standards  
42 suggestions are located within Chapter 17 which could be adapted. Perhaps it would be appropriate to ask  
43 the P&Z and the concerned residents for suggestions that could be passed on to the board. She asked that  
44 they consider stopping the Northern New Mexico style.

46 Mr. Bernstein stated there is a rezoning issue, at Boutz and Stern, that is before the Las Cruces City  
47 Council. This item has been cancelled twice but has now been scheduled on February 18<sup>th</sup>. The proposal  
48 is for 65 single family dwellings and 60 apartments. The residents feel it is not appropriate to do so  
49 because of traffic and the infrastructure. The residents also asked that the reduce the number of dwellings  
50 and apartments. He invited the board to the City Council meeting on the 18<sup>th</sup> of February.

1  
2 Mr. Geck stated his comments regarding the Kane/Salas property. He thanked Mr. Caro for voting  
3 against the application. He was dismayed at the other trustees who let them down. There were several  
4 signatures on the petition and the trustees chose to ignore them. All the trustees want to do is hear the  
5 concerns but vote their way.  
6

- 7 5. **\*APPROVAL OF CONSENT AGENDA – (The Board will be asked to approve by one**  
8 **motion the following items of recurring or routine business. The Consent Agenda is**  
9 **marked with an asterisk \*):**

10 **Motion: To approve agenda, Moved by Trustee Arzabal, Seconded by Trustee Caro.**

11  
12 **Roll Call Vote:** Motion passed (summary: Yes =3).

13 Mayor Pro Tem Johnson-Burick Yes

14 Trustee Arzabal Yes

15 Trustee Caro Yes  
16

- 17 a) **\* BOT Minutes** – Minutes of a Work Session & Regular Meeting on December 9, 2019.

18 *Approved by consent agenda*

- 19 b) **\* BOT Minutes** – Minutes of a Special Meeting on December 16, 2019. *Approved by*

20 *consent agenda*  
21

22 **6. NEW BUSINESS:**

- 23 a. **For 1st Reading/Public Hearing: Ordinance 2020-01:** An ordinance to be called  
24 chapter 10.15 – adopting regulations for recreational off highway motor vehicles.

25 Mayor Barraza requested removing “recreational” off the ordinance.  
26

27 **Motion: To close regular meeting and open public hearing, Moved by Trustee Arzabal, Seconded**  
28 **by Mayor Pro-Tem Johnson-Burick.**

29  
30 **Roll Call Vote:** Motion passed (summary: Yes =3).

31 Mayor Pro Tem Johnson-Burick Yes

32 Trustee Arzabal Yes

33 Trustee Caro Yes  
34

35 Opened Public Hearing at 6:12 p.m.  
36

37 The ordinance was reviewed for the public to comment on.  
38

39 Comments received were:

40 Ms. Krueger reviewed some concerns and asked who would oversee the ordinance and is it similar to  
41 other ordinances like the County and the City of Las Cruces.  
42

43 Lt. Salas responded the County has adopted an ordinance, but he is unsure if the City has adopted an  
44 ordinance. These vehicles are not allowed on state roads. The county allows them on county roads only.  
45 Driver must have a driver’s license; vehicle must be insured and registered.  
46

47 **Motion: To close public hearing and open regular meeting, Moved by Trustee Caro, Seconded by**  
48 **Trustee Arzabal.**



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**Roll Call Vote:** Motion passed (**summary:** Yes =3).

Mayor Pro Tem Johnson-Burick Yes

Trustee Arzabal Yes

Trustee Caro Yes

Open Regular Meeting at 6:18 p.m.

Mayor Barraza opened discussion amongst the Trustees regarding this ordinance and reviewed her changes. She wants to change the speed from 35 mph to 25 mph and to add multi-use trails wording. She asked how we can keep from these vehicles from crossing in the middle of the road.

Lt. Salas responded the ordinances does require a complete stop before crossing the road. There really is no way to prevent from crossing the road; they are permitted to drive on the laterals.

Trustee Caro responded they are not going to stop when getting to the road they are going to cross.

Fire Chief Hoban stated there are currently regulations for yielding right of way.

Mayor Barraza asked if the officers would have something in writing to back them up

Lt. Salas responded yes as it is State Law.

Mayor Pro-Tem Johnson-Burick reviewed her changes.

Trustee Arzabal stated this is an ordinance that the Town has been needing. Thanked Lt. Salas for doing it.

Trustee Caro stated he wants to ensure that Town Staff is also aware of these changes.

Mayor Barraza stated these changes will be made and this ordinance will be up for adoption at our next meeting.

- b. Resolution 2020-01:** A resolution establishing, amending and repealing certain sections of the Personnel Policies and Procedures for the Town of Mesilla; all prior resolutions are repealed.

**Motion: To postpone this item until reviewed by attorney, Moved by Trustee Arzabal, Seconded by Mayor Pro-Tem Johnson-Burick.**

**Roll Call Vote:** Motion passed (**summary:** Yes =3).

Mayor Pro Tem Johnson-Burick Yes

Trustee Arzabal Yes

Trustee Caro Yes

7. **\*STAFF REPORTS:**

Community Development

Community Programs

Finance Department

Fire Department

Marshal's Department

Public Works Department

1  
2 **8. BOARD OF TRUSTEE COMMITTEE REPORTS**

3 Trustee Arzabal attended the CO meeting December 13<sup>th</sup> in Hatch. March 13<sup>th</sup> meeting will be in  
4 Elephant Butte followed by June 21<sup>st</sup> in Silver City.

5  
6 Mayor Pro-Tem Johnson-Burick attended the MPO meeting on January 8<sup>th</sup> along with Mayor Barraza and  
7 Trustee Garcia. Adopted Safety Performance Standards for the MPO and finalized options for the multi-  
8 loop trail. They were given updates on construction around town.

9  
10 Mayor Barraza stated we had a meeting with Legislators on December 17<sup>th</sup>. Great representation of  
11 communities. First time that we have tried to organize a meeting of this type. Christmas activities on the  
12 plaza went very well. We were worried about the rain, but it cleared up enough to celebrate. Very  
13 grateful to our businesses that helped us put it together. We had a mandatory training on Friday called  
14 Stop the Bleed. It was great training and hopes that we can continue with an Active Shooter Training.  
15 Town Hall Legislative meeting yesterday with Senator Papen and Representative Cadena; great  
16 information.

17  
18 **9. BOARD OF TRUSTEE/STAFF COMMENTS**

19 Chief Hoban stated we received a \$167,000 grant to replace our 16-year-old brush truck.

20  
21 Mayor Barraza stated the board hired an officer at our last meeting, but he accepted a position with the  
22 County. We will be interviewing for our Marshal's position tomorrow.

23  
24 Trustee Caro thanked everyone that participated in the festivities. .

25  
26 Mayor Pro-Tem Johnson-Burick reiterate about Christmas festivities and the hard work; beautiful as  
27 always. The new cars are impressive and that the State Police. She feels they might deter a few  
28 individuals since they are not our standard vehicles.

29  
30 Trustee Arzabal stated each town event is getting bigger; he is worried about the plaza being closed  
31 numerous times. He understands that is done for safety reasons, but he doesn't know how fair this is to  
32 the businesses.

33  
34 Mayor Barraza replied that when we have new activities coming in, the Coordinators and Department  
35 Heads discuss attendance and how are we going to keep people safe. Businesses are notified through  
36 emails. The board had recommended staff go to each business to inform them; staff is treated with  
37 hostility by some of the businesses.

38  
39 Lt. Salas added that we do post signs around the plaza before closures.

40  
41 Mayor Barraza stated we are in the process of purchasing two new vehicles in the Marshal's Department  
42 from the loan we received. We have added two more Marshal's vehicles on the ICIP for this year. She  
43 has requested that Lt. Salas wrap the doors to the two black vehicles in white. She asked that the board  
44 contact Ms. Stoechner-Hernandez to let her know if they are planning to attend Municipal Day in Santa Fe  
45 so that she can make arrangements. She feels we should have a ribbon cutting ceremony for Bowman or  
46 something because it's finally finished! The work on McDowell should be completed soon. We are in  
47 the planning stage of updating the lighting around the plaza and Community Center Park.

48  
49 **10. ADJOURNMENT**

50 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-5)**

51  
52 **MEETING ADJOURNED AT 6:42 P.M.**

1 APPROVED THIS 27th DAY OF JANUARY, 2020.

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*Nora L. Barraza*

Nora L. Barraza  
Mayor

ATTEST:

*Cynthia Stehner-Hernandez*

Cynthia Stehner-Hernandez  
Town Clerk/Treasurer







**BOARD OF TRUSTEES  
TOWN OF MESILLA  
WORK SESSION  
MONDAY, JANUARY 27, 2020  
5:30 P.M.**

- TRUSTEES:** Nora L. Barraza, Mayor  
Stephanie Johnson-Burick, Mayor Pro Tem  
Carlos Arzabal, Trustee  
Jesus Caro, Trustee  
Veronica Garcia, Trustee
- STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
Lawrence Shannon, Community Development Coordinator
- PUBLIC:** Susan Krueger

**1. Discussion:** Revision to Chapter 18.35 H-R – Residential – Cultural – Historical Zone Ordinances – *Cynthia Stoechner-Hernandez, Clerk/Treasurer.*

**Suggested changes discussed:**

- Changing setbacks to 7 feet.
- No zero lot lines permitted.
- How to regulate the population density in the Town.

Closed Work Session at 5:53 p.m.

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**BOARD OF TRUSTEES  
TOWN OF MESILLA  
REGULAR MEETING  
MONDAY, JANUARY 27, 2020  
6:00 P.M.**

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- TRUSTEES:** Nora L. Barraza, Mayor  
Stephanie Johnson-Burick, Mayor Pro Tem  
Carlos Arzabal, Trustee  
Jesus Caro, Trustee  
Veronica Garcia, Trustee
- STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
Kevin Hoban, Fire Chief  
Rod McGillivray, Public Works Director  
Enrique Salas, Lieutenant  
Lawrence Shannon, Community Development Coordinator  
Dorothy Sellers, Special Events Coordinator

- 27  
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31
- PUBLIC:** Susan Krueger            Angela Rael  
Rafael Geck                    Davie Salas  
Kelly Salas                     William McIlvaine  
Presciliana Sandoval        Charles Madrid

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33  
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**1. PLEDGE OF ALLEGIANCE**

Mayor Barraza led the Pledge of Allegiance.

35  
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37

**2. ROLL CALL & DETERMINATION OF A QUORUM**

**Roll Call.**

**Present:** Mayor Barraza, Mayor Pro Tem Johnson-Burick, Trustee Arzabal, Trustee Caro, Trustee Garcia.

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**3. CHANGES TO THE AGENDA & APPROVAL**

**Motion: To approve agenda, Moved by Trustee Arzabal, Seconded by Trustee Garcia.**

**Roll Call Vote:** Motion passed (**summary:** Yes =4).

Mayor Pro Tem Johnson-Burick Yes

Trustee Arzabal Yes

Trustee Caro Yes

Trustee Garcia Yes

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48

**4. PUBLIC INPUT** – The public is invited to address the Board for up to 3 minutes.

Ms. Krueger voiced concerns regarding a sandwich board sign on Avenida de Mesilla advertising Dr. Schaefer's business. She also noted that whoever cleared Mr. Kane's property took out the community ditch.

Ms. Sandoval voiced concerns regarding the Mercado. Musicians are loud and getting aggressive. The vendors don't mind helping with the proposed increased rates. Requests allowing vendors on the plaza

1 when there is a federal holiday on a Monday.  
2

3 **5. CLOSED SESSION** – pursuant to NMSA 1978 Chapter 10-15-1(H)(2): discussion limited  
4 to personnel matters in the Marshal’s Department. – *Nora L. Barraza, Mayor.*

5 **Motion: To enter Closed Session – pursuant to NMSA 1978 Chapter 10-15-1(H)(2): discussion**  
6 **limited to personnel matters in the Marshal’s Department, Moved by Trustee Arzabal, Seconded by**  
7 **Trustee Garcia.**

8  
9 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

10 Mayor Pro Tem Johnson-Burick Yes

11 Trustee Arzabal Yes

12 Trustee Caro Yes

13 Trustee Garcia Yes

14  
15 Entered Closed Session at 6:10 p.m.

16  
17 **Motion: To enter Regular Meeting after limited discussion to personnel matters in the Marshal’s**  
18 **Department - pursuant to NMSA 1978 Chapter 10-15-1(H)(2), Moved by Trustee Arzabal,**  
19 **Seconded by Trustee Garcia.**

20  
21 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

22 Mayor Pro Tem Johnson-Burick Yes

23 Trustee Arzabal Yes

24 Trustee Caro Yes

25 Trustee Garcia Yes

26  
27 Entered Regular Meeting at 6:30 p.m.

28  
29 **6. For Approval:** action on limited personnel matters following closed session relating to the  
30 Marshal’s Department. – *Nora L. Barraza, Mayor.*

31 Mayor Barraza recommended Mr. Edward J. Lerma for the position of Town of Mesilla Marshal, with the  
32 condition that his PERA is frozen during his employment, at beginning salary of \$53,000/year.

33  
34 **Motion: To approve the hiring of Mr. Edward J. Lerma as Town of Mesilla Marshal with the**  
35 **condition that his PERA is frozen during his employment, at beginning salary \$53,000/year, Moved**  
36 **by Trustee Arzabal, Seconded by Trustee Caro.**

37  
38 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

39 Mayor Pro Tem Johnson-Burick Yes

40 Trustee Arzabal Yes

41 Trustee Caro Yes

42 Trustee Garcia Yes

43  
44 **7. \*APPROVAL OF CONSENT AGENDA – (The Board will be asked to approve by one**  
45 **motion the following items of recurring or routine business. The Consent Agenda is**  
46 **marked with an asterisk \*):**

47 **Motion: To approve consent agenda, Moved by Trustee Arzabal, Seconded by Mayor Pro-Tem**  
48 **Johnson-Burick.**

49  
50  
51 Trustee Caro requested removing item b from consent agenda for discussion.  
52



1 Mayor Pro Tem Johnson-Burick requested removing item h from consent agenda for discussion.

2

3 Trustee Garcia noted a correction to the worksession minutes.

4

5 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

6 Mayor Pro Tem Johnson-Burick Yes

7 Trustee Arzabal Yes

8 Trustee Caro Yes

9 Trustee Garcia Yes

10

11 **Amended Motion: To approve consent agenda as amended, Moved by Mayor Pro-Tem Johnson-**  
12 **Burick, Seconded by Trustee Garcia.**

13

14 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

15 Mayor Pro Tem Johnson-Burick Yes

16 Trustee Arzabal Yes

17 Trustee Caro Yes

18 Trustee Garcia Yes

19

20

21 a) \* **BOT Minutes** – Minutes of a Work Session & Regular Meeting on January 13, 2020  
22 *Approve consent agenda*

23 b) \***PZHAC Case 090681** - Submitted by Dave and Kelly Salas; a request to discuss plans to  
24 construct an additional two dwellings on a property located on the north side of Calle del  
25 Sur, adjacent to the east side of the property at 2138 Calle del Sur. (Case  
26 060981) Zoned: Historic Residential (HR).

27 Trustee Arzabal asked if the Planning and Zoning Commission voted on the case.

28

29 Mayor Barraza responded the vote was 4 to 0 to approve.

30

31 Trustee Caro asked if the application for the additional 2 dwellings came in before the moratorium.

32

33 Mayor Barraza responded the applicant had been approved for 2 dwellings and prior to the moratorium  
34 was put in place applied for an additional 2 dwellings.

35

36 **Motion: To approve PZHAC Case #090681 – submitted by Dave and Kelly Salas; a request to**  
37 **discuss plans to construct an additional two dwellings on a property located on the north side of**  
38 **Calle del Sur, adjacent to the east side of the property at 2138 Calle del Sur. Zoned: Historic**  
39 **Residential (HR), Moved by Trustee Arzabal, Seconded by Trustee Caro.**

40

41 **Roll Call Vote:** Motion passed (**summary:** Yes =3, No =1).

42 Mayor Pro Tem Johnson-Burick Yes

43 Trustee Arzabal Yes

44 Trustee Caro No

45 Trustee Garcia Yes

46

47 c) \***PZHAC Case 060997** – 2685 Calle de Parian, submitted by William McIlvaine, a request  
48 to install three new gates and privacy panels on an existing rock wall around a residential  
49 property at this address. Zoned: Historical Residential (HR). *Approve consent agenda*

50 d) \***PZHAC Case 060999** - 2488 Calle de Guadalupe submitted by Joseph W. Foster, a  
51 request for a zoning permit to paint a 5-foot-wide by 3-foot-high mural on a wall around the  
52 commercial courtyard at this address. Zoned: Historical Commercial (HC). *Approve*

1 *consent agenda*

- 2 e) **\*PZHAC Case 060995** – 1922 Calle de Cura, submitted by Nia Rucker; a request  
3 for a zoning permit to allow the replacement of a bathroom window on a dwelling at  
4 this address. Zoned: Historical Residential (HR). *Approve consent agenda*  
5 f) **\*PZHAC Case 060996** – 2424 Calle de Parian, submitted by Cecilia Quintana; a request  
6 for a zoning permit to install five-foot high sections of “coyote” fencing at three locations  
7 on the property for privacy. Zoned: Historical Residential (HR). *Approve consent agenda*  
8 g) **\*PZHAC Case 061000** – 2160 Calle del Norte, submitted by Gary Bell: a request for a  
9 zoning permit to allow the installation of a horse fence for security along the west property  
10 line abutting a ditch bank adjacent to the property. Zoned: Historical Residential (HR).  
11 *Approve consent agenda*  
12 h) **\*PZHAC Case 060989** – 2930 La Mesilla Circle, submitted by William and Amy Abruzzi;  
13 a request for a zoning permit to allow the construction of a 16-foot by 18-foot (224 square  
14 foot) storage shed on a residential property at this address. Zoned: Historical Residential  
15 (HR).

16 **Motion: To approve PZHAC Case 090689 – 2930 La Mesilla Circle, submitted by William and Amy**  
17 **Abruzzi; a request for a zoning permit to allow the construction of a 16-foot by 18-foot (224 square**  
18 **foot) storage shed on a residential property at this address. Zoned: Historical Residential (HR),**  
19 **Moved by Mayor Pro-Tem Johnson-Burick, Seconded by Trustee Garcia.**

20  
21 Mayor Pro Tem Johnson-Burick referred to the BOT action form.

22  
23 Mr. Shannon responded the Planning and Zoning approved the construction size at 16 foot by 18 foot.

24  
25 Trustee Caro asked about the height limitation.

26  
27 Mr. Shannon responded the height is at 30 feet which is allowable in the area.

28  
29 Mayor Barraza stated the board can decide if they want to change the height if they feel it is too high.

30  
31 Trustee Arzabal stated they are asking for a 12 foot.

32  
33 Trustee Garcia stated it would be 12 foot in the front and 11 foot in the back.

34  
35 Mr. Shannon stated the highest 12 foot 6 inches.

36  
37 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

38 Mayor Pro Tem Johnson-Burick Yes

39 Trustee Arzabal Yes

40 Trustee Caro Yes

41 Trustee Garcia Yes

- 42  
43 i) **\*PZHAC Case 061001** – 2250 Calle de San Albino, submitted by Wendy Weir for “Agave  
44 Artists”; a request for a sign permit to allow a hanging sign for an art gallery at this address.  
45 Zoned: General Historical Commercial (HC). *Approve consent agenda*  
46 j) **\*PZHAC Case 061002** – 1701 Calle de Mercado #6, submitted by Jenna Emerick for  
47 “Salon de Mesilla LLC”; a request for sign permit to allow a wall sign for beauty salon at  
48 this address. Zoned: General Commercial (C). *Approved by consent agenda*

49  
50 **8. NEW BUSINESS:**

1 a) **Input from residents** on changes you would like us to consider for the Historic Residential  
2 Zone.

3 Ms. Krueger handed out her discussion points [attached].  
4

5 b) **For Approval: Ordinance 2020-01:** An ordinance to be called chapter 10.15 – adopting  
6 regulations for off-highway motor vehicles.

7 **Motion: To approve Ordinance 2020-01: An ordinance to be called Chapter 10.15 – adopting**  
8 **regulations for off-highway motor vehicles, Moved by Trustee Arzabal, Seconded by Trustee Caro.**  
9

10 **Roll Call Vote:** Motion passed (summary: Yes =4).

11 Mayor Pro Tem Johnson-Burick Yes

12 Trustee Arzabal Yes

13 Trustee Caro Yes

14 Trustee Garcia Yes  
15

16 c) **For Discussion:** An ordinance revision to amend the rates for the Town of Mesilla Mercado  
17 Vendors. – *Dorothy Sellers, Community Programs Coordinator.*

18 Ms. Sellers stated that vendors are currently paying \$100 for the space and \$35 for the licensing. She is  
19 proposing it be increased a \$100 for the cost of the space making it \$235 annually.  
20

21 Mayor Barraza stated Ms. Sellers looked at the City of Las Cruces Farmer’s Market fees which are \$130  
22 per quarter and a \$25 membership fee in addition to the business license. We need to offset our expenses.  
23

24 Trustee Arzabal stated it means a lot to have Ms. Sandoval come to the board with her support and  
25 recommendations as she was one of the first to participate in the Mercado. He is concerned with vendors  
26 violating parking regulations.  
27

28 Ms. Sellers stated she is currently working on the rules and regulations so vendors are aware of what is in  
29 place and will comply.  
30

31 Mayor Barraza and Ms. Sellers met with the vendor captain to discuss issues a few weeks ago. We need  
32 to make ensure rules and regulations are followed. She relies on the officers to ensure that the rules and  
33 regulations are enforced. She will speak to staff regarding the federal holidays and see what is best for  
34 the community.  
35

36 Trustee Garcia mentioned there are vendors that are showing up on Sunday that have not paid for a  
37 license. When would this go into effect?  
38

39 Ms. Sellers responded our target date is for renewal of business licenses on March 15<sup>th</sup>.  
40

41 Mayor Barraza stated staff will meet to discuss these issues. She is also concerned with how many  
42 vendors park around the plaza.  
43

44 Trustee Caro stated he is willing to go with the rate increase and look at Ms. Sandoval’s request.  
45



1 Mayor Pro-Tem Johnson-Burick stated she does not support doubling the fees. She recommends doing it  
2 in implements.

3

4 Mayor Barraza responded Harold, Mercado Captain, stated the vendors will support the increase.

5

6 **d) For Appointment:** A Mayor Pro-Tem to serve for one year pursuant to MTC 2.15.060. -  
7 **Nora L. Barraza, Mayor.**

8 Trustee Caro nominated Trustee Arzabal as Mayor Pro-Tem for the Town of Mesilla.

9

10 Mayor Barraza stated due to the revision to the election act; this will be done in January from now on.

11

12 Mayor Pro-Tem Johnson-Burick stated she was going to nominate Trustee Garcia to continue the rotating  
13 so that everyone gets the opportunity to serve.

14

15 **Motion: To approve Trustee Arzabal as Mayor Pro-Tem for the Town of Mesilla, Moved by**  
16 **Trustee Caro, Seconded by Trustee Garcia.**

17

18 **Roll Call Vote:** Motion passed (summary: Yes =4).

19 Mayor Pro Tem Johnson-Burick Yes

20 Trustee Arzabal Yes

21 Trustee Caro Yes

22 Trustee Garcia Yes

23

24 **e) For Appointment:** a representative to serve on each of the following committees:

25 • Southwestern Area Workforce Development Board

26 • South Central Council of Governments, Inc.

27 • Lower Rio Grande Water Users Organization

28 • Metropolitan Planning Organization (MPO)

29 • South Central Regional Transit District (RTD)

30 • MPO Technical Advisory Committee

31 • MPO Bicycle Committee

32 See the attached appointment listing.

33

34 **Motion: To approve the appointment listing, Moved by Trustee Arzabal, Seconded by Trustee**  
35 **Garcia.**

36

37 **Roll Call Vote:** Motion passed (summary: Yes =4).

38 Mayor Pro Tem Johnson-Burick Yes

39 Trustee Arzabal Yes

40 Trustee Caro Yes

41 Trustee Garcia Yes

42

### 43 **9. BOARD OF TRUSTEE COMMITTEE REPORTS**

44 Trustee Arzabal stated that the next CEO meeting will be in March in Elephant Butte.

45

### 46 **10. BOARD OF TRUSTEE/STAFF COMMENTS**

47 Chief Hoban stated there are several firefighters graduating from the Las Cruces Fire Academy on  
48 January 31<sup>st</sup> at 2:00 p.m. at the Dona Ana Community College East Mesa campus.

49

1 Trustee Arzabal stated we are doing the right thing in soliciting public input for the Historic Zone.

2

3 Trustee Garcia stated the Mercado vendors are very pleased with Ms. Sellers.

4

5 Mayor Barraza congratulated Trustee Arzabal as Mayor Pro-Tem and thanked Trustee Johnson-Burick for  
6 all her help this past year as Mayor Pro-Tem. She attended an amazing presentation at Rio Grande Prep  
7 School on Rachel's Challenge on Friday. Thanked Lieutenant Salas for stepping up to the plate. She and  
8 others will be going to the legislative session next week. Next Board of Trustees meeting will be on  
9 February 10<sup>th</sup>; a worksession will be held prior to meeting to discuss the Historical Residential Ordinance.

10

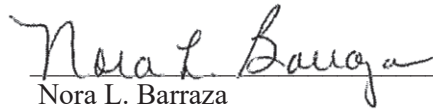
11 **11. ADJOURNMENT**

12

13 Unanimously voted to end the meeting at 7:10 p.m. (summary: Yes =4).

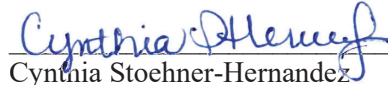
14

**APPROVED THIS 10th DAY OF FEBRUARY, 2020.**



Nora L. Barraza  
Mayor

**ATTEST:**

  
Cynthia Stochner-Hernandez  
Town Clerk/Treasurer



### 18.35 HR zone, Residential- Cultural-Historical Zone

First, I suggest removing all references to “Guidelines and Criteria for Preservation and Development” manual and replacing it with “Chapter 18.33 The Historic Preservation Ordinance.”

Second, I suggest providing additional, specific “Development Standards,” all in one place, regarding all construction in the HR zone.

There is a reference to a “development plan” at 18.35.020 Uses permitted. “Residential and related uses approved by the commission. . .and approval of a “development plan” (see MTC 18.50.030, which I couldn’t find).

Suggested specific development standards include:

Sidewalks. See code at 12.05.020;

Off street parking. See code at 18.60.170 C. 2. Parking Space Standards Residential Uses, HR Zone, Dwellings—Multifamily, two bedrooms or larger, requires three, 10 x20, off-street parking spaces per unit.

Lighting, see Code at...

Ponding, see Code at...

Screening of outdoor storage, see Code at....

Walls, fencing, hedges, see Code at.....

Installation of Utility wires..

Inspections by Town of Mesilla: identify what are required and when

Third, other suggested considerations:

Re. Height limitations, reduce it below 30’ .

Heights of walls in the front yard setback in the HR zone, reduce from 6 to 4..what it used to be so that Architectural Style is visible.....use blinds, shutters, curtains for privacy.

Put side and rear yard setbacks at 5-7 feet regardless of building material to allow space to clean weeds, etc.

Note that adjustments to standards may be required in order to protect and promote the health, safety and welfare of the public





**BOARD OF TRUSTEES  
TOWN OF MESILLA  
WORK SESSION  
MONDAY, FEBRUARY 10, 2020  
5:30 P.M.**

- TRUSTEES:** Nora Barraza, Mayor  
Carlos Arzabal, Mayor Pro Tem  
Jesus Caro, Trustee  
Veronica Garcia, Trustee  
Stephanie Johnson-Burick, Trustee
- STAFF:** Larry Shannon, Community Development Coordinator  
Gloria Maya, Recorder
- PUBLIC:** Susan Krueger

**Discussion: Revision to Chapter 18.35 H-R – Residential – Cultural – Historical Zone Ordinance.**

Mayor Barraza reviewed the recommended revisions to Chapter 18.35 H-R – Residential – Cultural – Historical Zone Ordinance.

- Remove new structures
- Add development standard
- Eliminate 18.35.050, 18.35.060.18.35.070
- 18.35.010 addition/removal to purpose
- 18.35.020 addition/removal to uses permitted
- 18.35.030 exterior appearance
- 18.35.040 New construction/Modifying existing structures
- 18.35.050 Addressing height limitations
- 18.35.060 Yard sizes
- 18.35.070 Development Standards

Mayor Pro Tem Arzabal asked if it will be referencing 18.33 which is the town code.

Mayor Barraza responded yes.

Mr. Shannon stated that is the Historic Preservation Standard. A maximum height can be added.

1 Mayor Pro-Tem Arzabal stated he is fine with 10 ft. for yards.  
2  
3 Trustee Caro stated believes 7 ft. would be better.  
4  
5 Trustee Johnson-Burick asked if there a lot of properties/empty lots in Mesilla.  
6  
7 Mayor Barraza responded there are not a lot of empty lots in Mesilla. By imposing the setbacks, it will  
8 prevent large homes from being built.  
9  
10 Mayor Pro-Tem Arzabal stated there is not a lot of land in the historic residential zone.  
11  
12 Mayor Barraza stated construction is being done as close to the lot lines as possible.  
13  
14 Trustee Caro stated we need to look at the size of the house; the bigger the house – the bigger the setback.  
15  
16 Trustee Johnson-Burick stated the ordinance would still need to be followed.  
17  
18 Mayor Pro-Tem Arzabal stated the trustees, as well as the Planning and Zoning, need to take those things  
19 in to consideration when approving or disapproving an application. Feels anything between 7 ft. and 10  
20 ft. would be feasible.  
21  
22 Mayor Barraza indicated Mr. VanFleck told me we should be going by our ordinances instead of using  
23 variances.  
24  
25 Mayor Pro-Tem Arzabal stated there needs to be criteria that we can follow when an applicant has a  
26 hardship and cannot have the utilities underground also can there be an appeal.  
27  
28 Mr. Shannon responded if we have specific criteria then the Planning Commission can decide; if denied  
29 then it can go to the Board of Trustees as an appeal rather than go for a variance.  
30  
31 Mayor Barraza stated we need to focus on placing utilities underground. We will have a worksession  
32 with Planning and Zoning Commissioners at 5:00 p.m. on February 24<sup>th</sup>.  
33  
34 Worksession closed at 6:00 p.m.  
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**BOARD OF TRUSTEES  
TOWN OF MESILLA  
REGULAR MEETING  
MONDAY, FEBRUARY 10, 2020  
6:00 P.M.**

7 **TRUSTEES:** Nora Barraza, Mayor  
8 Carlos Arzabal, Mayor Pro Tem  
9 Jesus Caro, Trustee  
10 Veronica Garcia, Trustee  
11 Stephanie Johnson-Burick, Trustee

12  
13 **STAFF:** Kevin Hoban, Fire Chief  
14 Rod McGillivray, Public Works Director  
15 Enrique Salas, Marshal  
16 Dorothy Sellers, Community Events Coordinator  
17 Larry Shannon, Community Development Coordinator  
18 Gloria Maya, Recorder

19  
20 **PUBLIC:** Susan Krueger Davie Salas  
21 Kelly Salas Natalie Ogas  
22 Rafael Geck

23  
24 **1. PLEDGE OF ALLEGIANCE**

25 Mayor Barraza led the Pledge of Allegiance.

26  
27 Mayor Barraza held a Moment of Silence for Judge Lionel Frieze.

28  
29 **2. ROLL CALL & DETERMINATION OF A QUORUM**

30 **Roll Call.**

31 **Present:** Mayor Barraza, Mayor Pro-Tem Arzabal, Trustee Caro, Trustee Garcia, Trustee Johnson-  
32 Burick.

33  
34 **3. CHANGES TO THE AGENDA & APPROVAL**

35 **Motion: To approve agenda, Moved by Mayor Pro-Tem Arzabal, Seconded by Trustee Garcia.**

36  
37 **Roll Call Vote:** Motion passed (summary: Yes =4).

38 Mayor Pro-Tem Arzabal Yes

39 Trustee Caro Yes

40 Trustee Garcia Yes

41 Trustee Johnson-Burick Yes

42  
43 **4. PUBLIC INPUT** – The public is invited to address the Board for up to 3 minutes.

44 Ms. Krueger expressed her concerns. See attached

45  
46 **5. \*APPROVAL OF CONSENT AGENDA** – (The Board will be asked to approve by one  
47 motion the following items of recurring or routine business. The Consent Agenda is  
48 marked with an asterisk \*):

49 Mayor Barraza removed item b from the consent agenda.

50  
51 **Motion: To approve consent agenda as amended, Moved by Mayor Pro-Tem Arzabal, Seconded by**  
52 **Trustee Johnson-Burick.**



1 **Roll Call Vote:** Motion passed (**summary:** Yes =4).  
2 Mayor Pro-Tem Arzabal Yes  
3 Trustee Caro Yes  
4 Trustee Garcia Yes  
5 Trustee Johnson-Burick Yes  
6

7 a) \* **BOT Minutes** – Minutes of a Work Session & Regular Meeting on January 27, 2020.

8 *Approved by consent agenda*

9 b) \***PZHAC Case 060748** – 2729 Calle de San Albino, submitted by Natalie B. Ogaz, a  
10 request for changes to an approved building permit to construct a new residence at this  
11 address. Zoned: Historic Residential (HR).

12 Mayor Barraza stated this case was approved by the Planning and Zoning and the Board of Trustees in  
13 August, 2018 with the condition that the roof be lower.

14  
15 Mr. Shannon stated construction has not begun and an extension was approved. The applicant would like  
16 to go back to the original roof height and change some of the windows to French doors.

17  
18 Mayor Barraza stated that this should have gone through an appeal process. This was approved with a  
19 condition that the roof would be lower to fit into the development in that area.

20  
21 Mr. Shannon responded the appeal process should have been done when the Planning and Zoning denied  
22 it the first time. They accepted the plans as was. At this time construction had not begun and it was  
23 outside of the appeal process. She requested modifications to the plans.

24  
25 Mayor Barraza asked if they had to go through the whole process again. What is the justification for the  
26 Planning and Zoning to not approve the higher roof when they had previously approved the plans with  
27 the condition to lower the roof?

28  
29 Mr. Shannon responded the applicant felt the original height would not be different from other  
30 surrounding properties.

31  
32 Mayor Barraza stated Mr. Wright has a flat roof. She does not know why the board would want to  
33 approve a higher roof when we had agreed with the condition placed by the Planning and Zoning.

34  
35 Mr. Shannon stated there would be 5 windows changed to French doors.

36  
37 Mayor Barraza stated as she drove the area, she did not see any roofs at that height that would follow the  
38 development zone in that area.

39  
40 Trustee Caro asked how high the building is across from Ms. Sandoval's.

41  
42 Mr. Shannon responded the roof is 14.5 ft.; property is 3 ft. up from the road.

43  
44 Mayor Barraza referred to packets page 31.

45  
46 Trustee Johnson-Burick stated this was voted on and approved with a condition and now is being brought  
47 back to revisit a year and a half later. She is concerned building will be out of character. The appeal was  
48 not done; now comfortable with the process.

49  
50 Mayor Pro-Tem Arzabal referred to the action forms and asked what has changed.

51  
52 Mr. Shannon responded he left it up to the applicant to prove why the house would fit into the area and  
53 according to the applicant the houses would be the same height.

1  
2 Mayor Pro-Tem Arzabal asked if the 18 ins. would make it conforming to the area.  
3  
4 Mayor Barraza responded it met the development zone.  
5  
6 Mayor Pro Tem Arzabal stated we are put in a position after it has gone through Planning and Zoning.  
7  
8 Mayor Barraza responded the board can approve the application with condition that the roof is lowered or  
9 deny it as it is being presented or approve it as it is being presented.  
10  
11 Trustee Caro stated the ordinances are not being applied during the application process. This is not fair to  
12 the applicants. Sometimes it depends who the applicant is.  
13  
14 Mayor Barraza stated we need to spell it out to avoid misinterpretation.  
15  
16 Trustee Johnson-Burick asked if this meets the height requirements.  
17  
18 Mr. Shannon responded as the ordinance is written it should not out of character with surrounding homes  
19 according to the development zone.  
20  
21 Trustee Johnson-Burick asked does it meet the development standards of the area.  
22  
23 Mayor Barraza responded no.  
24  
25 Mr. Shannon responded the first time Planning and Zoning said no; second time they said yes.  
26  
27 Mayor Pro Tem Arzabal stated it is based on individual opinions.  
28  
29 Mayor Barraza responded we need to look back at the development zone.  
30  
31 Mr. Shannon stated he gave the commissioners the same information as the first time.  
32  
33 Mayor Barraza asked if there was any controversy.  
34  
35 Mr. Shannon responded one commissioner wanted it to stay as it was the first time but later changed her  
36 vote.  
37  
38 **Motion: To approve as submitted \*PZHAC Case 060748 – 2729 Calle de San Albino, submitted by**  
39 **Natalie B. Ogaz, a request for changes to an approved building permit to construct a new residence**  
40 **at this address. Zoned: Historic Residential (HR), Moved by Trustee Arzabal, Seconded by Trustee**  
41 **Garcia.**  
42  
43 Trustee Johnson-Burick asked if this kicks off the conditions previously approved.  
44  
45 Mayor Barraza responded yes.  
46  
47 **Roll Call Vote:** Motion passed (**summary:** Yes =3; Nay=1).  
48 Mayor Pro-Tem Arzabal Yes  
49 Trustee Caro Yes  
50 Trustee Garcia Yes  
51 Trustee Johnson-Burick Nay  
52  
53 Trustee Johnson-Burick stated there is no consistency with our ordinance. She is upset we have been

1 placed in this position again.

2  
3 Mayor Barraza stated she feels it should have gone through an appeal process. We had already approved  
4 the application with condition. She does not understand why the board voted like they did.

- 5  
6 c) **\*PZHAC Case 061010** – 2305 Calle de Colon, submitted by Gerard Nevarez; a request for  
7 a zoning permit to allow the addition of a privacy panel to a rock wall at the rear of a  
8 residential property at this address. Zoned: Historical Residential (HR). *Approved by*  
9 *consent agenda*

10  
11 **6. NEW BUSINESS:**

- 12 a) **For 1st Reading/Public Hearing: Ordinance 2020-03:** An Ordinance to be named  
13 Chapter 10.20 – Adopting a Social Host Ordinance.

14 **Motion: To close regular meeting and open Public Hearing, Moved by Trustee Johnson-Burick,**  
15 **Seconded by Trustee Garcia.**

16  
17 **Roll Call Vote:** Motion passed (summary: Yes =4).

18 Mayor Pro-Tem Arzabal Yes  
19 Trustee Caro Yes  
20 Trustee Garcia Yes  
21 Trustee Johnson-Burick Yes

22  
23 **Closed regular meeting and opened Public Hearing at 6:32 p.m.**

24  
25 Ms. Krueger voiced her concerns. See attached

26  
27 **Motion: To close Public Hearing, Moved by Trustee Johnson-Burick, Seconded by Trustee Garcia.**

28  
29 **Roll Call Vote:** Motion passed (summary: Yes =4).

30 Mayor Pro-Tem Arzabal Yes  
31 Trustee Caro Yes  
32 Trustee Garcia Yes  
33 Trustee Johnson-Burick Yes

34  
35 **Motion: To open regular meeting, Moved by Mayor Pro-Tem Arzabal, Seconded by Trustee**  
36 **Garcia.**

37  
38 **Roll Call Vote:** Motion passed (summary: Yes =4).

39 Mayor Pro-Tem Arzabal Yes  
40 Trustee Caro Yes  
41 Trustee Garcia Yes  
42 Trustee Johnson-Burick Yes

43  
44 **Open regular meeting at 6:34 p.m.**

45  
46 Mayor Barraza stated this ordinance was discussed during a department head meeting. The Marshal's  
47 Department supports the ordinance. We currently do not have a lot of underage cases.

48  
49 Lieutenant Salas stated we currently do not have an issue with underage drinking in Mesilla, but it is not  
50 to say it will not happen in the future. It is better to have something in place when that does happen.



1  
2 Trustee Caro stated people don't have the money to rent venues. He asked that they give them leeway  
3 and look at the individual's income.

4  
5 Lieutenant Salas responded it will be for the person who takes on the responsibility to have the party.  
6

7 **b) For 1st Reading/Public Hearing: Ordinance 2020-04:** A revising ordinance 12.15 – Use  
8 of Plaza.

9 Ms. Sellers reviewed the changes to ordinance 2020-04 – Use of Plaza.

10  
11 **Motion: To close regular meeting and open Public Hearing, Moved by Mayor Pro-Tem Arzabal,**  
12 **Seconded by Trustee Garcia.**

13  
14 **Roll Call Vote:** Motion passed (summary: Yes =4).  
15 Mayor Pro-Tem Arzabal Yes  
16 Trustee Caro Yes  
17 Trustee Garcia Yes  
18 Trustee Johnson-Burick Yes

19  
20 **Open Public Hearing at 6:42 p.m.**

21  
22 Ms. Krueger stated there are pages missing from handout.

23  
24 **Motion: To close Public Hearing, Moved by Mayor Pro-Tem Arzabal, Seconded by Trustee Caro.**

25  
26 **Roll Call Vote:** Motion passed (summary: Yes =4).  
27 Mayor Pro-Tem Arzabal Yes  
28 Trustee Caro Yes  
29 Trustee Garcia Yes  
30 Trustee Johnson-Burick Yes

31  
32 **Motion: To open regular meeting, Moved by Mayor Pro-Tem Arzabal, Seconded by Trustee Caro.**

33  
34 **Roll Call Vote:** Motion passed (summary: Yes =4).  
35 Mayor Pro-Tem Arzabal Yes  
36 Trustee Caro Yes  
37 Trustee Garcia Yes  
38 Trustee Johnson-Burick Yes

39  
40 **Opened regular meeting at 6:44 p.m.**

41  
42 Trustee Caro recommended adding no smoking or dogs allowed on the plaza.

43  
44 Fire Chief Hoban responded there is currently a No Smoking Ordinance for the plaza.

45  
46 Trustee Garcia asked if there is a fee to close the roads.

1  
2 Mayor Barraza responded there is no fee to close the roads. We will be addressing the closures of certain  
3 roads.

4  
5 **c) For Approval:** award of a Construction Contract for Town of Mesilla McDowell Road  
6 Wastewater Collection System Project – Phase II. – *Rod McGillivray, Public Works*

7 Mr. McGillivray stated we would like to award the bid to DuCross Construction which came in at  
8 \$277,577.00.

9  
10 Mayor Barraza asked if there is enough money to cover this project.

11  
12 Mr. McGillivray responded he does have a contingency.

13  
14 **Motion: To approve award of a Construction Contract for Town of Mesilla McDowell Road**  
15 **Wastewater Collection System Project-Phase II, Moved by Mayor Pro-Tem Arzabal, Seconded by**  
16 **Trustee Johnson-Burick.**

17  
18 **Roll Call Vote:** Motion passed (summary: Yes =4).

19 Mayor Pro-Tem Arzabal Yes

20 Trustee Caro Yes

21 Trustee Garcia Yes

22 Trustee Johnson-Burick Yes

23  
24 **d) For Appointment:** A Municipal Judge to serve until the current term has been completed  
25 (December 31, 2021).

26 Mayor Barraza stated she has asked Mr. Don Toomey, who has been filling in for Judge Fietze, to serve  
27 out the term. He stated he is willing to serve out the term with Mr. VanFrank as an alternate.

28  
29 **Motion: To approve the appointment of Municipal Judge to serve until the current term has been**  
30 **completed (December 31, 2021), Moved by Trustee Johnson-Burick, Seconded by Trustee Caro.**

31  
32 **Roll Call Vote:** Motion passed (summary: Yes =4).

33 Mayor Pro-Tem Arzabal Yes

34 Trustee Caro Yes

35 Trustee Garcia Yes

36 Trustee Johnson-Burick Yes

37  
38 Mr. Toomey stated has enjoyed filling in at the court. He received his law degree in 1983 so he has been  
39 doing this for a long time.

40  
41 **e) Resolution 2020-04:** A resolution extending a moratorium ceasing all construction of new  
42 building in the HR Zone. – *Nora L. Barraza, Mayor.*

43 Mayor Barraza

44 Post a public meeting to get public input 02.21 at community center

45 60 days

1 **Motion: To extend moratorium ceasing all construction of new building in the HR Zone, Moved by**  
2 **Mayor Pro-Tem Arzabal, Seconded by Trustee Caro.**

3  
4 Mayor Barraza stated we are requesting a 60-day extension until this ordinance is completed. We will  
5 schedule a Public Input meeting for Tuesday, February 18<sup>th</sup> at the Community Center.  
6

7 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

8 Mayor Pro-Tem Arzabal Yes

9 Trustee Caro Yes

10 Trustee Garcia Yes

11 Trustee Johnson-Burick Yes  
12

13 **7. \*STAFF REPORTS:**

14 Community Development

15 Community Programs

16 Finance Department

17 Fire Department

18 Marshal's Department

19 Public Works Department  
20

21 **8. BOARD OF TRUSTEE COMMITTEE REPORTS**  
22

23 Trustee Johnson-Burick – MPO meeting, Wednesday at 1:00 p.m. at the County Commission Chambers.  
24

25 Mayor Pro-Tem Arzabal – CEO meeting March 15<sup>th</sup> in Elephant Butte; June 21<sup>st</sup> in Silver City.  
26

27 Mayor Barraza - RTD meeting cancelled; attended legislative session which very productive. Capital  
28 Outlay will fund 5 projects out of 6 at over \$500K. Offices will be closed on Monday in honor of  
29 President's Day.  
30

31 **9. BOARD OF TRUSTEE/STAFF COMMENTS**

32 Ms. Sellers stated Census Kick-Off Day will be March 21<sup>st</sup>. There will be free food, kid activities and  
33 with stations set up to assist the public fill out forms. She is working with the Branigan Library to help  
34 with laptops.  
35

36 Mayor Barraza stated she has asked the Fire Chief for assistance.  
37

38 Trustee Garcia stated she agrees we need to educate our residents with regards to Colonia status.  
39

40 Mayor Pro-Tem Arzabal stated he wants to commend Lieutenant Salas on his professionalism on how he  
41 presented himself at the legislator session. We need to look at application process. The town may want  
42 to look at Colonia status again; it will not change Mesilla. They are dying to give towns money.  
43

44 Trustee Johnson-Burick stated we could do a lot of things with Colonia funding. She does not look at  
45 who the application is from; she reads and looks at the ordinances. We cannot pick and choose.  
46

47 Trustee Caro stated the trash truck destroyed our road during the last rain. He asked if the trash company  
48 can use a smaller truck.  
49

50 Mayor Barraza responded if we do it for one, we must do for everyone. It may be at a price; we will look  
51 into that.  
52

1 Mayor Barraza thanked Mr. Toomey for helping us out. She hopes the message gets out regarding the  
2 public input meeting. She is surprised at how the board voted since their prior vote was based on a  
3 condition. After criticizing the Planning and Zoning for what they did, did the exact same thing. We  
4 need to be consistent. With the revision of this ordinance there will be guidance. We need to remember  
5 the development zone and to reference ordinances 18.33 and 18.35. We cannot pick and choose based on  
6 who it is; ordinances must be followed. She wants to ensure things are done right in our historical area.  
7 Tourist are intrigued on how we have preserved our town. She invited everyone to the Census Kickoff on  
8 March 21<sup>st</sup>.

9  
10 Trustee Garcia asked that the door signs be distributed as soon as possible.

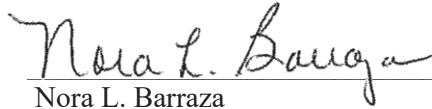
11  
12 Fire Chief Hoban inaudible

13  
14 **10. ADJOURNMENT**

15 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-4)**

16  
17 **MEETING ADJOURNED AT 7:13 P.M.**

18  
19 **APPROVED THIS 24th DAY OF FEBRUARY, 2020.**

20  
21 

22  
23  
24  
25  
26  
27  
28  
29  
30  
31  
32  
Nora L. Barraza  
Mayor

ATTEST:

30 

31  
32  
Cynthia Stoehner-Hernandez  
Town Clerk/Treasurer







**BOARD OF TRUSTEES**

**TOWN OF MESILLA**

**PUBLIC INPUT**

**February 18, 2020**

**6:00 p.m.**

**TRUSTEES:** Nora L. Barraza, Mayor  
Veronica Garcia, Trustee

**STAFF:** Cynthia Stoehner-Hernandez, Town Clerk/Treasurer  
Larry Shannon, Community Development  
Gloria Maya, Recorder

**PUBLIC:** Michelle Rasch Sally Williams  
Chris Alexander Pat Taylor  
Davie Salas Kelly Salas  
Mary Helen Ratje Rafael Geck  
Susan Krueger Jesus Lopez  
Trina Wittern Paul Barraza

**1. Discussion:**

Mayor Barraza opened the public input regarding the Historic Residential Zone Ordinance.

Mr. Taylor

- requested a copy of proposed ordinance to compare to original ordinance.
- would like to give input.
- have worked with the original one for years.

Mayor Barraza

- Iguado Plan will continue to be referenced
- define multi-family dwellings
- how they fit into Mesilla
- concern to residents
- where setbacks should be at, 7 ft – 10 ft
- building up to property line
- heights of buildings
- looking at one story buildings
- increasing square feet of area for each family unit

- 1 - architectural style needs to fit into development zone
- 2
- 3 Chris Alexander
- 4 - developments (historic district) are being built out to max
- 5 - historic district; minimum 8,000 sq. ft. per lot
- 6 - when referencing 4,000 that would be 2 story
- 7 - single lots could only have one unit
- 8 - Iguado Plan is the backbone is what has been followed for development
- 9 - Iguado Plan shows what is acceptable from doors, windows, etc
- 10 - new developments are not following the guidelines
- 11 - just because ordinance says the maximum is 30 ft does not mean it should be that
- 12 - needs to meet criteria
- 13 - consider lot size
- 14 - open area around buildings is not addressed
- 15 - 30% to 35% of lot should be undeveloped
- 16 - Apartments should not be allowed if are not existing or predominant in area
- 17 - Development zone needs to be followed if you want to protect the neighborhoods
- 18 - Making allowance where things should not happen
- 19 - Causing us to tweak ordinances which is a deterrent
- 20 - Development needs to mold to our community
- 21 - Take into consideration the size and shape of lot
- 22 - Iguado Plan was developed by what existed in the community
- 23 - Cannot deviate from the Iguado Plan
- 24 - Development wants to change to facilitate
- 25 - Gave example of the property with 5 units which should have been limited to 1 unit
- 26 - No height exceptions at all!
- 27 - If Planning and Zoning were more cognizance in interpreting plans and blueprints, we would not
- 28 - have windows with aluminum frame windows, open doorways-that is not Mesilla
- 29 - Ordinance allows pueblo but does not mean northern pueblo
- 30 - Iguado Plan defines what pueblo is for us
- 31 - Objects changing the ordinance other than in trying to ensure that we adhere to the development
- 32 - zone and the neighborhood
- 33 - Buyers need to be aware there are no exceptions to the rules
- 34 - Density conscientious
- 35 - Multi-family were not 2 story or condominiums
- 36 - Once we allow them, we cannot stop them
- 37 - Destroy the integrity of the ordinance
- 38 - historic zone is the magnet and needs the most protection
- 39 - look at the area on 292 to see what happens when you deviate from the ordinances
- 40 - Historic preservation means preserving and keeping
- 41 - Adhere to and if not do not allow it
- 42 - By tweaking after the fact is not the answer

- 1 - Be more cognizance  
2 - Deviating destroys what we have  
3  
4 Mary Helen Ratje  
5 - Values Chris Alexander comments  
6 - Attorney did come in to speak regarding some of the issues  
7 - Allowed apartment complex to be built  
8 - Feels there should be some tweaking to value our comments  
9 - Concerned that Planning and Zoning does not have people with long term experience of Mesilla  
10 - Run through things without having the historical background  
11 - Mayor Barraza has addressed more training may be needed  
12

13 Mr. Geck

- 14 - Agrees with the comments being made  
15 - There can be different wording; bottom line they are all rental units  
16 - There should be no new ones  
17 - Old buildings should be restored would like that in the ordinance  
18 - Our neighborhood is ruined with the two duplexes being allowed to be built  
19 - Petition signed by 30 people  
20 - Trustees that voted in favor voted against us  
21

22 Ms. Krueger

- 23 - Preservation Officer stated experience is based on feeling as well as knowledge  
24 - Do not need years of experience if you have knowledge  
25 - Knowledge is based on observation, studying and talking with residents  
26 - Importance of the development zone, architectural style  
27 - Huge gap between talk and what happens  
28 - See recommends going to another venue to see how a worksession is handled  
29 - It is okay to say no  
30 - Checklist is not being used  
31 - Provide samples  
32 - Northern New Mexico style is for commercial development  
33 - If there is no predominant architectural style it becomes fair play and the predominant  
34 architectural style of the town is used to figure out the development zone which is in the code  
35 - Described the use of a checklist  
36 - Gap needs to close as to what is allowed in the town and what is talked about  
37 - Bright lights and walled-in buildings do not provide security  
38 - Open area to see our history  
39 - Appreciation needs to be built on communication  
40 - Every mistake we make we need to learn so that we do not repeat it  
41

42 Ms. Wittern

- 1 - How can she give input if she cannot see revisions?
- 2 - Surprised the building on Ave de Mesilla was allowed

3

4 Mayor Barraza

- 5 - Public input will be composed

6

7 Mr. Taylor

- 8 - Iguado Plan is the foundation for how Mesilla treats its structures
- 9 - Taking advantage of zero lot lines
- 10 - Setbacks in the core will make things out of place
- 11 - Come up with a system that works
- 12 - Multi-family dwellings are causing a lot of concerns
- 13 - Look at how they are implemented and entertained
- 14 - It will put us at a disadvantage, not too late

15

16 Mr. Alexander

- 17 - If we require 8,000 sq. ft. for one house maybe, we should require 8,000 sq. ft. for each unit
- 18 - Limit the size of development on lot
- 19 - Use the plan of the neighborhood
- 20 - Keeps density down
- 21 - Look at the minimum lot size requirement

22

23 Ms. Williams

- 24 - Appreciates the history of Mesilla
- 25 - Cannot believe nothing happened where there was a petition
- 26 - This is not the Mesilla it was when I moved here
- 27 - She sees the changes taking place

28

29 Mr. Salas

- 30 - 8,000 per unit will cut it down to 2 units per .5 acre
- 31 - Lot sizes should have leniency
- 32 - Options or provision to allow owners to subdivide
- 33 - Never had a problem with the style allowed by the town
- 34 - Problem with the different types of roofs
- 35 - Difficult to see what belongs and what doesn't
- 36 - If something is not correct in the Iguado Plan, then don't make it an option – take it out
- 37 - Some people need their privacy
- 38 - He did not agree with the petition
- 39 - People are blaming the board for not standing up for the citizens; they are following the rules
- 40 - Personal opinion can not take over; there are rules and ordinances that have to be followed

41



1 Ms. Krueger

- 2 - Should not have the Iguado Plan phased in the ordinance; put in footnote
- 3 - Told by lawyer we could not enforce a plan it needs to be put in an ordinance
- 4 - It must be used
- 5 - Features, architectural style and use are described
- 6 - Northern New Mexico style should not be removed
- 7 - Northern New Mexico style is appropriate for commercial use
- 8 - How can these minutes last 20 minutes?
- 9 - Combined everyone's thoughts – times have changed

10

11 Ms. Ogaz

- 12 - Times are changing
- 13 - Small lots need to be developed
- 14 - Farming is coming to an end
- 15 - Upset with the 5-acre requirement
- 16 - 5 different styles of homes where she lives
- 17 - See Mesilla develop and prosper

18

19 Mr. Taylor

- 20 - Does not want the Iguado Plan removed
- 21 - Ensuring application process is followed
- 22 - Asked Mayor Barraza to explain the process

23

24 Mr. Alexander

- 25 - Planning and Zoning is to blame for the problems we have today
- 26 - They are responsible for reviewing plans, ensure styles are followed.
- 27 - Cannot say they did a contentious job by allowing the building on Ave de Mesilla
- 28 - It was a major issue when a building on the plaza wanted to install stain glass
- 29 - Elements of the new building are non-existing in the Town of Mesilla
- 30 - Condemned the Board of Trustees who gave final approval as they were following the
- 31 consciousness of what was presented by Planning and Zoning as being adequate.
- 32 - They do not have knowledge of the different zones and architectural styles
- 33 - Recommends resurrecting the Architectural Style Committee that reviews and ensures applicants
- 34 are in compliance.
- 35 - The town is dire need of direction
- 36 - Pre plan review done by staff to avoid going back in forth

37

38 Mr. Geck

- 39 - We would not be here if it had not been for the petition

40

41 Ms. Ratje

- 42 - Planning and Zoning should have been present

- 1 Mayor Barraza
- 2 - Understands everyone concerns
- 3 - Things are taken for granted
- 4 - The core and the people make Mesilla
- 5 - Our history is what attracts tourist
- 6 - Moratorium is until March 21<sup>st</sup>
- 7 - Planning and Zoning and the Board of Trustees were aware of this public input meeting
- 8 - Worksession for Planning and Zoning and Trustees at 5:00 p.m.
- 9 - Asked trustees to bring concerns, questions to the worksession
- 10 - Looking at 1<sup>st</sup> reading at the next meeting and approval by the end of March
- 11 - A possible draft by Friday
- 12 - Prefers family homes, not necessarily multi-family dwellings
- 13
- 14 Trustee Garcia
- 15 - Requested another public input meeting after the worksession
- 16
- 17 Ms. Stoechner-Hernandez
- 18 - That is a requirement for the ordinance
- 19
- 20 Mr. Alexander
- 21 - Requested to hold the meeting later than 5:00 p.m.
- 22
- 23 Mayor Barraza
- 24 - Public input will be held on a separate day
- 25
- 26



1  
2  
3  
4  
5  
6 **BOARD OF TRUSTEES AND PLANNING, ZONING AND HISTORICAL**  
7 **APPROPRIATENESS COMMISSION**  
8 **TOWN OF MESILLA**  
9 **JOINT WORK SESSION**  
10 **MONDAY, FEBRUARY 24, 2020**  
11 **5:00 P.M.**

12  
13 **TRUSTEES:** Nora L. Barraza, Mayor  
14 Carlos Arzabal, Mayor Pro Tem  
15 Jesus Caro, Trustee  
16 Veronica Garcia, Trustee  
17 Stephanie Johnson-Burick, Trustee  
18

19 **PLANNING & ZONING:** Gerard Nevarez, Commissioner  
20 Yolanda Lucero, Commissioner  
21 Judy Houston, Commissioner  
22

23 **STAFF:** Cynthia Stoenher-Hernandez, Town Clerk/Treasurer  
24 Larry Shannon, Community Development  
25 Gloria Maya, Recorder  
26

27 **PUBLIC:** Pat Taylor Susan Krueger  
28 P.A. Sandoval Eric Walkinshaw  
29

30  
31 **Discussion:** Revision to Chapter 18.35 Historic Residential (HR) Zone  
32 **Ordinance.**

33  
34 Mayor Barraza reviewed the changes; deletions, incorporation of sections, definitions.  
35

36 Commissioner Nevarez asked how this would affect home remodeling.  
37

38 Mayor Barraza responded must meet the Development Zone Standards and ordinance.  
39

40 Trustee Caro recommended that instead of doing so much redlining we should add a sub section  
41

42 Mayor Barraza responded we are waiting for interpretation from the attorney. We are not deleting; we are  
43 combining.  
44

45 Commissioner Nevarez stated multi-family dwelling create traffic congestion problem and are built to the  
46 maximum limit. Information needs to be passed on to Planning and Zoning.  
47

48 Mayor Barraza stated the number of units on lots has caused concerned.  
49

50 Trustee Caro stated our streets are too narrow.  
51

52 Mayor Barraza responded major concern was the parking spaces per unit. The requirement will now be  
53 8,000 sq. ft. per unit which is the same requirement for construction of a new home.  
54

1 Commissioner Nevarez stated some vote against it for that reason. Asked if there is still a moratorium  
2 in place for new construction in the Historical Zone. Asked for someone to follow up on  
3 cases/construction.  
4  
5 Mayor Barraza responded yes it was extended until March 21<sup>st</sup>. She will make sure Mr. Shannon takes  
6 care of following through.  
7  
8 Mayor Pro Tem Arzabal stated the attorney indicated dwellings would need to be connected by a  
9 common wall to continue with construction as per ordinance guidelines.  
10  
11 Mayor Barraza responded Planning and Zoning approved the cases without being connected. The  
12 attorney stated the dwellings needed to have a common wall. Felt all four units should have been  
13 connected to be considered a multi-family dwelling. The tattoo shop is higher than 15 ft.  
14  
15 Mr. Shannon stated construction should be limited to one story/15 ft. in height in the Historic District  
16 regardless what is in the Development Zone.  
17  
18 Commissioner Nevarez stated he agrees.  
19  
20 Commissioner Lucero stated the height should be the height of the building. Should not matter if it is  
21 on a hill. When she questioned the height of the tattoo shop, she was told that the building across the  
22 street was higher than a two-story building.  
23  
24 Mayor Barraza stated a previous case had been approved a year and a half ago with conditions. It came  
25 forth during the moratorium; this case should have applied for a new permit if they wanted to make  
26 modifications. The appeal deadline had passed. She cannot believe that Planning and Zoning and the  
27 trustees approved it with the height of the wall; we contradicted ourselves. What we did was wrong.  
28 New Mexico Municipal League attorney, Mr. VanFleck, could not believe we approve that application.  
29  
30 Commissioner Lucero stated she voted against it, but the minutes show I voted for it. We approved the  
31 tattoo shop height at 15 ft., and it is at 17 ft.  
32  
33 Commissioner Houston responded it was questioned.  
34  
35 Commissioner Lucero stated she wanted measured again.  
36  
37 Mayor Barraza stated we should not allow two story buildings in that area. Asked if it was approved by  
38 consent agenda.  
39  
40 Trustee Johnson- Burick responded it was pulled for discussion.  
41  
42 Mr. Shannon responded it was pulled the first time; came back as a Historic Commercial.  
43  
44 Mayor Barraza stated Planning and Zoning is not taking their time reviewing these cases. The new  
45 commercial building has metal windows and doors which is not part of the Development Zone. This  
46 process begins with staff who needs to ensure that the checklist is being followed. Mr. Maese also  
47 needs to spend more time on reviewing the plans to ensure what is being presented is according to the  
48 ordinances.  
49  
50 Trustee Caro stated things are not brought to our attention.  
51  
52 Mayor Pro Tem Arzabal recommended having an Architectural Style Committee.  
53



1 Trustee Caro stated a chimney was put at the top of the pitch on a home in Mesilla.  
2  
3 Fire Chief Hoban stated those are fire code issues.  
4  
5 Mayor Pro Tem Arzabal asked can a variance be requested if they want to build to the property line.  
6  
7 Mayor Barraza responded we have been told that we need to go by the ordinances and avoid giving  
8 variances which becomes a domino effect and creates issues.  
9  
10 Commissioner Lucero stated it is not a good idea to build to the property line.  
11  
12 Commission Nevarez stated it can become a privacy issue.  
13  
14 Trustee Caro stated there are utilities poles on the right of way. He sees where the Iguado Plan, which is  
15 like our bible, was taken out.  
16  
17 Trustee Johnson-Burick responded the Iguado Plan remains in 18.33.  
18  
19 Mayor Barraza responded the Iguado Plan is in section 18.33 and referenced throughout the ordinance.  
20 Setbacks was before the Iguado Plan.  
21  
22 Commissioner Nevarez stated this will help us make hard decisions.  
23  
24 Mayor Barraza stated we value the Planning and Zoning Commissioners opinions. More time needs to  
25 be taken when reviewing and approving these cases. She asked commissioners and trustees to review  
26 the comments from the residents. We will be addressing the Flagpole lots.  
27  
28  
29 Worksession ended at 5:59 p.m.  
30  
31  
32  
33  
34  
35  
36  
37  
38  
39  
40  
41  
42  
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**BOARD OF TRUSTEES  
TOWN OF MESILLA  
REGULAR MEETING  
MONDAY, FEBRUARY 24, 2020  
6:00 P.M.**

8     **TRUSTEES:**       Nora L. Barraza, Mayor  
9                        Carlos Arzabal, Mayor Pro Tem  
10                       Jesus Caro, Trustee  
11                       Veronica Garcia, Trustee  
12                       Stephanie Johnson-Burick, Trustee

14     **STAFF:**           Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
15                       Kevin Hoban, Fire Chief  
16                       Rod McGillivray, Public Works Director  
17  
18                       Gloria Maya, Recorder

20     **PUBLIC:**           Eric Walkinshaw                       Susan Krueger  
21                       P.A. Sandoval                         Pat Taylor  
22                       M.H. Ratje                             Jeremy J  
23                       Dr. Ned Rubin                         Dr. Francine Fernandez  
24                       Paul Blevins                           Kathleen Albers  
25                       Alyssa Myrick                         Alexis Brandt

28                       **1. PLEDGE OF ALLEGIANCE**

29     Mayor Barraza led the Pledge of Allegiance.

31                       **2. ROLL CALL & DETERMINATION OF A QUORUM**

32     **Roll Call.**

33     **Present:** Mayor Nora L. Barraza, Mayor Pro Tem Arzabal, Trustee Jesus Caro, Trustee Garcia.

35                       **3. CHANGES TO THE AGENDA & APPROVAL**

36     Mayor Barraza removed PZHAC case #061017 from agenda.

38     **Motion: To approve agenda as amended, Moved by Mayor Pro-Tem Arzabal, Seconded by Trustee Garcia.**

41     **Roll Call Vote:** Motion passed (**summary:** Yes =4).

42     Mayor Pro-Tem Arzabal   Yes

43     Trustee Caro            Yes

44     Trustee Garcia         Yes

45     Trustee Johnson-Burick   Yes

47                       **4. PROCLAMATIONS:**

48             **a)** A Proclamation for the 10<sup>th</sup> Annual Las Cruces Arts Fair Weekend, March 7 – 9<sup>th</sup>, 2020 at  
49                       the Las Cruces Convention Center. – **Nora L. Barraza, Mayor.**

50     Ms. Kathleen Albers read proclamation for the 10<sup>th</sup> Annual Las Cruces Arts Fair Weekend, March 7<sup>th</sup>-9<sup>th</sup>,  
51     2020 at the Las Cruces Convention Center.

52  
53             **b)** A Proclamation declaring March 2020 “Athletic Training Month” in the Town of Mesilla. –

1 **Nora L. Barraza, Mayor.**

2 Ms. Stoechner-Hernandez read proclamation declaring March 2020 “Athletic Training Month” in the  
3 Town of Mesilla.

4  
5 **5. PUBLIC INPUT** – The public is invited to address the Board for up to 3 minutes.

6 Mr. Blevins stated he is concerned that the noise section, which the attorney worked on, of the Plaza Use  
7 Ordinance was deleted. The music and noise on the plaza need to be controlled and enforced by  
8 ordinance.

9  
10 Ms. Krueger recommended that mistakes are identified and learned from them. Careful mistakes do not  
11 become the norm. Architectural Style is about what is predominant and prevailing.

12  
13 Mr. Taylor stated zero lot line can meet the code from adjoining structures. What will keep them from  
14 building zero lot life if they have permission from the neighbor. Recommended there could be a potential  
15 compromise.

16  
17 Ms. Sandoval stated it is too noisy on the plaza. Ms. Moreno lives 3 ft. from the restaurant on Ave de  
18 Mesilla, 3 ft. from the carnival lights, the noise and the smoke. Why do we have to rewrite all the  
19 ordinances for little things that come up.

20  
21 Mr. Salas stated new construction on an empty lot should abide by the ordinances not by what is in the  
22 area. An easement is sometimes needed for underground utilities.

23  
24 Dr. Rubin congratulated the board for approving the Social Host Ordinance. This will be providing the  
25 Marshal’s Department with additional tools and is a prevention effort.

26  
27 **6. \*APPROVAL OF CONSENT AGENDA – (The Board will be asked to approve by one**  
28 **motion the following items of recurring or routine business. The Consent Agenda is**  
29 **marked with an asterisk \*):**

30 Mayor Pro-Tem Arzabal requested placing item a under New Business.

31  
32 **Motion: To approve consent agenda as amended, Moved by Mayor Pro Tem Arzabal, Seconded by**  
33 **Trustee Johnson-Burick.**

34  
35 Ms. Myrick congratulated and thanked the board for their efforts. This will affect the entire county as  
36 well.

37  
38 Trustee Johnson-Burick stated she will get with Ms. Maya regarding minutes. Requested adding date,  
39 time and location to public input notes.

40  
41 Trustee Caro stated the town needs to set the example for zero tolerance with regards to alcohol.

42  
43 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

44 Mayor Pro-Tem Arzabal Yes

45 Trustee Caro Yes

46 Trustee Garcia Yes

47 Trustee Johnson-Burick Yes

48  
49  
50 a) **\* BOT Minutes** – Minutes of a Work Session & Regular Meeting on February 10, 2020.  
51 *Approved by consent agenda*

52 b) **\*PZHAC Case 061017** - 1940 Calle Pecana, submitted by Henry Newman and Lisa  
53 Belvito, a request for a zoning permit to construct an inground swim spa behind a dwelling

1 that is under construction at this address. Zoned: Historic Residential (HR). *Removed from*  
2 *agenda*

3  
4 **7. NEW BUSINESS:**

5 a) **For Approval - Ordinance 2020-03:** An Ordinance to be named Chapter 10.20 – Adopting  
6 a Social Host Ordinance. *Approved by consent agenda*

7  
8 b) **For Approval - Ordinance 2020-04:** An ordinance revising Chapter 12.15 – Use of Town  
9 Facilities and the Plaza (currently named Use of Plaza).

10 Mayor Pro Tem Arzabal requested placing the music part of the ordinance under Unlawful Act.

11  
12 Ms. Stoechner-Hernandez responded by placing it under Unlawful Act it can be enforced by law  
13 enforcement. This will also be in the Mesilla Rules and Regulations which will come forth for approval.

14  
15 **Motion: To approve Ordinance 2020-02: An Ordinance revising Chapter 12.15 – Use of Town**  
16 **Facilities and the Plaza (currently named Use of Plaza) with condition, Moved by Mayor Pro-Tem**  
17 **Arzabal, Seconded by Trustee Johnson-Burick.**

18  
19 Trustee Johnson-Burick correction to section 12.15.060 Penalty: Dona Ana County Jail should read Dona  
20 Ana County Detention Center.

21  
22 **Roll Call Vote:** Motion passed (summary: Yes =4).

23 Mayor Pro-Tem Arzabal Yes

24 Trustee Caro Yes

25 Trustee Garcia Yes

26 Trustee Johnson-Burick Yes

27  
28 c) **Resolution 2020-02:** A Resolution repealing and enacting new rates for the Town of  
29 Mesilla Use of Facilities and Plaza.

30 Ms. Stoechner-Hernandez reviewed the new rates.

31  
32 Mayor Barraza stated she would it to read 50% off for Mesilla residents; not to reflect number of hours.

33  
34 **Motion: To approve Resolution 2020-02: A resolution repealing and enacting new rates for the**  
35 **Town of Mesilla Use of Facilities and Plaza as amended, Moved by Mayor Pro-Tem Arzabal,**  
36 **Seconded by Trustee Garcia.**

37  
38 **Roll Call Vote:** Motion passed (summary: Yes =4).

39 Mayor Pro-Tem Arzabal Yes

40 Trustee Caro Yes

41 Trustee Garcia Yes

42 Trustee Johnson-Burick Yes

43  
44 Mayor Barraza held a Moment of Silence for Mr. Isaac Orona, Judge Lionel Fietze, Mr. Raymond Reyes  
45 (Monos), Mr. Gambrell.

46  
47 **8. BOARD OF TRUSTEE COMMITTEE REPORTS**

48 Mayor Pro Tem Arzabal: CEO meeting March 13<sup>th</sup> in Albuquerque.



1 Trustee Johnson-Burick: MPO meeting held on February 12<sup>th</sup> – informational & updates

2  
3 Mayor Barraza: RTD meeting Wednesday; Department of Transportation (DOT) meeting on February  
4 27<sup>th</sup>; DOT Open House on March 3<sup>rd</sup> from 5:30-7:00 at the Community Center regarding University Ave  
5 Project.

6  
7 **9. BOARD OF TRUSTEE/STAFF COMMENTS**

8 Fire Chief Hoban stated he participated in a training at the UMC in Albuquerque. Encourage everyone to  
9 take precautions regarding coronavirus. Asked everyone to practice good hygiene, make sound decisions  
10 and stay home if you are ill. This is not going away anytime soon.

11  
12 Trustee Johnson-Burick stated she will not be in attendance for the March 9<sup>th</sup> Board of Trustees. She  
13 asked if we have received an update on the letter of interest submitted to Paseo de Norte Foundation.

14  
15 Mayor Pro Tem Arzabal inquired about providing a stipend for attending a meeting to the Planning and  
16 Zoning Commissioners as there never seems to be a full quorum. Recommends Planning and Zoning  
17 Commissioner attend New Mexico Municipal League training.

18  
19 Trustee Garcia asked for the schedule for the Census event

20  
21 Ms. Sellers responded it will be March 21<sup>st</sup> from 1-3 at the Community Center.

22  
23 Trustee Garcia asked when will the lights on the plaza be worked on. Asked what the school district pays  
24 for Resource Officers.

25  
26 Mayor Barraza responded we are paid 1.75 FTE.

27  
28 Mayor Barraza stated we did not get the Paseo del Norte Grant. The New Mexico Municipal League has  
29 training twice a year for Planning and Zoning. That information is offered to the commissioners.  
30 Compensation will be looked at. We have received a letter of resignation from Mr. Russell Hernandez;  
31 she will advertise.

32  
33 Mr. McGillivray stated the lighting project is under review; looking at saving engineering costs.

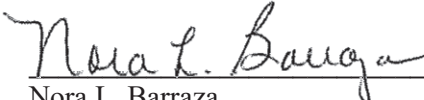
34  
35 Mayor Barraza stated Mr. Lerma was administered the Oath of Office this afternoon by Judge Perea. He  
36 begins Monday if he does not have to serve on jury duty. She thanked Lieutenant Salas for doing an  
37 awesome job and moving the department forward. We will be starting the budget process soon. The  
38 Gross Receipts Taxes are up, but other projections are not coming in as expected. The town received  
39 \$320K for Water Booster Pump, requested \$110K may receive \$220K for two marshal vehicles;  
40 requested \$75K may receive \$100K for playground equipment. From different monies Calle de Picacho  
41 and our match for the Southwestern Trail. Public Safety improvement did not come through.

42  
43 **10. ADJOURNMENT**

44 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-4)**

45  
46 **MEETING ADJOURNED AT 6:59 P.M.**

47  
48 **APPROVED THIS 9th DAY OF MARCH, 2020.**

49  
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51 \_\_\_\_\_  
52 Nora L. Barraza  
53 Mayor

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**ATTEST:**

*Cynthia Stoeber-Hernandez*  
\_\_\_\_\_  
Cynthia Stoeber-Hernandez  
Town Clerk/Treasurer





**BOARD OF TRUSTEES  
TOWN OF MESILLA  
WORK SESSION  
MONDAY, MARCH 9, 2020  
5:00 P.M.**

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- TRUSTEES:** Nora L. Barraza, Mayor  
Stephanie Johnson-Burick, Mayor Pro Tem (absent)  
Carlos Arzabal, Trustee  
Jesus Caro, Trustee  
Veronica Garcia, Trustee
- STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
Gloria Maya, Recorder
- PUBLIC:** Steven Cadena                      Davie Salas  
Pat Taylor                                      Susan Krueger

**Discussion: Revision to Chapter 18.35 Historic Residential (HR) Zone Ordinance.**

Mayor Barraza reviewed the revisions and recommendations made to Chapter 18.35 Historic Residential (HR) Zone Ordinance.

Ms. Stoechner-Hernandez reviewed the timeframe: Public Hearing and 1<sup>st</sup> reading posting – March 23<sup>rd</sup>; final approval – April 13<sup>th</sup>.

Mayor Barraza recommended there be a worksession prior to the Planning and Zoning meeting on March 18<sup>th</sup> which would provide the opportunity for input and to see what can be incorporated or the worksession can be on March 23<sup>rd</sup> prior to the Board of Trustee’s meeting.

Trustee Garcia asked if the public would be allowed to speak on March 18<sup>th</sup>. She would like to hear from the residents prior to a joint meeting.

Mayor Barraza responded not during the worksession. A Public Input meeting will need to be scheduled prior to the worksession.

Mayor Pro Tem Arzabal recommended having a worksession on March 23<sup>rd</sup>.

Trustee Garcia stated she would like to be able to discuss what the public has to say at a worksession.

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Mayor Pro Tem Arzabal stated a Public Input meeting has already been held.

Trustee Garcia stated we had agreed to let the public speak after the draft was made available.

Trustee Caro questioned if there would be a public hearing.

Mayor Barraza responded yes. She reviewed the schedule for March 23<sup>rd</sup>: Public Hearing 5:00-5:30; Worksession 5:30-6:00; Public Hearing and 1<sup>st</sup> Reading as agenda item for the regular Board of Trustee's meeting.

Worksession closed at 5:25 p.m.



**BOARD OF TRUSTEES  
TOWN OF MESILLA  
REGULAR MEETING  
MONDAY, MARCH 9, 2020  
6:00 P.M.**

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7 **TRUSTEES:** Nora L. Barraza, Mayor  
8 Carlos Arzabal, Mayor Pro Tem  
9 Jesus Caro, Trustee  
10 Veronica Garcia, Trustee  
11 Stephanie Johnson-Burick, (absent)  
12  
13 **STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
14 Kevin Hoban, Fire Chief  
15 Eddie Lerma, Marshal  
16 Rod McGillivray, Public Works Director  
17 Enrique Salas, Lieutenant  
18 Gloria Maya, Recorder  
19  
20 **PUBLIC:** Davie Salas Pat Taylor  
21 Susan Krueger Charles McMurray  
22 Marilyn Krueger Judd Singer  
23 Prismia Hurse Patrick Vigil  
24 Ralph Geck  
25

26  
27 **1. PLEDGE OF ALLEGIANCE**

28 Mayor Barraza led the Pledge of Allegiance.  
29

30 **2. ROLL CALL & DETERMINATION OF A QUORUM**

31 **Roll Call.**

32 **Present:** Mayor Barraza, Mayor Pro Tem Arzabal, Trustee Caro, Trustee Garcia  
33

34 **3. CHANGES TO THE AGENDA & APPROVAL**

35 **Motion:** To approve agenda, **Moved by Trustee Garcia, Seconded by Mayor Pro Tem Arzabal.**  
36

37 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

38 Mayor Pro Tem Arzabal Yes

39 Trustee Caro Yes

40 Trustee Garcia Yes  
41

42 Mayor Barraza welcomed Marshal Lerma to the Town of Mesilla.  
43

44 **4. PUBLIC INPUT** – The public is invited to address the Board for up to 3 minutes.

45 Mr. McMurray stated asked when construction was going to be allowed in the Town of Mesilla as it is  
46 costing him \$1,000 a month during this moratorium.  
47

1 Ms. Krueger asked the town look at existing ordinances and how they are being enforced.

2  
3 Mr. Pat Taylor stated his concerned regarding zero lot lines. Several empty lots that border zero lot  
4 lines. He recommends having an open mind when looking at setbacks and zero lot lines. These are not  
5 following the Development Zone which is referenced in the Iguado Plan. There cannot be enough public  
6 input.

7  
8 Ms. Hurse thanked the board for their help in enforcing the Social Host Ordinance.

9  
10 Mayor Barraza responded the board is working at adopting the construction ordinance at the April 13<sup>th</sup>  
11 meeting.

12  
13 **5. CLOSED SESSION** – pursuant to NMSA 1978 Chapter 10-15-1(H)(2): discussion limited  
14 to personnel matters in the Marshal’s Department and the Public Works Department. – **Nora**  
15 **L. Barraza, Mayor.**

16 **Motion:** To enter Closed Session pursuant to NMSA 1978 Chapter 10-15-1(H)(2): discussion limited  
17 to personnel matters in the Marshal’s Department and the Public Works Department, **Moved by Mayor**  
18 **Pro Tem Arzabal, Seconded by Trustee Caro.**

19  
20 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

21 Mayor Pro Tem Arzabal Yes  
22 Trustee Caro Yes  
23 Trustee Garcia Yes

24  
25 **Entered Closed Session at 6:12 p.m.**

26  
27 **Motion:** To enter Regular Meeting after discussion limited to personnel matters in the Marshal’s  
28 Department and the Public Works Department pursuant to NMSA 1978 Chapter 10-15-1(H)(2); no  
29 action taken, **Moved by Trustee Caro, Seconded by Trustee Garcia.**

30  
31 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

32 Mayor Pro Tem Arzabal Yes  
33 Trustee Caro Yes  
34 Trustee Garcia Yes

35  
36 **Entered Regular Meeting at 6:33 p.m.**

37  
38 Fire Chief Hoban presented a certificate from the New Mexico Chapter International Association of  
39 Arson Investigators, Inc. to the Town of Mesilla for their cooperation and support of the 2020 Annual  
40 Training Conference.

41  
42 **6. \*APPROVAL OF CONSENT AGENDA – (The Board will be asked to approve by one**  
43 **motion the following items of recurring or routine business. The Consent Agenda is**  
44 **marked with an asterisk \*):**

45 Mayor Pro Tem Arzabal requested placing item a, b, c and d on the consent agenda.

46  
47 **Motion:** To approve the consent agenda as amended, **Moved by Mayor Pro Tem Arzabal, Seconded**  
48 **by Trustee Garcia.**

49  
50 Trustee Caro asked if there are swimming pools in that area.

1  
2 Mayor Barraza responded the application is not for a swimming pool but for a spa.  
3

4 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

5 Mayor Pro Tem Arzabal Yes

6 Trustee Caro Yes

7 Trustee Garcia Yes  
8

9 a) \* **BOT Minutes** – Minutes of a Work Session & Regular Meeting on February 24, 2020.  
10 *Approved by consent agenda*

11 b) \***PZHAC Case 061017** – 1940 Calle Pecana, submitted by Henry Newman and Lisa  
12 Belvito, a request for a zoning permit to construct an inground swim spa behind a dwelling  
13 that is under construction at this address. Zoned: Historic Residential (HR). *Approved by*  
14 *consent agenda*  
15

16 **7. NEW BUSINESS:**

17 a) **For Approval** – an agreement for RFP 2020-02 for La Llorona Trail extension  
18 Construction Management Services. – **Rod McGillivray, Public Works Director.**  
19 *Approved by consent agenda*  
20

21 b) **For Approval** – an agreement for RFP 2020-03 for Solid Waste pick up. – **Rod**  
22 **McGillivray, Public Works Director.** *Approved by consent agenda*  
23

24 c) **Resolution 2020-05:** A resolution amending the Mercado Rules and Regulations for the  
25 Town of Mesilla. – **Cynthia Stoechner-Hernandez, Clerk/Treasurer.** *Approved by*  
26 *consent agenda*  
27

28 d) **Resolution 2020-06:** A resolution extending a moratorium ceasing all construction of new  
29 building in the HR Zone until April 20, 2020. – **Nora L. Barraza, Mayor.** *Approved by*  
30 *consent agenda*  
31

32 **8. \*STAFF REPORTS:**

33 Community Development

34 Community Programs

35 Finance Department

36 Fire Department

37 Marshal's Department

38 Public Works Department  
39  
40

41 **9. BOARD OF TRUSTEE COMMITTEE REPORTS**

42 Trustee Garcia stated MPO meeting cancelled; District meeting on March 17<sup>th</sup> in Silver City.  
43

44 **10. BOARD OF TRUSTEE/STAFF COMMENTS**

45 Trustee Caro welcomed Marshal Lerma to the Town of Mesilla.  
46

47 Trustee Garcia thanked Lieutenant Salas for his help.  
48

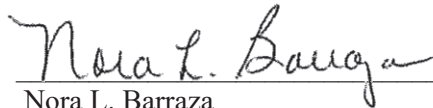
1 Mayor Barraza stated Military Luncheon on Thursday; she and Ms. Stoechner-Hernandez will be  
2 attending Mr. Fulginiti services in Santa Fe on Thursday and Friday. Ms. Lola Gallegos a long-time  
3 resident of Mesilla passed away. She will represent Mesilla at the opening and closing ceremonies of  
4 the Bataan March. She will do a presentation to Leadership New Mexico on the 20<sup>th</sup>. Invited all the  
5 trustees to the Census Kick Off on March 21<sup>st</sup> at the Community Center. NMML District 7 meeting  
6 will be held on March 17<sup>th</sup> in Silver City. Recapped March 23<sup>rd</sup> schedule: public input at 5:00-5:30;  
7 worksession at 5:30-6:00. The unveiling of the grotto, constructed by Boy Scout Sean, with Our Lady  
8 of Lourdes will be Saturday after the 5:30 p.m. mass. This afternoon we had a telephone conference  
9 with the Governors' office regarding coronavirus public safety. We will be sharing flyers from the  
10 Secretary of the Department of Health to every single home in the town. There are not confirmed  
11 cases in New Mexico at this time.

12  
13 **11. ADJOURNMENT**

14 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-3)**

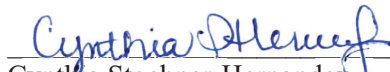
15  
16 **MEETING ADJOURNED AT 6:45 P.M.**

17  
18 **APPROVED THIS 23<sup>rd</sup> DAY OF MARCH, 2020.**

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Nora L. Barraza  
Mayor

ATTEST:



Cynthia Stoechner-Hernandez  
Town Clerk/Treasurer







**BOARD OF TRUSTEES  
TOWN OF MESILLA  
REGULAR MEETING  
MONDAY, APRIL 13, 2020  
6:00 P.M.**

**VIA TELECONFERENCE 1-346-248-7799, MEETING ID 308-193-527#**

**TRUSTEES:** Nora L. Barraza, Mayor  
Carlos Arzabal, Mayor Pro Tem  
Jesus Caro, Trustee (absent)  
Veronica Garcia, Trustee  
Stephanie Johnson-Burick, Trustee

**STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
Kevin Hoban, Fire Chief  
Eddie Lerma, Marshal  
Rod McGillivray, Public Works Director

**PUBLIC:**

**1. PLEDGE OF ALLEGIANCE**

Mayor Barraza led the Pledge of Allegiance.

**2. ROLL CALL & DETERMINATION OF A QUORUM**

**Roll Call.**

**Present:** Mayor Barraza, Mayor Pro Tem Arzabal, Trustee Garcia, Trustee Johnson-Burick.

**3. CHANGES TO THE AGENDA & APPROVAL**

Mayor Barraza requested removing items c, d, and e from the consent agenda.

**Motion:** To approve agenda as amended, **Moved by Mayor Pro Tem Arzabal, Seconded by Trustee Garcia.**

**Roll Call Vote:** Motion passed (**summary:** Yes =3).

Mayor Pro Tem Arzabal Yes

Trustee Garcia Yes

Trustee Johnson-Burick Yes

**4. PRESENTATIONS:**

a) A presentation of the Town of Mesilla's 2019 Audit – **Mariam Tall, Harshwal &**

1                   **Company, LLP.**

2 Ms. Tall reviewed the Town of Mesilla’s 2019 Audit.

3  
4 Mayor Pro Tem Arzabal feels the audit findings are minor and are being taken care of.

5  
6 Mayor Barraza stated per diem finding has been rectified.

7  
8 Trustee Johnson-Burick asked why it was not recognized in previous audits that the town was not  
9 taking inventory of town property.

10  
11 Ms. Tall referred to page 97 and 105; there were modified opinions and now they are findings.  
12 These are state requirements

13  
14 Trustee Johnson Burick stated so that was missed by the previous auditors.

15  
16 Ms. Tall responded auditors are required to follow the state requirements.

17  
18 Trustee Johnson-Burick asked why the trustees were not invited to the exit interview on December  
19 10<sup>th</sup>.

20  
21 Ms. Stoechner-Hernandez responded there was some scheduling issues so that is why it was so  
22 rushed.

23  
24 Trustee Garcia responded she will attend a meeting even on a one-day notice.

25  
26 Ms. Tall indicated the audit was submitted and approved at the state level.

27  
28  
29 **5. PUBLIC INPUT** – The public is invited to address the Board for up to 3 minutes.

30 **Public input shall be received at [cvnthias-h@mesillanm.gov](mailto:cvnthias-h@mesillanm.gov) at by 5:00 p.m., April 13th**  
31 **and will be read into the record.**

32  
33 Ms. Stoechner-Hernandez read input received; see attached.

34  
35  
36 **6. \*APPROVAL OF CONSENT AGENDA** – (The Board will be asked to approve by one motion the  
37 following items of recurring or routine business. The Consent Agenda is marked with an asterisk \*):

38 **Motion:** To approve consent agenda, **Moved by Mayor Pro Tem Arzabal, Seconded by Trustee**  
39 **Garcia.**

40  
41 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

42 Mayor Pro Tem Arzabal Yes

43 Trustee Garcia Yes

44 Trustee Johnson-Burick Yes

45  
46  
47 **a) \* BOT Minutes** – Minutes of a Work Session & Regular Meeting on March 9, 2020.  
48 *Approved by consent agenda*

49  
50  
51 **\*Building Permits:**

52 **b) \*PZHAC Case 061024** – 2000 Calle de Parian, submitted by Julienne Hadfield; a request  
53 for a zoning permit to renovate the second floor of a commercial building at this address.  
54 Zoned: Historical Commercial (HR). *Approved by consent agenda*

1 c) **\*PZHAC Case 061028** – 2305 Calle de Colon, submitted by Gerard Nevarez; a request for  
2 a zoning permit to install a decorative panel at this address; Zoned: Historic Residential  
3 (HR).

4 Mayor Barraza stated the request is for an 8 ft. high panel; normally the approved height of a  
5 fence is 6 ft. She asked how far this panel is going to be from the existing fence.  
6

7 Mr. Shannon responded the panel will not be part of the fence; it will be 2 to 3 feet from the fence. It  
8 is not a permanent structure. The house being built next to Mr. Nevarez has several windows that  
9 face his patio; this is more of a privacy panel.

10  
11 Trustee Garcia stated she feels a fence is for privacy. We need to prevent from opening a can of  
12 worms.  
13

14 Mayor Barraza agreed and noted that the only difference is the painting on the panel. If this is  
15 approved, we would be opening it up for everyone to have something similar.  
16

17 Mayor Pro Tem Arzabal stated it needs to comply with the ordinance as to not set precedence. He is  
18 concerned that the Planning and Zoning approved the application with a 3-0 vote. He will approve  
19 the application with the condition that the panel does not exceed 6 ft. in height per ordinance.  
20

21 **Motion:** To approve PZHAC Case 061028 – 2305 Calle de Colon, submitted by Gerard Nevarez; a  
22 request for a zoning permit to install a decorative panel at this address; Zoned: Historic Residential  
23 (HR); with condition, **Moved by Mayor Pro Tem Arzabal, Seconded by Trustee Garcia.**  
24

25 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

26 Mayor Pro Tem Arzabal Yes

27 Trustee Garcia Yes

28 Trustee Johnson-Burick Yes  
29

30 Mayor Barraza stated if the board continues to receive these types of cases they will be sent back to  
31 the Planning and Zoning Commission for future review. The ordinance is the ordinance; how this  
32 was approved is beyond her. The board is constantly being put in a difficult position.  
33  
34

35 **\*Sign Permits:**

36 d) **\*PZHAC Case 061023**– 2488 Calle de Guadalupe, submitted by Joseph Foster for  
37 “Psychology Consulting Options”; a request for a sign permit for a therapist practice at this  
38 address. Zoned: Historical Commercial (HC).

39 Mayor Barraza asked if this case had been brought to the Board of Trustees before.  
40

41 Mr. Shannon responded this case went before the Planning and Zoning who determined it did not  
42 comply with the ordinance. Reviewed the application.  
43

44 Mayor Barraza stated a directory sign is when there are multiple businesses in a building. She does  
45 not feel this is a directory sign since this is the only business being advertised.  
46

47 Mr. Shannon responded each psychologist will have their own office.  
48

49 Mayor Barraza asked if that is the same area where there are other businesses which is owned by the  
50 same person.  
51

52 Mr. Shannon responded it is one owner; rents out the spaces to different businesses.  
53

54 Mayor Barraza understands each business would have a sign over their door and a directory sign

1 would list businesses in the building.

2  
3 Mayor Pro Tem Arzabal recommends sending this back to the Planning and Zoning for further  
4 discussion.

5  
6 Trustee Johnson-Burick reviewed page 24. Agrees this case needs to be send back to Planning and  
7 Zoning for further review.

8  
9 **Motion:** To return Case #061023 to PZHAC for further review, **Moved by Mayor Pro Tem**  
10 **Arzabal, Seconded by Trustee Garcia.**

11  
12 **Roll Call Vote:** Motion passed (summary: Yes =3).

13 Mayor Pro Tem Arzabal Yes

14 Trustee Garcia Yes

15 Trustee Johnson-Burick Yes

- 16  
17 e) **\*PZHAC Case 060125** – 2601-3 Calle de Santiago, submitted by Kerry Carman for “Co-  
18 Lab Artisan’s Loft”; a request for a zoning permit to install a hanging sign at this address.  
19 Zoned: Historic Commercial (HC).

20  
21 Trustee Johnson-Burick stated she is not comfortable approving a case when there are redlines  
22 through the application.

23  
24 Mayor Pro Tem Arzabal recommended sending it back to the Planning and Zoning.

25  
26 **Motion:** To return Case #061025 to PZHAC for further review, **Moved by Mayor Pro Tem**  
27 **Arzabal, Seconded by Trustee Garcia.**

28  
29 **Roll Call Vote:** Motion passed (summary: Yes =3).

30 Mayor Pro Tem Arzabal Yes

31 Trustee Garcia Yes

32 Trustee Johnson-Burick Yes

33  
34  
35 **7. NEW BUSINESS:**

- 36 a) Discussion regarding budget for FY 2020. – **Nora L. Barraza, Mayor.**

37 Mayor Barraza stated she has frozen the FY 2019 budget; only emergency items will be allowed.  
38 The Gross Receipt Taxes (GRT) had been coming in at projection which will help us get through  
39 till the end of the fiscal year. Due to the closures of the business there will be very little, if any,  
40 come June. The mayors meet regularly by conference calls and have been advised to submit FY  
41 2021 with the same budget for FY 2020.

42  
43 Mayor Pro Tem Arzabal requested the board is informed on the town’s status on a regularly bases;  
44 he does not want to go back to 2008.

45  
46 Mayor Barraza stated our reserves can cover around 3 months. There will be a 3% increase imposed  
47 for health benefits.

48  
49 Ms. Stoechner-Hernandez stated she will send out a budget update every 2 weeks.

50



1 Trustee Johnson-Burick stated she is also very concerned and suggested departments cut their  
2 budgets.

3  
4 Mayor Barraza stated all the New Mexico State mayors are in the same situations. Mr. AJ Forte,  
5 New Mexico Municipal League Acting Executive Director, is checking to see if there will be  
6 financial assistance for small municipalities. If need be the budget will continue to be frozen next  
7 fiscal year.

8  
9 Mayor Pro Tem Arzabal stated we are saving money in certain areas; also, the town will be  
10 receiving Small City Assistance which should help.

11  
12 Mayor Barraza responded she does not want to be in the 2008 situation again. She does not want to  
13 lay off employees. We are doing everything we can to help us through this.

14  
15 Trustee Johnson-Burick stated entities are looking at different ways to get refunds for Worker's  
16 Comp, vehicles not in use, etc.

17  
18 Mayor Barraza responded if the declaration passes tonight, we will be able to tap into FEMA  
19 funding.

20  
21 **b) Resolution 2020-07: Acceptance of the Town of Mesilla 2019 Audit. – Cynthia Stoechner-**  
22 **Hernandez, Clerk/Treasurer.**

23 Ms. Stoechner-Hernandez read Resolution 2020-07: Acceptance of the Town of Mesilla 2019 Audit.

24  
25 **Motion:** To approve Resolution 202-07: Acceptance of the Town of Mesilla 2019 Audit, **Moved by**  
26 **Mayor Pro Tem Arzabal, Seconded by Trustee Johnson-Burick.**

27  
28 **Roll Call Vote:** Motion passed (summary: Yes =3).

29 Mayor Pro Tem Arzabal Yes

30 Trustee Garcia Yes

31 Trustee Johnson-Burick Yes

32  
33 **c) Resolution 2020-08: A resolution declaring an emergency as a result of COVID-19. – Nora**  
34 **L. Barraza, Mayor.**

35 Ms. Stoechner-Hernandez read Resolution 2020-08: A resolution declaring an emergency as a result  
36 of COVID-19.

37  
38 **Motion:** To approve Resolution 2020-08: A resolution declaring an emergency as a result of  
39 COVID-19, **Moved by Mayor Pro Tem Arzabal, Seconded by Trustee Garcia.**

40  
41 **Roll Call Vote:** Motion passed (summary: Yes =3).

42 Mayor Pro Tem Arzabal Yes

43 Trustee Garcia Yes

44 Trustee Johnson-Burick Yes

45  
46 **d) Resolution 2020-09: A resolution extending a moratorium on construction in the Historic**  
47 **Residential Zone until April 28, 2020. – Nora L. Barraza, Mayor.**

1 Mayor Barraza stated she does not object to extending the moratorium until the end of May but  
2 would not like to extend it any further. It is not fair to those applicants that have been waiting for 6  
3 months. The trustees have been working on this ordinance and have listen to the public's  
4 recommendations.

5  
6 Mayor Pro Tem Arzabal stated we have received a lot of feedback; recommends voting on the  
7 ordinance by May 25<sup>th</sup>.

8  
9 Mayor Barraza responded that date would adhere with the date Ms. Stoechner-Hernandez had  
10 originally brought forth.

11  
12 Trustee Garcia asked if we will still be open for public input.

13  
14 Mayor Barraza responded we will continue to accept public input.

15  
16 Trustee Johnson-Burick commented we need to ensure the residents are given the opportunity to  
17 voice their opinion.

18  
19 Trustee Garcia asked if something can be on the bills to notifying the residents.

20  
21 Mayor Barraza stated that can be done on the next billing cycle. We have been working on this  
22 since November; residents have been given the opportunity to give their input. The town has done a  
23 good job informing the residents; we cannot make them respond.

24  
25 Ms. Stoechner-Hernandez read Resolution 2020-09: A resolution extending a moratorium on  
26 construction in the Historic Residential Zone until May 25, 2020.

27  
28 **Motion:** To approve Resolution 2020-09: A resolution extending a moratorium on construction in  
29 the Historic Residential Zone until May 25, 2020, **Moved by Mayor Pro Tem Arzabal, Seconded**  
30 **by Trustee Johnson-Burick.**

31  
32 Mayor Barraza stated we will have a public hearing on April 23<sup>rd</sup> at 10:30 a.m.; public input and first  
33 reading on May 11<sup>th</sup>; public input and approval on May 25<sup>th</sup>.

34  
35 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

36 Mayor Pro Tem Arzabal Yes

37 Trustee Garcia Yes

38 Trustee Johnson-Burick Yes

39  
40 **8. \*STAFF REPORTS:**

41 Community Development

42 Community Programs

43 Finance Department

44 Fire Department

45 Marshal's Department

46 Public Works Department

1           **9. BOARD OF TRUSTEE COMMITTEE REPORTS**

2 Trustee Johnson-Burick has been talking to Andrew regarding MPO meetings virtually. She will  
3 keep everyone posted.  
4

5           **10. BOARD OF TRUSTEE/STAFF COMMENTS**

6 Fire Chief Hoban stated meetings are being held on a regular basis with OEM. There have been a  
7 couple of exposures and are taking appropriate measures. He is proud of his firefighters for  
8 obtaining supplies for the residents. We can be reached out to on our Facebook page or reach out to  
9 him.

10  
11 Trustee Garcia thanked the Fire Department for their hard work.

12  
13 Mayor Barraza asked that they let them know if they need donations.

14  
15 Fire Chief Hoban responded they have received donations across the spectrum.

16  
17 Marshal Lerma gave commendations to Lieutenant Salas and Sergeant Shepan for their excellent  
18 work on the vehicle and foot pursuit regarding a stolen vehicle. Sergeant Shepan injured his knee  
19 and Lieutenant Salas injured his foot during this pursuit.  
20

21 Mr. McGillivray gave a report on projects.  
22

23 Ms. Stoechner-Hernandez state she will get the first financial report by next Friday to the Board of  
24 Trustees.  
25

26 Mayor Barraza stated we never expected anything like this to happen. We are trying to stay abreast  
27 on what is happening. We conference call with different agencies on a weekly basis. She has asked  
28 that municipalities be notified if there is a confirmed COVID-19 case in their jurisdiction so that our  
29 first responders are aware of possible community spread. Stressed social distancing and staying at  
30 home to help us get through this. She reviewed the different funding available small municipalities,  
31 closure of parks, hotel agreement for quarantine, domestic violence, special legislative session, and  
32 budget cuts. Mr. McGillivray is working on getting work started on prior funded projects as to not  
33 lose those monies. Dona Ana County is setting up a unified area to be manned by emergency  
34 personnel for the surge that is expected April 27<sup>th</sup> through May 1<sup>st</sup>. Employees are working on a  
35 rotation schedule to avoid having more than 5 people at a time. A trash container for Mesilla  
36 residents only has been placed at the park across from the Community Center. We will continue  
37 holding our meetings through Zoom.  
38

39 Trustee Johnson-Burick commended staff and her leadership.  
40

41 Mayor Barraza everyone has been awesome. Everyone is taking care of their staff and ensuring  
42 things are been taken care of. The public restrooms have been closed. The Fire and Marshal  
43 Departments are responding to calls. Ms. Sellers is getting the information out to everyone. Thanked  
44 everyone for working together.  
45

46           **11. ADJOURNMENT**

47           **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-**  
48           **3)**

49  
50           **MEETING ADJOURNED AT 8:00 P.M.**

51  
52           **APPROVED THIS 27th DAY OF APRIL, 2020.**  
53  
54

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12

*Nora L. Barraza*  
\_\_\_\_\_  
Nora L. Barraza  
Mayor

**ATTEST:**

*Cynthia Stoenner-Hernandez*  
\_\_\_\_\_  
Cynthia Stoenner-Hernandez  
Town Clerk/Treasurer





**From:** Albert Taylor <apataylor@comcast.net>  
**Sent:** Monday, April 13, 2020 8:59 AM  
**To:** cynthias-h@mesillanm.gov  
**Cc:** Albert Patrick Taylor  
**Subject:** HR ordinance

Cynthia,

On my reading of the current draft of the HR ordinance it seems to have addressed several of my concerns. I'm interested in other peoples point of view to help me see what I may be missing. Although the language isn't exactly how I would have phrased it I believe it covers the important bases including a process of right of way access for zero lot line properties through a neighboring property for maintenance issues.

My biggest concern is how to effectively get the ordinance draft in more peoples hands given the COVID virus impact on meetings. I think while you all have met the legal requirements for public hearing and ordinance resolution, I think we need to make sure that the public has access to all this information through every avenue possible. I believe that posting of the draft ordinance at our regular posting sites will not be enough in getting the information out to people. Perhaps including a note on the water bill or a separate mailing with information so people can access the draft and public hearing process. I've talked to a few people regarding their ability to access electronically the information. The feedback I've gotten is that isn't not very easy to navigate, some people do not have Internet access much less a computer. Part of our public hearing process at public meetings that we have attended in the past helps our hearing of other people's point of view. We might encourage people's future participation in their public comments through written comments sent by mail and not just electronically. I would also encourage posting on line or otherwise of the public comments so we might understand and share other points of view given we don't have the benefit of a normal public hearing process..

I know these are difficult times with the virus and the limitations that we face running town business. Please brain storm as to how to make this information more widely available given these limitations. I would encourage that the Mayor/Trustees to check their emails and phone calls regularly to help maximize the publics access through the process.

Thank you,  
Pat Taylor

**From:** R L Geck <limo57@hotmail.com>  
**Sent:** Monday, April 13, 2020 2:54 PM  
**To:** cynthias-h@mesillanm.gov  
**Subject:** Reference to Resolution 2020-09: Extending moratorium on construction in the Historic Residential Zone

From: Ralph L. Geck I am requesting that the moratorium be amended and approved to be extended until May 28, 2020 due to the outbreak of COVID-19 . I trust that you, Mayor, and the board of trustees know my concerns as well as the concerns of our neighborhood pertaining to this issue. I ask that as you review and decide on any changes in the wording of the construction ordinance to please be very specific most especially on the subject of Rental Property which, as you know, is not desired by our neighborhood and I suspect, neither do several other residents of the community surrounding the Historic Residential Zone. Please keep Mesilla a great place to live! Thank you for your attention on this matter.

Respectfully,

Ralph (Rafael) L. Geck

**From:** Davie Salas <daviesalas@comcast.net>  
**Sent:** Monday, April 13, 2020 4:04 PM  
**To:** Cynthias-H@MesillaNM.gov  
**Subject:** BOT Meeting 4-13-2020 Public Comment

Cynthia,

I have a couple of comments on tonight's agenda and the first reading of the ordinance change regarding Residential Historical.

1. The BOT should possibly consider case by case new construction while the moratorium is in place (if possible), depending on what is being proposed. If what is being proposed does not have any consequences on items in the ordinance that are possibly going to change, then it makes no sense to hold those projects up.

2. I strongly suggest that you wait on proceeding with the reading regarding the Historical Residential Ordinance change. I feel it is too important to continue in this manner regarding the issues that so many people care about.

I feel the BOT should wait until people can meet in a forum more appropriate.

Thank You

Davie Salas

**From:** Micaela Cadena <micaela.cadena@gmail.com>  
**Sent:** Monday, April 13, 2020 4:37 PM  
**To:** cynthias-h@mesillanm.gov  
**Cc:** Nora L. Barraza; Stephanie Johnson-Burick; veronicag@mesillanm.gov; lucasa@mesillanm.gov; jesuscc@mesillanm.gov  
**Subject:** Proposed Amendments to Chapter 18.35

Good afternoon Honorable Mayor and Mesilla Board of Trustees,

I hope you and your loved ones are doing well during these extraordinary times.

While I value your efforts to ensure our land-use ordinances are in line with Mesilla's community values, I am incredibly concerned that such a significant ordinance change (chapter 18.35) would be moved during our COVID-19 public health emergency.

Seeing the agenda for tonight's Board of Trustee meeting, and noting the resolution for action tonight only extends moratorium in historical residential zone through April 28th, it seems that the plan is to pass these proposed amendments at your next regularly scheduled meeting on April 27th. **I would ask, and hope, that the moratorium be extended at least through the end of May, or until the Governor lifts New Mexico's stay at home instructions.** I know that myself and others following these proposed amendments are looking forward to an opportunity to provide real public input, now that draft amendments have been shared.

**If there is pressure to lift the moratorium before then, might you move to grandfather in current property owners in Mesilla, so that they could retain right to build the same number of separate stand-alone units per lot as they hold under current ordinance?** You could so with language limiting build out to two units a lot for those who purchase property AFTER the moratorium went into effect. Then, anyone buying a property moving forward would build according to the new zoning standards and be limited to two units per lot. In regards to other language of proposed amendments, it does seem reasonable that anyone (current owners or future buyers) doing new construction would follow new language as it relates to lot set-back and heights of buildings.

Overall, I am concerned that property owners may not know that these amendments are being considered right now, nor that language in these proposed amendments would decrease their development rights. Specifically, when I think of our Mesillero families and the historical land use in the town, dense housing build-out in our historical core has always been allowed our comprehensive plans, Specifically, allowing multiple units on a property has protected a mechanism for our Mesilla families to pass on land so that their children could afford to live in our community and do so over generations.

**Lastly- I'd appreciate a response on the following questions:**



How many properties within Historic Residential zone would these proposed amendments impact?

What communication has the Town had with property owners about scaling back their development rights?

What plan does the Town have for meaningful public input before passing these proposed amendments?

How will the Town notify residents about any related special meetings or third reading of this ordinance if the public notices announcing meetings and agendas may not be seen by residents and property owners abiding by orders to stay at home and save lives?

Best,  
Micaela Lara Cadena

2869 Calle del Sur  
Mesilla, NM

575.644.5830

Cynthia,

Two thoughts for public comment at tonight's BOT meeting:

First, Consent Agenda, 6. C), PZHAC Case 061028, a permit to install a 6' x 8' decorative wood panel on top of an existing 4 ½ to 5' high rock wall to be "supported by wood posts."

I believe MTC 18.60.340B applies to this request since it is an extension of a wall and, if it does apply, then, it will have to be constructed to Uniform Building Code Standards. Why: what if it were to fall off the rock wall onto someone on the patio.

My suggestion is to send this back to PZHAC for additional study.

Second, New Business, 7. d) Resolution 2020-09.

In the interest of transparency, especially regarding the application of an ordinance, my suggestion is to extend this moratorium through whatever time period NM's Governor sets to hold open public meetings. I think the Board and the public should be able to talk about this matter together in an open forum.

Thanks, Susan



**BOARD OF TRUSTEES  
TOWN OF MESILLA  
PUBLIC HEARING  
THURSDAY, APRIL 23, 2020  
10:30 A.M.**

**VIA TELECONFERENCE 1-346-248-7799**

**TRUSTEES:** Nora L. Barraza, Mayor  
Carlos Arzabal, Mayor Pro Tem  
Jesus Caro, Trustee (absent)  
Veronica Garcia, Trustee  
Stephanie Johnson-Burick, Trustee

**STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
Larry Shannon, Community Development Coordinator

**1. PLEDGE OF ALLEGIANCE**

Mayor Barraza led the Pledge of Allegiance.

**2. ROLL CALL & DETERMINATION OF A QUORUM**

**Roll Call.**

**Present:** Mayor Barraza, Mayor Pro Tem Arzabal, Trustee Garcia, Trustee Johnson-Burick.

**3. PUBLIC HEARING & FIRST READING: ORDINANCE 2020-02 REVISING  
CHAPTER 18.35 HISTORIC RESIDENTIAL ZONE.**

Ms. Stoechner-Hernandez read correspondence submitted; **see attached.**

**Closed Public Hearing at 11:35 a.m.**

Mr. Shannon recommended changing the verbiage in 18.35.040 to read "a maximum of 40% impervious will be allowed on the property"; that is inclusive all structures.

Trustee Garcia asked if the square footage was changed in 18.35.074 to read 8,000 square feet.

Mayor Barraza responded the trustees did recommend changing it to 8,000 square feet.

Trustee Garcia asked if that should have been a cross-out on the draft.

Ms. Stoechner-Hernandez responded I will show the strikeout on the next version.

1  
2 Trustee Garcia asked what the next step after the first reading will be.

3  
4 Mayor Barraza responded she would like the first reading at the April 27th meeting and  
5 approval at the May 11th meeting. We would then be able to lift the moratorium and allow  
6 applicants to move forward with their permits.

7  
8 Trustee Garcia asked if we could lift the moratorium so the applicants that have been waiting  
9 can proceed and then place the moratorium back until we vote on this.

10  
11 Mayor Barraza responded if we lift the moratorium, we are opening the door for anyone to  
12 come forth with an application which we cannot deny. We have been working on this ordinance  
13 for 6 months. The public has had an opportunity to provide input and we have not received any  
14 new input. We need to move forward to allow construction in our community. Revisions can  
15 be made if things do not seem right.

16  
17 Trustee Garcia asked if we are going to consider public input.

18  
19 Mayor Barraza stated we have taken comments into consideration. The main thing being  
20 brought forward is the property that has been in the family for generations; that may change  
21 through the years.

22  
23 Trustee Garcia stated everything is grandfathered in until the property is sold.

24  
25 Mayor Barraza stated she does not see it written like that. Eventually everything needs to  
26 conform to the ordinance.

27  
28 Mayor Pro Tem Arzabal stated the Cadena's would need to comply to new ordinance.

29  
30 Mayor Barraza stated her question is the property going to be used for family members or will  
31 it be used as a rental property.

32  
33 Mayor Pro Tem Arzabal asked if the applicants that are on hold gone through Planning and  
34 Zoning.

35  
36 Mayor Barraza responded no.

37  
38 Trustee Johnson-Burick recommends having something in the ordinance regarding  
39 grandfathered in. She would like a draft that shows the strikeouts.

40  
41 Mayor Barraza stated has seen casitas become Airbnb. We are destroying how and what  
42 Mesilla is. There is no guarantee property will stay in the families. The first reading will be on  
43 the agenda for the April 27th meeting and approval at the May 11th meeting.

44  
45 Trustee Garcia requested the draft online.

46  
47 Ms. Stoechner-Hernandez responded it will be online once she completes it.

48



1 Mayor Barraza stated public input will be put into record.

2

3 **4. ADJOURNMENT**

4 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes=3)**

5 **MEETING ADJOURNED AT 11:29 A.M.**

6

7 **APPROVED THIS 11TH DAY OF MAY, 2020.**

8

9

10

*Nora L. Barraza*

Nora L. Barraza  
Mayor

11

12

13

14

15

16 **ATTEST:**

17

18

*Cynthia Stoechner-Hernandez*

Cynthia Stoechner-Hernandez  
Town Clerk/Treasurer

19

20

21

22



## Cynthia Stoechner-Hernandez

---

**From:** Albert Taylor <apataylor@comcast.net>  
**Sent:** Thursday, April 23, 2020 6:38 AM  
**To:** cynthias-h@mesillanm.gov  
**Cc:** Albert Patrick Taylor  
**Subject:** Re: HR ordinance

Cynthia, Thank you

BOT Historical Residential Draft Ordinance 04/22/20  
Public Comments

In reference to the public hearing regarding the Historic Residential zone ordinance I wanted to add another point of concern. I would hope that you take into consideration property that has been family owned for decades that would be impacted by the revised ordinance in terms of doubling the square foot area per family unit. Like yourself, I am concerned about those who would buy lots and build out to maximize development creating heavier density than their development zone and the resulting negative impact on their neighbors. I agree with the revised square footage approach in order to minimize this impact but families who have owned property for years looking to leave it to their children or to build on it for their children would obviously be impacted. Does the Town know how many lots there are that would be impacted and their size? Again, I would agree with the draft ordinance intent but would worry about those families impacted. I'm not sure if its still in the ordinance but we have a section called "Area requirements deemed met" that allows for the grandfathering in or continuation of pre existing instances prior to the ordinances or updated ordinances.

If you could clarify another point in 18.35.0740. B., "A 40% impervious and 60% pervious shall be required...". I'm assuming that refers to the whole property? There are some who raise animals or a garden, which are allowed in the ordinance, who would be impacted and would not be able to pursue those given the 40% impervious and 60% pervious requirements depending on their lot layout.

Thank you,

Pat Taylor, Mesilla

## Cynthia Stoechner-Hernandez

---

**From:** Micaela Cadena <micaela.cadena@gmail.com>  
**Sent:** Thursday, April 23, 2020 9:14 AM  
**To:** Cynthia Stoechner-Hernandez  
**Cc:** Nora L. Barraza; Stephanie Johnson-Burick; veronicag@mesillanm.gov; lucasa@mesillanm.gov; jesusca@mesillanm.gov  
**Subject:** Public Comment on proposed amendments to 18.35

Good morning-

As a concerned Mesilla resident, I would suggest that you leave the current language in Chapter 18.35.07 Section A (Lot Area) as is, and in Section B (Population Density) only make the following edits:

*B. Population Density. When lots or parcels in the H-R zone are to be developed to **single family** or **multiple single family** ~~mutlifamily~~ dwellings, each lot or parcel shall have sufficient area to provide 4,000 square feet of area for each family unit to be erected.*

By making this compromise, our residents and property owners will retain their current rights to build a unit per 4,000 square feet, while you clarify that these units CANNOT be built as attached apartments. You will need to make sure language is aligned in the 18.35.20 Uses permitted section as well.

On the new language as drafted for 18.35.07 Section C, I'd suggest inserting a line to capture the intention of establishing new development standards for properties purchased AFTER the moratorium, like:

"For all properties purchased in the Historic Residential zone after May 1, 2020"

*C. New Construction. "For all properties purchased in the Historic Residential zone after May 1, 2020," new structures and modifications to existing structures may be built in this zone providing the exterior appearance of the structure is approved by the PZHAC for compliance with Chapter 18.33 (Historic Preservation) MTC and the Comprehensive Land Use Ordinance for the Town, with final approval by the BOT. [Ord. 94-06 § 1; prior code § 11-2-11.4.D]1. New structures on properties containing existing structures shall be architecturally similar to the principal dwelling or structure on the property and shall not exceed the height or size of the principal dwelling or structure on the property. 2. If a property is undeveloped, any new structure shall be architecturally similar to the dwellings or structures in the development zone immediately adjacent to the property and shall not exceed 15 feet including parapet, or the height of the highest dwelling or structure on an adjacent property in the development zone, whichever is lower. The height of chimneys is to meet building code, but not be higher than 17 feet.*

By making this compromise, our residents and property owners will retain their current rights to build a unit per 4,000 square feet, AND anyone purchasing property in Historic

Residential zone moving forward will know about the new development standards and make their decisions accordingly.

It seems that in both of these compromises you will accomplish what seems to be your goal, eliminating the development of apartments in Mesilla. I support your intentions and the proposed amendments offered in the other sections of 18.35.

**Related questions:**

How many vacant or partially developed properties within Historic Residential zone would these proposed amendments impact? In the 2004 Comprehensive Plan Zoning Analysis there were approximately 85 vacant lots within the Historic Residential zone, what are the updated figures?

What communication has the Town had with residents and property owners about eliminating their currently held development rights?

If these compromises are not made, is the Town willing to purchase development rights at a fair market value from property owners who will be negatively impacted by these proposed amendments? Purchasing development rights is listed as a potential Agricultural Land Preservation Tool in the 2004 Comprehensive plan.

Much appreciation for your consideration-

Micaela Lara Cadena  
575.644.5830



## Cynthia Stoechner-Hernandez

---

**From:** Davie Salas <daviesalas@comcast.net>  
**Sent:** Thursday, April 23, 2020 9:19 AM  
**To:** cynthias-h@mesillanm.gov  
**Subject:** BOT Comments: Davie Salas

Cynthia,

I would like to re-submit the first two points from my previous comments

1. The BOT should possibly consider case by case new construction while the moratorium is in place (if possible), depending on what is being proposed. If what is being proposed does not have any consequences on items in the ordinance that are possibly going to change, then it makes no sense to hold those projects up.
2. I strongly suggest that you wait on proceeding with the reading regarding the Historical Residential Ordinance change. I feel it is too important not to conduct such an important decision in this manner regarding the issues that so many people care about. I feel the BOT should wait until people can meet in a forum more appropriate.

In the meantime, I might ask the board to reflect on what kind of community Mesilla believes it is trying to maintain or create, especially in regards to the "multi-family" or rental aspect of the ordinances? Many negative comments have been made over the past few years about this issue, but only by a few people in reality. So my question is, what is the true concern:

1. Does Mesilla not like "people" who rent in general? Does Mesilla simply believe all renters are not capable of being good residents of the community? If so, this is a blatant discriminatory position to take.

OR

2. Does Mesilla not want to provide the opportunity for different housing choices to people in general? If so, then this is unfair housing practice in my opinion and provides little diversity for this community. This not only eliminates opportunity for lower income members, but at the same time, eliminates this opportunity for younger middle income individuals or families in our public sector such as teachers, city employees, etc. who may not yet be in a position to buy a home. Additionally, Mesilla will be taking a position to eliminate opportunities for our military personnel who need to rent, students, seasonal residents to name a few.

OR

3. Does Mesilla simply not like structures that give the appearance of a multi-family dwelling or rental structure for example a duplex/triplex, more than one structure in proximity to another. Is this an aesthetic opinion about what looks good or doesn't look good structurally?

OR

4. Does Mesilla have a concrete logistical rationale for its support or non-support for diversity in its housing plan for its community long-term?

Thank You

Davie Salas

## Cynthia Stoechner-Hernandez

---

**From:** Patrick A. Vigil <vicaoneinc@aol.com>  
**Sent:** Thursday, April 23, 2020 8:32 AM  
**To:** cynthias-h@mesillanm.gov  
**Cc:** johnsonb@outlook.com; johnsonb; lucasarzabal@hotmail.com; lucasarzabal; jesuscaro49@yahoo.com; jesuscaro49; vsg0206@yahoo.com; vsg0206; CcNoraL.Barrazamayor@mesillanm.gov  
**Subject:** HR Amendment 1

Ms. Stoechner-Hernandez,

Good morning.

I am a general contractor. I have two projects that were submitted back in January of this year. I am anxiously waiting for this moratorium to come to an end.

Both my projects pending are single family residences.

1. Calle Pacana--for Charles and Marilyn McMurray
2. 2445 Calle de Santa Ana

I have built 4 new homes in Mesilla from 2017 to present. I am about to complete the fifth one. In the mid 90's to 2000 I built 5 in the area.

All my projects have adhered to or exceeded the set back requirements that are presented in HR Amendment 1.

The height requirements presented in HR Amendment 1 were met in all previous projects except for one that was a two-story built on a five acre lot north of Calle Del Norte.

I feel I have always met the design criteria for building within the historical district. All except for 2 have been "New Mexico Pueblo". The house in 2017 was a "Territorial" and the two story in 1999 was what I would call "Contemporary Mediterranean".

I have drawn and designed all my projects in conjunction with my clients, and have always submitted input and ideas that call for adhering to the Historical Styles of New Mexico-(even outside of historical districts).

At this point I only have one concern or question...**what about existing platted lots?**

The project I have pending on 2445 Calle De Santa Ana--has a front of 69' 5" and total area of 4,172 sq'.. but the proposed single dwelling meets or exceed all setback and design criteria presented in the amendment. It does meet the 40-60 ratio.. with total impervious presented @ 30%.

**As a designer and builder, I have no issues with the criteria presented in the amendment. My only question has to do with the smaller lots that exist.**

**I personally would like to see the moratorium come to a conclusion ASAP. My clients for the Calle Pacana residence are in a situation where it is costing them more than they had planned . They have written to you and the board.**

Thank you.

Patrick A. Vigil  
ViCa One Inc.







**BOARD OF TRUSTEES  
TOWN OF MESILLA  
REGULAR MEETING  
MONDAY, APRIL 27, 2020  
6:00 P.M.**

**VIA TELECONFERENCE 1-346-248-7799**

- TRUSTEES:** Nora L. Barraza, Mayor
- Carlos Arzabal, Mayor Pro Tem
- Jesus Caro, Trustee
- Veronica Garcia, Trustee
- Stephanie Johnson-Burick, Trustee
  
- STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer
- Kevin Hoban, Fire Chief
- Eddie Lerma, Marshal
- Rod McGillivray, Public Works Director
- Dorothy Sellers, Special Events Coordinator
- Larry Shannon, Community Development Coordinator
- Gloria Maya, Recorder

**1. PLEDGE OF ALLEGIANCE**

Mayor Pro Tem Arzabal led the Pledge of Allegiance.

**2. ROLL CALL & DETERMINATION OF A QUORUM**

**Roll Call.**

**Present:** Mayor Barraza, Mayor Pro Tem Arzabal, Trustee Caro, Trustee Garcia, Trustee Johnson-Burick.

Mayor Barraza held a Moment of Silence for Ms. Dolores Gallegos, Mr. Dan Lowry, and Ms. Diane Rogers.

**3. CHANGES TO THE AGENDA & APPROVAL**

Mayor Barraza moved item 7b down and move items 7c, d and e up on the agenda.

**Motion:** To approve agenda as amended, **Moved by Mayor Pro Tem Arzabal, Seconded by Trustee Garcia.**

**Roll Call Vote:** Motion passed (**summary:** Yes =4).

- Mayor Pro Tem Arzabal Yes
- Trustee Caro Yes
- Trustee Garcia Yes

1 Trustee Johnson-Burick Yes

2  
3  
4 **4. PROCLAMATIONS**

- 5 a) A proclamation recognizing 9-1-1 Telecommunicators and call takers as first responders. –  
6 **Mr. Albert Flores, Deputy Director, MVRDA/ Nora L. Barraza, Mayor.**

7 Ms. Stoenher-Hernandez read proclamation recognizing 9-1-1 Telecommunicators and call takers for  
8 first responders.

9  
10 Fire Chief Hoban stated this recognition is important not only for the work they do but it will make  
11 them eligible for benefits which they currently do not have. He asked for the town’s support during the  
12 legislative session.

13  
14 **5. PUBLIC INPUT –** The public is invited to address the Board for up to 3 minutes.

15  
16 Ms. Stoenher-Hernandez read correspondence submitted; see attached.

17  
18 Mr. Geck stated his concerns of allowing new rental property construction and the demolition of old  
19 structures to build new structures which he feels is hurting the ambience of Mesilla. The Board of  
20 Trustees should not allow this to continue.

21  
22 **6. \*APPROVAL OF CONSENT AGENDA –** (The Board will be asked to approve by one motion the  
23 following items of recurring or routine business. The Consent Agenda is marked with an asterisk \*):

24 **Motion:** To approve consent agenda, **Moved by Mayor Pro Tem Arzabal, Seconded by Trustee**  
25 **Garcia.**

26  
27 **Roll Call Vote:** Motion passed (summary: Yes =4).

28 Mayor Pro Tem Arzabal Yes

29 Trustee Caro Yes

30 Trustee Garcia Yes

31 Trustee Johnson-Burick Yes

- 32  
33 a) **\* BOT Minutes –** Minutes of a Regular Meeting on April 13, 2020. *Approved by consent*  
34 *agenda*

35 **\*Sign Permits:**

- 36 b) **\*PZHAC Case 061023–** 2488 Calle de Guadalupe, submitted by Joseph Foster for  
37 “Psychology Consulting Options”; a request for a sign permit for a therapist practice at this  
38 address. Zoned: Historical Commercial (HC). *Approved by consent agenda*

- 39 c) **\*PZHAC Case 060125 –** 2601-3 Calle de Santiago, submitted by Kerry Carman for “Co-  
40 Lab Artisan’s Loft”; a request to install a hanging sign at this address. Zoned: Historic  
41 Commercial (HC). *Approved by consent agenda*

42  
43 **7. NEW BUSINESS:**

- 44 a) **First Reading: ORDINANCE 2020-02** Revising Chapter 18.35 Historic Residential Zone. –  
45 **Cynthia Stoenher-Hernandez, Clerk/Treasurer.**

46 Ms. Stoenher-Hernandez noted some changes/deletions to draft. She stated the ordinance is posted on the  
47 town’s website; www.mesillanm.gov.

48  
49 Mayor Barraza confirmed the trustees have an opportunity to review the current draft; trustees responded  
50 yes.

1 Mayor Pro Tem Arzabal recommended adding a grandfather clause in the ordinance and having it  
2 reviewed by an attorney, who does not have history with the town, to insure the legality of the clause.

3  
4 Mayor Barraza stated Mr. Randy VanFleck, New Mexico Municipal League attorney, there cannot be a  
5 grandfather clause. The town has no way of knowing when property is being sold and to whom it is  
6 being sold to. Mr. VanFleck will submit his response in writing which she will share with the trustees.

7  
8 Trustee Caro stated Mr. VanFleck does not have the expertise in real estate that Mr. Cervantes has.

9  
10 Trustee Johnson-Burick stated records are available through the county that can be referenced. The town  
11 cannot discriminate if a parcel is rental property. We have the ability and the due diligence to honor  
12 what our forefathers created and founded. We owe it to families that want to keep their properties.

13  
14 Trustee Garcia asked if Mr. VanFleck explained why there could not be a grandfather clause. She  
15 agrees with Trustee Johnson-Burick.

16  
17 Mayor Barraza responded the only way we know if a property has been sold is if an applicant comes  
18 in for a permit and indicates that the property was purchased.

19  
20 Trustee Garcia recommended revising the Building Permit Application to include area for previous  
21 owner.

22  
23 Mayor Barraza responded the buyer will purchase property with certain intentions and not be aware  
24 there are limitations as to what they can do.

25  
26 Trustee Garcia stated new owners will have to abide by the new ordinance; grandfather clause would  
27 not be applicable.

28  
29 Mayor Barraza recommends waiting for the attorney recommendations.

30  
31 Trustee Johnson-Burick recommended having the ordinance read 2 multi-family units in order to  
32 avoid what happened near Mr. Geck's. She recommended having the required square footage at 6,000  
33 on property that has been in the family for years.

34  
35 Mayor Barraza responded we cannot discriminate against property owners but can limit the number of  
36 units. The square footage for multi-family lots, as they are now called, was changed to the same  
37 requirements for building a home; 8,000 square feet.

38  
39 Mayor Pro Tem Arzabal stated the board got legal interpretation regarding Mr. Kane's application for  
40 multi-family units before voting.

41  
42 Mayor Barraza stated the board has the option to give direction which was not done in Mr. Kane's case.  
43 She will contact Mr. Cervantes for a response regarding this and will share the information with the  
44 board. There are 2 applicants that have been waiting 6 months and it is costing them money; would it be

1 possible to allow them to proceed if they are meeting the requirements of the new ordinance  
2 recommendations. She also does not want to open the door for anybody else until the moratorium is  
3 lifted.

4  
5 Ms. Stoechner-Hernandez responded since the new ordinance has not been put in place they would need  
6 to abide by the old ordinance; this would be a legal question for the attorney.

7  
8 Mayor Barraza stated she will ask Mr. Cervantes for guidance as well. The board needs to move forward  
9 on passing this ordinance.

10  
11 **\*\*\*\*Motion:** To enter Closed Session pursuant to NMSA 1978 Chapter 10-15-1(H)(2): discussion  
12 limited to personnel matters in the Marshal's Department and Planning, Zoning, and Historical  
13 Appropriateness Commission where no action will be taken, **Moved by Mayor Pro Tem Arzabal,**  
14 **Seconded by Trustee Garcia.**

15  
16 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

17 Mayor Pro Tem Arzabal Yes

18 Trustee Caro Yes

19 Trustee Garcia Yes

20 Trustee Johnson-Burick Yes

21  
22 **Entered Closed Session at 7:20 p.m.**

23  
24 **\*\*\*\*Motion:** To enter Regular Meeting after discussion limited to personnel matters in the Marshal's  
25 Department and Planning, Zoning and Historical Appropriateness Commission pursuant to NMSA  
26 1978 Chapter 10-15-1(H)(2); no action taken, **Moved by Trustee Johnson-Burick, Seconded by**  
27 **Trustee Garcia.**

28  
29 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

30 Mayor Pro Tem Arzabal Yes

31 Trustee Caro Yes

32 Trustee Garcia Yes

33 Trustee Johnson-Burick Yes

34  
35 **Entered Regular Meeting at 7:52 p.m.**

36  
37 b) Discussion regarding COVID-19 and budget process for FY 2020. – **Nora L. Barraza,**  
38 **Mayor.**

39 Mayor Barraza reported the budget process has started and will be brought forth at the first meeting in  
40 May. The FY 2020-21 budget will be the same as FY 2019-20; the only increase will be to the fringe  
41 benefits line item. The town has met what was project for GRT for this fiscal year. There will be some  
42 short months before we can get on our feet for next fiscal year. Ms. Stoechner-Hernandez will keep the  
43 board informed. Mayor Barraza reviewed the COVID-19 current statistics in New Mexico. The Town  
44 of Mesilla currently does not have any cases; residents should be commended. She would like to know  
45 how many have recovered in Dona Ana County. She will be doing research on municipal parks on when  
46 they can be open as residents are asking.

47  
48 Mayor Pro Tem Arzabal recommended there be certain restrictions when the parks are reopened.



1 Trustee Garcia stated she has seen quite a few people on the plaza.  
2  
3 Mayor Barraza responded she has not seen mass gatherings. The deputies have been doing a great job  
4 to insure there are not mass gatherings around the town. She feels comfortable having the plaza open if  
5 people are continuing to do social distancing.  
6  
7 Trustee Garcia asked if we are doing the stay at home and does that include the town hall staff.  
8  
9 Mayor Barraza responded Governor Lujan-Grisham has imposed Stay-At-Home until May 15<sup>th</sup>. Town  
10 Hall is still closed to the public. She had all staff return to regular work hours. Everyone is to stay in  
11 their office with the door closed, wear their mask and no social gatherings.  
12  
13 Trustee Garcia asked why can staff not stay home.  
14  
15 Mayor Barraza responded the anti-donation clause is a concern when we pay employees to stay at home  
16 and not work.  
17  
18 Mayor Pro Tem Arzabal asked for clarification on anti-donation clause.  
19  
20 Mayor Barraza responded we are paying employees to work when they are not working.  
21  
22 Mayor Pro Tem Arzabal stated the state offices are closed; people are working from home. Why are we  
23 putting people in danger?  
24  
25 Mayor Barraza responded there is some staff that cannot or does not have the equipment to work from  
26 home; gave receptionist and maintenance as an example.  
27  
28 Trustee Garcia asked if she was split schedule.  
29  
30 Mayor Barraza responded they were on rotation. There are 5 people at the office right now.  
31  
32 Trustee Johnson-Burick stated people are adhering to social distancing at the plaza.  
33  
34 Mayor Barraza stated municipalities are being asked to come up with a plan on how they will be opening  
35 businesses as restrictions are lifted. These plans are to be submitted to the New Mexico Municipal  
36 League who then will forward them to Governor Lujan Grisham for review the opening of the business  
37 implementation. She reviewed her recommendation for members of a Task Force.  
38  
39 Trustee Garcia recommended Ms. McGinley who has several businesses in the town. She is a big part  
40 of Experience Mesilla along with Mr. Hernandez from Salud.  
41  
42 Mayor Barraza responded she was looking at having representation, 1 or 2, from each area; difficult to  
43 make decisions when there are too many people.

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Mayor Pro Tem Arzabal recommended Mr. Blevins. Sometimes too many different personalities can make it difficult to make decisions.

Mayor Barraza responded she did get some plaza business owners.

Trustee Johnson-Burick recommended Julienne.

Mayor Barraza stated the task force will need to be opened minded.

Trustee Johnson-Burick agreed Ms. McGinley and Mr. Shaefer should be part of the task force. Recommended looking at how the City of Las Cruces is planning to reopen up the businesses.

Mayor Barraza stated Governor Lujan Grisham is interested to see how each municipality is planning to open businesses according to the needs of the area.

Mayor Pro Tem Arzabal stated he feels the task force mix is a good one.

c) For consideration: the appointment of a Planning, Zoning and Historical Appropriateness Commissioner to serve a two-year term. – **Nora L. Barraza, Mayor.**

Mayor Barraza recommended Mr. Davie Salas to serve a two-year term on the Planning, Zoning and Historical Appropriateness.

**Motion:** To approve the appointment of a Planning, Zoning and Historical Appropriateness Commission to serve a two-year term, **Moved by Mayor Pro Tem Arzabal, Seconded by Trustee Garcia.**

**Roll Call Vote:** Motion passed (**summary:** Yes =3; No=1).  
Mayor Pro Tem Arzabal Yes  
Trustee Caro No  
Trustee Garcia Yes  
Trustee Johnson-Burick Yes

d) For consideration: the hiring of a deputy marshal. – **Edward Lerma, Marshal/ Nora L. Barraza, Mayor.**

Mayor Barraza recommended Mr. Gilbert Garcia for deputy marshal.

**Motion:** To approve the hiring of a deputy marshal, **Moved by Mayor Pro Tem Arzabal, Seconded by Trustee Garcia.**

**Roll Call Vote:** Motion passed (**summary:** Yes =3; No=1).  
Mayor Pro Tem Arzabal Yes  
Trustee Caro No  
Trustee Garcia Yes

1 Trustee Johnson-Burick Yes

2  
3 Mayor Barraza indicated the position will be offered to Mr. Garcia upon receipt of his background  
4 check.

- 5  
6 e) For consideration: an agreement with Dona Ana County to allow them to serve as fiscal agent  
7 for Emergency Management funding. – **Cynthia Stoechner-Hernandez, Clerk/Treasurer.**

8 Ms. Stoechner-Hernandez stated agreement with Dona Ana County to serve as the fiscal agent for  
9 Emergency Management funding is for \$10k with a 25% match per agreement. The town does not  
10 anticipate using the total amount of the agreement. The county will not be charging an administration  
11 fee.

12  
13 **Motion:** To approve the hiring of a deputy marshal, **Moved by Mayor Pro Tem Arzabal, Seconded**  
14 **by Trustee Caro.**

15  
16 **Roll Call Vote:** Motion passed (**summary:** Yes =4).

17 Mayor Pro Tem Arzabal Yes

18 Trustee Caro Yes

19 Trustee Garcia Yes

20 Trustee Johnson-Burick Yes

- 21  
22 f) For consideration: establishing a Taskforce to assist in developing a plan for the re-opening  
23 businesses after the executive order is lifted. – **Nora L. Barraza, Mayor.**

24  
25 **8. BOARD OF TRUSTEE COMMITTEE REPORTS**

26  
27 **9. BOARD OF TRUSTEE/STAFF COMMENTS**

28 Trustee Johnson-Burick reiterated she would like to see Ms. McGinley on the Task Force.

29  
30 Mayor Pro Tem Arzabal reiterated that with regards to Mr. Geck's concerns, the board sought legal  
31 opinion before voting.

32  
33 Mayor Barraza thanked and congratulated Sergeant Shepan, who will be retiring on April 30<sup>th</sup>, for his  
34 dedication and commitment he provided to the Town of Mesilla. Thanked everyone for their  
35 commitment; we will get through this.

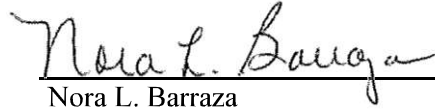
36  
37 Mr. McGillivray stated Caliber Construction which came in 10% below our estimate for the trail.

38  
39  
40 **10. ADJOURNMENT**

**The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-3)**

**MEETING ADJOURNED AT 8:30 P.M.**

**APPROVED THIS 11th DAY OF MAY, 2020.**



Nora L. Barraza  
Mayor

**ATTEST:**



Cynthia Stoechner-Hernandez  
Town Clerk/Treasurer







**BOARD OF TRUSTEES  
TOWN OF MESILLA  
WORK SESSION  
MONDAY, MAY 11, 2020  
5:30 P.M.**

**VIA TELECONFERENCE 1-346-248-7799, MEETING ID 934-0917-6886#.**

**TRUSTEES:** Nora L. Barraza, Mayor  
Carlos Arzabal, Mayor Pro Tem  
Jesus Caro, Trustee  
Veronica Garcia, Trustee  
Stephanie Johnson-Burick, Trustee

**STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
Kevin Hoban, Fire Chief  
Eddie Lerma, Marshal  
Rod McGillivray, Public Works Director

- Discussion of the Town of Mesilla Preliminary Budget for FY 2020/2021– **Cynthia Stoechner-Hernandez, Clerk/Treasurer.**

Ms. Stoechner-Hernandez presented the Town of Mesilla’s Preliminary Budget for FY 2020/2021.

- 3% increase in health benefits
- Adjustments made to all department’s operation line item to allow for the bottom line to remain the same
- 1% increase as per collective bargaining to union employees
- 1.4% Experience Modifier for Worker’s Comp which is based on claims 3 years ago
- Savings due to personnel and benefit changes in the Marshal’s Department will help cover the School Resource Officer contract and add to the operational budget
- Marshal’s budget may change due to personnel assignments
- Savings due to benefit changes in Public Works will be moved to the Community Center line item
- 2% utility service increase due to CPI; senior trash will remain the same
- Fire Protection Fund will receive \$145,946 which is less than what received this year due to COVID19
- EMS Fund shows the minimum that we could receive; adjustment will be made once the final number is received
- Correction Fund has never met the budgeted amount, so it was decreased. She is waiting to hear from Ms. Carbajal who stated it may need to remain the same due to State Statute.
- Changes in personnel in School Resource Officer
- Marshal Lerma is going to request more funding from the Las Cruces School District for the School Resource Officer

1 Mayor Pro Tem Arzabal expressed concerns with other employees not being union. All employees  
2 deserve at least a 1% increase.

3  
4 Ms. Stoechner-Hernandez responded when union first came forth it was offered to everyone and the only  
5 one that chose to participate was the Marshal's Department.

6  
7 Mayor Barraza stated she feels confident with the preliminary budget as presented. We have been able  
8 meet most of what was projected in the 2019-2020 budget; adjustments will be made once we receive  
9 final numbers. Had the GRT trend continued we would have exceeded what had been projected.

10  
11 Trustee Garcia asked if the Recreation Fund is only for Summer Recreation and asked if the town will be  
12 affected by the minimum wage.

13  
14 Ms. Stoechner-Hernandez responded it is only for Summer Recreation Program. We are fine with regards  
15 to the minimum wage. She understands the City of Las Cruces will have an increase, but she will do  
16 research to see if the state will have an increase.

17  
18 Mayor Pro Tem Arzabal stated we are being proactive with the preliminary budget.

19  
20 Mayor Barraza stated the budget needs to be submitted to the state by June 1<sup>st</sup>. She asked the trustees to  
21 bring forth any concerns or questions so they can be addressed.

22  
23 Trustee Caro stated we need to watch our expenditures since we do not know what will be cut at the state  
24 level.

25  
26 Mayor Barraza stated Capital Outlay funding which has not obligated has been frozen. A Special  
27 Legislative Session may be scheduled in June where more cuts may take place.

28  
29  
30 Worksession ended at 5:41 p.m.

1 **BOARD OF TRUSTEES**  
2 **TOWN OF MESILLA**  
3 **REGULAR MEETING**  
4 **MONDAY, MAY 11, 2020**  
5 **6:00 P.M.**

6 **VIA TELECONFERENCE 1-346-248-7799, MEETING ID 918-4113-2473#.**

7  
8  
9 **TRUSTEES:** Nora L. Barraza, Mayor  
10 Carlos Arzabal, Mayor Pro Tem  
11 Jesus Caro, Trustee  
12 Veronica Garcia, Trustee  
13 Stephanie Johnson-Burick, Trustee  
14  
15 **STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer  
16 Kevin Hoban, Fire Chief  
17 Eddie Lerma, Marshal  
18 Rod McGillivray, Public Works Director  
19 Dorothy Sellers, Special Events Coordinator  
20 Larry Shannon, Community Development Coordinator  
21 Joseph Cervantes, Attorney  
22

23 **1. PLEDGE OF ALLEGIANCE**

24 Mayor Barraza led the Pledge of Allegiance.  
25

26 **2. ROLL CALL & DETERMINATION OF A QUORUM**

27 **Roll Call.**

28 **Present:** Mayor Barraza, Mayor Pro Tem Arzabal, Trustee Garcia, Trustee Johnson-Burick.  
29

30 **3. CHANGES TO THE AGENDA & APPROVAL**

31 **Motion: To approve agenda, Moved by Mayor Pro Tem Arzabal, Seconded by Trustee Caro.**

32 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

33 Mayor Pro Tem Arzabal Yes

34 Trustee Garcia Yes

35 Trustee Johnson-Burick Yes  
36  
37

38 **4. PUBLIC INPUT –** The public is invited to address the Board for up to 3 minutes.

39 Ms. Stoechner-Hernandez read public input submitted in writing; see attached. No other  
40 input was received during the meeting.  
41

42 **5. \*APPROVAL OF CONSENT AGENDA – (The Board will be asked to approve by one motion the**  
43 **following items of recurring or routine business. The Consent Agenda is marked with an asterisk \*):**

1 **Motion: To approve consent agenda as amended, Moved by Trustee Caro, Seconded by Mayor**  
2 **Pro Tem Arzabal.**

3  
4 Mayor Pro Tem Arzabal placed new business items c, d, and e on the consent agenda.

5  
6 Trustee Garcia questioned attachments of the April 23, 2020 public hearing.

7  
8 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

9 Mayor Pro Tem Arzabal Yes

10 Trustee Garcia Yes

11 Trustee Johnson-Burick Yes

12  
13 **Motion: To pull April 27, 2020 minutes and postpone them to the next board meeting, Moved**  
14 **by Trustee Johnson-Burick, Seconded by Trustee Garcia.**

15  
16 Trustee Johnson-Burick pulled April 27, 2020 minutes for a correction to page 12.

17  
18 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

19 Mayor Pro Tem Arzabal Yes

20 Trustee Garcia Yes

21 Trustee Johnson-Burick Yes

22  
23 a) \* **BOT Minutes** – Minutes of a public hearing held April 23, 2020. *Approved by consent*  
24 *agenda*

25  
26 b) \* **BOT Minutes** – Minutes of a Regular Meeting on April 27, 2020. *Postponed until next*  
27 *board meeting for corrections.*

28  
29 **6. NEW BUSINESS:**

30 a) For consideration: **Ordinance 2020-02** – Revising Chapter 18.35 Historic Residential Zone.  
31 – **Cynthia Stoechner-Hernandez, Clerk/Treasurer.**

32 **Motion:** To approve Ordinance 2020-02 – Revising Chapter 18.35 Historic Residential Zone, **Moved**  
33 **by Trustee Johnson-Burick, No Second; motion failed.**

34 Mayor Barraza presented information regarding the Town's Comprehensive Land Use Plan from  
35 2017. Further, she presented Mr. Cervantes' opinion to the Board of Trustees relating to  
36 grandfathering in.

37  
38 Trustee Garcia stated she had not received this information until 5 p.m. when she got home from  
39 work.

40  
41 Trustee Caro echoed what Trustee Garcia stated and had gotten the attorney's information late.  
42 Further, he stated that he would like to wait until COVID is over to have Public Hearing.

43  
44 Trustee Arzabal also related concerns with public meetings during this time.

45  
46 Trustee Garcia asked Mr. Cervantes if having this presented during these times is against Open  
47 Meetings Act.

48  
49 Mr. Cervantes responded that he had not had time to review this and apologized for the Trustees

1 getting his opinion late.

2  
3 Mayor Barraza stated that the County had a meeting and it was in the paper that they violated the  
4 Governor's Orders by having so many people in a public meeting. She did not want to go against  
5 these orders.

6  
7 Trustee Johnson-Burick stated that families can still build, this ordinance change does not prohibit  
8 them from building. She was elected to help Mesilla maintain its historical integrity and she plans to  
9 continue to do so.

- 10  
11 b) **Resolution 2020-10:** A resolution repealing all resolutions regarding a moratorium ceasing  
12 all construction of new building in the HR Zone. – **Nora L. Barraza, Mayor.**

13 **Motion:** To approve Resolution 2020-10: A resolution repealing all resolutions regarding a  
14 moratorium ceasing all construction of new building in the HR Zone, **Moved by Trustee Garcia, No**  
15 **Second; motion failed.**

- 16  
17 c) For consideration: awarding RFP 2020-05; a construction contract to the low bidder for CN  
18 LC00320 La Llorona Trail Extension Project. – **Rod McGillivray, Public Works Director.**

19 *Approved by consent agenda*

- 20 d) For consideration: awarding RFP 2020-04; a contract to serve as On-Call Engineer for the  
21 Town of Mesilla. – **Rod McGillivray, Public Works Director.** *Approved by consent*  
22 *agenda*

- 23 e) For consideration: awarding RFQ 2020-01; a contract to design/construct the Town of Mesilla  
24 Plaza Lighting Replacement Capital Outlay project. – **Rod McGillivray, Public Works**  
25 **Director. Capital Outlay Frozen**

- 26 f) For consideration: amending the Planning, Zoning and Historical Appropriateness  
27 Commission and/or Board of Trustee meeting times during this pandemic crisis. – **Nora L.**  
28 **Barraza, Mayor.**

29 Mayor Barraza stated the requested amendment is only for the Planning, Zoning and Historical  
30 Appropriateness Commission meetings. The recommended times are 10:30 a.m. or 2:30 p.m.

31 A resolution will be brought forth at the next Board of Trustee Meeting to approve the change.

32 **7. \*STAFF REPORTS:**

33 Community Development  
34 Community Programs  
35 Finance Department  
36 Fire Department  
37 Marshal's Department  
38 Public Works Department  
39

40 **8. BOARD OF TRUSTEE COMMITTEE REPORTS**

41 Trustee Johnson-Burick stated there will be an MPO meeting soon, working on it virtually with  
42 Andrew Wray.

43  
44  
45 **9. BOARD OF TRUSTEE/STAFF COMMENTS**

46 Trustee Johnson-Burick stated she feels for people not being able to build at this time. She  
47 reiterated that she was elected to help preserve Mesilla and will not be responsible for allowing  
48 another property to go up like the ones near the Geck's.



1  
2 Mayor Pro Tem Arzabal stated this does not mean it is dead it will depend on Government orders.  
3 Two trustees did not get it until 5:00 p.m.  
4

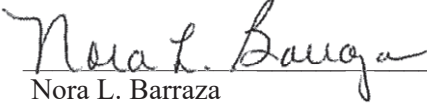
5 Mayor Barraza responded two trustees will be needed to bring it back with revised ordinance if they  
6 want for a vote. Staff will not be putting in any more time on this ordinance. Staff spend so much  
7 time on this for the Board not to vote. Submit in writing if Trustees want to bring it back. In  
8 addition, a Re-opening Plan was to submit to Gov office. Mayor Barraza plans on bringing back the  
9 Architectural styles committee.  
10

11 **10. ADJOURNMENT**


**The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-4)**

**MEETING ADJOURNED AT 7:35 P.M.**

**APPROVED THIS 26th DAY OF MAY 2020.**

  
\_\_\_\_\_  
Nora L. Barraza  
Mayor

**ATTEST:**

  
\_\_\_\_\_  
Cynthia Stoenher-Hernandez  
Town Clerk/Treasurer



## Cynthia Stoechner-Hernandez

---

**From:** Biviana Cadena <bivianasnt@gmail.com>  
**Sent:** Monday, May 11, 2020 8:27 AM  
**To:** cynthias-h@mesillanm.gov  
**Subject:** Ordinance 2020-02

Dear Trustees,

As a land owner and citizen of Mesilla; I am asking that you Table Ordinance 2020-02 until there is an opportunity for more research and Public Input. A change like this is not warranted at this time, without more information. It seems rushed.

Thank you for your consideration,

Biviana M. Cadena  
2087 Stithes Rd.  
Mesilla, NM 88046

## Cynthia Stoechner-Hernandez

---

**From:** Nora L. Barraza <mayor@mesillanm.gov>  
**Sent:** Monday, May 11, 2020 4:49 PM  
**To:** Cynthia Stoechner-Hernandez  
**Subject:** Fwd: Concerning Ordinance 2020-2  
**Attachments:** image009.png; Town of Mesilla 2020.pdf

FYI

----- Forwarded message -----

**From:** Joni <[jonig@zianet.com](mailto:jonig@zianet.com)>  
**Date:** Fri, May 8, 2020 at 12:37 PM  
**Subject:** Concerning Ordinance 2020-2  
**To:** <[mayor@mesillanm.gov](mailto:mayor@mesillanm.gov)>

Nora,

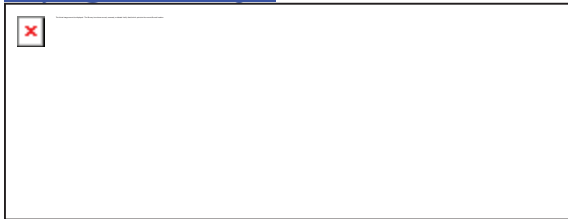
I hope you are staying well. Please read & consider the attached letter concerning Ordinance 2020-2 that will have its First Reading, I believe at this Mondays Meeting.

Thank You for all you do!

Joni

--

**Nora L. Barraza**  
Mayor, Town of Mesilla  
☎ (575) 524-3262  
Fax: (575) 541-6327  
[mayor@mesillanm.gov](mailto:mayor@mesillanm.gov)



Check out our website!

[www.mesillanm.gov](http://www.mesillanm.gov)

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Joni Marie Gutierrez & Lowell B. Catlett  
2350 Calle de Parian  
Mesilla, NM 88046

May 7, 2020  
Mayor Nora L. Barraza  
P.O. Box 10  
2231 Avenida de Mesilla  
Mesilla, NM 88046

Dear Mayor Barraza & Trustees:

After several hours of thinking about Mesilla's Proposed Ordinance 2020-20, we are urging you to make some adjustments before passing this Ordinance.

We believe that the Ordinance has taken on an approach that does not actually fall within the original plan of Historic Mesilla and could be damaging to the image of Mesilla in the future.

Our concerns are more specifically Item 18.25.0470, A, B & D.

*A. Each lot developed in H-R Zone shall have a minimum 80 feet of frontage & a minimum of 8000 sf of area.*

*B. Population Density..... Each Lot or parcel shall have sufficient area to provide 48,000 sf of area for each family unit.....*

*The maximum number of dwellings allowed on any property shall be two providing density & parking requirements are met..... A maximum of 40% impervious & 60% pervious shall be required...*

*D. Yards for all new buildings, front, side & rear yard must be at least seven feet.*

### **Regarding Item A.**

According to *The Historical Buildings Survey of the Greater Las Cruces Area*, published in 1982. "La Mesilla; the first buildings erected in Mesilla were jacales centered around the plaza for defense against the Apache.....

....Between the mid 1850's through the 1870's district neighborhoods took shape. Businesses centered around the plaza and streets leading into it. Surrounding this nucleus of the town **were blocks of continuous adobe residences which fronted the street line and usually had patios and corrals in back enclosed by high walls**. Residences also clustered the Acequia Madre and Contracequia, the life providing irrigation ditches".

Mesilla was built by planners that followed traditional Spanish town layouts.

### **Possible Solutions A:**

- Follow the historic building models that made Mesilla a quant community by allowing houses to be built close to the street and have walled Patios as entryways.
- Consider allowing homeowners to design their lots so that cars are parked in the back as was done in historic Mesilla.
- Allow for Owners to be creative, new trends are happening every day in the housing market, Tiny Homes, Smaller block sizes, Walkable urban places, Smart Homes.

**Regarding Item B.**

Traditionally in Mesilla, families used to buy one large lot for their entire family. As members got older and started their own families, they would simply build another house on their parent's lot or divide the large house into multi homes.

In the past multi residential lot owners have had the resources to develop them. However many may not have the money at this time.

With the adoption of this Ordinance, you are discriminating against those older families/property owners that may have a dream of one day building a home on their lot for their children or older relative as well as dividing their home for the same reason.

I am hoping that 48,000 sf is a typo & you meant 8,000 sf. As it is written it contradicts with Item A. In addition, 48,000 sf is 1.1 Acre. Imagine if the founders of Mesilla followed this rule, we would have no plaza and none of yours or my house would be built.

Why is a maximum of 40% impervious & 60% pervious required?

If the reason is that Mesilla is trying to be a more Green Community or retain surface water than require Trees for shade & Plants to provide wildlife habitat & absorb water.

**Possible Solutions B:**

- Follow the historic building model that made Mesilla a quant community by continuing to allow multifamily lots.
- If you must adopt.....Allow current property owners to build multi homes on their lots. If the property is sold after a specified date at that time new property owner will need to appeal to Town of Mesilla.

**Finally Regarding Item D.**

The requirement of a setback & frontage is straight out of 1920's Suburban Subdivision Development Standards.

Why is 7' required on all sides? As long as safety & possibly utilities can be accessed from 1 or maybe even 2 sides 7' on all sides in not necessary. Again look to your Historic Mesilla Model.

Zoning –and laws pertaining to site development, such as setbacks have been criticized recently by urban planners (most notably Jane Jacobs) for the role that these laws have played in producing urban sprawl and automobile-dependent cities.

**Possible Solutions D:**

- Allow flexibility on setbacks. Focus on the goal of access for safety reasons.



Mayor Barraza & Trustees

May 7, 2020

Page 3

We hope that you will find that what you are accomplishing if this Ordinance is adopted is exactly what you do not want Mesilla to become, that is a typical suburban community. Try to visualize Mesilla if you adopt this Ordinance. I believe it will be large lots (if you do mean 48,000 SF), very suburban with driveways & garages as the focal point.

Please remember, Zoning Laws & Design Standards are adopted for the *health, safety and general welfare* of the public.

If you have any questions we can be reached at 575 496-2474 or email.

We appreciate your time in considering these observations.

As Always,

*Joni Marie Gutierrez & Lowell B Catlett*

Joni Marie Gutierrez & Lowell B. Catlett

C: Trustee Stephanie Johnson-Burick

Trustee Veronica S. Garcia

Trustee Carlos Arzabal

Trustee Jesus Caro

Attorney Joseph Cervantez

## Cynthia Stoechner-Hernandez

---

**From:** Micaela Cadena <micaela.cadena@gmail.com>  
**Sent:** Monday, May 11, 2020 5:09 PM  
**To:** Cynthia Stoechner-Hernandez; cc: Nora L. Barraza; Stephanie Johnson-Burick; veronicag@mesillanm.gov; lucasa@mesillanm.gov; jesus@mesillanm.gov; Joseph@cervanteslawnm.com  
**Subject:** Fwd: Public comment  
**Attachments:** Mesilla\_Final.jpg; Mesilla\_Final Page 2.jpg

Dear Mayor and Trustees-

I ask that you vote down the proposed revisions to the Historical Residential Zone on your agenda for tonight's meeting.

There is a way to get this right, please let's take the time needed to make that happen.

Best,  
Micaela

----- Forwarded message -----

**From:** Micaela Cadena <[micaela.cadena@gmail.com](mailto:micaela.cadena@gmail.com)>  
**Date:** Mon, May 11, 2020 at 5:00 PM  
**Subject:** Public comment  
**To:** Cynthia Stoechner-Hernandez <[cynthias-h@mesillanm.gov](mailto:cynthias-h@mesillanm.gov)>

Honorable Mayor and Board of Trustees-

I write again with concerns related to the revision of Chapter 18.35 Historical Residential Zone.

1) The Mayor continues to move forward these revisions during a public health emergency when impacted property owners have not had a real in-person mechanism to engage in this process. Additionally, you would be eliminating rights that have been on these properties since Mesilla's first comprehensive plan in the 1970s, and should you pass these revisions you would be eliminating millions of dollars of property rights and property value from our families. This is not a time-sensitive issue, and this should be addressed with real public meetings on the other side of this crisis.

2) To date, the Town has still not communicated with property owners to let them know that there may be revisions made to zoning ordinances that will significantly diminish their property rights.

3) While the Mayor has continued to repeat that efforts to amend this ordinance have been going on since November of last year, upon detailed review of minutes (all BOT meetings, work sessions and public hearings since October 2019) there was not a single documented notice, mention or discussion about of changing zoning density standards and/or eliminating the currently held development rights of property owners prior to sharing the draft amendments to this ordinance with the public on March 9th. **According to the approved and published minutes, the discussions related to eliminating development rights simply did not happen.**

Please see additional attachments for statement I have shared publicly.

Micaela Lara Cadena

At different times, every single Town Trustee has raised concerns about causing harm to our Mesilla families and regret about the recent apartment complex construction. By insisting that her proposal is the only way to eliminate apartments, Mayor Barraza has put the Trustees in a difficult position. Unfortunately, many of the Mayor's comments have not been factual or accurate.

**THE SOLUTION:** This issue is not time-sensitive as required by the Attorney General in order for a public entity to meet virtually during COVID-19. For now, the Mayor needs to pull this ordinance from upcoming agendas and wait until Mesilla can return to in-person meetings and concerned residents can show up and participate. Eventually, the Town could amend the Historical Residential Zone ordinances and effectively eliminate apartments by only allowing single family units or multiple detached single family units, without changing density limitations. Additionally, Mesilla could pass and enforce a new height limit for all construction and a new lot set-back, both of which would minimize construction that frustrates the existing neighbors. We need to support our Town Trustees in slowing down the process and getting this right.

In my conversations with municipal planners, attorneys who practice in land use/zoning, and elected trustees/councilors in different parts of New Mexico, they were all shocked to hear this could be happening now. Several commented that by moving these proposed amendments during the COVID-19 stay-at-home order the Mayor might be violating the Open Meetings Act. Others remarked that their communities would literally be up in arms if the government came for their property rights, as what is currently happening in Mesilla. Notably, it was shared that if a municipality were ever to consider undoing development rights it would be most appropriate to do so in a widely publicized and extensive comprehensive planning process, if for no other reason than to avoid costly and unneeded litigation.

**The next Board of Trustees meeting is scheduled for Monday, May 11th.** These proposed amendments to the ordinances could be voted on then. Do you have property in Mesilla, do you know family or friends that might? Please call or text or reach out by any safe means to let them know what's going on. Let's make sure all those that might be impacted by the Mayor's plan hear about it.

Together we can find common sense solutions to protect the culture, history, and way of life for us and for generations to come.

Don't wait. Let your voice be heard today.

Below are the names, numbers, and addresses of the people who hold our future in their hands. I've also provided the advisory memo from the Attorney General mentioned above.

In community-

Micaela



**THE BACKSTORY:** This began several months ago when the town approved the new construction of an apartment complex inside our Historical Residential Zone. They did so legally, following our current Mesilla ordinances. As construction proceeded, many in Mesilla agreed that large apartment complexes do not conform with the historical character that we seek to preserve. Since then, the Mayor and Trustees have expressed a desire in preventing this kind of development in the future.

I fully support their efforts to stop this type of unsightly development AND know that there are thoughtful mechanisms to do so without causing harm to the development rights our families and property owners may have held for generations.

You see, if the mayor's proposal were to advance, any new development would require 8,000 square feet per unit and would be limited to two units per lot, no matter how large your lot is. For my family, that means the mayor would have eliminated more than half the development rights that have been attached to our property for decades, since we bought the land from my Papo, Manuel "Nene" Cadena.

In every comprehensive plan that has been community-developed since the Yguado Plan in the 1970's, high density housing has been allowed and encouraged. This approach matched the precedent and characteristics of housing in place when Mesilla was incorporated. Such development is not only beautiful to admire, but it also preserves our centuries-old culture. Our development traditions also provide our children with affordable housing options that are close to home, and they protect our agricultural heritage and outdoor recreation opportunities.

**WHERE WE STAND TODAY:** I am concerned that property owners likely do not know that these amendments are being considered right now, nor that language in these proposed amendments would decrease their development rights. To date, property owners have not been formally notified of this proposal; we have not received a certified letter, communication or notice of any kind.

Over several weeks, the Mayor has held two virtual Board of Trustees meetings and a virtual public hearing with items relating to her proposal. Throughout this process I've asked, in writing, the Mayor and Town Clerk how many vacant or partially developed properties within the Historical Residential Zone would these proposed amendments impact, and asked what communication the Town has had with residents and property owners about eliminating their currently held development rights. I've repeatedly asked that the Town consider changing the ordinances in a way that would eliminate apartments from the zoning code for any new construction AND respect the currently held development rights for Mesilleros and other property owners.

Although my questions and comments have been read into the record, I've had no response from the Mayor or town staff.

Throughout these virtual meetings, the Mayor has made statements saying that she doesn't want any new apartments or rental units. Residents have wondered and asked if her comments and agenda amount to housing discrimination. Others have politely requested that the Town not rush into changes that would be a hardship for those families that have owned these properties and now can't use them as they could before.

## Cynthia Stoechner-Hernandez

---

**From:** Maryhelen Ratje <maryhelen.ratje@jpaultayloracademy.org>  
**Sent:** Monday, May 11, 2020 4:09 PM  
**To:** cynthias-h@mesillanm.gov  
**Subject:** Public Input for tonight's meeting

Under New Business a) I am requesting that you please take Ordinance 2020-02 off the agenda's new business and wait until we can meet in person to discuss. I believe discussion is needed and input from residents is vital, but with the current stay at home orders it is limiting fairness with something that is as important as this issue.

Thank you,  
Mary Helen Ratje  
2231 Calle de Santiago

--



## Cynthia Stoechner-Hernandez

---

**From:** Susan krueger <skrueger575@msn.com>  
**Sent:** Monday, May 11, 2020 2:32 PM  
**To:** Cynthia Stoechner-Hernandez  
**Cc:** Susan krueger  
**Subject:** BOT meeting 5/11/2020

Good afternoon Cynthia,

Regarding New Business, 6. e) Plaza lighting replacement capital outlay project.

Will this project comply with MTC Chapter 18.50 "Outdoor Lighting"?

Initially, Plaza lighting was grandfathered in; however, now the grandfathering period has expired. Plus, it appears that the Plaza lighting fixtures will be replaced, so it's a perfect opportunity to have the Plaza come into compliance with the purpose stated at 18.50.020, and to set an example for the Townspeople as well as save the night sky.

Thanks, Susan

Cervantes Law Firm, P.C.  
Attorney at Law  
901 E. University Ave., Suite 965 L  
Las Cruces, New Mexico 88001

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Joseph Cervantes  
Phone (575) 526-5600  
Fax (575) 523-9317  
Joseph@cervanteslawnm.com

May 1, 2020

Via Email: Mayor@mesillanm.gov

Mayor Nora Barraza  
Town of Mesilla  
P.O. Box 10  
Mesilla, NM 88048

Re: Proposed Ordinance 2020-2 and Modifications to HR Zoning

Dear Mayor Barraza:

You have asked that I respond to questions presented by the Mesilla Board of Trustees with regard to proposed amendments to the Historical Residential (HR) Zone, Chapter 18.35 HR. I have been provided the proposed amendments.

The issue presented to me is whether the proposed HR zoning amendments can be adopted in a way that current property owners are exempted from future application of these amendments. This issue has been presented alternatively as whether existing property owners can be “grandfathered” so that the proposed zoning amendments are inapplicable to the existing owners of property within the HR zone.

For the following reasons, it is my conclusion that current owners cannot be lawfully exempted from the amendments if adopted. My analysis begins with the statutory authority delegated to the Board of Trustees under New Mexico law. The authority to promulgate zoning regulations must come from enabling legislation of the State Legislature; any exercise of power under zoning ordinance must be authorized by state statute. *Burroughs v. Board of County commissioners of Bernalillo County*, 1975-NMSC-051, 88 N.M. 303, 540 P.2d 233.

Section 3-21-1(A) of the New Mexico statutes authorizes municipal governments to promote health, safety and general welfare by a zoning authority empowered to regulate and restrict a number of criteria including:

- 1) height, number of stories, and size of buildings and other structures;
- 2) percentage of a lot that may be occupied;
- 3) size of yards, courts and other open space;

- 4) density of population;
- 5) location and use of buildings, structures and land for trade, industry, residence or other purposes.

Section 3-21-1(B)(1) provides that a municipal zoning authority may “divide the territory under its jurisdiction of such number, shape, area and form as is necessary to carry of the purposes of Section 3-21-1 through 3-21-14.”

Subsection (B)(2) then provides that a municipal zoning authority may “regulate or restrict the erection, construction, reconstruction, alteration, repair or use of buildings, structures or land *in each district.*” (italics added). Of significance to the issue presented for my analysis is Subsection (B)(2), which provides that with regard to the regulation or restriction on uses of land “in each district”, that “all such regulations *shall be uniform* for each class or kind of building within each district.” (italics added). The statute allows that “regulation in one district may differ from regulation in another district.”

Subsection (B)(2) therefore requires that *all such regulations* on the erection, construction or use of buildings or land, within a particular district “*shall be uniform... within each district.*” (italics added). Therefore with regard to the Mesilla HR zoning, all construction upon property, and all use of land, with that particular zoning designation, must be uniform as for any zoning restrictions imposed. This precludes any selective exemption from either the current zoning regulations and restrictions, and precludes any selective exemption from future adopted zoning regulations and restrictions.

The requirement of “uniformity” in zoning regulations and restrictions, and common to uses within a given zoning district, is fundamental to government regulation in the uses of land and buildings. *Albuquerque Commons Partnership v. City Council City of Albuquerque*, 140 N.M. 751, 149 P.3d 67 (reversed on other grounds)(discussing requirement of uniformity). The “uniformity” requirement of zoning restrictions must assure that such restrictions do not “arbitrarily discriminate” between owners or lands “similarly situated.” *Id.*

The adoption of any amendments to the HR zoning within the Town of Mesilla must therefore be uniform through the district, and must not discriminate between owners, or between lands, which are “similarly situated”. Permitting an exemption to HR zoning requirements for certain owners, or for certain lands, would be inconsistent with state statute.

Adopting any such exemptions could also be subject to legal challenges on other grounds. For example the adoption or application of such exemptions could arguably be challenged as “spot zoning”. Further, permitting such exemptions could also be subject to legal challenge on constitutional grounds and guarantees of equal protection. *See, Thomas v. City of West Haven*, 734 A.2d 535 (1999)(equal protection challenge to denial of zoning application).

New Mexico courts have disapproved “piecemeal” zoning changes and have required that any such proponent must show the proposed changes are justified due to a demonstrable change in conditions, or due to a mistake in the original zoning. *See, Albuquerque Commons Partnership*. This “change or mistake” rule evidences the concern for stability in zoning regulations, and for a landowners’ right to rely on existing zoning. *Id.* Thus any rezoning affecting a small number of properties, restricting the uses of those properties in ways that are not applicable to the surrounding area, which are limited to identifiable properties, and which are not general policy decisions that apply broadly, must be justified under this change “change or mistake” rule, or by a “more advantageous to the community” analysis. In such cases the analysis requires specific factual findings relating to the affected properties, and by procedures characteristic of a quasi-judicial action. *See, Albuquerque Commons*. When a zoning action is specifically designed to affect a relatively smaller number of properties, and does not apply to “similarly situated” properties in the surrounding area, the zoning action is regarded as quasi-judicial and not legislative. *See, Albuquerque Commons*.

It is also perhaps helpful for the Board of Trustees to recall that any buildings or property uses existing at the time of amendments adopted, may later be characterized under the Town ordinance as existing non-conforming buildings or uses. Mesilla’s zoning ordinance, however, also prescribes and limits any expansion, modification and development of such existing and non-conforming buildings and uses. Mesilla’s zoning ordinance also expresses an intention that such existing and non-conforming uses be discontinued and discouraged. Thus while the proposed HR zoning amendments may create existing non-conforming buildings or properties if adopted, the ordinance may allow for the continuing use but with restrictions on expansion or further development of such uses or properties.

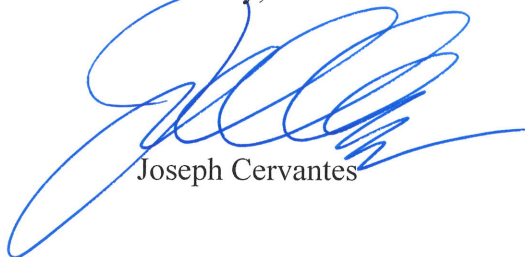
A thorough analysis of all potential challenges which could be made to exempting certain owners or property, from applicability of the proposed HR zoning amendments, is beyond the scope of this analysis. Such an analysis is unnecessary because the conclusions expressed can be based on clear state statute alone.

I am advised that the Board of Trustees is considering the proposed HR zoning amendments based on a concern with density and concentration of dwelling units. Such a concern, and such motivations, have been previously held to be a valid exercise of “police power” on the grounds that such restrictions further legitimate government interests. *See, Aragon & McCoy v. Albuquerque National Bank*, 1983-NMSC-020, 99 NM 420, 659 P.2d 306. In sum, it is my conclusion that the proposed zoning amendments are within the Board’s authority permitted by state statute. To the extent these amendments would include an exemption for certain parcels within the prescribed zoning district, however, this would be precluded by the uniformity requirements for zoning restrictions.

Mayor Nora Barraza  
May 1, 2020  
Page 4

I appreciate the opportunity to respond to your questions, and if I can be of further assistance please let me know.

Sincerely,

A handwritten signature in blue ink, appearing to read 'JC', with a large, sweeping flourish extending to the left and bottom.

Joseph Cervantes

KJC/bam

cc: Cynthia Stoeher-Hernandez



## Cynthia Stoechner-Hernandez

---

**From:** Nora L. Barraza <mayor@mesillanm.gov>  
**Sent:** Tuesday, April 28, 2020 10:14 AM  
**To:** Joseph Cervantes; Beth Miles  
**Cc:** Cynthia Stoechner-Hernandez  
**Subject:** Fwd: Legal question/advise  
**Attachments:** image009.png

Joseph:

Please call me regarding this matter today, Urgent!!!! Have been working on revising the HR ordinance since November of last year.

Thanks,

Mayor Barraza

----- Forwarded message -----

**From:** **Randy Van Vleck** <[rvanvleck@nmml.org](mailto:rvanvleck@nmml.org)>  
**Date:** Tue, Apr 28, 2020 at 9:07 AM  
**Subject:** RE: Legal question/advise  
**To:** Nora L. Barraza <[mayor@mesillanm.gov](mailto:mayor@mesillanm.gov)>

Mayor,

I really do not feel comfortable getting that deep into this. This is an opinion that is best left for your town attorney. However, I cannot believe the brazen self-serving nature of the request. Maybe you should refer those councilors to the Governmental Conduct Act and the prohibition against voting on matters that serve personal interests.

Randall D. Van Vleck

General Counsel

New Mexico Municipal League

P.O. Box 846

Santa Fe, NM 87504

800.432.2036

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**From:** Nora L. Barraza [mailto:[mayor@mesillanm.gov](mailto:mayor@mesillanm.gov)]  
**Sent:** Monday, April 27, 2020 4:16 PM  
**To:** Randy Van Vleck <[rvanvleck@nmml.org](mailto:rvanvleck@nmml.org)>  
**Subject:** Legal question/advise

Hi Randy,

Per our telephone conversation this afternoon, the trustees are going to want something in writing on your opinion.

The question is “Can current property owners be grandfathered in prior to an enactment of a revised ordinance as it pertains to development standards and uses” and “For all properties purchased in the Historical Residential zone after May 1, 2020 new structures and modifications to existing structures may be built in this zone”?

Help, please advise as soon as possible.

Respectfully,

Nora L. Barraza

Mayor, Town of Mesilla

575-649-4740

Sent from [Mail](#) for Windows 10



TOWN OF  
*Mesilla*

COMPREHENSIVE PLAN

2017 Update

*Final Adopted by the Board of Trustees, November 27, 2017*

## Achieving Housing Goals

### Partnerships with Housing Authorities

Both the Mesilla Valley Public Housing Authority and the Tierra del Sol Housing Corporation already construct, operate and provide services related to affordable housing. If the Town would like to see housing development in Mesilla that provides affordable units, partnerships with these organizations will be crucial to enable this development.

### Homeowner Rehabilitation Support

Creating a homeowner rehabilitation fund for those who cannot currently afford repairs could help maintain and restore the housing stock in the historic district for those property owners without the means for expensive repairs. Such a fund can be set up through the adoption of an Affordable Housing Ordinance (see above), and could be man-

aged jointly with the Tierra del Sol Housing Corporation or another non-profit partner.

### Infill Priority Areas & Infrastructure Support

For those areas identified as priority infill, the Town can help the property owners invest in new housing development that fits the context of Mesilla. These are areas within the existing historic district that are zoned H-R, and the more recent but undeveloped subdivisions along University Ave, and to the east of Snow Rd slightly north of Dimatteo Rd.

As discussed in the Land Use Section, the Town should consider revising the number of allowable units per lot in areas zoned Historic Residential, as well as developing definitions and regulations regarding accessory dwelling units.



ELEMENT 1

# LAND USE



Perhaps more than anything, the land located in the Mesilla Valley is what makes Mesilla a special place. The Rio Grande Valley helps frame a landscape where agricultural fields, groves of pecan trees, and historic residences all contribute to the special sense of place that one feels upon visiting or living in Mesilla. Indeed, land use is a fundamental component of comprehensive planning and provides an underlying framework for the entire document. Land use patterns influence such things as a community's economic base, the cost of providing public services and the location of future (re)development and preservation.

## Goals

- **GOAL 1:** Continue to protect Mesilla's agricultural lands for future generations.
- **GOAL 2:** Achieve an historically appropriate and orderly pattern of land use development in Mesilla and surrounding areas.
- **GOAL 3:** Support new development that respects Mesilla's character and fills a community need.

## Community Comments

*"Let's keep commercial development to the existing zones. Maintain other areas as residential but no apartments or condominiums."*

*"We need incentives to keep our farmland and stay a small town..."*



Table 1. Approximate Land Use Distribution

LAND USE	APPROXIMATE ACRES	APPROXIMATE %
Single Family Residential	500	14.3%
Commercial	60	1.7%
Institutional/Government	36	1.0%
Park/Open Space	150	4.3%
Farmland	1,350	38.6%
Orchard	800	22.9%
Vacant	50	1.4%
Roadways & Other*	550	15.7%

NOTE: These totals are approximate and are based on publicly available data. \*Other includes right-of-way (ROW) for ditches, the Rio Grande Bosque, flood control and other non-developed uses.



## Primary Land Use Issues

Many of the land use issues identified in the 2004 Comprehensive Plan remain relevant, although progress has been made to address some of these issues in the last 15 years. As discussed above, land uses have changed very little in Mesilla between 2004 and 2017, except for the construction of a few new residential subdivisions and the infill of residential lots within the historic district and on some rural, large-lot agriculture properties. In that time, the Town has successfully implemented a cluster development ordinance, preserved large-lot zoning, and developed additional developable commercial space along Avenida de Mesilla to the north. The primary land use issues identified by residents, staff, and elected officials include:

- LACK OF DEVELOPABLE COMMERCIAL LAND:** As discussed in the Economic Development element, a bulk of Mesilla’s municipal revenue comes from gross receipt taxes generated from tourism-based businesses. However, because the bulk of commercial land in Historic District is already developed, there is a lack of developable land for additional commercial development. If the Town would like to expand its tax base, there may be a need for more commercially zoned land. A possible location is along Highway 28 south of Calle del Sur near the intersection of Union and Avenida de Mesilla.

- INFILL PRESSURES:** Over the past decade, there has been ongoing infill of 1-acre parcels within the historic residential areas of Mesilla. In some cases, this has contributed to a change in the character of these neighborhoods, due to a higher concentration of new housing units on formerly vacant land. Ongoing infill may also strain the capacity of existing infrastructure systems to handle this increase in residential density. This issue is discussed more in the Infrastructure element of this plan.
- ALLOWABLE DENSITIES:** One clear obstacle to controlling development in the historic residential zoning district is that the current code allows for 1 unit per 4,000 square feet of lot area, which in theory allows for a residential density of around 10 dwelling units per acre. Although the definition in the code allows for 4,000 square feet per *multifamily unit*, in practice, developers have been able to build multiple *single family homes on one parcel*, instead of being limited to one primary dwelling unit. To address this issue, the Town may consider revising the zoning code to allow only one primary housing unit per lot and one accessory dwelling unit (ADU). This would make the density requirements and primary dwelling unit definitions consistent with requirements in the R-1 zone.



## Future Land Use

Land use scenarios represent ways for the Town of Mesilla to change over time. Because the Town's population is not expected to increase (and may decline), and annexation of new land is not currently being pursued, changes in land use over the next 10 to 20 years could be minimal. However, if conditions do change, a general land use plan should be in place that addresses where and how land uses could respond to changing dynamics. Such a land use plan would help the Town Board of Trustees and citizens to decide where to locate new housing, commercial space, or other uses.

The following two options present different scenarios that seek to address the issues identified above. The first "trend" scenario is based on ongoing residential infill and some conversion of agricultural land to residential uses.

The second scenario is the "preferred scenario" that incorporates the desires and ideas of residents gathered from community meetings, discussion with Town staff, and through the online survey. This preferred scenario functions as the future land use plan for the town.

### *Scenario 1: Trend*

The first "trend" scenario is designed to follow existing development trends in Mesilla, with ongoing infill of vacant lots in the Historic District, as well as some conversion of agricultural land to large-lot residential areas with larger homes.

The overall development pattern for this scenario follows existing zoning, but would increase the overall housing density in the historic district. The expected changes if this scenario came to pass include approximately 40 additional housing units, 90 new residents, 25 acres converted to new residential uses, and about 20 acres within the historic district redeveloped as infill housing. It would also include about 7.5 acres of new commercial development.

### *Preferred Scenario*

An overwhelming number of residents said they prefer to "keep Mesilla the way it is" and preserve existing land uses – especially greenbelt areas. However, to both preserve existing land uses and accommodate some of the trends outlined in the scenario above, the preferred scenario calls for targeted infill development at lower densities and preservation of areas currently zoned RF and RA.

This preferred scenario shows less infill in the historic core, and limited expansion of commercial land extending outward from the historic core along the west side of Avenida de Mesilla, consistent with a trend in small scale businesses. In this scenario, areas would develop according to existing zoning.

In the future, additional commercial development on somewhat larger lots but still at a neighborhood scale appropriate to Mesilla may be appropriate. However,

the preference is to review further land use changes in the future as there is clear demand for such development. Big

box retail establishments are not appropriate within the Town because of limited land availability and lot sizes.

## Achieving the Preferred Land Use Vision

### Land Use Code Updates

The Town Adopted an Affordable Housing Plan in 2009 that proposed a series of recommendations to help increase housing affordability through changes to the zoning code. These would primarily increase the density bonus allowed for subdivisions that use cluster development and utilize less land area.

However, density bonus strategies involve clear tradeoffs between allowing more housing development and continuing to protect Mesilla's greenbelt through large-lot zoning requirements. *One clear take-away from public meetings is that residents desire to keep Mesilla's housing density as it currently is, instead of allowing for more higher density infill.*

As stated above, the primary way to control the density in the Historic Residential District is to limit the number of allowable dwelling units per lot to 1, instead of using the current area requirements.<sup>9</sup> Property owners who want to develop multiple units would then have to subdivide their parcels, which would trigger subdivision standards that could be tied to more stringent requirements for parking, infrastructure availability,

and lot sizes. Alternatively, the current area requirements could be increased to 1 unit per each quarter acre or more, depending on the desired density.

### Application of Accessory Dwelling Units (Guest Houses)

The current code defines accessory dwelling units (ADUs) as "guest houses" and limits their size to 600 square feet. However, the guest house as a use is not addressed consistently in the code – for example, it is not applied to the Historic Residential zone. This has created a situation where many properties may be defined as a guest house or ADU but are not actually regulated under certain zoning districts. Applying the guest house requirements across residential zoning districts would address some of these issues that create ambiguity with interpretation and enforcement.

### Priority Infill Areas

To support additional housing development, the Town should propose priority infill areas within the historic district (and other areas) to which the Town would like to channel future development (see Land Use Map on page 44).

<sup>9</sup> This is the requirement in the existing R-1 zone.

## F. PUBLIC MEETING & SURVEY RESULTS

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### 1<sup>st</sup> Community Meeting Notes

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April 18th, 2017 – 6:00-7:30 PM

#### 22 Attendees

*Notes were typed directly from notecards posted on boards. No editing has been done except for spelling mistakes. Bullet point responses grouped by table.*

#### What are Mesilla's greatest needs?

- The historic core needs to be protected. The infrastructure needs to be updated (electrical underground, sewer, water systems need to be repaired) Historic preservation needs to be a priority.
- Minimizing gentrification through grants, tax incentives, etc. Funding sources (fees per sales). Transaction fees.
- Parking alternatives (transit).
- Code enforcement. Funding assistance for home owners to repair homes.
  
- Need funding – to pay for projects. GRT – need to understand % taxes kept from GRT and property.
- Parking meters: people park all day. Community parking lot with fee. Look at County taxes – don't raise enough funds to see what they want done – farmland pays less.
- Enforce dark skies ordinance: City parking lot, local residential floodlights. Ball parks. Maybe cut of lights at certain time.
- Agriculture development and utilization – look at City tools – no way to have big food processing – no ag industries.
  
- More staff with higher wages. Street maintenance. More goods and services for residents rather than tourists.
- Needs: infrastructure, sewer (capacity, condition), streets (congestion), electric (capacity). Parking. Define # of dwellings per property (1 per 4000 sq ft or # per property).
- Issues: Highway 28 should be a commercial strip (general commercial – C1) outside the historic areas in order to provide GRT without relying solely on Plaza shops to support the town.
  
- Finish core infrastructure: sewer, water streets. Value changes with improvements.
  
- Maintaining the exceptional character of Mesilla. Avoiding the community becoming over extended in obligations.
- Avoid anything that causes Mesilla to become a rust belt [unreadable]
  
- We need a safe sewer system. Sewage smell is a noticeable at certain places – is this a problem with sewage lines?
- Now that some extension of water service has taken place, we need to replace water lines in core area as needed. Need a safe water system.
- Sidewalks – we like the brick/historic feeling sidewalks. Lots of sidewalks need repair. Some areas that done have sidewalks might benefit from having them. But we don't want to see roads made much wider to accommodate sidewalks.



- Property (owned by a church?) @ university and Avenue de Mesilla – where is development of this property at? Want possible tabernacle to fit neighborhood. Want green space, dark skies compliance, traffic problems addressed.
- Better dark skies enforcement: building permits should have a place asking about proposed lighting so better enforcement can be accomplished. (So applicants can better understand requirements and better work with Town.)

## What are Mesilla's greatest opportunities?

- Use restaurant TVs to promote the town events, history... [This idea was liked by another group]
- Create Town museum in old adobe building next to community center.
- Love the comment about emphasizing our history to bring history minded tourists to the area.
- Our table would like to see an agriculture/produce heave farmer's market. Fewer crafts during growing season. Move farmer's market to Town Hall area to better accommodate growers trucks. Two markets: crafts on plaza, grows by town hall?
- Paint 1-way arrows on street. Need good signage on 1-ways in downtown. Also, we need to be nicer about ticketing when our visitors accidently go down one-ways
- Would more 1-way streets help make streets more walkable/bikeable by giving us sidewalks/safety without widening them?
- Cultural center: to provide a place for book, poetry readings, music, art (all with a local flavor). Blacksmith
- Culinary center for the area.
- Dark streets you can see starts. Ditch Trails. Bosque park: bocce ball courts, peacefulness, stores that sell NM products.
- Tourism Exploitation: importance of our history. Gadsden Purchase signed in Town Plaza. Taylor Monument (Historic Site).
- More restaurants: not changes. Big draw is our individuality. Annexing businesses on Avenida de Mesilla. Bike paths + walking paths. Heritage tourism: attract interest in our history.
- The privately-owned Gadsden Museum has hundreds of assets that need to be catalogued and protected. If it could be resurrected and promoted it would be a huge cultural attraction. This area has enormous potential as a historical and cultural destination. Souvenir shops don't interest people. The books store is an asset – more businesses and locations that have substance...

## 20 years from now, how do you envision Mesilla?

- Slow growth. Not much change. Retain Mesilla's uniqueness and Spanish Heritage. Multi-generational aspect. Less rentals – more homeowners.
- Just like it is, but with sound, modern infrastructure. Keep the fields, keep the roosters!
- "The same, only better." Historically preserved, but economically solvent to meet the town's infrastructure and support needs.
- Historically preserved, to the developed guidelines. Consistent to the ordinances and Yguado Plan
- I envision Mesilla looking no different, in a marginal sense, than today!

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## MEMORANDUM

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**TO: MAYOR NORA L. BARRAZA AND BOARD OF TRUSTEES**

**FROM: LARRY SHANNON, COMMUNITY DEVELOPMENT COORDINATOR**

**SUBJECT: ACTIVITY REPORT – MAY 2020**

**DATE: JUNE 3, 2020**

### PZHAC BUSINESS MAY 2020

#### Items presented to the PZHAC

#### PZHAC WORK SESSION ITEMS:

1. Submitted by Jessie L. Herrera; a request to discuss plans to construct an addition to a dwelling at 2929 Calle de Guadalupe. (Permit 061020). Zoned: Residential Agricultural (RA)
2. Submitted by Nia Rucker; a request to discuss plans to replace windows on a dwelling at 1922 Calle de Cura. (Permit 061021) Zoned: Historical Residential (HR)

#### ADMINISTRATIVE APPROVAL

##### **Zoning Permits**

1. **Case 061029** – 2930 Estrada Road, submitted by Tom and Frannie Miller; a request for a zoning permit to allow the painting and staining of window frames and doors, the installation of pavers and flower beds in the yard, and the installation of animal pipe fences on a residential property at this address. Zoned: Rural/Agricultural (RA)
2. **Case 061036** – 3026 Las Arenles, submitted by Alva D. Brownfield IV, a request for a zoning permit to allow the replacement of windows and doors, and the repainting of stucco on an existing dwelling at this address. Zoned: Rural/Agricultural (RA)
3. **Case 061037** – 1940 Calle Pacana, submitted by Henry Newman; a request to install solar panels on an existing dwelling at this address. Zoned: Historical Residential (HR)
4. **Case 061038** – 2409 Calle del Norte, submitted by Angela Garcia; a request for a zoning permit to allow repairs to lattice work on a carport, damage to a perimeter fence, and minor repairs to a yard damaged by wind at this address. Zoned: Historical Residential (HR)
5. **Case 061039** – 2391 Calle de Parian, submitted by Robert Reynolds; a request for a zoning permit to repair and repaint the stucco and trim on an existing dwelling at this address. Zoned: Historical Residential (HR)
6. **Case 061041** – 2675 Calle Segunda, submitted by Carlos Arzabal; a request for a zoning permit to allow the repainting of an existing storage shed at this address. Zoned: Historical Residential (HR)
7. **Case 061042** – 2391 Calle de Parian, submitted by Robert Reynolds, a request for a zoning permit to allow a concrete pad to be installed next to a storage building on the property. Zoned: Historical Residential (HR)
8. **Case 061043** – 2445 Calle de Parian, submitted by Steve Delgado and Victoria Hernandez; a request for a zoning permit to allow the replacement of a small storage shed with a similar shed. Zoned: Historical Residential (HR)

**PZHAC DECISION ITEMS:**

**Zoning Permits:**

1. **Case 061040** – 1401 West Boutz Road, submitted by Samuel Torres for Xavier Jurado; a request for a zoning permit to construct a 30 foot by 40 foot metal storage building on a residential property at this address. Zoned: Rural Farm (RF)
2. **Case 061026** – 2149 Calle de Los Huertos, submitted by Martin Serna for Gabriel Quintana; a request for a zoning permit to allow the construction of a stucco wall around a courtyard at this address. Zoned: Historical Residential (HR)
3. **Case 061033** – 2230 Calle del Sur, submitted by Stephen Cadena; a request to for a zoning permit to construct a rock wall and a stucco wall on a property at this address. Zoned: Historic Residential (HR)
4. **Case 061044** – 2545 Calle Santa Ana, submitted by Oscar Freitze; a request for a zoning permit to install a fence along the west edge of a pecan grove at this address. Zoned: Historical Residential HR)
5. **Case 061045** – 2391 Calle de Parian, submitted by Robert Reynolds, a request for a zoning permit to allow the replacement of a door and two windows on a storage building at this address. Zoned: Historical Residential (HR)
6. **Case 061046** – 1850 Calle de Mesilla, submitted by Nancy Clayshulte; a request for a zoning permit to install a farm fence around a pecan grove on this property. Zoned: Historic Residential (HR)
7. **Case 061047** – Calle Tercera, submitted by Frankie Torres, a request for a zoning permit to allow a rock wall to be constructed on the property lines of a residential property at this address. Zoned: Historical Residential (HR)

**If you have any questions, comments or concerns please feel free to call me at  
524 -3262 ext. 104; or e-mail me at [larrys@mesillanm.gov](mailto:larrys@mesillanm.gov).**

**Town of Mesilla Assessor's Report  
MAY 2020**

Mesilla CASE #	DAC ACC'T #	APPL. DATE	ISSUEE/CONTRACTOR	VALUATION / COST	FEE	BLDG CODE	ADDRESS	DESCRIPTION OF WORK
061041	04-00600	5/1/20	Carlos Arzabal/self	250.00	0.00	MI	2675 Calle Segunda	Repaint a tool shed
061042	04-00521	5/2/20	Robert Reynold/self	2,000.00	77.00	ALT	2391 Calle de Parian	Concrete pad on two sides of a storage structure
061043	04-00491	5/5/20	Steve Delgado and Victoria Hernandez	150.00	0.00	MI	2445 Calle de Parian	Replace a small storage shed
061044	04-01604	4/7/20	Oscar Freitz/self	1,500.00	68.00	MI	2545 Calle de Santa Ana	Install an agricultural fence on a property line
061045	04-00521	5/5/20	Robert Reynolds/self	1,000.00	58.00	ALT	2391 Calle de Parian	Replace two doors and a window on a storage structure
061046	04-00270	5/11/20	Nancy Clayshulte/self	2,000.00	77.00	MI	1850 Avenida de Mesilla	Install an agricultural fence on a property line
061047	04-00564	5/1/20	Franciso Torres/BJ Calderon	8,075.00	280.00	MI	2631 Calle Tercera	Install rock walls on two property lines
061049	04-00543	5/19/20	Michael Clute	750.00	54.00	MI	2371 Calle de Parian	Regrade a gravel driveway
061050	04-00760	5/28/20	Sam McBurney/Window World	5,977.47	19.50	ALT	319 Capri Arc	Repalce eleven windows on a dwelling at this address
061051	04-00180	5/4/20	Matilde Estrada/Window World	5,780.26	69.50	ALT	2447 Cale del Norte	Replace nine widows on a dwelling at this address
061052	04-00568	5/24/20	Jack and Lisa Kirby/ViCa One Inc.	100,000.00	160.50	NR	2445 Calle de Santa Ana	Construct a new dwelling at this address
061053	04-01594	5/25/20	Charles and Marilyn McMurry/ViCa One Inc.	248,000.00	384.00	NR	Lot2, Sommer Grove Subdivision	Construct a new dwelling at tis address
061054	04-00504	5/28/20	Gary and Laura Ramsey	100,000.00	160.50	ACM	2581 Calle de Cura	Remodel home, upgrade windows, repair stucco and repaint dwelling
061055	04-01099	5/28/20	Zachary and Jodie Penn/Dolphin Pools LLC	79,000.00	129.00	SP	2821 Cielo Grande Court	Install a 20' by 40' inground pool
061056	04-01622	5/28/20	Christopher Schaefer/self	500.00	9.50	MI	1680 Calle de Alvarez, Suite C	Expand and outdoor seating area



# Community Projects Report

Project	Description
Current Contact information	Dorothy Sellers Email: <a href="mailto:DorothyS@mesillanm.gov">DorothyS@mesillanm.gov</a> Work: 575-524-3262 Cell:575-571-3890
Census Day in Mesilla	I have continued to work with Census teams to step up online presence. Spreading news through social media, website, and mailed flyers. Currently working on a new flyer to be posted and added to restaurant to go orders.
Social Media	Keep social media up to date with things happening in Mesilla.
Summer Rec Program	Program is currently being adjusted to accommodate current situation. Following all guidelines provided by the Governors office and the CDC. Awaiting approval of start date. Two supervisors and one lead have been hired. Will begin working with new Lead to ensure we are ready to begin.
4 <sup>th</sup> of July	Talent has been booked for the 4 <sup>th</sup> of July. Waiting on guidance regarding mass gatherings to see if we will be able to proceed.
Mercado	Mercado is currently closed until further notice. Vendors have been notified and Marshal Dept is assisting in ensuring no one is setting up on Fridays and Sundays. I have begun researching best COVID safe practices so we will be prepared when it is safe to reopen.
Clean & Beautiful Grant	Work continues on Community Center park to comply with the FY20 grant received. Last of the items have been purchased and installation by Public Works continue.  Application for next years grant (FY21) has been submitted. Unofficially was told we qualified for \$14,500. I am awaiting the agreement.
NM Tourism Grant	The media push of our video and banner has been paused and will resume when it is responsible to do so. Application has been submitted. Applied for funds to assist with a billboard near Belen, NM.

2020 Summer Series	Summer Series has been postponed. All bands and Experience Mesilla have been notified. When it is safe and allowed to proceed Summer Series will be rescheduled.
Covid-19	Have been updating the website with valid Covid-19 information as well as providing PSA for the public via social media and website. Have also participating daily on the Joint Information Center calls providing information relevant to Covid-19 and Mesilla so it can be pushed out to the public.



# MEMORANDUM

**To:** Mayor and Trustees

**From:** Cynthia Stoechner-Hernandez  
Town Clerk-Treasurer *CSH*

**RE:** Monthly Finance Report

Listed below is a review of department and fund expenditures for: MAY

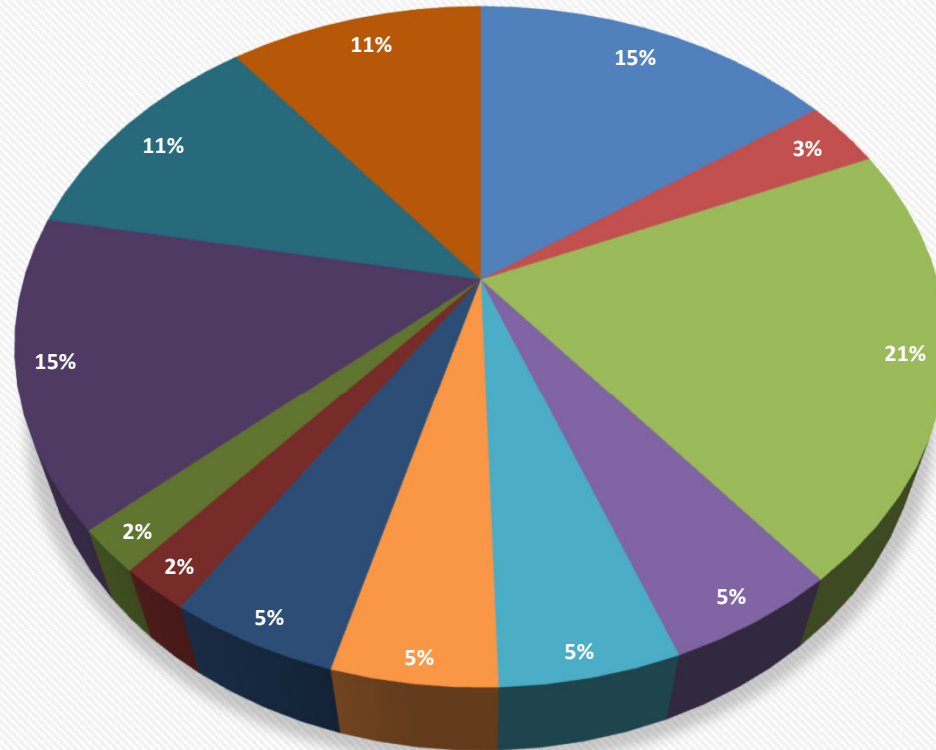
General Fund should be at: 91.67% spending

**PER THE MAYOR'S DIRECTION - BUDGETS HAVE BEEN FROZEN WITH THE EXCEPTION OF EMERGENCY EXPENDITURES**

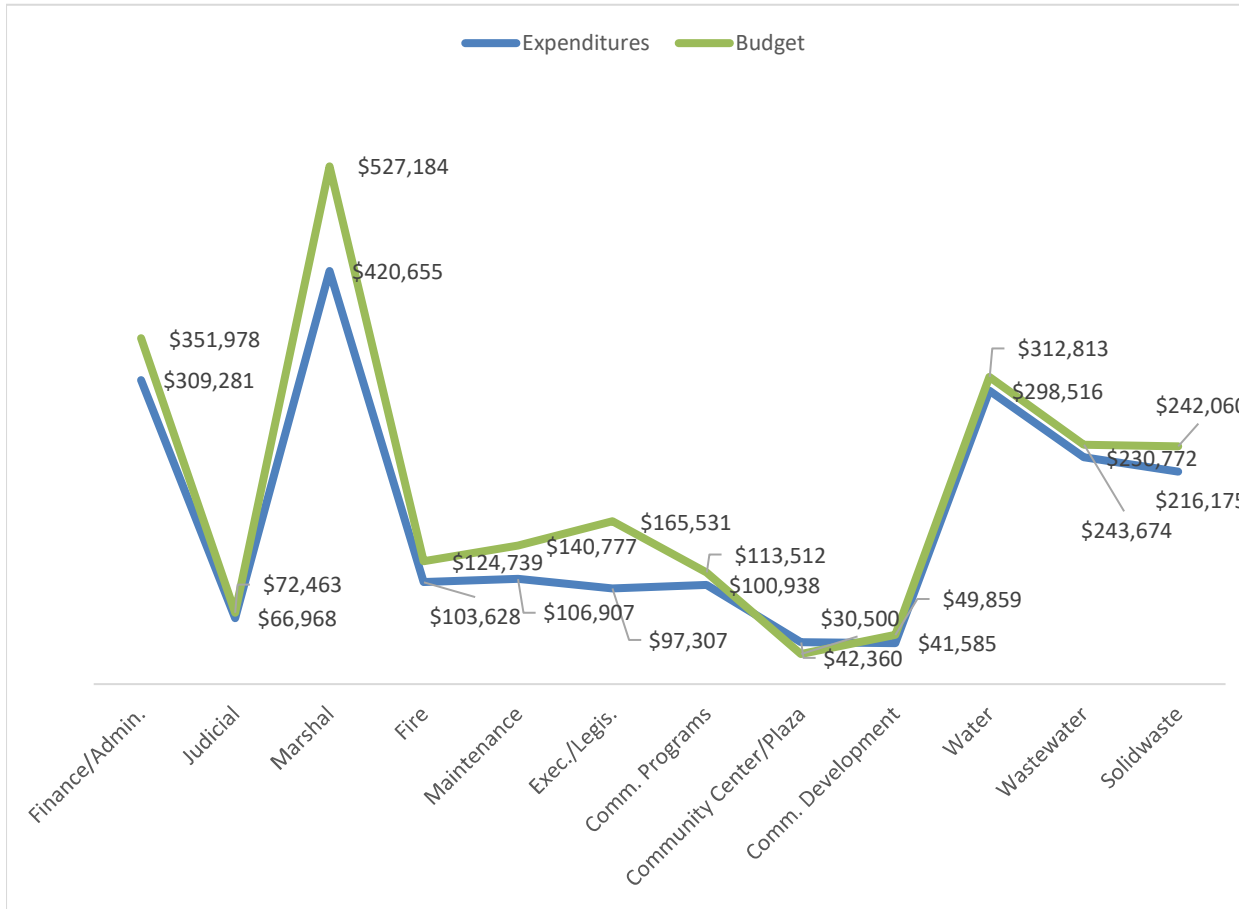
YTD EXPENDITURES	%Exp.	\$ Money YTD	Mo.%	YTD % over/under	Approved Budget
Finance/Admin.	87.87%	\$309,281	100.00%	-12.13%	\$ 351,978
Judicial	92.42%	\$66,968	100.00%	-7.58%	\$ 72,463
Marshal	79.79%	\$420,655	100.00%	-20.21%	\$ 527,184
Fire	83.08%	\$103,628	100.00%	-16.92%	\$ 124,739
Maintenance	75.94%	\$106,907	100.00%	-24.06%	\$ 140,777
Exec./Legis.	58.78%	\$97,307	100.00%	-41.22%	\$ 165,531
Comm. Programs	88.92%	\$100,938	100.00%	-11.08%	\$ 113,512
Community Center/Plaza	138.88%	\$42,360	100.00%	38.88%	\$ 30,500
Comm. Development	83.41%	\$41,585	100.00%	-16.59%	\$ 49,859
<b>General Fund</b>	<b>81.80%</b>	<b>\$1,289,629</b>	<b>100.00%</b>	<b>-18.20%</b>	<b>\$ 1,576,543</b>
Water	95.43%	\$298,516	100.00%	-4.57%	\$ 312,813
Wastewater	94.71%	\$230,772	100.00%	-5.29%	\$ 243,674
Solidwaste	89.31%	\$216,175	100.00%	-10.69%	\$ 242,060
<b>Enterprise Fund</b>	<b>87.44%</b>	<b>\$745,462</b>	<b>100.00%</b>	<b>-12.56%</b>	<b>\$ 852,547</b>

# EXPENDITURES

- Finance/Admin.
- Maintenance
- Comm. Development
- Judicial
- Exec./Legis.
- Water
- Marshal
- Comm. Programs
- Wastewater
- Fire
- Community Center/Plaza
- Solidwaste



## EXPENDITURES VS BUDGET



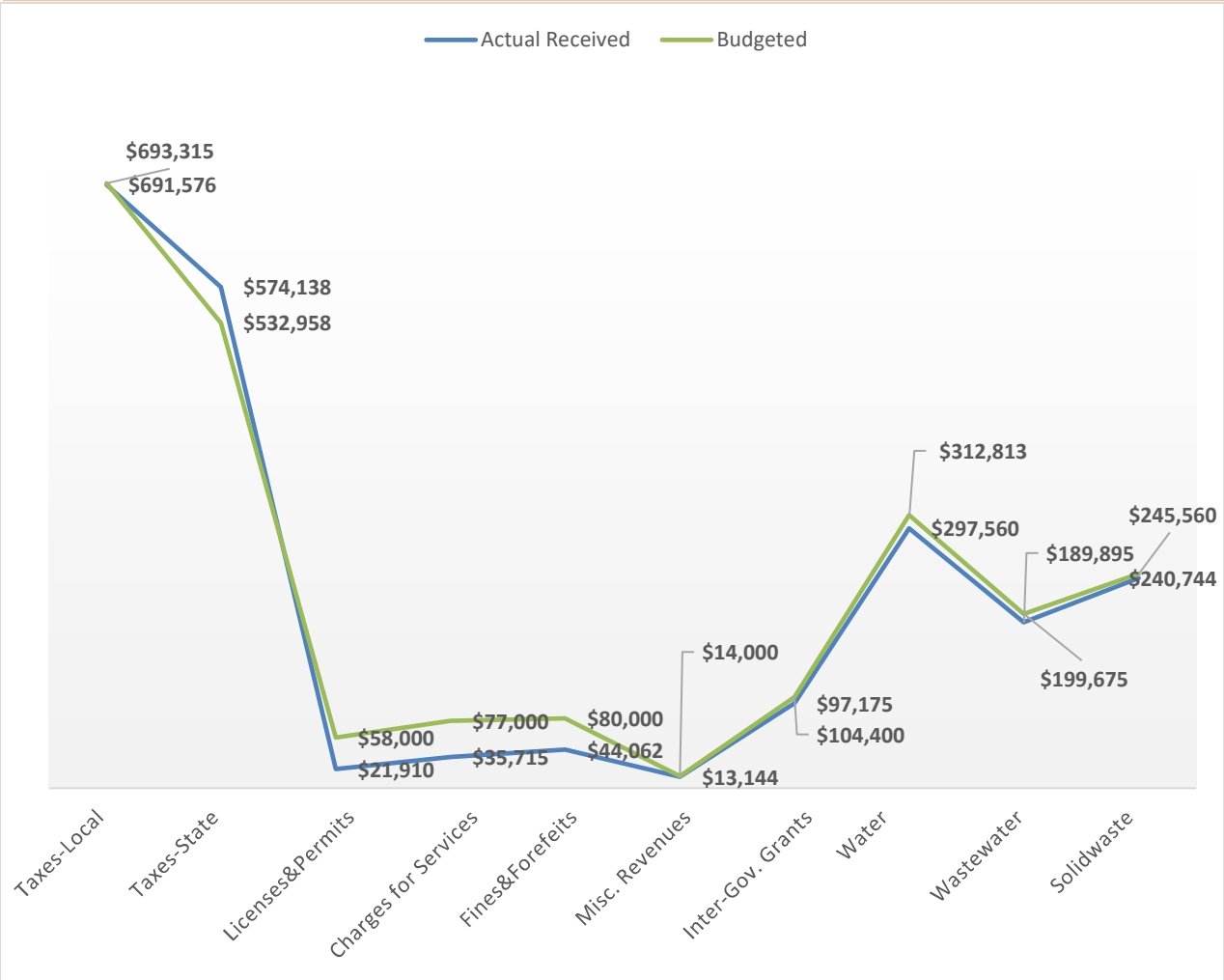
Please request the INCODE report for detail revenues and expenses by fund.



## REVENUE

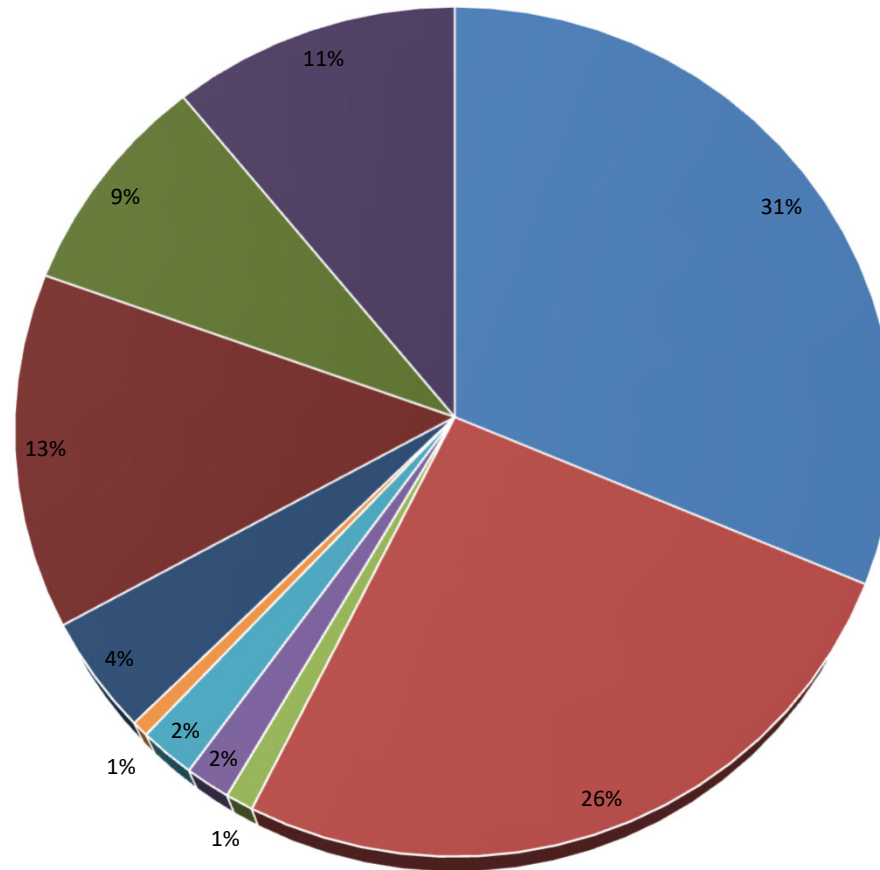
YTD REVENUES	% Rec.	YTD Money \$	% Est.	YTD % over/under	AMOUNT BUDGETED
Taxes-Local	99.75%	\$691,576	100.00%	-0.25%	\$693,315
Taxes-State	107.73%	\$574,138	100.00%	7.73%	\$532,958
Licenses&Permits	37.78%	\$21,910	100.00%	-62.22%	\$58,000
Charges for Service	46.38%	\$35,715	100.00%	-53.62%	\$77,000
Fines&Forefeits	55.08%	\$44,062	100.00%	-44.92%	\$80,000
Misc. Revenues	93.88%	\$13,144	100.00%	-6.12%	\$14,000
Inter-Gov. Grants	93.08%	\$97,175	100.00%	-6.92%	\$104,400
<b>General Fund</b>	<b>94.75%</b>	<b>\$1,477,720</b>	<b>100.00%</b>	<b>-5.25%</b>	<b>\$1,559,673</b>
Water	95.12%	\$297,560	100.00%	-4.88%	\$ 312,813
Wastewater	95.10%	\$189,895	100.00%	-4.90%	\$ 199,675
Solidwaste	98.04%	\$240,744	100.00%	-1.96%	\$ 245,560
<b>Enterprise Fund</b>	<b>96.06%</b>	<b>\$728,200</b>	<b>100.00%</b>	<b>-3.94%</b>	<b>\$758,048</b>

# REVENUE vs BUDGET



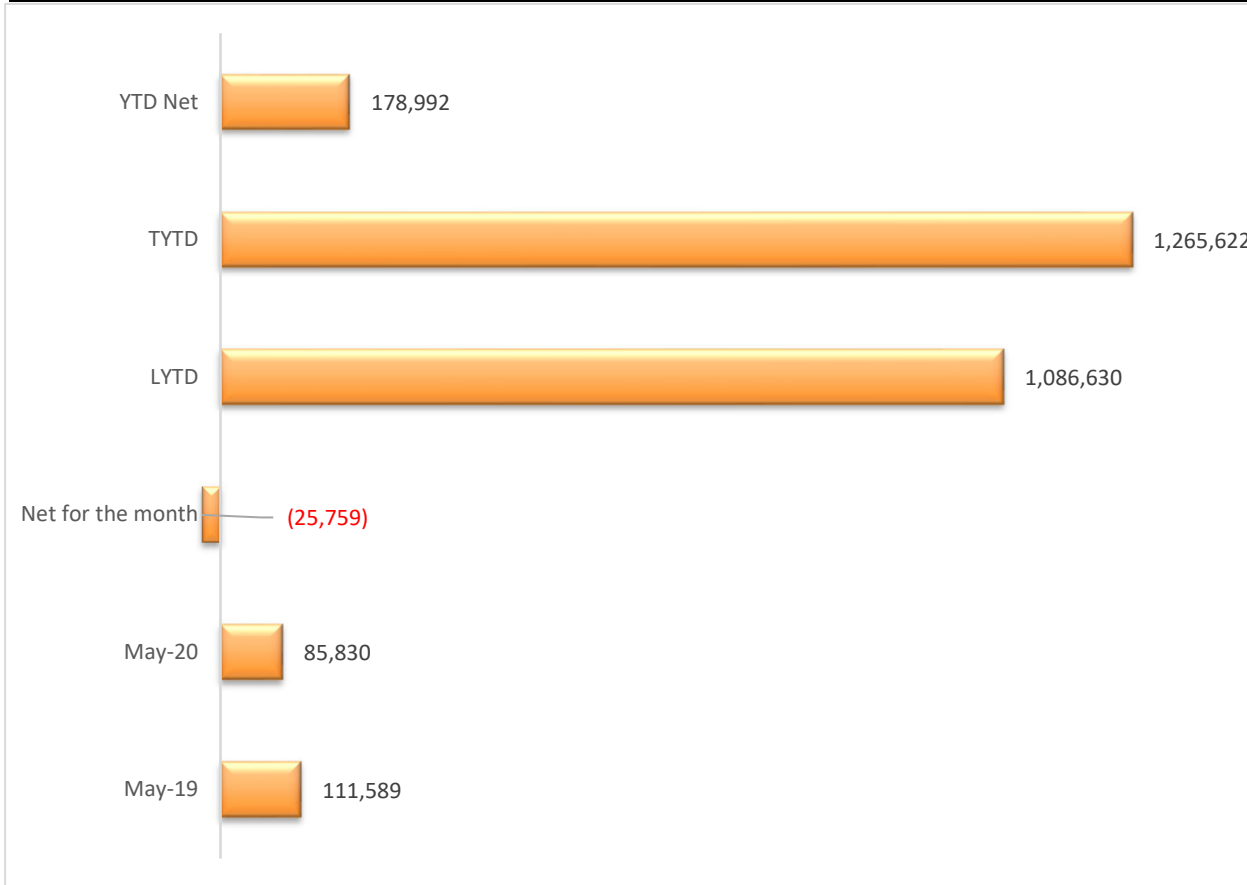
## YTD REVENUES

- Taxes-Local
- Taxes-State
- Licenses&Permits
- Charges for Services
- Fines&Forefeits
- Misc. Revenues
- Inter-Gov. Grants
- Water
- Wastewater
- Solidwaste



## GRT COMPARISONS

May-19	May-20	Net for the month	LYTD	TYTD	YTD Net
111,589	85,830	(25,759)	1,086,630	1,265,622	178,992



### Business GRT in MARCH 2020

Percentage by month	-23%	Percentage over last FYTD	16%
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**TOWN OF MESILLA FIRE DEPARTMENT  
MONTHLY BOT REPORT**



**DATE: MAY, 2020**

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**MAJOR ADDITIONS TO INVENTORY** NONE

**MAINTENANCE OF EQUIPMENT** PPV fan (E32) to the Power Center for carburator issue. Chain saw (E32) repaired, fuel leak. Brush 31 compartment door repaired. Oil change and safety check Battalion 32. Wildland hand tools cleaned, sharpened and oiled on Brush 31 and Brush 33.

**COMMENTS** The department is in the conducting promotion boards for lieutenants and engineers. Applications closed May 31. Also we will begin advertising for applicants for a summer fire academy schedules to start July, 2020. We are also laying the groundwork to conduct wildland classes this winter. This will be through BLM and NM State Forestry. The new engine ordered in November has arrived and is being prepared to be put into service. It still needs graphics, radios and other equipment installed before we take possession of the vehicle. Call volume is back to normal after the slow down related to stay at home practices. After responding to only 20 calls in March we responded to 47 calls for service in May. This is three calls short of our busiest month this year of 50 calls.

**SUBMITTED BY** Fire Chief Kevin Hoban \_\_\_\_\_



# Mesilla Fire Department

Mesilla, NM

This report was generated on 6/2/2020 1:33:27 PM



## Count of Classes by Personnel by Class Category

Passed/Failed: Both Passed and Failed | Personnel: All Personnel | Start Date: 05/01/2020 | End Date: 06/30/2020

### Boyd, Lachlan James

Class Category	Class Count	Total Class Hours
SOG, Policies & Procedures Review Training	1	1:00
<b>Total for Boyd, Lachlan James</b>	<b>1</b>	<b>1:00</b>

### Davis-Whited, Crystal

Class Category	Class Count	Total Class Hours
I.S.O. Fire Investigations	1	2:00
Wildland/Interface Training	2	23:00
<b>Total for Davis-Whited, Crystal</b>	<b>3</b>	<b>25:00</b>

### Embury, Andy G.

Class Category	Class Count	Total Class Hours
I.S.O. Fire Investigations	1	2:00
<b>Total for Embury, Andy G.</b>	<b>1</b>	<b>2:00</b>

### Evans, Harry A

Class Category	Class Count	Total Class Hours
I.S.O. Fire Investigations	1	2:00
<b>Total for Evans, Harry A</b>	<b>1</b>	<b>2:00</b>

### Frietze, Trevor R

Class Category	Class Count	Total Class Hours
SOG, Policies & Procedures Review Training	1	1:00
<b>Total for Frietze, Trevor R</b>	<b>1</b>	<b>1:00</b>

### Gaytan, Alexandra Melina

Class Category	Class Count	Total Class Hours
I.S.O. Fire Investigations	1	2:00
<b>Total for Gaytan, Alexandra Melina</b>	<b>1</b>	<b>2:00</b>

### Hoban, Kevin M

Class Category	Class Count	Total Class Hours
I.S.O. Fire Investigations	1	2:00
<b>Total for Hoban, Kevin M</b>	<b>1</b>	<b>2:00</b>

### Klebansky, George A

Class Category	Class Count	Total Class Hours
I.S.O. Fire Investigations	1	2:00
<b>Total for Klebansky, George A</b>	<b>1</b>	<b>2:00</b>

### Linares, Sebastian

Class Category	Class Count	Total Class Hours
I.S.O. Fire Investigations	1	2:00
SOG, Policies & Procedures Review Training	1	1:00

This report lists a count of Classes completed by each Person, for each Class Category. Optionally filtered by Personnel and Passage or Failure. Time shown in Hours and Minutes. If "All Personnel" is selected, this report also includes non-agency Personnel. Only non-Archived Classes that have been Reviewed are included. This report pulls training hours from the Training Code Hours field on the Info Page.

<b>Total for Linares, Sebastian</b>		<b>2</b>	<b>3:00</b>
<b><u>Martinez, Mateo</u></b>			
<b>Class Category</b>	<b>Class Count</b>	<b>Total Class Hours</b>	
SOG, Policies & Procedures Review Training	1	1:00	
<b>Total for Martinez, Mateo</b>		<b>1</b>	<b>1:00</b>
<b><u>Navarro, Nicolas A</u></b>			
<b>Class Category</b>	<b>Class Count</b>	<b>Total Class Hours</b>	
I.S.O. Fire Investigations	1	2:00	
SOG, Policies & Procedures Review Training	1	1:00	
<b>Total for Navarro, Nicolas A</b>		<b>2</b>	<b>3:00</b>
<b><u>Roberson, Cavin C</u></b>			
<b>Class Category</b>	<b>Class Count</b>	<b>Total Class Hours</b>	
I.S.O. Fire Investigations	1	2:00	
<b>Total for Roberson, Cavin C</b>		<b>1</b>	<b>2:00</b>
<b><u>Smith, Morgan Samantha</u></b>			
<b>Class Category</b>	<b>Class Count</b>	<b>Total Class Hours</b>	
I.S.O. Fire Investigations	1	2:00	
SOG, Policies & Procedures Review Training	1	1:00	
<b>Total for Smith, Morgan Samantha</b>		<b>2</b>	<b>3:00</b>
<b><u>Thunhorst, Dylan P</u></b>			
<b>Class Category</b>	<b>Class Count</b>	<b>Total Class Hours</b>	
I.S.O. Fire Investigations	1	2:00	
<b>Total for Thunhorst, Dylan P</b>		<b>1</b>	<b>2:00</b>
<b><u>Tucker, Austin J</u></b>			
<b>Class Category</b>	<b>Class Count</b>	<b>Total Class Hours</b>	
I.S.O. Fire Investigations	1	2:00	
<b>Total for Tucker, Austin J</b>		<b>1</b>	<b>2:00</b>
<b><u>Villazon, Lillian M</u></b>			
<b>Class Category</b>	<b>Class Count</b>	<b>Total Class Hours</b>	
I.S.O. Fire Investigations	1	2:00	
<b>Total for Villazon, Lillian M</b>		<b>1</b>	<b>2:00</b>
<b><u>Whited, Gregory E</u></b>			
<b>Class Category</b>	<b>Class Count</b>	<b>Total Class Hours</b>	
I.S.O. Fire Investigations	3	8:00	
Wildland/Interface Training	2	23:00	
<b>Total for Whited, Gregory E</b>		<b>5</b>	<b>31:00</b>

This report lists a count of Classes completed by each Person, for each Class Category. Optionally filtered by Personnel and Passage or Failure. Time shown in Hours and Minutes. If "All Personnel" is selected, this report also includes non-agency Personnel. Only non-Archived Classes that have been Reviewed are included. This report pulls training hours from the Training Code Hours field on the Info Page.

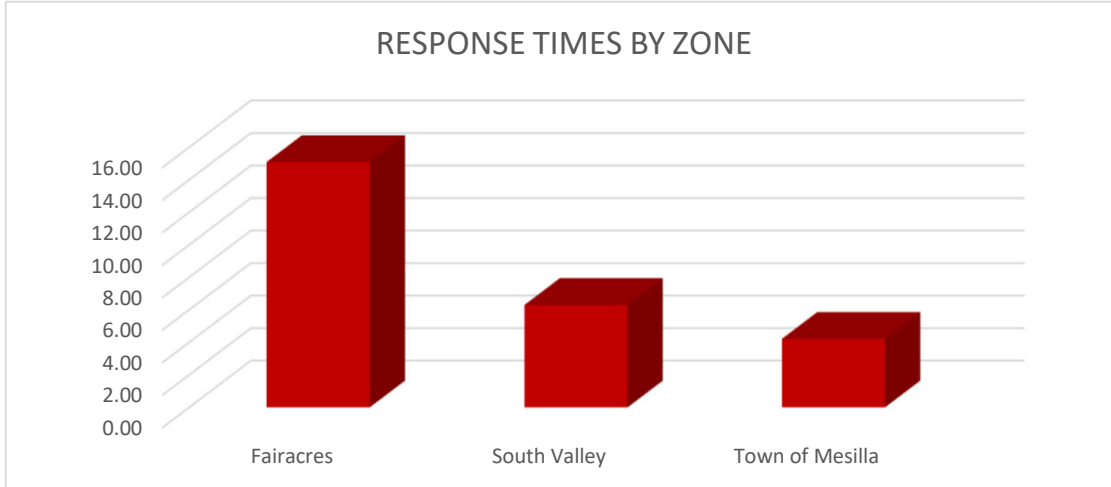
# Mesilla Fire Department

Mesilla, NM

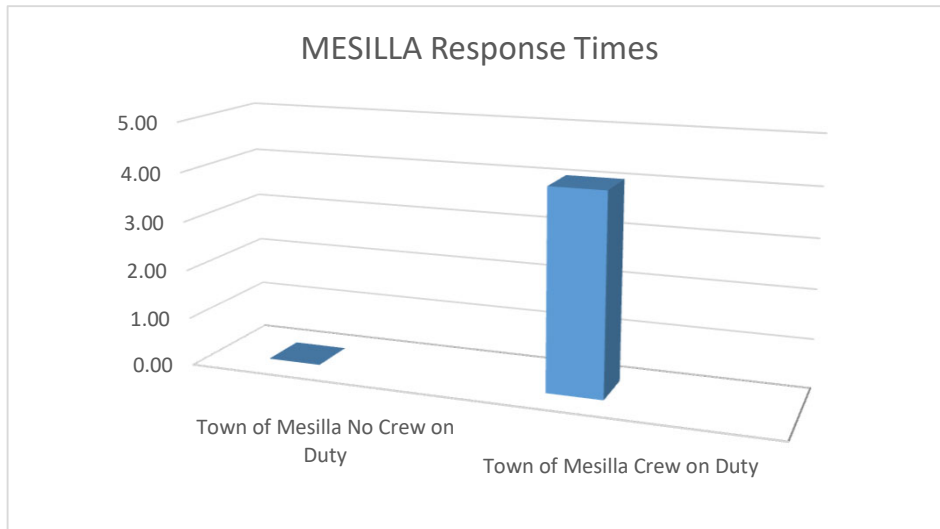
This report was generated on 01/02/2019



Response Mode: Lights and Sirens | Start Date: 12/01/2018 | End Date:12/31/2018



Zone	AVERAGE RESPONSE TIME (in minutes)
Fairacres	15.09
South Valley	6.30
Town of Mesilla	4.22
<b>Town of Mesilla No Crew on Duty</b>	<b>NA</b>
<b>Town of Mesilla Crew on Duty</b>	<b>4.06</b>



Only REVIEWED incidents included. Response Time is Dispatched to Arrived.

# Mesilla Fire Department

Mesilla, NM

This report was generated on 6/2/2020 1:01:39 PM



## Incident Statistics

Start Date: 05/01/2020 | End Date: 05/31/2020

INCIDENT COUNT			
INCIDENT TYPE		# INCIDENTS	
EMS		26	
FIRE		21	
<b>TOTAL</b>		<b>47</b>	
TOTAL TRANSPORTS (N2 and N3)			
APPARATUS	# of APPARATUS TRANSPORTS	# of PATIENT TRANSPORTS	TOTAL # of PATIENT CONTACTS
0	0	0	0
Bat31	2	5	5
BR31	3	6	6
E31	1	2	2
SQ32	2	4	4
<b>TOTAL</b>	<b>8</b>	<b>17</b>	<b>17</b>
PRE-INCIDENT VALUE		LOSSES	
<b>\$0.00</b>		<b>\$0.00</b>	
CO CHECKS			
<b>TOTAL</b>			
MUTUAL AID			
Aid Type		Total	
Aid Given		15	
Aid Received		2	
OVERLAPPING CALLS			
# OVERLAPPING		% OVERLAPPING	
6		12.77	
LIGHTS AND SIREN - AVERAGE RESPONSE TIME (Dispatch to Arrival)			
Station	EMS	FIRE	
Mesilla Fire Main Station 31	0:09:22	0:06:53	
<b>AVERAGE FOR ALL CALLS</b>		<b>0:08:08</b>	
LIGHTS AND SIREN - AVERAGE TURNOUT TIME (Dispatch to Enroute)			
Station	EMS	FIRE	
Mesilla Fire Main Station 31	0:01:32	0:01:12	
<b>AVERAGE FOR ALL CALLS</b>		<b>0:01:28</b>	
AGENCY		AVERAGE TIME ON SCENE (MM:SS)	
Mesilla Fire Department		38:59	

Only Reviewed Incidents included. CO Checks only includes Incident Types: 424, 736 and 734. # Apparatus Transports = # of incidents where apparatus transported. # Patient Transports = All patients transported by EMS. # Patient Contacts = # of PCR contacted by apparatus. This report now returns both NEMSIS 2 & 3 data as appropriate. For overlapping calls that span over multiple days, total per month will not equal Total count for year.

# Mesilla Fire Department

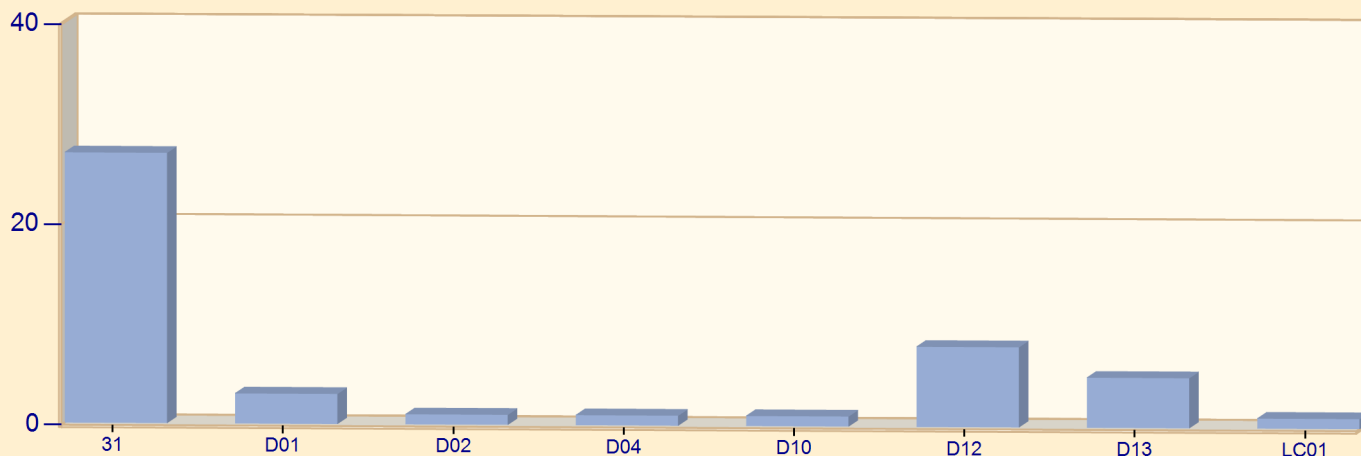
Mesilla, NM

This report was generated on 6/2/2020 2:08:43 PM



## Incident Type Count per Zone for Date Range

Start Date: 05/01/2020 | End Date: 05/31/2020



ZONES	INCIDENT TYPE	COUNT
<b>31 - Town of Mesilla</b>		
	162 - Outside equipment fire	1
	173 - Cultivated trees or nursery stock fire	1
	311 - Medical assist, assist EMS crew	2
	321 - EMS call, excluding vehicle accident with injury	11
	322 - Motor vehicle accident with injuries	2
	381 - Rescue or EMS standby	4
	511 - Lock-out	1
	520 - Water problem, other	1
	561 - Unauthorized burning	1
	611 - Dispatched & cancelled en route	1
	651 - Smoke scare, odor of smoke	1
	700 - False alarm or false call, other	1
	<i>Total Incidents for 31 - Town of Mesilla</i>	<b>27</b>
<b>D01 - Dona Ana</b>		
	142 - Brush or brush-and-grass mixture fire	1
	321 - EMS call, excluding vehicle accident with injury	1
	611 - Dispatched & cancelled en route	1
	<i>Total Incidents for D01 - Dona Ana.</i>	<b>3</b>
<b>D02 - Anthony (DAC)</b>		

Zone information is defined on the Basic Info 3 screen of an incident.  
Only REVIEWED incidents included.



ZONES	INCIDENT TYPE	COUNT
	551 - Assist police or other governmental agency	1
	<i>Total Incidents for D02 - Anthony (DAC).</i>	1
<b>D04 - La Mesa</b>		
	142 - Brush or brush-and-grass mixture fire	1
	<i>Total Incidents for D04 - La Mesa.</i>	1
<b>D10 - Mesquite</b>		
	142 - Brush or brush-and-grass mixture fire	1
	<i>Total Incidents for D10 - Mesquite.</i>	1
<b>D12 - Fairacres</b>		
	142 - Brush or brush-and-grass mixture fire	1
	321 - EMS call, excluding vehicle accident with injury	1
	322 - Motor vehicle accident with injuries	3
	361 - Swimming/recreational water areas rescue	1
	412 - Gas leak (natural gas or LPG)	1
	611 - Dispatched & cancelled en route	1
	<i>Total Incidents for D12 - Fairacres.</i>	8
<b>D13 - South Valley</b>		
	142 - Brush or brush-and-grass mixture fire	1
	322 - Motor vehicle accident with injuries	1
	611 - Dispatched & cancelled en route	3
	<i>Total Incidents for D13 - South Valley.</i>	5
<b>LC01 - City of Las Cruces</b>		
	142 - Brush or brush-and-grass mixture fire	1
	<i>Total Incidents for LC01 - City of Las Cruces.</i>	1
<b>Total Count for all Zone:</b>		<b>47</b>

Zone information is defined on the Basic Info 3 screen of an incident.  
Only REVIEWED incidents included.

# Mesilla Fire Department

Mesilla, NM

This report was generated on 6/2/2020 1:36:38 PM



## Occupancies Inspected for Date Range

Start Date: 05/01/2020 | End Date: 05/31/2020

OCCUPANCY	ID	ADDRESS	ZONE	LAST INSPECTION
Town of Mesilla Public Safety Building	49	2670 Calle de Parian		05/29/2020

**# of Occupancies Inspected: 1**

**% Occupancies Inspected: 0.47**

Included occupancies are those that have a LOCKED inspection on record for the date range provided.

# Mesilla Fire Department

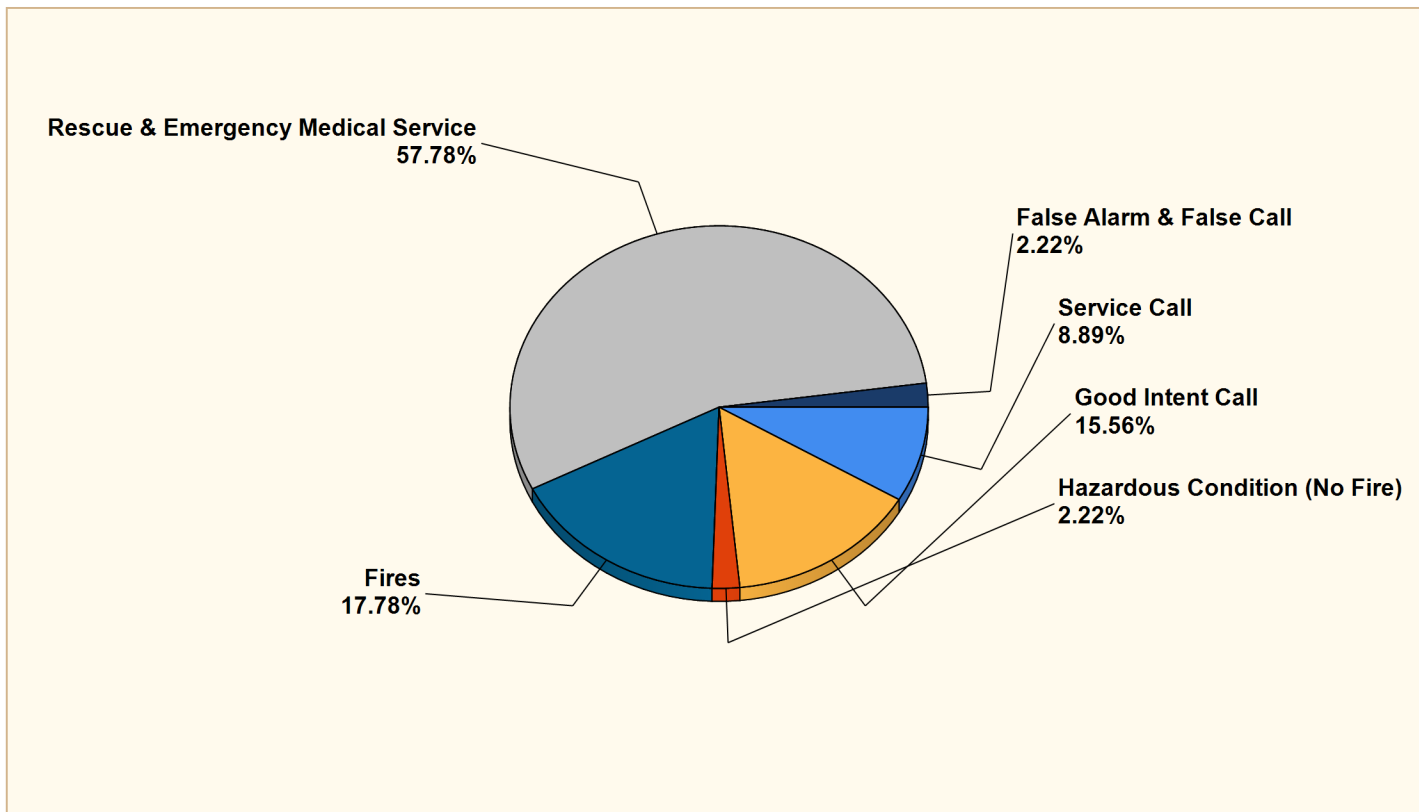
Mesilla, NM

This report was generated on 6/2/2020 1:37:30 PM



## Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 05/01/2020 | End Date: 05/31/2020



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	8	17.78%
Rescue & Emergency Medical Service	26	57.78%
Hazardous Condition (No Fire)	1	2.22%
Service Call	4	8.89%
Good Intent Call	7	15.56%
False Alarm & False Call	1	2.22%
<b>TOTAL</b>	<b>47</b>	<b>100.00%</b>

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.

### Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
142 - Brush or brush-and-grass mixture fire	6	12.77%
162 - Outside equipment fire	1	2.13%
173 - Cultivated trees or nursery stock fire	1	2.13%
311 - Medical assist, assist EMS crew	2	4.26%
321 - EMS call, excluding vehicle accident with injury	13	27.66%
322 - Motor vehicle accident with injuries	6	12.77%
361 - Swimming/recreational water areas rescue	1	2.13%
381 - Rescue or EMS standby	4	8.51%
412 - Gas leak (natural gas or LPG)	1	2.13%
511 - Lock-out	1	2.13%
520 - Water problem, other	1	2.13%
551 - Assist police or other governmental agency	1	2.13%
561 - Unauthorized burning	1	2.13%
611 - Dispatched & cancelled en route	6	12.77%
651 - Smoke scare, odor of smoke	1	2.13%
700 - False alarm or false call, other	1	2.13%
<b>TOTAL INCIDENTS:</b>	<b>47</b>	<b>100.00%</b>

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.

# Mesilla Fire Department

Mesilla, NM

This report was generated on 6/2/2020 1:34:56 PM



## Response Activity Report

Start Date: 05/01/2020 | End Date: 05/31/2020

INCIDENT #	DATE	APPARATUS ID	ALARM TIME	ARRIVE TIME	RESPONSE TIME	ADDRESS
<b>142</b>						
2020-00130	05/01/2020	BR33	16:40:46	18:21:10	01:40:24	6420 Pony Express CT
2020-00145	05/10/2020	BR31	17:30:57	17:50:57	00:20:00	580 Muhly LN
2020-00150	05/16/2020	BR31	11:34:33	12:15:12	00:40:39	1855 W Amador AVE
2020-00150	05/16/2020	BR33	11:34:33	12:15:12	00:40:39	1855 W Amador AVE
2020-00154	05/19/2020	BR31	14:58:41	16:30:10	01:31:29	Lechuga RD
2020-00155	05/19/2020	Bat32	17:47:07	18:40:44	00:53:37	Carver RD
2020-00155	05/19/2020	BR33	17:47:07	18:40:44	00:53:37	Carver RD
2020-00168	05/27/2020	BR31	16:22:52	16:48:45	00:25:53	148 Interstate 10
2020-00168	05/27/2020	BR33	16:22:52	16:48:45	00:25:53	148 Interstate 10
<b>Subtotal Count: 9</b>			<b>Average Response Time for Incident Type: 00:50:14</b>			
<b>162</b>						
2020-00134	05/04/2020	Bat32	19:57:21	20:04:13	00:06:52	3367 Estrada DR
2020-00134	05/04/2020	E31	19:57:21	20:04:13	00:06:52	3367 Estrada DR
<b>Subtotal Count: 2</b>			<b>Average Response Time for Incident Type: 00:06:52</b>			
<b>173</b>						
2020-00175	05/31/2020	BR31	19:50:54	20:00:50	00:09:56	2300 Snow RD
<b>Subtotal Count: 1</b>			<b>Average Response Time for Incident Type: 00:09:56</b>			
<b>311</b>						
2020-00141	05/07/2020	Bat31	17:10:39	17:18:35	00:07:56	2714 Calle Cuarta
2020-00141	05/07/2020	BR31	17:10:39	17:18:35	00:07:56	2714 Calle Cuarta
2020-00172	05/29/2020	Bat31	18:07:23	18:18:46	00:11:23	2231 Avenida de Mesilla
2020-00172	05/29/2020	BR31	18:07:23	18:18:46	00:11:23	2231 Avenida de Mesilla
<b>Subtotal Count: 4</b>			<b>Average Response Time for Incident Type: 00:09:39</b>			
<b>321</b>						
2020-00136	05/05/2020	SQ32	04:17:41	04:19:16	00:01:35	2670 Calle de Parian
2020-00137	05/05/2020	Bat31	15:05:19	15:09:53	00:04:34	2842 Calle de San Albino
2020-00137	05/05/2020	BR31	15:05:19	15:09:53	00:04:34	2842 Calle de San Albino
2020-00139	05/05/2020	Bat31	20:32:23	20:38:58	00:06:35	2860 Calle Quinta
2020-00139	05/05/2020	BR31	20:32:23	20:38:58	00:06:35	2860 Calle Quinta
2020-00143	05/09/2020	Bat31	14:22:52	14:29:22	00:06:30	2570 Calle de Santiago
2020-00143	05/09/2020	BR31	14:22:52	14:29:22	00:06:30	2570 Calle de Santiago
2020-00153	05/18/2020	Bat31	10:37:17	10:43:20	00:06:03	5000 Calle del Norte
2020-00153	05/18/2020	BR31	10:37:17	10:43:20	00:06:03	5000 Calle del Norte
2020-00156	05/19/2020	BR31	23:05:51	23:26:02	00:20:11	5640 Abeyta RD
2020-00159	05/21/2020	Bat31	10:07:14	10:13:58	00:06:44	1401 Boutz RD
2020-00161	05/23/2020	SQ32	22:03:23	22:08:55	00:05:32	2839 Calle del Sur
2020-00163	05/24/2020	Bat31	07:50:31	08:11:04	00:20:33	602 Weinrich RD
2020-00163	05/24/2020	E32	07:50:31	08:11:04	00:20:33	602 Weinrich RD

Calls by Incident Type. Does not include calls where there was no response.



2020-00169	05/27/2020	Bat31	17:51:43	17:56:52	00:05:09	2890 Calle de Guadalupe
2020-00170	05/28/2020	Bat31	09:44:05	09:49:45	00:05:40	2260 Calle de Santiago
2020-00170	05/28/2020	E31	09:44:05	09:49:45	00:05:40	2260 Calle de Santiago
2020-00171	05/28/2020	SQ32	23:29:27	23:44:20	00:14:53	2600 AVENIDA DE MESILLA
2020-00173	05/29/2020	Bat31	23:06:38	23:14:23	00:07:45	Calle de Santiago
2020-00173	05/29/2020	SQ32	23:06:38	23:14:23	00:07:45	Calle de Santiago
<b>Subtotal Count: 20</b>		<b>Average Response Time for Incident Type: 00:08:28</b>				
<b>322</b>						
2020-00144	05/09/2020	Bat31	18:20:11	18:25:14	00:05:03	Calle del Norte
2020-00144	05/09/2020	BR31	18:20:11	18:25:14	00:05:03	Calle del Norte
2020-00146	05/11/2020	E31	06:00:06	06:31:00	00:30:54	115 Interstate 10
2020-00148	05/15/2020	Bat31	23:19:14	23:32:55	00:13:41	1737 W Union AVE
2020-00148	05/15/2020	E31	23:19:14	23:32:55	00:13:41	1737 W Union AVE
2020-00149	05/16/2020	E31	08:54:07	09:07:39	00:13:32	W Picacho AVE
2020-00157	05/20/2020	BR31	01:24:17	01:35:00	00:10:43	Snow RD
2020-00174	05/31/2020	BR31	17:18:32	17:36:31	00:17:59	W Picacho AVE
<b>Subtotal Count: 8</b>		<b>Average Response Time for Incident Type: 00:13:49</b>				
<b>361</b>						
2020-00165	05/24/2020	Bat31	21:03:51	21:19:17	00:15:26	W Picacho AVE
2020-00165	05/24/2020	E31	21:03:51	21:19:17	00:15:26	W Picacho AVE
<b>Subtotal Count: 2</b>		<b>Average Response Time for Incident Type: 00:15:26</b>				
<b>381</b>						
2020-00133	05/04/2020	Bat31	07:55:45	07:58:15	00:02:30	2231 Avenida de Mesilla
2020-00147	05/11/2020	Bat31	08:04:06	08:04:35	00:00:29	2231 Avenida de Mesilla
2020-00147	05/11/2020	BR31	08:04:06	08:04:35	00:00:29	2231 Avenida de Mesilla
2020-00152	05/18/2020	Bat31	07:57:30	07:57:30	00:00:00	2231 Avenida de Mesilla
2020-00167	05/27/2020	Bat31	13:02:06	13:03:28	00:01:22	2231 Avenida de Mesilla
2020-00167	05/27/2020	BR31	13:02:06	13:03:28	00:01:22	2231 Avenida de Mesilla
<b>Subtotal Count: 6</b>		<b>Average Response Time for Incident Type: 00:01:02</b>				
<b>412</b>						
2020-00129	05/01/2020	Bat31	08:37:38	09:02:17	00:24:39	1693 S Fairacres RD
2020-00129	05/01/2020	BR33	08:37:38	09:02:17	00:24:39	1693 S Fairacres RD
<b>Subtotal Count: 2</b>		<b>Average Response Time for Incident Type: 00:24:39</b>				
<b>511</b>						
2020-00135	05/04/2020	E31	22:03:38	22:06:54	00:03:16	Calle de Santiago
<b>Subtotal Count: 1</b>		<b>Average Response Time for Incident Type: 00:03:16</b>				
<b>520</b>						
2020-00160	05/23/2020	Bat31	17:21:36	17:23:20	00:01:44	Calle de Santa Ana
<b>Subtotal Count: 1</b>		<b>Average Response Time for Incident Type: 00:01:44</b>				
<b>551</b>						
2020-00131	05/02/2020	Bat31	01:31:34	02:07:54	00:36:20	425 Marquez RD
<b>Subtotal Count: 1</b>		<b>Average Response Time for Incident Type: 00:36:20</b>				
<b>561</b>						
2020-00158	05/21/2020	Bat31	08:31:44	08:32:16	00:00:32	1600 Boutz RD
<b>Subtotal Count: 1</b>		<b>Average Response Time for Incident Type: 00:00:32</b>				

Calls by Incident Type. Does not include calls where there was no response.

<b>651</b>						
2020-00166	05/26/2020	Bat31	19:33:00	19:45:03	00:12:03	Gandy LN
<b>Subtotal Count: 1</b>			<b>Average Response Time for Incident Type: 00:12:03</b>			
<b>700</b>						
2020-00132	05/03/2020	Bat31	00:11:01	00:23:48	00:12:47	Avenida de Mesilla
2020-00132	05/03/2020	E31	00:11:01	00:23:48	00:12:47	Avenida de Mesilla
<b>Subtotal Count: 2</b>			<b>Average Response Time for Incident Type: 00:12:47</b>			
<b>Grand Total: 61</b>			<b>Average Response Time for All Incident Types: 00:15:44</b>			

Calls by Incident Type. Does not include calls where there was no response.

# Mesilla Fire Department

Mesilla, NM

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## Events per Event Type for Date Range (Landscape)

Start Date: 05/01/2020 | End Date: 05/31/2020

EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
<b>Prevention Event</b>						
	05/01/2020	Acton Academy pub ed assist	Prevention Event	Acton Academy	4.5	George Klebansky, Nicolas Navarro, Austin Tucker, Gregory Whited
	05/17/2020	Station coverage	Prevention Event	firehouse 31	5	Crystal Davis-Whited, Gregory Whited

**Total Hours for Prevention Event: 9.5**

<b>Daily Operations Shift</b>						
	05/01/2020	C Shift	Shifts	Firehouse 31	24	Lachlan Boyd, Nicolas Navarro, Morgan Smith, Dylan Thunhorst, Joseph Torres
	05/02/2020	A Shift	Shifts	Firehouse 31	24	Manuel Felix, Nicolas Navarro, Joseph Torres
	05/03/2020	B Shift	Shifts	Firehouse 31	24	Trevor Frieze, Alexandra Gaytan, Sebastian Linares, Nicolas Navarro, Dylan Thunhorst, Austin Tucker, Lillian Villazon
	05/04/2020	C Shift	Shifts	Firehouse 31	24	Lachlan Boyd, Trevor Frieze, Mateo Martinez, Nicolas Navarro, Morgan Smith, Dylan Thunhorst, Lillian Villazon
	05/05/2020	A Shift	Shifts	Firehouse 31	24	Sebastian Linares, Nicolas Navarro, Dylan Thunhorst

Only LOCKED events included.

EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
	05/06/2020	B Shift	Shifts	Firehouse 31	24	Manuel Felix, Alexsandra Gaytan, Sebastian Linares, Nicolas Navarro, Dylan Thunhorst, Austin Tucker
	05/07/2020	C Shift	Shifts	Firehouse 31	24	Lachlan Boyd, Manuel Felix, Trevor Fietze, Nicolas Navarro, Dylan Thunhorst, Joseph Torres
	05/08/2020	A Shift	Shifts	Firehouse 31	24	Manuel Felix, Humberto Manriquez, Nicolas Navarro, Dylan Thunhorst, Joseph Torres
	05/09/2020	B Shift	Shifts	Firehouse 31	24	Sebastian Linares, Nicolas Navarro, Dylan Thunhorst, Austin Tucker
	05/10/2020	C Shift	Shifts	Firehouse 31	24	Trevor Fietze, Mateo Martinez, Nicolas Navarro, Dylan Thunhorst, Joseph Torres
	05/11/2020	A Shift	Shifts	Firehouse 31	24	Lachlan Boyd, Manuel Felix, Trevor Fietze, Mateo Martinez, Nicolas Navarro, Dylan Thunhorst, Joseph Torres, Austin Tucker
	05/11/2020	A Shift	Shifts	Firehouse 31	3.5	Lance Shepan
	05/12/2020	B Shift	Shifts	Firehouse 31	24	Manuel Felix, Sebastian Linares, Nicolas Navarro, Cavin Roberson, Dylan Thunhorst, Austin Tucker
	05/13/2020	C Shift	Shifts	Firehouse 31	14	Lachlan Boyd, Trevor Fietze, Mateo Martinez, Nicolas Navarro, Morgan Smith, Dylan Thunhorst, Joseph Torres
	05/14/2020	A Shift	Shifts	Firehouse 31	9	Trevor Fietze, Dylan Thunhorst, Joseph Torres
	05/15/2020	B Shift	Shifts	Firehouse 31	24	Sebastian Linares, Nicolas Navarro, Dylan Thunhorst, Austin Tucker
	05/16/2020	C Shift	Shifts	Firehouse 31	22	Trevor Fietze, Dylan Thunhorst, Joseph Torres

Only LOCKED events included.

EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
	05/17/2020	A Shift	Shifts	Firehouse 31	7	Trevor Fietze, Lance Shepan, Joseph Torres
	05/18/2020	B shift	Shifts	Firehouse 31	24	Alexsandra Gaytan, Nicolas Navarro, Cavin Roberson, Dylan Thunhorst, Austin Tucker, Lillian Villazon
	05/19/2020	C-Shift	Shifts	Firehouse 31	24	Lachlan Boyd, Trevor Fietze, Nicolas Navarro, Dylan Thunhorst, Lillian Villazon
	05/20/2020	A-Shift	Shifts	Firehouse 31	15	Dylan Thunhorst
	05/21/2020	B-Shift	Shifts	Firehouse 31	24	Manuel Felix, Sebastian Linares, Humberto Manriquez, Nicolas Navarro, Cavin Roberson, Dylan Thunhorst, Austin Tucker
	05/22/2020	C Shift	Shifts	Firehouse 31	24	Lachlan Boyd, Trevor Fietze, Humberto Manriquez, Nicolas Navarro, Joseph Torres, Austin Tucker
	05/22/2020	C Shift	Shifts	Firehouse 31	21	Lachlan Boyd, Trevor Fietze, Dylan Thunhorst, Joseph Torres
	05/23/2020	A Shift	Shifts	Firehouse 31	13.5	Trevor Fietze, Morgan Smith
	05/23/2020	A-Shift	Shifts	Firehouse 31	24	Manuel Felix, Mateo Martinez, Nicolas Navarro, Dylan Thunhorst
	05/24/2020	B-Shift	Shifts	Firehouse 31	24	Trevor Fietze, Nicolas Navarro, Dylan Thunhorst, Austin Tucker
	05/25/2020	C Shift	Shifts	Firehouse 31	24	Lachlan Boyd, Trevor Fietze, Nicolas Navarro, Dylan Thunhorst, Joseph Torres
	05/26/2020	A-Shift	Shifts	Firehouse 31	14	Trevor Fietze, Morgan Smith, Dylan Thunhorst
	05/27/2020	B Shift	Shifts	Firehouse 31	24	Manuel Felix, Trevor Fietze, Nicolas Navarro, Dylan Thunhorst, Austin Tucker, Lillian Villazon

Only LOCKED events included.



EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
	05/28/2020	C Shift	Shifts	Firehouse 31	24	Lachlan Boyd, Trevor Fietze, Humberto Manriquez, Nicolas Navarro, Dylan Thunhorst
	05/29/2020	A Shift	Shifts	Firehouse 31	8	Trevor Fietze, George Klebansky, Nicolas Navarro, Gregory Whited
	05/30/2020	B shift	Shifts	Firehouse 31	15	Trevor Fietze, Dylan Thunhorst, Austin Tucker

**Total Hours for Daily Operations Shift: 670**

<b>Administration Shift</b>						
	05/02/2020	Administrative	Administrative	Firehouse 31	4.5	Crystal Davis-Whited, Gregory Whited
	05/03/2020	Administrative Shift	Administrative	Telework	6	Harry Evans
	05/04/2020	Administrative	Administrative	Fire House 31	7.75	Harry Evans
	05/15/2020	Administrative Shift	Administrative	Fire House 31	9.5	Harry Evans

**Total Hours for Administration Shift: 27.75**

<b>Special Assignment</b>						
	05/12/2020	Birthday drive by	Special Assignment	Calle de Parian	1	Manuel Felix, Kevin Hoban, George Klebansky, Nicolas Navarro, Dylan Thunhorst
	05/21/2020	Retirement Drive-By for Mesilla Marshal Deputy	Special Assignment	Morning Star Drive, Las Cruces, NM, 88011	3	Andy Embury, Manuel Felix, Trevor Fietze, George Klebansky, Nicolas Navarro, Amy O'Brien, Austin Tucker, Gregory Whited
	05/22/2020	Swear in ceremony for new Mesilla Marshal/s Dept. Deputy	Special Assignment	Mesilla Town Hall	1	Kevin Hoban, Nicolas Navarro, Austin Tucker
	05/22/2020	Shed Cleaning Project	Special Assignment	Firehouse 31	8	Lachlan Boyd, George Klebansky, Nicolas Navarro, Austin Tucker

Only LOCKED events included.

EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
	05/23/2020	Graduation Parade	Special Assignment	2392 Calle de Parian	0	Trevor Fietze, Kevin Hoban, George Klebansky, Mateo Martinez, Nicolas Navarro, Morgan Smith

**Total Hours for Special Assignment: 13**

Only LOCKED events included.

# Mesilla Fire Department

Mesilla, NM

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## Total Hours by Volunteers for May, 2020

Pay Grades: All Pay Grades | Start Date: 05/01/2020 | End Date: 05/31/2020

PERSONNEL	INCIDENT TIME	TRAINING TIME	EVENT TIME	TOTAL TIME
Boyd, Lachlan James	9:55	1:00	108:00	118:55
Davis-Whited, Crystal	0:00	25:00	9:30	34:30
Embury, Andy G.	8:15	2:00	3:00	13:15
Evans, Harry A	14:42	2:00	23:15	39:57
Felix, Manuel R	4:34	0:00	92:00	96:34
Frietze, Trevor R	23:51	1:00	290:00	314:51
Gaytan, Alexandra Melina	0:00	2:00	39:00	41:00
Klebansky, George A	28:49	2:00	24:30	55:19
Linares, Sebastian	2:03	3:00	74:00	79:03
Manriquez, Humberto	0:44	0:00	35:00	35:44
Martinez, Mateo	3:02	1:00	57:00	61:02
Navarro, Nicolas A	26:31	3:00	463:30	493:01
O'Brien, Amy M	0:00	0:00	3:00	3:00
Roberson, Cavin C	0:00	2:00	36:00	38:00
Shepan, Lance A.	0:00	0:00	12:30	12:30
Smith, Morgan Samantha	5:43	3:00	71:00	79:43
Thunhorst, Dylan P	16:31	2:00	349:00	367:31
Torres, Joseph J	3:22	0:00	133:00	136:22
Tucker, Austin J	6:02	2:00	145:30	153:32
Villazon, Lillian M	7:02	2:00	51:00	60:02
Whited, Gregory E	1:55	31:00	23:00	55:55
			<b>TOTAL</b>	<b>2289:46:00</b>

# Mesilla Fire Department

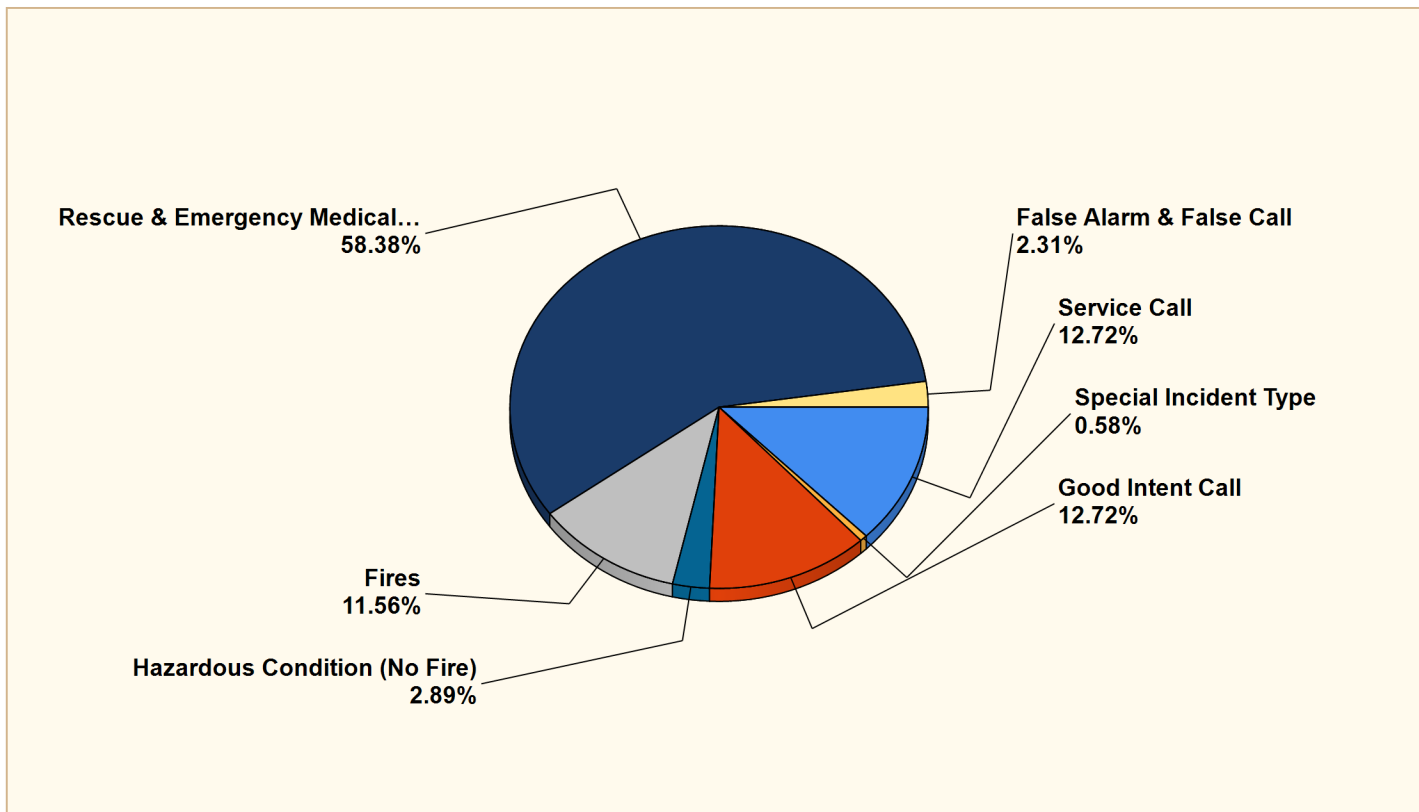
Mesilla, NM

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## Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 01/01/2020 | End Date: 05/31/2020



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	20	11.56%
Rescue & Emergency Medical Service	101	58.38%
Hazardous Condition (No Fire)	5	2.89%
Service Call	22	12.72%
Good Intent Call	22	12.72%
False Alarm & False Call	4	2.31%
Special Incident Type	1	0.58%
<b>TOTAL</b>	<b>175</b>	<b>100.00%</b>

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.

### Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
111 - Building fire	2	1.14%
132 - Road freight or transport vehicle fire	2	1.14%
141 - Forest, woods or wildland fire	1	0.57%
142 - Brush or brush-and-grass mixture fire	13	7.43%
162 - Outside equipment fire	1	0.57%
173 - Cultivated trees or nursery stock fire	1	0.57%
300 - Rescue, EMS incident, other	1	0.57%
311 - Medical assist, assist EMS crew	8	4.57%
320 - Emergency medical service, other	3	1.71%
321 - EMS call, excluding vehicle accident with injury	64	36.57%
322 - Motor vehicle accident with injuries	17	9.71%
361 - Swimming/recreational water areas rescue	1	0.57%
381 - Rescue or EMS standby	7	4.00%
400 - Hazardous condition, other	1	0.57%
412 - Gas leak (natural gas or LPG)	1	0.57%
424 - Carbon monoxide incident	1	0.57%
461 - Building or structure weakened or collapsed	1	0.57%
480 - Attempted burning, illegal action, other	1	0.57%
511 - Lock-out	2	1.14%
520 - Water problem, other	1	0.57%
522 - Water or steam leak	2	1.14%
551 - Assist police or other governmental agency	5	2.86%
552 - Police matter	1	0.57%
553 - Public service	2	1.14%
554 - Assist invalid	4	2.29%
561 - Unauthorized burning	5	2.86%
611 - Dispatched & cancelled en route	19	10.86%
622 - No incident found on arrival at dispatch address	1	0.57%
651 - Smoke scare, odor of smoke	2	1.14%
700 - False alarm or false call, other	1	0.57%
735 - Alarm system sounded due to malfunction	1	0.57%
740 - Unintentional transmission of alarm, other	1	0.57%
745 - Alarm system activation, no fire - unintentional	1	0.57%
911 - Citizen complaint	1	0.57%
<b>TOTAL INCIDENTS:</b>	<b>175</b>	<b>100.00%</b>

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.





# MESILLA MARSHAL DEPARTMENT

P.O. BOX 10 MESILLA, NM 88046 PHONE 575-526-4138 FAX 575-652-3776

To: Honorable Mayor and Mesilla Board of Trustees

This is the Monthly Report for May 2020, for the Mesilla Marshal's Department:

911 hang ups	6	Building check	2
Abandoned vehicle	2	Burglary	3
Animal Attack/bite	2	Burglary alarm	4
ACO	1	Child birth	1
Dead	2	Civil process	1
Custody	1	Custody dispute	2
Loud	1	Disturbance	
Sick/injured	2	Disorderly	5
Stray	4	Domestic	10
Vicious	1	Domestic standby	2
Assault	1	Noise/music	4
ATV complaint	1	Verbal	2
Auto burglary	1	Drunk/disorderly person	1
Auto theft	1	Fire assist	1
Behavior	1	Foot patrol	1
Bleeding	2	Follow up/supplement	17
Bolo	1	Found property/recovered	3
		Frequent patrol	14

Gunshot victim	2	Subject with gun	3
Harassment	2	Suicidal subject	2
Incorrigible child	1	Suspicious activity	7
Information report	12	Person	6
Minor medical	2	Vehicle	14
Motor vehicle		Theft	2
Injury crash	9	Threats	1
Non injury crash	5	Traffic control	1
obstruction	1	Traffic escort	1
Out w/subject	4	Traffic stops	70
Panic alarm	1	Trauma	3
Phone call	6	Trespassing	3
Prowler	2	Unconscious	1
Public assist	2	Vagrancy	2
Reckless driver	4	Vandalism	3
Runaway	1	Vehicle fire	2
Sex offense	1	Warrant service	1
Shots fired	1	Welfare check	7
Stroke/CVA	1	Total # of calls for service	291

Thank you,

Eddie Lerma  
Marshal




# TOWN OF MESILLA

Public Works Department  
P.O. Box 10, Mesilla, New Mexico 88046  
Office: (575) 524-3262  
Fax: (575) 541-6327

## MEMORANDUM

Date: June 2, 2020

TO: Mayor Barraza, Board of Trustees and Cynthia Stoechner-Hernandez

FROM: Rodney J. McGillivray, Public Works Director 

RE: **Public Works Division Activity Report – May 2020**

### **On-going maintenance, custodial and operations:**

Covid-19 Disinfecting/Cleaning  
On-call/standby for emergency repairs or assistance  
Monitoring of water tank, wells and pumps  
Meter reading continues  
New water services and water shut-offs (ownership change/nonpayment)  
Monthly water sampling and reporting is up-to-date  
Monitoring of lift stations and review of reporting  
Vehicle maintenance on-going  
Valve exercise program continues  
Custodial responsibilities on-going  
Event set-up and tear down on-going (on-hold)  
Staff training (multiple)  
Grounds maintenance on-going  
Utility location services

### **Miscellaneous items/work orders/accomplishments:**

Deep cleaning of buildings  
Emergency repairs to Community Center kitchen HVAC  
Provided portable a/c for Community Center  
Installation of sprinkler system at Community Center park  
Road maintenance and repairs to drainage at Del Norte  
Street sweeping throughout  
Trimmed trees at stop signs that were blocked

Pressure washing benches and sidewalks at Town Hall  
Pot hole repairs  
EBID watering of parks  
Repairs to Avenida de Mesilla median sprinklers  
Fire hydrant repairs  
Street signage / stop sign replacement(s)

**Project update:**

**LGRF (2019)** – Certifications complete. Construction drawings are at 95% complete. Anticipate to go out for bid mid-June.

**Parian Capital Outlay** – Certifications complete. Construction drawings are at 95% complete. Anticipate to go out for bid mid-June.

**La Llorona Extension multi-use path** – The Notice of Award was issued to Caliper Construction on May 27, 2020. Caliper has two weeks to provide required contract documents. The pre-construction meeting is estimated to be held the third week in June with construction beginning about a month later.

**McDowell wastewater system Phase II** – Construction is 95% complete. On schedule and within budget. Pricing for change order for additional services underway.

**Calle del Norte Trail Phase II** – Agreement for design is underway.

**Plaza Lighting Capital Outlay** – Capital Outlay funding on-hold pending special Legislative session.