



THE BOARD OF TRUSTEES OF THE TOWN OF MESILLA WILL HOLD A REGULAR MEETING ON MONDAY, APRIL 13, 2020 AT 6:00 P.M. VIA TELECONFERENCE 1-346-248-7799, MEETING ID 308-193-527#.

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL & DETERMINATION OF A QUORUM
3. CHANGES TO THE AGENDA & APPROVAL
4. PRESENTATIONS:
 - a) A presentation of the Town of Mesilla's 2019 Audit – **Mariam Tall, Harshwal & Company, LLP.**
5. PUBLIC INPUT – The public is invited to address the Board for up to 3 minutes.
Public input shall be received at cynthias-h@mesillanm.gov by 5:00 p.m., April 13th and will be read into the record.
6. *APPROVAL OF CONSENT AGENDA – (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk *):
 - a) * **BOT Minutes** – Minutes of a Work Session & Regular Meeting on March 9, 2020.
***Building Permits:**
 - b) ***PZHAC Case 061024** – 2000 Calle de Parian, submitted by Julienne Hadfield; a request for a zoning permit to renovate the second floor of a commercial building at this address. Zoned: Historical Commercial (HR).
 - c) ***PZHAC Case 061028** – 2305 Calle de Colon, submitted by Gerard Nevarez; a request for a zoning permit to install a decorative panel at this address; Zoned: Historic Residential (HR).
***Sign Permits:**
 - d) ***PZHAC Case 061023**– 2488 Calle de Guadalupe, submitted by Joseph Foster for “Psychology Consulting Options”; a request for a sign permit for a therapist practice at this address. Zoned: Historical Commercial (HC)
 - e) ***PZHAC Case 060125** – 2601-3 Calle de Santiago, submitted by Kerry Carman for “Co-Lab Artisan’s Loft”; a request for a zoning permit to install a hanging sign at this address. Zoned: Historical Commercial (HC)
7. NEW BUSINESS:
 - a) Discussion regarding budget for FY 2020. – **Nora L. Barraza, Mayor.**
 - b) **Resolution 2020-07:** Acceptance of the Town of Mesilla 2019 Audit. – **Cynthia Stoehner-Hernandez, Clerk/Treasurer.**
 - c) **Resolution 2020-08:** A resolution declaring an emergency as a result of COVID-19. – **Nora L. Barraza, Mayor.**
 - d) **Resolution 2020-09:** A resolution extending a moratorium on construction in the Historic Residential Zone until April 28, 2020. – **Nora L. Barraza, Mayor.**
8. *STAFF REPORTS:
 - Community Development
 - Community Programs
 - Finance Department
 - Fire Department
 - Marshal’s Department
 - Public Works Department
9. BOARD OF TRUSTEE COMMITTEE REPORTS

10. BOARD OF TRUSTEE/STAFF COMMENTS

11. ADJOURNMENT

NOTICE:

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least one week prior to the meeting. The Mayor and Trustees request that all cell phones be turned off or set to vibrate. Members of the audience are requested to step outside the Board Room to respond to or to conduct a phone conversation. A copy of the agenda packet can be found online at www.mesillanm.gov.

Posted 4/10/2020 at the following locations: Town Clerk's Office 2231 Avenida de Mesilla, Public Safety Building 2670 Calle de Parian, Mesilla Community Center 2251 Calle de Santiago, Shorty's Food Mart 2290 Avenida de Mesilla, Ristrammn Chile Co., 2531 Avenida de Mesilla and the U.S. Post Office 2253 Calle de Parian.



**BOARD OF TRUSTEES
TOWN OF MESILLA
WORK SESSION
MONDAY, MARCH 9, 2020
5:00 P.M.**

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TRUSTEES: Nora L. Barraza, Mayor
Stephanie Johnson-Burick, Mayor Pro Tem (absent)
Carlos Arzabal, Trustee
Jesus Caro, Trustee
Veronica Garcia, Trustee

STAFF: Cynthia Stoechner-Hernandez, Town Clerk/Treasurer
Gloria Maya, Recorder

PUBLIC: Steven Cadena Davie Salas
Pat Taylor Susan Krueger

Discussion: Revision to Chapter 18.35 Historic Residential (HR) Zone Ordinance.

Mayor Barraza reviewed the revisions and recommendations made to Chapter 18.35 Historic Residential (HR) Zone Ordinance.

Ms. Stoechner-Hernandez reviewed the timeframe: Public Hearing and 1st reading posting – March 23rd; final approval – April 13th.

Mayor Barraza recommended there be a worksession prior to the Planning and Zoning meeting on March 18th which would provide the opportunity for input and to see what can be incorporated or the worksession can be on March 23rd prior to the Board of Trustee’s meeting.

Trustee Garcia asked if the public would be allowed to speak on March 18th. She would like to hear from the residents prior to a joint meeting.

Mayor Barraza responded not during the worksession. A Public Input meeting will need to be scheduled prior to the worksession.

Mayor Pro Tem Arzabal recommended having a worksession on March 23rd.

Trustee Garcia stated she would like to be able to discuss what the public has to say at a worksession.

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Mayor Pro Tem Arzabal stated a Public Input meeting has already been held.

Trustee Garcia stated we had agreed to let the public speak after the draft was made available.

Trustee Caro questioned if there would be a public hearing.

Mayor Barraza responded yes. She reviewed the schedule for March 23rd: Public Hearing 5:00-5:30; Worksession 5:30-6:00; Public Hearing and 1st Reading as agenda item for the regular Board of Trustee's meeting.

Worksession closed at 5:25 p.m.

DRAFT

**BOARD OF TRUSTEES
TOWN OF MESILLA
REGULAR MEETING
MONDAY, MARCH 9, 2020
6:00 P.M.**

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7 **TRUSTEES:** Nora L. Barraza, Mayor
8 Carlos Arzabal, Mayor Pro Tem
9 Jesus Caro, Trustee
10 Veronica Garcia, Trustee
11 Stephanie Johnson-Burick, (absent)
12
- 13 **STAFF:** Cynthia Stoechner-Hernandez, Town Clerk/Treasurer
14 Kevin Hoban, Fire Chief
15 Eddie Lerma, Marshal
16 Rod McGillivray, Public Works Director
17 Enrique Salas, Lieutenant
18 Gloria Maya, Recorder
19
- 20 **PUBLIC:** Davie Salas Pat Taylor
21 Susan Krueger Charles McMurray
22 Marilyn Krueger Judd Singer
23 Prismia Hurse Patrick Vigil
24 Ralph Geck
25

26
27 **1. PLEDGE OF ALLEGIANCE**
28 Mayor Barraza led the Pledge of Allegiance.
29

30 **2. ROLL CALL & DETERMINATION OF A QUORUM**

31 **Roll Call.**

32 **Present:** Mayor Barraza, Mayor Pro Tem Arzabal, Trustee Caro, Trustee Garcia
33

34 **3. CHANGES TO THE AGENDA & APPROVAL**

35 **Motion:** To approve agenda, **Moved by Trustee Garcia, Seconded by Mayor Pro Tem Arzabal.**
36

37 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

38 Mayor Pro Tem Arzabal Yes

39 Trustee Caro Yes

40 Trustee Garcia Yes
41

42 Mayor Barraza welcomed Marshal Lerma to the Town of Mesilla.
43

44 **4. PUBLIC INPUT** – The public is invited to address the Board for up to 3 minutes.

45 Mr. McMurray stated asked when construction was going to be allowed in the Town of Mesilla as it is
46 costing him \$1,000 a month during this moratorium.
47

1 Ms. Krueger asked the town look at existing ordinances and how they are being enforced.

2
3 Mr. Pat Taylor stated his concerned regarding zero lot lines. Several empty lots that border zero lot
4 lines. He recommends having an open mind when looking at setbacks and zero lot lines. These are not
5 following the Development Zone which is referenced in the Iguado Plan. There cannot be enough public
6 input.

7
8 Ms. Hurse thanked the board for their help in enforcing the Social Host Ordinance.

9
10 Mayor Barraza responded the board is working at adopting the construction ordinance at the April 13th
11 meeting.

12
13 **5. CLOSED SESSION** – pursuant to NMSA 1978 Chapter 10-15-1(H)(2): discussion limited
14 to personnel matters in the Marshal’s Department and the Public Works Department. – **Nora**
15 **L. Barraza, Mayor.**

16 **Motion:** To enter Closed Session pursuant to NMSA 1978 Chapter 10-15-1(H)(2): discussion limited
17 to personnel matters in the Marshal’s Department and the Public Works Department, **Moved by Mayor**
18 **Pro Tem Arzabal, Seconded by Trustee Caro.**

19
20 **Roll Call Vote:** Motion passed (summary: Yes =3).

21 Mayor Pro Tem Arzabal Yes
22 Trustee Caro Yes
23 Trustee Garcia Yes

24
25 **Entered Closed Session at 6:12 p.m.**

26
27 **Motion:** To enter Regular Meeting after discussion limited to personnel matters in the Marshal’s
28 Department and the Public Works Department pursuant to NMSA 1978 Chapter 10-15-1(H)(2); no
29 action taken, **Moved by Trustee Caro, Seconded by Trustee Garcia.**

30
31 **Roll Call Vote:** Motion passed (summary: Yes =3).

32 Mayor Pro Tem Arzabal Yes
33 Trustee Caro Yes
34 Trustee Garcia Yes

35
36 **Entered Regular Meeting at 6:33 p.m.**

37
38 Fire Chief Hoban presented a certificate from the New Mexico Chapter International Association of
39 Arson Investigators, Inc. to the Town of Mesilla for their cooperation and support of the 2020 Annual
40 Training Conference.

41
42 **6. *APPROVAL OF CONSENT AGENDA – (The Board will be asked to approve by one**
43 **motion the following items of recurring or routine business. The Consent Agenda is**
44 **marked with an asterisk *):**

45 Mayor Pro Tem Arzabal requested placing item a, b, c and d on the consent agenda.

46
47 **Motion:** To approve the consent agenda as amended, **Moved by Mayor Pro Tem Arzabal, Seconded**
48 **by Trustee Garcia.**

49
50 Trustee Caro asked if there are swimming pools in that area.

1
2 Mayor Barraza responded the application is not for a swimming pool but for a spa.
3

4 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

5 Mayor Pro Tem Arzabal Yes

6 Trustee Caro Yes

7 Trustee Garcia Yes
8

9 a) * **BOT Minutes** – Minutes of a Work Session & Regular Meeting on February 24, 2020.
10 *Approved by consent agenda*

11 b) ***PZHAC Case 061017** – 1940 Calle Pecana, submitted by Henry Newman and Lisa
12 Belvito, a request for a zoning permit to construct an inground swim spa behind a dwelling
13 that is under construction at this address. Zoned: Historic Residential (HR). *Approved by*
14 *consent agenda*
15

16 **7. NEW BUSINESS:**

17 a) **For Approval** – an agreement for RFP 2020-02 for La Llorona Trail extension
18 Construction Management Services. – **Rod McGillivray, Public Works Director.**
19 *Approved by consent agenda*
20

21 b) **For Approval** – an agreement for RFP 2020-03 for Solid Waste pick up. – **Rod**
22 **McGillivray, Public Works Director.** *Approved by consent agenda*
23

24 c) **Resolution 2020-05:** A resolution amending the Mercado Rules and Regulations for the
25 Town of Mesilla. – **Cynthia Stoechner-Hernandez, Clerk/Treasurer.** *Approved by*
26 *consent agenda*
27

28 d) **Resolution 2020-06:** A resolution extending a moratorium ceasing all construction of new
29 building in the HR Zone until April 20, 2020. – **Nora L. Barraza, Mayor.** *Approved by*
30 *consent agenda*
31

32 **8. *STAFF REPORTS:**

33 Community Development

34 Community Programs

35 Finance Department

36 Fire Department

37 Marshal's Department

38 Public Works Department
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41 **9. BOARD OF TRUSTEE COMMITTEE REPORTS**

42 Trustee Garcia stated MPO meeting cancelled; District meeting on March 17th in Silver City.
43

44 **10. BOARD OF TRUSTEE/STAFF COMMENTS**

45 Trustee Caro welcomed Marshal Lerma to the Town of Mesilla.
46

47 Trustee Garcia thanked Lieutenant Salas for his help.
48

1 Mayor Barraza stated Military Luncheon on Thursday; she and Ms. Stoechner-Hernandez will be
2 attending Mr. Fulginiti services in Santa Fe on Thursday and Friday. Ms. Lola Gallegos a long-time
3 resident of Mesilla passed away. She will represent Mesilla at the opening and closing ceremonies of
4 the Bataan March. She will do a presentation to Leadership New Mexico on the 20th. Invited all the
5 trustees to the Census Kick Off on March 21st at the Community Center. NMML District 7 meeting
6 will be held on March 17th in Silver City. Recapped March 23rd schedule: public input at 5:00-5:30;
7 worksession at 5:30-6:00. The unveiling of the grotto, constructed by Boy Scout Sean, with Our Lady
8 of Lourdes will be Saturday after the 5:30 p.m. mass. This afternoon we had a telephone conference
9 with the Governors' office regarding coronavirus public safety. We will be sharing flyers from the
10 Secretary of the Department of Health to every single home in the town. There are not confirmed
11 cases in New Mexico at this time.

12
13 **11. ADJOURNMENT**

14 **The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-3)**

15
16 **MEETING ADJOURNED AT 6:45 P.M.**

17
18 **APPROVED THIS 23rd DAY OF MARCH, 2020.**

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23 _____
24 Nora L. Barraza
25 Mayor

26
27 **ATTEST:**

28
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30 _____
31 Cynthia Stoechner-Hernandez
32 Town Clerk/Treasurer

**BOT ACTION FORM
BUILDING PERMIT 061024
[PZHAC REVIEW – 4/6/20]
STAFF ANALYSIS**

(Decision was based on information presented during the Work Session – Item 1)

Items:

Case 061024 – 2000 Calle de Parian, submitted by Julienne Hadfield; a request for a zoning permit to renovate the second floor of a commercial building at this address to include an office and a short-term rental unit. Zoned: Historical Commercial (HR)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed renovation will be historically and architecturally acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed renovation will not be historically and architecturally acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: \$46,690.00

Consistency with the Code:

The PZHAC will need to determine that the proposed renovation will be consistent with other construction in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of renovating the second floor of a commercial building to include an office and a short-term rental at this address.
- The PZHAC has determined that the proposed renovation meets all applicable Code requirements.

PZHAC OPTIONS:

- 1. Recommend approval of the zoning permit to the BOT.**
- 2. Recommend approval of the zoning permit to the BOT with conditions.**
- 3. Reject the application.**

PZHAC ACTION:

The PZHAC determined that the proposed renovations and use of the second floor would not be out of character with the development of the HC area, and would be consistent with the Code and voted 3 – 0 to recommend APPROVAL of this request to the BOT.

BOT OPTIONS:

- 1. Approve the application as recommended by the PZHAC.**
- 2. Approve the application with conditions.**
- 3. Reject the application.**

BOT ACTION:

**PZHAC WORK SESSION
APRIL 6, 2020
ITEM 1**

Submitted by Julienne Hadfield; a request to discuss plans to renovate the second floor of a commercial building at 2000 Calle de Parian to include an office and a short-term rental unit (Permit 061024). Zoned: Historical Commercial (HR)

This case was postponed at the March 2 PZHAC meeting in order to allow the applicant to address questions brought up by the PZHAC with respect to emergency egress for the short-term rental proposed to be located on this floor. The applicant has worked with CID to resolve these questions and final plans for the addition are being submitted here.

The applicant has just acquired this property and would like to renovate the second floor of the commercial building at this address to include 1190 square feet of office space, 279 square feet of retail space, and 1006 square feet of short-term rental residential space. The office space and the retail space will be leased out on a long-term basis for each and are uses that have been allowed at this location in the past by the Historic Commercial zoning of the property. The residential use has also been allowed as an apartment for long-term rental in the past at this location. The residential portion will now be used for short-term rentals, which will make the rental space a commercial use.

Access to the second floor is by an entrance and a stairway located on the Calle de Parian side of the building. The first floor, which will not be involved in this renovation, contains a retail store and an office area. The renovations are all internal, there will not be any changes to the exterior of the structure.

Since there will not be any parking available for the office or retail spaces, any businesses that rent these spaces will be subject to the yearly parking fee that is applied to other businesses in the Town that do not have available parking. Parking for the short-term rental unit will be available in a small open garage that is located on the ground floor on Calle de San Albino. The applicant has been informed that this space will need to be dedicated to the short-term rental unit, and that there shall be signage in the parking area restricting its use to tenants of the short-term rental unit.

Since the proposed division of space on the second floor will utilize several different types of commercial occupancies (all allowed by the Code), the applicant will need to meet CID requirements for each use, including emergency egress requirements.

Estimated Cost: \$46,690.00

Consistency with the Code:

Since this construction is in a Historic zoning district, the PZHAC will need to ensure that the following sections of the Code are met

18.40.020 Uses permitted.

Uses permitted in the H-C zone are as follows:

Commercial uses allowed in C zone and residential uses subject to approval of the planning, zoning and historical appropriateness commission upon application and approval of a development plan. [Ord. 2001-04 § 1; Ord. 94-06 § 1; prior code § 11-2-11.5.B]

18.45.020 Uses permitted (C Zone)

A building and premises on any lot in the C zone shall be used for the following purposes only:

Office, business and professional

Hotels

Various types of retail shops

The applicant has been made aware that if the use of the short-term rental were to change to long-term rental, this would cause the unit to be considered residential and would require further review by the PZHAC and a possible change in occupancy according to the Building Code and the Zoning Code (Section 18.40.020 – Uses Permitted).

The PZHAC will need to determine that the request, as submitted is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

PHOTO OF THE STRUCTURE FROM CALLE DE SAN ALBINO SHOWING OPEN GARAGE AT FAR RIGHT



Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number Enter V

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400335](#)
Parcel Number: 4006137252447
Owner: ZAPIEN JAMES JR & PAT & P
MELENDREZ ANDRES & FREDDIE
LUCERO
Mail Address: 2145 AVENIDA DE
MESILLA
Subdivision:
Property Address: 2000 CALLE DE
PARIAN
Acres: 0





INTERIOR RENOVATION

2000/2030 CALLE de PARIAN

CITY of MESILLA, NM. 88047

PROJECT TYPE : BUILDING INTERIOR RENOVATION

CLIENT:

JULIENNE HADFIELD
 2000/2030 CALLE de PARIAN, MESILLA, NM. 88047
 PHONE: 575-202-8481

O5 ARCHITECTS
 5090 CHIRICAHUA TRAIL, LAS CRUCES, NEW MEXICO 88012
 TEL: (575) 640-6233 FAX: (575) 373-4738
 E-MAIL: o5architects@q.com

ARCHITECT:

CODE ANALYSIS

- OCCUPANCY (2 STORY - MIXED USED)
- CONSTRUCTION TYPE
- INTERNATIONAL BUILDING CODE (AS ADOPTED BY CID)
- UNIFORM MECHANICAL CODE (AS ADOPTED BY CID)
- UNIFORM PLUMBING CODE (AS ADOPTED BY CID)
- NATIONAL ELECTRICAL CODE (AS ADOPTED BY CID)
- INTERNATIONAL FIRE CODE
- INTERNATIONAL EXISTING BUILDING CODE (AS ADOPTED BY CID)
- INTERNATIONAL ENERGY CONSERVATION CODE (AS ADOPTED BY CID)
- NEW MEXICO COMMERCIAL BUILDING CODE
- NATIONAL ELECTRICAL SAFETY CODE (AS ADOPTED BY CID)
- NFPA 101 LIFE SAFETY CODE , AND RELATED CODES AND STANDARD
- CITY OF MESILLA ORDINANCE

PROJECT DATA

WORK SCOPE:
 RENOVATION OF EXISTING SPACES ON SECOND FLOOR TO PROVIDE NEW ACCESS AND RE-CLASSIFICATION TO RESIDENTIAL (R-2) OCCUPANCY OF AN EXISTING SPACE

PROVIDE 1-HR AREA SEPARATION BETWEEN EXISTING "B" OCCUPANCY AND NEW "R-2" OCCUPANCY TO BOTTOM OF EXISTING ROOF SHEATHING. EXISTING SEPARATION WALL IS MOSTLY 8" CMU. NEW FRAMED WALL ABOVE CMU TO CONTINUE TO EXISTING ROOF SHEATHING

EXISTING FLOOR AREA SEPARATION = 2-HR MIN.
 EXISTING FLOOR SYSTEM BETWEEN "R2" OCCUPANCY AND "B" OCCUPANCY "M" OCCUPANCY IS 7" MIN. CONCRETE

SQUARE FOOTAGE:

1ST FLOOR:	= 493 SQ. FT.
OFFICE (B OCCUPANCY	= 745 SQ. FT.
RETAIL (M OCCUPANCY)	= 1778 SQ. FT.
TOTAL	= 1116 SQ. FT.
2ND FLOOR:	= 1190 SQ. FT.
OFFICE (B OCCUPANCY)	= 279 SQ. FT.
RETAIL (M OCCUPANCY)	= 1006 SQ. FT.
RESIDENTIAL (R-2 OCCUPANCY)	= 2475 SQ. FT.
TOTAL	= 4635 SQ. FT.
TOTAL BUILDING AREA	= 5711 SQ. FT.
CARPET (U OCCUPANCY)	= 1519 SQ. FT.
AREA OF RENOVATION	= 1519 SQ. FT.

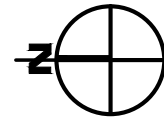
AREA OF NEW WORK:

APARTMENT TYPE:	R-2
OCCUPANCY TYPE:	1006 SQ. FT.
AREA:	1006/200 = 6
OCCUPANT LOAD:	2
EXIT REQUIRED:	
EXIT PROVIDED:	2
PLUMBING REQUIRED PER IBC CHAPTER 29	
REQUIRED	PROVIDED
WATER CLOSET	
LAVATORY	
TUB/SHOWER	
WASHER CONNECTION	
2ND FLOOR OFFICE (NOT OCCUPIED):	
OCCUPANCY TYPE:	B
AREA:	1190 SQ. FT.
OCCUPANT LOAD:	1190/100 = 12
EXIT REQUIRED:	
EXIT PROVIDED:	2
TOTAL OCCUPANT LOAD (2ND FLOOR):	12+6 = 18
EXIT REQUIRED:	2
EXIT PROVIDED:	2

AERIAL MAP



PROJECT LOCATION:
 2000/2030 CALLE de PARIAN



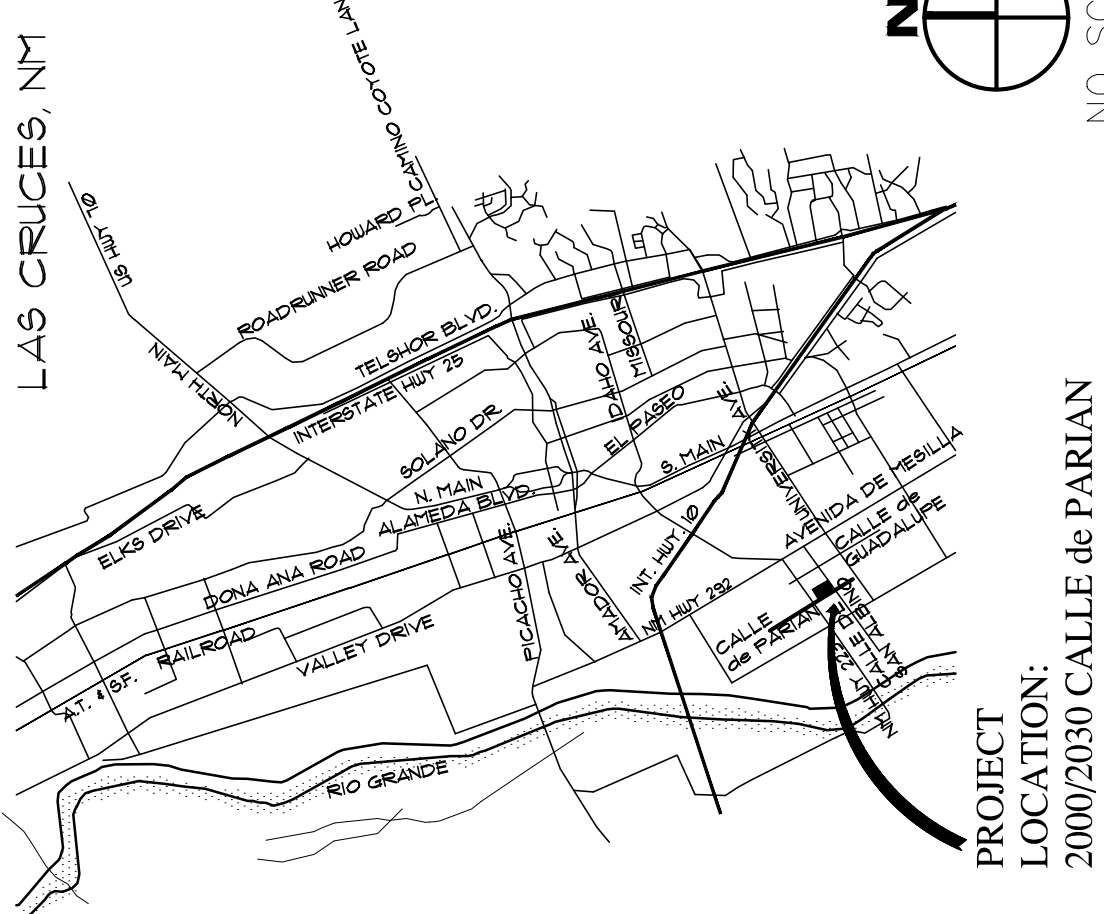
GENERAL NOTES:

- The following notes apply to all drawings unless noted otherwise.
- The contractor shall visit site, verify all existing conditions, dimensions and elevations before proceeding with the work. The contractor is responsible for verifying all dimensions and elevations in field conditions. Dimensions on any existing construction documents which cannot be resolved by these construction documents before proceeding with the work.
- Do not scale drawings. Notes take precedence over scale.
- Verify all dimensions and elevations against the INTERNATIONAL BUILDING CODE, PLUMBING CODE, MECHANICAL CODE, NATIONAL ELECTRICAL CODE AND FIRE CODE, and ORDINANCES of the CITY OF MESILLA, NM.
- All dimensions are to face of stud, concrete, or masonry u.n.o.
- If existing facilities are related to work, the contractor shall not disrupt the existing service or utilities without obtaining the owner's prior approval and instructions on each case.
- Verify with Mechanical, Electrical and Plumbing equipment manufacturer and/or subcontractor all equipment and specifications required prior to product installation.
- The contract drawings and specifications represent the finished structure. Unless otherwise shown, they do not indicate the method of construction. The Contractor shall supervise and direct and he shall be responsible for the proper installation of all equipment, techniques, sequences and procedures. Observation visits to the site by the Architect or his field representatives shall not include inspection of the protective measures or the construction procedures required for the same, which are furnished by others.
- Verify all dimensions and elevations against the INTERNATIONAL BUILDING CODE, PLUMBING CODE, MECHANICAL CODE, NATIONAL ELECTRICAL CODE AND FIRE CODE, and ORDINANCES of the CITY OF MESILLA, NM.
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SHEET INDEX

T	TITLE
A101	EXISTING FLOOR PLANS
A102	PROPOSED SECOND FLOOR PLAN & DETAILS & SCHEDULE
A103	CEILING/ELECTRICAL PLAN

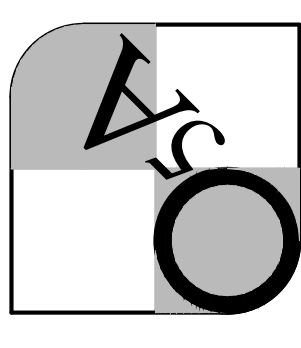
VICINITY MAP



THERE IS NO NEW SITE WORK IN THIS SCOPE

SITE DATA

THERE IS NO NEW SITE WORK IN THIS SCOPE



O5 Architects
 ARCHITECTURE + PLANNING

5090 CHIRICAHUA TRAIL
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02-07-20

PROJECT TITLE
BUILDING INTERIOR RENOVATION

ADDRESS:
 2000/2030 CALLE de PARIAN
 CITY OF MESILLA, NM. 88047

PROJECT NO.: 14111-20

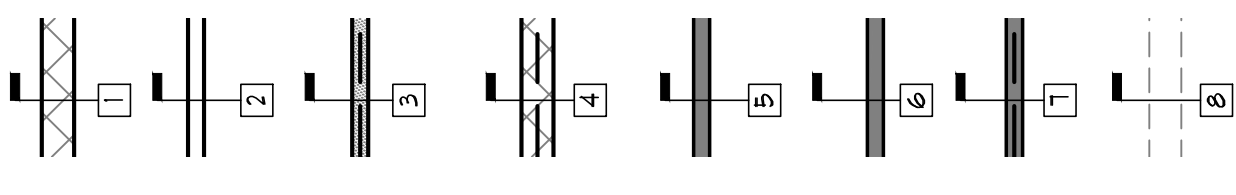
NO.	DATE	REVISION
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6	-	-
7	-	-

SHEET TITLE
TITLE

FILENAME:	14111-20-T
ISSUE:	PERMIT
DATE:	FEB. 2020
DRAWN BY:	NEO
CHECKED BY:	NEO
OWNERSHIP APPROVAL:	
SIGNATURE:	DATE
THE PLANS FOR THIS PROJECT HAVE BEEN REVIEWED BY THE OWNER'S AGENT AND APPROVED. THE PLANS AS DATED ABOVE ARE COMPLETE AND APPROVED.	

SHEET NO. **T**

WALL TYPE LEGEND



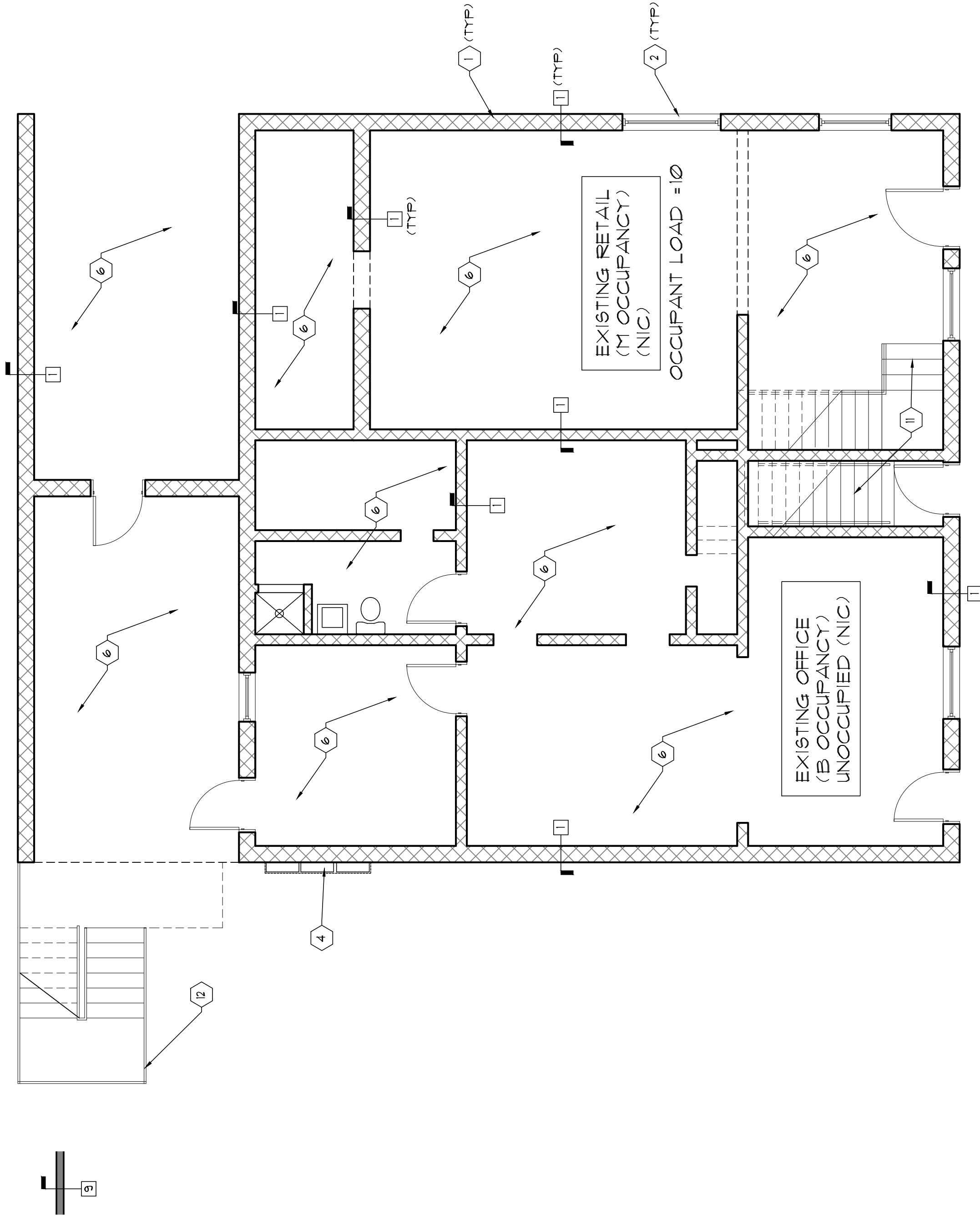
- TYPE 1: EXISTING EXTERIOR/INTERIOR WALL
EXISTING CMU WALL TO REMAIN
- TYPE 2: EXISTING INTERIOR WALL
EXISTING STUD WALL TO REMAIN
- TYPE 3: INTERIOR FRAME WALL (LHS SEPARATION)
REMOVE EXISTING WOOD STUDS AND RE-FRAME WALL WITH 2x4 STUDS @ 16" O.C. INSTALL 1-5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE. PROVIDE 3" FIBERGLASS SOUND BATT INSULATION. CONTINUE WALL AND GYPSUM BOARD TO UNDER ROOF SHEATHING. SEE DETAIL 2/A102, 3/A102, 5/A102
- TYPE 4: EXISTING INTERIOR WALL (LHS SEPARATION)
EXISTING CMU WALL - CONTRACTOR SHALL VERIFY WALL CONTINUE TO ROOF DECK. WHERE WALLS STOP AT CEILING, BUILD 2x4 WOOD STUD CRIPPLE WALL WITH 1-5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE TO ROOF DECK. SEE DETAIL 4/A102
- TYPE 5: INTERIOR FRAME WALL (LHS NEW)
2x4 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD BOTH SIDES. 3" FIBERGLASS SOUND BATT INSULATION. EXTEND WALL TO BOTTOM OF TRUSS.
- TYPE 6: INTERIOR FRAME WALL (NEW)
2x4 WOOD STUDS @ 16" O.C. BUILD OUT WALL WITH 5/8" GYPSUM BOARD ON OUTSIDE FACE. EXTEND WALL TO CEILING. SEE DETAIL 2/A102, 3/A102
- TYPE 7: INTERIOR NEW FRAME WALL (LHS SEPARATION)
2x4 WOOD STUDS @ 16" O.C. WITH 1-5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE. PROVIDE 3" FIBERGLASS SOUND BATT INSULATION. CONTINUE WALL AND BOARD TO ROOF DECK. SEE DETAIL 2/A102, 3/A102, 5/A102
- TYPE 8: EXISTING WALL AS REQUIRED. VERIFY DOOR HEIGHT IN FIELD FOR OPENING
REMOVE EXISTING WALL

FLOOR PLAN NOTES

1. EXISTING WALLS TO REMAIN (TYP)
2. EXISTING WINDOW TO REMAIN (TYP)
3. EXISTING DOOR TO REMAIN (TYP)
4. EXISTING ELECTRICAL SERVICE PANELS
5. EXISTING WATER HEATER TO BE REMOVED AND REPLACED - RELOCATE PER A102
6. EXISTING AREA - NO NEW WORK
7. REMOVE EXISTING DOOR AND GATE
8. REMOVE EXISTING ATTIC ACCESS LADDER AND RELOCATE PER PROPOSED PLAN ON SHEET A102
9. EXISTING WALL - REMOVE EXISTING WALL AND RE-FRAME PER WALL SCHEDULE
10. LINE OF AREA SEPARATION WALL - CONTRACTOR SHALL VERIFY WALL CONTINUE TO BOTTOM OF ROOF DECK. SEE SCHEDULE
11. EXISTING CONCRETE STAIR TO REMAIN
12. EXISTING STEEL STAIR TO REMAIN
13. REMOVE WALL FOR NEW DOOR OPENING
14. REMOVE EXISTING WINDOW
15. REMOVE WALL UP TO WINDOW HEAD AND PROVIDE SUPPORT ACROSS OPENING. PATCH WALL OPENING TO MATCH SURROUND
16. REMOVE WINDOW INFILL OPENING WITH MIN 4" THICK SOLID CONCRETE BLOCK OR 2x4 STUDS WITH 1-5/8" TYPE "X" GYPSUM ON BOTH SIDE AND 3" SOUND BATT

GENERAL NOTES

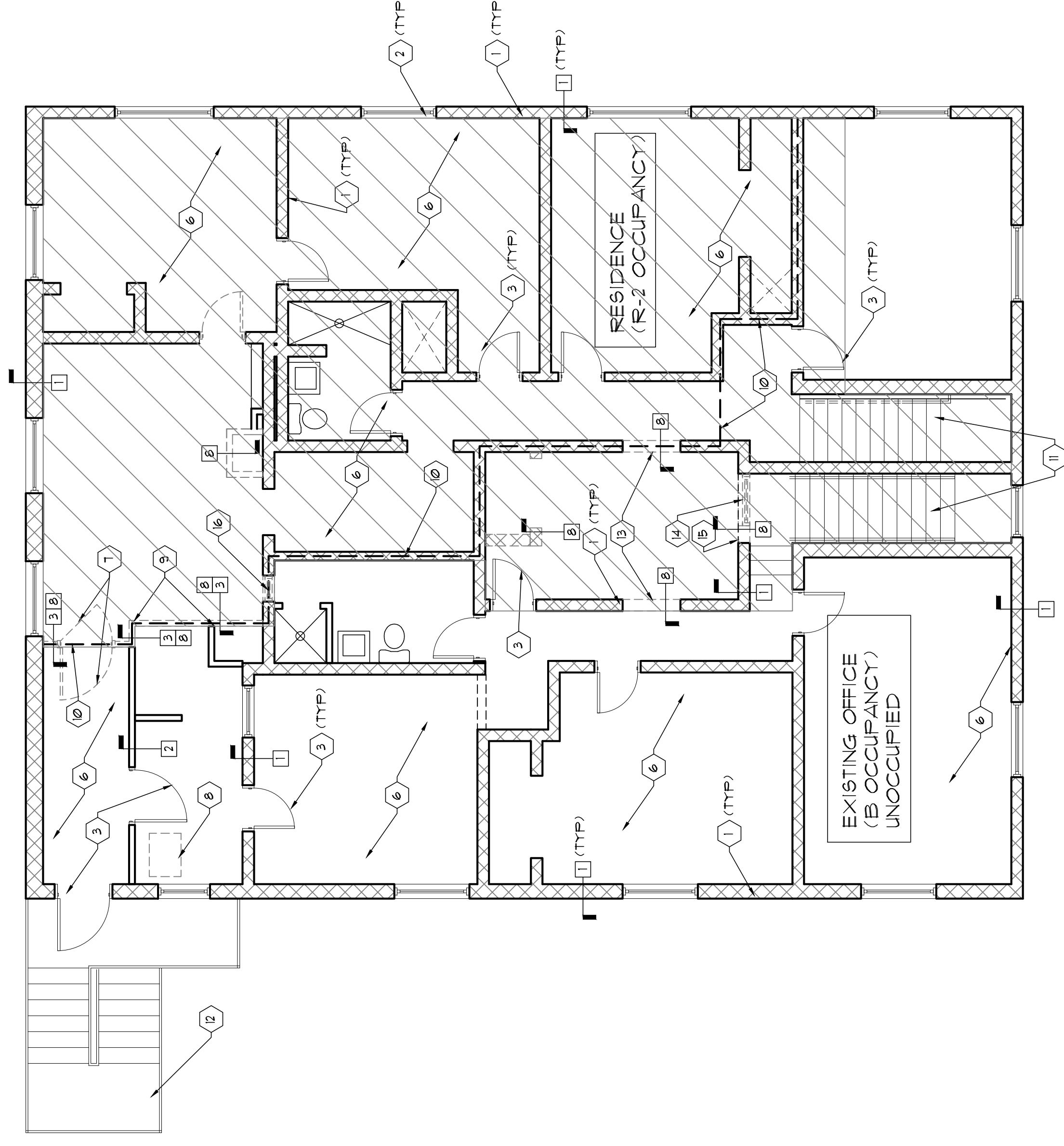
1. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF GYPSUM BOARD. DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD.
2. CONTRACTOR SHALL VERIFY EXISTING OVERALL DIMENSIONS FOR CONFORMANCE WITH PLANS BEFORE PROCEEDING WITH WORK
3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO DEMOLITION & NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
4. ALL EXISTING FIXTURES AND STRUCTURE SHOWN ARE FOR ILLUSTRATION ONLY AND MAY NOT BE CONSISTENT WITH WHAT AT THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING ELEMENTS AT SITE THAT ARE NOT PART OF PROJECT SCOPE FOR CONFORMANCE TO ALL APPLICABLE CODE.
5. REMOVE ALL ELECTRICAL OUTLETS, SWITCHES, CONDUIT, ETC. IN WALLS TO BE REMOVED. ALL WIRING SHALL BE REMOVED BACK TO THE PANELS OR TO A POINT WHERE IT BECOMES INACCESSIBLE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED ELECTRICAL CODE FOR NEW WORK
6. CONTRACTOR SHALL REMOVE EXISTING WATER CLOSET, URINAL AND LAVATORY COMPLETELY WHERE REQUIRED. CAP PLUMBING BELOW FLOOR OR CEILING OR AT ENTRY TO GRAVE AS REQUIRED. COORDINATE W/ NEW PLUMBING REQUIREMENTS. EXISTING WASTE LINE SHALL REMAIN IN SERVICE AT ALL TIMES. ABANDONED VENTS SHALL BE CAPPED ABOVE THE CEILING. NEW VENT SIZES SHALL MATCH EXISTING AND PER CODE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED PLUMBING CODE FOR NEW WORK



1 EXISTING FIRST FLOOR PLAN (NIC)
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

NOTE:
ALL ELEMENTS AND SPACES ARE EXISTING UNLESS NOTED OTHERWISE.
ALL WALLS SHOWN ARE FOR ILLUSTRATION ONLY AND MIGHT BE DIFFERENT IN FIELD. CONTRACTOR SHALL VERIFY AFFECTED WALLS IN FIELD

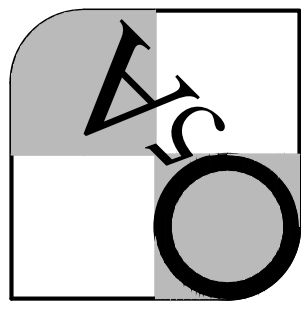


2 EXISTING SECOND FLOOR/DEMO PLAN
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



AREA OF RENOVATION



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02-07-20

PROJECT TITLE
BUILDING INTERIOR RENOVATION

ADDRESS:
20000 CALLE 46 PRIAN
CITY OF MESILLA, NM, 88047
PROJECT NO.: 14111-20

NO.	DATE	REVISION
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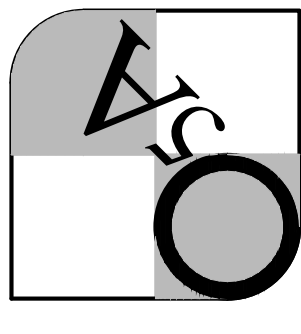
SHEET TITLE
EXISTING FLOOR PLANS

FILENAME: 14111-20-A101
ISSUE: PERMIT
DATE: FEB. 2020
DRAWN BY: NBO
CHECKED BY: NBO
OWNERSHIP APPROVAL:

SIGNATURE: _____ DATE: _____
THE PLANS FOR THIS PROJECT HAVE BEEN PREPARED BY THE OWNER'S ARCHITECT AND CONTRACTOR. THE OWNER'S ARCHITECT HAS REVIEWED THE PLANS AS DATED ABOVE AND CORRECTED AND APPROVED.

SHEET NO.

A101



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02-07-20

PROJECT TITLE
**BUILDING INTERIOR
RENOVATION**

ADDRESS
2070 ROSO CALLE 4th FLOOR
CITY OF MESILLA, NM, 88047

PROJECT NO.: 14111-20

NO.	DATE	REVISION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-

SHEET TITLE
**FLOOR PLAN/
DETAILS/
SCHEDULE**

FILENAME:	14111-20-A101
ISSUE:	PERMIT
DATE:	FEB. 2020
DRAWN BY:	NBO
CHECKED BY:	NBO
OWNERSHIP APPROVAL:	

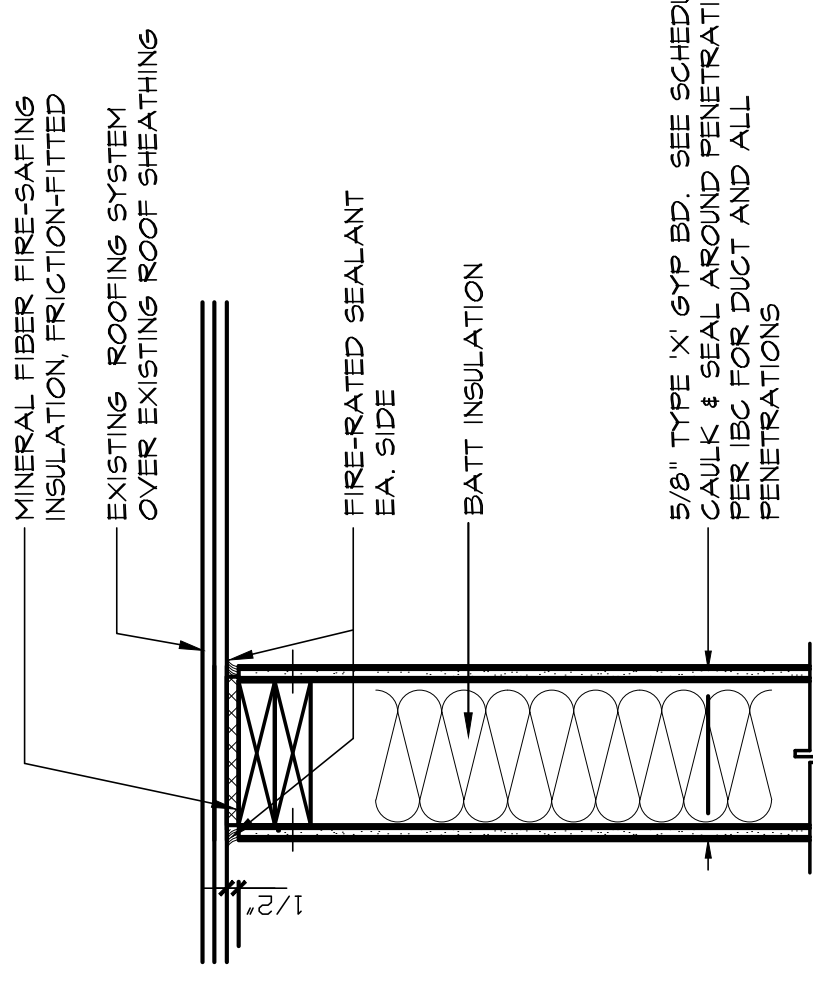
DATE
THE PLANS FOR THIS PROJECT HAVE BEEN PREPARED BY THE ENGINEER'S AGENT AND SHOWN TO THE ENGINEER'S AGENT FOR REVIEW AND APPROVAL. THE PLANS AS DATED ABOVE ARE CORRECT AND APPROVED.

SHEET NO.
A102

WALL TYPE LEGEND

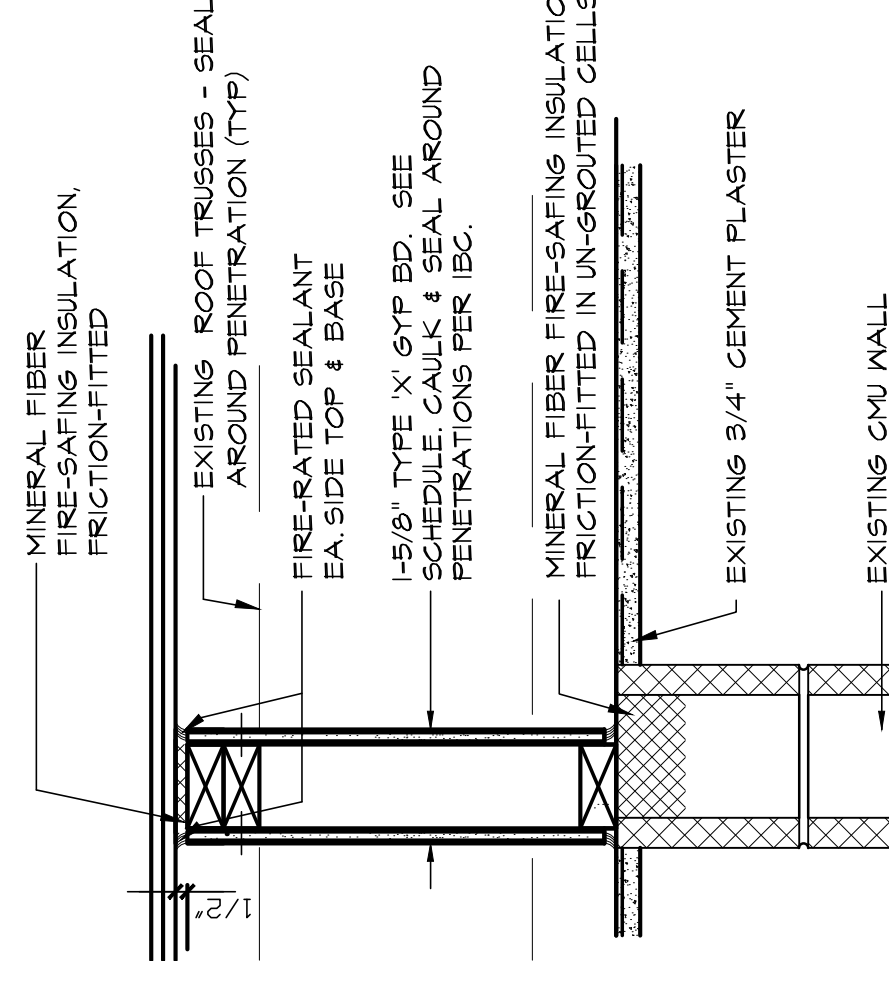
- 1. TYPE 1: EXISTING EXTERIOR/INTERIOR WALL EXISTING CMU WALL TO REMAIN
- 2. TYPE 2: EXISTING INTERIOR WALL EXISTING STUD WALL TO REMAIN
- 3. TYPE 3: INTERIOR FRAME WALL (1-HR SEPARATION) REMOVE EXISTING WOOD STUDS AND RE-FRAME WALL WITH 2X4 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE. PROVIDE 3" FIBERGLASS SOUND BATT INSULATION. CONTINUE WALL AND GYPSUM BOARD TO UNDER ROOF SHEATHING. SEE DETAIL 7/A102, 3/A102, 5/A102
- 4. TYPE 4: EXISTING INTERIOR WALL (1-HR SEPARATION) EXISTING CMU WALL. CONTRACTOR SHALL VERIFY WALL CONTINUE TO ROOF DECK WHERE WALLS STOP AT CEILING. BUILD 2X4 WOOD STUD CRIPPLE WALL WITH 1- 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE TO ROOF DECK. SEE DETAIL 4/A102
- 5. TYPE 5: INTERIOR FRAME WALL (1-HR NEW) 2X4 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD BOTH SIDES. 3" FIBERGLASS SOUND BATT INSULATION. EXTEND WALL TO BOTTOM OF TRUSS.
- 6. TYPE 6: INTERIOR FRAME WALL (NEW) 2X4 WOOD STUDS @ 16" O.C. BUILD OUT WALL WITH 5/8" GYPSUM BOARD ON OUTSIDE FACE. EXTEND WALL TO CEILING. SEE DETAIL 7/A102, 3/A102
- 7. TYPE 7: INTERIOR NEW FRAME WALL (1-HR SEPARATION) 2X4 WOOD STUDS @ 16" O.C. WITH 1- 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE. PROVIDE 3" FIBERGLASS SOUND BATT INSULATION. CONTINUE WALL AND BOARD TO ROOF DECK. SEE DETAIL 7/A102, 3/A102, 5/A102
- 8. TYPE 8: EXISTING TO BE REMOVED REMOVE EXISTING WALL AS REQUIRED. VERIFY DOOR HEIGHT IN FIELD FOR OPENING.
- 9. TYPE 9: INTERIOR FRAME WALL 2X4 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES. EXTEND WALL TO BOTTOM OF TRUSS.

NOTE: PROVIDE MARKING AND IDENTIFICATION ON FIRE RATED WALL PER IBC SECTION 705.7 AT ACCESSIBLE ATTIC SPACE



5 WALL @ ROOF DETAIL
SCALE: 1-1/2" = 1'-0"

NOTE: PROVIDE MARKING AND IDENTIFICATION ON FIRE RATED WALL PER IBC SECTION 705.7 AT ACCESSIBLE ATTIC SPACE



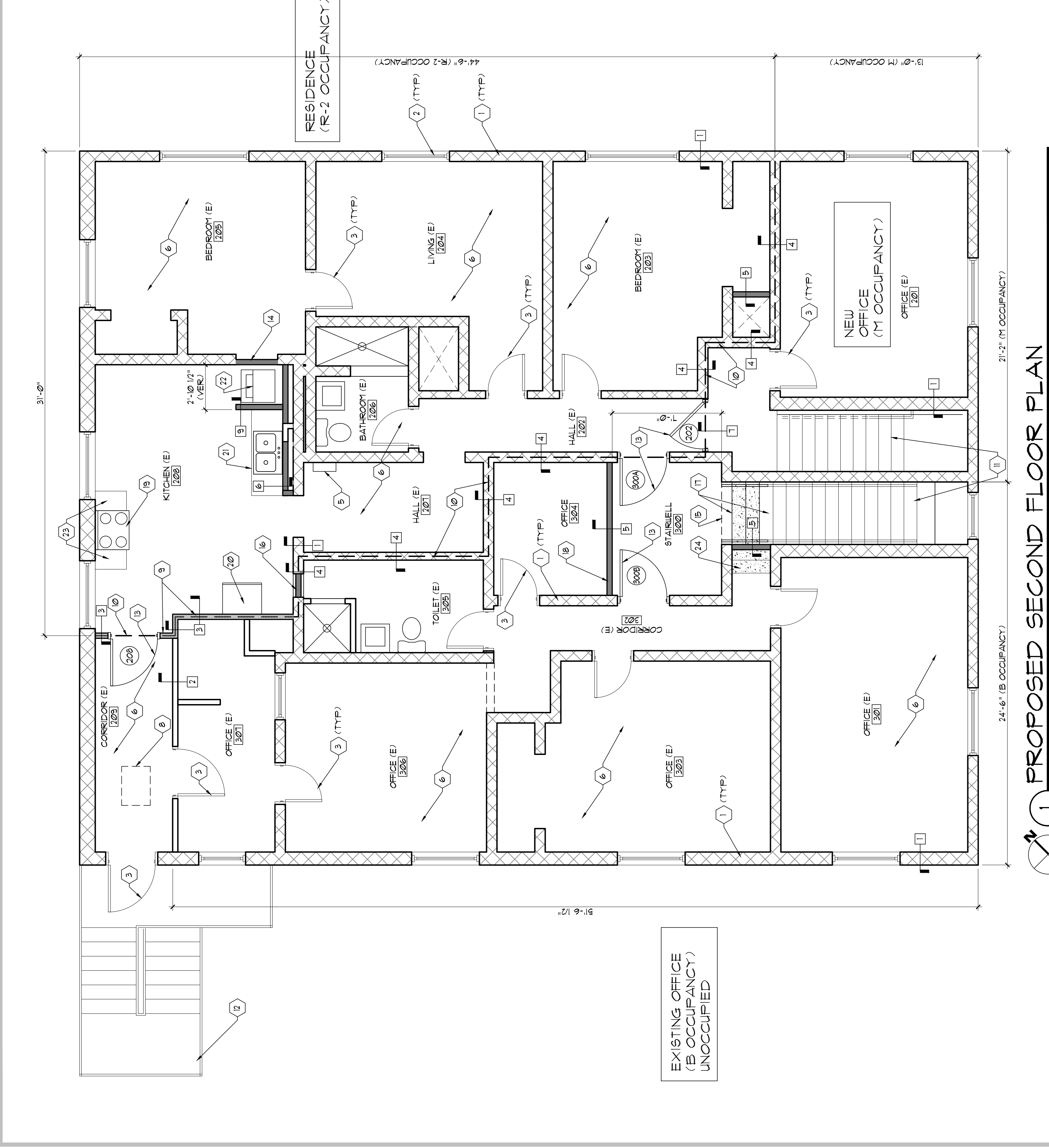
4 WALL @ ROOF DETAIL
SCALE: 1-1/2" = 1'-0"

GENERAL NOTES

- DIMENSIONS TO EXISTING WALLS ARE TO FACE OF GYPSUM BOARD. DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD.
- CONTRACTOR SHALL VERIFY EXISTING OVERALL DIMENSIONS FOR CONFORMANCE WITH PLANS BEFORE PROCEEDING WITH WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO DEMOLITION & NOTIFYING ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- ALL EXISTING FIXTURES AND STRUCTURE SHOWN ARE FOR ILLUSTRATION ONLY AND MAY NOT BE CONSISTENT WITH WHAT AT THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING ELEMENTS AT SITE THAT ARE NOT PART OF PROJECT SCOPE FOR CONFORMANCE TO ALL APPLICABLE CODE.
- REMOVE ALL ELECTRICAL OUTLETS, SWITCHES, CONDUIT ETC IN WALLS TO BE REMOVED. ALL WIRES SHALL BE REMOVED BACK TO THE PANELS OR TO A POINT WHERE IT BECOMES INACCESSIBLE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED ELECTRICAL CODE FOR NEW WORK.
- CONTRACTOR SHALL REMOVE EXISTING WATERS CLOSET, URINAL AND LAVATORY COMPLETELY WHERE REQUIRED. CAP PLUMBING BELOW FLOOR OR CEILING OR AT ENTRY TO SPACE AS REQUIRED. COORDINATE W/ NEW PLUMBING REQUIREMENTS. EXISTING WASTE LINE SHALL REMAIN IN SERVICE AT ALL TIMES. ALL NEW WASTE LINE SIZES SHALL BE PER CODE. ALL ABANDONED VENTS SHALL BE CAPPED PER CODE. CONTRACTOR SHALL VERIFY ALL MATCH REQUIREMENTS AND PROVIDE CONTRACTOR SCHEDULE CONFORM TO ALL REQUIRED PLUMBING CODE FOR NEW WORK.

FLOOR PLAN NOTES

- EXISTING WALLS TO REMAIN (TYP)
- EXISTING WINDOW TO REMAIN (TYP)
- EXISTING DOOR TO REMAIN (TYP)
- EXISTING ELECTRICAL SERVICE PANELS
- NEW LOCATION OF RINNAI (REV V21528FRID-UB) TANKLESS WATER HEATER ON WALL RECONNECT ALL PLUMBING AND VENT PER MANUFACTURER'S SPECS
- EXISTING AREA - NO NEW WORK
- NOT USED
- LOCATION OF NEW ROOF ACCESS FULL DOWN LADDER - MATCH EXISTING
- EXISTING WALL - REMOVE EXISTING WALL AND RE-FRAME PER WALL SCHEDULE
- LINE OF 2-HR AREA SEPARATION WALL - CONTRACTOR SHALL VERIFY WALL CONTINUE TO BOTTOM OF ROOF DECK. SEE SCHEDULE
- EXISTING STEEL STAIR TO REMAIN
- NEW DOOR - SEE SCHEDULE
- FILL IN DOOR OPENING WITH 2X4 STUD WALL WITH 5/8" GYPSUM BOARD ON EACH SIDE
- REMOVE WALL UP TO WINDOW HEAD AND PROVIDE SUPPORT ACROSS OPENING. PATCH WALL OPENING TO MATCH SURROUND
- REMOVE WINDOW INFILL OPENING WITH MIN 4" THICK SOLID CONCRETE BLOCK OR 2X4 STUDS WITH 2 5/8" TYPE "X" GYPSUM ON BOTH SIDE AND 3" SOUND BATT
- NEW LIGHTWEIGHT CONCRETE STAIR BUILT OVER EXISTING LANDING - 2 TREADS AND 3 RISERS EQUALLY SPACED TO MATCH EXISTING
- NEW STUD WALL - SEE SCHEDULE
- LOCATION OF RANGE WITH HOOD VENTED TO OUTSIDE
- LOCATION OF REFRIGERATOR
- LOCATION OF EXISTING BASE CABINET WITH SINK - CONNECT TO EXISTING PLUMBING IN WALL
- LOCATION OF STACKED WASHER/DRYER. CONTRACTOR TO PROVIDE ALL REQUIRED ELECTRICAL AND PLUMBING AND LAUNDRY BOX WITH ARRESTOR TO WASHER. CONNECT DRAIN TO EXISTING SEWER LINE IN THE WALL.
- LOCATION OF EXISTING BASE CABINET
- NEW FLOOR OVER EXISTING STEPS - 2" LIGHTWEIGHT CONCRETE OVER 3/4" PLYWOOD SHEATHING OVER WOOD FRAMING
- CONTRACTOR SHALL VERIFY ALL FLOOR PENETRATIONS THRU AREA WHERE FLOOR PENETRATIONS ARE PROTECTED AND ALL DUCTS HAVE REQUIRED DAMPER PER IBC



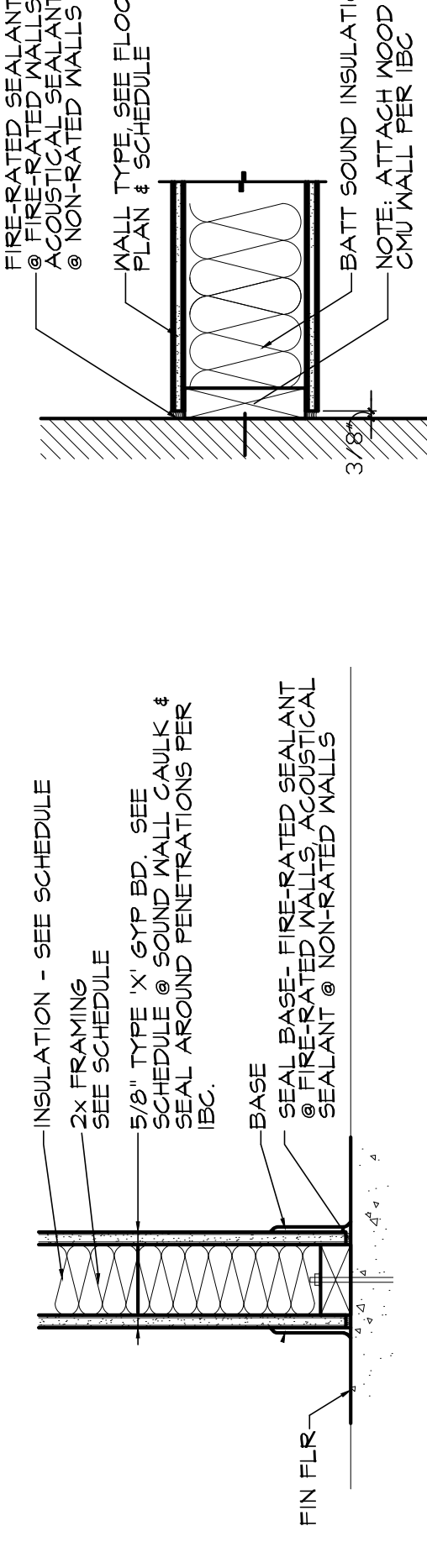
1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: ALL ELEMENTS AND SPACES ARE EXISTING UNLESS NOTED OTHERWISE. ALL WALLS SHOWN ARE FOR ILLUSTRATION ONLY AND MIGHT BE DIFFERENT IN FIELD. CONTRACTOR SHALL VERIFY AFFECTED WALLS IN FIELD

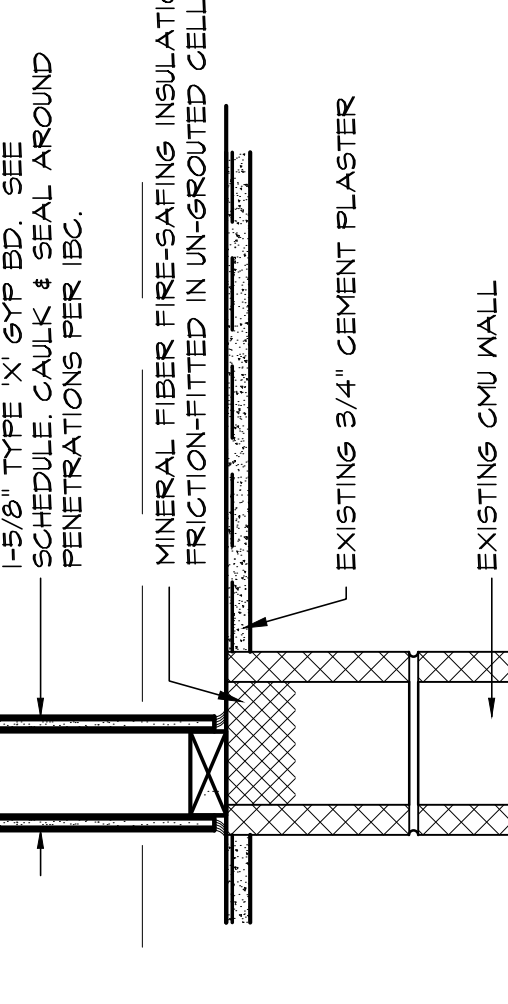
DOOR SCHEDULE		DOOR TYPES		FRAME TYPE	
MARK	TYPE	WD	HGT	GLAZ	TYPE
202	D1	3'-0"	6'-8"	SC	F1
300A	D1	3'-0"	6'-8"	PA, SC	F2
300B	D1	3'-0"	6'-8"	PA, SC	F2

NOTE:
1. CONTRACTOR SHALL PROVIDE HARDWARE THAT MEETS IBC & SECTION 404.2.6 OF THE 2003 ANSI-A117.1 HANDLES, PULLS, LATCHES AND OTHER OPERABLE PARTS SHALL COMPLY TO ALL APPLICABLE CODE REQUIREMENT.
2. CONTRACTOR SHALL PROVIDE HARDWARE TO ALL BATED DOORS PER IBC AND ALL REQUIRED CODES. THE DOORS SHALL HAVE ALL REQUIRED LABELING.
3. CONTRACTOR SHALL VERIFY WITH OWNER FOR LOCKING AND KEYING REQUIREMENTS

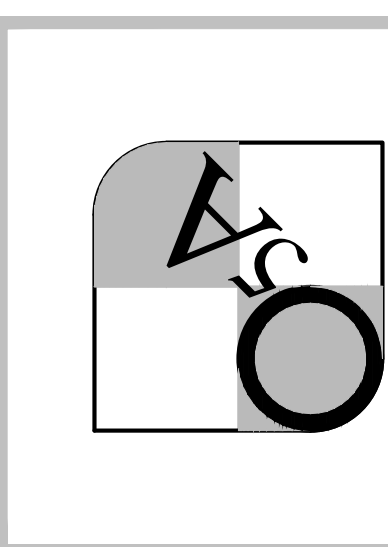
2 WALL BASE DETAIL
SCALE: 1-1/2" = 1'-0"



3 WALL DETAIL - PLAN
SCALE: 1-1/2" = 1'-0"



4 WALL @ ROOF DETAIL
SCALE: 1-1/2" = 1'-0"



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02-07-20

PROJECT TITLE
**BUILDING INTERIOR
RENOVATION**

ADDRESS:
20000 CALLE 49 BRIAN
CITY OF MESILLA, NM, 88047
PROJECT NO.: 14111-20

NO.	DATE	REVISION
1	-	-
2	-	-
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4	-	-
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SHEET TITLE
**CEILING/
ELECTRICAL
PLAN**

FILENAME: 14111-20-A101
ISSUE: PERMIT
DATE: FEB. 2020
DRAWN BY: NBO
CHECKED BY: NBO

OWNERSHIP APPROVAL:
SIGNATURE: _____ DATE: _____
THE PLANS FOR THIS PROJECT HAVE BEEN REVIEWED BY THE OWNER'S AGENT AND FOUND TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PLANS AS DATED ABOVE AND CORRECTED AND APPROVED.

SHEET NO.
A103

GENERAL NOTES

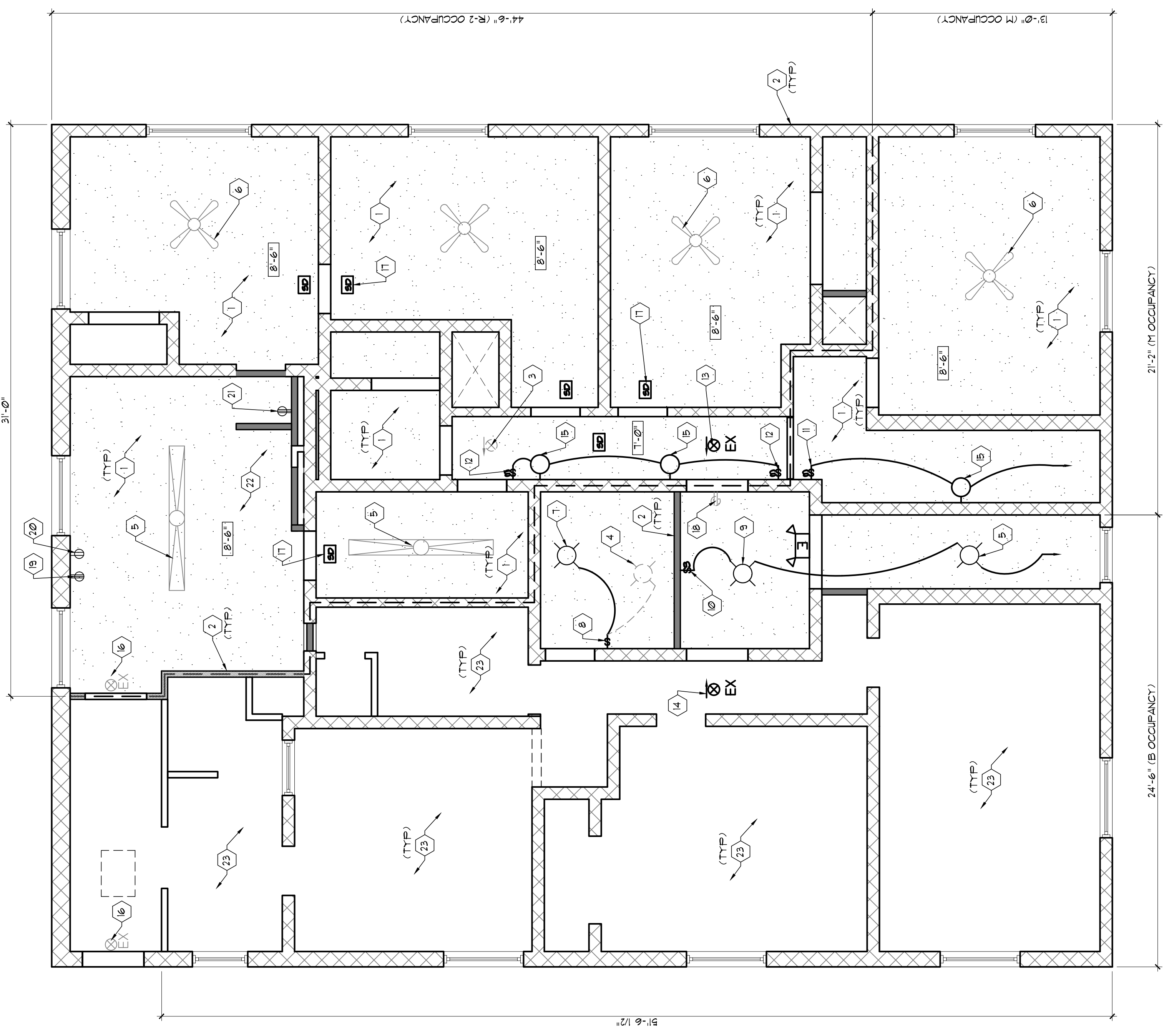
- DIMENSIONS TO EXISTING WALLS ARE TO FACE OF GYPSUM BOARD, DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD.
- CONTRACTOR SHALL VERIFY EXISTING OVERALL DIMENSIONS FOR CONFORMANCE WITH PLANS BEFORE PROCEEDING WITH WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO DEMOLITION & NOTIFYING ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- ALL EXISTING FIXTURES AND STRUCTURE SHOWN ARE FOR ILLUSTRATION ONLY AND MAY NOT BE CONSISTENT WITH WHAT IS AT THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS THAT ARE NOT PART OF PROJECT SCOPE FOR CONFORMANCE TO ALL APPLICABLE CODE.
- REMOVE ALL ELECTRICAL OUTLETS, SWITCHES, CONDUIT, ETC. IN WALLS TO BE REMOVED. ALL WIRING SHALL BE REMOVED BACK TO THE PANELS OR TO A POINT WHERE IT BECOMES INACCESSIBLE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED ELECTRICAL CODE FOR NEW WORK.
- CONTRACTOR SHALL REMOVE EXISTING WATER CLOSET, URINAL AND LAVATORY COMPLETELY WHERE REQUIRED. CAP PLUMBING BELOW FLOOR OR CEILING OR AT ENTRY TO SPACE AS REQUIRED. COORDINATE W/ NEW PLUMBING REQUIREMENTS. EXISTING WASTE LINE SHALL REMAIN IN SERVICE AT ALL TIMES. ALL NEW WASTE LINE SIZES SHALL BE PER CODE. ALL PLUMBING SHALL BE INSTALLED ABOVE THE FINISH FLOOR FINISH LINE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED PLUMBING CODE FOR NEW WORK.

CEILING NOTES

- EXISTING CEMENT PLASTER WITH METAL LATH CEILING - CONTRACTOR SHALL REPAIR DAMAGED OR AFFECTED CEILING TO MATCH EXISTING AND PAINT
- EXISTING OR NEW WALL - TYPICAL. SEE WALL SCHEDULE ON SHEET A02
- REMOVE AND RELOCATE EXISTING EXIT SIGN TO NEW EXIT DOOR
- REMOVE AND RELOCATE EXISTING CEILING LIGHT FIXTURE PER PLAN
- EXISTING CEILING MOUNTED LIGHT FIXTURE TO REMAIN
- EXISTING CEILING FANLIGHT TO REMAIN
- EXISTING PULL SWITCH LIGHT FIXTURE TO REMAIN. CONNECT TO SWITCH AT ENTRY - SEE PLAN
- EXISTING SWITCH - CONNECT TO LIGHT AS SHOWN
- RELOCATED LIGHT FIXTURE - CONNECT TO EXISTING LIGHT FIXTURE ABOVE STAIRS & CONNECT TO 3-WAY SWITCH
- PROVIDE NEW MOTION SENSOR SWITCH
- EXISTING SWITCH TO REMAIN - VERIFY FOR 3-WAY SWITCH OR REPLACE
- PROVIDE NEW 3-WAY SWITCH
- RELOCATED EXISTING SIGN
- PROVIDE NEW EXIT SIGN
- EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN
- EXISTING EXIT SIGN TO REMAIN
- REMOVE SMOKE DETECTOR - SMOKE DETECTORS AND ALARM SYSTEM SHALL BE HARD-WIRED WITH BATTERY BACK-UP POWER AND LOW BATTERY SIGNAL AND INSTALLED AS REQUIRED BY CODE. DETECTORS SHALL BE PLACED IN CORRIDORS, ADJACENT ROOMS AND SLEEPING ROOMS - AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL DETECTORS SHALL BE INTERCONNECTED TO SOUND A SIMULTANEOUS ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE APARTMENT
- REMOVE EXISTING WALL OUTLET
- PROVIDE RECEPTACLE AT ELECTRIC RANGE. CONTRACTOR SHALL COORDINATE CAPACITY PRIOR TO CIRCUITING
- PROVIDE OUTLET FOR VENT HOOD - VERIFY MOUNTING HEIGHT IN FIELD
- PROVIDE OUTLET FOR STACKED WASHER/DRYER
- CONTRACTOR SHALL VERIFY ALL EXISTING RECEPTACLE OUTLET NEAR THE KITCHEN SINK HAVE GFCI
- EXISTING CEILING - NO NEW WORK

CEILING LEGEND

	PAINTED CEMENT PLASTER CEILING		VENTILATION FAN
	2x4' LATH-IN CEILING		2x2 FLUORESCENT LATH-IN FIXTURE
	2x2' LATH-IN CEILING		2x4 FLUORESCENT LATH-IN FIXTURE
	STUCCO SOFFIT		RECESSED CAN FIXTURE
	CEILING OR SOFFIT HEIGHT		SUPPLY AIR REGISTER
	LINEAR FLUORESCENT FIXTURE - SURFACE MOUNTED		RETURN AIR REGISTER
	EMERGENCY LIGHT FIXTURE		LINEAR FLUORESCENT FIXTURE - SURFACE MOUNTED
			SMOKE DETECTOR
			SURFACE MOUNTED LIGHT FIXTURE
			RECEPTACLE OUTLET



1 CEILING/ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

NOTE:
ALL ELEMENTS AND SPACES ARE EXISTING UNLESS NOTED OTHERWISE.
ALL EXISTING ELECTRICAL FIXTURE ARE EXISTING AND SHALL REMAIN UNLESS NOTED OTHERWISE

TOWN OF MESILLA
ZONING APPROVAL

Case # 061024

Fee \$ 81.00

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061024 ZONE: HC CODE: RN APPLICATION DATE: 2/14/20

Name of Property Owner: Juhenne Hadfield
Property Owner's Telephone Number: 575-207-8931
Property Owner's Mailing Address: 5011 Wildhorse LLC City: Alamogordo State: NM Zip Code: 88001

Property Owner's E-mail Address: Juhenne.juelry@aol.com

Contractor's Name & Address (if none, indicate Self): Mark Sidaris, P.O. Box 294, Fair Oaks, NM 88001

Contractor's Telephone Number: 575-647-5147 Contractor's Tax ID Number: # 0102 42-6083 Contractor's License Number: # 196602

Address of Proposed Work: 2000 Calle de Parian, Mesilla

Description of Proposed Work: addition of interior doorway and fire wall separation between uses

Estimated Cost: 416690.00 Signature of Applicant: [Signature] Date: 2-14-2020

Signature of property owner: [Signature]

In the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and CID prior to issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

- Administrative Approval
- Approved Date: _____
- Disapproved Date: _____
- Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT APPROVAL REQ'D

CID PERMIT REQ'D

BOT ACTION FORM
ZONING PERMITS 061028
[PZHAC REVIEW – 4/6/20]
STAFF ANALYSIS

(Decision was based on information presented during the Work Session – Part of Item 2)

Items:

Case 061028 – 2305 Calle de Colon, submitted by Gerard Nevarez; a request for a zoning permit to install a **six foot by eight foot** decorative panel at this address; Zoned: Historic Residential (HR)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed decorative panel will be historically and architecturally acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed decorative panel will not be historically and architecturally acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: \$100.00

Consistency with the Code:

The PZHAC will need to determine that the proposed decorative panel will be consistent with the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing a decorative panel along the wall at the rear of a dwelling at this address.
- The PZHAC has determined that the proposed renovation meets all applicable Code requirements.

PZHAC OPTIONS:

- 1. Recommend approval of the zoning permit to the BOT.**
- 2. Recommend approval of the zoning permit to the BOT with conditions.**
- 3. Reject the application.**

PZHAC ACTION:

The PZHAC determined that the proposed 6 foot by 8 foot decorative panel was not affected by the current moratorium on building in the HR zone and that the panel would not be out of character with the nature of other properties in the area and voted 3 – 0 to recommend APPROVAL of this request to the BOT.

BOT OPTIONS:

- 4. Approve the application as recommended by the PZHAC.**
- 5. Approve the application with conditions.**
- 6. Reject the application.**

BOT ACTION:

**PZHAC WORK SESSION
APRIL 6, 2020
ITEM 2**

Submitted by Gerard Nevarez, a request to discuss plans to install a four foot by eight foot (**this should have stated six foot by eight foot, and was corrected by the PZHAC**) decorative panel (Permit 061028) and enclose an existing patio and add a covered patio (Case 061029) at the rear of a dwelling at 2305 Calle de Colon. Zoned: Historic Residential (HR)

Currently, the property is surrounded by a rock wall that is about 4-1/2 to 5 feet in height. This wall separates the subject property from the property to the south. The neighboring property currently has a dwelling that is under construction that is about 3 – 5 feet from the wall on the other side. Several windows look out into the applicant's patio (see attached photo). The applicant would like to install a four foot by eight foot decorative panel painted by Priscilliana Sandoval, a local artist, in the back yard next to the fence. (The panel cannot be seen from the street.) This will be supported by wood posts. The panel will be both decorative in that it will be similar to other decorative objects in the yard, and create a privacy barrier at the same time.

The applicant also plans to enclose an existing covered patio at the rear of the dwelling (see attached site plan). (Any bedroom windows that are used for emergency egress will exit into the enclosure will need to be addressed in order to meet the requirements of the building code.) Additionally, the applicant would like to build a new covered patio to be attached to the enclosed patio.

The PZHAC will need to determine that the fence work will be consistent with Chapters 18.33 (Historic Preservation) and 18.35 (HR-Residential Cultural Historic zone) of the Code.

18.33.080 Historical appropriateness permit.

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

18.35.030 Exterior appearance.

An application for a permit which would authorize construction, modification, moving or destruction which would affect the exterior appearance of any structure, sign, or other improvement affecting use or function must first be approved by the commission. [Ord. 94-06 § 1; prior code § 11-2-11.4.C]

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

The applicant will be available by phone at the work session to provide further details about the proposed privacy panel; and will be available to answer any questions that may arise.

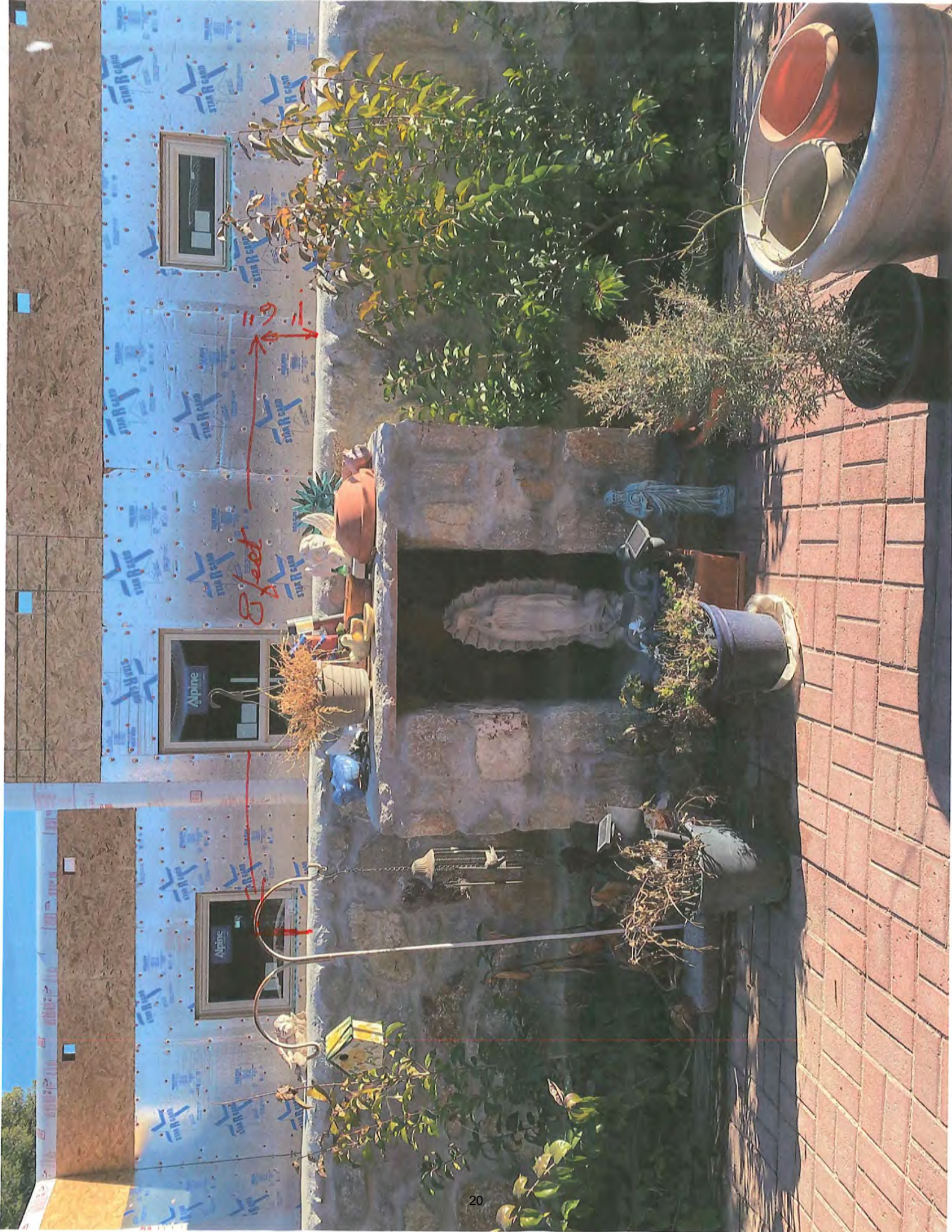


PHOTO OF THE SUBJECT DWELLING FROM CALLE DE COLON



PHOTO OF THE NEIGHBORING DWELLING AND ROCK WALL







BOT ACTION FORM
SIGN REQUEST
[PZHAC REVIEW]
“Psychology Consulting Options”

STAFF ANALYSIS

Item:

Case 061023– 2488 Calle de Guadalupe, submitted by Joseph Foster for “Psychology Consulting Options”; a request for a sign permit to allow two wall signs having a total of twelve square feet for a therapist practice at this address. Zoned: Historical Commercial (HC)

Description of Work to be Done:

The applicant would like to install two six square foot wall signs on either side of a door on a commercial building at this address (see attached diagram and photo). The sign will have off-white lettering on a tan background (see attached example). The signs will be placed on either side of an exterior door to the office with one sign for each tenant of the business.

Consistency with the Code:

The PZHAC must determine that the proposed signs will be consistent with the following Sections of the Sign Code (Chapter 18.65) that specifically apply to this project.

18.65.140 Wall signs.

A. Wall Sign Area.

1. Within the Historical Commercial (H-C) zone, the wall sign area, on any given house or building, shall in no case exceed 10 percent of any wall area including apertures or 15 square feet, whichever is less. Dimensions of painted signs or graphics with no frame shall be determined by measuring the extent of the painted sign or graphic horizontally and vertically and calculating the area.

B. No wall sign shall be permitted to be more than six inches thick. All wall signs shall be safely and securely attached to the building wall. [Ord. 2008-04 § 9; Ord. 2003-05 § 3; Ord. 2000-02 § 1; Ord. 94-08; prior code § 11-3-14]

18.65.220 Number of permitted signs.

A. A total of two exterior signs may be allowed to each store or bona fide place of business.

B. When more than one business occupies a single building each business will be limited to one sign plus a space on a directory sign at each entrance. [Ord. 2008-04 § 11; Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-22]

Findings of Fact:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing two 3- foot by 2-foot (6 square feet) rectangular wall signs on either side of a door on a business at this address.
- The subject property is zoned Historical General Commercial (HC)
- The proposed signs will not have negative impacts on the surrounding businesses in the area.
- The proposed signs will be consistent with the Code.

PZHAC ACTION:

The PZHAC determined that the proposed sign would not be out of character with the area and voted 3 – 0 to recommend APPROVAL of this request to the BOT.

BOT OPTIONS:

- 1. Approve the application as recommended by the PZHAC.**
- 2. Approve the application with conditions.**
- 3. Reject the application.**

BOT ACTION:

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number Enter V

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401209](#)
Parcel Number: 4006137253477
Owner: FOSTER JOSEPH W
Mail Address: 10090 BLACK HILLS ROAD
Subdivision:
Property Address: 2489 CALLE DE PRINCIPAL
Acres: 0



PRESCRIBING
PSYCHOLOGIST

Dr. Elaine O. Foster
Ph.D., ABPP

- > Evaluations
- > Psychotherapy
- > Consultations
- > Pharmacology

575-323-0341



OFFICIAL USE ONLY:

Case # 060123

Fee \$ 24.⁰⁰

CASE NO. 060123 ZONE: HC APPLICATION DATE: 2/25/20

PSYCHOLOGY CONSULTING OPTIONS 575-323-0341
Business Name Business Telephone Number

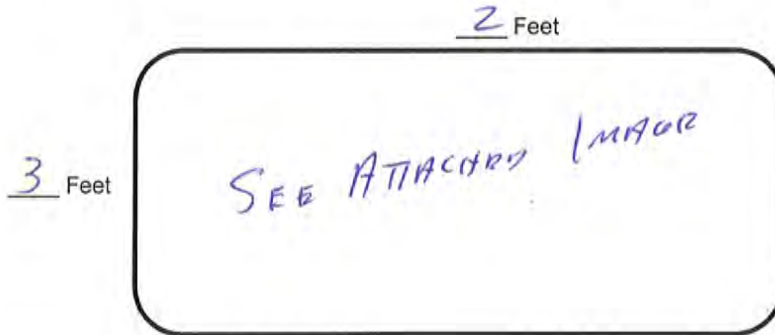
2488 CALLE DE GUADALUPE, MESILLA, NM 88046
Business Address City State Zip Code

JOSEPH W. FOSTER 850-502-9237
Applicant Name Applicant Telephone/Cell Number

10090 BLACK HILLS RD, LAS CRUCES, NM 88011
Mailing Address City State Zip Code

Description of sign: 2 PSYCHOLOGY SIGNS, ONE ON EACH SIDE
OF ENTRANCE DOOR, LISTING THERAPIST INFO.

Please include dimensions, lettering, shape, material, texture, colors, and/or finish to be used on the diagram below.



Colors: _____

FOR OFFICIAL USE ONLY

- PZHAC Administrative Approval Approved Date: _____
- Approved Date: _____ Disapproved Date: _____
- Disapproved Date: _____ Approved with Conditions
- Approved with conditions

CONDITIONS: _____

PERMIT ISSUED BY: _____ ISSUE DATE: _____

BOT ACTION FORM
SIGN REQUEST
[PZHAC REVIEW]
“Co-Lab Artisans Loft”

STAFF ANALYSIS

Item:

Case 060125 – 2601-3 Calle de Santiago, submitted by Kerry Carman for “Co-Lab Artisan’s Loft”; a request for a zoning permit to install a four square foot hanging sign at this address. Zoned: Historic Commercial (HC)

Description of Work to be Done:

The applicant would like to install a six four square foot hanging sign as a directory on the side of a small commercial building at this address (see attached diagram and photo). The sign will be two sided and have dark lettering on a white background (see attached example). The sign will be placed on the north side of the building.

Consistency with the Code:

The PZHAC must determine that the proposed sign will be consistent with the following Sections of the Sign Code (Chapter 18.65) that specifically apply to this project.

18.65.150 Projecting signs.

A. No projecting sign may rise above the level of the first story of the building to which it is attached. All projecting signs must be at least seven feet above sidewalk or ground level, and must be located within the central one-third of the facade length so as not to obstruct neighboring signs. B. Projecting signs shall be limited in area as follows:

1. A maximum of four feet projecting from the wall of the building;
2. A maximum of eight square feet of total sign space including frame. Both sides of a projecting sign may be used for advertisement.

C. The supporting structure of any projecting sign must be of adequate strength so as to have no need for guy- wires or wire reinforcement. [Ord. 94-08; prior code § 11-3-15]

Findings of Fact:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing four square foot hanging sign on the side of a business at this address.
- The subject property is zoned Historical General Commercial (HC)
- The proposed sign will not have negative impacts on the surrounding businesses in the area.
- The proposed sign will be consistent with the Code.

PZHAC ACTION:

The PZHAC determined that the proposed sign would not be out of character with the nature of the area and voted 3 – 0 to recommend APPROVAL of this request to the BOT.

BOT OPTIONS:

1. Approve the application as recommended by the PZHAC.
2. Approve the application with conditions.
3. Reject the application.

BOT ACTION:

**PHOTO OF PROPERTY FROM CALLE DE SANTIAGO
SHOWING WHERE SIGN IS TO BE HUNG**



Doña Ana County, NM

General Reference Maps

2014 Aerial Addresses County Address Points

Select Search Type: Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

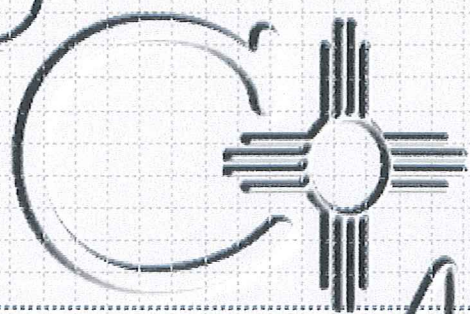
City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400318](#)
 Parcel Number: 4006137236430
 Owner: TAFOYA LARRY R & VIOLA P
 Mail Address: PO BOX 1315
 Subdivision:
 Property Address: 2309 CALLE DE GUADALUPE #UNIT A-B
 Acres: 0





Iab

Artisany Lett



OFFICIAL USE ONLY:

Case # 061025

Fee \$ 12.00

CASE NO. _____ ZONE: _____ APPLICATION DATE: 2/27/2020

CoLab Artisans Loft 575-312-0350
Business Name Business Telephone Number

2309 #3 San Albino 88046 LC NM
Business Address City State Zip Code

Jennifer Tyson 575-680-8049
Applicant Name Applicant Telephone/Cell Number

3548 Evg Ln LC NM 88012
Mailing Address City State Zip Code

Description of sign: Finished wood black & white paint

Please include dimensions, lettering, shape, material, texture, colors, and/or finish to be used on the diagram below.



Colors: wood stain, black & white

FOR OFFICAL USE ONLY

- PZHAC Administrative Approval
- Approved Date: _____
- Disapproved Date: _____
- Disapproved with conditions
- Approved with conditions
- BOT Approved Date: _____
- Disapproved Date: _____
- Approved with Conditions

CONDITIONS: PZHAC REVIEW & BOT APPROVAL REQUIRED

PERMIT ISSUED BY: _____ ISSUE DATE: _____

Community Development Department
2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104
www.mesilla-nm.gov



RESOLUTION 2020-07

ACCEPTANCE AND APPROVAL OF THE FY 2019 AUDIT

WHEREAS, the Town of Mesilla is required by statute to contract with an independent auditor to perform the required annual audit or agreed upon procedures for Fiscal Year 2019; and,

WHEREAS, the Town of Mesilla has directed the accomplishment of the audit for FY 2019 be completed; and,

WHEREAS, this audit has been completed and presented to the Town of Mesilla per the March 10, 2020 Letter from the Statue Auditor authorizing release of the FY 2019 audit.

WHEREAS, NMAC 2.2.2.10 (M) (4) provides in pertinent part that “Once the audit report is officially released to the agency by the state auditor (by a release letter) and the required waiting period of five calendar days has passed, unless waived by the agency in writing, the audit report shall be presented by the IPA, to a quorum of the governing authority of the agency at a meeting held in accordance with the Open Meetings Act, if applicable;” and,

NOW THEREFORE, BE IT RESOLVED, that the Town of Mesilla Board of Trustees does hereby accept and approve the completed audit report as indicated within this document.

ACCEPTED AND APPROVED this 13th day of April 2020 in regular session by the Town of Mesilla Board of Trustees.

TOWN OF MESILLA

NORA L. BARRAZA
MAYOR

ATTEST BY:

CYNTHIA STOEHNER-HERNANDEZ
CLERK/TREASURER

ROLL CALL VOTE:	Y/N
MAYOR BARRAZA	_____
MAYOR PRO-TEM JOHNSON-BURICK	_____
TRUSTEE CARO	_____
TRUSTEE ARZABAL	_____
TRUSTEE GARCIA	_____



RESOLUTION NO. 2020-08

A RESOLUTION DECLARING AN EMERGENCY AS A RESULT OF COVID-19

WHEREAS, because there were more than 118,000 cases of COVID-19 in 114 countries and because COVID-19 continued to spread, the World Health Organization characterized COVID-19 as a pandemic on March 11, 2020; and

WHEREAS, also on March 11, 2020, the New Mexico Department of Health reported that the first cases of COVID-19 had been confirmed in New Mexico; and

WHEREAS, New Mexico Governor Michelle Lujan Grisham on March 11, 2020, issued Executive Order 2020-004, which declared a statewide public health emergency pursuant to the Public Health Emergency Response Act and invoked gubernatorial powers under the All Hazard Emergency Management Act; and

WHEREAS, On March 13, 2020, President Donald J. Trump issued the Proclamation on Declaring a National Emergency Concerning the Novel Coronavirus Disease (COVID-19) Outbreak; and

WHEREAS, COVID-19 continues to spread both throughout the nation and within the State of New Mexico; and

WHEREAS, cases of COVID-19 have been confirmed within Dona Ana and the State of New Mexico; and

WHEREAS, the continued spread of COVID-19 poses a threat to the health, safety, and wellbeing of the residents of the Town of Mesilla and their property; and

WHEREAS, both the immediate and long-term personal, social, and economic effects of this pandemic is impossible to predict as this situation has never been encountered before; and

WHEREAS, the Town of Mesilla has taken and must continue to take extraordinary measures to address the threats posed by COVID-19; and

WHEREAS, the full extent of the damage to the Town of Mesilla is not known at this time.

NOW, THEREFORE BE IT RESOLVED, I, Mayor Nora L. Barraza, on behalf of the Town of Mesilla Board of Trustees, in order to provide for the safety and to preserve the health of the citizens of the Town of Mesilla and by virtue of the authority provided by the New Mexico All Hazard Emergency Management Act, NMSA 1978, Sec. 12-10-1, et seq., do hereby declare the Town of Mesilla to be under a State of Emergency for the purpose of exercising all necessary emergency powers and for expending local resources.

BE IT FURTHER RESOLVED that we request from the Federal Emergency Management Agency, the New Mexico State Department of Homeland Security and Emergency Management, and all other appropriate Federal and State agencies, aid, relief, and financial assistance to support and supplement the necessary actions taken by the Town of Mesilla in response to this emergency and to mitigate the costs incurred.

ACCEPTED AND APPROVED this 13th day of April 2020 in regular session by the Town of Mesilla Board of Trustees.

TOWN OF MESILLA

NORA L. BARRAZA
MAYOR

ATTEST BY:

CYNTHIA STOEHNER-HERNANDEZ
CLERK/TREASURER

ROLL CALL VOTE:	Y/N	
MAYOR BARRAZA		_____
TRUSTEE JOHNSON-BURICK		_____
TRUSTEE CARO		_____
TRUSTEE ARZABAL		_____
TRUSTEE GARCIA		_____



RESOLUTION NO. 2020-09
A RESOLUTION BY THE BOARD OF TRUSTEES EXTENDING A MORATORIUM
CEASING ALL CONSTRUCTION OF NEW BUILDING IN THE HR ZONE.

WHEREAS, the Board of Trustees (BOT) made mention of acting on a moratorium regarding all new construction in the Historic Residential Zone at previous meetings; and

WHEREAS, the BOT would like to clarify the Historic Residential Zone code; and

WHEREAS, the BOT heard public comment and found that a moratorium on new construction in the Historic Residential Zone would be appropriate until further review/research and possible ordinance changes are made; and

WHEREAS, changes to Mesilla Town Code as they relate to building in the Historic Residential Zone benefit the Town of Mesilla by clarifying this Chapter in the Mesilla Town Code; and

WHEREAS, the BOT approved a 60-day moratorium on November 25, 2019; and

WHEREAS, the BOT heard public input regarding changes to the ordinance on January 27th and determined that more time was needed to resolve some of the issues encountered within the ordinance; and

WHEREAS, the BOT approved an extension for another 30 days on February 10, 2020; and

WHEREAS, the BOT and P&Z held a joint work session on February 10, 2020 and determined that more time was needed for revisions to the Historic Residential Zone code;

WHEREAS, the BOT approved an extension to April 20, 2020 on March 9, 2020; and

WHEREAS, COVID-19 pandemic interfered with the regular schedule of meetings; and

NOW THEREFORE IT BE RESOLVED that the Board of Trustees extends the Moratorium until April 28, 2020 in order to adopt the final revisions to Chapter 18.35..

PASSED, ADOPTED AND APPROVED on this **13th** day of **April** 2020.

TOWN OF MESILLA

NORA L. BARRAZA
MAYOR

ATTEST BY:

CYNTHIA STOEHNER-HERNANDEZ
CLERK/TREASURER

ROLL CALL VOTE:	Y/N
MAYOR BARRAZA	_____
MAYOR PRO-TEM JOHNSON-BURICK	_____
TRUSTEE CARO	_____
TRUSTEE ARZABAL	_____
TRUSTEE GARCIA	_____

MEMORANDUM

TO: MAYOR NORA L. BARRAZA AND BOARD OF TRUSTEES

FROM: LARRY SHANNON, COMMUNITY DEVELOPMENT COORDINATOR

SUBJECT: ACTIVITY REPORT – MARCH 2020

DATE: APRIL 7, 2020

PZHAC BUSINESS
MARCH 2020

Items presented to the PZHAC

PZHAC WORK SESSION ITEMS:

1. Submitted by Jessie L. Herrera; a request to discuss plans to construct an addition to a dwelling at 2929 Calle de Guadalupe. (Permit 061020). Zoned: Residential Agricultural (RA)
2. Submitted by Nia Rucker; a request to discuss plans to replace windows on a dwelling at 1922 Calle de Cura. (Permit 061021) Zoned: Historical Residential (HR)

ADMINISTRATIVE APPROVAL

Zoning Permits

1. **Case 061013** – 2235 Avenida de Mesilla, submitted by Kristin Reardon; a request for a zoning permit to repair and repaint damaged stucco on an adobe dwelling at this address. Zoned: Historical Commercial (HC)
2. **Case 061014** – 1901 Calle de Correo, submitted by Brittany Bloch for Black Rat Tattoo; a request for a zoning permit to allow the installation of underground electrical service to a commercial structure at this address. Zoned: Historical Commercial (HC)
3. **Case 061015** – 1401 West Boutz Road, submitted by Lori and Xavier Jurado; a request for a zoning permit to allow the installation of a 6-foot high rock wall and landscaping on a residential property at this address. Zoned: Historical Residential (HR)
4. **Case 061018** – 2557 Calle de Parian, submitted by Andrea Bryan; a request for a zoning permit to allow the installation of photovoltaic cells on the roof of a dwelling at this address. Zoned: Historical Residential (HR)
5. **Case 061019** – 2280 Calle Principal, submitted by Anthony Radke for San Albino Church; a request for a zoning permit to allow the restriping of a parking lot at this address as part of a Boy Scout Eagle project. Zoned: Historical Commercial (HC)
6. **Case 061022** – 1948 Calle de Santiago, submitted by Lori S. Dahlstrom for “Silver Assets”; a request for a zoning permit to repair and repaint the stucco on a commercial structure at this address. Zoned: Historical Commercial (HC)

PZHAC DECISION ITEMS:

Zoning Permits:

1. **Case 061017** – 1940 Calle Pacana, submitted by Henry Newman and Lisa Belvito, a request for a zoning permit to construct an inground swim spa behind a dwelling that is under construction at this address. Zoned: Historic Residential (HR).
2. **Case 061020** – 2929 Calle de Guadalupe, submitted by Jessie L. Herrera; a request to for a zoning permit to allow an addition to a dwelling at this address. Zoned: Residential Agricultural (RA) (**Case heard during Work Session**)

3. **Case 061021** - 1922 Calle de Cura, submitted by Nia Rucker; a request for a zoning permit to replace windows on a dwelling at this address. Zoned: Historical Residential (HR) **(Case heard during Work Session)**
4. **Case 061024** – 2000 Calle de Parian, submitted by Julienne Hadfield; a request for a zoning permit to renovate the second floor of a commercial building at this address to include an office and a short-term rental unit. Zoned: Historical Commercial (HR)

Sign Permit

1. **Case 061023**– 2488 Calle de Guadalupe, submitted by Joseph Foster for “Psychology Consulting Options”; a request for a sign permit to allow two wall signs having a total of twelve square feet for a therapist practice at this address. Zoned: Historical Commercial (HC)

If you have any questions, comments or concerns please feel free to call me at 524 -3262 ext. 104; or e-mail me at larrys@mesillanm.gov.

***Town of Mesilla Assessor's Report
MARCH 2020***

Mesilla CASE #	DAC ACC'T #	APPL. DATE	ISSUEE/CONTRACTOR	VALUATION / COST	FEE	BLDG CODE	ADDRESS	DESCRIPTION OF WORK
061025	04-00318	3/4/20	Kerry Carman (Co-Lab Artisans Loft)	250.00		SIGN	2601-3 Calle de Santiago	4 square foot double sided hanging sign
061026	04-00411	3/4/20	Martin Serna/Serna Construction	5,000.00	100.00	MI	2795 Calle del Sur	Build a rock and wood wall around the property at this address.
061027	04-00498	3/12/20	Paul Barraza/self	1,050.00	60.00	MI	2649 Calle del Sur	Repair and restucco a parapet on a dwelling at this address
061028	04-00572	3/9/20	Gerard Nevarez	100.00	0.00	MI	2305 Calle de Colon	6 foot by 8 foot decorative panel in rear yard
061030	04-01146	3/5/20	Gabriel Quintana/Serna Construction	10,500.00	160.00	MI	2149 Calle de Los Huertos	Construct a rock wall around a residential property at this address.
061032	04-00572	3/9/20	Gerard Nevarez/Patrick Vigil	20,000	40.50	ADN	2305 Calle de Colon	Enclose an existing patio and build a new patio
061033	04-00628	3/13/20	Steven Cadena/self	3,000.00	80.00	MI	2230 Calle del Sur	Construct a rock wall and a stucco wall on the property at this address
061034	04-00628	3/13/20	Steven Cadena/self	2,000.00	13.50	AND	2230 Calle del Sur	Construct a porch around a dwelling at this address

Community Projects Report

Project	Description
Current Contact information	Dorothy Sellers Email: DorothyS@mesillanm.gov Work: 575-524-3262 Cell:575-571-3890
Census Day in Mesilla	Census day in Mesilla was cancelled. I have continued to work with Census teams to step up online presence. Spreading news through social media, website, and mailed flyers.
Easter on the Plaza	This event was cancelled. Easter eggs purchased for this event will be stored in a climate controlled room. I confirmed with the warehouse where they were purchased that no chocolate is in the eggs and the candy that is included should be ok for use next year.
Cinco de Mayo	Just received word that the fiesta is officially cancelled. Have begun reaching out to the vendors who had secured a spot. Options I am offering is #1. If we are able to mass gather over the summer I would like to explore having a make-up fiesta then, if so they can transfer their "spot" to that fiesta. #2. Transfer their spot to the Sept. 16 fiesta. #3 request a refund. As entertainment had not been paid they will be notified and contracts destroyed.
Summer Rec Program	Applied for this years grant and await award results. I have applications to fill the lead/supervisors for the program. Working on a way to interview while maintaining social distancing. Depending on events may have to push start time to later in the month of June.
Mercado	Mercado is currently closed until further notice. Vendors have been notified and Marshal Dept is assisting in ensuring no one is setting up on Fridays and Sundays.
Clean & Beautiful Grant	Work continues on Community Center park to comply with the FY20 grant received. Application window for next years grant (FY21) is open and has been extended and will be applied for again.
NM Tourism Grant	The media push of our video and banner has been paused and will resume when it is responsible to do so. Application window for next years grant has been extended to better evaluate the needs and availability of funds and will be applied for again.

2020 Summer Series	As of now, Summer Series is still moving forward. All bands have been booked for this years summer series. KW Sounds will provide the sound for these events. Beer garden will continue this year. Experience will provide a list of businesses that shall participate in May.
Covid-19	Have been updating the website with valid Covid-19 information as well as providing PSA for the public via social media and website. Have also participating daily on the Joint Information Center calls providing information relevant to Covid-19 and Mesilla so it can be pushed out to the public.
4 th of July	Talent has been booked for the 4 th of July. Reaching out to Planet Fireworks to ensure we can partner once more on display.



MEMORANDUM

To: Mayor and Trustees

From: Cynthia Stoechner-Hernandez
Town Clerk-Treasurer *CSH*

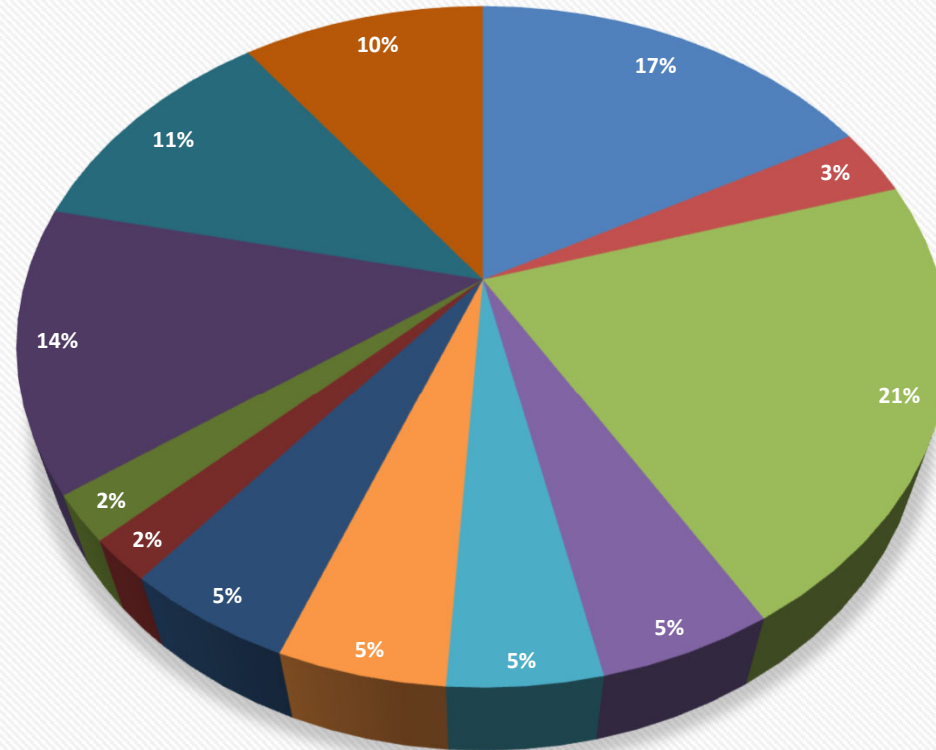
RE: Monthly Finance Report

Listed below is a review of department and fund expenditures for: March
General Fund should be at: 66.67% spending

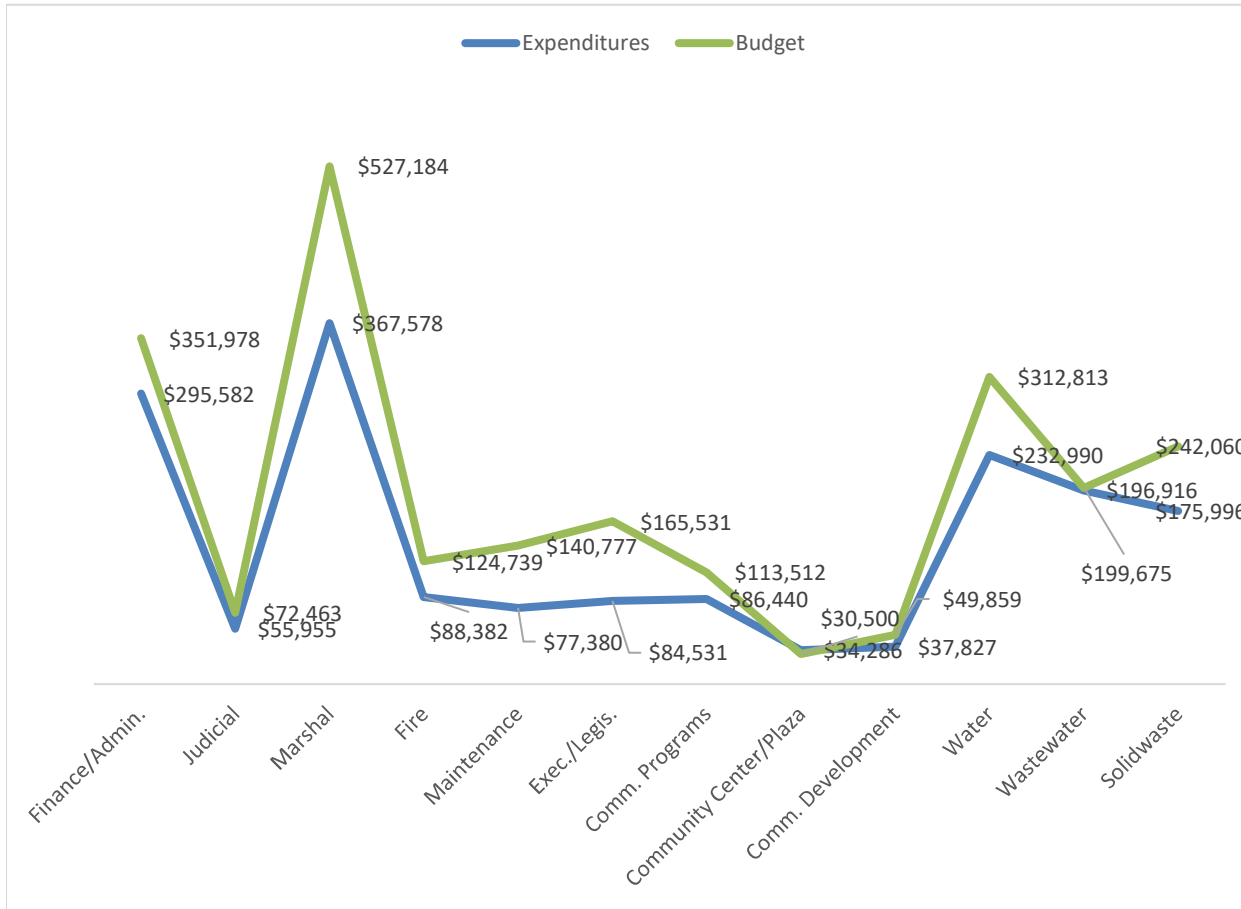
PER THE MAYOR'S DIRECTION - BUDGETS HAVE BEEN FROZEN WITH THE EXCEPTION OF EMERGENCY EXPENDITURES

YTD EXPENDITURES	%Exp.	\$ Money YTD	Mo.%	YTD % over/under	Approved Budget
Finance/Admin.	83.98%	\$295,582	100.00%	-16.02%	\$ 351,978
Judicial	77.22%	\$55,955	100.00%	-22.78%	\$ 72,463
Marshal	69.72%	\$367,578	100.00%	-30.28%	\$ 527,184
Fire	70.85%	\$88,382	100.00%	-29.15%	\$ 124,739
Maintenance	54.97%	\$77,380	100.00%	-45.03%	\$ 140,777
Exec./Legis.	51.07%	\$84,531	100.00%	-48.93%	\$ 165,531
Comm. Programs	76.15%	\$86,440	100.00%	-23.85%	\$ 113,512
Community Center/Plaza	112.41%	\$34,286	100.00%	12.41%	\$ 30,500
Comm. Development	75.87%	\$37,827	100.00%	-24.13%	\$ 49,859
General Fund	71.55%	\$1,127,961	100.00%	-28.45%	\$ 1,576,543
Water	74.48%	\$232,990	100.00%	-25.52%	\$ 312,813
Wastewater	98.62%	\$196,916	100.00%	-1.38%	\$ 199,675
Solidwaste	72.71%	\$175,996	100.00%	-27.29%	\$ 242,060
Enterprise Fund	74.94%	\$605,902	100.00%	-25.06%	\$ 808,548

EXPENDITURES



EXPENDITURES VS BUDGET

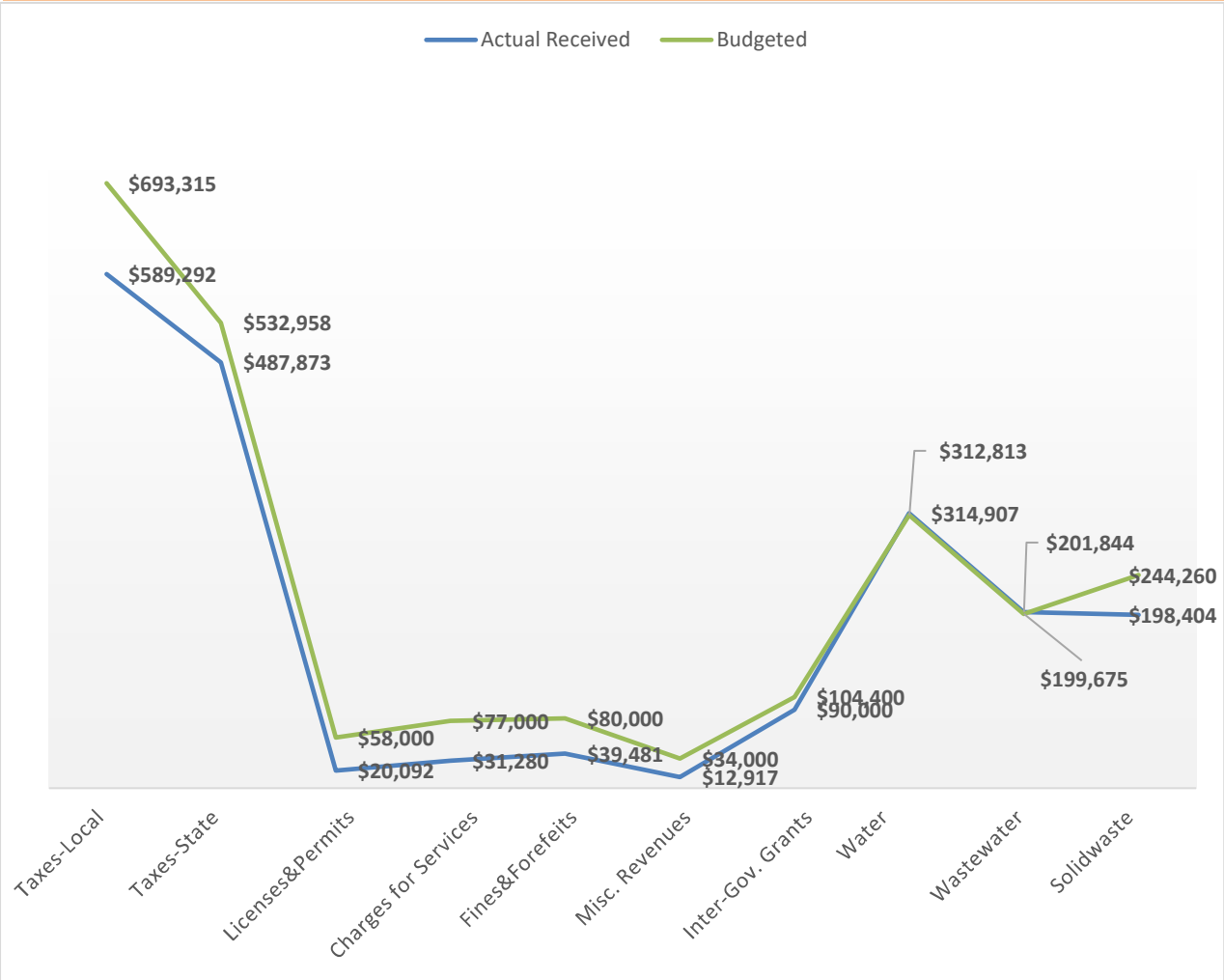


Please request the INCODE report for detail revenues and expenses by fund.

REVENUE

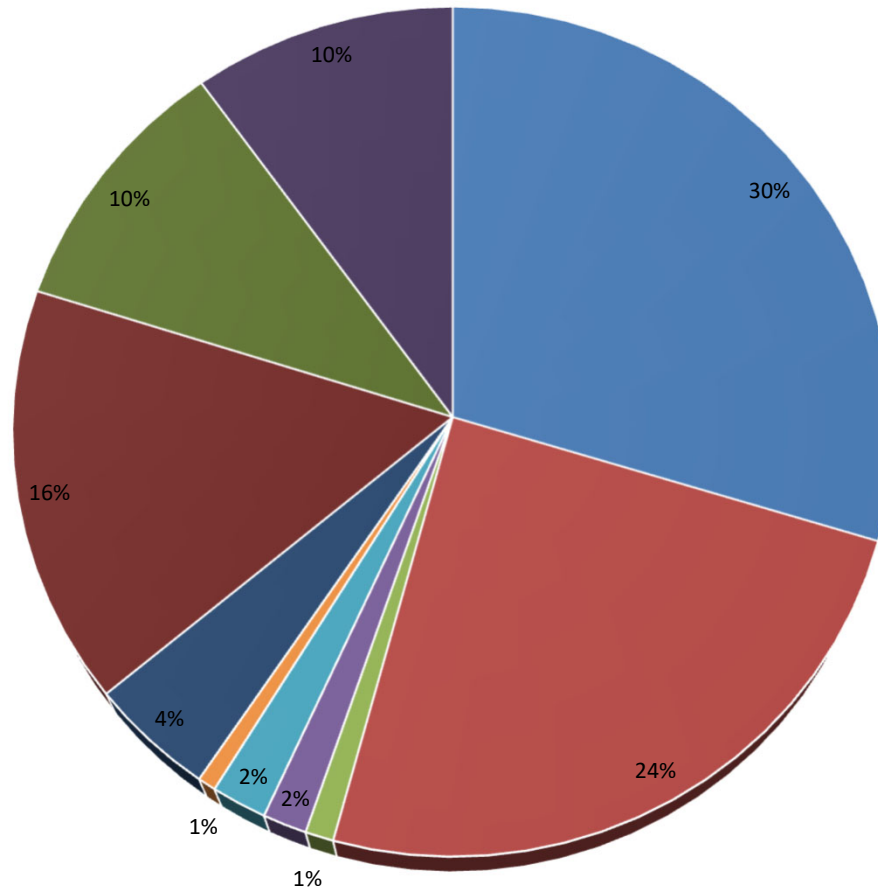
YTD REVENUES	% Rec.	YTD Money \$	% Est.	YTD % over/under	AMOUNT BUDGETED
Taxes-Local	85.00%	\$589,292	100.00%	-15.00%	\$693,315
Taxes-State	91.54%	\$487,873	100.00%	-8.46%	\$532,958
Licenses&Permits	34.64%	\$20,092	100.00%	-65.36%	\$58,000
Charges for Service	40.62%	\$31,280	100.00%	-59.38%	\$77,000
Fines&Forefeits	49.35%	\$39,481	100.00%	-50.65%	\$80,000
Misc. Revenues	37.99%	\$12,917	100.00%	-62.01%	\$34,000
Inter-Gov. Grants	86.21%	\$90,000	100.00%	-13.79%	\$104,400
General Fund	80.46%	\$1,270,935	100.00%	-19.54%	\$1,579,673
Water	100.67%	\$314,907	100.00%	0.67%	\$ 312,813
Wastewater	101.09%	\$201,844	100.00%	1.09%	\$ 199,675
Solidwaste	81.23%	\$198,404	100.00%	-18.77%	\$ 244,260
Enterprise Fund	94.50%	\$715,155	100.00%	-5.50%	\$756,748

REVENUE vs BUDGET



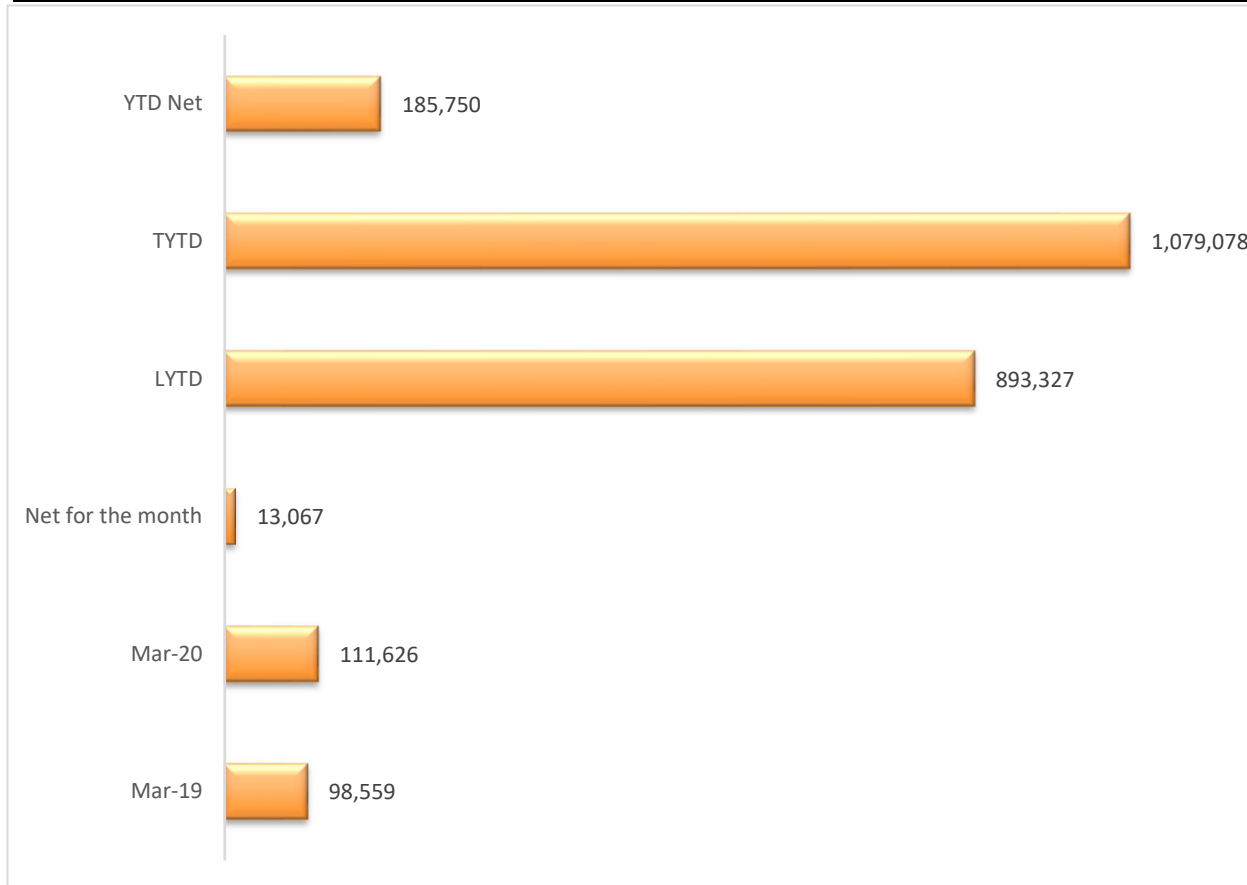
YTD REVENUES

- Taxes-Local
- Taxes-State
- Licenses&Permits
- Charges for Services
- Fines&Forefeits
- Misc. Revenues
- Inter-Gov. Grants
- Water
- Wastewater
- Solidwaste



GRT COMPARISONS

Mar-19	Mar-20	Net for the month	LYTD	TYTD	YTD Net
98,559	111,626	13,067	893,327	1,079,078	185,750



Business GRT in January 2020

Percentage by month	13%	Percentage over last FYTD	21%
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TOWN OF MESILLA FIRE DEPARTMENT
MONTHLY BOT REPORT



DATE: March, 2020

MAJOR ADDITIONS TO INVENTORY

NONE

MAINTENANCE OF EQUIPMENT

Cut saw from Engine 31 to the shop for parts replacement, would not run. Engine 32 had electrical shorts in the lights repaired, the driver's seat suspension repaired. Electrical issue on Brush 31 scene pending repair. Two SCBA packs down and scheduled to be repaired by MES.

COMMENTS

Due to the current Public health crisis the Public safety building is closed to all civilians non-essential visitors. Routine inspections have been suspended however life safety complaints and observed hazards will be addressed.

All Fire and LE personnel are required to be screened for symptoms of infectious disease and their temperature recorded at the beginning of each shift. This includes screening for recent travel and a brief medical questionnaire. The FD is also conducting screenings for persons reporting to the Municipal Court for court proceedings.

The Mesilla firefighters conducted a donation drive and on the April 4-6 distributed care packages to 41 homes in Mesilla and nearby communities to over 53 elderly and immune compromised individuals. Packages consisted of toilet paper, cleaning supplies, hand sannitizer, food and water.

These **volunteers** also continue to cover shifts and respond to calls despite the growing crisis in our county and state.

SUBMITTED BY

Fire Chief Kevin Hoban _____

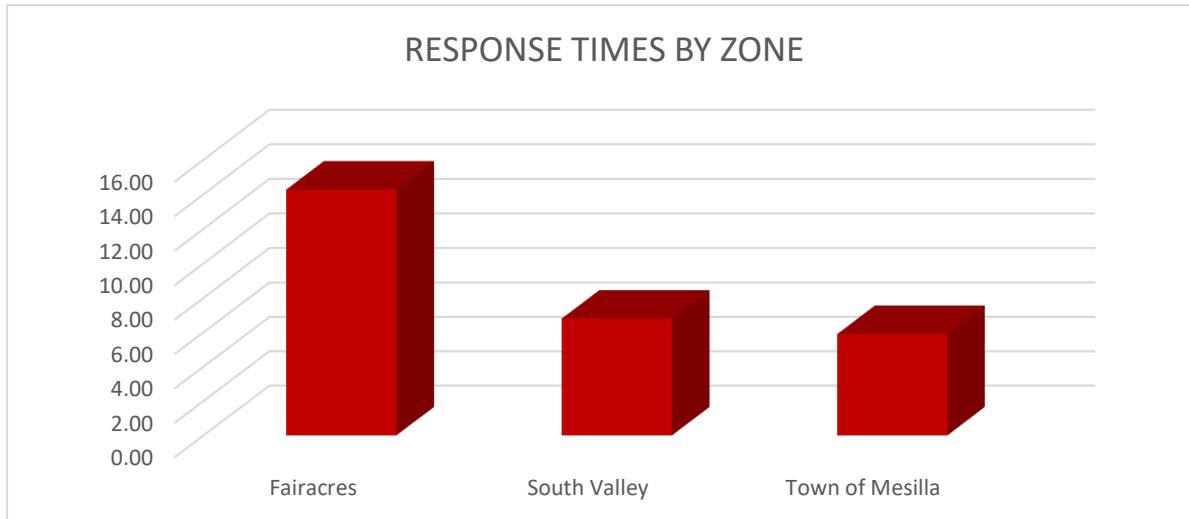
Mesilla Fire Department

Mesilla, NM

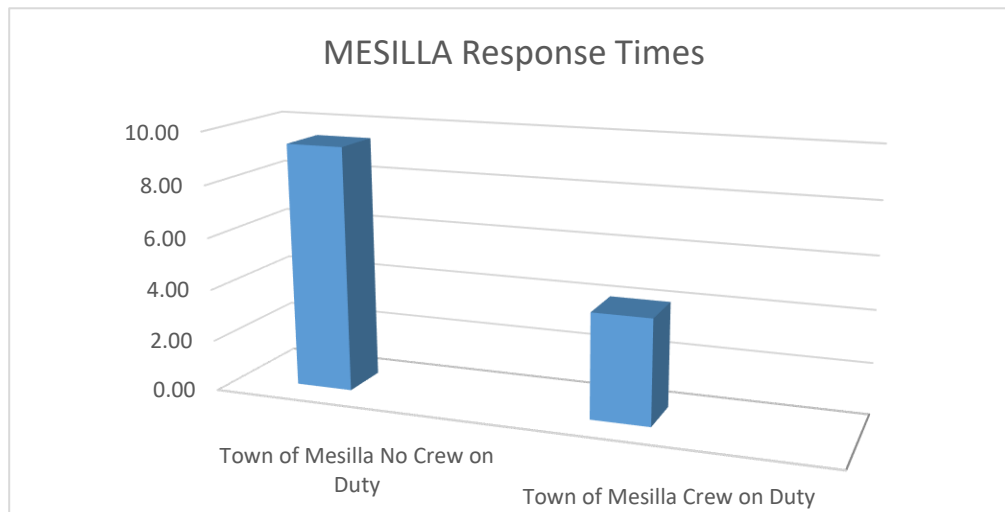
This report was generated on 01/02/2019



Response Mode: Lights and Sirens | Start Date: 12/01/2018 | End Date:12/31/2018



Zone	AVERAGE RESPONSE TIME (in minutes)
Fairacres	14.27
South Valley	6.80
Town of Mesilla	5.9
Town of Mesilla No Crew on Duty	9.43
Town of Mesilla Crew on Duty	4.07



Only REVIEWED incidents included. Response Time is Dispatched to Arrived.



Only REVIEWED incidents included. Response Time is Dispatched to Arrived.



Only REVIEWED incidents included. Response Time is Dispatched to Arrived.

emergencyreporting.com
Doc Id: 342
Page # 3 of 3

Mesilla Fire Department

Mesilla, NM

This report was generated on 4/7/2020 3:30:54 PM



Incident Statistics

Start Date: 03/01/2020 | End Date: 03/31/2020

INCIDENT COUNT			
INCIDENT TYPE		# INCIDENTS	
EMS		11	
FIRE		9	
TOTAL		20	
TOTAL TRANSPORTS (N2 and N3)			
APPARATUS	# of APPARATUS TRANSPORTS	# of PATIENT TRANSPORTS	TOTAL # of PATIENT CONTACTS
0	0	0	0
Bat31	2	4	4
BR31	3	3	3
SQ32	1	1	1
TOTAL	6	8	8
PRE-INCIDENT VALUE		LOSSES	
\$0.00		\$0.00	
CO CHECKS			
TOTAL			
MUTUAL AID			
Aid Type		Total	
Aid Given		7	
Aid Received		1	
OVERLAPPING CALLS			
# OVERLAPPING		% OVERLAPPING	
0		NaN	
LIGHTS AND SIREN - AVERAGE RESPONSE TIME (Dispatch to Arrival)			
Station	EMS	FIRE	
Mesilla Fire Main Station 31	0:07:23	0:15:36	
AVERAGE FOR ALL CALLS		0:08:36	
LIGHTS AND SIREN - AVERAGE TURNOUT TIME (Dispatch to Enroute)			
Station	EMS	FIRE	
Mesilla Fire Main Station 31	0:01:36	0:01:55	
AVERAGE FOR ALL CALLS		0:01:38	
AGENCY	AVERAGE TIME ON SCENE (MM:SS)		
Mesilla Fire Department	33:53		

Only Reviewed Incidents included. CO Checks only includes Incident Types: 424, 736 and 734. # Apparatus Transports = # of incidents where apparatus transported. # Patient Transports = All patients transported by EMS. # Patient Contacts = # of PCR contacted by apparatus. This report now returns both NEMSIS 2 & 3 data as appropriate. For overlapping calls that span over multiple days, total per month will not equal Total count for year.

Mesilla Fire Department

Mesilla, NM

This report was generated on 4/7/2020 3:30:54 PM



Incident Statistics

Start Date: 03/01/2020 | End Date: 03/31/2020

INCIDENT COUNT			
INCIDENT TYPE		# INCIDENTS	
EMS		11	
FIRE		9	
TOTAL		20	
TOTAL TRANSPORTS (N2 and N3)			
APPARATUS	# of APPARATUS TRANSPORTS	# of PATIENT TRANSPORTS	TOTAL # of PATIENT CONTACTS
0	0	0	0
Bat31	2	4	4
BR31	3	3	3
SQ32	1	1	1
TOTAL	6	8	8
PRE-INCIDENT VALUE		LOSSES	
\$0.00		\$0.00	
CO CHECKS			
TOTAL			
MUTUAL AID			
Aid Type		Total	
Aid Given		7	
Aid Received		1	
OVERLAPPING CALLS			
# OVERLAPPING		% OVERLAPPING	
0		NaN	
LIGHTS AND SIREN - AVERAGE RESPONSE TIME (Dispatch to Arrival)			
Station	EMS	FIRE	
Mesilla Fire Main Station 31	0:07:23	0:15:36	
AVERAGE FOR ALL CALLS		0:08:36	
LIGHTS AND SIREN - AVERAGE TURNOUT TIME (Dispatch to Enroute)			
Station	EMS	FIRE	
Mesilla Fire Main Station 31	0:01:36	0:01:55	
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AGENCY		AVERAGE TIME ON SCENE (MM:SS)	
Mesilla Fire Department		33:53	

Only Reviewed Incidents included. CO Checks only includes Incident Types: 424, 736 and 734. # Apparatus Transports = # of incidents where apparatus transported. # Patient Transports = All patients transported by EMS. # Patient Contacts = # of PCR contacted by apparatus. This report now returns both NEMSIS 2 & 3 data as appropriate. For overlapping calls that span over multiple days, total per month will not equal Total count for year.

Mesilla Fire Department

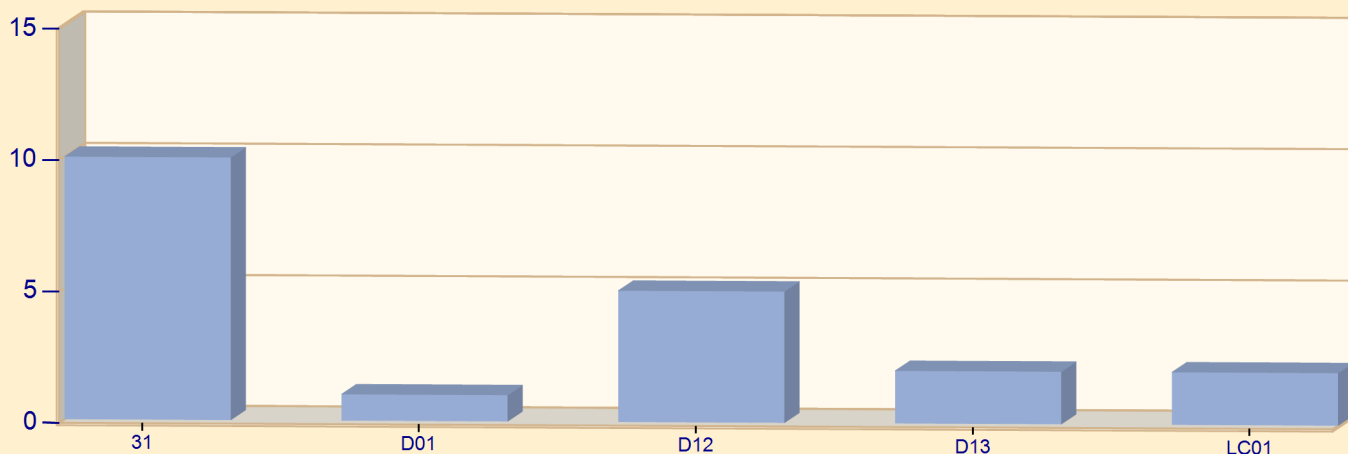
Mesilla, NM

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Incident Type Count per Zone for Date Range

Start Date: 03/01/2020 | End Date: 03/31/2020



ZONES	INCIDENT TYPE	COUNT
31 - Town of Mesilla		
	321 - EMS call, excluding vehicle accident with injury	6
	322 - Motor vehicle accident with injuries	1
	551 - Assist police or other governmental agency	1
	554 - Assist invalid	1
	911 - Citizen complaint	1
	<i>Total Incidents for 31 - Town of Mesilla</i>	10
D01 - Dona Ana		
	611 - Dispatched & cancelled en route	1
	<i>Total Incidents for D01 - Dona Ana.</i>	1
D12 - Fairacres		
	111 - Building fire	1
	132 - Road freight or transport vehicle fire	1
	311 - Medical assist, assist EMS crew	1
	320 - Emergency medical service, other	1
	611 - Dispatched & cancelled en route	1
	<i>Total Incidents for D12 - Fairacres.</i>	5
D13 - South Valley		
	142 - Brush or brush-and-grass mixture fire	1
	322 - Motor vehicle accident with injuries	1
	<i>Total Incidents for D13 - South Valley.</i>	2

Zone information is defined on the Basic Info 3 screen of an incident.
Only REVIEWED incidents included.

ZONES	INCIDENT TYPE	COUNT
LC01 - City of Las Cruces		
	321 - EMS call, excluding vehicle accident with injury	1
	611 - Dispatched & cancelled en route	1
	<i>Total Incidents for LC01 - City of Las Cruces.</i>	2
Total Count for all Zone:		20

Zone information is defined on the Basic Info 3 screen of an incident.
Only REVIEWED incidents included.

Mesilla Fire Department

Mesilla, NM

This report was generated on 4/7/2020 3:40:09 PM



Occupancies Inspected for Date Range

Start Date: 03/01/2020 | End Date: 03/31/2020

OCCUPANCY	ID	ADDRESS	ZONE	LAST INSPECTION
Andele Restaurant, LLC	9	1950 Calle Del Norte		03/05/2020
Andele Tortilleria	64	1950 Calle Del Norte		03/05/2020
Andele's Dog House	10	1983 Calle Del Norte		03/05/2020
Andeles Fiesta place	1	1955 Calle del Norte #D		03/05/2020
Hacienda de Mesilla	14	1891 Avenida De Mesilla		03/12/2020

of Occupancies Inspected: 5

% Occupancies Inspected: 2.34

Included occupancies are those that have a LOCKED inspection on record for the date range provided.

Mesilla Fire Department

Mesilla, NM

This report was generated on 4/7/2020 3:36:16 PM



Response Activity Report

Start Date: 03/01/2020 | End Date: 03/31/2020

INCIDENT #	DATE	ALARM TIME	ARRIVE TIME	RESPONSE TIME	ADDRESS
111 - Building fire					
2020-0000096	2020/03/23	07:17:31	07:29:21	00:11:50	3841 Southwind AVE
Subtotal Count: 1		Average Response Time for Incident Type: 00:11:50			
132 - Road freight or transport vehicle fire					
2020-0000088	2020/03/14	23:27:23	23:49:01	00:21:38	126 Interstate 10
Subtotal Count: 1		Average Response Time for Incident Type: 00:21:38			
142 - Brush or brush-and-grass mixture fire					
2020-0000098	2020/03/27	13:36:14	13:42:26	00:06:12	1659 W Union AVE
Subtotal Count: 1		Average Response Time for Incident Type: 00:06:12			
311 - Medical assist, assist EMS crew					
2020-0000082	2020/03/01	21:36:44	21:56:56	00:20:12	749 N Fairacres RD
Subtotal Count: 1		Average Response Time for Incident Type: 00:20:12			
320 - Emergency medical service, other					
2020-0000097	2020/03/25	22:01:32	22:25:00	00:23:28	713 Snow RD
Subtotal Count: 1		Average Response Time for Incident Type: 00:23:28			
321 - EMS call, excluding vehicle accident with injury					
2020-0000081	2020/03/01	01:00:35	01:00:35	00:00:00	190 E University AVE
2020-0000084	2020/03/06	21:49:39	22:15:22	00:25:43	Calle de Santiago
2020-0000085	2020/03/08	15:16:20	15:22:16	00:05:56	2410 Calle de San Albino
2020-0000086	2020/03/13	21:08:54	21:27:10	00:18:16	2171 Calle de Parian
2020-0000092	2020/03/17	14:26:48	14:34:46	00:07:58	2890 Snow RD
2020-0000095	2020/03/22	22:55:56	23:04:06	00:08:10	110 Capri RD
2020-0000100	2020/03/31	03:34:15	03:39:44	00:05:29	2194 Calle de Los Huertos
Subtotal Count: 7		Average Response Time for Incident Type: 00:10:35			
322 - Motor vehicle accident with injuries					
2020-0000087	2020/03/14	23:10:22	23:18:43	00:08:21	Highway 28
2020-0000089	2020/03/15	15:30:24	15:43:22	00:12:58	Calle del Norte
Subtotal Count: 2		Average Response Time for Incident Type: 00:11:25			
551 - Assist police or other governmental agency					
2020-0000099	2020/03/30	07:36:22	07:38:33	00:02:11	2231 Avenida de Mesilla
Subtotal Count: 1		Average Response Time for Incident Type: 00:02:11			
554 - Assist invalid					
2020-0000094	2020/03/21	10:48:34	11:01:39	00:13:05	675 Ritter DR
Subtotal Count: 1		Average Response Time for Incident Type: 00:13:05			
911 - Citizen complaint					
2020-0000090	2020/03/15	16:45:45	16:53:24	00:07:39	3120 McDowell RD
Subtotal Count: 1		Average Response Time for Incident Type: 00:07:39			
Grand Total: 17		Average Response Time for All Incident Types:			00:11:41

Calls by Incident Type. Does not include calls where there was no response.

Mesilla Fire Department

Mesilla, NM

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Events per Event Type for Date Range (Landscape)

Start Date: 03/01/2020 | End Date: 03/31/2020

EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
Daily Operations Shift						
	03/02/2020	C-Shift	Shifts	Firehouse 31	15	Lachlan Boyd, Manuel Felix, Trevor Fietze, Sebastian Linares
	03/03/2020	A-Shift	Shifts	Firehouse 31	16	Manuel Felix, Francisco Lopez, Dylan Thunhorst
	03/05/2020	C-Shift	Shifts	Firehouse 31	12	Lachlan Boyd, Trevor Fietze, Sebastian Linares, Mateo Martinez
	03/07/2020	B shift	Shifts	Firehouse 31	10	Trevor Fietze
	03/08/2020	C Shift	Shifts	Firehouse 31	24	Trevor Fietze, Joseph Torres
	03/09/2020	A-Shift	Shifts	Firehouse 31	15	Lachlan Boyd, Francisco Lopez, Anthony Martinez Jr. , Thomas Montoya, Dylan Thunhorst
	03/09/2020	A Shift	Shifts	Firehouse 31	6	Trevor Fietze, George Klebansky, Joseph Torres
	03/10/2020	B-Shift	Shifts	Firehouse 31	17.5	Trevor Fietze, Sonny Gomez, Justin Knoll, Sebastian Linares, Cavin Roberson, Joseph Torres
	03/11/2020	C Shift	Shifts	Firehouse 31	12	Lachlan Boyd, Trevor Fietze, Joseph Torres
	03/13/2020	B-Shift	Shifts	Firehouse 31	13	Manuel Felix, Sebastian Linares, Francisco Lopez
	03/14/2020	C-Shift	Shifts	Firehouse 31	4	Manuel Felix, Sebastian Linares

Only LOCKED events included.

EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
	03/15/2020	C Shift	Shifts	Firehouse 31	8	Manuel Felix, Trevor Fietze
	03/16/2020	B-Shift	Shifts	Firehouse 31	11	Trevor Fietze, Dylan Thunhorst, Lillian Villazon
	03/17/2020	C Shift	Shifts	Firehouse 31	24	Trevor Fietze, Dylan Thunhorst, Joseph Torres, Lillian Villazon
	03/19/2020	B shift	Shifts	Firehouse 31	9	Trevor Fietze
	03/20/2020	C Shift	Shifts	Firehouse 31	10	Trevor Fietze, Joseph Torres
	03/21/2020	A-Shift	Shifts	Firehouse 31	11	Manuel Felix, Dylan Thunhorst
	03/22/2020	B shift	Shifts	Firehouse 31	24	Trevor Fietze, Sebastian Linares
	03/23/2020	C Shift	Shifts	Firehouse 31	12	Trevor Fietze, Sebastian Linares, Dylan Thunhorst, Joseph Torres
	03/25/2020	B-Shift	Shifts	Firehouse 31	24	Manuel Felix, Trevor Fietze, Sebastian Linares, Laura Orrantia, Dylan Thunhorst, Joseph Torres, Lillian Villazon
	03/26/2020	C Shift	Shifts	Firehouse 31	24	Manuel Felix, Trevor Fietze, Joseph Torres
	03/28/2020	B-Shift	Shifts	Firehouse 31	11	Sebastian Linares, Dylan Thunhorst, Lillian Villazon
	03/29/2020	Prevention Shift	Bike Patrol	Firehouse 31	6	Crystal Davis-Whited, Andy Embury, Amy O'Brien, Gregory Whited
	03/29/2020	C Shift	Shifts	Firehouse 31	2.5	Sebastian Linares, Dylan Thunhorst, Lillian Villazon
	03/30/2020	A-Shift	Shifts	Firehouse 31	12	Trevor Fietze, Dylan Thunhorst
	03/31/2020	B shift	Shifts	firehouse 31	24	Trevor Fietze, Sebastian Linares, Dylan Thunhorst

Total Hours for Daily Operations Shift: 357

Prevention Division Shift						
	03/05/2020	Inspections	Prevention Event	town of Mesilla	4	Andy Embury, Dylan Thunhorst, Gregory Whited

Only LOCKED events included.

EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
	03/12/2020	inspections	Prevention Event	town of mesilla	6	Ariel Caro, George Klebansky, Joseph Torres, Gregory Whited

Total Hours for Prevention Division Shift: 10

Administration Shift						
	03/19/2020	Meeting	Administrative	town hall	6	Gregory Whited
	03/21/2020	Admin Shift	Administrative	Telework	4	Crystal Davis-Whited
	03/29/2020	Administrative Shift	Administrative	TeleWork	3.25	Harry Evans
	03/30/2020	Administrative Shift	Administrative	Telework	3	Harry Evans

Total Hours for Administration Shift: 16.25

Only LOCKED events included.

Mesilla Fire Department

Mesilla, NM

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Total Hours by Volunteers for Date Range

Pay Grades: All Pay Grades | Start Date: 03/01/2020 | End Date: 03/31/2020

PERSONNEL	INCIDENT TIME	TRAINING TIME	EVENT TIME	TOTAL TIME
Boyd, Lachlan James	0:25	3:00	33:00	36:25
Caro, Ariel M	0:00	3:00	6:00	9:00
Davis-Whited, Crystal	0:00	20:30	10:00	30:30
Embury, Andy G.	1:28	5:00	10:00	16:28
Evans, Harry A	1:17	10:00	6:09	17:26
Felix, Manuel R	2:24	5:00	81:00	88:24
Frietze, Trevor R	4:28	8:00	225:00	237:28
Gomez, Sonny	0:00	3:00	10:30	13:30
Klebansky, George A	9:49	10:00	12:00	31:49
Knoll, Justin S	0:11	0:00	15:00	15:11
Linares, Sebastian	4:04	0:00	129:30	133:34
Lopez, Francisco A	0:00	5:00	29:00	34:00
Lucero, Jojo	0:00	2:00	0:00	2:00
Manriquez, Humberto	0:00	5:00	0:00	5:00
Martinez Jr. , Anthony R	0:00	0:00	12:00	12:00
Martinez, Mateo	0:10	2:00	10:00	12:10
McBurney, Samuel O	0:59	4:00	0:00	4:59
Montoya, Thomas M	0:00	2:00	12:00	14:00
Navarro, Nicolas A	0:00	6:00	0:00	6:00
O'Brien, Amy M	0:00	2:00	6:00	8:00
Orrantia, Laura T	0:25	0:00	13:00	13:25
Palma, Eric G	0:00	2:00	0:00	2:00
Roberson, Cavin C	0:00	0:00	11:00	11:00
Rossman, Tabitha A	0:00	2:00	0:00	2:00
Sanchez, Xavier	0:00	5:00	0:00	5:00
Soto, Andrew	0:00	2:00	0:00	2:00
Thunhorst, Dylan P	4:02	0:00	146:00	150:02
Thunhorst, Ines C	0:00	2:00	0:00	2:00
Torres, Joseph J	0:25	3:00	139:30	142:55
Tucker, Austin J	0:38	0:00	0:00	0:38
Villazon, Lillian M	0:00	0:00	35:30	35:30
Whited, Gregory E	0:17	10:00	22:00	32:17
TOTAL				1186:41:00

]

Mesilla Fire Department

Mesilla, NM

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Count of Classes by Personnel by Class Category

Passed/Failed: Both Passed and Failed | Personnel: All Personnel | Start Date: 03/01/2020 | End Date: 03/31/2020

Boyd, Lachlan James

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	3:00
Total for Boyd, Lachlan James	1	3:00

Caro, Ariel M

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	3:00
Total for Caro, Ariel M	1	3:00

Davis-Whited, Crystal

Class Category	Class Count	Total Class Hours
EMS	1	2:00
EMS Training	1	2:00
I.S.O. Company Training	1	3:00
I.S.O. Officer Training	4	13:30
Total for Davis-Whited, Crystal	7	20:30

Embury, Andy G.

Class Category	Class Count	Total Class Hours
EMS Training	1	2:00
I.S.O. Officer Training	1	3:00
Total for Embury, Andy G.	2	5:00

Evans, Harry A

Class Category	Class Count	Total Class Hours
EMS	1	2:00
EMS Training	1	2:00
I.S.O. Company Training	1	3:00
I.S.O. Officer Training	1	3:00
Total for Evans, Harry A	4	10:00

Felix, Manuel R

Class Category	Class Count	Total Class Hours
EMS	1	2:00
I.S.O. Company Training	1	3:00
Total for Felix, Manuel R	2	5:00

Frietze, Trevor R

Class Category	Class Count	Total Class Hours
EMS Training	1	2:00
I.S.O. Company Training	2	6:00
Total for Frietze, Trevor R	3	8:00

This report lists a count of Classes completed by each Person, for each Class Category. Optionally filtered by Personnel and Passage or Failure. Time shown in Hours and Minutes. If "All Personnel" is selected, this report also includes non-agency Personnel. Only non-Archived Classes that have been Reviewed are included. This report pulls training hours from the Training Code Hours field on the Info Page.

Gomez, Sonny		
Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	3:00
Total for Gomez, Sonny	1	3:00

Hoban, Kevin M		
Class Category	Class Count	Total Class Hours
EMS Training	1	2:00
I.S.O. Company Training	1	3:00
I.S.O. Officer Training	1	3:00
Total for Hoban, Kevin M	3	8:00

Klebansky, George A		
Class Category	Class Count	Total Class Hours
EMS	1	2:00
EMS Training	1	2:00
I.S.O. Company Training	1	3:00
I.S.O. Officer Training	1	3:00
Total for Klebansky, George A	4	10:00

Lopez, Francisco A		
Class Category	Class Count	Total Class Hours
EMS	1	2:00
I.S.O. Company Training	1	3:00
Total for Lopez, Francisco A	2	5:00

Lucero, Jojo		
Class Category	Class Count	Total Class Hours
EMS Training	1	2:00
Total for Lucero, Jojo	1	2:00

Madson, Ed		
Class Category	Class Count	Total Class Hours
EMS	2	4:00
Total for Madson, Ed	2	4:00

Manriquez, Humberto		
Class Category	Class Count	Total Class Hours
EMS	1	2:00
I.S.O. Company Training	1	3:00
Total for Manriquez, Humberto	2	5:00

Martinez, Mateo		
Class Category	Class Count	Total Class Hours
EMS Training	1	2:00
Total for Martinez, Mateo	1	2:00

McBurney, Samuel		
Class Category	Class Count	Total Class Hours
EMS Training	1	2:00

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Total for McBurney, Samuel		1	2:00
McBurney, Samuel O			
Class Category	Class Count	Total Class Hours	
EMS	1	2:00	
Total for McBurney, Samuel O		1	2:00
Montoya, Thomas M			
Class Category	Class Count	Total Class Hours	
EMS	1	2:00	
Total for Montoya, Thomas M		1	2:00
Nanez, Ryan			
Class Category	Class Count	Total Class Hours	
EMS	1	2:00	
Total for Nanez, Ryan		1	2:00
Navarro, Nicolas A			
Class Category	Class Count	Total Class Hours	
EMS	2	4:00	
EMS Training	1	2:00	
Total for Navarro, Nicolas A		3	6:00
O'Brien, Amy M			
Class Category	Class Count	Total Class Hours	
EMS	1	2:00	
Total for O'Brien, Amy M		1	2:00
Palma, Eric G			
Class Category	Class Count	Total Class Hours	
EMS Training	1	2:00	
Total for Palma, Eric G		1	2:00
Rossman, Tabitha A			
Class Category	Class Count	Total Class Hours	
EMS	1	2:00	
Total for Rossman, Tabitha A		1	2:00
Sanchez, Xavier			
Class Category	Class Count	Total Class Hours	
EMS Training	1	2:00	
I.S.O. Company Training	1	3:00	
Total for Sanchez, Xavier		2	5:00
Soto, Andrew			
Class Category	Class Count	Total Class Hours	
EMS Training	1	2:00	
Total for Soto, Andrew		1	2:00
Thunhorst, Ines C			
Class Category	Class Count	Total Class Hours	
EMS Training	1	2:00	

This report lists a count of Classes completed by each Person, for each Class Category. Optionally filtered by Personnel and Passage or Failure. Time shown in Hours and Minutes. If "All Personnel" is selected, this report also includes non-agency Personnel. Only non-Archived Classes that have been Reviewed are included. This report pulls training hours from the Training Code Hours field on the Info Page.

Total for Thunhorst, Ines C	1	2:00
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Torres, Joseph J

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	3:00
Total for Torres, Joseph J	1	3:00

Whited, Gregory E

Class Category	Class Count	Total Class Hours
EMS	1	2:00
EMS Training	1	2:00
I.S.O. Company Training	1	3:00
I.S.O. Officer Training	1	3:00
Total for Whited, Gregory E	4	10:00

This report lists a count of Classes completed by each Person, for each Class Category. Optionally filtered by Personnel and Passage or Failure. Time shown in Hours and Minutes. If "All Personnel" is selected, this report also includes non-agency Personnel. Only non-Archived Classes that have been Reviewed are included. This report pulls training hours from the Training Code Hours field on the Info Page.

Mesilla Fire Department

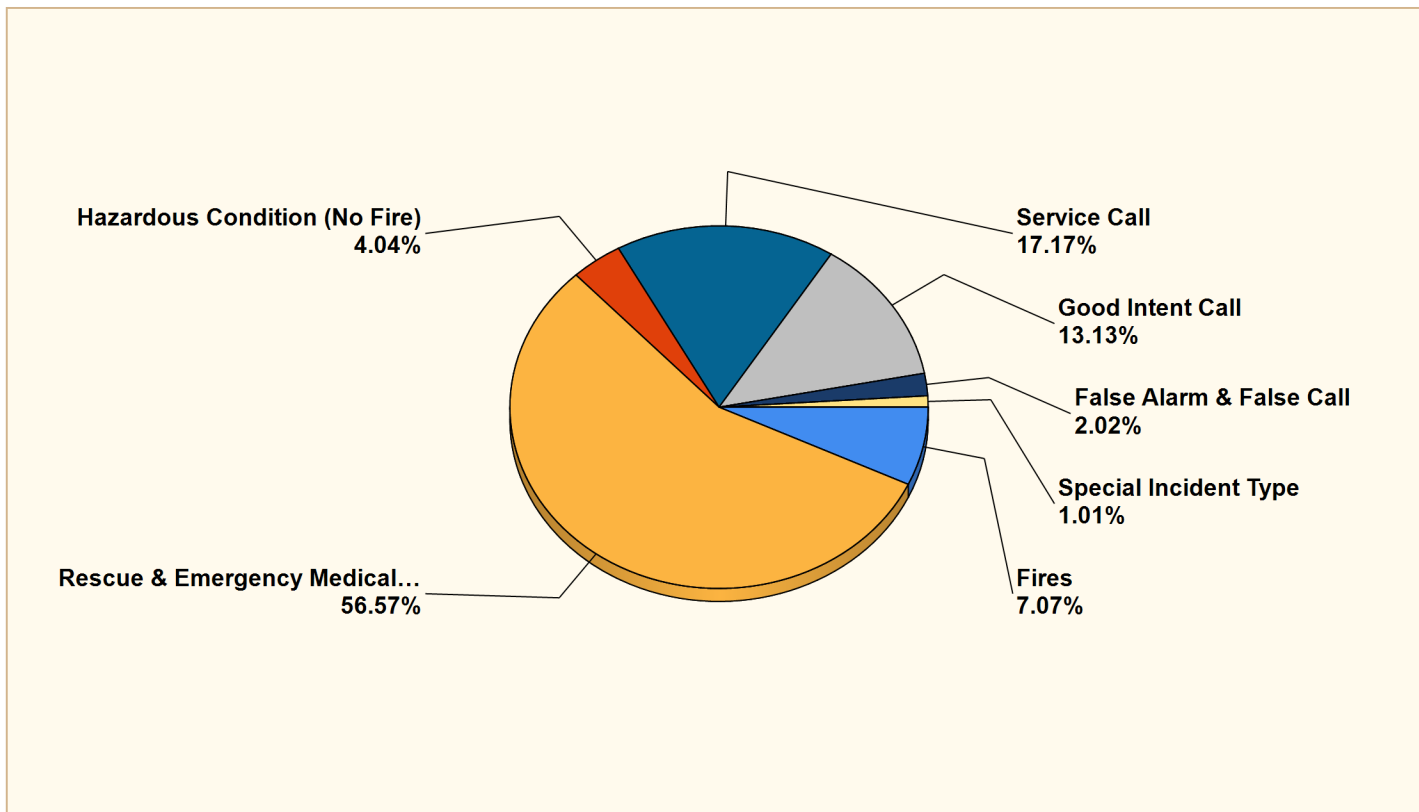
Mesilla, NM

This report was generated on 4/7/2020 3:42:15 PM



Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 01/01/2020 | End Date: 03/31/2020



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	7	7.07%
Rescue & Emergency Medical Service	56	56.57%
Hazardous Condition (No Fire)	4	4.04%
Service Call	17	17.17%
Good Intent Call	13	13.13%
False Alarm & False Call	2	2.02%
Special Incident Type	1	1.01%
TOTAL	100	100.00%

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.

Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
111 - Building fire	1	1.00%
132 - Road freight or transport vehicle fire	2	2.00%
141 - Forest, woods or wildland fire	1	1.00%
142 - Brush or brush-and-grass mixture fire	3	3.00%
311 - Medical assist, assist EMS crew	5	5.00%
320 - Emergency medical service, other	1	1.00%
321 - EMS call, excluding vehicle accident with injury	40	40.00%
322 - Motor vehicle accident with injuries	9	9.00%
381 - Rescue or EMS standby	1	1.00%
400 - Hazardous condition, other	1	1.00%
424 - Carbon monoxide incident	1	1.00%
461 - Building or structure weakened or collapsed	1	1.00%
480 - Attempted burning, illegal action, other	1	1.00%
511 - Lock-out	1	1.00%
522 - Water or steam leak	2	2.00%
551 - Assist police or other governmental agency	4	4.00%
552 - Police matter	1	1.00%
553 - Public service	2	2.00%
554 - Assist invalid	4	4.00%
561 - Unauthorized burning	3	3.00%
611 - Dispatched & cancelled en route	13	13.00%
740 - Unintentional transmission of alarm, other	1	1.00%
745 - Alarm system activation, no fire - unintentional	1	1.00%
911 - Citizen complaint	1	1.00%
TOTAL INCIDENTS:	100	100.00%

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.



MESILLA MARSHAL DEPARTMENT

P.O. BOX 10 MESILLA, NM 88046 PHONE 575-526-4138 FAX 575-652-3776
 MARSHAL EDWARD "EDDIE" LERMA

To: Honorable Mayor and Mesilla Board of Trustees

This is the Monthly Report for March 2020, for the Mesilla Marshal's Department:

911 hang ups	5	Codes nuisance	1
Agency assist	9	Disturbance disorderly	11
Alarm/burglary	3	Domestic	4
ACO	16	Fight	3
Animal Attack/bite	2	Noise	2
Care & maintenance	1	Verbal	1
ACO follow up	1	Domestic standby	1
Dead	2	Escort/transport	1
Custody	2	Fireworks complaint	1
Livestock	3	Forgery/fraud	1
Sick/injured	1	Follow up/supplement	8
Stray	3	Found property/recovered	2
Trap	1	Frequent patrol	44
ATV complaint	1	Harassment	1
Auto burglary	1	Illegal dumping	2
Attempted armed robbery	1	Incorrigible child	1
Burglary	1	Indecent exposure	2
Civil dispute	2		

Information report	13	Person	9
Motorist assist	1	Vehicle	11
Motor vehicle crashes	4	Theft	2
Injury crash	2	Threats	1
Extra response	2	Traffic complaint	1
Narcotics/illegal drugs	1	Traffic control	18
Phone call	6	Traffic Escort	1
Prisoner transport	1	Traffic stops	58
Public assist	5	Trespassing	4
Reckless driver	3	Vagrancy	1
Sex offense	3	Vandalism	2
Standby	1	Warrant service	1
Suicidal Subject	2	Weapons call	1
Suspicious activity	23	<u>Welfare check</u>	<u>4</u>
Activity	3	Total # of calls for service	239

Thank you,


Enrique Salas
Lieutenant



TOWN OF MESILLA

Public Works Department
P.O. Box 10, Mesilla, New Mexico 88046
Office: (575) 524-3262
Fax: (575) 541-6327

MEMORANDUM

Date: April 6, 2020
TO: Mayor Barraza, Board of Trustees and Cynthia Stoechner-Hernandez
FROM: Rodney J. McGillivray, Public Works Director 
RE: **Public Works Division Activity Report – March 2020**

On-going maintenance, custodial and operations:

- Monitoring of water tank, wells and pumps
- Meter reading continues
- Monitoring of lift stations and review of reporting
- Utility location services
- On-call/standby for emergency repairs or assistance
- New water services and water shut-offs (ownership change/nonpayment)
- Monthly water sampling and reporting is up-to-date
- Street sweeping on-going
- Vehicle maintenance on-going
- Custodial responsibilities on-going
- Valve exercise program continues
- Grounds maintenance on-going
- Staff training (multiple)

Miscellaneous items/work orders/accomplishments:

- Provided dumpsters for spring clean up
- Procured benches, tables and materials for Clean and Beautiful
- New water and sanitary sewer installations
- Weed eradication
- Planted flowers at Veterans Park
- Replaced electrical outlets and sub-panel at Plaza
- Sanitary sewer back-up at Community Center
- Repaired roof leaks Community Center

Park clean up and irrigation repairs
Distributed door knockers to Mesilla residents for Covid-19
EBID culvert replacement under 12" main complete
Storm water removal and clean up
Water sampling and reporting 2742 Calle Cuarte
Tree trimming
Water line brake Colon

Project update:

General Engineering RFP – Currently being advertised. RFP closes on April 29, 2020

Plaza Lighting project (not obligated) – Reviewing proposals from Molzen Corbin, SMA and Lynco (Lynco would be executed through CES).

Calle del Norte Phase II Multi-use trail project (not obligated) - project can be awarded to the successful engineering firm from the General Engineering RFP.

La Llorona Trail Extension RFP - Currently being advertised for construction. RFP closes on April 27, 2020.

McDowell Wastewater Phase II - Project started on Monday, March 30, 2020 and is scheduled for a 100 day duration.

2019 LGRF – Design is complete. Currently waiting on the Environmental certification. Upon receipt of the certification we will advertise for construction.

Parian (Capital Outlay) - Design is complete. Currently waiting on the Environmental certification. Upon receipt of the certification we will advertise for construction.

2020 LGRF – Offer letter from NMDOT was received on Monday, March 30, 2020 Offer is 40k with a 10k match. Acceptance of offer submitted to NMDOT on April 3, 2020.