



**PZHAC WORK SESSION
AGENDA
APRIL 6, 2020**

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A VIRTUAL WORK SESSION VIA ZOOM OR PHONE MONDAY, APRIL 6, 2020 AT 5:30 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 561 709 624. TO JOIN THE MEETING ONLINE VIA ZOOM, GO TO <https://zoom.us/j/561709624>.

Item 1: Submitted by Julienne Hadfield; a request to discuss plans to renovate the second floor of a commercial building at 2000 Calle de Parian to include an office and a short-term rental unit (Permit 061024). Zoned: Historical Commercial (HR)

Item 2: Submitted by Gerard Nevarez, a request to discuss plans to install a four foot by eight foot decorative panel (Permit 061028) and enclose an existing patio and add a covered patio (Case 061029) at the rear of a dwelling at 2305 Calle de Colon. Zoned: Historic Residential (HR)

Item 3: Submitted by Stephen Cadena; a request to discuss plans to construct a porch around a dwelling at this address (Permit 061034) and construct a wall around the dwelling and at the rear of the property (Permit 0601033 on a property located at 2230 Calle del Sur. Zoned: Historic Residential (HR)

**PZHAC MEETING
AGENDA
APRIL 6, 2020**

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A VIRTUAL MEETING VIA ZOOM OR PHONE MONDAY, APRIL 6, 2020 AT 6:00 P.M. TO JOIN THE MEETING BY PHONE DIAL 1-346-248-7799, THEN ENTER Meeting ID 561 709 624. TO JOIN THE MEETING ONLINE VIA ZOOM, GO TO <https://zoom.us/j/561709624>.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

III. CHANGES/APPROVAL OF THE AGENDA

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

A. *PZHAC MINUTES – PZHAC Regular Work Session and Meeting of March 2, 2020.

B. *ADMINISTRATIVE APPROVAL

Zoning Permit:

- 1. Case 061026** – 2199 Calle del Sur, submitted by Martin Serna; a request for a zoning permit to allow the construction of a rock and pipe fence around the property at this address. Zoned: Rural/Agricultural (RA)
- 2. Case 061027** – 2649 Calle del Sur, submitted by Paul C. Barraza; a request for a zoning permit to allow the repair and restuccoing of a parapet around a dwelling at this address. Zoned: Historical Residential (HR)

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES (Public Comments shall be sent by e-mail to Larrys@mesillanm.gov)

B. DECISIONS:

Zoning Permits:

- 1. Case 061024** – 2000 Calle de Parian, submitted by Julienne Hadfield; a request for a zoning permit to renovate the second floor of a commercial building at this address to include an office and a short-term rental unit. Zoned: Historical Commercial (HR) **(Case heard during Work Session – Item 1)**
- 2. Case 061026** – 2149 Calle de Los Huertos, submitted by Martin Serna for Gabriel Quintana; request for a zoning permit to allow the construction of stucco wall around a courtyard at this address. Zoned: Historical Residential (HR)
- 3. Case 061028** – 2305 Calle de Colon, submitted by Gerard Nevarez; a request for a zoning permit to install a four foot by eight foot decorative panel along a wall at the rear of a dwelling at this address; Zoned: Historic Residential (HR) **(Case heard during Work Session – Part of Item 2)**

4. **Case 061032** - 2305 Calle de Colon, submitted by Gerard Nevarez, a request for a zoning permit to enclose an existing covered patio and install a new covered patio at the rear of a dwelling at this address. Zoned: Historic Residential (HR) **(Case heard during Work Session – Part of Item 2)**
5. **Case 061033** – 2230 Calle del Sur, submitted by Stephen Cadena; a request to for a zoning permit to construct a porch around a dwelling at this address. Zoned: Historic Residential (HR) **(Case heard during Work Session – Part of Item 3)**
6. **Case 061034** - 2230 Calle del Sur, submitted by Stephen Cadena; a request for a zoning permit to construct a porch around a dwelling at this address. Zoned: Historic Residential (HR) **(Case heard during Work Session – Part of Item 3)**

Business Permits:

1. **Reg. 0835** – 2521 Avenida de Mesilla, submitted by Tenniel Salopek for “Buffalo Swag”; a request for permission to operate a beauty salon and boutique shop at this address. Zoned: Historic Commercial (HC)
2. **Reg. 0836** – 2309-3 Calle de Santiago, submitted by Kerry Carman for “Co-Lab Artisan’s Loft”; a request for permission to operate a retail shop selling handmade gifts and other items at this address. Zoned: Historical Commercial (HC)

Sign Permits:

1. **Case 061023**– 2488 Calle de Guadalupe, submitted by Joseph Foster for “Psychology Consulting Options”; a request for a sign permit to allow a directory sign having a total of six square feet for a psychology practice at this address. Zoned: Historical Commercial (HC)
2. **Case 060125** – 2601-3 Calle de Santiago, submitted by Kerry Carman for “Co-Lab Artisan’s Loft”; a request for a zoning permit to install a four square foot hanging sign at this address. Zoned: Historic Commercial (HC)

VI. PZHAC/STAFF COMMENTS

VII. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 4/3/20 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty’s Food Mart - 2290 Avenida de Mesilla; Ristramnn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC NEW BUSINESS

APRIL 6, 2020

WORK SESSION

PZHAC WORK SESSION
APRIL 6, 2020
ITEM 1

Submitted by Julienne Hadfield; a request to discuss plans to renovate the second floor of a commercial building at 2000 Calle de Parian to include an office and a short-term rental unit (Permit 061024). Zoned: Historical Commercial (HR)

This case was postponed at the March 2 PZHAC meeting in order to allow the applicant to address questions brought up by the PZHAC with respect to emergency egress for the short-term rental proposed to be located on this floor. The applicant has worked with CID to resolve these questions and final plans for the addition are being submitted here.

The applicant has just acquired this property and would like to renovate the second floor of the commercial building at this address to include 1190 square feet of office space, 279 square feet of retail space, and 1006 square feet of short-term rental residential space. The office space and the retail space will be leased out on a long-term basis for each and are uses that have been allowed at this location in the past by the Historic Commercial zoning of the property. The residential use has also been allowed as an apartment for long-term rental in the past at this location. The residential portion will now be used for short-term rentals, which will make the rental space a commercial use.

Access to the second floor is by an entrance and a stairway located on the Calle de Parian side of the building. The first floor, which will not be involved in this renovation, contains a retail store and an office area. The renovations are all internal, there will not be any changes to the exterior of the structure.

Since there will not be any parking available for the office or retail spaces, any businesses that rent these spaces will be subject to the yearly parking fee that is applied to other businesses in the Town that do not have available parking. Parking for the short-term rental unit will be available in a small open garage that is located on the ground floor on Calle de San Albino. The applicant has been informed that this space will need to be dedicated to the short-term rental unit, and that there shall be signage in the parking area restricting its use to tenants of the short-term rental unit.

Since the proposed division of space on the second floor will utilize several different types of commercial occupancies (all allowed by the Code), the applicant will need to meet CID requirements for each use, including emergency egress requirements.

Estimated Cost: \$46,690.00

Consistency with the Code:

Since this construction is in a Historic zoning district, the PZHAC will need to ensure that the following sections of the Code are met

18.40.020 Uses permitted.

Uses permitted in the H-C zone are as follows:

Commercial uses allowed in C zone and residential uses subject to approval of the planning, zoning and historical appropriateness commission upon application and approval of a development plan. [Ord. 2001-04 § 1; Ord. 94-06 § 1; prior code § 11-2-11.5.B]

18.45.020 Uses permitted (C Zone)

A building and premises on any lot in the C zone shall be used for the following purposes only:

Office, business and professional

Hotels

Various types of retail shops

The applicant has been made aware that if the use of the short-term rental were to change to long-term rental, this would cause the unit to be considered residential and would require further review by the PZHAC and a possible change in occupancy according to the Building Code and the Zoning Code (Section 18.40.020 – Uses Permitted).

The PZHAC will need to determine that the request, as submitted is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

PHOTO OF THE STRUCTURE FROM CALLE DE SAN ALBINO SHOWING OPEN GARAGE AT FAR RIGHT



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Number Enter V

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400335](#)
Parcel Number: 4006137252447
Owner: ZAPIEN JAMES JR & PAT & P
MELENDREZ ANDRES & FREDDIE
LUCERO
Mail Address: 2145 AVENIDA DE
MESILLA
Subdivision:
Property Address: 2000 CALLE DE
PARIAN
Acres: 0





INTERIOR RENOVATION

2000/2030 CALLE de PARIAN

CITY of MESILLA, NM. 88047

PROJECT TYPE : BUILDING INTERIOR RENOVATION

CLIENT:

JULIENNE HADFIELD
 2000/2030 CALLE de PARIAN, MESILLA, NM. 88047
 PHONE: 575-202-8481

ARCHITECT:

O5 ARCHITECTS
 5090 CHIRICAHUA TRAIL, LAS CRUCES, NEW MEXICO 88012
 TEL: (575) 640 - 6233 FAX: (575) 373-4738
 E-MAIL: o5architects@q.com

CODE ANALYSIS

OCCUPANCY (2 STORY - MIXED USED)
 CONSTRUCTION TYPE
 INTERNATIONAL BUILDING CODE (AS ADOPTED BY CID)
 UNIFORM MECHANICAL CODE (AS ADOPTED BY CID)
 UNIFORM PLUMBING CODE (AS ADOPTED BY CID)
 NATIONAL ELECTRICAL CODE (AS ADOPTED BY CID)
 INTERNATIONAL FIRE CODE
 INTERNATIONAL EXISTING BUILDING CODE (AS ADOPTED BY CID)
 INTERNATIONAL ENERGY CONSERVATION CODE (AS ADOPTED BY CID)
 NEW MEXICO COMMERCIAL BUILDING CODE
 NATIONAL ELECTRICAL SAFETY CODE (AS ADOPTED BY CID)
 NFPA 101 LIFE SAFETY CODE , AND RELATED CODES AND STANDARD
 CITY OF MESILLA ORDINANCE

PROJECT DATA

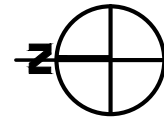
WORK SCOPE:
 RENOVATION OF EXISTING SPACES ON SECOND FLOOR TO PROVIDE NEW ACCESS AND RE-CLASSIFICATION TO RESIDENTIAL (R-2) OCCUPANCY OF AN EXISTING SPACE
 PROVIDE 1-HR AREA SEPARATION BETWEEN EXISTING "B" OCCUPANCY AND NEW "R-2" OCCUPANCY TO BOTTOM OF EXISTING ROOF SHEATHING. EXISTING SEPARATION WALL IS MOSTLY 8" CMU. NEW FRAMED WALL ABOVE CMU TO CONTINUE TO EXISTING ROOF SHEATHING
 EXISTING FLOOR AREA SEPARATION = 2-HR MIN.
 EXISTING FLOOR SYSTEM BETWEEN "R2" OCCUPANCY AND "B" OCCUPANCY "M" OCCUPANCY IS 7" MIN. CONCRETE
SQUARE FOOTAGE:
 1ST FLOOR:
 OFFICE (B OCCUPANCY) = 483 SQ. FT.
 RETAIL (M OCCUPANCY) = 745 SQ. FT.
 TOTAL = 1228 SQ. FT.
 2ND FLOOR:
 OFFICE (B OCCUPANCY) = 1190 SQ. FT.
 RETAIL (M OCCUPANCY) = 2719 SQ. FT.
 RESIDENTIAL (R-2 OCCUPANCY) = 1006 SQ. FT.
 TOTAL = 2475 SQ. FT.
 TOTAL BUILDING AREA = 4635 SQ. FT.
 CARPORT (U OCCUPANCY) = 571 SQ. FT.
 AREA OF RENOVATION = 1519 SQ. FT.

AREA OF NEW WORK:
 APARTMENT TYPE: R-2
 AREA: 1006 SQ. FT.
 OCCUPANT LOAD: 1006/200 = 6
 EXIT REQUIRED: 2
 EXIT PROVIDED: 2
 PLUMBING REQUIRED PER IBC CHAPTER 29
 REQUIRED PROVIDED
 WATER CLOSET
 LAVATORY
 TUB/SHOWER
 WASHER CONNECTION
 2ND FLOOR OFFICE (NOT OCCUPIED):
 OCCUPANCY TYPE: B
 AREA: 1190 SQ. FT.
 OCCUPANT LOAD: 1190/100 = 12
 EXIT REQUIRED: 2
 EXIT PROVIDED: 2
 TOTAL OCCUPANT LOAD (2ND FLOOR): 12+6 = 18
 EXIT REQUIRED: 2
 EXIT PROVIDED: 2

AERIAL MAP



PROJECT LOCATION:
 2000/2030 CALLE de PARIAN



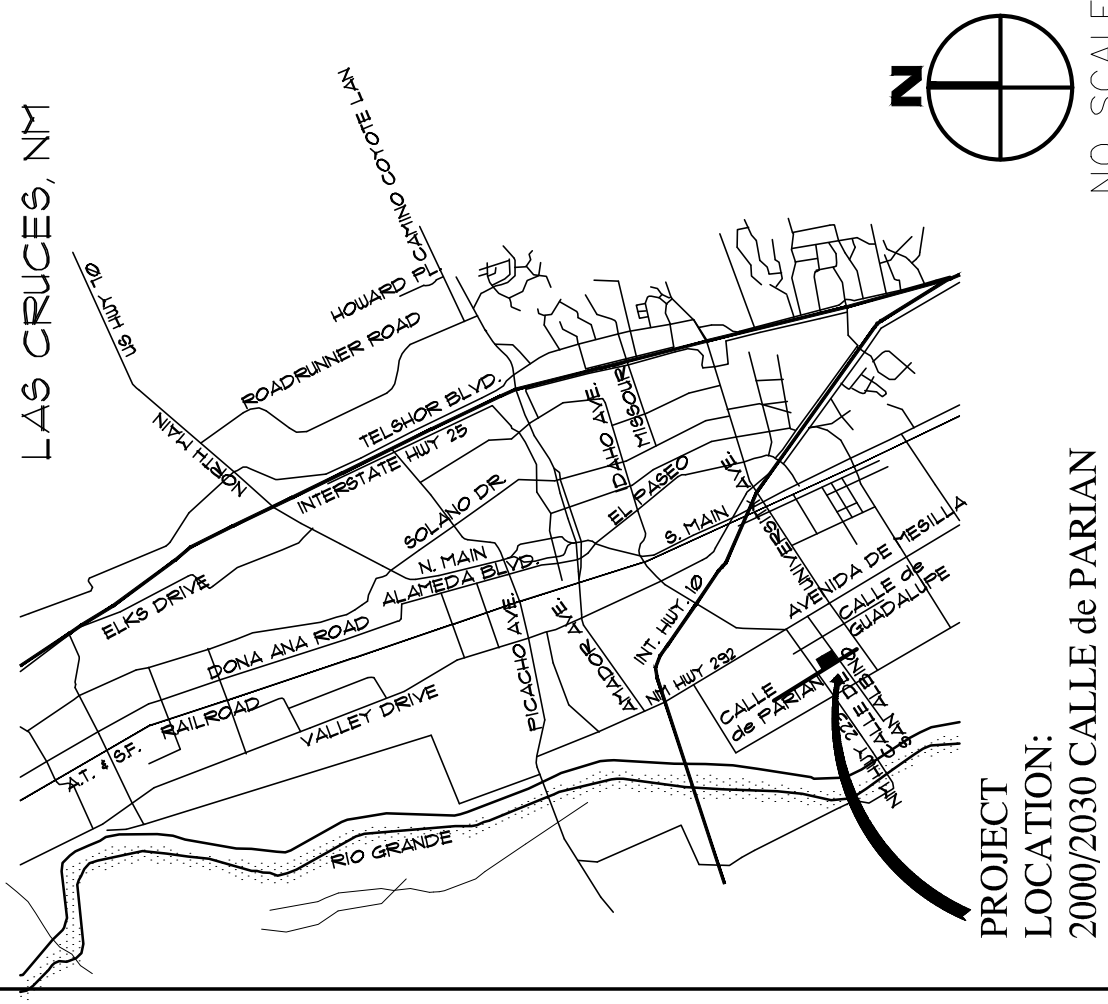
GENERAL NOTES:

- The following notes apply to all drawings unless noted otherwise.
- The contractor shall visit site, verify all existing conditions, dimensions and elevations before proceeding with the work. The contractor is responsible for verifying all dimensions and elevations in field conditions. Dimensions on any question during construction documents before proceeding with the work.
- Do not scale drawings. Notes take precedence over scale.
- Verify all dimensions and elevations against the INTERNATIONAL BUILDING CODE, PLUMBING CODE, MECHANICAL CODE, NATIONAL ELECTRICAL CODE AND FIRE CODE, and ORDINANCES of the CITY OF MESILLA, NM.
- All dimensions are to face of stud, concrete, or masonry u.n.o.
- If existing facilities are related to work, the contractor shall not attempt the existing service or utilities without obtaining the owner's prior approval and instructions on each case.
- Verify with Mechanical, Electrical and Plumbing equipment manufacturer for correct installation and operation. Verify and specifications required prior to product installation.
- The contract drawings and specifications represent the finished structure. Unless otherwise shown, they do not indicate the method of construction. The Contractor shall supervise and direct and he shall be responsible for the proper installation and operation of all techniques, sequences and procedures. Observations visits to the site by the Architect or his field representatives shall not include inspection of the protective measures or the construction procedures required for the same, which are furnished by others.
- Verify all dimensions and elevations against the INTERNATIONAL BUILDING CODE, PLUMBING CODE, MECHANICAL CODE, NATIONAL ELECTRICAL CODE AND FIRE CODE, and ORDINANCES of the CITY OF MESILLA, NM.
- Verify with Mechanical, Electrical and Plumbing equipment manufacturer for correct installation and operation. Verify and specifications required prior to product installation.
- The contract drawings and specifications represent the finished structure. Unless otherwise shown, they do not indicate the method of construction. The Contractor shall supervise and direct and he shall be responsible for the proper installation and operation of all techniques, sequences and procedures. Observations visits to the site by the Architect or his field representatives shall not include inspection of the protective measures or the construction procedures required for the same, which are furnished by others.
- Verify all dimensions and elevations against the INTERNATIONAL BUILDING CODE, PLUMBING CODE, MECHANICAL CODE, NATIONAL ELECTRICAL CODE AND FIRE CODE, and ORDINANCES of the CITY OF MESILLA, NM.
- Verify with Mechanical, Electrical and Plumbing equipment manufacturer for correct installation and operation. Verify and specifications required prior to product installation.
- The contract drawings and specifications represent the finished structure. Unless otherwise shown, they do not indicate the method of construction. The Contractor shall supervise and direct and he shall be responsible for the proper installation and operation of all techniques, sequences and procedures. Observations visits to the site by the Architect or his field representatives shall not include inspection of the protective measures or the construction procedures required for the same, which are furnished by others.
- Verify all dimensions and elevations against the INTERNATIONAL BUILDING CODE, PLUMBING CODE, MECHANICAL CODE, NATIONAL ELECTRICAL CODE AND FIRE CODE, and ORDINANCES of the CITY OF MESILLA, NM.
- Verify with Mechanical, Electrical and Plumbing equipment manufacturer for correct installation and operation. Verify and specifications required prior to product installation.
- The contract drawings and specifications represent the finished structure. Unless otherwise shown, they do not indicate the method of construction. The Contractor shall supervise and direct and he shall be responsible for the proper installation and operation of all techniques, sequences and procedures. Observations visits to the site by the Architect or his field representatives shall not include inspection of the protective measures or the construction procedures required for the same, which are furnished by others.

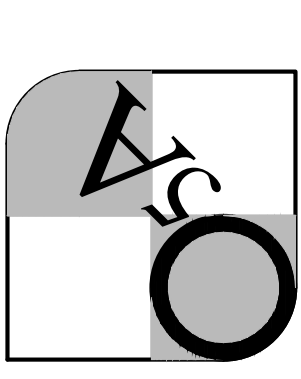
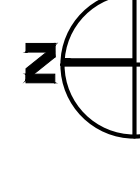
SHEET INDEX

T	TITLE
A101	EXISTING FLOOR PLANS
A102	PROPOSED SECOND FLOOR PLAN & DETAILS & SCHEDULE
A103	CEILING/ELECTRICAL PLAN

VICINITY MAP



PROJECT LOCATION:
 2000/2030 CALLE de PARIAN



O5 Architects
 ARCHITECTURE + PLANNING
 5090 CHIRICAHUA TRAIL
 LAS CRUCES, NM 88012
 Phone: (505) 640-6233
 Fax: (505) 373-4738
 Email: O5Architects@q.com

O5 ARCHITECTS EXPRESSLY RESERVES ITS RIGHTS IN THESE DRAWINGS AND ANY INSTRUMENTS OF SERVICE. NO PART OF THESE DRAWINGS OR INSTRUMENTS OF SERVICE MAY BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF O5 ARCHITECTS.



02-07-20

PROJECT TITLE
BUILDING INTERIOR RENOVATION

ADDRESS:
 2000/2030 CALLE de PARIAN
 CITY OF MESILLA, NM. 88047

PROJECT NO.: 14111-20

NO.	DATE	REVISION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-

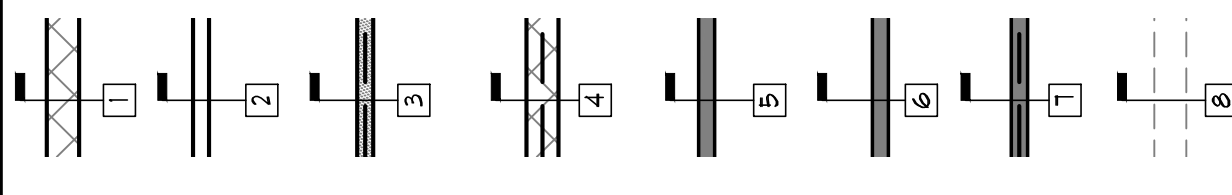
SHEET TITLE
TITLE

FILENAME:	14111-20-T
ISSUE:	PERMIT
DATE:	FEB. 2020
DRAWN BY:	NBO
CHECKED BY:	NBO
OWNERSHIP APPROVAL:	

DATE
 THE PLANS FOR THIS PROJECT HAVE BEEN REVIEWED BY THE OWNER'S AGENT AND APPROVED. THE PLANS AS DATED ABOVE ARE COMPLETE AND APPROVED.

SHEET NO. **T**

WALL TYPE LEGEND



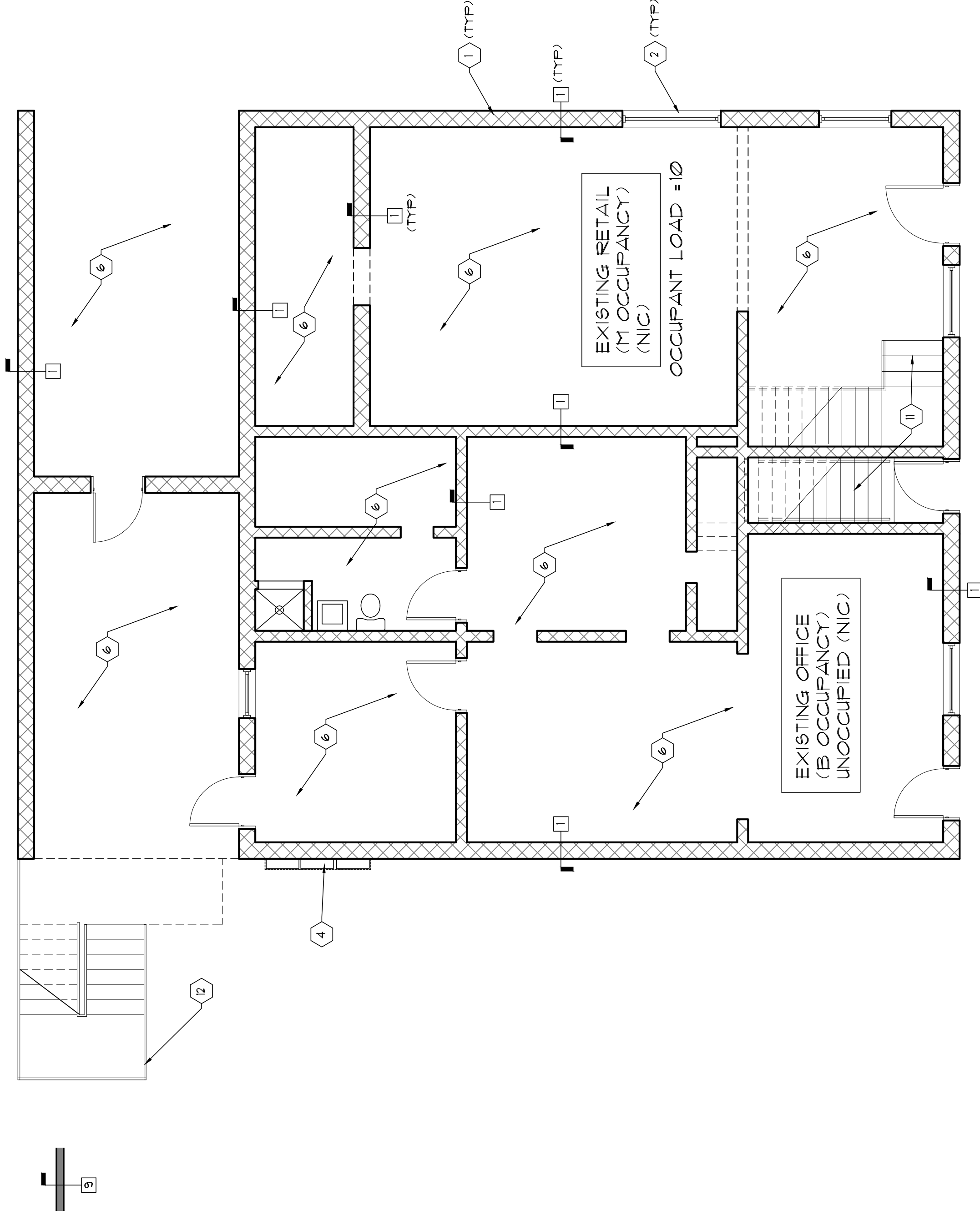
- TYPE 1: EXISTING EXTERIOR/INTERIOR WALL
EXISTING CMU WALL TO REMAIN
- TYPE 2: EXISTING INTERIOR WALL
EXISTING STUD WALL TO REMAIN
- TYPE 3: INTERIOR FRAME WALL (L-H-R SEPARATION)
REMOVE EXISTING WOOD STUDS AND RE-FRAME WALL WITH 2x4 STUDS @ 16" O.C. INSTALL 1-5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE. PROVIDE 3" FIBERGLASS SOUND BATT INSULATION. CONTINUE WALL AND GYPSUM BOARD TO UNDER ROOF SHEATHING. SEE DETAIL 2/A102, 3/A102, 5/A102
- TYPE 4: EXISTING INTERIOR WALL (L-H-R SEPARATION)
EXISTING CMU WALL - CONTRACTOR SHALL VERIFY WALL CONTINUE TO ROOF DECK, WHERE WALLS STOP AT CEILING, BUILD 2x4 WOOD STUD CRIPPLE WALL WITH 1-5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE TO ROOF DECK. SEE DETAIL 4/A102
- TYPE 5: INTERIOR FRAME WALL (L-H-R NEW)
2x4 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD BOTH SIDES, 3" FIBERGLASS SOUND BATT INSULATION. EXTEND WALL TO BOTTOM OF TRUSS.
- TYPE 6: INTERIOR FRAME WALL (NEW)
2x4 WOOD STUDS @ 16" O.C. BUILD OUT WALL WITH 5/8" GYPSUM BOARD ON OUTSIDE FACE. EXTEND WALL TO CEILING. SEE DETAIL 2/A102, 3/A102
- TYPE 7: INTERIOR NEW FRAME WALL (L-H-R SEPARATION)
2x4 WOOD STUDS @ 16" O.C. WITH 1-5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE. PROVIDE 3" FIBERGLASS SOUND BATT INSULATION. CONTINUE WALL AND BOARD TO ROOF DECK. SEE DETAIL 2/A102, 3/A102, 5/A102
- TYPE 8: EXISTING WALL AS REQUIRED. VERIFY DOOR HEIGHT IN FIELD FOR OPENING
REMOVE EXISTING WALL

FLOOR PLAN NOTES

- 1. EXISTING WALLS TO REMAIN (TYP)
- 2. EXISTING WINDOW TO REMAIN (TYP)
- 3. EXISTING DOOR TO REMAIN (TYP)
- 4. EXISTING ELECTRICAL SERVICE PANELS
- 5. EXISTING WATER HEATER TO BE REMOVED AND REPLACED - RELOCATE PER A102
- 6. EXISTING AREA - NO NEW WORK
- 7. REMOVE EXISTING DOOR AND GATE
- 8. REMOVE EXISTING ATTIC ACCESS, LADDER AND RELOCATE PER PROPOSED PLAN ON SHEET A102
- 9. EXISTING WALL - REMOVE EXISTING WALL AND RE-FRAME PER WALL SCHEDULE
- 10. LINE OF AREA SEPARATION WALL - CONTRACTOR SHALL VERIFY WALL CONTINUE TO BOTTOM OF ROOF DECK. SEE SCHEDULE
- 11. EXISTING CONCRETE STAIR TO REMAIN
- 12. EXISTING STEEL STAIR TO REMAIN
- 13. REMOVE WALL FOR NEW DOOR OPENING
- 14. REMOVE EXISTING WINDOW
- 15. REMOVE WALL UP TO WINDOW HEAD AND PROVIDE SUPPORT ACROSS OPENING. PATCH WALL OPENING TO MATCH SURROUND CONCRETE BLOCK OR 2x4 STUDS WITH 1-5/8" TYPE "X" GYPSUM ON BOTH SIDE AND 3" SOUND BATT
- 16. REMOVE WINDOW INFILL OPENING WITH MIN 4" THICK SOLID CONCRETE BLOCK OR 2x4 STUDS WITH 1-5/8" TYPE "X" GYPSUM ON BOTH SIDE AND 3" SOUND BATT

GENERAL NOTES

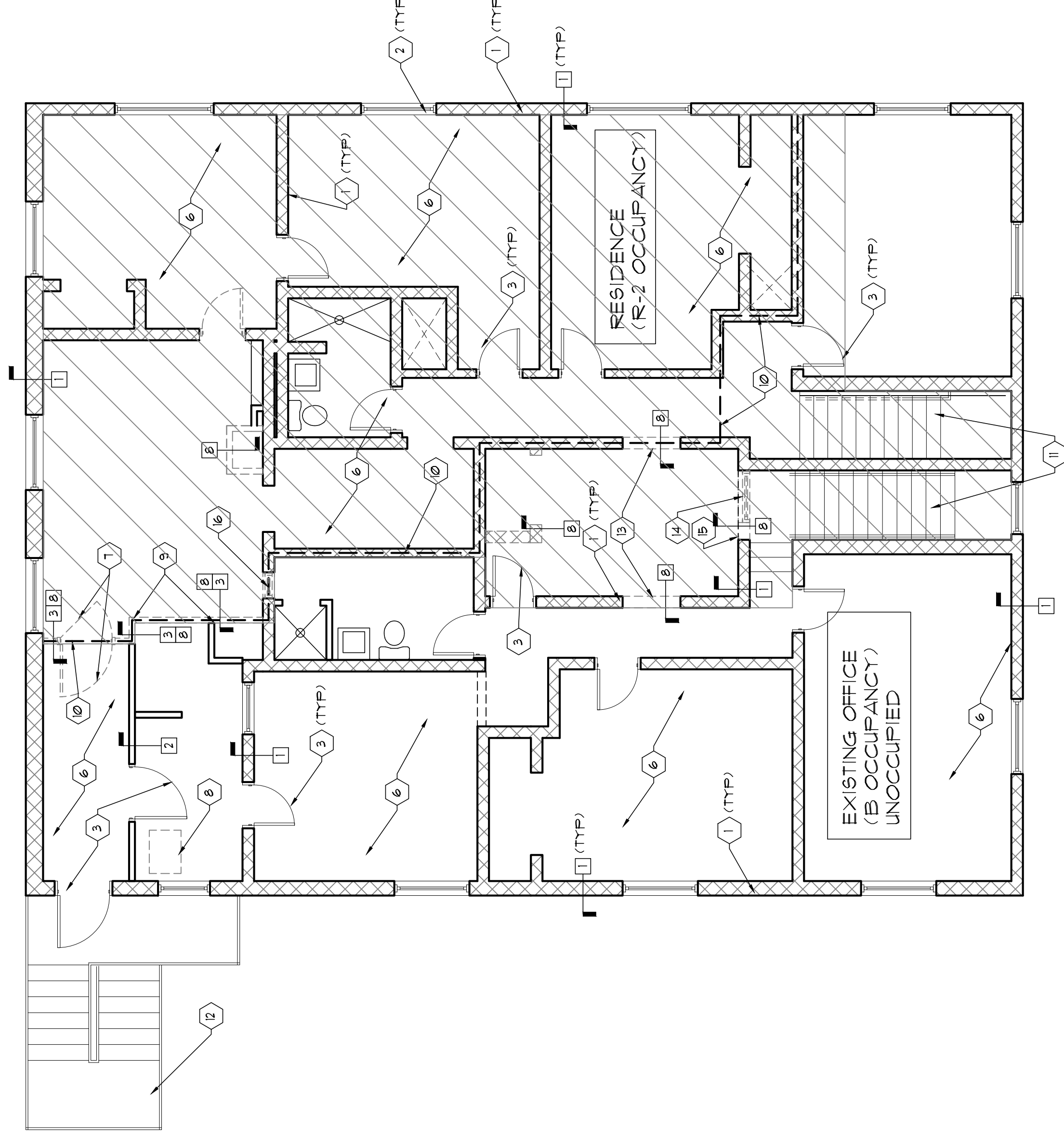
- 1. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF GYPSUM BOARD. DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD.
- 2. CONTRACTOR SHALL VERIFY EXISTING OVERALL DIMENSIONS FOR CONFORMANCE WITH PLANS BEFORE PROCEEDING WITH WORK
- 3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO DEMOLITION & NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- 4. ALL EXISTING FIXTURES AND STRUCTURE SHOWN ARE FOR ILLUSTRATION ONLY AND MAY NOT BE CONSISTENT WITH WHAT AT THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING ELEMENTS AT SITE THAT ARE NOT PART OF PROJECT SCOPE FOR CONFORMANCE TO ALL APPLICABLE CODE.
- 5. REMOVE ALL ELECTRICAL OUTLETS, SWITCHES, CONDUIT, ETC. IN WALLS TO BE REMOVED. ALL WIRING SHALL BE REMOVED BACK TO THE PANELS OR TO A POINT WHERE IT BECOMES INACCESSIBLE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED ELECTRICAL CODE FOR NEW WORK
- 6. CONTRACTOR SHALL REMOVE EXISTING WATER CLOSET, URINAL AND LAVATORY COMPLETELY WHERE REQUIRED. CAP PLUMBING BELOW FLOOR OR CEILING OR AT ENTRY TO GRAVE AS REQUIRED. COORDINATE W/ NEW PLUMBING REQUIREMENTS. EXISTING WASTE LINE SHALL REMAIN IN SERVICE AT ALL TIMES. ABANDONED VENTS SHALL BE CAPPED ABOVE THE CEILING. NEW VENT SIZES SHALL MATCH EXISTING AND PER CODE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED PLUMBING CODE FOR NEW WORK



1 EXISTING FIRST FLOOR PLAN (NIC)
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

NOTE:
ALL ELEMENTS AND SPACES ARE EXISTING UNLESS NOTED OTHERWISE.
ALL WALLS SHOWN ARE FOR ILLUSTRATION ONLY AND MIGHT BE DIFFERENT IN FIELD. CONTRACTOR SHALL VERIFY AFFECTED WALLS IN FIELD

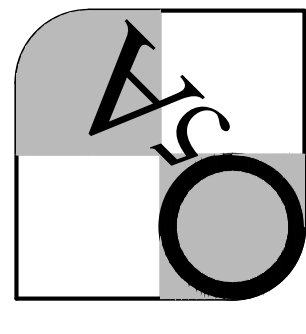


2 EXISTING SECOND FLOOR/DEMO PLAN
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



AREA OF RENOVATION



O5 Architects
ARCHITECTURE + PLANNING

5090 CHRICAMA TRAIL
LAS CRUCES, NM 88012
Phone: (505) 640-6293
Fax: (505) 378-4783
Email: O5Architects@q.com

O5 ARCHITECTS EXPRESSLY RESERVES ITS RIGHTS IN THESE DRAWINGS AND ANY REVISIONS. THESE DRAWINGS AND ANY REVISIONS MAY BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE USED FOR ANY OTHER PROJECT WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF O5 ARCHITECTS.



02-07-20

PROJECT TITLE
BUILDING INTERIOR RENOVATION

ADDRESS:
20000 CALLE 46 PRIAN
CITY OF MESILLA, NM, 88047

PROJECT NO.: 14111-20

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		

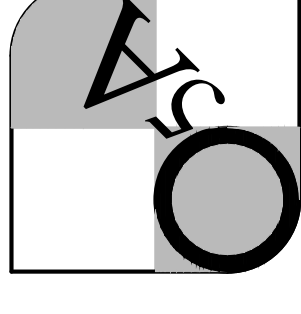
SHEET TITLE
EXISTING FLOOR PLANS

FILENAME:	14111-20-A101
ISSUE:	PERMIT
DATE:	FEB. 2020
DRAWN BY:	NBO
CHECKED BY:	NBO
OWNERSHIP APPROVAL:	

SIGNATURE: _____ DATE: _____
THE PLANS FOR THIS PROJECT HAVE BEEN PREPARED BY THE OWNER'S ARCHITECT AND I, AS THE OWNER'S AGENT, HEREBY CERTIFY THAT THE PLANS AS DATED ABOVE ARE CORRECT AND APPROVED.

SHEET NO.

A101



O5 Architects
ARCHITECTURE + PLANNING

5050 CHRICAMA TRAIL
LAS CRUCES, NM 88012
Phone: (505) 640-6293
Fax: (505) 313-4139
Email: O5Architects@aig.com

OR ARCHITECTS EXPRESSLY RESERVES ITS RIGHTS IN THESE DRAWINGS AND SPECIFICATIONS. THESE DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY MANNER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF O5 ARCHITECTS.



02-07-20

PROJECT TITLE
BUILDING INTERIOR
RENOVATION

ADDRESS:
2070 ROSO CALLE 498 BRIAN
CITY OF MESILLA, NM, 88047

PROJECT NO.: 14111-20

NO.	DATE	REVISION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
A	-	-

SHEET TITLE

**FLOOR PLAN/
DETAILS/
SCHEDULE**

FILENAME: 14111-20-A101

ISSUE: PERMIT

DATE: FEB. 2020

DRAWN BY: NBO

CHECKED BY: NBO

OWNERSHIP APPROVAL:

SIGNATURE: _____ DATE: _____
THE PLANS FOR THIS PROJECT HAVE BEEN REVIEWED BY THE OWNERS/AGENT AND APPROVED. THE PLANS AS DATED ABOVE ARE CORRECT AND APPROVED.

SHEET NO.

A102

GENERAL NOTES

- DIMENSIONS TO EXISTING WALLS ARE TO FACE OF GYPSUM BOARD. DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD.
- CONTRACTOR SHALL VERIFY EXISTING OVERALL DIMENSIONS FOR CONFORMANCE WITH PLANS BEFORE PROCEEDING WITH WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO DEMOLITION & NOTIFYING ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- ALL EXISTING FIXTURES AND STRUCTURE SHOWN ARE FOR ILLUSTRATION ONLY AND MAY NOT BE CONSISTENT WITH WHAT AT THE EXISTING ELEMENTS AT SITE THAT ARE NOT PART OF PROJECT SCOPE FOR CONFORMANCE TO ALL APPLICABLE CODE.
- REMOVE ALL ELECTRICAL OUTLETS, SWITCHES, CONDUIT ETC IN WALLS OR TO A POINT WHERE IT BECOMES INACCESSIBLE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED ELECTRICAL CODE FOR NEW WORK.
- CONTRACTOR SHALL REMOVE EXISTING WATERS CLOSET, URINAL AND LAUNDRY COMPLETELY WHERE REQUIRED. CAP PLUMBING BELOW FLOOR OR CEILING OR AT ENTRY TO SPACE AS REQUIRED. COORDINATE W/ NEW PLUMBING REQUIREMENTS. EXISTING WASTE LINE SHALL REMAIN IN SERVICE AT ALL TIMES. ALL NEW WASTE LINE SIZES SHALL BE PER CODE. ALL ABANDONED VENTS SHALL BE CAPPED PER CODE. CONTRACTOR SHALL PROVIDE ALL MATCH REQUIRED PLUMBING AND FLUING CODE FOR NEW WORK.

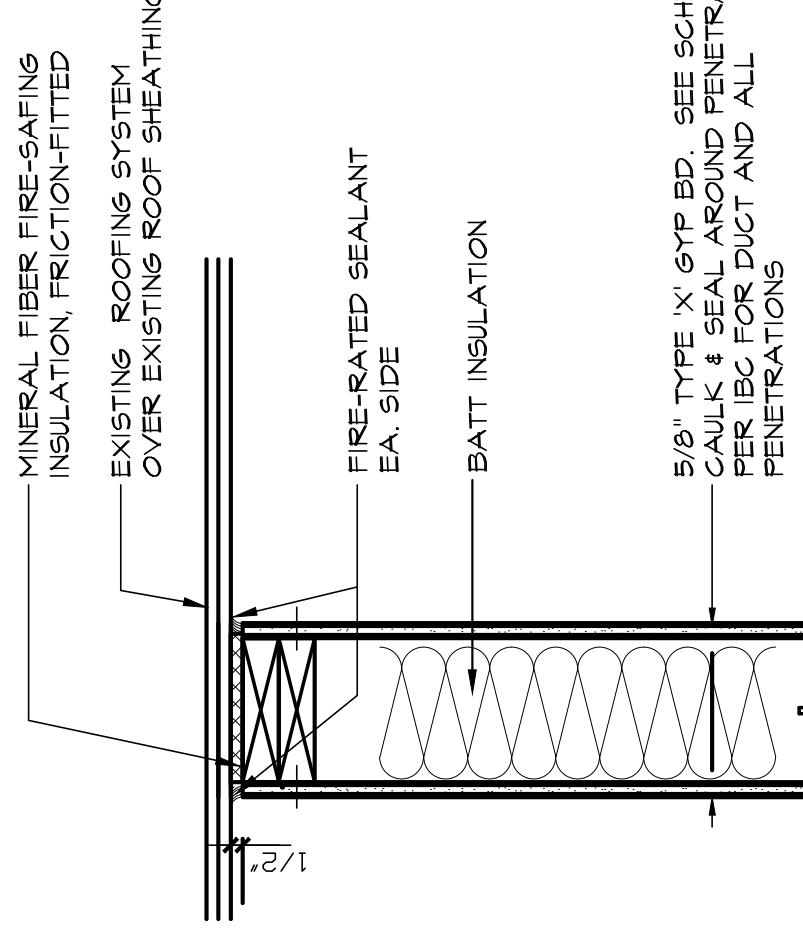
FLOOR PLAN NOTES

- EXISTING WALLS TO REMAIN (TYP)
- EXISTING WINDOW TO REMAIN (TYP)
- EXISTING DOOR TO REMAIN (TYP)
- EXISTING ELECTRICAL SERVICE PANELS
- NEW LOCATION OF RINNAI (REV V21528RFD-ID-U8) TANKLESS WATER HEATER ON WALL RECONNECT ALL PLUMBING AND VENT PER MANUFACTURER'S SPECS
- EXISTING AREA - NO NEW WORK
- NOT USED
- LOCATION OF NEW ROOF ACCESS FULL DOWN LADDER - MATCH EXISTING
- EXISTING WALL - REMOVE EXISTING WALL AND RE-FRAME PER WALL SCHEDULE
- LINE OF 2-HR AREA SEPARATION WALL - CONTRACTOR SHALL VERIFY WALL CONTINUE TO BOTTOM OF ROOF DECK SEE SCHEDULE
- EXISTING CONCRETE STAIR TO REMAIN
- EXISTING STEEL STAIR TO REMAIN
- NEW DOOR - SEE SCHEDULE
- FILL IN DOOR OPENING WITH 2x4 STUD WALL WITH 5/8" GYPSUM BOARD ON EACH SIDE
- REMOVE WALL UP TO WINDOW HEAD AND PROVIDE SUPPORT ACROSS OPENING. PATCH WALL OPENING TO MATCH SURROUND
- REMOVE WINDOW INFILL OPENING WITH MIN 4" THICK SOLID CONCRETE BLOCK OR 2x4 STUDS WITH 2 5/8" TYPE 'X' GYPSUM ON BOTH SIDE AND 3" SOUND BATT
- NEW LIGHTWEIGHT CONCRETE STAIR BUILT OVER EXISTING LANDING - 2 TREADS AND 3 RISERS EQUALLY SPACED TO MATCH EXISTING
- NEW STUD WALL - SEE SCHEDULE
- LOCATION OF RANGE WITH HOOD VENTED TO OUTSIDE
- LOCATION OF REFRIGERATOR
- EXISTING PLUMBING IN WALL
- LOCATION OF STACKED WASHER/DRYER. CONTRACTOR TO PROVIDE ALL REQUIRED ELECTRICAL AND PLUMBING AND LAUNDRY BOX WITH ARRESTOR TO WASHER. CONNECT DRAIN TO EXISTING SEWER LINE IN THE WALL.
- LOCATION OF EXISTING BASE CABINET
- NEW FLOOR OVER EXISTING 6" x 8" LIGHTWEIGHT CONCRETE OVER 3/4" PLYWOOD SHEATHING OVER WOOD FRAMING
- CONTRACTOR SHALL VERIFY ALL FLOOR PENETRATIONS THRU AREA BETWEEN FLOOR ARE PROTECTED AND ALL DUCTS HAVE REQUIRED DRAIN PER IBC

WALL TYPE LEGEND

- EXISTING EXTERIOR/INTERIOR WALL EXISTING CMU WALL TO REMAIN
- EXISTING INTERIOR WALL EXISTING STUD WALL TO REMAIN
- INTERIOR FRAME WALL (1-HR SEPARATION) REMOVE EXISTING WOOD STUDS AND RE-FRAME WALL WITH 2x4 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GYPSUM BOARD BOTH SIDES. PROVIDE 3" FIBERGLASS SOUND BATT INSULATION. CONTINUE WALL AND GYPSUM BOARD TO UNDER ROOF SHEATHING. SEE DETAIL 2/A102, 3/A102, 5/A102
- EXISTING INTERIOR WALL (1-HR SEPARATION) EXISTING CMU WALL. CONTRACTOR SHALL VERIFY WALL CONTINUE TO ROOF DECK WHERE WALLS STOP AT CEILING. BUILD 2x4 WOOD STUD CRIPPLE WALL WITH 1 5/8" TYPE 'X' GYPSUM BOARD ON EACH SIDE TO ROOF DECK. SEE DETAIL 4/A102
- INTERIOR FRAME WALL (1-HR NEW) 2x4 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GYPSUM BOARD BOTH SIDES 3" FIBERGLASS SOUND BATT INSULATION. EXTEND WALL TO BOTTOM OF TRUSS.
- INTERIOR FRAME WALL (NEW) 2x4 WOOD STUDS @ 16" O.C. BUILD OUT WALL WITH 5/8" GYPSUM BOARD ON OUTSIDE FACE. EXTEND WALL TO CEILING. SEE DETAIL 7/A102, 3/A102
- INTERIOR NEW FRAME WALL (1-HR SEPARATION) 2x4 WOOD STUDS @ 16" O.C. WITH 1 5/8" TYPE 'X' GYPSUM BOARD ON EACH SIDE. PROVIDE 3" FIBERGLASS SOUND BATT INSULATION. CONTINUE WALL AND BOARD TO ROOF DECK. SEE DETAIL 7/A102, 3/A102, 5/A102
- EXISTING TO BE REMOVED REMOVE EXISTING WALL AS REQUIRED. VERIFY DOOR HEIGHT IN FIELD FOR OPENING.
- INTERIOR FRAME WALL 2x4 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES. EXTEND WALL TO BOTTOM OF TRUSS.

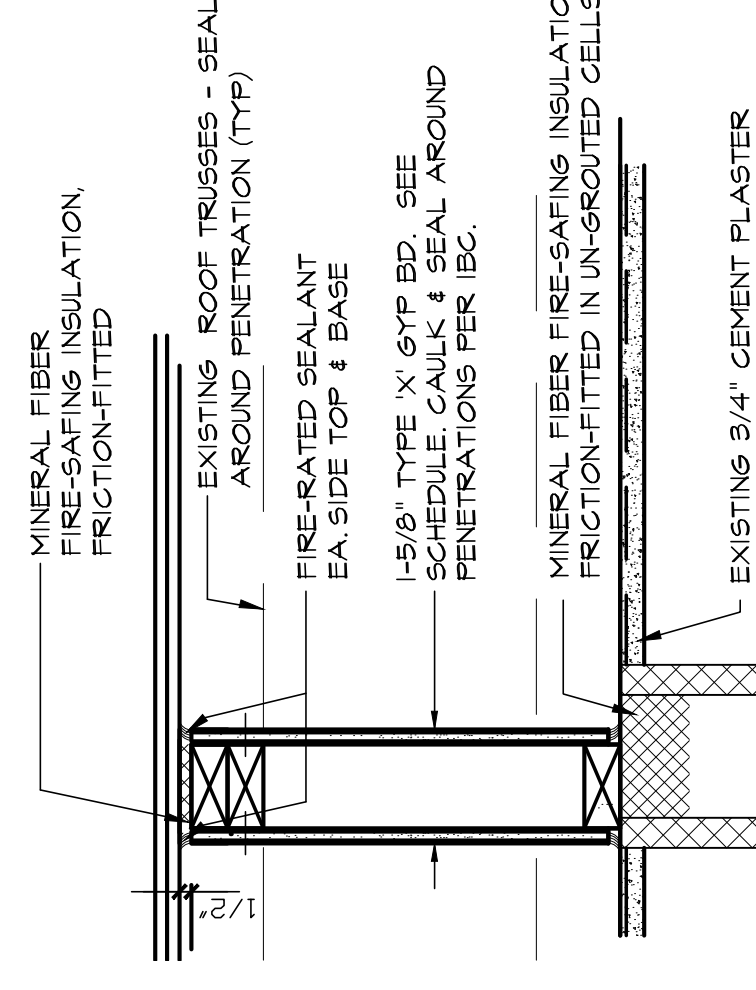
NOTE: PROVIDE MARKING AND IDENTIFICATION ON FIRE RATED WALL PER IBC SECTION 705.7 AT ACCESSIBLE ATTIC SPACE



5 WALL @ ROOF DETAIL

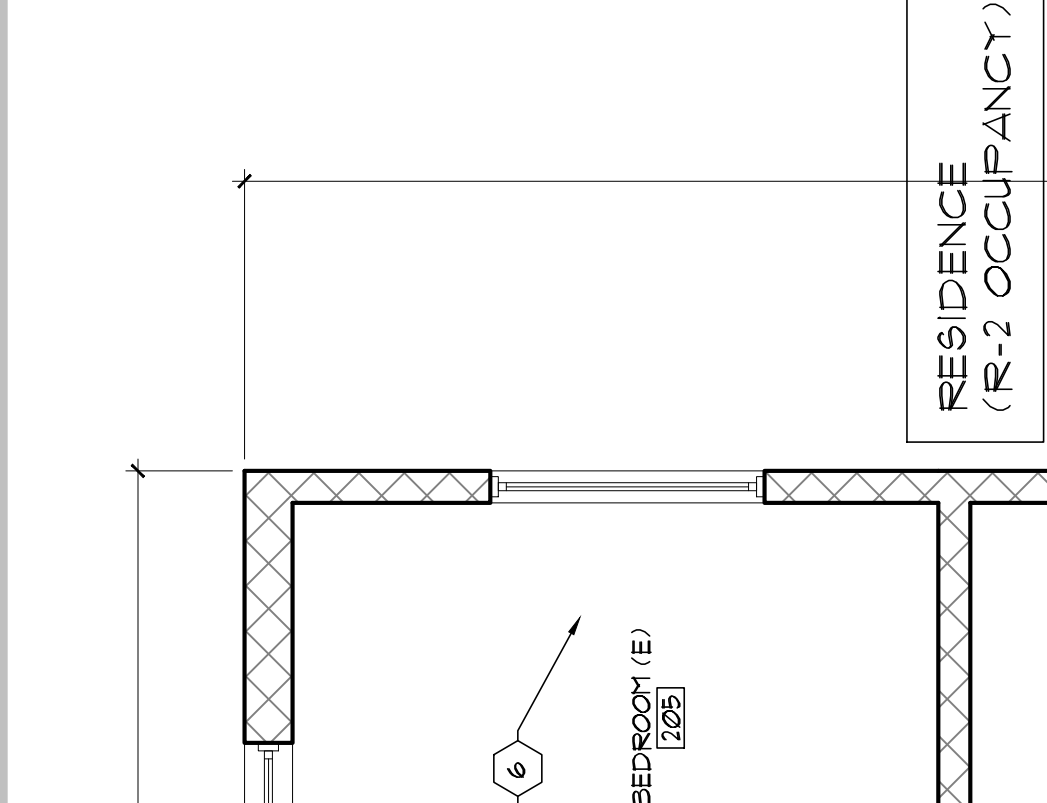
SCALE: 1-1/2" = 1'-0"

NOTE: PROVIDE MARKING AND IDENTIFICATION ON FIRE RATED WALL PER IBC SECTION 705.7 AT ACCESSIBLE ATTIC SPACE



4 WALL @ ROOF DETAIL

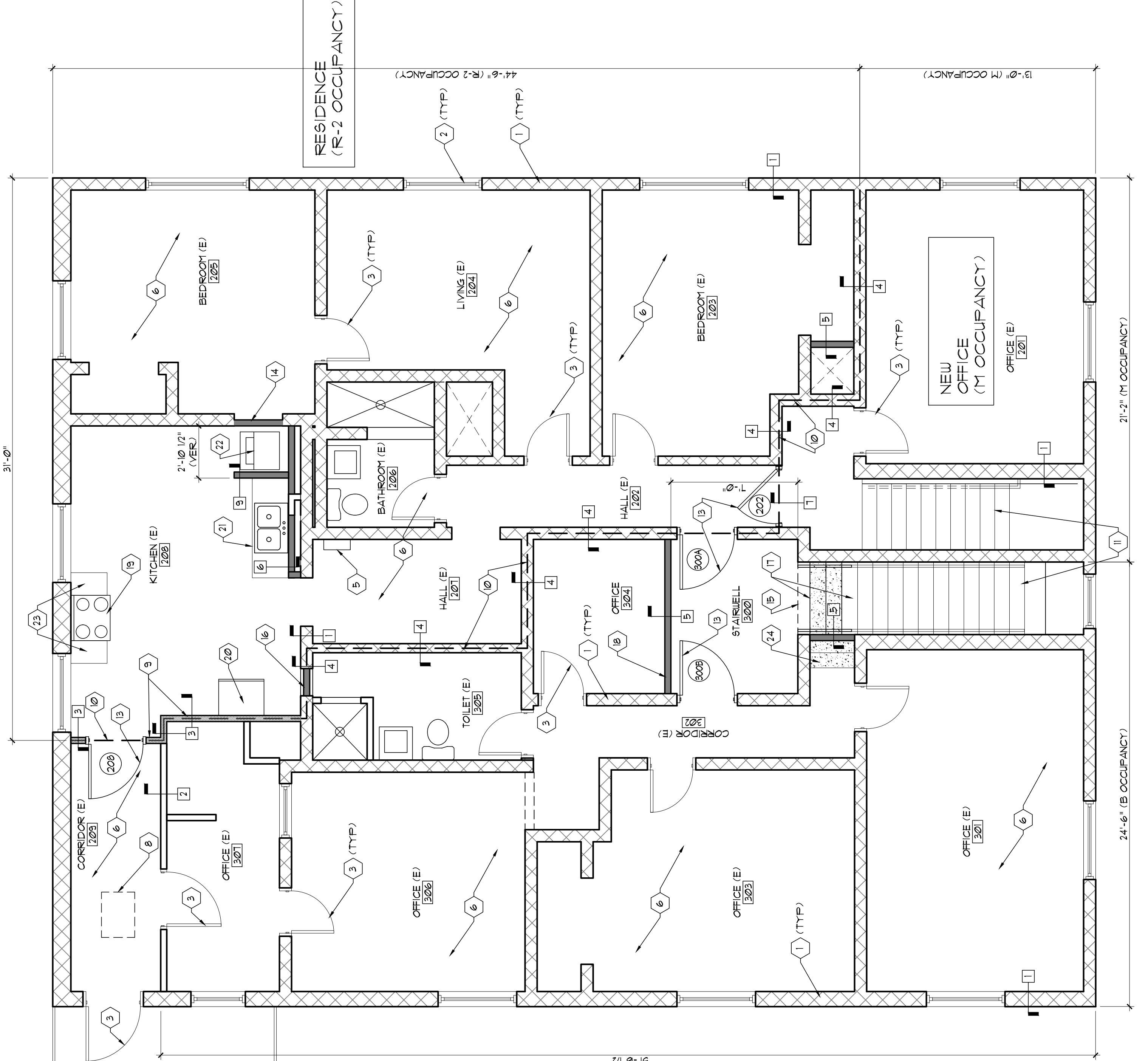
SCALE: 1-1/2" = 1'-0"



2 WALL BASE DETAIL

SCALE: 1-1/2" = 1'-0"

1 PROPOSED SECOND FLOOR PLAN



1 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:
ALL ELEMENTS AND SPACES ARE EXISTING UNLESS NOTED OTHERWISE.
ALL WALLS SHOWN ARE FOR ILLUSTRATION ONLY AND MIGHT BE DIFFERENT IN FIELD. CONTRACTOR SHALL VERIFY AFFECTED WALLS IN FIELD

DOOR SCHEDULE			DOOR TYPES			FRAME TYPE			
MARK	TYPE	SIZE	GLAZ	TYPE	MAT.	THK	RIG	HARDWARE	RPKS
Z02	D1	3'-0" x 6'-8"	N	BC	F1	15 24"	60 MIN		
Z02A	D1	3'-0" x 6'-8"	N	BC	F2	15 24"	60 MIN		
Z02B	D1	3'-0" x 6'-8"	N	BC	F2	15 24"	45 MIN		

NOTE:
1. CONTRACTOR SHALL PROVIDE HARDWARE THAT MEETS IBC & SECTION 404.2.6 OF THE 2003 ANS-A111. HANDLES, PULLS, LATCHES AND OTHER OPERABLE PARTS SHALL COMPLY TO ALL APPLICABLE CODE REQUIREMENT.
2. CONTRACTOR SHALL PROVIDE HARDWARE TO ALL BATED DOORS PER IBC AND ALL REQUIRED CODES. THE DOORS SHALL HAVE ALL REQUIRED LABELING.
3. CONTRACTOR SHALL VERIFY WITH OWNER FOR LOCKING AND KEYS REQUIREMENTS

O5 ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DRAWINGS AND SPECIFICATIONS. THESE DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF O5 ARCHITECTS.

GENERAL NOTES

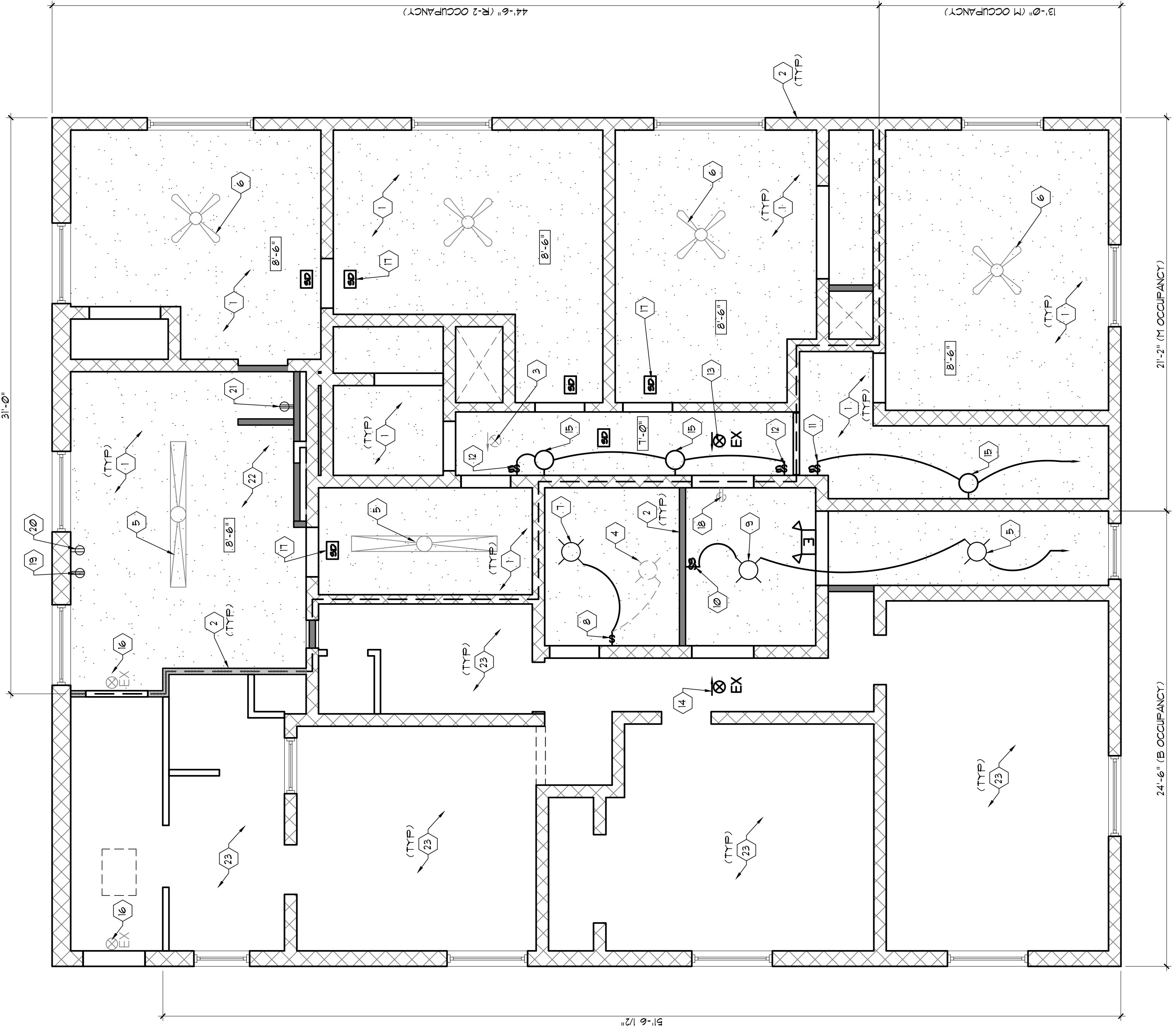
- DIMENSIONS TO EXISTING WALLS ARE TO FACE OF GYPSUM BOARD, DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD.
- CONTRACTOR SHALL VERIFY EXISTING OVERALL DIMENSIONS FOR CONFORMANCE WITH PLANS BEFORE PROCEEDING WITH WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO DEMOLITION & NOTIFYING ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- ALL EXISTING FIXTURES AND STRUCTURE SHOWN ARE FOR ILLUSTRATION ONLY AND MAY NOT BE CONSISTENT WITH WHAT IS AT THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS THAT ARE NOT PART OF PROJECT SCOPE FOR CONFORMANCE TO ALL APPLICABLE CODE.
- REMOVE ALL ELECTRICAL OUTLETS, SWITCHES, CONDUIT, ETC. IN WALLS TO BE REMOVED. ALL WIRING SHALL BE REMOVED BACK TO THE PANELS OR TO A POINT WHERE IT BECOMES INACCESSIBLE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED ELECTRICAL CODE FOR NEW WORK.
- CONTRACTOR SHALL REMOVE EXISTING WATER CLOSET, URINAL AND LAVATORY COMPLETELY WHERE REQUIRED. CAP PLUMBING BELOW FLOOR OR CEILING OR AT ENTRY TO SPACE AS REQUIRED. COORDINATE W/ NEW PLUMBING REQUIREMENTS. EXISTING WASTE LINE SHALL REMAIN IN SERVICE AT ALL TIMES. ALL NEW WASTE LINE SIZES SHALL BE PER CODE. ALL PLUMBING SHALL BE INSTALLED ABOVE THE FINISH FLOOR AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED PLUMBING CODE FOR NEW WORK.

CEILING NOTES

- EXISTING CEMENT PLASTER WITH METAL LATH CEILING - CONTRACTOR SHALL REPAIR DAMAGED OR AFFECTED CEILING TO MATCH EXISTING AND PAINT
- EXISTING OR NEW WALL - TYPICAL. SEE WALL SCHEDULE ON SHEET A02
- REMOVE AND RELOCATE EXISTING EXIT SIGN TO NEW EXIT DOOR
- REMOVE AND RELOCATE EXISTING CEILING LIGHT FIXTURE PER PLAN
- EXISTING CEILING MOUNTED LIGHT FIXTURE TO REMAIN
- EXISTING CEILING FANLIGHT TO REMAIN
- EXISTING PULL SWITCH LIGHT FIXTURE TO REMAIN. CONNECT TO SWITCH AT ENTRY - SEE PLAN
- EXISTING SWITCH - CONNECT TO LIGHT AS SHOWN
- RELOCATED LIGHT FIXTURE - CONNECT TO EXISTING LIGHT FIXTURE ABOVE STAIRS & CONNECT TO 3-WAY SWITCH
- PROVIDE NEW MOTION SENSOR SWITCH
- EXISTING SWITCH TO REMAIN - VERIFY FOR 3-WAY SWITCH OR REPLACE
- PROVIDE NEW 3-WAY SWITCH
- RELOCATED EXISTING SIGN
- PROVIDE NEW EXIT SIGN
- EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN
- EXISTING EXIT SIGN TO REMAIN
- HARDWIRED SMOKE DETECTOR - SMOKE DETECTORS AND ALARM SYSTEM SHALL BE HARDWIRED WITH BATTERY BACK-UP POWER AND LOW BATTERY SIGNAL AND INSTALLED AS REQUIRED BY CODE. DETECTORS SHALL BE PLACED IN CORRIDORS, ADJACENT ROOMS AND SLEEPING ROOMS - AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL DETECTORS SHALL BE INTERCONNECTED TO SOUND A SIMULTANEOUS ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE APARTMENT
- REMOVE EXISTING WALL OUTLET
- PROVIDE RECEPTACLE AT ELECTRIC RANGE. CONTRACTOR SHALL COORDINATE CAPACITY PRIOR TO CIRCUITING
- PROVIDE OUTLET FOR VENT HOOD - VERIFY MOUNTING HEIGHT IN FIELD
- PROVIDE OUTLET FOR STACKED WASHER/DRYER
- CONTRACTOR SHALL VERIFY ALL EXISTING RECEPTACLE OUTLET NEAR THE KITCHEN SINK HAVE GFCI
- EXISTING CEILING - NO NEW WORK

CEILING LEGEND

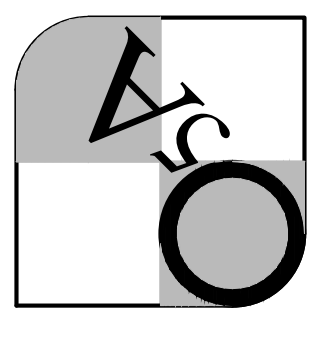
	PAINTED CEMENT PLASTER CEILING		VENTILATION FAN
	2x4' LATH-IN CEILING		2x2' FLUORESCENT LATH-IN FIXTURE
	2x2' LATH-IN CEILING		2x4' FLUORESCENT LATH-IN FIXTURE
	STUCCO SOFFIT		RECESSED CAN FIXTURE
	CEILING OR SOFFIT HEIGHT		SUPPLY AIR REGISTER
	EMERGENCY LIGHT FIXTURE		RETURN AIR REGISTER
	LINEAR FLUORESCENT FIXTURE - SURFACE MOUNTED		LINEAR FLUORESCENT FIXTURE - SURFACE MOUNTED
	SURFACE MOUNTED LIGHT FIXTURE		SMOKE DETECTOR
	RECEPTACLE OUTLET		RECEPTACLE OUTLET



1 CEILING/ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NOTE:
ALL ELEMENTS AND SPACES ARE EXISTING UNLESS NOTED OTHERWISE.
ALL EXISTING ELECTRICAL FIXTURE ARE EXISTING AND SHALL REMAIN UNLESS NOTED OTHERWISE



O5 Architects
ARCHITECTURE + PLANNING

5090 CHRICAMA TRAIL
LAS CRUCES, NM 88012
Phone: (505) 640-6233
Fax: (505) 373-4193
Email: O5Architects@aol.com

O5 ARCHITECTS EXPRESSLY RESERVES ITS RIGHTS IN THESE DRAWINGS AND ANY REVISIONS THEREON. NO PART OF THESE DRAWINGS OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF O5 ARCHITECTS.



02-07-20

PROJECT TITLE
BUILDING INTERIOR RENOVATION

ADDRESS:
2000 ROSA CALLE 4th FLOOR
CITY OF MESILLA, NM, 88047
PROJECT NO.: 141-11-20

NO.	DATE	REVISION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-

SHEET TITLE
**CEILING/
ELECTRICAL
PLAN**

FILENAME: 141-11-20-A101
ISSUE: PERMIT
DATE: FEB. 2020
DRAWN BY: NBO
CHECKED BY: NBO

OWNERSHIP APPROVAL:
SIGNATURE: _____ DATE: _____
THE PLANS FOR THIS PROJECT HAVE BEEN REVIEWED BY THE OWNER'S AGENT AND APPROVED AS SHOWN ABOVE. REQUIRED: THE PLANS AS DATED ABOVE ARE CORRECT AND APPROVED.

SHEET NO.

A103

OFFICIAL USE ONLY
Case # 061024
Fee \$ 81.00

TOWN OF MESILLA
ZONING APPROVAL

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061024 ZONE: HC CODE: RN APPLICATION DATE: 2/14/20

Juhenne Hadfield
Name of Property Owner

575-207-8931
Property Owner's Telephone Number
NM 88011
State Zip Code

5011 Wildhorse LLC
Property Owner's Mailing Address City

Juhenne.juhenne@aol.com
Property Owner's E-mail Address

Mark Sidoris, P.O. Box 294, Fair Oaks, NM 88013
Contractor's Name & Address (if none, indicate Self)

575-647-5147 # 0102 42-6083
Contractor's Telephone Number Contractor's Tax ID Number

196602
Contractor's License Number

2000 Calle de Parian, Mesilla
Address of Proposed Work

addition of interior doorway
and fire wall separation between uses
Description of Proposed Work

416690.00
Estimated Cost
Signature of Applicant
Date 2-14-2020

Signature of property owner

In the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and CID prior to issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

- Administrative Approval
- Approved Date
- Disapproved Date
- Approved with Conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT APPROVAL REQ'D

CID PERMIT REQ'D

Handwritten signature

**PZHAC WORK SESSION
APRIL 6, 2020
ITEM 2**

Submitted by Gerard Nevarez, a request to discuss plans to install a four foot by eight foot decorative panel (Permit 061028) and enclose an existing patio and add a covered patio (Case 061029) at the rear of a dwelling at 2305 Calle de Colon. Zoned: Historic Residential (HR)

Currently, the property is surrounded by a rock wall that is about 4-1/2 to 5 feet in height. This wall separates the subject property from the property to the south. The neighboring property currently has a dwelling that is under construction that is about 3 – 5 feet from the wall on the other side. Several windows look out into the applicant's patio (see attached photo). The applicant would like to install a four foot by eight foot decorative panel painted by Priscilliana Sandoval, a local artist, in the back yard next to the fence. (The panel cannot be seen from the street.) This will be supported by wood posts. The panel will be both decorative in that it will be similar to other decorative objects in the yard, and create a privacy barrier at the same time.

The applicant also plans to enclose an existing covered patio at the rear of the dwelling (see attached site plan). (Any bedroom windows that are used for emergency egress will exit into the enclosure will need to be addressed in order to meet the requirements of the building code.) Additionally, the applicant would like to build a new covered patio to be attached to the enclosed patio.

The PZHAC will need to determine that the fence work will be consistent with Chapters 18.33 (Historic Preservation) and 18.35 (HR-Residential Cultural Historic zone) of the Code.

18.33.080 Historical appropriateness permit.

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

18.35.030 Exterior appearance.

An application for a permit which would authorize construction, modification, moving or destruction which would affect the exterior appearance of any structure, sign, or other improvement affecting use or function must first be approved by the commission. [Ord. 94-06 § 1; prior code § 11-2-11.4.C]

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

The applicant will be available by phone at the work session to provide further details about the proposed privacy panel; and will be available to answer any questions that may arise.

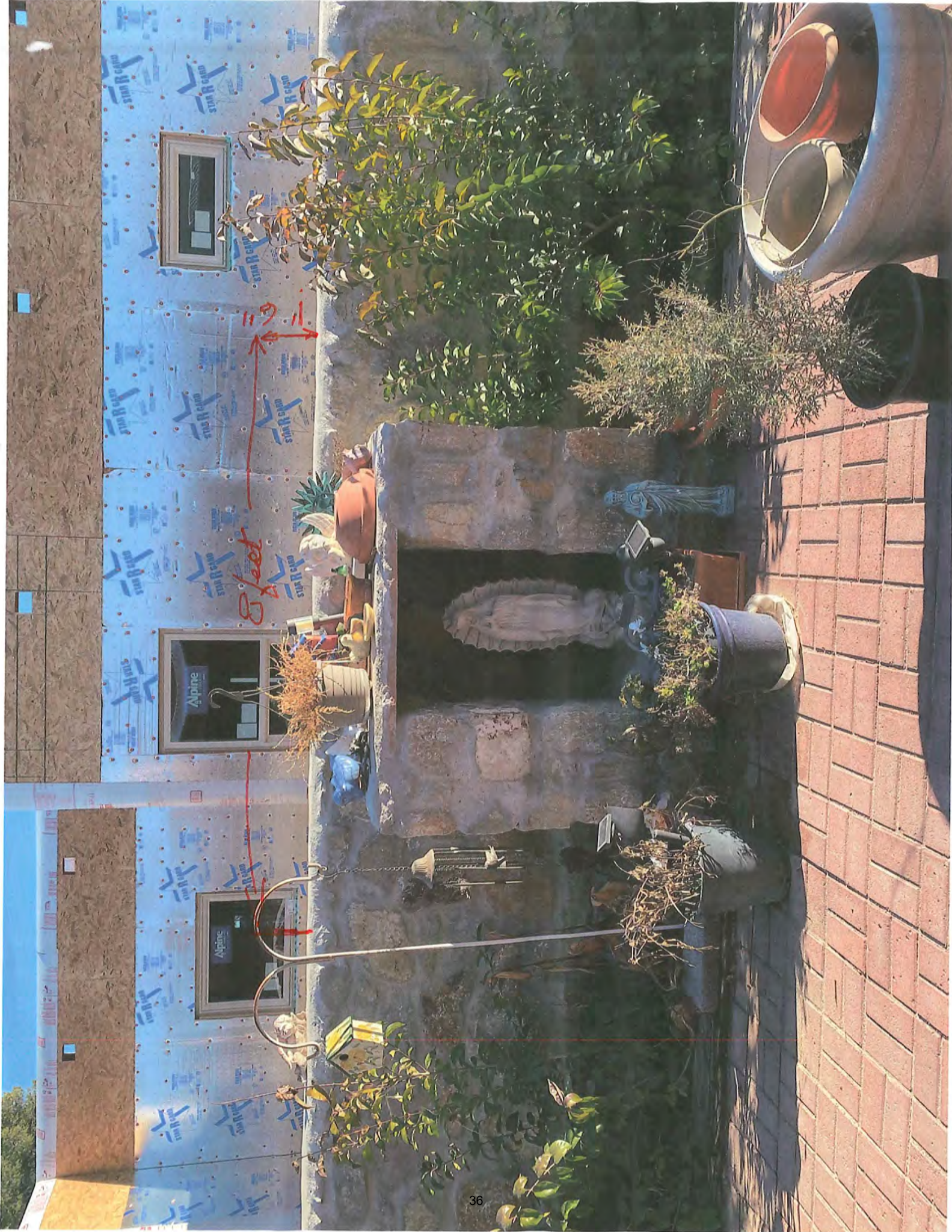


PHOTO OF THE SUBJECT DWELLING FROM CALLE DE COLON

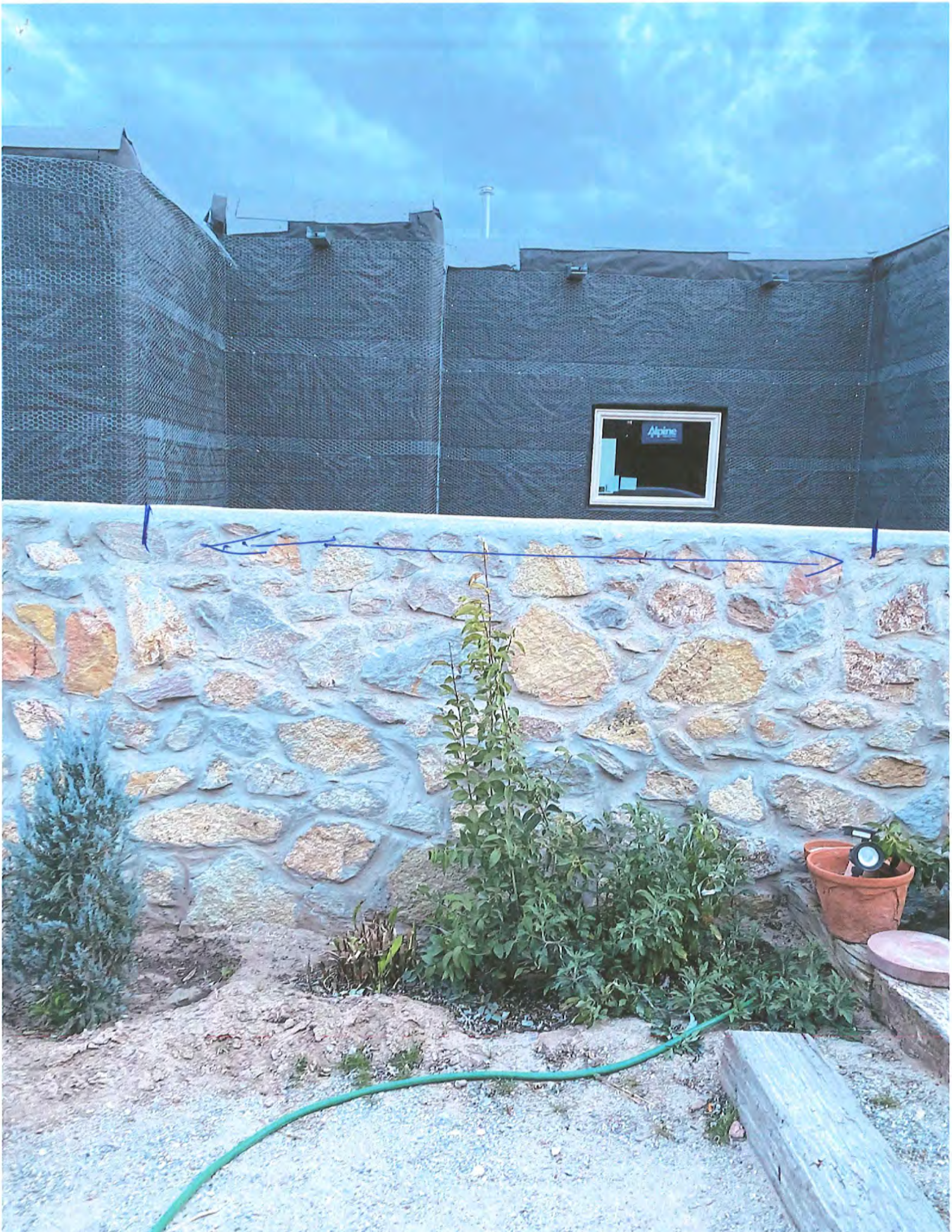


PHOTO OF THE NEIGHBORING DWELLING AND ROCK WALL





Rachel
2013



TOWN OF MESILLA
APPLICATION FOR RESIDENTIAL BUILDING PERMIT
 2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (505)524-3262 extension 109

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: 06/02/20

Gerard Nevarez 575 642 3938
 Name of Applicant Telephone Number

2305 Calle de Colon Mesilla Nm 88046
 Street Address City State Zip Code

self
 Contractor Name and Address

Contractor Telephone Number Contractor Tax I.D. Number Contractor License #

LOCATION & DESCRIPTION OF PROPOSED WORK:
6' by 8' wood fence panel painted by Preciliana
Installed on two wood posts along south rack
well - See attached - Consider it an art piece

Estimated Cost:
\$100

Douglas Date: 03.09.20
 Signature of Applicant

*With the exception of administrative approvals, all permit applications must undergo a review process from staff, PZHAC and BOT before issuance of a building permit.
 Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required.
 Plan sheets are to be no larger than 11 x 17 inches.*

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved
	<input type="checkbox"/> Approved		<input type="checkbox"/> Disapproved
	<input type="checkbox"/> Disapproved		<input type="checkbox"/> Approved with condition
	<input type="checkbox"/> Approved with conditions		

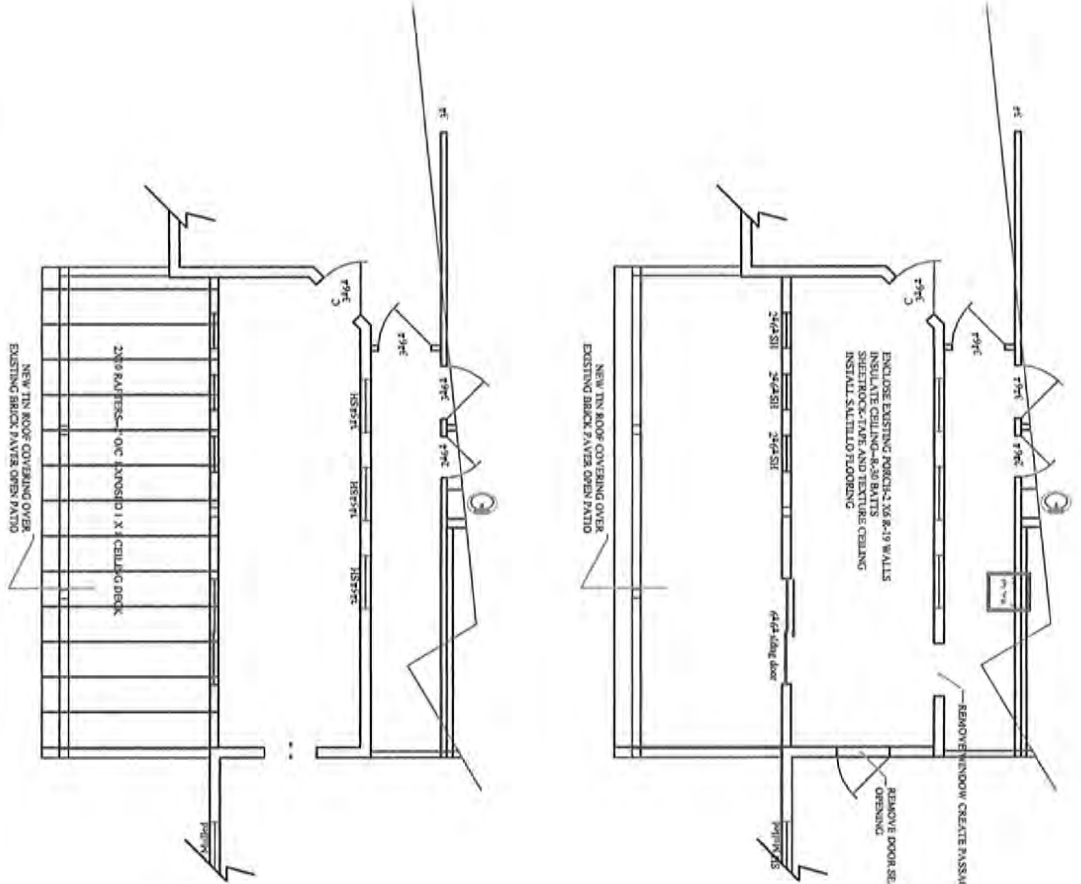
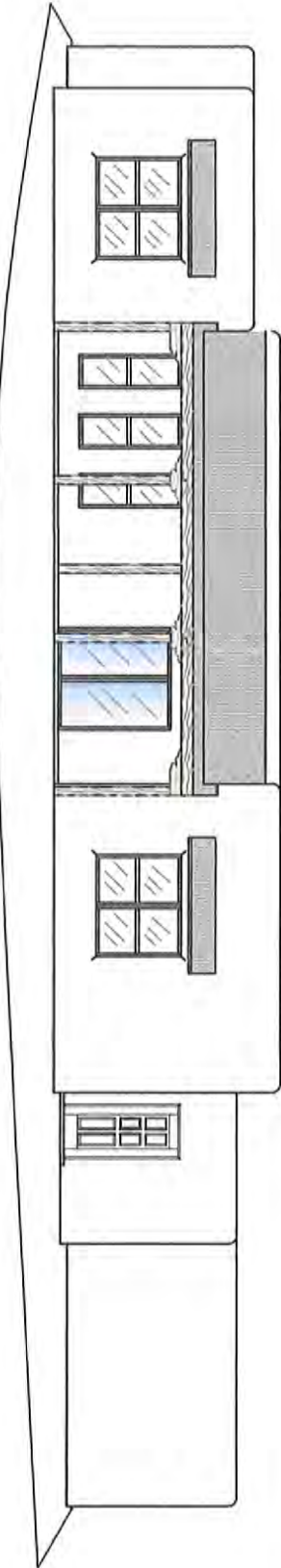
CONDITIONS: _____

FEE: REVIEW: _____ ISSUE DATE: _____
 PERMIT: _____ ISSUE DATE: _____

- This application includes:**
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Foundation Plan with details
 3. Floor Plans showing rooms, their uses and dimensions
 4. Cross Sections of walls.
 5. Roof and floor framing plan. (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
 6. Drainage plan.
 7. Architectural style and color scheme (Historical and commercial zones only.)
 8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from Public Utility providing water service.)

Not to Scale

BACK-SOUTH



03/05/2020

Drawn By: Patrick Vigil

2305 Calle Colon

ViCa One Inc.

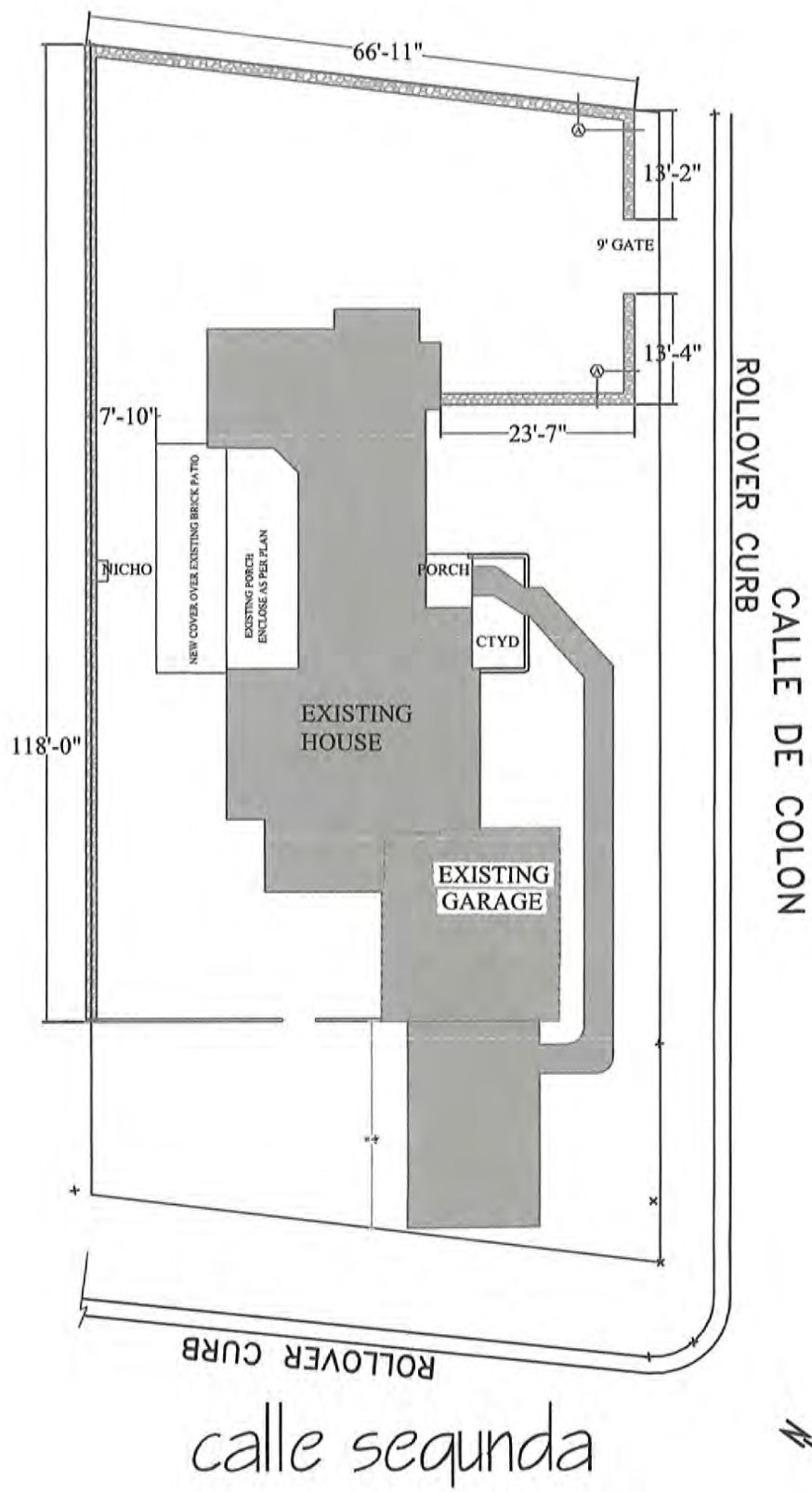
DRAWN FOR: Gerard Nevarez

PO Box 669

575 644 3749

3111 874 99046

Mosilla Park NM



3-5-2020

NTS

Drawn By: Patrick Vigil	2305 CALLE DE COLON	ViCa One Inc.
Drawn for: Gerard Nevarez		PO Box 669
575-644-3748	Mesilla, NM, 88046	Mesilla Park, NM

TOWN OF MESILLA
APPLICATION FOR RESIDENTIAL BUILDING PERMIT
 2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (505)524-3262 extension 109

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: 02/02/20

Gerard Nevarez Name of Applicant Telephone Number 575.642.3938

2305 Calle de Colon Mesilla NM 88046 Street Address City State Zip Code

Patrick Vigil - VICA one PO Box 669 Mesilla Park Contractor Name and Address

575.644.3748 Contractor Telephone Number Contractor Tax I.D. Number Contractor License #

LOCATION & DESCRIPTION OF PROPOSED WORK:
2305 Calle de Colon - Enclose back patio +
build a covered patio - see attached

Estimated Cost:
\$20,000

[Signature]
 Signature of Applicant

Date: 03.09.20

*With the exception of administrative approvals, all permit applications must undergo a review process from staff, PZHAC and BOT before issuance of a building permit.
 Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required.
 Plan sheets are to be no larger than 11 x 17 inches.*

PZHAC	<input type="checkbox"/> Administrative Approval	BOT	<input type="checkbox"/> Approved
	<input type="checkbox"/> Approved		<input type="checkbox"/> Disapproved
	<input type="checkbox"/> Disapproved		<input type="checkbox"/> Approved with condition
	<input type="checkbox"/> Approved with conditions		

CONDITIONS: _____

FEE: _____ REVIEW: _____ ISSUE DATE: _____
 PERMIT: _____ ISSUE DATE: _____

- This application includes:**
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Foundation Plan with details
 3. Floor Plans showing rooms, their uses and dimensions
 4. Cross Sections of walls.
 5. Roof and floor framing plan. (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
 6. Drainage plan.
 7. Architectural style and color scheme (Historical and commercial zones only.)
 8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from Public Utility providing water service.)

PZHAC WORK SESSION
APRIL 6, 2020
ITEM 3

Submitted by Stephen Cadena; a request to discuss plans to construct a porch around a dwelling at this address (Permit 061034) and construct a wall around the dwelling and at the rear of the property (Permit 061033) on a property located at 2230 Calle del Sur. Zoned: Historic Residential (HR)

Currently, the property is occupied by a dwelling that is under construction in the southwest corner of the property. The westernmost edge of the dwelling is 5 feet from the property line. The applicant would like to construct a 5 foot deep porch around the other three sides of the structure (Permit 061033). The porch will consist of wood beams and rough lumber having a gray corrugated metal roof (see site plan and attached photos). The purpose of the porch is to provide shade to the structure. According to the applicant, the porch will complement the style of the dwelling.

The applicant would also like to build a 5 foot 6 inch high rock wall along the southern property line (Permit 061034). This rock wall will be similar in style and color to other rock walls constructed on property lines in the area. In addition to the rock wall, the applicant plans to construct a 10 inch wide by 5 foot 6 inch high stuccoed wall at the southwest corner of the property and along the east side of the dwelling in order to provide privacy for the dwelling (see attached site plan for the locations of the walls).

The PZHAC will need to determine that the porch and walls will be consistent with Chapters 18.33 (Historic Preservation) and 18.35 (HR-Residential Cultural Historic zone) of the Code.

18.33.080 Historical appropriateness permit.

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

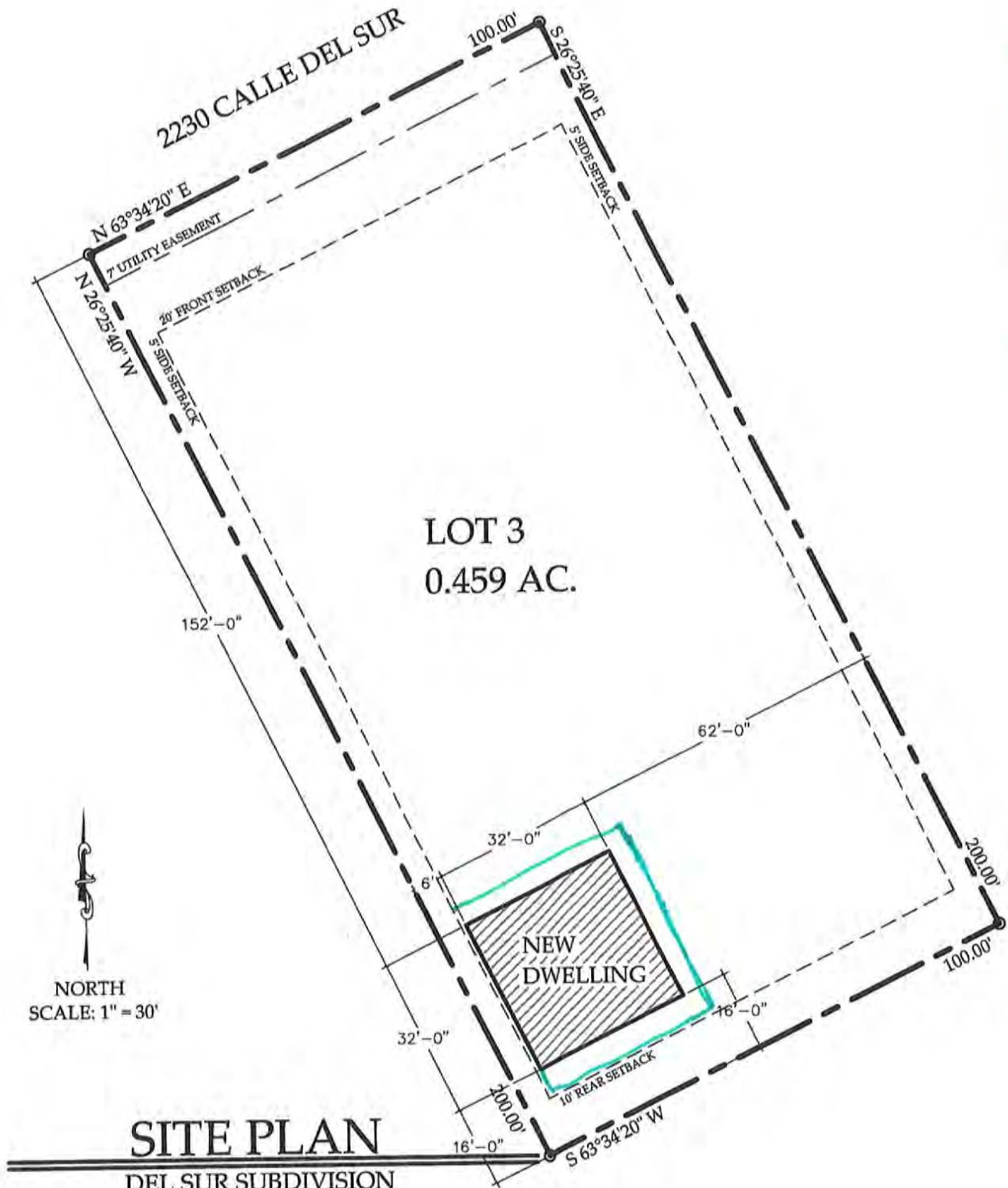
18.35.030 Exterior appearance.

An application for a permit which would authorize construction, modification, moving or destruction which would affect the exterior appearance of any structure, sign, or other improvement affecting use or function must first be approved by the commission. [Ord. 94-06 § 1; prior code § 11-2-11.4.C]

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

The applicant will be available by phone at the work session to provide further details about the walls and porch; and will be available to answer any questions that may arise.


Porch
 Extending 8 Feet from House

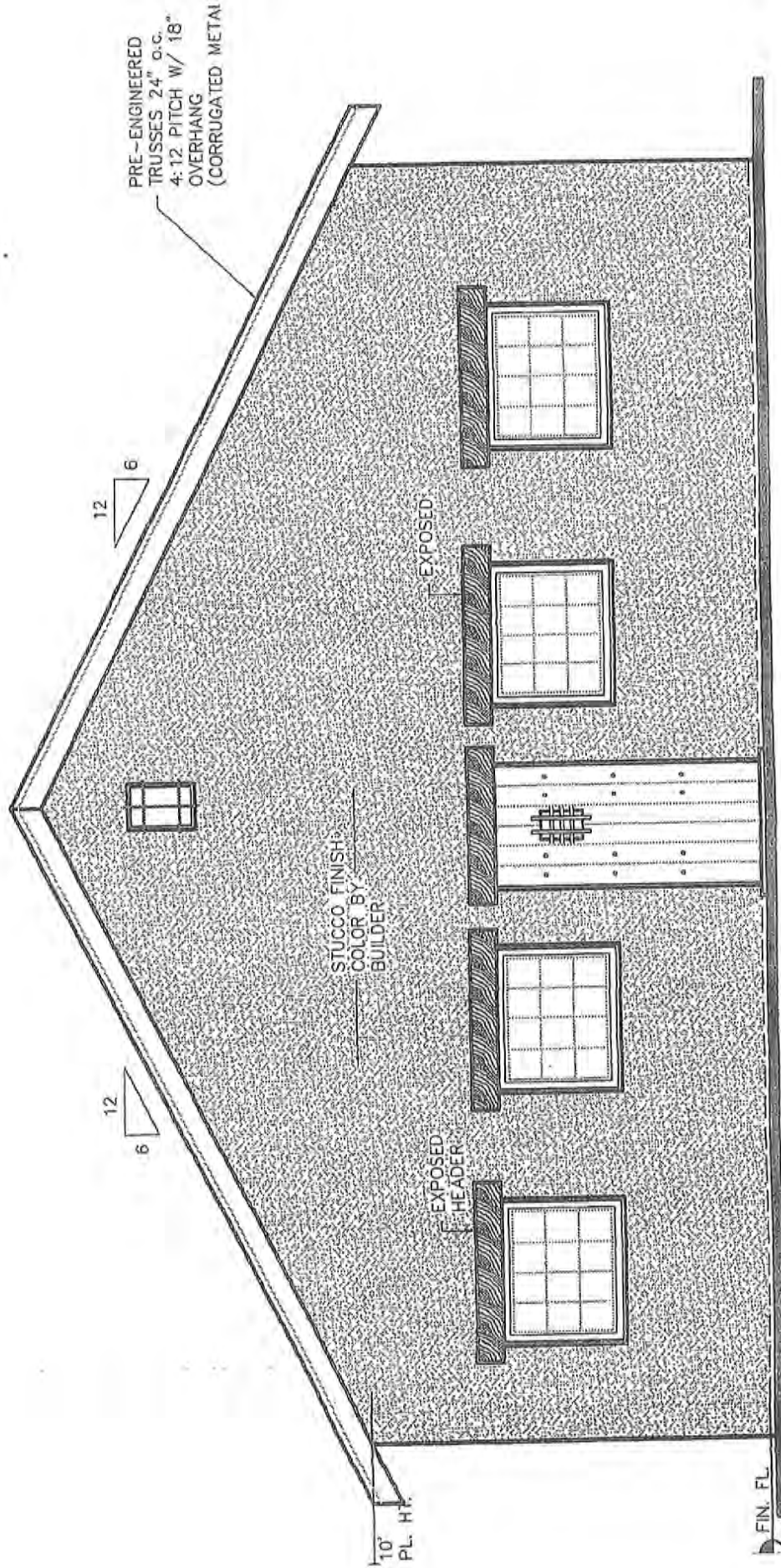


NORTH
 SCALE: 1" = 30'

SITE PLAN

DEL SUR SUBDIVISION
 LOT 3
 TOWN OF MESILLA, DONA ANA COUNTY
 NEW MEXICO

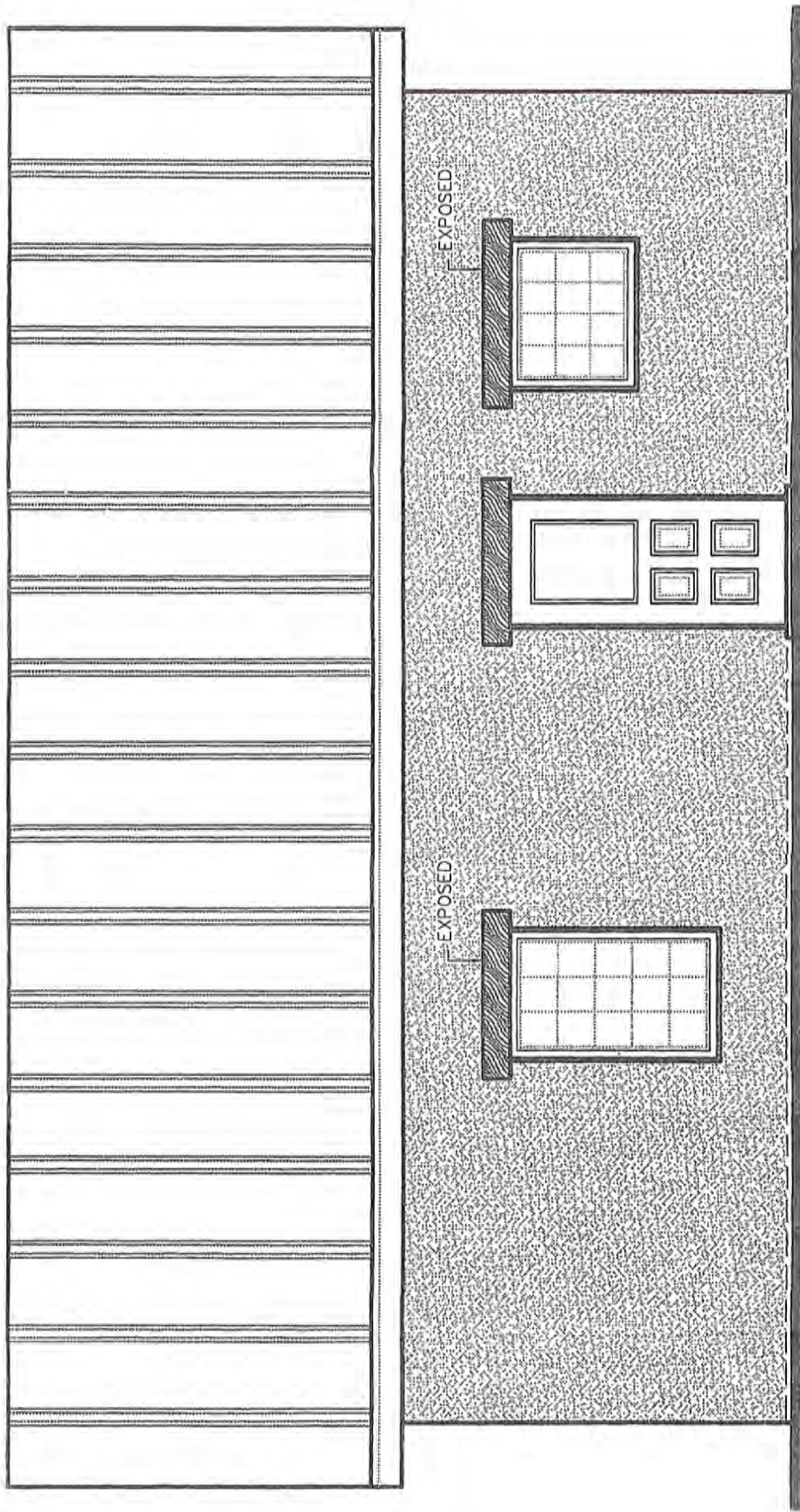
 <p>Cadworks Home Designs & Drafting P.O. BOX 1872 Las Cruces, N.M. 88004 Office: (575) 523-7720</p>	DATE		PROJECT NAME:	SHEET TITLE
	11/1/17		Steve Cadena	SITE PLAN
	DRAWN BY			SHEET NO.
	UMPHRESS			3 OF 3
FILE NAME	SC-828517			
<small>DISCLAIMER ALL MEASUREMENTS, DIMENSIONS, & SPECIFICATIONS, INCLUDING ALL SLOPE MATERIALS ARE TO BE CHECKED BY OWNER & CONTRACTOR & ARE THE RESPONSIBILITY OF THE OWNER & CONTRACTOR. THE STRUCTURAL INTEGRITY OF THIS PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER. THIS DRAWING IS AN INSTRUMENT OF OWNER, AND CONTRACTOR. THIS DRAWING MAY NOT BE REPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT THEIR WRITTEN PERMISSION.</small>				



FRONT ELEVATION

Porch on this side

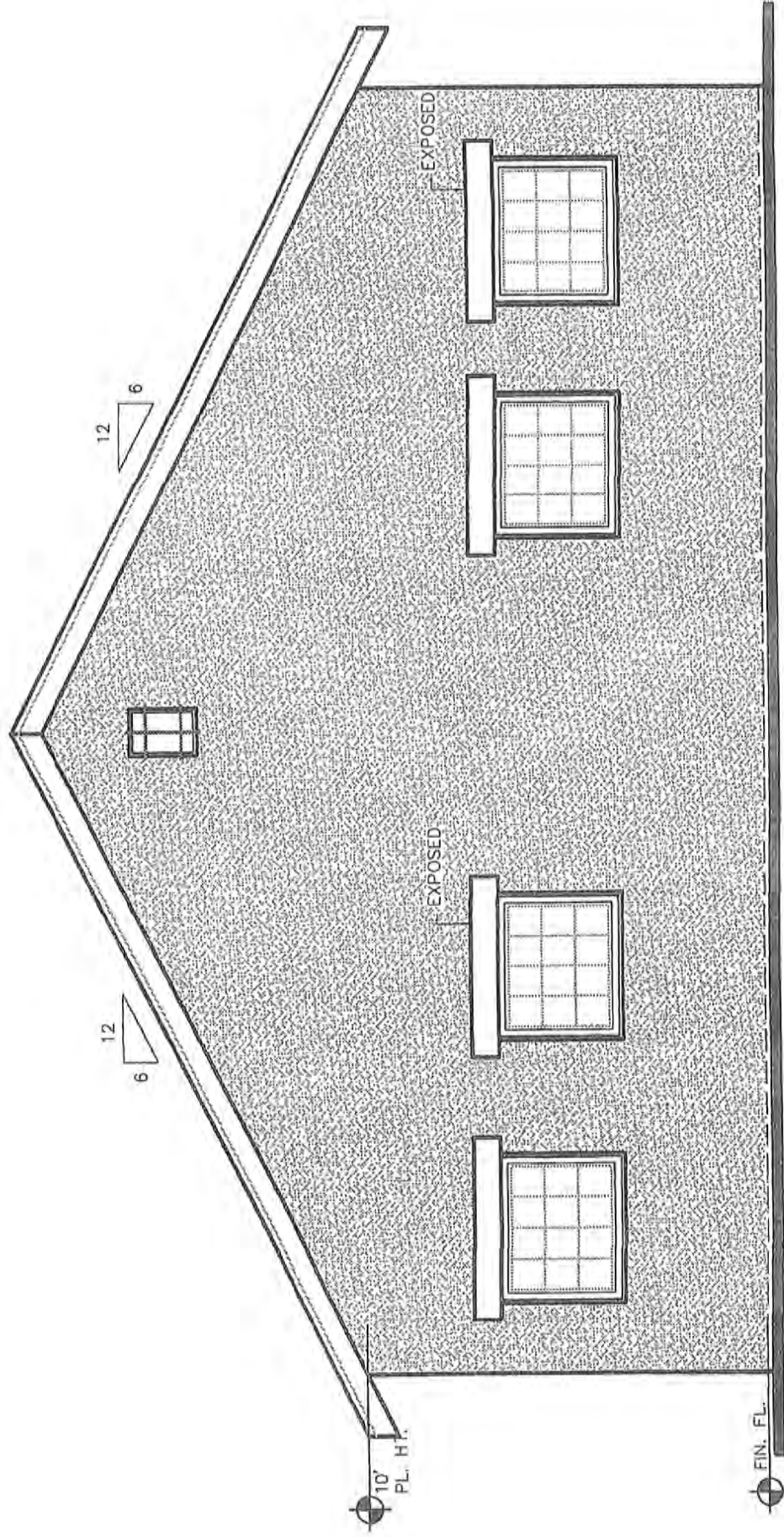
1 / 23 1 2 3 4 5 6 7 8 9 10



LEFT ELEVATION

Porch on this side

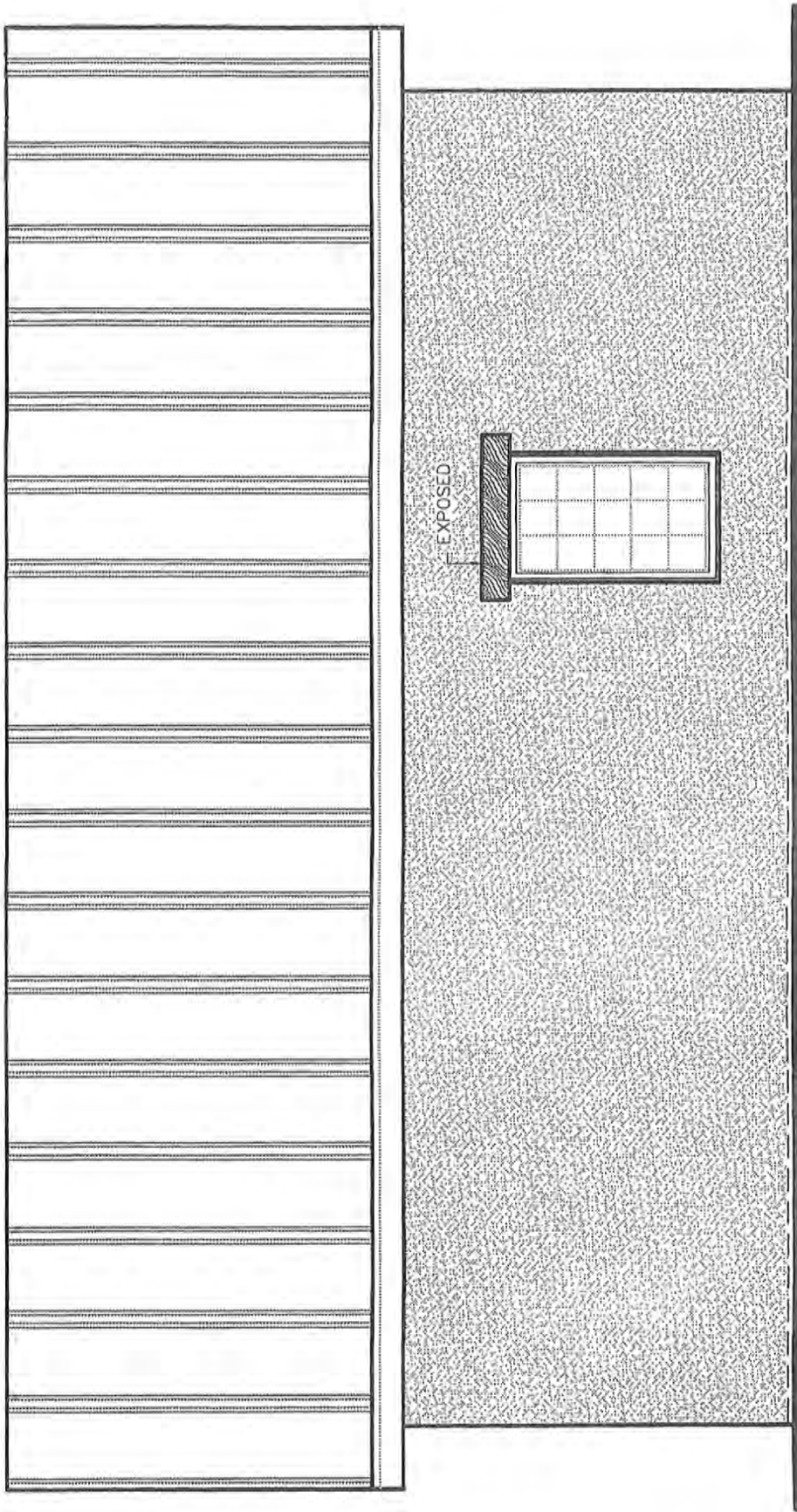
$1/4" = 1'-0"$



REAR ELEVATION

Porch on this side

1/4" = 1'-0"

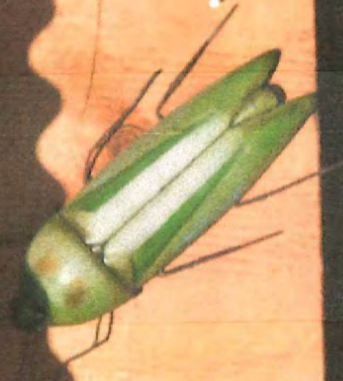


1/4" = 1'-0"

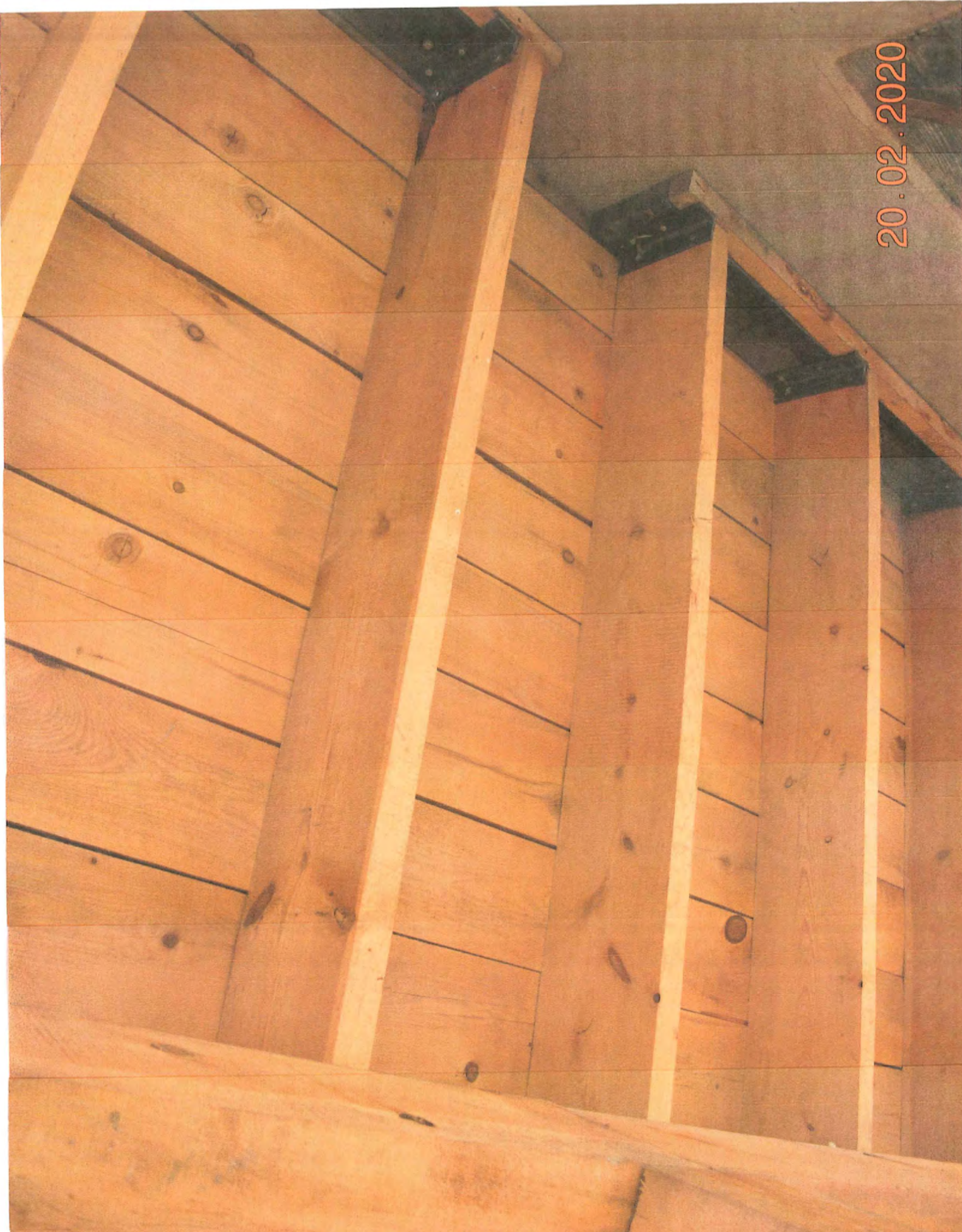
RIGHT ELEVATION

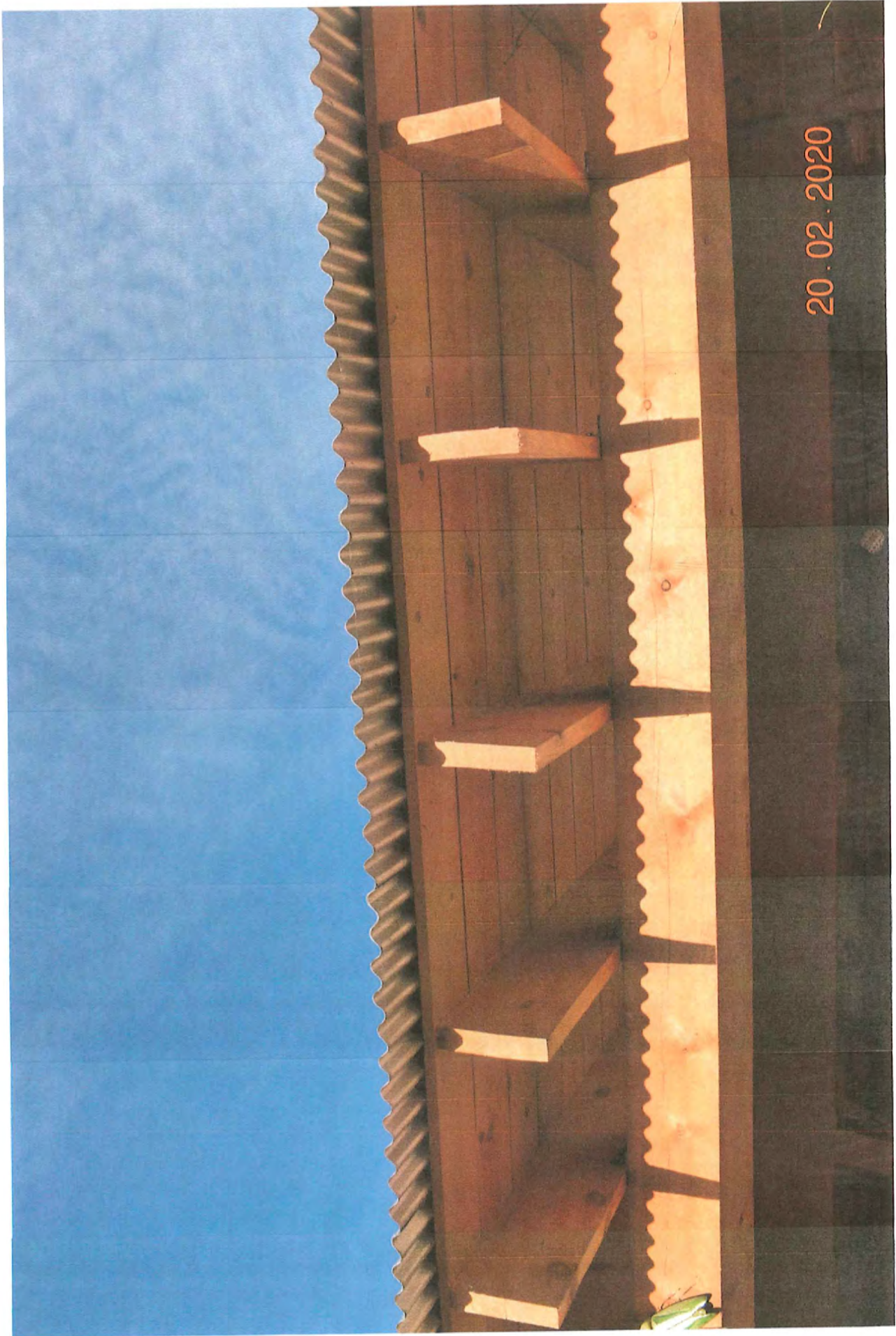
NO PORCH

20.02.2020



20.02.2020





20.02.2020

TOWN OF MESILLA
ZONING APPROVAL
 PERMISSION TO CONDUCT WORK
 OR
 OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:
 Case # _____
 Fee \$ _____

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

Steven Cadena (575) 800-9216
 Name of Applicant/Owner Applicant's Telephone Number

PO Box 489 Mesilla NM 88046
 Applicant's/Owner's Mailing Address City State Zip Code

saposc@msn.com
 Applicant's/Owner's E-mail Address

SELF
 Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2230 calle del sur

Description of Proposed Work: Beam and Rough Lumber porch around North, west, and south of House.

\$ 2000.00 Steven A Cadena 3/13/20
 Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

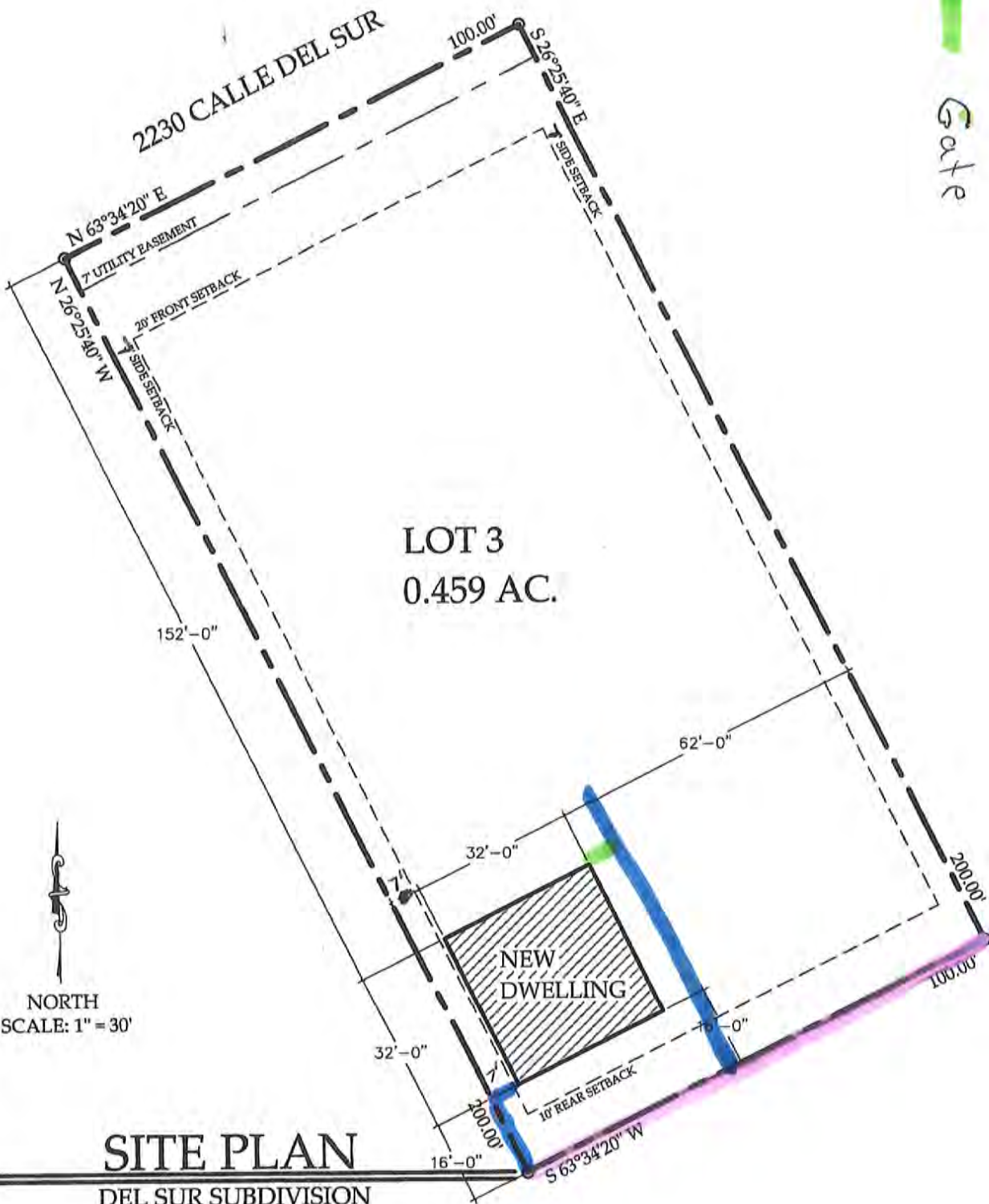
FIRE INSPECTION/APPROVAL REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- This Application will include the following, if checked:
1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **legally** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. _____ Site Plan with dimensions and details.
 3. _____ Proof of legal access to the property.
 4. _____ Drainage plan.
 5. _____ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 6. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. _____ Other information as necessary or required by the City Code or Community Development:



NORTH
SCALE: 1" = 30'

SITE PLAN

DEL SUR SUBDIVISION
LOT 3
TOWN OF MESILLA, DONA ANA COUNTY
NEW MEXICO

Gate
18" Plastered wall 5' 6" tall
Rock wall 5' 6" tall

Cadworks
Home Designs &
Drafting
P.O. BOX 1872
Las Cruces, N.M. 88004
Office: (575) 523-7720

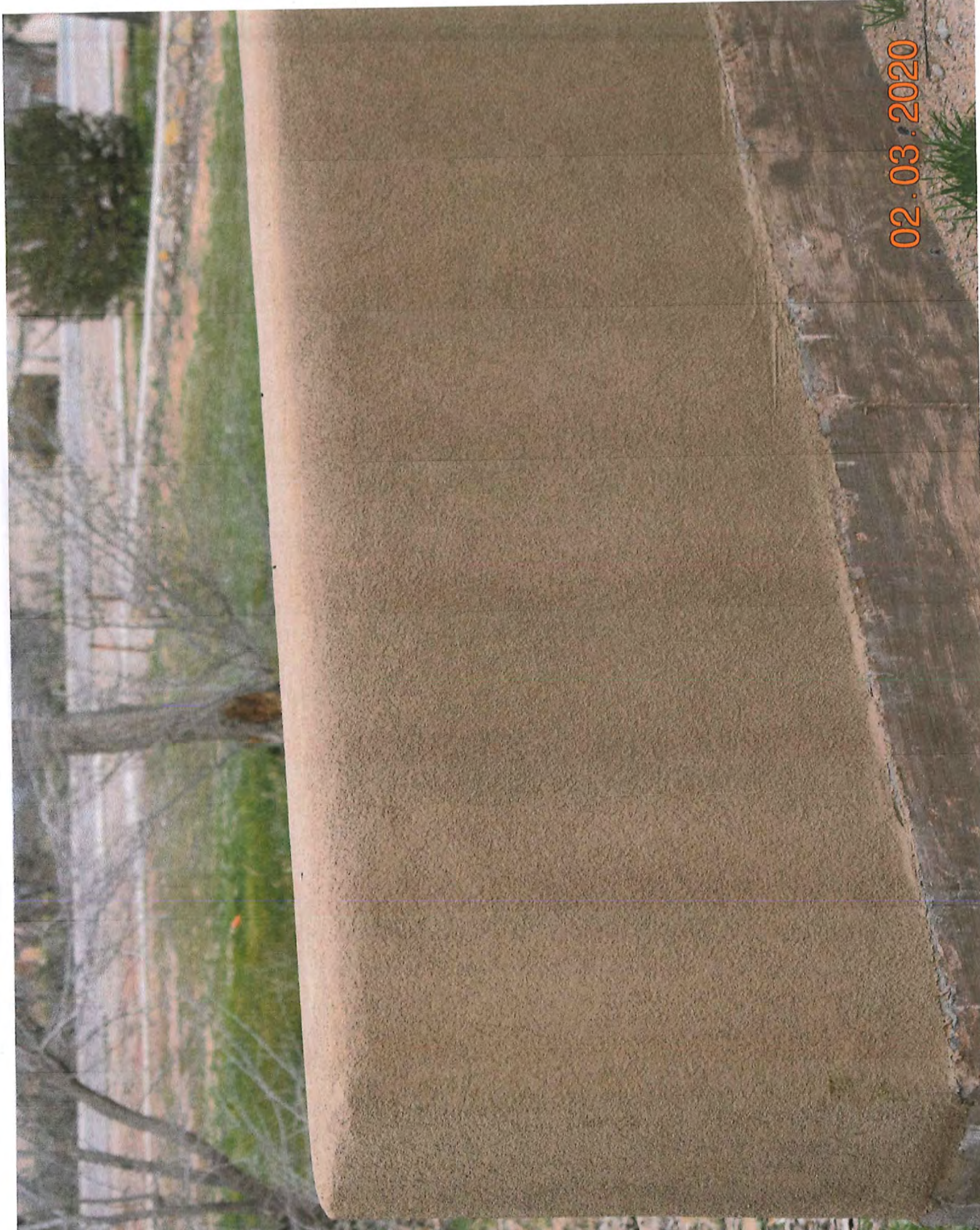
DATE	11/1/17
DRAWN BY	UMPHRESS
FILE NAME	SC-828S17

DISCLAIMER
ALL MEASUREMENTS, DIMENSIONS, &
SPECIFICATIONS, INCLUDING ALL BLDG.
MATERIALS ARE TO BE CHECKED BY
OWNER & CONTRACTOR & ARE THE
RESPONSIBILITY OF THE OWNER &
CONTRACTOR.
THE STRUCTURAL INTEGRITY OF THIS
PROJECT IS THE RESPONSIBILITY OF
THE CONTRACTOR AND OWNER.
THIS DRAWING IS AN INSTRUMENT OF
OWNER AND CONTRACTOR. THIS
DRAWING MAY NOT BE REPRODUCED
OR REPRODUCTIONS HEREOF USED
WITHOUT THEIR WRITTEN PERMISSION.

PROJECT NAME:
Steve Cadena

SHEET TITLE	SITE PLAN
SHEET NO.	3 OF 3

02.03.2020





02.03.2020

TOWN OF MESILLA
ZONING APPROVAL
 PERMISSION TO CONDUCT WORK
 OR
 OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:
 Case # _____
 Fee \$ _____

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

Steven Cadena (575) 800-9216
 Name of Applicant/Owner Applicant's Telephone Number

PO Box 489 Mesilla NM 88046
 Applicant's/Owner's Mailing Address City State Zip Code

sapasc@msn.com
 Applicant's/Owner's E-mail Address

SELF
 Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2230 calle del sur Mesilla

Description of Proposed Work: building a Rock wall at back end of property. building a 10" thick thick wall around dwelling. Neighbor is in favor of wall between properties.

\$ 3000.00 Steven A Cadena 3/13/20
 Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ **ISSUE DATE:** _____

- This Application will include the following, if checked:
1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **legally** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. _____ Site Plan with dimensions and details.
 3. _____ Proof of legal access to the property.
 4. _____ Drainage plan.
 5. _____ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 6. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. _____ Other information as necessary or required by the City Code or Community Development:

PZHAC REGULAR
WORK SESSION AND MEETING
MINUTES
MARCH 2, 2020

(PART OF CONSENT AGENDA)



Town of Mesilla, New Mexico

PZHAC WORK SESSION AGENDA MARCH 2, 2020

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION MONDAY, MARCH 2, 2020 AT 5:30 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

Item 1: Submitted by Jessie L. Herrera; a request to discuss plans to construct an addition to a dwelling at 2929 Calle de Guadalupe. (Permit 061020). Zoned: Residential Agricultural (RA)

The applicant was present to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case, explaining that the applicant planned to add the addition to the rear of the structure. Issues discussed included the fact that it appeared that the addition would be less than ten feet from existing tool shed, and that the addition would not constitute a second dwelling. It was also noted that a small part of the northeast corner would intrude into the required thirty-foot rear setback. The applicant also stated that the floorplan presented was a preliminary plan and would probably be changed prior to construction. There were no further issues. (The PZHAC suggested that this case should be postponed until the applicant could determine the final configuration of the floorplan at which time the floorplan would be reviewed by the PZHAC for compliance with the Code.)

Item 2: Submitted by Nia Rucker; a request to discuss plans to replace windows on a dwelling at 1922 Calle de Cura. (Permit 061021) Zoned: Historical Residential (HR)

A person from "Window World" was present to represent the applicant and to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case stating that the dwelling was in the Historical register and was built in the 1920's. Staff also explained that the applicant intended to replace the wood framed windows in the structure with vinyl framed windows that looked very similar to the original windows. There would be no other work to the structure. The main issue that was discussed was that the original windows had wood frames and that the new windows had modern vinyl frames. There was no other discussion.

PZHAC REGULAR MEETING AGENDA MARCH 2, 2020

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD ITS REGULARLY SCHEDULED MEETING MONDAY, MARCH 2, 2020 AT 6:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

Commissioner Lucero was absent. All others were present. There was a quorum.

III. CHANGES/APPROVAL OF THE AGENDA

Case 0601020 was removed from the agenda in order for the applicant to provide a final floorplan for the addition. A motion to approve the Agenda as amended was made by Commissioner Prieto, seconded by Commissioner Nevarez, and approved by a vote of 3 - 0.

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

There were no changes to the Consent Agenda. A motion to approve the Consent Agenda was made by Commissioner Prieto, seconded by Commissioner Nevarez, and approved by a vote of 3 - 0.

- A. *PZHAC MINUTES – PZHAC Regular Work Session and Meeting of February 3, 2020.**
Approved as part of the Consent Agenda

B. *ADMINISTRATIVE APPROVAL

Zoning Permits:

1. **Case 061013** – 2235 Avenida de Mesilla, submitted by Kristin Reardon; a request for a zoning permit to repair and repaint damaged stucco on an adobe dwelling at this address. Zoned: Historical Commercial (HC)
Approved as part of the Consent Agenda
2. **Case 061014** – 1901 Calle de Correo, submitted by Brittany Bloch for Black Rat Tattoo; a request for a zoning permit to allow the installation of underground electrical service to a commercial structure at this address. Zoned: Historical Commercial (HC)
Approved as part of the Consent Agenda
3. **Case 061015** – 1401 West Boutz Road, submitted by Lori and Xavier Jurado; a request for a zoning permit to allow the installation of a 6-foot high rock wall and landscaping on a residential property at this address. Zoned: Historical Residential (HR)
Approved as part of the Consent Agenda
4. **Case 061018** – 2557 Calle de Parian, submitted by Andrea Bryan; a request for a zoning permit to allow the installation of photovoltaic cells on the roof of a dwelling at this address. Zoned: Historical Residential (HR)
Approved as part of the Consent Agenda
5. **Case 061019** – 2280 Calle Principal, submitted by Anthony Radke for San Albino Church; a request for a zoning permit to allow the restriping of a parking lot at this address as part of a Boy Scout Eagle project. Zoned: Historical Commercial (HC)
Approved as part of the Consent Agenda
6. **Case 061022** – 1948 Calle de Santiago, submitted by Lori S. Dahlstrom for “Silver Assets”; a request for a zoning permit to repair and repaint the stucco on a commercial structure at this address. Zoned: Historical Commercial (HC)
Approved as part of the Consent Agenda

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

None

B. DECISIONS:

Zoning Permits:

1. **Case 061017** – 1940 Calle Pacana, submitted by Henry Newman and Lisa Belvito, a request for a zoning permit to construct an inground swim spa behind a dwelling that is under construction at this address. Zoned: Historic Residential (HR).
Staff provided a brief review of this request. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Prieto to approve the permit as requested, seconded by Commissioner Nevarez, and approved by a vote of 3 – 0.
2. **Case 061020** – 2929 Calle de Guadalupe, submitted by Jessie L. Herrera; a request to for a zoning permit to allow an addition to a dwelling at this address. Zoned: Residential Agricultural (RA) **(Case heard during Work Session)**
This case was removed from the agenda.
3. **Case 061021** - 1922 Calle de Cura, submitted by Nia Rucker; a request for a zoning permit to replace windows on a dwelling at this address. Zoned: Historical Residential (HR) **(Case heard during Work Session)**
Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC determined that the wood framing of the windows should remain wood, and that other similar dwellings in the Historic zoning districts had been required to have wood frames. A motion was made by Commissioner Prieto to approve the request, seconded by Commissioner Houston, and approved by a vote of 3 – 0 with the following CONDITION: The window frames shall be wood, not vinyl.
4. **Case 061024** – 2000 Calle de Parian, submitted by Julianne Hadfield; a request for a zoning permit to renovate the second floor of a commercial building at this address to include an office and a short-term rental unit. Zoned: Historical Commercial (HR)
Staff provided a brief review of this request. Commissioner Nevarez questioned whether the short-term rental had adequate emergency egress. Tom Maese, Chief Building Inspector for CID, explained that he had not yet seen the plans and could not determine at this time if the egress was adequate. A motion was made by Commissioner Nevarez to postpone the request to allow it to be reviewed by Tom Maese and discussed at the next work session. This was seconded by Commissioner Houston, and the case was postponed by a vote of 3 – 0.

Sign Permits

1. **Case 061023**– 2488 Calle de Guadalupe, submitted by Joseph Foster for “Psychology Consulting Options”; a request for a sign permit to allow two wall signs having a total of twelve square feet for a therapist practice at this address. Zoned: Historical Commercial (HC)

Staff provided a brief review of this request. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Prieto to approve the permit as requested, seconded by Commissioner Nevarez, and approved by a vote of 3 – 0.

VI. PUBLIC COMMENTS

None

VII. PZHAC/STAFF COMMENTS

None

VIII. ADJOURNMENT

The meeting was adjourned at 6:43 pm.

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 2/27/20 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristrammn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC NEW BUSINESS

APRIL 6, 2020

ADMINISTRATIVE APPROVALS
(PART OF CONSENT AGENDA)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061026
[PZHAC CONSENT AGENDA – 4/6/20]**

Item:

Case 061026 – 2199 Calle del Sur, submitted by Martin Serna; a request for a zoning permit to allow the construction of a rock and pipe fence around the property at this address. Zoned: Rural/Agricultural (RA)

Description of Work Done:

The applicant would like to install a five-foot eleven-inch high rock and pipe wall around the property at this address in order to provide a barrier to the property from the surrounding farm and to limit access to the property. The wall will be very similar to other rock walls built through-out Town in agricultural areas, especially in the RF and RA zoning districts.

Consistency with the Code:

Since the proposed wall is an addition to the property that will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of any structures, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

Additionally, at the regular meeting of the PZHAC on August 7, 2018; the PZHAC voted to allow Staff to administratively approve zoning permits for fences and rock walls that are not part of a structure in the RF, RA, and R-1 zones, provided the fence or wall meets all requirements of the Code.

PHOTO OF THE PROPERTY FROM CALLE DEL SUR



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Number

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400411](#)

Parcel Number: 4006138037270

Owner: SERNA MARTIN

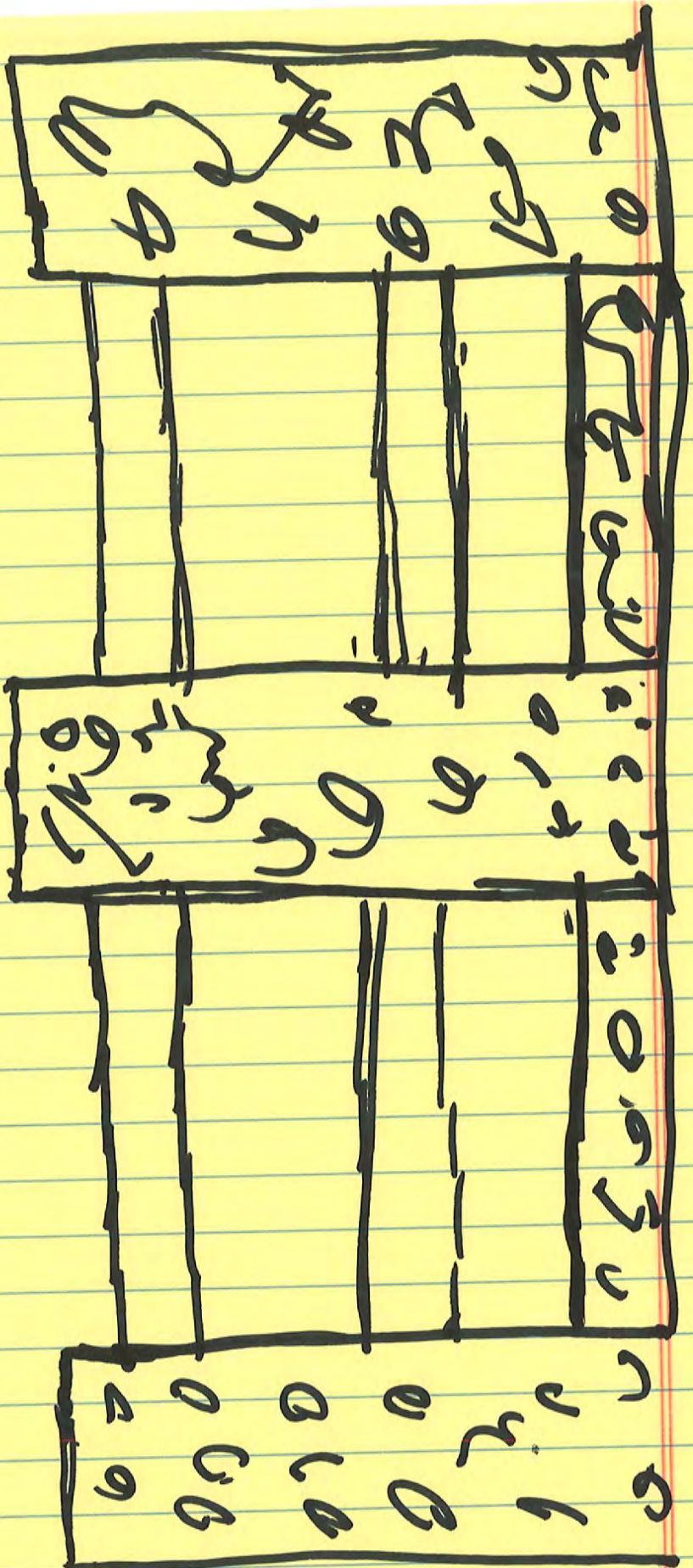
Mail Address: 1025 LARRY DR

Subdivision: VALDEZ TRACTS (BK 23
PG 462 - 1313264)

Property Address: 2795 CALLE DEL
SUR

Acres: 2





**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:
Case # 061026
Fee \$ _____

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

MARION SERNA 575-621-7080
Name of Property Owner Property Owner's Telephone Number
1025 LARRY DR LAS CAÑAS NM 88005
Property Owner's Mailing Address City State Zip Code

Property Owner's E-mail Address
SERNA CONSTRUCTION LLC 1025 LARRY DR LAS CAÑAS NM 88005
Contractor's Name & Address (If none, indicate Self)

575-644-8691 473165283 384637
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2199 CALLE DEL SUR LAS CAÑAS NM 88005

Description of Proposed Work: BRICK WALL WITH METAL PIPE
AROUND PERIMETER OF PROPERTY

\$ 5000.00 Ros Serna 3-4-2020
Estimated Cost Signature of Applicant Date

Signature of property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. _____ Site Plan with dimensions and details.
3. _____ Foundation plan with details.
4. _____ Floor plan showing rooms, their uses and dimensions.
5. _____ Cross section of walls
6. _____ Roof and floor framing plan
8. _____ Proof of legal access to the property.
9. _____ Drainage plan.
10. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. _____ Proof of legal access to the property.
13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 061027
[PZHAC CONSENT AGENDA – 4/6/20]**

Item:

Case 061027 – 2649 Calle del Sur, submitted by Paul C. Barraza; a request for a zoning permit to allow the repair and restuccoing of a parapet around a dwelling at this address. Zoned: Historical Residential (HR)

Description of Work Done:

The applicant will patch and repaint parts of the exterior of a dwelling at this address. The repair work will consist of patching small sections of the exterior wall where the existing stucco has become cracked or damaged by the weather, and to restucco the repaired areas to match the existing stucco. Since the repairs will not affect or change the appearance of the structure, nor will they cause any negative visual impacts to the surrounding properties, PZHAC review is not required.

Consistency with the Code:

Since the proposed wall is an addition to the property that will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of any structures, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”**]

PHOTO OF THE PROPERTY FROM CALLE DE SUR

Doña Ana County, NM

General Reference Maps

2014 Aerial Addresses County Address Points

Select Search Type: Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400498](#)

Parcel Number: 4006138151163

Owner: BARRAZA PAUL C & NORA L

Mail Address: PO BOX 865

Subdivision: DAN LOWRY

SUBDIVISION REPLAT NO 1 (BK 20 PG 485 - 0343562)

Property Address: 2649 CALLE DE SUR

Acres: 0



TOWN OF MESILLA
APPLICATION FOR RESIDENTIAL BUILDING PERMIT
2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (505)524-3262 extension 109

0610271
\$60

CASE NO. 061027 ZONE: HR CODE: _____ APPLICATION DATE: 3/12/2020

Paul C Barraza
Name of Applicant Telephone Number 575-649-0857

2649 Calle del Sur Mesilla NM 88046
Street Address City State Zip Code

Contractor Name and Address _____
Contractor Telephone Number _____ Contractor Tax ID Number _____ Contractor License # _____

LOCATION & DESCRIPTION OF PROPOSED WORK:
2649 Calle del Sur - repair + restucco parapet around house
(same color as existing stucco)

Estimated Cost: \$1,050⁰⁰

Date: 3/12/2020

Signature of Applicant _____

*With the exception of administrative approvals, all permit applications must undergo a review process from staff, PZHAC and BOT before issuance of a building permit.
Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required.
Plan sheets are to be no larger than 11 x 17 inches.*

PZHAC Administrative Approval
 Approved BOT Approved
 Disapproved Disapproved
 Approved with conditions Approved with condition

CONDITIONS: _____

FEE: _____ REVIEW: _____ ISSUE DATE: _____
PERMIT: ceh ISSUE DATE: 3/12/2020

- This application includes:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Foundation Plan with details
 3. Floor Plans showing rooms, their uses and dimensions
 4. Cross Sections of walls.
 5. Roof and floor framing plan. (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
 6. Drainage plan.
 7. Architectural style and color scheme (Historical and commercial zones only.)
 8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or

PZHAC NEW BUSINESS

APRIL 6, 2020

PZHAC DECISIONS

ZONING PERMITS

**PZHAC ACTION FORM
BUILDING PERMIT 061024
[PZHAC REVIEW – 4/6/20]
STAFF ANALYSIS**

(Decision to be based on information presented during the Work Session – Item 1)

Items:

Case 061024 – 2000 Calle de Parian, submitted by Julienne Hadfield; a request for a zoning permit to renovate the second floor of a commercial building at this address to include an office and a short-term rental unit. Zoned: Historical Commercial (HR)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed renovation will be historically and architecturally acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed renovation will not be historically and architecturally acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: \$46,690.00

Consistency with the Code:

The PZHAC will need to determine that the proposed renovation will be consistent with other construction in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of renovating the second floor of a commercial building to include an office and a short-term rental at this address.
- The PZHAC has determined that the proposed renovation meets all applicable Code requirements.

PZHAC OPTIONS:

- 1. Recommend approval of the zoning permit to the BOT.**
- 2. Recommend approval of the zoning permit to the BOT with conditions.**
- 3. Reject the application.**

PZHAC ACTION:

PZHAC ACTION FORM
BUILDING PERMIT 061026
[PZHAC REVIEW – 3/18/20]
STAFF ANALYSIS

Item:

Case 061026 – 2149 Calle de Los Huertos, submitted by Martin Serna for Gabriel Quintana; request for a zoning permit to allow the construction of stucco wall around a courtyard at this address. Zoned: Historical Residential (HR)

Staff Analysis:

The applicant has extensively landscaped the property at this address. Now the applicant would like to install a four foot high stucco wall around a portion of the landscaped area, The wall will be stuccoed to match the existing dwelling and will have two openings about four feet wide. These openings will have arches that will be about eight feet in height. This project will complete the landscaping of the property.

Estimated Cost: @ \$10,500.00

Consistency with the Code:

The PZHAC will need to determine that the wall when finished, will be consistent with the other properties in the HR zoning district. Additionally, the request appears to meet all other development and application requirements of the Code.

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing a wall around part of a residential property at this address.
- The PZHAC has determined that the proposed awning will meet all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the building permit to the BOT.
2. Recommend approval of the building to the BOT with conditions.
3. Reject the permit.

PZHAC ACTION:

PHOTO OF PROPERTY



Doña Ana County, NM

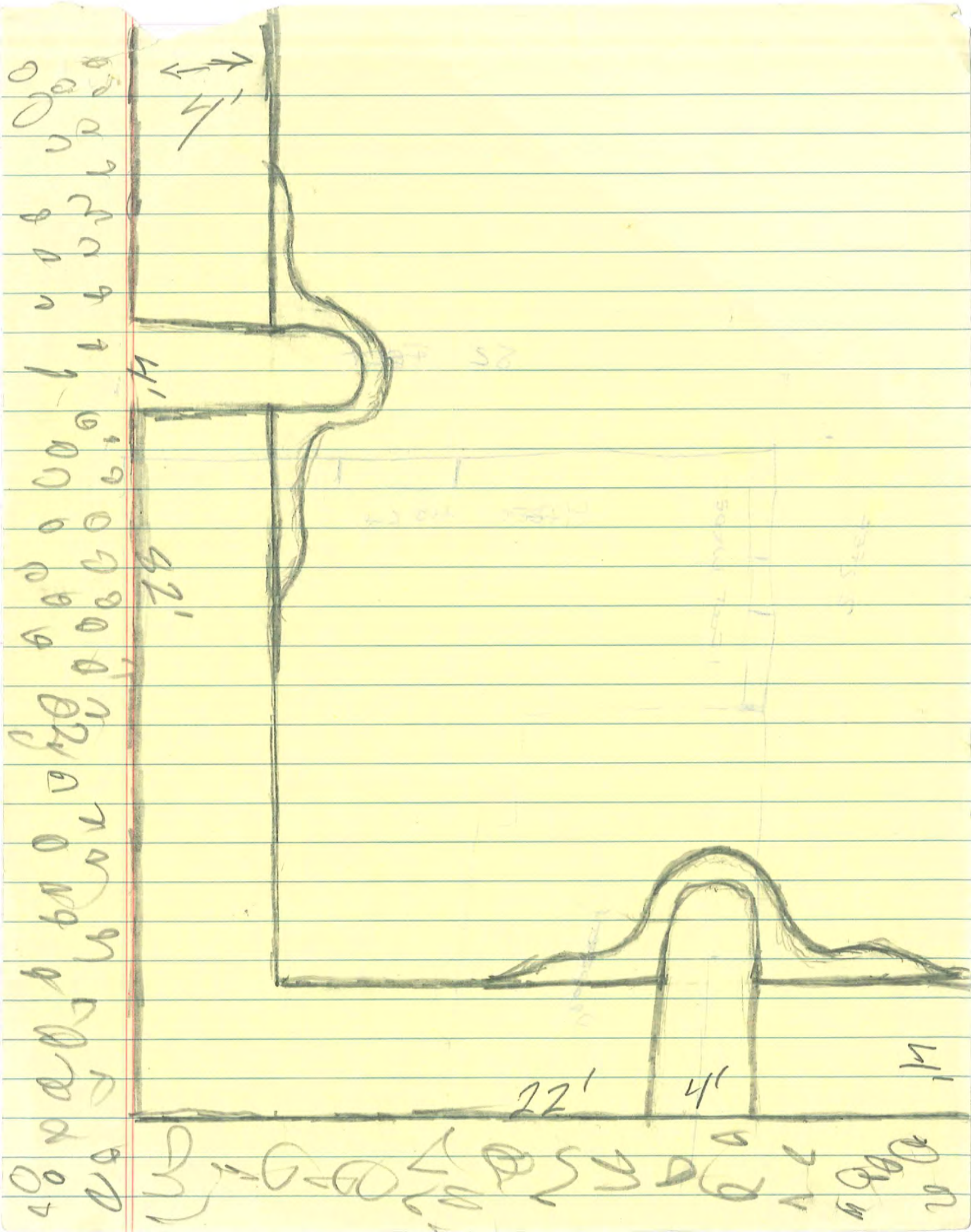
General Reference Maps

2014 Aerial

Addresses

County Address Points





**TOWN OF MESILLA
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061027

Fee \$ _____

**PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. _____ ZONE: _____ CODE: _____ APPLICATION DATE: _____

GABRIEL QUANTANA 941-539-5709
Name of Property Owner Property Owner's Telephone Number
2149 CALLE DE LOS HUERTOS LAS CRUCES, NM 88005
Property Owner's Mailing Address City State Zip Code

Property Owner's E-mail Address _____
Rocio Serna 1025 LARRY DR LAS CRUCES, NM, 88001
Contractor's Name & Address (If none, indicate Self)
575-644-8691 473165283 384637
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2149 CALLE DE LOS HUERTOS
Description of Proposed Work: Cover YARD IN FRONT OF
PROPERTY 1' X 10' X 4'

\$10,500 Rocio Serna 3-5-2020
Estimated Cost Signature of Applicant Date

Signature of property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO

CID PERMIT/INSPECTION REQUIRED: ___ YES ___ NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. _____ Site Plan with dimensions and details.
3. _____ Foundation plan with details.
4. _____ Floor plan showing rooms, their uses and dimensions.
5. _____ Cross section of walls
6. _____ Roof and floor framing plan
8. _____ Proof of legal access to the property.
9. _____ Drainage plan.
10. _____ Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. _____ Proof of legal access to the property.
13. _____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

PZHAC ACTION FORM
ZONING PERMITS 061028
[PZHAC REVIEW – 4/6/20]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Part of Item 2)

Items:

Case 061028 – 2305 Calle de Colon, submitted by Gerard Nevarez; a request for a zoning permit to install a four foot by eight foot decorative panel along a wall at the rear of a dwelling at this address; Zoned: Historic Residential (HR)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed decorative panel will be historically and architecturally acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed decorative panel will not be historically and architecturally acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: \$100.00

Consistency with the Code:

The PZHAC will need to determine that the proposed decorative panel will be consistent with the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing a decorative panel along the wall at the rear of a dwelling at this address.
- The PZHAC has determined that the proposed renovation meets all applicable Code requirements.

PZHAC OPTIONS:

- 1. Recommend approval of the zoning permit to the BOT.**
- 2. Recommend approval of the zoning permit to the BOT with conditions.**
- 3. Reject the application.**

PZHAC ACTION:

PZHAC ACTION FORM
ZONING PERMITS 061032
[PZHAC REVIEW – 4/6/20]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Part of Item 2)

Items:

Case 061032 - 2305 Calle de Colon, submitted by Gerard Nevarez, a request for a zoning permit to enclose an existing covered patio and install a new covered patio at the rear of a dwelling at this address. Zoned: Historic Residential (HR)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed work will be historically and architecturally acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed work will not be historically and architecturally acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: \$20,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed work will be consistent with other construction in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of enclosing an existing patio and adding a new covered patio to a dwelling at this address.
- The PZHAC has determined that the proposed renovation meets all applicable Code requirements.

PZHAC OPTIONS:

- 1. Recommend approval of the zoning permit to the BOT.**
- 2. Recommend approval of the zoning permit to the BOT with conditions.**
- 3. Reject the application.**

PZHAC ACTION:

PZHAC ACTION FORM
ZONING PERMITS 061033
[PZHAC REVIEW – 4/6/20]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Part of Item 3)

Items:

Case 061033 – Case 061033 – 2230 Calle del Sur, submitted by Stephen Cadena; a request to for a zoning permit to construct a rock wall and a stucco wall on a property at this address. Zoned: Historic Residential (HR)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed work will be historically and architecturally acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed work will not be historically and architecturally acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: \$2000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed work will be consistent with other walls in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing a rock wall on a property line and a stucco privacy wall on a property at this address.
- The PZHAC has determined that the proposed renovation meets all applicable Code requirements.

PZHAC OPTIONS:

- 1. Recommend approval of the zoning permit to the BOT.**
- 2. Recommend approval of the zoning permit to the BOT with conditions.**
- 3. Reject the application.**

PZHAC ACTION:

PZHAC ACTION FORM
ZONING PERMITS 061034
[PZHAC REVIEW – 4/6/20]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Part of Item 3)

Items:

Case 061034 - 2230 Calle del Sur, submitted by Stephen Cadena; a request for a zoning permit to construct a porch around a dwelling at this address. Zoned: Historic Residential (HR)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed porch will be historically and architecturally acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed porch will not be historically and architecturally acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: \$3,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed porch will be consistent with other construction in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings that need to be made:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing a porch around three sides of a dwelling under construction at this address.
- The PZHAC has determined that the proposed porch meets all applicable Code requirements.

PZHAC OPTIONS:

- 1. Recommend approval of the zoning permit to the BOT.**
- 2. Recommend approval of the zoning permit to the BOT with conditions.**
- 3. Reject the application.**

PZHAC ACTION:

PZHAC NEW BUSINESS

APRIL 6, 2020

PZHAC DECISIONS

BUSINESS REGISTRATIONS

PZHAC ACTION FORM
BUSINESS REGISTRATION REQUEST 0835
[PZHAC REVIEW – 3/18/20]

STAFF ANALYSIS

Item:

Reg. 0835 – 2521 Avenida de Mesilla, submitted by Tenniel Salopek for “Buffalo Swag”; a request for permission to operate a beauty salon and boutique shop at this address. Zoned: Historic Commercial (HC)

Description of Business:

The purpose of the application is to allow the applicant to use building at this address as a beauty salon and boutique shop, the operation will replace an existing salon and boutique (“Cheeky Chicks”). This is a use that is allowed in the Historical Commercial district and is similar to other uses that have been allowed by the PZHAC at this location and other Historical Commercial locations in the past. The proposed use will not result in any changes to the occupancy type of the structure or change the character of the area.

Consistency with the Code:

The request is for a commercial retail operation in the Historic Commercial district and is consistent with all applicable sections of the MTC. There will be no changes to the structure. This structure was originally designed and built for use as a commercial structure and has been used as a commercial structure for years.

The requested license will not result in any changes to the external physical elements or style of the structure. There will be some cosmetic changes to the interior of the structure. Existing parking facilities for the structure appear to be adequate for the proposed uses.

Findings of Fact:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed business will not result in any changes to the commercial character of the structure.
- This is a use that is allowed by the MTC in this zoning district.
- The proposed use will not create any negative impacts to the area.

PZHAC OPTIONS:

- Approve the application.
- Approve the application with conditions.
- Reject the application.

PZHAC ACTION:

PZHAC ACTION FORM
BUSINESS REGISTRATION REQUEST 0836
[PZHAC REVIEW – 3/18/20]

STAFF ANALYSIS

Item:

Reg. 0836 – 2309-3 Calle de Santiago, submitted by Kerry Carman for “Co-Lab Artisan’s Loft”; a request for permission to operate a retail shop selling handmade gifts and other items at this address. Zoned: Historical Commercial (HC)

Description of Business:

The purpose of the application is to allow the applicant to use the building at this address as a retail shop selling handmade gifts and other items. The building is currently empty and last housed a small retail store selling convenience items (“The Messy Arrow”). This is a use that is allowed in the Historical Commercial district and is similar to other uses that have been allowed by the PZHAC at this location and other Historical Commercial locations in the past. The proposed use will not result in any changes to the occupancy type of the structure or change the character of the area.

Consistency with the Code:

The request is for a commercial retail operation in the Historic Commercial district and is consistent with all applicable sections of the MTC. There will be no changes to the structure. This structure was originally designed and built for use as a commercial structure and has been used as a commercial structure for years.

The requested license will not result in any changes to the external physical elements or style of the structure. There will be some cosmetic changes to the interior of the structure. Existing parking facilities for the structure appear to be adequate for the proposed uses.

Findings of Fact:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed business will not result in any changes to the commercial character of the structure.
- This is a use that is allowed by the MTC in this zoning district.
- The proposed use will not create any negative impacts to the area.

PZHAC OPTIONS:

- Approve the application.
- Approve the application with conditions.
- Reject the application.

PZHAC ACTION:

PZHAC NEW BUSINESS

APRIL 6, 2020

SIGN PERMITS

PZHAC ACTION FORM
SIGN REQUEST
[PZHAC REVIEW]
“Psychology Consulting Options”

STAFF ANALYSIS

Item:

Case 061023– 2488 Calle de Guadalupe, submitted by Joseph Foster for “Psychology Consulting Options”; a request for a sign permit to allow a six square foot directory for a therapist practice at this address. Zoned: Historical Commercial (HC)

Description of Work to be Done:

The applicant would like to install a six square foot wall sign as a directory at the side of a door on a commercial building at this address (see attached diagram and photo). The sign will have off-white lettering on a tan background (see attached example). The sign will be placed adjacent to an exterior door to the office

Consistency with the Code:

The PZHAC must determine that the proposed sign will be consistent with the following Sections of the Sign Code (Chapter 18.65) that specifically apply to this project.

18.65.140 Wall signs.

A. Wall Sign Area.

1. Within the Historical Commercial (H-C) zone, the wall sign area, on any given house or building, shall in no case exceed 10 percent of any wall area including apertures or 15 square feet, whichever is less. Dimensions of painted signs or graphics with no frame shall be determined by measuring the extent of the painted sign or graphic horizontally and vertically and calculating the area.

B. No wall sign shall be permitted to be more than six inches thick. All wall signs shall be safely and securely attached to the building wall. [Ord. 2008-04 § 9; Ord. 2003-05 § 3; Ord. 2000-02 § 1; Ord. 94-08; prior code § 11-3-14]

18.65.220 Number of permitted signs.

A. A total of two exterior signs may be allowed to each store or bona fide place of business.

B. When more than one business occupies a single building each business will be limited to one sign plus a space on a directory sign at each entrance. [Ord. 2008-04 § 11; Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-22]

Findings of Fact:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing a 3- foot by 2-foot (6 square feet) rectangular directory sign at the side of a door on a business at this address.
- The subject property is zoned Historical General Commercial (HC)
- The proposed sign will not have negative impacts on the surrounding businesses in the area.
- The proposed sign will be consistent with the Code.

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number Enter

Maps

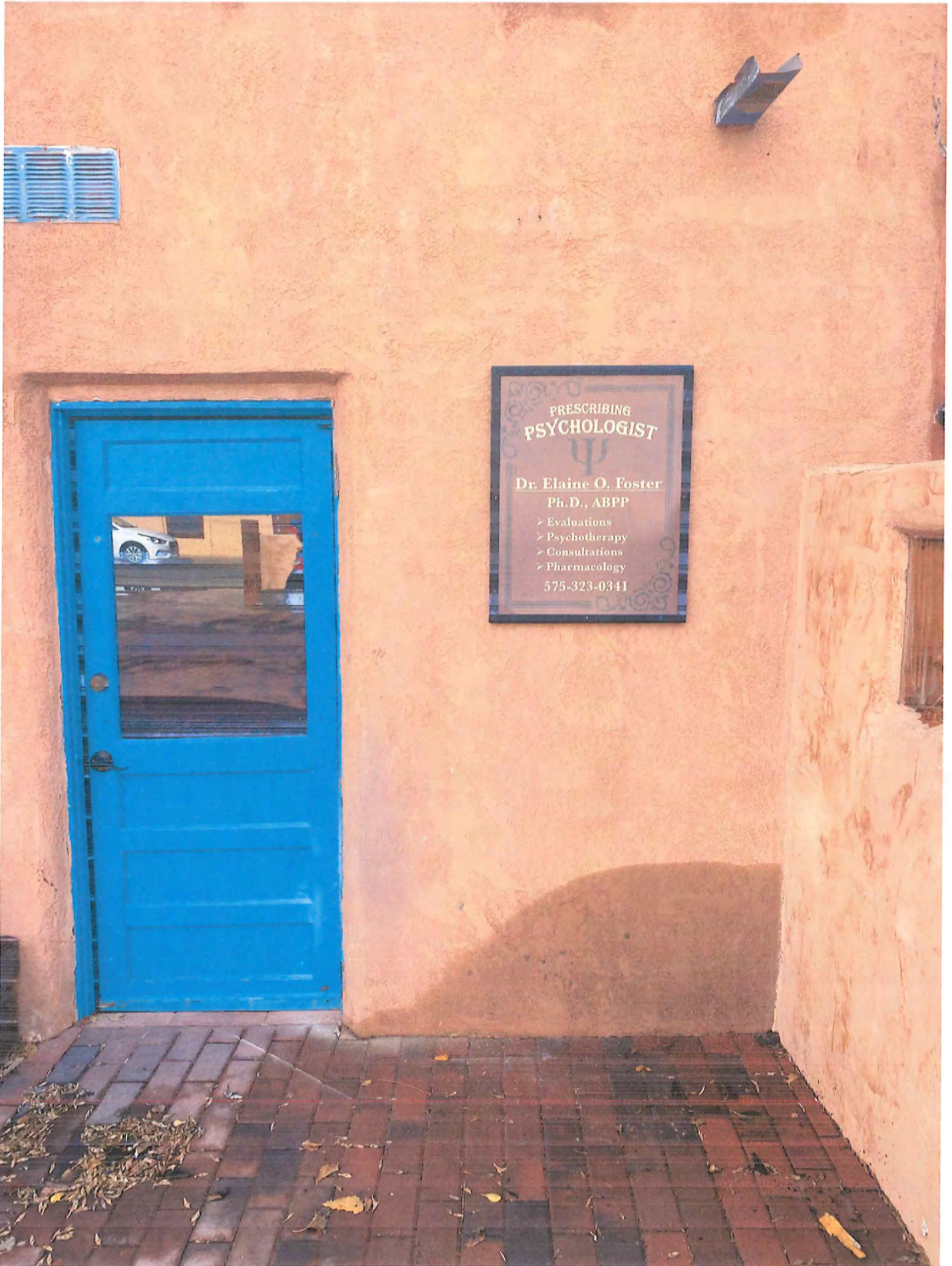
Legend

Map Themes

Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0401209](#)
Parcel Number: 4006137253477
Owner: FOSTER JOSEPH W
Mail Address: 10090 BLACK HILLS ROAD
Subdivision:
Property Address: 2489 CALLE DE PRINCIPAL
Acres: 0





PRESCRIBING
PSYCHOLOGIST



Dr. Elaine O. Foster

Ph.D., ABPP

- > Evaluations
- > Psychotherapy
- > Consultations
- > Pharmacology

575-323-0341



OFFICIAL USE ONLY:

Case # 060123

Fee \$ 24.00

CASE NO. 060123 ZONE: HC APPLICATION DATE: 2/25/20

PSYCHOLOGY CONSULTING OPTIONS 575-323-0341
Business Name Business Telephone Number

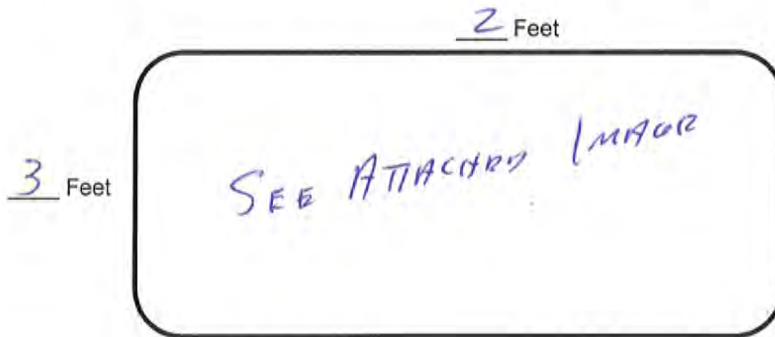
2488 CALLE DE GUADALUPE, MESILLA, NM 88046
Business Address City State Zip Code

JOSEPH W. FOSTER 850-502-9237
Applicant Name Applicant Telephone/Cell Number

10090 BLACK HILLS RD, LAS CRUCES, NM 88011
Mailing Address City State Zip Code

Description of sign: 2 PSYCHOLOGY SIGNS, ONE ON EACH SIDE
OF ENTRANCE DOOR, LISTING THERAPIST INFO.

Please include dimensions, lettering, shape, material, texture, colors, and/or finish to be used on the diagram below.



Colors: _____

FOR OFFICIAL USE ONLY

- PZHAC Administrative Approval BOT Approved Date: _____
- Approved Date: _____ Disapproved Date: _____
- Disapproved Date: _____ Approved with Conditions
- Approved with conditions

CONDITIONS: _____

PERMIT ISSUED BY: _____ ISSUE DATE: _____

PZHAC ACTION FORM
SIGN REQUEST
[PZHAC REVIEW]
“Co-Lab Artisans Loft”

STAFF ANALYSIS

Item:

Case 060125 – 2601-3 Calle de Santiago, submitted by Kerry Carman for “Co-Lab Artisan’s Loft”; a request for a zoning permit to install a four square foot hanging sign at this address. Zoned: Historic Commercial (HC)

Description of Work to be Done:

The applicant would like to install a six four square foot hanging sign as a directory on the side of a small commercial building at this address (see attached diagram and photo). The sign will be two sided and have dark lettering on a white background (see attached example). The sign will be placed on the north side of the building.

Consistency with the Code:

The PZHAC must determine that the proposed sign will be consistent with the following Sections of the Sign Code (Chapter 18.65) that specifically apply to this project.

18.65.150 Projecting signs.

- A. No projecting sign may rise above the level of the first story of the building to which it is attached. All projecting signs must be at least seven feet above sidewalk or ground level, and must be located within the central one-third of the facade length so as not to obstruct neighboring signs.
- B. Projecting signs shall be limited in area as follows:
 1. A maximum of four feet projecting from the wall of the building;
 2. A maximum of eight square feet of total sign space including frame. Both sides of a projecting sign may be used for advertisement.
- C. The supporting structure of any projecting sign must be of adequate strength so as to have no need for guy-wires or wire reinforcement. [Ord. 94-08; prior code § 11-3-15]

Findings of Fact:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing four square foot hanging sign on the side of a business at this address.
- The subject property is zoned Historical General Commercial (HC)
- The proposed sign will not have negative impacts on the surrounding businesses in the area.
- The proposed sign will be consistent with the Code.

PZHAC ACTION: