



# Town of Mesilla, New Mexico

## PZHAC MEETING AGENDA MAY 4, 2020

**THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A VIRTUAL MEETING VIA ZOOM OR PHONE MONDAY, MAY 4, 2020 AT 6:00 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 944-8493-5089, PASSWORD 026975.**

### I. PLEDGE OF ALLEGIANCE

### II. ROLL CALL AND DETERMINATION OF A QUORUM

### III. CHANGES/APPROVAL OF THE AGENDA

### IV. \*ACCEPTANCE OF THE CONSENT AGENDA

*Note: Items on the agenda indicated by an asterisk (\*) are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

#### A. \*PZHAC MINUTES – PZHAC Regular Work Session and Meeting of April 6, 2020.

#### B. \*ADMINISTRATIVE APPROVAL

##### Zoning Permit:

1. **Case 061029** – 2930 Estrada Road, submitted by Tom and Frannie Miller; a request for a zoning permit to allow the painting and staining of window frames and doors, the installation of pavers and flower beds in the yard, and the installation of animal pipe fences on a residential property at this address. Zoned: Rural/Agricultural (RA)
2. **Case 061036** – 3026 Las Arenles, submitted by Alva D. Brownfield IV, a request for a zoning permit to allow the replacement of windows and doors, and the repainting of stucco on an existing dwelling at this address. Zoned: Rural/Agricultural (RA)
3. **Case 061037** – 1940 Calle Pacana, submitted by Henry Newman; a request to install solar panels on an existing dwelling at this address. Zoned: Historical Residential (HR)
4. **Case 061038** – 2409 Calle del Norte, submitted by Angela Garcia; a request for a zoning permit to allow repairs to lattice work on a carport, damage to a perimeter fence, and minor repairs to a yard damaged by wind at this address. Zoned: Historical Residential (HR)
5. **Case 061039** – 2391 Calle de Parian, submitted by Robert Reynolds; a request for a zoning permit to repair and repaint the stucco and trim on an existing dwelling at this address. Zoned: Historical Residential (HR)

### V. PZHAC NEW BUSINESS:

#### A. PUBLIC INPUT ON CASES (Public Comments shall be sent by e-mail to [Larrys@mesillanm.gov](mailto:Larrys@mesillanm.gov))

#### B. DECISIONS:

##### Zoning Permits:

1. **Case 061040** – 1401 West Boutz Road, submitted by Samuel Torres for Xavier Jurado; a request for a zoning permit to construct a 30 foot by 40 foot metal storage building on a residential property at this address. Zoned: Rural Farm (RF)

### VI. PZHAC/STAFF COMMENTS

### VII. ADJOURNMENT

#### **NOTICE**

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 5/1/20 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristramn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC REGULAR  
WORK SESSION AND MEETING  
MINUTES  
APRIL 6, 2020

(PART OF CONSENT AGENDA)



# Town of Mesilla, New Mexico

## PZHAC WORK SESSION AGENDA APRIL 6, 2020

**THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A VIRTUAL WORK SESSION VIA ZOOM OR PHONE MONDAY, APRIL 6, 2020 AT 5:30 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 561 709 624. TO JOIN THE MEETING ONLINE VIA ZOOM, GO TO <https://zoom.us/j/561709624>.**

**Item 1:** Submitted by Julienne Hadfield; a request to discuss plans to renovate the second floor of a commercial building at 2000 Calle de Parian to include an office and a short-term rental unit (Permit 061024). Zoned: Historical Commercial (HR)

*The applicant was present to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case, explaining that this case had been tabled by the PZHAC in order to allow the applicant to return with more information about the request. Staff explained that the applicant had been working with CID and that concerns about egress are part of the building code administered by CID and were being worked out. There were no further issues.*

**Item 2:** Submitted by Gerard Nevarez, a request to discuss plans to install a four foot by eight foot decorative panel (Permit 061028) and enclose an existing patio and add a covered patio (Case 061032) at the rear of a dwelling at 2305 Calle de Colon. Zoned: Historic Residential (HR)

*It was determined that the proposed work in Case 061032 would be affected by the current moratorium on building in the HR zone and therefore was postponed until the HR zoning Code is legally amended. As a result, there was no discussion of the work requested in Case 061032.*

*The applicant was present by phone to discuss the remainder of the request and answer any questions that might arise. Staff provided a brief introduction of the case, explaining that the applicant would like to install the panel as a decorative privacy barrier to block the neighbor's view of his patio. The PZHAC corrected the written review of the case to state that the barrier would be 6 feet high by 8 feet wide, and not eight feet high.*

**Item 3:** Submitted by Stephen Cadena; a request to discuss plans to construct a porch around a dwelling at this address (Permit 061034) and construct a wall around the dwelling and at the rear of the property (Permit 0601033 on a property located at 2230 Calle del Sur. Zoned: Historic Residential (HR)

*It was determined that the proposed work would be affected by the current moratorium on building in the HR zone and therefore was postponed until the HR zoning Code is legally amended. As a result, there was no discussion of the request.*

## PZHAC MEETING AGENDA APRIL 6, 2020

**THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A VIRTUAL MEETING VIA ZOOM OR PHONE MONDAY, APRIL 6, 2020 AT 6:00 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 561 709 624. TO JOIN THE MEETING ONLINE VIA ZOOM, GO TO <https://zoom.us/j/561709624>.**

### I. PLEDGE OF ALLEGIANCE

### II. ROLL CALL AND DETERMINATION OF A QUORUM

*Attendance was electronic via "Zoom". All four current PZHAC members were present. Commissioner Lucero was acting chair.*

### III. CHANGES/APPROVAL OF THE AGENDA

*It was determined that several cases on the agenda would violate the moratorium in effect on construction in the Historic Residential Zone, and that these cases should be removed from the agenda. The cases removed were 061026, 061032, 061033, and 061034. There were no other changes to the agenda. The agenda was approved as amended by a vote of 3 – 0.*

### IV. \*ACCEPTANCE OF THE CONSENT AGENDA

*Note: Items on the agenda indicated by an asterisk (\*) are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

*There were no changes to the Consent Agenda. The agenda was approved by a vote of 3 – 0.*

**A. \*PZHAC MINUTES – PZHAC Regular Work Session and Meeting of March 2, 2020.**

*Approved as part of the Consent Agenda*

**B. \*ADMINISTRATIVE APPROVAL**

**Zoning Permit:**

1. **Case 061026** – 2199 Calle del Sur, submitted by Martin Serna; a request for a zoning permit to allow the construction of a rock and pipe fence around the property at this address. Zoned: Rural/Agricultural (RA)  
*Approved as part of the Consent Agenda*
2. **Case 061027** – 2649 Calle del Sur, submitted by Paul C. Barraza; a request for a zoning permit to allow the repair and restuccoing of a parapet around a dwelling at this address. Zoned: Historical Residential (HR)  
*Approved as part of the Consent Agenda*

**V. PZHAC NEW BUSINESS:**

**A. PUBLIC INPUT ON CASES (Public Comments shall be sent by e-mail to [Larrys@mesillanm.gov](mailto:Larrys@mesillanm.gov))**

*An e-mail was submitted by e-mail from Susan Krueger. This was read into the record by staff and stated that the four cases on the agenda that are in the Historic Residential (HR) zone should not be heard as they are affected by the moratorium on construction in the Historic Residential zone pending the outcome of amendments to the Residential Zoning requirements. Staff stated that the Mayor concurred with this.*

**B. DECISIONS:**

**Zoning Permits:**

1. **Case 061024** – 2000 Calle de Parian, submitted by Julienne Hadfield; a request for a zoning permit to renovate the second floor of a commercial building at this address to include an office and a short-term rental unit. Zoned: Historical Commercial (HR) **(Case heard during Work Session – Item 1)**  
*Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Prieto to approve the request, seconded by Commissioner Houston, and approved by a vote of 3 – 0*
2. **Case 061026** – 2149 Calle de Los Huertos, submitted by Martin Serna for Gabriel Quintana; request for a zoning permit to allow the construction of stucco wall around a courtyard at this address. Zoned: Historical Residential (HR)  
*This case was removed from the agenda.*
3. **Case 061028** – 2305 Calle de Colon, submitted by Gerard Nevarez; a request for a zoning permit to install a four foot by eight foot decorative panel along a wall at the rear of a dwelling at this address; Zoned: Historic Residential (HR) **(Case heard during Work Session – Part of Item 2)**  
*Staff provided a brief review of this request, explaining that this case was heard during the Work Session and that the PZHAC had corrected the description of the case to indicate that the applicant was asking for a six foot height, not eight as stated by Staff. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Houston to approve the request, seconded by Commissioner Prieto, and approved by a vote of 3 – 0*
4. **Case 061032** - 2305 Calle de Colon, submitted by Gerard Nevarez, a request for a zoning permit to enclose an existing covered patio and install a new covered patio at the rear of a dwelling at this address. Zoned: Historic Residential (HR) **(Case heard during Work Session – Part of Item 2)**  
*This case was removed from the agenda.*
5. **Case 061033** – 2230 Calle del Sur, submitted by Stephen Cadena; a request to for a zoning permit to construct a rock wall and a stucco wall on a property at this address. Zoned: Historic Residential (HR) **(Case heard during Work Session – Part of Item 3)**  
*This case was removed from the agenda.*
6. **Case 061034** - 2230 Calle del Sur, submitted by Stephen Cadena; a request for a zoning permit to construct a porch around a dwelling at this address. Zoned: Historic Residential (HR) **(Case heard during Work Session – Part of Item 3)**  
*This case was removed from the agenda.*

**Business Permits:**

1. **Reg. 0835** – 2521 Avenida de Mesilla, submitted by Tenniel Salopek for “Buffalo Swag”; a request for permission to operate a beauty salon and boutique shop at this address. Zoned: Historic Commercial (HC)  
*Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Prieto to approve the request, seconded by Commissioner Houston, and approved by a vote of 3 – 0*

2. **Reg. 0836** – 2309-3 Calle de Santiago, submitted by Kerry Carman for “Co-Lab Artisan’s Loft”; a request for permission to operate a retail shop selling handmade gifts and other items at this address. Zoned: Historical Commercial (HC)  
*Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Prieto to approve the request, seconded by Commissioner Houston, and approved by a vote of 3 – 0*

**Sign Permits:**

1. **Case 061023**– 2488 Calle de Guadalupe, submitted by Joseph Foster for “Psychology Consulting Options”; a request for a sign permit to allow a directory sign having a total of six square feet for a psychology practice at this address. Zoned: Historical Commercial (HC)  
*Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Prieto to approve the request, seconded by Commissioner Houston, and approved by a vote of 3 – 0*
2. **Case 060125** – 2601-3 Calle de Santiago, submitted by Kerry Carman for “Co-Lab Artisan’s Loft”; a request for a zoning permit to install a four square foot hanging sign at this address. Zoned: Historic Commercial (HC)  
*Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Houston to approve the request, seconded by Commissioner Prieto, and approved by a vote of 3 – 0*

**VI. PZHAC/STAFF COMMENTS - None**

**VII. ADJOURNMENT - The meeting was adjourned at 6:10 pm**

**NOTICE**

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Posted on 4/3/20 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty’s Food Mart - 2290 Avenida de Mesilla; Ristramn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC NEW BUSINESS

MAY 4, 2020

ADMINISTRATIVE APPROVALS  
(PART OF CONSENT AGENDA)



**ADMINISTRATIVE APPROVAL  
BUILDING PERMIT REQUEST CASE 061029  
[PZHAC CONSENT AGENDA – 5/4/20]**

**Item:**

**Case 061029** – 2930 Estrada Road, submitted by Tom and Frannie Miller; a request for a zoning permit to allow the painting and staining of window frames and doors, the installation of pavers and flower beds in the yard, and the installation of animal pipe fences on a residential property at this address. Zoned: Rural/Agricultural (RA)

**Description of Work Done:**

The applicant would like to repaint or restain the window and door frames in a color that is compatible with the color of the dwelling. The applicant will also add some pavers and garden areas to the barren yard, and will install pipe fencing to keep small animals as part of a 4H project for her children. (This is allowed as part of the Rural/Agricultural zoning of the property.) There will be no changes to the dwelling.

**Consistency with the Code:**

Since the proposed repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes the structure., the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit** –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

**PHOTO OF THE PROPERTY FROM ESTRADA ROAD**



# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Maps

Legend

### Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0400427](#)  
Parcel Number: 4006138075236  
Owner: ARZABAL MICHAEL G  
Mail Address: 467 LORNA PRIETA  
Subdivision:  
Property Address: 2930 ESTRADA RD  
Acres: 0.67





TOWN OF MESILLA  
ZONING APPROVAL

PERMISSION TO CONDUCT WORK

OR

TO OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

061029  
45.00

223 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 521-3262 ext. 113

GASE NO **061029** ZONE **RF** CODE **M1** APPLICATION DATE **3/26/20**

Name of Applicant/Owner Tom & Franne Miller Applicant's Telephone Number 575-636-9305

Applicant's Owner's Mailing Address PO Box 1576 Mesilla City Mesilla State NM Zip Code 88046

Applicant's Owner's E-mail Address franne@mesilla.edu

Contractor's Name & Address (If none, indicate Self) self

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work 2930 E strada

Description of Proposed Work 1) Paint/Install Door & Windows, 2) ~~Paint~~ 3) Primes & Plaster joints, 4) Barbed fence, 5) Animal fence (see attached)

Estimated Cost \$500.00 Signature of Applicant Tom Miller Date 3/26/20

Signature of property owner if applicant is not the property owner \_\_\_\_\_

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date \_\_\_\_\_  
 Approved Date \_\_\_\_\_  Disapproved Date \_\_\_\_\_  
 Disapproved Date \_\_\_\_\_  Approved with Conditions \_\_\_\_\_  
 Approved with conditions \_\_\_\_\_

FIRE INSPECTION/APPROVAL REQUIRED: \_\_\_ YES  NO \_\_\_ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES  NO \_\_\_ SEE CONDITIONS

CONDITIONS NO CHANGES TO STRUCTURE

PERMISSION ISSUED BY: L. Shuman ISSUE DATE 4/1/20

This Application will include the following, if checked:

1. \_\_\_ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. \_\_\_ Site Plan with dimensions and details.
3. \_\_\_ Proof of legal access to the property
4. \_\_\_ Drainage plan.
5. \_\_\_ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only)
6. \_\_\_ Proof of sewer service or a copy of septic tank permit, proof of water service (well permit or statement from the Public Utility providing water services).
7. \_\_\_ Other information as necessary or required by the City Code or Community Development

**ADMINISTRATIVE APPROVAL  
BUILDING PERMIT REQUEST CASE 061036  
[PZHAC CONSENT AGENDA – 5/4/20]**

**Item:**

**Case 061036** – 3026 Las Arenales, submitted by Alva D. Brownfield IV, a request for a zoning permit to allow the replacement of windows and doors, and the repainting of stucco on an existing dwelling at this address. Zoned: Rural/Agricultural (RA)

**Description of Work Done:**

The applicant would like replace the windows and doors on the dwelling with windows and doors that are identical in appearance to the existing windows and doors, and repaint the stucco on the dwelling with the same color as the original. No other work will be done on the dwelling, and the dwelling will maintain the same appearance.

**Consistency with the Code:**

Since the proposed inspection and possible repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

**PHOTO OF THE STRUCTURE FROM LAS ARENALES**





# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Maps

Legend

### Map Themes

Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0400566](#)  
Parcel Number: 4006138203234  
Owner: BROWNFIELD A D S IV & LAURA  
Mail Address: PO BOX 917  
Subdivision: LOS ARENALES SUBDIVISION 721  
Property Address: 3026 LOS ARENALES ST  
Acres: 0



TOWN OF MESILLA  
ZONING APPROVAL

PERMISSION TO CONDUCT WORK  
OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

061036

061036

OFFICIAL USE ONLY: Case # \_\_\_\_\_ Fee \$ 150.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. \_\_\_\_\_ ZONE: RE CODE: M1 APPLICATION DATE: 4/30/20

Name of Property Owner: Alva D. Brown Field III Property Owner's Telephone Number: 575-635-8170

Property Owner's Mailing Address: PO Box 917 Mesilla NM 88046

Property Owner's E-mail: shawna@cabinctsbysherwood.com

Contractor's Name: Self

Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 3026 Los Arenales

Description of Proposed Work: New Windows

Paint Stucco

New Front & Back Door

Estimated Cost: \$10,000 Signature of Applicant: A.D. Brown Field III 4-15-20

Signature of property owner: A.D. Shaw Brown Field III 4-15-20

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZMAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZMAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

PZMAC APPROVAL REQUIRED: YES \_\_\_ NO \_\_\_ BOT APPROVAL REQUIRED: YES \_\_\_ NO \_\_\_

CID PERMIT/INSPECTION REQUIRED: YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: NO CHANGES TO APPEARANCE OF STRUCTURE  
CID PERMIT MAY BE REQUIRED

PERMISSION: ISSUED DENIED BY: [Signature]  
ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
7. Proof of legal access to the property.
8. Drainage plan.
9. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
10. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
11. Proof of legal access to the property.
12. Other information as necessary or required by the City Code or Community Development Department (See other side.)

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

- A. Completed application, including:
  1. Applicant's name
  2. Applicant/property owners contact information
  3. Physical address of property
  4. Description of work to be done, including dimensions of any construction or repairs
  5. Value of work to be done
  6. Property owner's signature on the application
- B. Include all information required in the checklist at the bottom of the application.
- C. Additional information required:



**ADMINISTRATIVE APPROVAL  
BUILDING PERMIT REQUEST CASE 061037  
[PZHAC CONSENT AGENDA – 5/4/20]**

**Item:**

**Case 061037** – 1940 Calle Pacana, submitted by Henry Newman; a request to install solar panels on an existing dwelling at this address. Zoned: Historical Residential (HR)

**Description of Work Done:**

The applicant intends to install solar (photo-voltaic) panels on the flat roof on a dwelling under construction at this address. The panels will not be visible from the street. with a new overlay. There will be no changes to the structure or appearance of the dwelling. The applicant has been informed that a permit from CID will be needed.

**Consistency with the Code:**

Since the proposed inspection and possible repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit** –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

**PHOTO OF THE DWELLING FROM CALLE PACANA**





# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Maps

Legend

### Map Themes

Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0401598](#)  
Parcel Number: 4006137152310  
Owner: NEWMAN HENRY S  
Mail Address: 1652 HEWITT AVE  
Subdivision: SOMMER GROVE  
SUBDIVISION (BK 22 PG 783-784 -  
0933138)  
Property Address: 1940 CALLE  
PACANA  
Acres: 0





Note:  
-Special Access Instructions: None.



1

New  
Main  
(Outs)

QF V  
AC D  
ACC  
(Outs)

Roof  
27 x





TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061037

Fee \$ 57.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061037 ZONE: HR CODE: M1 APPLICATION DATE: 4/23/20

Name of Property Owner: Henry Newman Property Owner's Telephone Number: 575-288-1792

Property Owner's Mailing Address: 1940 Calle Pacana Mesilla State: NM Zip Code: 88046

Property Owner's E-mail Address: h.sn@hsnewman.com

Contractor's Name & Address (If none, indicate Self): Organ Mountain Solar 400 South Compress Rd.

Contractor's Telephone Number: 575-202-9268 Contractor's Tax ID Number: 03-401215-00-0 Contractor's License Number: 394801

Address of Proposed Work: 1940 Calle Pacana Mesilla NM 88046

Description of Proposed Work: Residential PV install

Estimated Cost: \$ 31,000 Signature of Applicant: [Signature] Date: 2/26/20

Signature of property owner: [Signature: Henry Newman]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED:  YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: CANNOT BE SEEN FROM STREET, NO CHANGES TO APPEARANCE OF STRUCTURE. CID PERMIT REQUIRED

PERMISSION ISSUED / DENIED BY: [Signature] ISSUE DATE: 4/23/20

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses and dimensions.
- Cross section of walls
- Roof and floor framing plan
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the City Code or Community Development Department (See other side.)



**ADMINISTRATIVE APPROVAL  
BUILDING PERMIT REQUEST CASE 061038  
[PZHAC CONSENT AGENDA – 5/4/20]**

**Item:**

**Case 061038** – 2409 Calle del Norte, submitted by Angela Garcia; a request for a zoning permit to allow repairs to lattice work on a carport, damage to a perimeter fence, and minor repairs to a yard damaged by wind at this address. Zoned: Historical Residential (HR)

**Description of Work Done:**

The applicant would like to repair wind damage to several decorative items in the yard of a dwelling at this address, as well as repair part of a fence that was also damaged by the wind. There will be no changes to the appearance or the style of the dwelling.

**Consistency with the Code:**

Since the proposed inspection and possible repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit** –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

**PHOTO OF THE STRUCTURE FROM CALLE DEL NORTE**





# Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Maps

Legend

## Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401295](#)

Parcel Number: 4006137033420

Owner: GARCIA LILY ESTRADA

Mail Address: PO BOX 421

Subdivision: USRS TRACT 11A-156A

REPLAT NO 1 (BK 21 PG 203 -

0515009)

Property Address: 2409 CALLE DEL

NORTE

Acres: 0





TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061038

Fee \$ 0.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061038 ZONE: HR CODE: M1 APPLICATION DATE: 04/22/2020

Angela Garcia (575) 523-0120  
Name of Property Owner Property Owner's Telephone Number  
P.O Box 421 Mesilla NM 88046  
Property Owner's Mailing Address City State Zip Code  
elizabeth@homekareinc.com  
Property Owner's E-mail Address  
Self  
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2409 Calle De Norte Mesilla NM 88046

Description of Proposed Work: Replace lattice on small storage/ carport, Replace boards from perimeter fence, Minor repairs to outside yard, gravel

\$ 300.00 or Less Patricia Lozano for Angela Garcia 04/22/2020  
Estimated Cost Signature of Applicant Date

Signature of property owner Angela Garcia

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES  NO \_\_\_ SEE CONDITIONS

CONDITIONS: REPAIR & REPLACEMENT OF WIND DAMAGE, NO NEW STRUCTURES OR ADDITIONS

PERMISSION ISSUED DENIED BY: T. Shuman ISSUE DATE: 4/23/20

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  - Site Plan with dimensions and details.
  - Foundation plan with details.
  - Floor plan showing rooms, their uses and dimensions.
  - Cross section of walls
  - Roof and floor framing plan
  - Proof of legal access to the property.
  - Drainage plan.
  - Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  - Proof of legal access to the property.
  - Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL  
BUILDING PERMIT REQUEST CASE 061039  
[PZHAC CONSENT AGENDA – 5/4/20]**

**Item:**

**Case 061039** – 2391 Calle de Parian, submitted by Robert Reynolds; a request for a zoning permit to repair and repaint the stucco and trim on an existing dwelling at this address. Zoned: Historical Residential (HR)

**Description of Work Done:**

The applicant would like to repaint the stucco the identical color as the original. The trim will be painted a color that is compatible with the color off the dwelling. No other work will be done at this time and there will be no changes to the dwelling

**Consistency with the Code:**

Since the proposed inspection and possible repairs will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

**PHOTO OF THE STRUCTURE FROM CALLE DE PARIAN**





# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Maps | Legend

### Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0400521](#)  
Parcel Number: 4006138172012  
Owner: REYNOLDS ROBERT G & ROSEMARIE  
Mail Address: PO BOX 1000  
Subdivision:  
Property Address: 2391 CALLE DE PARIAN  
Acres: 0



TOWN OF MESILLA  
ZONING APPROVAL

061039  
4 90.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061039 ZONE: HR CODE: M1 APPLICATION DATE: 4/30/20

Robert Reynolds \_\_\_\_\_ 5756440829  
Name of Property Owner \_\_\_\_\_ Property Owner's Telephone Number  
PO Box 1000 \_\_\_\_\_ Mesilla \_\_\_\_\_ NM \_\_\_\_\_ 88046  
Property Owner's Mailing Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip Code  
rrmesilla@gmail.com  
Property Owner's E-mail Address \_\_\_\_\_  
self

Contractor's Name & Address (If none, indicate Self) \_\_\_\_\_  
Contractor's Telephone Number \_\_\_\_\_ Contractor's Tax ID Number \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

Address of Proposed Work: 2391 Calle de Parian

Description of Proposed Work: Stucco repair and sto on the outside. Color same. Trim will be painted all the same, medium grey.

\$ 3,300 \_\_\_\_\_ Robert Reynolds \_\_\_\_\_ 4/29/2020  
Estimated Cost \_\_\_\_\_ Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

Signature of property owner: Robert Reynolds

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Please attach the title as larger than 11 x 17 inches or a half inch smaller than electronically.

**FOR OFFICIAL USE ONLY**  
PZHAC \_\_\_\_\_  
CID \_\_\_\_\_  
NO CHANGES TO APPEARANCE OF DWELLING  
12

PERMIT APPROVED - [Signature] \_\_\_\_\_ ISSUE DATE: 4/30/20

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. \_\_\_\_\_ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. \_\_\_\_\_ Site Plan with dimensions and details.
  3. \_\_\_\_\_ Foundation plan with details.
  4. \_\_\_\_\_ Floor plan showing rooms, their uses and dimensions.
  5. \_\_\_\_\_ Cross section of walls
  6. \_\_\_\_\_ Roof and floor framing plan
  8. \_\_\_\_\_ Proof of legal access to the property.
  9. \_\_\_\_\_ Drainage plan.
  10. \_\_\_\_\_ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  11. \_\_\_\_\_ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  12. \_\_\_\_\_ Proof of legal access to the property.
  13. \_\_\_\_\_ Other information as necessary or required by the City Code or Community Development Department (See other side.)

PZHAC NEW BUSINESS

MAY 4, 2020

PZHAC DECISIONS

ZONING PERMITS



**PZHAC ACTION FORM**  
**ZONING PERMIT 060950**  
**[PZHAC REVIEW – 9/3/19]**  
**STAFF ANALYSIS**

**Item:**

**Case 061040** – 1401 West Boutz Road, submitted by Samuel Torres for Xavier Jurado; a request for a zoning permit to construct a 30 foot by 40 foot metal storage building on a residential property at this address. Zoned: Rural Farm (RF)

**DESCRIPTION OF REQUEST:**

The applicant would like to install a garage/storage/shop building in the rear yard behind his dwelling that is under construction. The applicant recently bought the property and is in the process of building his dwelling on the property. He is also one of the owners of the farm located on two properties that surround the property containing the dwelling. The storage building will be used to store his personal vehicles and house hold items, as well as being used for agricultural uses related to the farm.

The proposed structure will be a 30 ft. by 40 ft. (1200 square foot) metal Mueller building located at the southeast corner of the property. The total height of the structure will be under the 30 feet allowed by the RF zoning of the property. There will be no provisions for living quarters in the structure. The structure will be setback at least ten feet from the east side and rear property lines. (The Code does not have side or rear setback requirements for structures in the RF zone.)

Since the property is in a Residential/Farm (RF) zoning district, there are no architectural or historical guidelines that need to be met for the structure. The proposed structure does appear to be similar in style and construction with other farm/residential storage structures that have been built in the RF zone in the area.

**ESTIMATED COST: @ \$30,000.00**

**CONSISTENCY WITH THE CODE:**

The PZHAC will need to determine that the proposed structure will be compatible with the RF Zoning of the property. (Detached garages and large storage sheds are generally considered to be an ancillary or subordinate use to the agricultural/residential use of a property in the RF zone.)

**Findings:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing a garage/storage/shop building in the rear yard of a residential property at this address.
- The PZHAC has determined that the proposed structure meets all applicable Code requirements.

**PZHAC OPTIONS:**

1. Approve this request.
2. Approve this request with conditions.
3. Reject the permit.

**PZHAC ACTION:**



**PHOTO OF PROPERTY FROM BOUTZ ROAD**



**PHOTO OF PROPERTY SHOWING PROPOSED LOCATION OF THE STORAGE BUILDING**





# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Maps

Legend

## Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

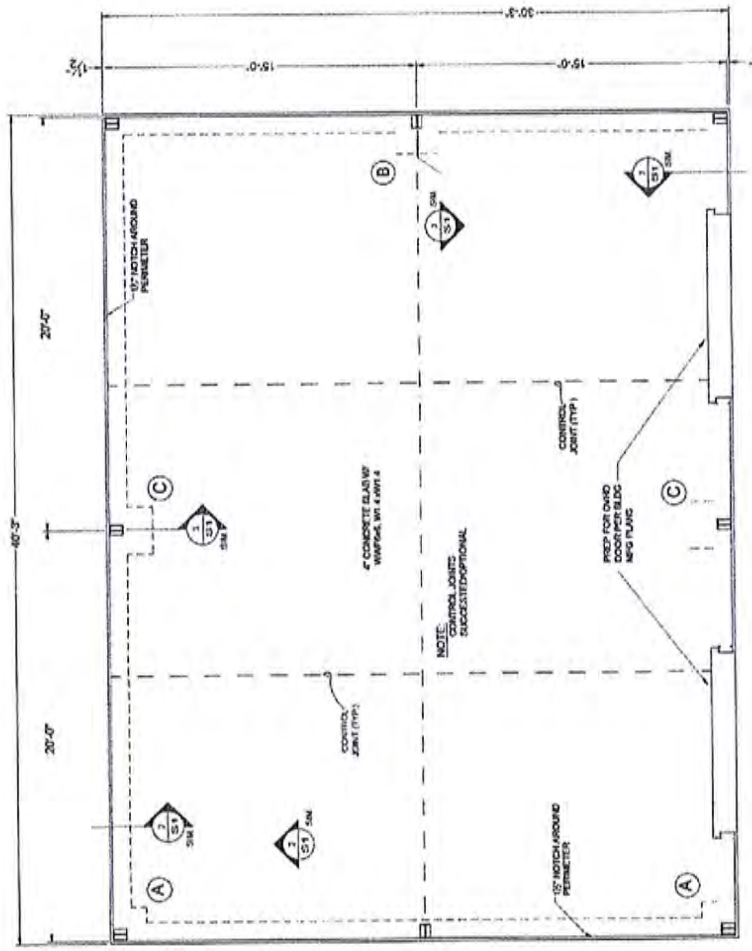
General Land Ownership

Account Number: [R0400960](#)  
Parcel Number: 4006137464372  
Owner: JURADO XAVIER A TRUSTEES  
Mail Address: 2102 STITHES RD  
Subdivision: JOHN SCHAEFER  
SUMMARY SUBDIVISION (BK 17 PG 74  
- 9115092)  
Property Address: 1401 W BOUTZ  
RD  
Acres: 1.35



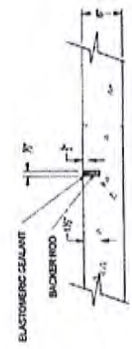
**GENERAL NOTES**

- CONCRETE SHALL HAVE 28-DAY COMPRESSIVE STRENGTH PER OF 3000 PSI.
- REINFORCING STEEL SHALL CONFORM WITH A615, ASTM A 615.
- DRIVE EMBEDMENTS OF BASE PLATES SHALL BE MADE AS LONGITUDINAL REINFORCEMENT AND LAP 4 INCHES. REINFORCING STEEL SHALL HAVE THE FOLLOWING CLEAR CONCRETE COVER:  
1/2 INCHES PLACED AGAINST FORM;  
1/2 INCHES AGAINST FORM;  
1 1/2 INCHES FROM TOP;  
1/2 INCHES FROM BOTTOM.
- RECONSTRUCTED ALL INTERSECTION DRAGS MANUFACTURED WITH CONTINUOUS RIBBONS, CONCRETE CORES ON SAND PLATES.
- CONTROL JOINTS SHALL BE SAW CUT INTO THE SLAB AFTER CONCRETE PLACEMENT AND REINFORCEMENT SHALL EXTEND HORIZONTALLY A MINIMUM DISTANCE OF 2 FEET BEYOND THE OUTSIDE EDGE OF FINISHED FOOTING, WALL, COLUMN AND BASE PLATE LOCATIONS WITH MANUFACTURERS DRAWINGS. BASE PLATES MAY ALL BE EMBEDDED AS DIRECTED BY END USER.

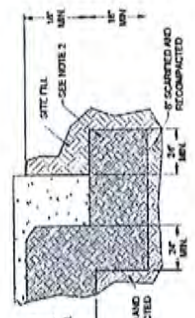


**FOUNDATION PLAN 1 S1**  
3/4" = 1'-0"

- NOTES:**
- INSTALLATION OF CONTROL JOINTS AS SHOWN ON PLAN.
  - BACKER ROD AND SEALANT ARE RECOMMENDED ONLY.

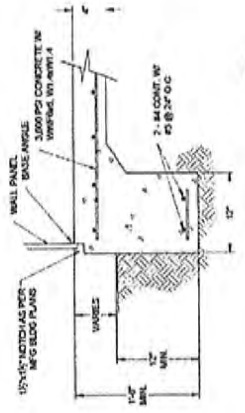


**CONTROL JOINT 5 S1**  
NOT TO SCALE

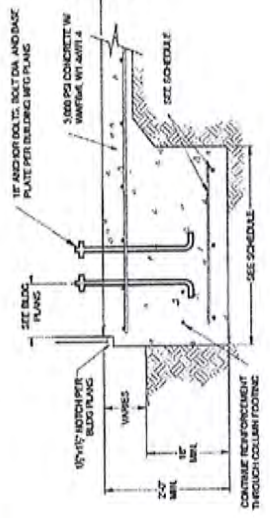


- SUBGRADE NOTE:**
- CONTRACTOR SHALL REMOVE AND RECOMPACT 18" MIN. SOIL BELOW COMPACTED SOIL 2 SHALL EXTEND A MINIMUM 2 FEET HORIZONTALLY OUTWARD FROM THE EXTERIOR EDGES OF THE FOOTING.

**SUBGRADE PREPARATION 4 S1**  
NOT TO SCALE



**PERIMETER FOOTING 2 S1**  
NOT TO SCALE



**COLUMN FOOTING 3 S1**  
NOT TO SCALE

**FOOTING SCHEDULE**

MARK QTY	SIZE	REINFORCEMENT BEARING PLATE		
		3/4" DIA. CP	PER BLDG W/4	PER BLDG W/4
A	2	18" x 18" x 2'-0"	3/4" DIA. CP	PER BLDG W/4
B	1	20" x 20" x 2'-0"	3/4" DIA. CP	PER BLDG W/4
C	2	20" x 20" x 2'-0"	3/4" DIA. CP	PER BLDG W/4





**BUILDING & CODE DATA**

- ☐ ADULT CARE CENTER AND SERVICES (ACC)
- ☐ 2015 NEW MEXICO RESIDENTIAL BUILDING CODE
- ☐ 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)

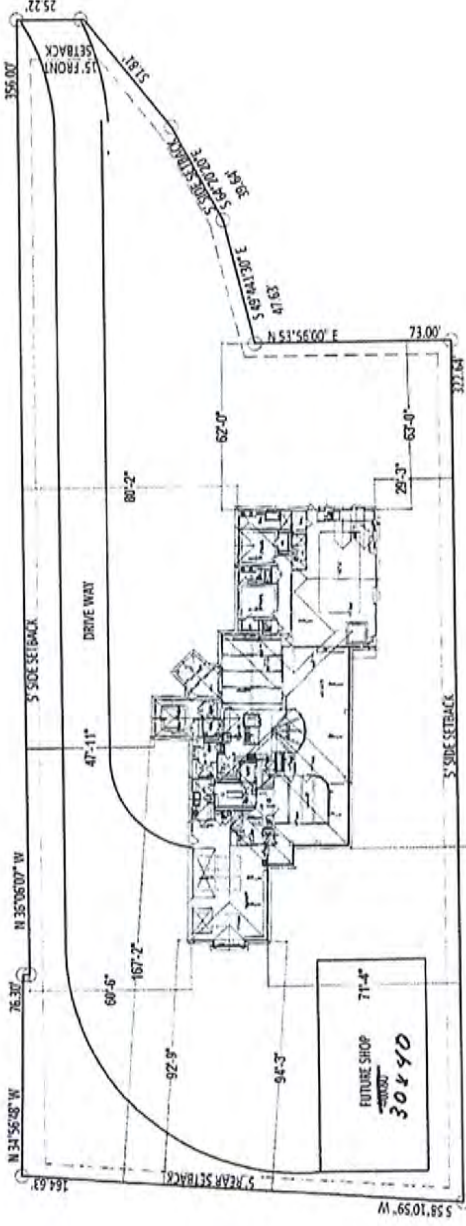
SINGLE FAMILY RESIDENCE

- ☐ BUILDING HEIGHT 20'-0" (MAXIMUM HP: 20'-0")
- ☐ BUILDING IS IN A NON-FLOOD ZONE

MINIMUM DESIGN WIND LOADS:  
 15 PSF FOR ALL MAIN WALLS  
 PER SECTION 5.1.1.2.1.1

PERMIT	REVISION
1	ISSUE
2	REVISION
3	REVISION
4	REVISION
5	REVISION

PG.	INDEX OF SHEETS
C1	COVER SHEET 1 OF 7
A1	FLOOR PLAN 1 OF 7
A2	ELEVATION 1 OF 7
A3	ROOF FRAMING PLAN 1 OF 7
A4	FOUNDATION PLAN 1 OF 7
B1	PLUMBING SCHEDULE 1 OF 7
B2	PLUMBING PLAN 1 OF 7



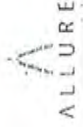
**SITE PLAN**

**1401 BOUTZ ROAD  
 LAS CRUCES, NEW MEXICO,  
 88007**



**SCALE 1"=20'-0"**

**ALLURE**



ISSUED PERMIT:  
 REVISIONS: 5




DESIGNER: GARY ROGERS  
 575-649-6500


SHEET: "JURADO RESIDENCE - 1401 BOUTZ ROAD"

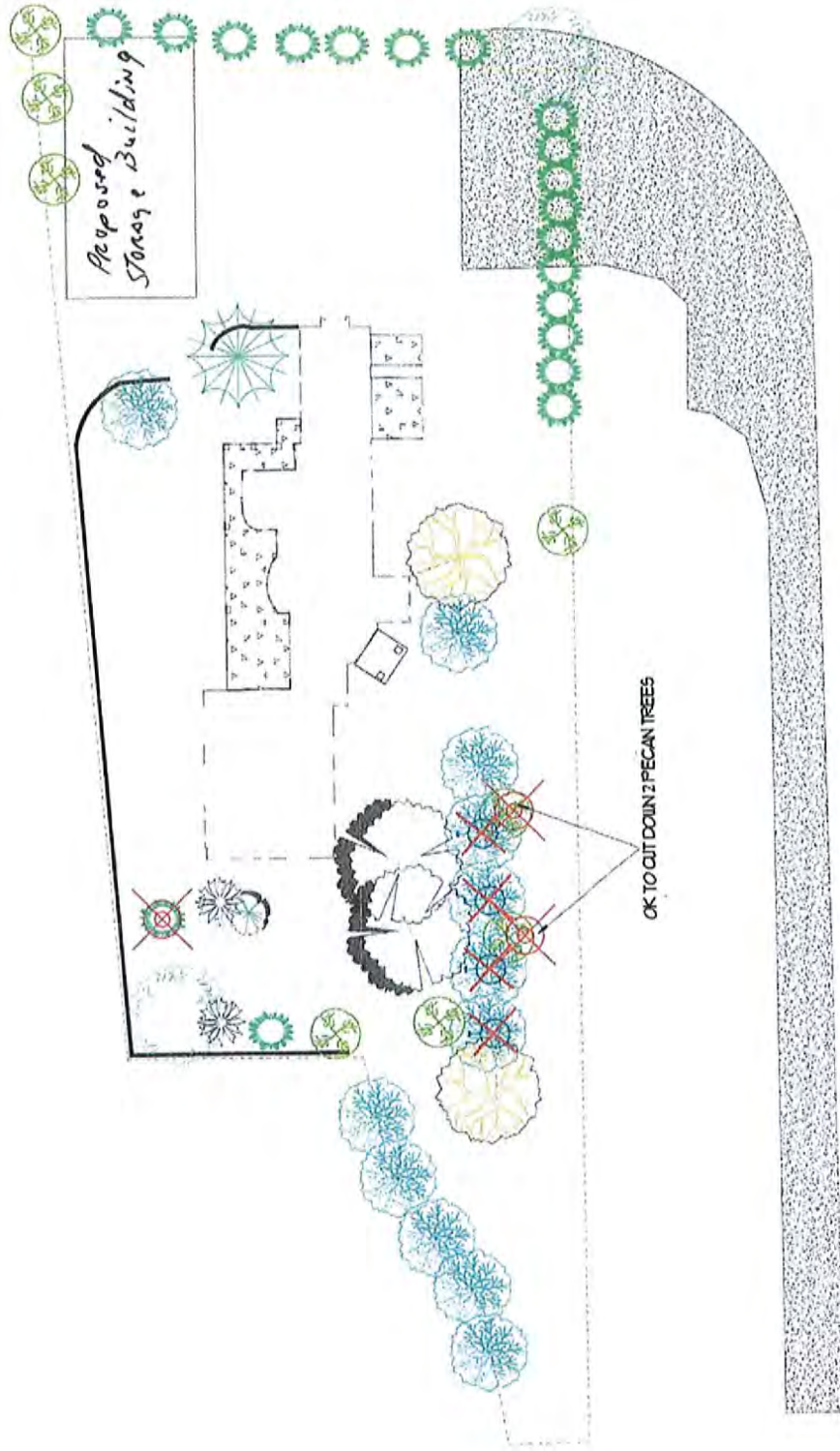
COVER SHEET/  
 SITE PLAN

DATE: 12/20/18  
 SHEET NO: C.1



 REMOVE TREES FOR TRANSPLANT

 REMOVE TREES



Revision #:  
Date: 3/16/20

Scale:  
1/16" = 1'

Landscape Plan: Plot plan  
J&L Juardo, 1401 W Boutz

Landscape Design by: Leslie Bezner  
Blue Oak Creative/Green Lizard

**TOWN OF MESILLA**

P.O. BOX 10  
MESILLA, NM 88046  
RETURN POSTAGE GUARANTEED

FOR BILLING INFO CALL  
524-8244

FOR WATER OR SEWER EMERGENCY  
CALL (575) 650-8830

ACCT. NO. 04-0570-01

	READING	CONSUMPTION	METER READING IN 1000 GALLONS
CURRENT	207	8	
PREVIOUS	199	43	
			PER MCF

DATE	SERVICE	AMOUNT
01/18/20	WATER	22.12
01/18/20	WTR ACQ CO	0.48
01/18/20	WTR MGT CO	0.40
	TAX	1.11

XAVIER & LORIE JURADO  
2102 STITHES RD  
LAS CRUCES NM 88005

ACCT. NO. 04-0570-01

AMOUNT DUE \$ 24.11

AMOUNT DUE \$  
FEB 8TH CUPIDS CHASE 5K  
FEB 8TH FOR THE LOVE ART  
1401 W BOUTZ RD



DO NOT PAY - PAID BY DRAFT

PLEASE RETURN THIS STUB WITH YOUR PAYMENT.

**TOWN OF MESILLA**

P.O. BOX 10  
MESILLA, NM 88046  
RETURN POSTAGE GUARANTEED

FOR BILLING INFO CALL  
524-8244

FOR WATER OR SEWER EMERGENCY  
CALL (575) 650-8830

ACCT. NO. 04-0570-01

	READING	CONSUMPTION	METER READING IN 1000 GALLONS
CURRENT	215	8	
PREVIOUS	207	8	
			PER MCF

DATE	SERVICE	AMOUNT
02/18/20	WATER	22.12
02/18/20	WTR ACQ CO	0.48
02/18/20	WTR MGT CO	0.40
	TAX	1.11

XAVIER & LORIE JURADO  
2102 STITHES RD  
LAS CRUCES NM 88005

ACCT. NO. 04-0570-01

AMOUNT DUE \$ 24.11

AMOUNT DUE \$  
3.8.2020 DAYLIGHT SAVINGS TIME  
3.21.2020 CENSUS KICK OFF FROM 1-3  
1401 W BOUTZ RD



DO NOT PAY - PAID BY DRAFT

PLEASE RETURN THIS STUB WITH YOUR PAYMENT.



**GENERAL NOTES**

THE STRUCTURE UNDER THIS CONTRACT HAS BEEN DESIGNED AND DETAILED FOR THE LOADS AND CONDITIONS STIPULATED IN THE CONTRACT AND SHOWN ON THESE DRAWINGS. ANY ALTERATIONS TO THE STRUCTURAL SYSTEM, SELECTION OF ANY COMPONENT PARTS, OR THE ADDITION OF OTHER CONSTRUCTION MATERIALS OR LOADS MUST BE DONE UNDER THE ADVICE AND DIRECTION OF A REGISTERED ARCHITECT, CIVIL OR STRUCTURAL ENGINEER. THE BUILDING MANUFACTURER WILL ASSUME NO RESPONSIBILITY FOR ANY LOADS NOT INDICATED.

THIS METAL BUILDING IS DESIGNED WITH THE BUILDING MANUFACTURERS STANDARD FACTORS WHICH ARE BASED ON PERMITTED PROCEDURES AND RECOMMENDATIONS OF THE FOLLOWING ORGANIZATIONS AND CODES AS APPLICABLE:

1. AMERICAN INSTITUTE OF STEEL CONSTRUCTION, SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS
2. AMERICAN IRON AND STEEL INSTITUTE, SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS
3. AMERICAN WELDING SOCIETY, STRUCTURAL WELDING CODE AWS D1.1
4. METAL BUILDING MANUFACTURERS ASSOCIATION, LOW ROSE BUILDING SYSTEMS MANUAL
5. INTERNATIONAL CODE COUNCIL, INTERNATIONAL BUILDING CODE

ALL WELDING ELECTRODES SHALL BE A233 CLASS E TO SERIES, MINIMUM WELDS ON PRIMARY STRUCTURAL MEMBERS SHALL BE 3/16 FLET WELDS UNLESS SHOWN OTHERWISE ON SHOP FABRICATION DRAWINGS.

ALL STRUCTURAL STEEL SHALL BE SHOP FABRICATED UNLESS NOTED.

MATERIAL PROPERTIES OF STEEL PLATE AND SHEET USED IN THE FABRICATION OF PRIMARY RIGID FRAMES AND ALL PRIMARY STRUCTURAL FRAMING MEMBERS (OTHER THAN COLD-FORMED SECTIONS) CONFORM TO THE CHEMISTRY REQUIREMENTS OF ASTM A573 WITH MINIMUM YIELD POINT OF 50,000 P.S.I. OR 34,500 P.S.I. AS REQUIRED BY DESIGN.

MATERIAL PROPERTIES OF COLD FORMED LIGHT GAUGE STEEL MEMBERS CONFORM TO THE REQUIREMENTS OF A.S.T.M. A-575, GRADE 55, WITH A MINIMUM YIELD POINT OF 37,000 P.S.I.

ALL PIPE SHALL BE MINIMUM SCHEDULE 40 AND 30,000 P.S.I. UNLESS OTHERWISE NOTED.

CABLE BRACING TO BE "BRACE GRIP" SYSTEM AS MANUFACTURED BY FLOREN WIRE AND CABLE COMPANY. EYE CABLE OR EQUAL, HANGING BY FLUSH GIRT SIDEWALL, FEDERAL BAYS MAY REQUIRE THE FIELD CUTTERS OF BLOTS SO THAT CABLE IS INSTALLED WITHIN GIRTS.

STRUCTURAL JOINTS WITH A.S.T.M. A-325 HIGH STRENGTH BOLTS, WHERE INDICATED ON THE DRAWINGS, SHALL BE ASSURED AND THE FASTENERS TIGHTENED IN ACCORDANCE WITH "TIGHT" METHOD AS DESCRIBED IN THE SPECIFICATION FOR STRUCTURAL JOINTS UNDER A.S.T.M. A-325 OR A-490 BOLTS LATEST 2004 EDITION, UNLESS OTHERWISE NOTED. ALL JOINTS WILL BE ASSEMBLED WITHOUT WASHERS UNLESS OTHERWISE NOTED.

ALL STEEL MEMBERS EXCEPT BOLTS AND FASTENERS SHALL RECEIVE ONE SHOP COAT OF RICH OXIDE CORROSION RESISTIVE PRIMER.

SHOP AND FIELD INSPECTIONS AND ASSOCIATED FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

UNLESS OTHERWISE NOTED, ALL CEILING DOWN ROOF AND WALL PANELS ARE TO BE INSTALLED USING A MINIMUM OF ONE SCREW PER FOOT AT EACH PANEL GIRT AND ONE PITCH SCREW EVERY 24 INCH ALONG THE PANEL LAP AND EDGE AS DESCRIBED IN THE INSTALLATION MANUAL. SNAKE BEARING FRAMING INTERVALS DEPEND ON DIAPHRAGM STRENGTH TO PROVIDE LATERAL SUPPORT. THE NUMBER AND SIZE OF FIELD INSTALLED OPENINGS IN THESE WALLS MAY BE LIMITED SEE THE APPLICABLE WALL DRAWING OR CONTACT YOUR SALES REPRESENTATIVE FOR MORE INFORMATION.

**PRODUCT CERTIFICATIONS**

THIS IS TO CERTIFY THE ABOVE REFERENCED BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH A.I.S.C. AND A.I.E.I. DESIGN PROCEDURES AND GOOD ENGINEERING PRACTICE AND FOR THE FOLLOWING LOADS. ALL WELDING IS FOR THE A.I.S.C. D1.1 & D1.3 CODES. LOADS ARE APPLIED IN ACCORDANCE WITH THE M.B.M.A. LOW ROSE BUILDING SYSTEMS MANUAL, AND THE DESIGN SATISFIES THE REQUIREMENTS OF IBC'15

DEAD LOAD: METAL BLDG STRUCTURE ONLY AS FURNISHED BY MUELLER, INC.

LIVE LOAD (ROOF): 20.0 (psf) GROUND SNOW LOAD:  $P_g = 5.0$  (psf)

LIVE LOAD REDUCED PER CODE? YES ROOF SNOW LOAD (Flat):  $P_f = 10.0$  (psf)

WIND EXPOSURE: C  $C_s = 1.0$   $I_s = 1.0$

RISK CATEGORY: II - Normal WIND LOAD:  $V_{100} = 115.0$  MPH  
 $V_{50} = 90.0$  MPH

**SEISMIC LOADS**

SEISMIC DESIGN CATEGORY: C

SITE CLASS: D

$I_e = 1.0$   $S_{DS} = 0.282$   $S_{M1} = 0.296$   $S_{M2} = 0.088$   $S_{M3} = 0.141$

ANALYSIS PROCEDURE: Equivalent Lateral Force Method

**DEFLECTION LIMIT TABLE**

EW Column	L/ 110
EW Rafter (Lr)	L/ 180
EW Rafter (Wr)	L/ 180
Wall Girt	L/ 50
Roof Purlin (Lr)	L/ 150
Roof Purlin (Wr)	L/ 150
Rigid Frame (Lr)	H/ 60
Rigid Frame (Wr)	L/ 180
Wind Framing	H/ 60

**FOR APPROVAL NOT FOR CONSTRUCTION**  
 ( ) APPROVED NO EXCEPTIONS  
 ( ) APPROVED AS NOTED  
 ( ) DISAPPROVED PLEASE RESUBMIT THESE DRAWINGS MUST BE SIGNED AND RETURNED WITH IN 10 DAYS OR THIS BUILDING WILL BE FLOCKED ON FABRICATION HOLD

**BUILDING-SPECIFIC LOADING INFORMATION**

BLDG	Collateral Load (psf)	SNOW		Roof (Sloped) P (psf)	WIND Enclosure	GC <sub>r</sub>	R	SEISMIC C <sub>s</sub>	V (mph)
		C <sub>t</sub>	C <sub>e</sub>						
1	1.3	1.0	1.0	5.00	Partially Enclosed	±0.55	3.00	0.099	0.82

THIS LETTER OF CERTIFICATION APPLIES SOLELY TO THIS BUILDING AND ITS COMPONENT PARTS AS FURNISHED AND/OR FABRICATED BY MUELLER, INC. AND SPECIFICALLY EXCLUDES FOUNDATIONAL, MASONRY OR GENERAL CONTRACT WORK INCLUDING ERECTION CERTIFICATION. THE DESIGN AND CERTIFICATION FOR THIS PROJECT IS IN ACCORDANCE WITH THE PROVISIONS AND LOADS SPECIFIED ON THE CONTRACT DOCUMENTS. THE CUSTOMER IS TO ASSURE ALL LOADS ARE IN COMPLIANCE WITH LOCAL REGULATORY AUTHORITIES. ALL COMPONENTS AND PARTS MUST WITHSTAND THE WIND LOAD AND DESIGN SPECIFICATIONS IDENTIFIED ABOVE.

**PANEL ACCESSORY INFORMATION**

	PANEL TYPE	PANEL COLOR	TRIM COLOR
WALL SHEETS	126 R	DTN Desert Tan	GRN Colony Green
ROOF SHEETS	126 R	GRN Colony Green	GRN Colony Green

WARNING: IN NO CASE SHALL GALVALUME STEEL PANELS BE USED IN CONJUNCTION WITH LEAD OR COPPER. BOTH LEAD AND COPPER HAVE MAJOR CORROSION EFFECTS ON THE ALUMINUM ZINC ALLOY COATING WHEN THEY ARE USED IN CONTACT WITH GALVALUME STEEL PANELS. EVEN RUN OFF FROM COPPER FLASHING, WELDS, OR TURNING OFF TO GALVALUME SHOULD BE AVOIDED.

**APPROVAL NOTES**

- THE FOLLOWING CONDITIONS APPLY IN THE EVENT THAT THESE DRAWINGS ARE USED AS APPROVAL DRAWINGS:
- IT IS IMPERATIVE THAT ANY CHANGES TO THESE DRAWINGS:
    - BE MADE BY CONTRACTOR
    - BE LEGIBLE AND UNAMBIGUOUS
    - HAVE ALL INSTANCES OF CHANGE CLEARLY INDICATED.
  - DATED SIGNATURE IS REQUIRED ON ALL PAGES
  - MANUFACTURER RESERVES THE RIGHT TO RESUBMIT DRAWINGS WITH EXTENSIVE OR COMPLEX CHANGES REQUIRED TO AVOID MISFABRICATION. THIS MAY IMPACT THE DELIVERY SCHEDULE. APPROVAL OF THESE DRAWINGS INDICATES CONSENT THAT THE MANUFACTURER HAS CORRECTLY INTERPRETED THE CONTRACT REQUIREMENTS, AND FURTHER CONSTITUTES AGREEMENT THAT THE BUILDING AS DRAWN, OR AS DRAWN WITH INDICATED CHANGES REPRESENTS THE TOTALITY OF THE MATERIALS TO BE SUPPLIED BY MANUFACTURER.
  - ANY CHANGES NOTED ON THE DRAWINGS NOT IN CONFORMANCE WITH THE TERMS AND REQUIREMENTS OF THE CONTRACT BETWEEN MANUFACTURER AND ITS CUSTOMER ARE NOT BINDING ON MANUFACTURER UNLESS SUBSEQUENTLY SPECIFICALLY APPROVED AND AGREED TO IN WRITING BY CHANGE ORDER OR SEPARATE DOCUMENTATION. MANUFACTURER RECOMMENDS THAT RUBBER STAMPS ARE POSITIVELY USED FOR INDICATING APPROVAL, DISAPPROVAL, REJECTION, OR REVIEW OF THE DRAWINGS SUBMITTED. HOWEVER, MANUFACTURER DOES NOT ACCEPT CHANGES OR ADDITIONS TO CONTRACTUAL TERMS AND CONDITIONS THAT MAY APPEAR WITH USE OF A STAMP OR SIMILAR INDICATION OF APPROVAL, DISAPPROVAL, ETC. SUCH LANGUAGE APPLIED TO MANUFACTURERS DRAWINGS BY THE CUSTOMER, ARCHITECT, ENGINEER, OR ANY OTHER PARTY WILL BE CONSIDERED AS UNACCEPTABLE ALTERATIONS TO THESE DRAWING NOTES, AND WILL NOT ALTER THE CONTRACTUAL RIGHTS AND OBLIGATIONS EXISTING BETWEEN MANUFACTURER AND ITS CUSTOMER.
  - ONLY DRAWINGS SPECIFICALLY MARKED "FOR CONSTRUCTION" ARE APPROVED FOR CONSTRUCTION. USING ANCHOR BOLT PLANS WITHOUT THIS NOTATION IS DONE AT THE CUSTOMERS RISK.

**BUILDING DESCRIPTION**

BLDG	WIDTH	LENGTH	HEIGHT		ROOF PITCH	
			BACK	FRONT	BACK	FRONT
1	30'-0"	X 40'-0"	X 14'-0"	15'-3"	0.50:12	

**DRAWING INDEX**

PAGE	DESCRIPTION
C1	COVER SHEET
A1	ANCHOR BOLT PLAN
A2	ANCHOR BOLT DETAILS
A3	RELATIONS
E1	ROOF PLAN
E2	WALL ELEVATION AT GRID 0
E3	WALL ELEVATION AT GRID A
E4	WALL ELEVATION AT GRID 1
E5	WALL ELEVATION AT GRID 3
E6	FRAME ELEVATION ON GRID 1
E7	FRAME ELEVATION ON GRID 2
E101	ERECTION DETAILS
E102	ERECTION DETAILS
E103	SHEATHING DETAILS
T101	TRIM DETAILS
T102	TRIM DETAILS

**INSTALLATION NOTE**

For videos and manuals to help you with the erection of your building, visit our website: [www.muellerinc.com](http://www.muellerinc.com)

Go to the "Downloads" tab near the top of the page and click on "Videos" or "Manuals". These will help you with topics from site planning and safety through erection and installation of accessories.

**WARRANTY NOTE**

ENGINEERING CALCULATIONS AND DESIGN ARE BASED ON PRE-FABRICATED METAL BUILDINGS AS SHOWN IN THESE DRAWINGS AND SUPPLIED BY MUELLER, INC. AND ANY FIELD FABRICATION AND/OR MODIFICATION OF SAID BUILDING(S) IS THE SOLE RESPONSIBILITY OF THE CUSTOMER AND MAY VOID ALL ENGINEERING AND WARRANTY.

**Legend**

PART MARK = Par001

For help with installation of your building, please visit our website: [www.muellerinc.com/downloads/download-manuals](http://www.muellerinc.com/downloads/download-manuals)

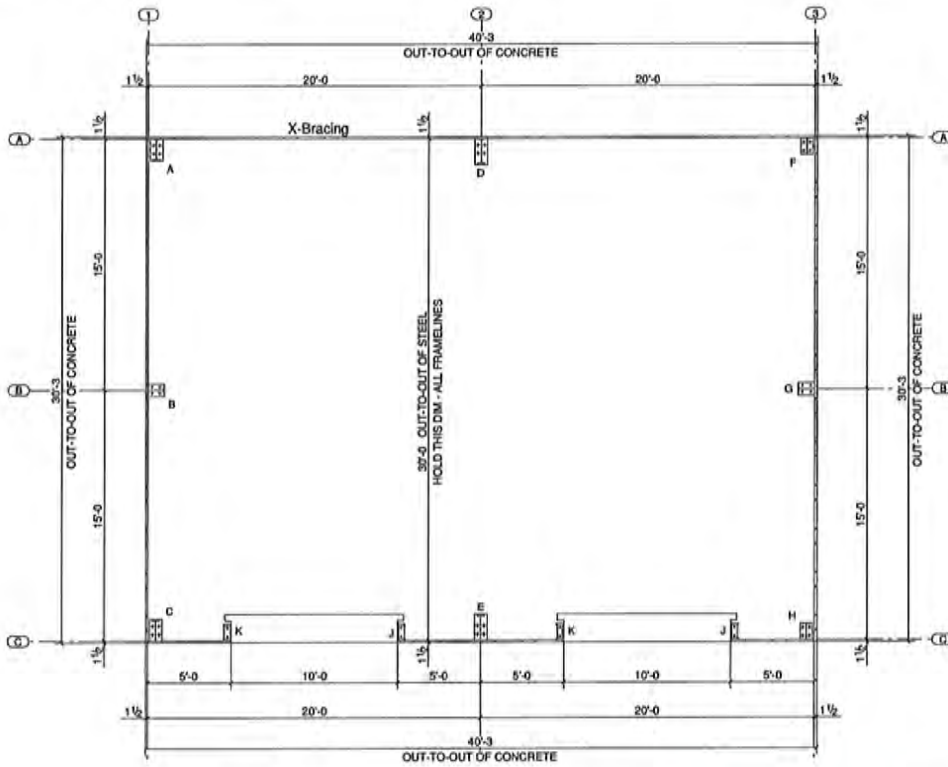
NOTE: THE UNDERSIGNED ENGINEER IS NOT THE "REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE" NOR "ENGINEER OF RECORD" FOR THE OVERALL PROJECT.



0	04/07/2020	For Approval
REV	DATE	DESCRIPTION
<b>MUELLER, INC.</b> STEEL BUILDING SYSTEMS & COMPONENTS 1843 Ruth Nine, Inc. - Dallas, TX 75201 (800) 525-1007		
DRAWING DESCRIPTION COVER SHEET PROJECT NAME THOMAS WELDBENTZ TRG	BUILDING DESCRIPTION 30'-0" X 40'-0" X 14'-0" X 15'-3" LAS CRUCES, NEW MEXICO DATE 04/07/2020	HOW BOUND 0.50:12 SCALE 1/8" = 1'-0" UNIT C1 0



FOR APPROVAL  
 NOT FOR CONSTRUCTION  
 ( ) APPROVED TO EXCEPTIONS  
 ( ) APPROVED AS NOTED  
 ( ) DISAPPROVED PLEASE RESUBMIT  
 THESE DRAWINGS MUST BE SIGNED AND RETURNED  
 WITH IN 30 DAYS OR THIS BUILDING WILL BE  
 PLACED ON FABRICATION HOLD



ANCHOR BOLT PLAN  
 NOTE: Base Plates @ 100'-0" (0.14)

FOR APPROVAL ONLY  
 NOT FOR CONSTRUCTION  
 If customer pours off this  
 plan customer is responsible  
 for any possible changes



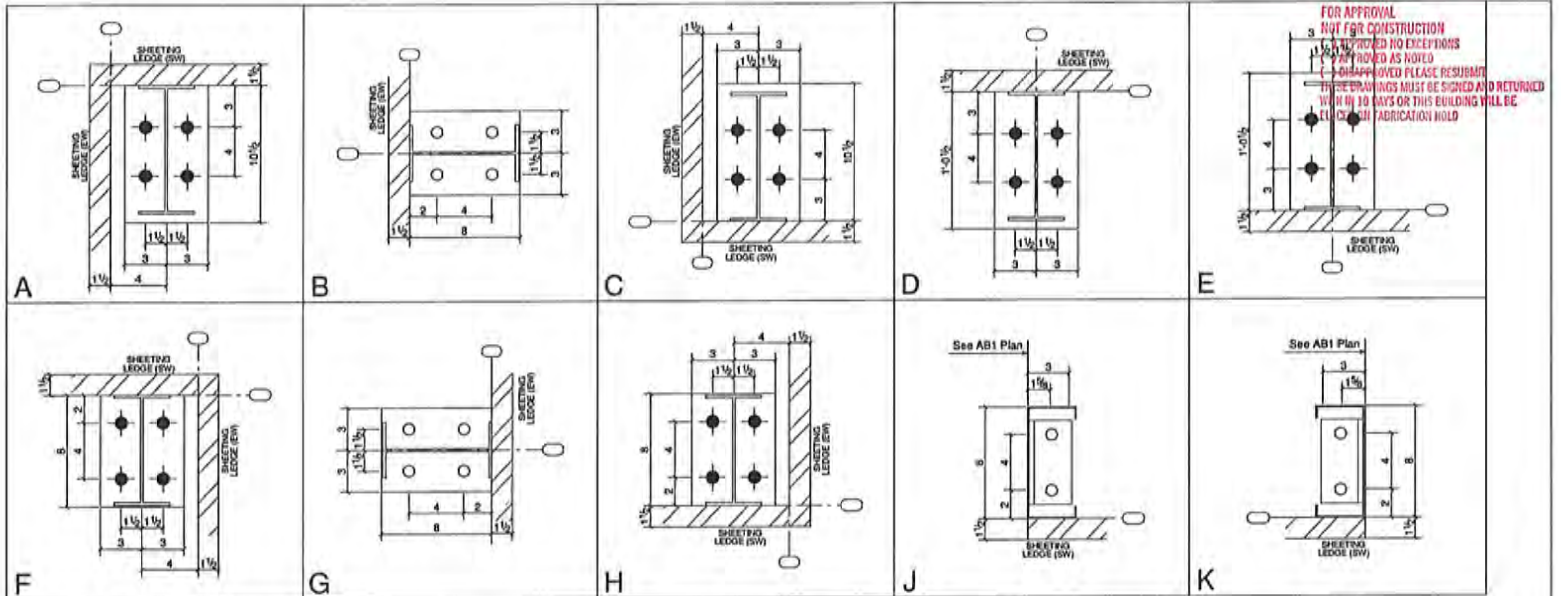
ANCHOR BOLT SUMMARY		
QTY	LOCATION	DIA
0	B JAMB	5/8"
0	B ENDWALL	5/8"
8	B ENDWALL	3/4"
16	MAINFRAME	3/4"

For Visual Purposes, Base Plate Views  
 may be Exaggerated Beyond Dwg Scale

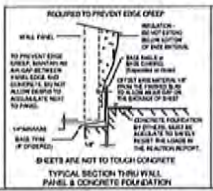
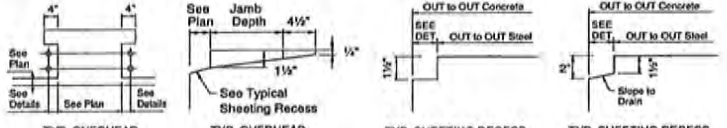
REV	DATE	DESCRIPTION
0	04/07/2020	For Approval

**MUELLER, INC.**  
 STEEL BUILDING SYSTEMS & COMPONENTS  
 1013 Hutchins Ave. Ballinger, TX 76021  
 (800) 372-1052

DESIGNED BY	WOLFGANG WILHELM	SCALE	AS SHOWN
DRAWN BY	ROBERT JALOMO	DATE	04/07/2020
CHECKED BY	TORRES WELDON	PROJECT	5819998
DATE	04/07/2020	DWG NO.	AB1
SCALE	1:50	SHEET	0

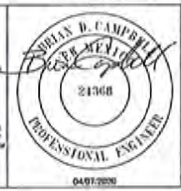


FOR APPROVAL  
NOT FOR CONSTRUCTION  
IF APPROVED NO EXCEPTIONS  
IF APPROVED AS NOTED  
IF DISAPPROVED PLEASE RESUBMIT  
THREE DRAWINGS MUST BE SIGNED AND RETURNED  
WITHIN 10 DAYS OR THIS BUILDING WILL BE  
CLOSED ON FABRICATION HOLD



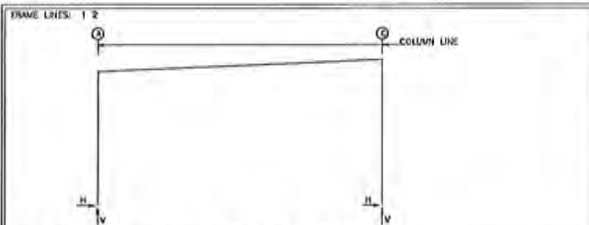
**GENERAL NOTES**

1. Foundation design and construction are not the responsibility of MUELLER, INC.
2. The building structural data, including the location of any foundation anchors, is the responsibility of the building designer.
3. Anchor bolts shall be minimum of 1/2" diameter and 12" long.
4. Column base plates are designed not to exceed a bearing pressure of 1125 pounds per square inch.
5. Anchor bolt sizes are based on the assumed design strength being a minimum of 3000 psi. Anchor size of the anchor bolts and adequacy of any foundation anchors (including anchor bolts, drive pins, or any other foundation anchorage provided by MUELLER, INC.) is solely the responsibility of the foundation designer and/or contractor.



0	04/07/2020	For Approval
REV	DATE	DESCRIPTION
<b>MUELLER, INC.</b>		
STEEL BUILDING DESIGN & COMPONENTS		
1913 Hutchins Ave., Ballinger, TX 76821		
(800) 527-1081		
DRAWING DESCRIPTION		
ANCHOR BOLT DETAILS	NO. OF SHEETS: 30" X 40" X 14" X 15" X 15"	NO. OF REVISIONS: 0
DESIGNED BY: ROBERT HALCHO	DATE: 04/07/2020	NO. OF SHEETS: 1
CHECKED BY: ROBERT HALCHO	DATE: 04/07/2020	NO. OF SHEETS: 1
DATE: 04/07/2020	NO. OF SHEETS: 1	NO. OF SHEETS: 1

○ DIA = 5/8"  
◆ DIA = 3/4"



**RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES**

Frame Line	Col Line	Load ID	Col. Reactions (k)	Anchor Qty	Anchor Dia	Base Plate (in)	Embed
1	A	4	1.7 0.4 8 -1.7 -0.8	4	0.750	8.000 10.50 0.500 0.0	
1	C	7	1.5 0.1 5 -1.6 1.5	4	0.750	8.000 10.50 0.500 0.0	
1	C	1	-1.0 3.8 9 0.8 -3.4				

**RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES**

Frame Line	Col Line	Load ID	Col. Reactions (k)	Anchor Qty	Anchor Dia	Base Plate (in)	Embed
2	A	2	2.7 2.2 8 -3.3 -0.7	4	0.750	8.000 12.50 0.500 0.0	
2	C	7	1.9 0.8 2 -2.3 0.8	4	0.750	8.000 12.50 0.500 0.0	
2	C	1	-1.5 8.4 9 0.1 -8.9				

**RIGID FRAME: BASIC COLUMN REACTIONS (k)**

Frame Line	Col Line	Dead	Live	Snow	Wind Left	Wind Right	Seismic Long	Seismic Short
1	A	0.3	0.7	0.1	0.2	0.9	2.8	0.2
1	C	-0.2	0.7	-0.1	0.2	-0.7	2.8	-0.2
2	A	0.3	0.7	0.1	0.2	0.9	2.8	0.2
2	C	-0.2	0.7	-0.1	0.2	-0.7	2.8	-0.2

**ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)**

Frame Line	Col Line	Dead	Live	Snow	Wind Left	Wind Right	Wind Press	Wind Suck	Wind Long1	Wind Long2
1	A	0.1	1.2	0.3	-1.5	-2.2	-1.7	1.8	-2.2	-1.3
1	C	0.4	0.1	1.2	0.3	-1.5	-2.2	-1.7	1.8	-2.2
1	C	0.4	0.1	1.2	0.3	-1.5	-2.2	-1.7	1.8	-2.2
1	C	0.3	0.1	1.2	0.3	-1.5	-2.2	-1.7	1.8	-2.2

**ENDWALL COLUMN: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES**

Frame Line	Col Line	Load ID	Column Reactions (k)	Anchor Qty	Anchor Dia	Base Plate (in)	Embed
1	B	11	1.8 0.1 12 -1.8 0.1	4	0.625	8.000 8.000 0.500 0.0	
1	C	14	3.1 -1.3 15 -1.0 -1.1	4	0.750	8.000 8.000 0.500 0.0	
1	B	11	1.8 -2.4 15 -1.7 -3.4	4	0.625	8.000 8.000 0.500 0.0	
1	A	11	1.0 -1.3 15 -0.9 -1.1	4	0.750	8.000 8.000 0.500 0.0	

**BUILDING BRACING REACTIONS**

Frame Line	Col Line	Wind	Seismic	Panel Shear (k)	Note
1	A	2.1	4.1	3.6	0.5

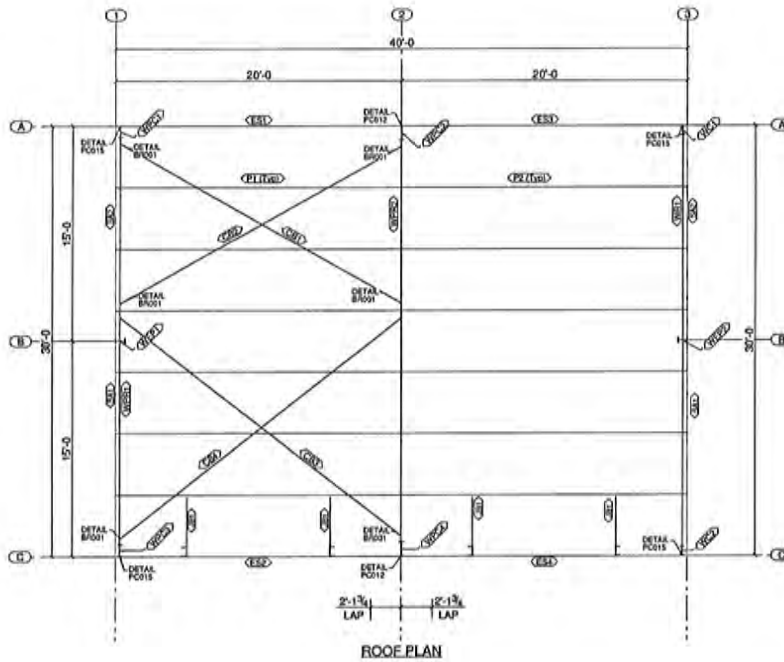
**LOAD COMBINATION APPROVAL**  
 NOT FOR CONSTRUCTION  
 APPROVED FOR EXCEPTIONS  
 PLEASE RESUBMIT  
 WITH IN 30 DAYS OR THIS BUILDING WILL BE  
 PLACED ON FABRICATION HOLD



0	04/27/2020	For Approval
REV	DATE	DESCRIPTION
<b>MUELLER, INC.</b>		
1013 Bute-Hick Hwy. Lubbock, TX 79602		
(806) 522-4007		
DESIGNED BY	DATE	SCALE
ROBERT MALONI	04/27/2020	5/8" = 1'-0"
CHECKED BY	DATE	SCALE
TORRES WILSON		
DATE	SCALE	REVISION
04/27/2020		5819998

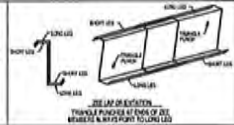
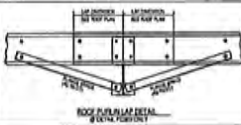


FOR APPROVAL  
 NOT FOR CONSTRUCTION  
 ( ) APPROVED NO EXCEPTIONS  
 ( ) APPROVED AS NOTED  
 ( ) DISAPPROVED PLEASE RESUBMIT  
 THESE DRAWINGS MUST BE SIGNED AND RETURNED  
 WITHIN 10 DAYS OR THIS BUILDING WILL BE  
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ROOF PLAN

Qty	Mark	Profile	Finish	Length
1	CB1	CB5180	OZ	27'-4 1/8"
1	CB2	CB5180	OZ	27'-4 1/8"
1	CB3	CB140	OZ	27'-4 1/8"
1	CB4	CB140	OZ	27'-11 1/8"
1	ES1	81E140D-1	RO	19'-11 1/2"
1	ES2	81E140D-1	RO	19'-11 1/2"
1	ES3	81E140D-1	RO	19'-11 1/2"
1	ES4	81E140D-1	RO	19'-11 1/2"
4	P1	2X2L15	RO	4'-0 3/8"
8	P2	8X2S18	RO	27'-1 1/2"
8	P2	8X2S18	RO	27'-1 1/2"
2	EA1	L4X2-14GA	RO	21'-3 1/2"
2	EA2	L4X2-14GA	RO	8'-5 1/8"



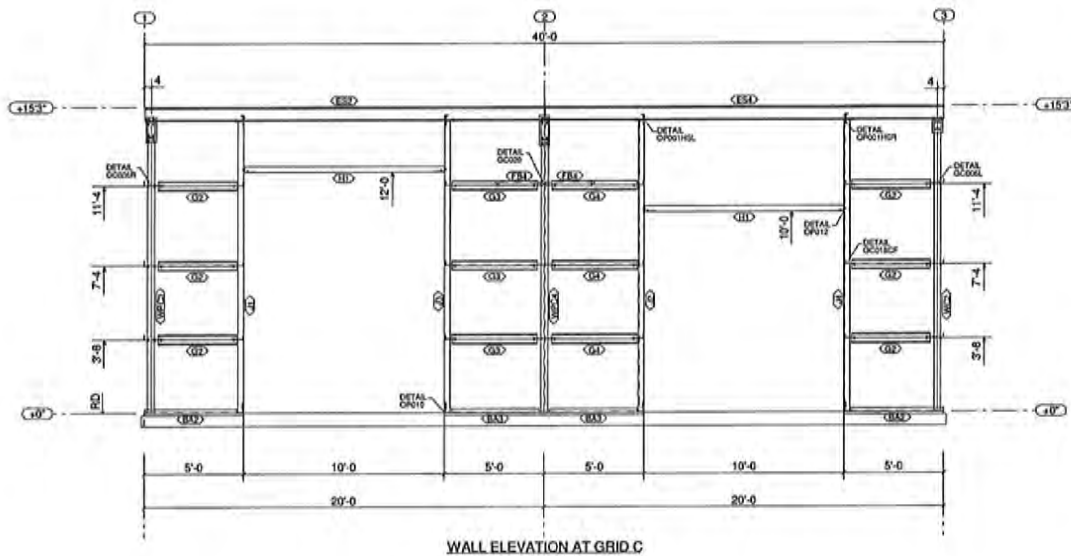
REV	DATE	DESCRIPTION
0	04/07/2020	For Approval

**MUELLER, INC.**  
 STEEL BUILDING SYSTEMS & COMPONENTS  
 8013 Hutchins Ave. Dallas, TX 75271  
 (800) 321-4905

DESIGNED BY: ROBERT MALOJA  
 DRAWN BY: TORRES WELDRITZ  
 CHECKED BY: TRO

PROJECT: 5819998  
 DATE: 04/07/2020  
 SHEET: E1 OF 0

FOR APPROVAL  
 NOT FOR CONSTRUCTION  
 ( ) APPROVED NO EXCEPTIONS  
 ( ) APPROVED AS NOTED  
 ( ) DISAPPROVED PLEASE RESUBMIT  
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 WITHIN 10 DAYS OR THIS DRAWING WILL BE  
 PLACED ON FABRICATION HOLD



WALL ELEVATION AT GRID C

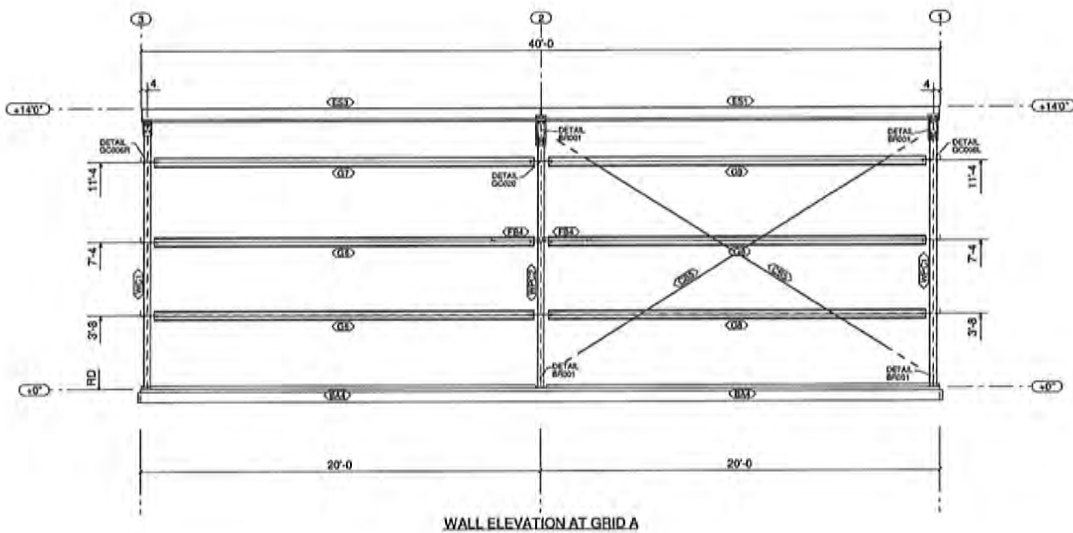
Qty	Mark	Profile	Finish	Length
2	BA2	L402x140A	RO	4-2 1/2"
2	BA3	L402x140A	RO	4-4 1/2"
2	FB4	2x6L12	RO	7-9 1/2"
6	Q2	#225C16	RO	3-11 5/8"
3	Q3	#225C16	RO	4-3 5/8"
3	Q4	#225C16	RO	4-3 5/8"
2	H1	#335C14	RO	3-11 1/2"
1	J1	#335C12	RO	16-8 5/8"
1	J2	#335C12	RO	16-8 5/8"
1	J3	#335C12	RO	16-8 5/8"
1	J4	#335C12	RO	16-8 5/8"



REV	DATE	For Approval	DESCRIPTION
0	04/07/2020		
<b>MUELLER, INC.</b> STEEL BUILDING SYSTEMS & COMPONENTS			
1013 Bluthorn Ave., Ballinger, TX 76012 (800) 527-4057			
ISSUED DESCRIPTION			
WALL ELEVATION AT GRID C		SCALE DESCRIPTION	NO. OF SHEETS
DESIGNED BY: ROBERT MALONZ		20'-0" X 40'-0" X 14'-0" X 15'-0"	0-50-12
CHECKED BY: TONYA WILSON		DATE	SHEET
TRG		04/27/2020	1-25
		DATE	DATE
		5819998	E2
			0



FOR APPROVAL  
 NOT FOR CONSTRUCTION  
 ( ) APPROVED NO EXCEPTIONS  
 ( ) APPROVED AS NOTED  
 ( ) DISAPPROVED PLEASE RESUBMIT  
 THESE DRAWINGS MUST BE SIGNED AND RETURNED  
 WITH IN 30 DAYS OR THIS BUILDING WILL BE  
 PLACED ON FABRICATION HOLD



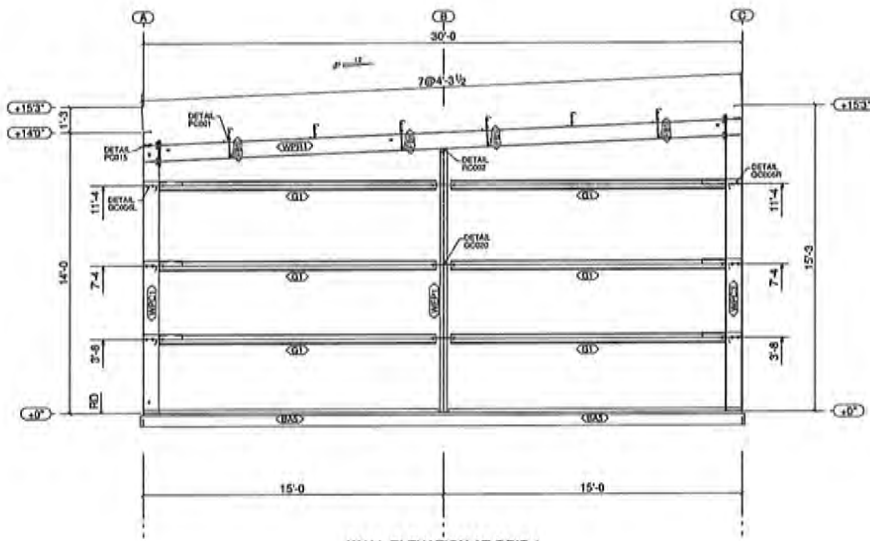
WALL ELEVATION AT GRID A

Bill of Materials				
Qty	Mark	Profile	Finish	Length
2	BA4	L4X2X14SA	RO	18'-8 1/2"
2	CB5	C8X10	OE	21'-4 1/2"
2	FB4	2X2L12	RO	9'-5 1/2"
2	GB	8X2S14	RO	18'-11 5/8"
1	GT	8X2S16	RO	18'-11 5/8"
2	GB	8X2S14	RO	18'-11 5/8"
1	GT	8X2S16	RO	18'-11 5/8"



REV	DATE	DESCRIPTION	FOR APPROVAL
0	04/07/2020		For Approval
<b>MUELLER, INC.</b> STEEL BUILDING SYSTEMS & COMPONENTS 1013 Butcher Ave. - Dallas, TX 75221 (800) 327-4057			
DRAWING DESCRIPTION WALL ELEVATION AT GRID A		SCALE DESCRIPTION 3/8" = 1'-0" X 1/4" = 1'-0" X 1/4" = 1'-0"	SHOP DRAWING 05012
DESIGNED BY ROBERT JALONAS	CHECKED BY TOBIAS WELDRITZ	DATE 04/07/2020	PROJECT NO. 5819998
DRAWN BY TRG	DATE 04/07/2020	PROJECT NO. 5819998	SHEET NO. E3
			TOTAL SHEETS 0

FOR APPROVAL  
 NOT FOR CONSTRUCTION  
 ( ) APPROVED NO EXCEPTIONS  
 ( ) APPROVED AS NOTED  
 ( ) DISAPPROVED PLEASE RESUBMIT  
 THESE DRAWINGS MUST BE SIGNED AND RETURNED  
 WITHIN 10 DAYS OR THIS BUILDING WILL BE  
 PLACED ON FABRICATION HOLD



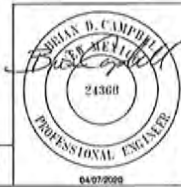
WALL ELEVATION AT GRID 1

"THIS ENDWALL FRAME IS NOT EXPANDIBLE"

Qty	Mark	Profile	Finish	Length
1	WEP1	W8X10	RO	
1	WPC1	W10X12	RO	
1	WPC3	W10X12	RO	
1	WPR1	W10X12	RO	
2	BAS	L4X2X1/4GA	RO	14'-3 1/2"
4	FBI	2X3 1/2	RO	1'-4 1/2"
6	GI	8X2S216	RO	17'-9 1/2"

Detail ID	Bolting Parts	Bolt Description
	WPR1 → WEP1	3 - 5/8" x 1/2" A307A

ALL ENDWALL COLUMNS AND JAMBS ARE DESIGNED AS "POSTS" AS DEFINED BY OSHA AND ARE NOT INTENDED TO BE CLIMBED ON UNTIL FULLY BRACED.



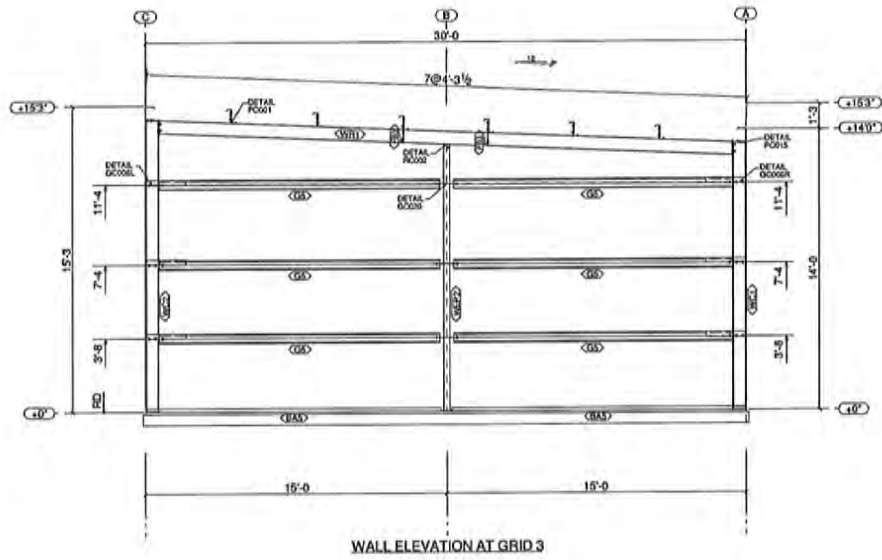
REV	DATE	DESCRIPTION
0	04/07/2020	For Approval

**MUELLER, INC.**  
 STEEL BUILDING SYSTEMS & COMPONENTS  
 8113 Hutchins Ave., Houston, TX 77021  
 (800) 325-1055

DESCRIPTION	QUANTITY	UNIT
WALL ELEVATION AT GRID 1	1	EA
ROBERT MALOMO	30'-0" X 42'-0" X 14'-0" X 12'-0"	0.50-12
TORRES WELDFITZ	LAS CRUCES, NM 87009	1.25
TRG	5819998	E4
		0



FOR APPROVAL  
 NOT FOR CONSTRUCTION  
 ( ) APPROVED NO EXCEPTIONS  
 ( ) APPROVED AS NOTED  
 ( ) DISAPPROVED PLEASE RESUBMIT  
 THESE DRAWINGS MUST BE SIGNED AND RETURNED  
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 PLACED ON FABRICATION HOLD



WALL ELEVATION AT GRID 3

Qty	Mark	Profile	Finish	Length
1	WB1	WBX19	RO	
1	WB2	WBX19	RO	
1	WB3	WBX19	RO	
1	WB4	WBX19	RO	
2	BAS	L4X2X1/4GA	RO	16'-8 1/2"
2	FAB	2X12 12	RO	2'-0"
4	CS	8X25216	RO	17'-11 3/16"

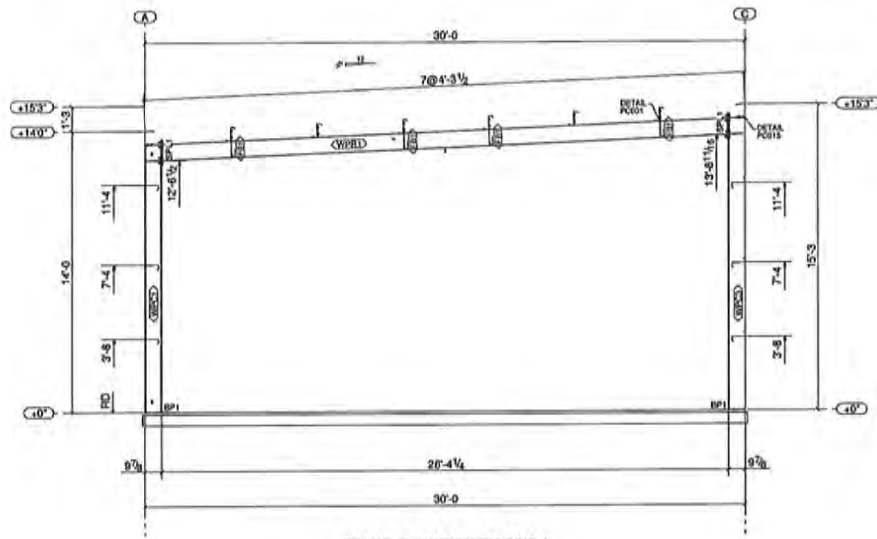
Component Bolt Table		
Detail ID	Bolting Parts	Bolt Description
DC0012	WB1 → WB2	2 - 5/8" x 1/2" A325H

ALL ENDWALL COLUMNS AND JUMBS ARE DESIGNED AS "POSTS" AS DEFINED BY OSHA AND ARE NOT INTENDED TO BE CLIMBED ON UNTIL FULLY BRACED.



0	04/07/2020	For Approval
REV	DATE	DESCRIPTION
<b>MUELLER, INC.</b> STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave., Ballinger, TX 76821 (800) 857-1657		
DRAWING DESCRIPTION <b>WALL ELEVATION AT GRID 3</b>		SHEET DESCRIPTION 30'-0" X 42'-0" X 14'-0" X 12'-0"
DESIGNER <b>ROBERT MALCOM</b>		SHEET NO. <b>050012</b>
CHECKED BY <b>TOBBIE WELCH</b>		PROJECT NO. <b>145 CRUKES, HARRISBURG</b>
ESTIMATOR <b>TRG</b>	DATE <b>04/07/2020</b>	SHEET NO. <b>5819998</b>
		TOTAL SHEETS <b>E5</b>
		SHEET NO. <b>0</b>

FOR APPROVAL  
 NOT FOR CONSTRUCTION  
 ( ) APPROVED NO EXCEPTIONS  
 ( ) APPROVED AS NOTED  
 ( ) DISAPPROVED PLEASE RESUBMIT  
 THESE DRAWINGS MUST BE SIGNED AND RETURNED  
 WITH IN 30 DAYS OR THIS BUILDING WILL BE  
 PLACED ON FABRICATION HOLD



FRAME ELEVATION ON GRID 1  
 "THIS ENDWALL FRAME IS NOT EXPANDABLE"

Qty	Mark	Profile	Finish	Length
1	WPC1	W10X12	RO	
1	WPC3	W10X12	RO	
1	WPC11	W10X12	RO	
4	FBI	2X4-12	RO	24'-6"

Mark	Plate Profile	Bolt Description
BPI	PL 1/2" X 4" X 10 1/2"	REF. AN PLAN
SPL1	PL 1/2" X 4" X 15 1/2"	Ø - 3/4" X 2 1/2" A325/A
SPL1	PL 1/2" X 4" X 15 1/2"	Ø - 3/4" X 2 1/2" A307/A



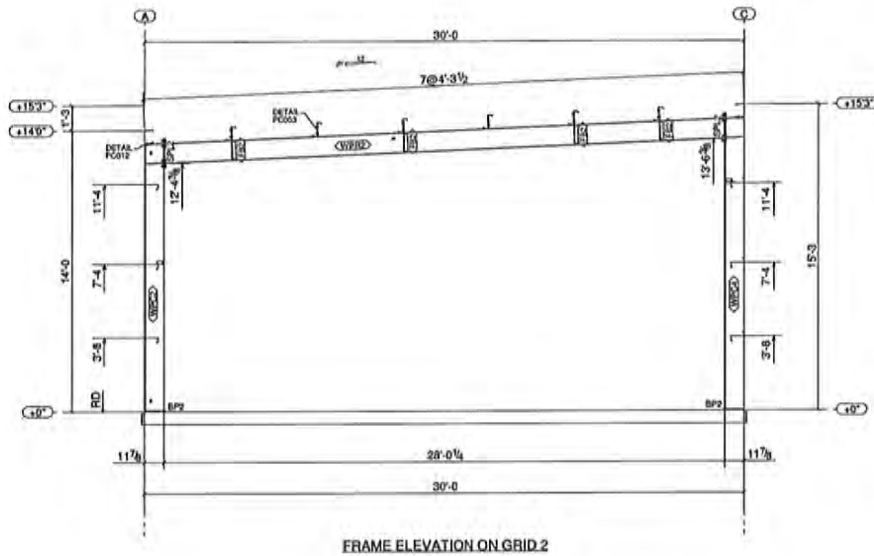
REV	DATE	DESCRIPTION
0	04/07/2020	For Approval

**MUELLER, INC.**  
 STEEL BUILDING SYSTEMS & COMPONENTS  
 1913 Hurl-Haley Ave., Dallas, TX 75221  
 (800) 527-1057

PROJECT DESCRIPTION	FRAME ELEVATION ON GRID 1	PROJECT NUMBER	5819998
CLIENT	ROBERT JALOMD	DATE	04/07/2020
DESIGNER	TOBIAS WELDRY	SCALE	1/8" = 1'-0"
TRG		DATE	04/07/2020
DATE	04/07/2020	SCALE	1/8" = 1'-0"
PROJECT NUMBER	5819998	SCALE	1/8" = 1'-0"
DATE	04/07/2020	SCALE	1/8" = 1'-0"
PROJECT NUMBER	5819998	SCALE	1/8" = 1'-0"
DATE	04/07/2020	SCALE	1/8" = 1'-0"



FOR APPROVAL  
 NOT FOR CONSTRUCTION  
 ( ) APPROVED NO EXCEPTIONS  
 ( ) APPROVED AS NOTED  
 ( ) DISAPPROVED PLEASE RESUBMIT  
 THESE DRAWINGS MUST BE SIGNED AND RETURNED  
 WITH IN 10 DAYS OR THIS BUILDING WILL BE  
 PLACED ON FABRICATION HOLD



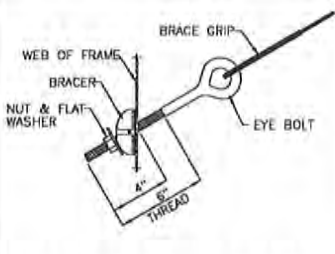
FRAME ELEVATION ON GRID 2

Qty	Mark	Profile	Finish	Length
1	WPC2	W12X14	RO	
1	WPC4	W12X14	RO	
1	WPA2	W12X14	RO	
2	RD	20X12	RO	2'-3 1/2"

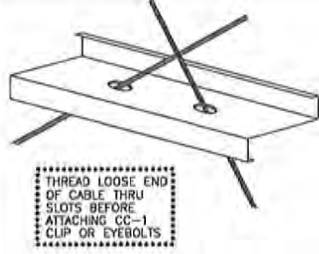
Connection Plate and Bolt Table		
Mark	Plate Profile	Bolt Description
BP2	PL1/2"x6" x 12 1/2"	REV. AS PLAN
SPL	PL1/2"x6" x 10"	8 - 3/4" x 2 1/2" A325H
SPL	PL1/2"x6" x 10"	8 - 3/4" x 2 1/2" A325H



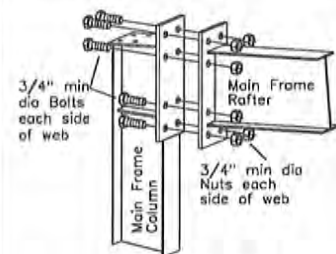
REV	DATE	DESCRIPTION	FOR APPROVAL
0	04/07/2020		
<b>MUELLER, INC.</b> STEEL BUILDING SYSTEMS & COMPONENTS 1813 Hutchins Ave. Ballinger, TX 76021 (800) 537-1057			
DESIGN DESCRIPTION <b>FRAME ELEVATION ON GRID 2</b>		SCALE/DESCRIPTION	NOY RESP
DESIGNER <b>ROBERT MALOMO</b>		30'-0" X 48'-0" X 14'-0" X 15'-0"	0.50-12
CHECKER <b>TORRES WELDON Z</b>		LAS GRUBBS, MM 80009	1.25
TRG	DATE 04/07/2020	NO 5819998	REV E7 0



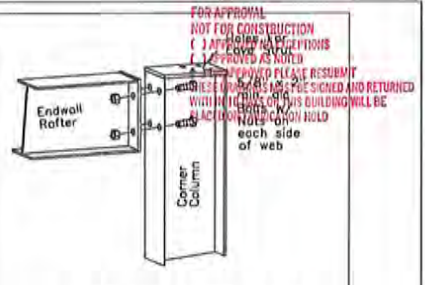
**BR001** CABLE TO COLUMN OR RAFTER WEB WITH EYEBOLT ATTACHMENT



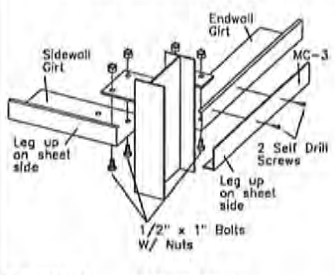
TYPICAL CABLE BRACE SLOT IN GIRT



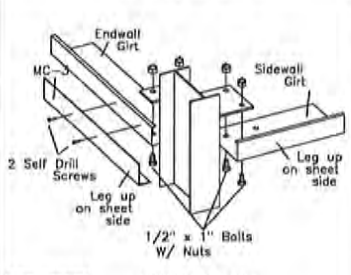
TYPICAL FLUSH COLUMN TO MAINFRAME RAFTER



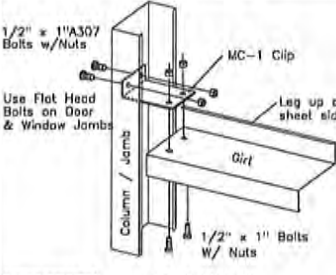
TYPICAL FLUSH CORNER COLUMN TO STANDARD ENDWALL RAFTER



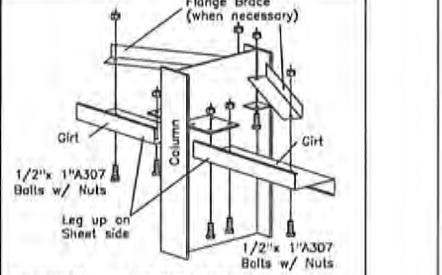
**GC006L** CORNER COLUMN TO WALL GIRTS



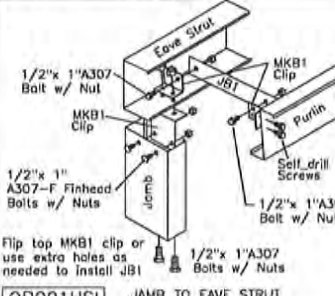
**GC006R** CORNER COLUMN TO WALL GIRTS



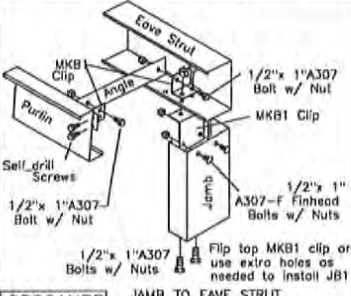
**GC018CF** JAMB / COLUMN TO WALL GIRT



**GC020** INTERIOR COLUMN TO WALL GIRT

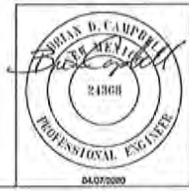


**OP001HSL** JAMB TO EAVE STRUT WITH ANGLE BRACE



**OP001HSR** JAMB TO EAVE STRUT WITH ANGLE BRACE

ALL A325 STRUCTURAL BOLT CONNECTIONS SHOWN IN THESE DETAILS HAVE STANDARD MINIMUM BOLT INFORMATION. FOR SPECIFIC BOLT QUANTITIES AND AND SIZES, REFER TO COMPONENT BOLT TABLES LOCATED ON FRAME AND WALL ELEVATION DWGS.

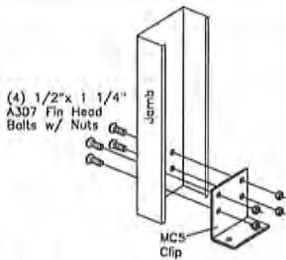


REV	DATE	DESCRIPTION
0	04/07/2020	For Approval

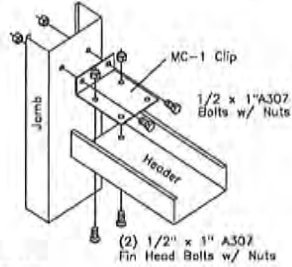
**MUELLER, INC.**  
 STEEL BUILDING SYSTEMS & COMPONENTS  
 1943 Rutledge Ave. Houston, TX 77021  
 281.527-1087

PROJECT	NO. OF SHEETS	SHEET NO.
ERECTOR DETAILS	30'-0" X 40'-0" X 14'-0" X 10'-0"	0-00-12
ROBERT ALCAHO	LAZ CRUGES, ILM 88005	NOVE
TORRES WELDON	581998B	E101
DATE	04/07/2020	REV
0		

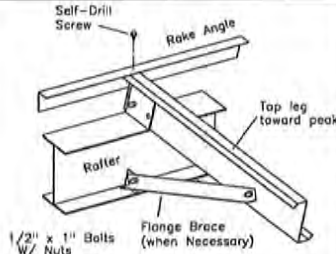




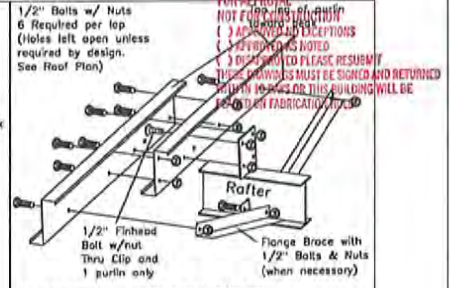
**OP010** BASE TO JAMB



**OP012** HEADER TO JAMB

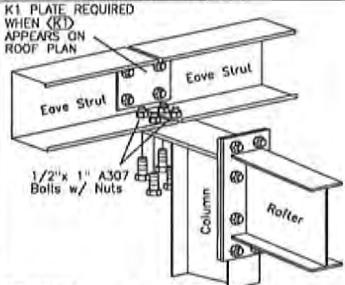


**PC001** ENDWALL RAFTER TO ROOF PURLIN

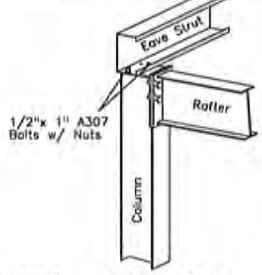


**PC003** INTERIOR RAFTER TO ROOF PURLIN

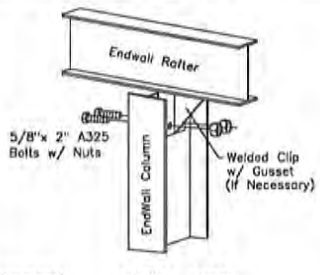
FOR APPROVAL  
NOT FOR CONSTRUCTION  
IF ANY CHANGES ARE MADE  
OR DEVIATIONS FROM THE NOTES  
THESE PRINTS MUST BE SIGNED AND RETURNED  
TO THE FABRICATOR



**PC012** INTERIOR FRAME COLUMN TO EAVE STRUTS

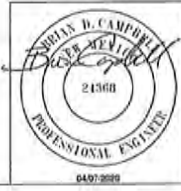


**PC015** ENDWALL CORNER COLUMN TO EAVE STRUT



**RC002** ENDWALL RAFTER TO COLUMN

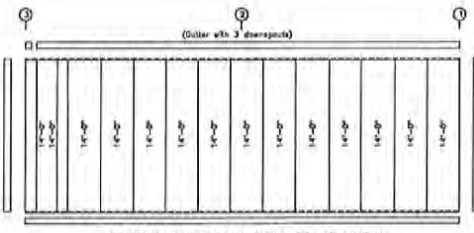
ALL A325 STRUCTURAL BOLT CONNECTIONS SHOWN IN THESE DETAILS HAVE STANDARD MINIMUM BOLT INFORMATION. FOR SPECIFIC BOLT QUANTITIES AND AND SIZES, REFER TO COMPONENT BOLT TABLES LOCATED ON FRAME AND WALL ELEVATION DWGS.



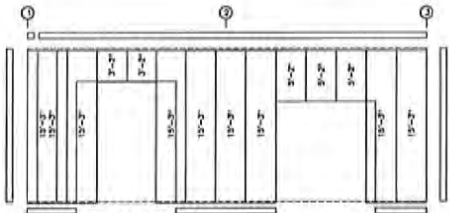
REV	DATE	DESCRIPTION
0	04/07/2020	For Approval

**MUELLER, INC.**  
STEEL BUILDING SYSTEMS & COMPONENTS  
1923 HUMPHREY AVE., DALLAS, TX 75221  
(202) 557-1082

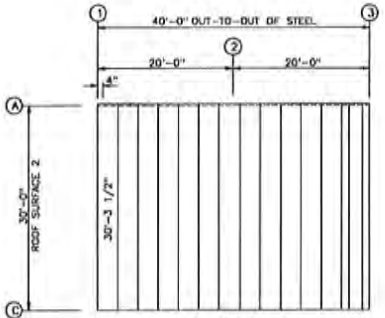
DESIGN: SCOTT FRENZ	DRAWING NUMBER: 581999B	PROJECT: E102
ERECTOR: ROBERT JALCINO	DATE: 04/07/2020	REV: 0
TECH: JAMES WELLS	SCALE: 1/8\"/>	



SIDEWALL SHEETING & TRIM: FRAME LINE A  
PANELS: 28 Co. R - DIN Desert Tan



SIDEWALL SHEETING & TRIM: FRAME LINE C  
PANELS: 28 Co. R - DIN Desert Tan



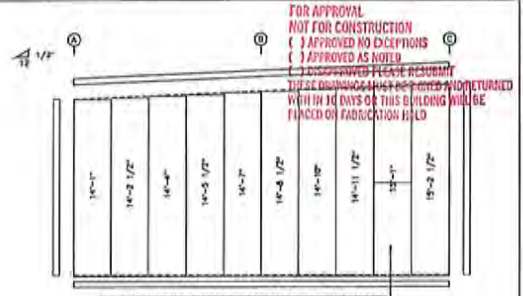
ROOF SHEETING PLAN  
PANELS: 28 Co. R - GRN Colony Green

**GENERAL NOTES:**

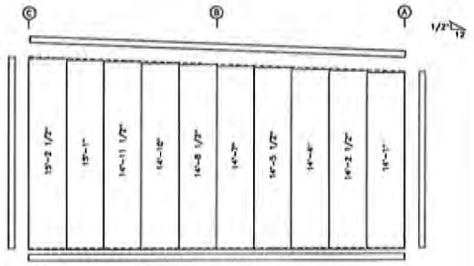
"CAUTION"  
THE FOLLOWING MAXIMUM ADDITIONAL LINEAR FOOTAGE MEASURED (HORIZONTAL) OF PANELS MAY BE REMOVED FOR FIELD LOCATED FRAMED OPENINGS WITHOUT AFFECTING THE DIAPHRAGM STRENGTH OF THE PANELS.

LEFT ENDWALL: NA  
RIGHT ENDWALL: 0

ROOF SLOPES GREATER THAN 1:12 REQUIRE ENDWALL PANELS BE FIELD CUT TO MATCH ROOF SLOPE.

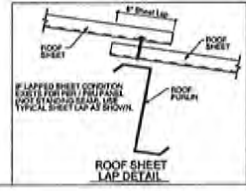


ENDWALL SHEETING & TRIM: FRAME LINE 1  
PANELS: 28 Co. R - DIN Desert Tan



ENDWALL SHEETING & TRIM: FRAME LINE 3  
PANELS: 28 Co. R - DIN Desert Tan

FOR APPROVAL  
NOT FOR CONSTRUCTION  
( ) APPROVED NO EXCEPTIONS  
( ) APPROVED AS NOTED  
IF APPROVED PLEASE RESUBMIT  
THESE DRAWINGS WITH REVISIONS  
WITHIN 30 DAYS OF THIS BUILDING BEING  
FINISHED OR FABRICATION IS TO

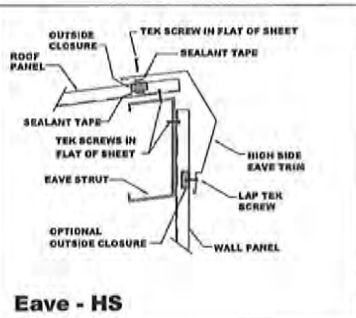


REV	DATE	DESCRIPTION
0	04/07/2020	For Approval

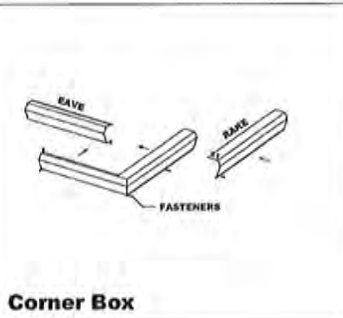
**MUELLER, INC.**  
STEEL BUILDING SYSTEMS & COMPONENTS  
1919 Rutledge Ave. Haltom City, TX 76111  
(800) 525-1007

PROJECT	DATE	NO.	REV.
TRD	04/07/2020	5819998	S101

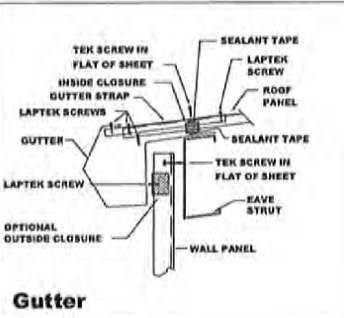
ROOF SHEET: 0 50-12  
SHEET: NONE  
REV: 0



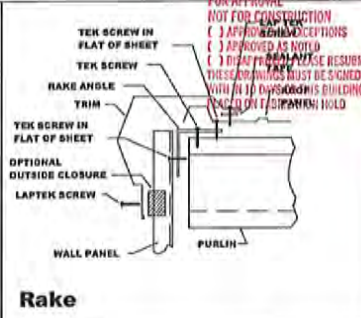
**Eave - HS**



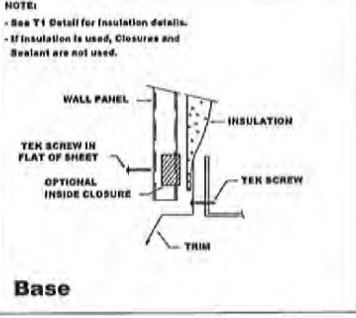
**Corner Box**



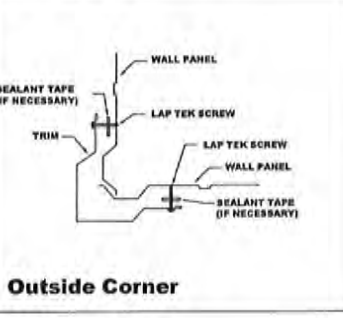
**Gutter**



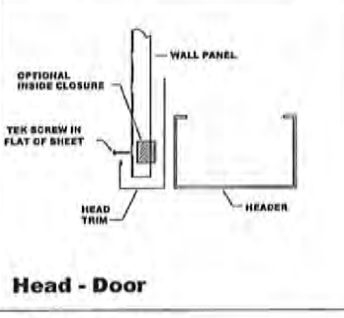
**Rake**



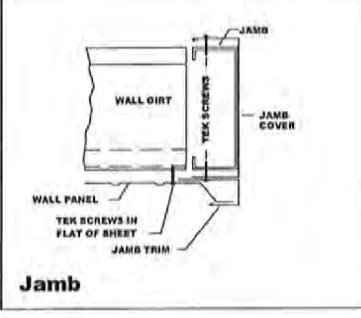
**Base**



**Outside Corner**



**Head - Door**

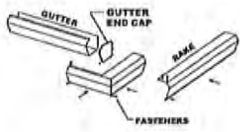


**Jamb**

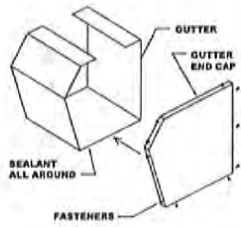
FOR APPROVAL  
 NOT FOR CONSTRUCTION  
 ( ) APPROVED AS SHOWN  
 ( ) APPROVED AS NOTED  
 THESE DRAWINGS MUST BE SIGNED AND RETURNED WITH ALL DIMENSIONS HOLD  
 ( ) APPROVED AS NOTED  
 ( ) APPROVED AS SHOWN

REV	DATE	DESCRIPTION
0	04/07/2020	For Approval
<b>MUELLER, INC.</b> STEEL BUILDING SYSTEMS & COMPONENTS 1013 Bulfinch Ave. Dallas, TX 75201 (800) 527-1001		
DRAWING SPECIFIC INFORMATION		
<b>TRIM DETAILS</b>		
DESIGNED BY	ROBERT JALCADO	30'-0" X 42'-0" X 14'-0" X 12'-0"
ENGINEERED BY	TOBIAS WELDRITZ	LAS CRUCES, NM 87001
DATE	04/07/2020	5819998
PROJECT	T101	0

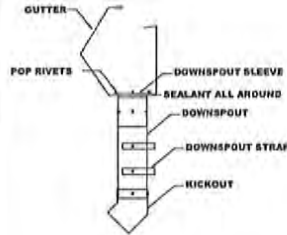




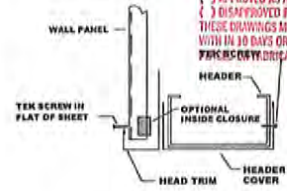
**Corner Box**



**Gutter End Cap**



**Downspout**



**Head Cover - Door**

FOR APPROVAL  
 NOT FOR CONSTRUCTION  
 ( ) APPROVED NO EXCEPTIONS  
 ( ) APPROVED AS NOTED  
 ( ) DISAPPROVED PLEASE RESUBMIT  
 THESE DRAWINGS MUST BE SIGNED AND RETURNED  
 WITH IN 10 DAYS OR THIS BELONG WILL BE  
 YOURS BY DISCRETION HOLD

REV	DATE	DESCRIPTION
0	04/07/2020	For Approval
<b>MUELLER, INC.</b> STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave., Dallas, TX 75221 (972) 557-1000		
DRAWN BY: TRM CHECKED BY: ROBERT MALOMO TITLE: THURSDAY WELDED TRG DATE: 04/07/2020		
SCALE: 1/8" = 1'-0" PROJECT: LAS CRUCES, NM 82006		SHEET: 5819998 OF: 1102 REV: 0

TOWN OF MESILLA

APPLICATION FOR RESIDENTIAL BUILDING PERMIT

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061040 ZONE: RF CODE: ACC APPLICATION DATE: 4/22/20

XAVIER JURADO

Name of Applicant

1575 644 8954

Applicant's Telephone Number

2102 Stithes Rd. Las Cruces New Mex. 88005

Mailing Address

City

State

Zip Code

TORRES Welding, inc. PO Box 383 Fairacres, New Mexico 88033

Contractor's Name & Address (If none, indicate Self)

575 5261648

Contractor's Telephone Number

85-0450878

Contractor's Tax ID Number

80673

Contractor's License Number

Address of Proposed Work: 1401 Boutz

Description of Proposed Work: 30' x 40' METAL STORAGE BUILDING

\$ 30,000.

Estimated Cost

Samuel Torres  
Signature of Applicant CONTRACTOR

4-16-20  
Date

With the exception of administrative approvals, all permit applications must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved Date: _____
	<input type="checkbox"/> Approved Date: _____		<input type="checkbox"/> Disapproved Date: _____
	<input type="checkbox"/> Disapproved Date: _____		<input type="checkbox"/> Approved with Conditions
	<input type="checkbox"/> Approved with conditions		

CONDITIONS: PZHAC REVIEW & APPROVAL REQUIRED  
CID PERMIT REQUIRED  
TH

REVIEW ISSUED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_  
PERMIT ISSUED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

- This application includes:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. Foundation Plan with details.
  3. Floor Plans showing rooms, their uses and dimensions.
  4. Cross Sections of walls.
  5. Roof and floor framing plan. (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
  6. Drainage plan.
  7. Architectural style and color scheme (Historical and commercial zones only).
  8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).