



# Town of Mesilla, New Mexico

## PZHAC WORK SESSION AGENDA MARCH 2, 2020

**THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION MONDAY, MARCH 2, 2020 AT 5:30 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.**

**Item 1:** Submitted by Jessie L. Herrera; a request to discuss plans to construct an addition to a dwelling at 2929 Calle de Guadalupe. (Permit 061020). Zoned: Residential Agricultural (RA)

**Item 2:** Submitted by Nia Rucker; a request to discuss plans to replace windows on a dwelling at 1922 Calle de Cura. (Permit 061021) Zoned: Historical Residential (HR)

## PZHAC REGULAR MEETING AGENDA MARCH 2, 2020

**THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD ITS REGULARLY SCHEDULED MEETING MONDAY, MARCH 2, 2020 AT 6:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.**

### I. PLEDGE OF ALLEGIANCE

### II. ROLL CALL AND DETERMINATION OF A QUORUM

### III. CHANGES/APPROVAL OF THE AGENDA

### IV. \*ACCEPTANCE OF THE CONSENT AGENDA

*Note: Items on the agenda indicated by an asterisk (\*) are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

#### A. \*PZHAC MINUTES – PZHAC Regular Work Session and Meeting of February 3, 2020.

#### B. \*ADMINISTRATIVE APPROVAL

##### Zoning Permits:

1. **Case 061013** – 2235 Avenida de Mesilla, submitted by Kristin Reardon; a request for a zoning permit to repair and repaint damaged stucco on an adobe dwelling at this address. Zoned: Historical Commercial (HC)
2. **Case 061014** – 1901 Calle de Correo, submitted by Brittany Bloch for Black Rat Tattoo; a request for a zoning permit to allow the installation of underground electrical service to a commercial structure at this address. Zoned: Historical Commercial (HC)
3. **Case 061015** – 1401 West Boutz Road, submitted by Lori and Xavier Jurado; a request for a zoning permit to allow the installation of a 6-foot high rock wall and landscaping on a residential property at this address. Zoned: Historical Residential (HR)
4. **Case 061018** – 2557 Calle de Parian, submitted by Andrea Bryan; a request for a zoning permit to allow the installation of photovoltaic cells on the roof of a dwelling at this address. Zoned: Historical Residential (HR)
5. **Case 061019** – 2280 Calle Principal, submitted by Anthony Radke for San Albino Church; a request for a zoning permit to allow the restriping of a parking lot at this address as part of a Boy Scout Eagle project. Zoned: Historical Commercial (HC)
6. **Case 061022** – 1948 Calle de Santiago, submitted by Lori S. Dahlstrom for “Silver Assets”; a request for a zoning permit to repair and repaint the stucco on a commercial structure at this address. Zoned: Historical Commercial (HC)

### V. PZHAC NEW BUSINESS:

#### A. PUBLIC INPUT ON CASES

#### B. DECISIONS:

##### Zoning Permits:

1. **Case 061017** – 1940 Calle Pacana, submitted by Henry Newman and Lisa Belvito, a request for a zoning permit to construct an inground swim spa behind a dwelling that is under construction at this address. Zoned: Historic Residential (HR).

2. **Case 061020** – 2929 Calle de Guadalupe, submitted by Jessie L. Herrera; a request to for a zoning permit to allow an addition to a dwelling at this address. Zoned: Residential Agricultural (RA) **(Case heard during Work Session)**
3. **Case 061021** - 1922 Calle de Cura, submitted by Nia Rucker; a request for a zoning permit to replace windows on a dwelling at this address. Zoned: Historical Residential (HR) **(Case heard during Work Session)**
4. **Case 061024** – 2000 Calle de Parian, submitted by Julienne Hadfield; a request for a zoning permit to renovate the second floor of a commercial building at this address to include an office and a short-term rental unit. Zoned: Historical Commercial (HR)

**Sign Permits**

1. **Case 061023**– 2488 Calle de Guadalupe, submitted by Joseph Foster for “Psychology Consulting Options”; a request for a sign permit to allow two wall signs having a total of twelve square feet for a therapist practice at this address. Zoned: Historical Commercial (HC)

**VI. PUBLIC COMMENTS**

**VII. PZHAC/STAFF COMMENTS**

**VIII. ADJOURNMENT**

**NOTICE**

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 2/27/20 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty’s Food Mart - 2290 Avenida de Mesilla; Ristramnn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC NEW BUSINESS

MARCH 2, 2020

WORK SESSION

**PZHAC WORK SESSION**  
**MARCH 2, 2020**  
**ITEM 1**

Submitted by Jessie L. Herrera; a request to discuss plans to construct an addition to a dwelling at 2929 Calle de Guadalupe. (Permit 061020). Zoned: Residential Agricultural (RA)

The subject property is on the east side of Calle de Guadalupe at the north edge of the RA zone. The neighboring property to the north is zoned HR. at the northwest corner of the Town in the RF zone. The existing dwelling currently sits on a 4356 square foot parcel that also contains a large storage building at the rear of the property. It appears that this storage building will be less than ten feet from the proposed addition. The applicant has been informed of this potential problem and has stated that the storage building can be removed if necessary.

The addition will be about 800 square feet in size and will almost double the approximately 960 square foot size of the existing dwelling. The addition will contain a kitchen; a master bedroom with a bathroom and a walk-in closet; and a porch. The existing kitchen will be turned into a dining room. The total number of bedrooms in the dwelling will be increased from two to three. The addition will not change the use of the dwelling as a single-family dwelling. There will be adequate off-street parking for the modified dwelling.

The existing dwelling has a pitched asphalt roof with a total height of about twelve feet. The addition will also have a pitched asphalt roof with a height of about fifteen feet. The fifteen foot height is similar to the height of other structures along this stretch of Calle de Guadalupe in the RA zone. (The maximum height allowed in the RA zone is thirty feet.) Since the property is not in a Historic zone, the Historic Preservation section of the Code (18.33), and therefore development zones, do not apply to this property. The existing structure has a brick veneer finish (see attached photos). The addition will have a stucco finish. The brick veneer will eventually be stuccoed to match the addition, according to the applicant.

The rear setback for the property is thirty feet. According to the applicant, the addition will just about fit this setback. (One corner of the addition appears to be 6 inches shy of meeting the required setback according to the site plan provided by the applicant.) The addition will meet all other required setbacks.

The applicant will be present at the work session to provide further details about the proposed construction, and to answer any questions that may arise.

# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number  Enter V

Maps

Legend

### Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

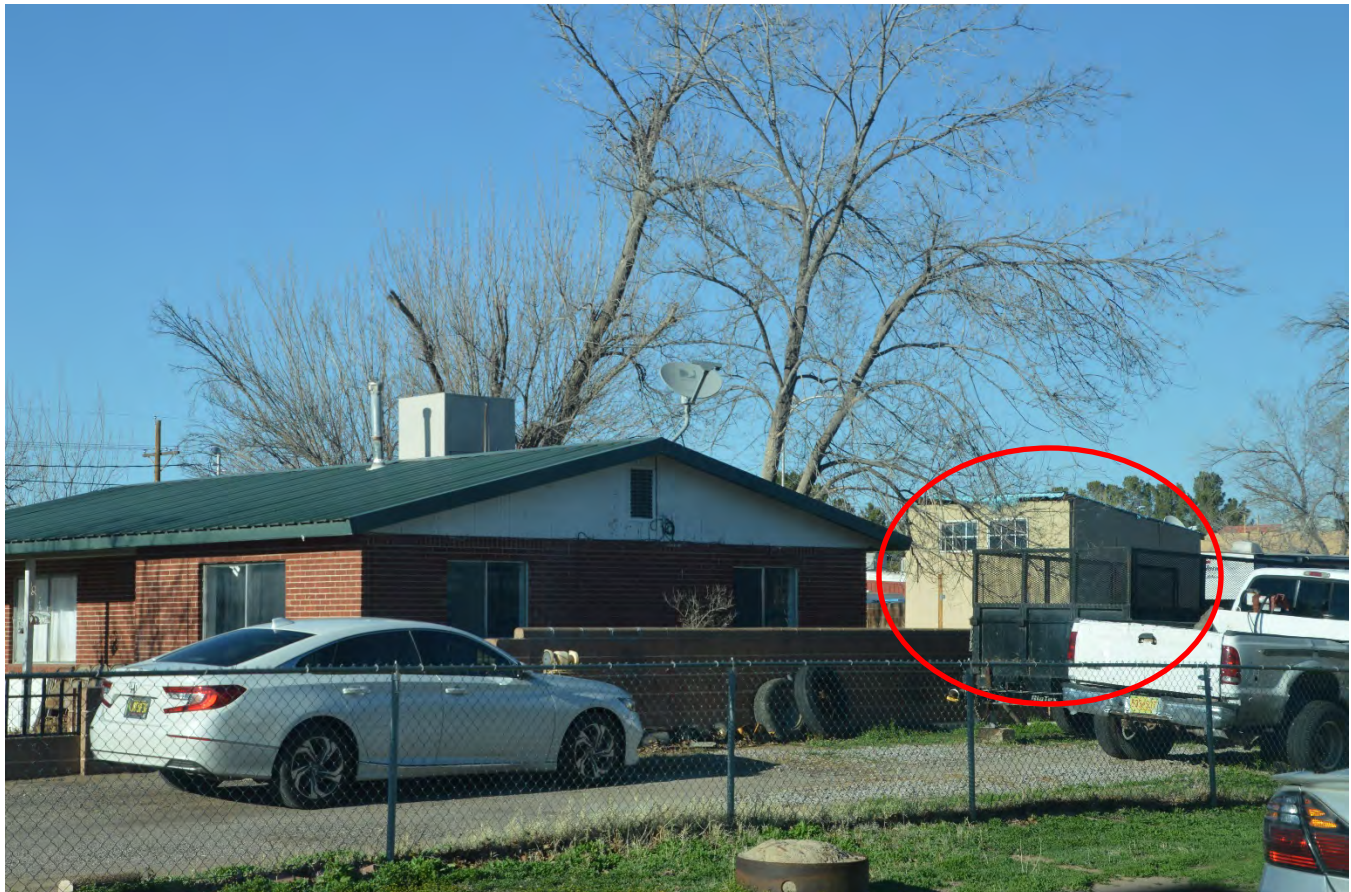
Account Number: [R0400674](#)  
Parcel Number: 4006138354078  
Owner: HERRERA JESSIE L  
Mail Address: PO BOX 198  
Subdivision:  
Property Address: 2929 CALLE DE GUADALUPE  
Acres: 0



**PHOTO OF THE DWELLING FROM CALLE DE GUADALUPE**



**PHOTO OF THE DWELLING FROM CALLE DE GUADALUPE SHOWING SHED**



- [Account Search](#)
- [View Created Report\(s\)](#)
- [Help?](#)
- [Logout Public](#)

**Account: R0400674 \*Mill Levy does not include Special District Rates such as: Lower Rio Grande Flood Levy, Hueco Levy, Mclead Watershed Levy, Caballo Soil and Water Conservation Levy, and La Union Watershed Levy.**

**Location**

Situs Address 2929 CALLE DE GUADALUPE  
 Tax Area 2DIN\_R - 2DIN\_R  
 Parcel Number 4-006-138-354-078  
 Legal Summary S: 36 T: 23S R: 1E BRM 11B TR 62C CALLE DE GUADALUPE  
 Deed Holder  
**Neighborhood S11 - MESILLA**

**Owner Information**

Owner Name HERRERA JESSIE L  
 Owner Address PO BOX 198  
 MESILLA, NM 88046

**Assessment History**

Actual (2019 - Residential Cap applied) \$63,705  
 Primary Taxable \$21,235  
 Exemption Adjustments:  
 Head of Household (\$2,000)  
 Adjusted Taxable Total \$19,235

**Tax Area: 2DIN\_R Mill Levy: 23.688000**

Type	Actual	Assessed	SQFT	Units
Residential Land	\$25,726	\$8,575	4356.000	1.000
Residential Improvement	\$37,979	\$12,660	961.000	

**Transfers**

Record Sequence	Reception Number	Book Page	Sale Date
<a href="#">3</a>	<a href="#">1517958</a>		
<a href="#">2</a>	<a href="#">1505042</a>		
<a href="#">1</a>	<a href="#">7910705</a>		<a href="#">10/10/1979</a>

**Images**

- [Map](#)
- [Photo](#)
- [Sketch](#)
- [GIS](#)

Tax Year	Taxes
2019	\$527.28
2018	\$511.56

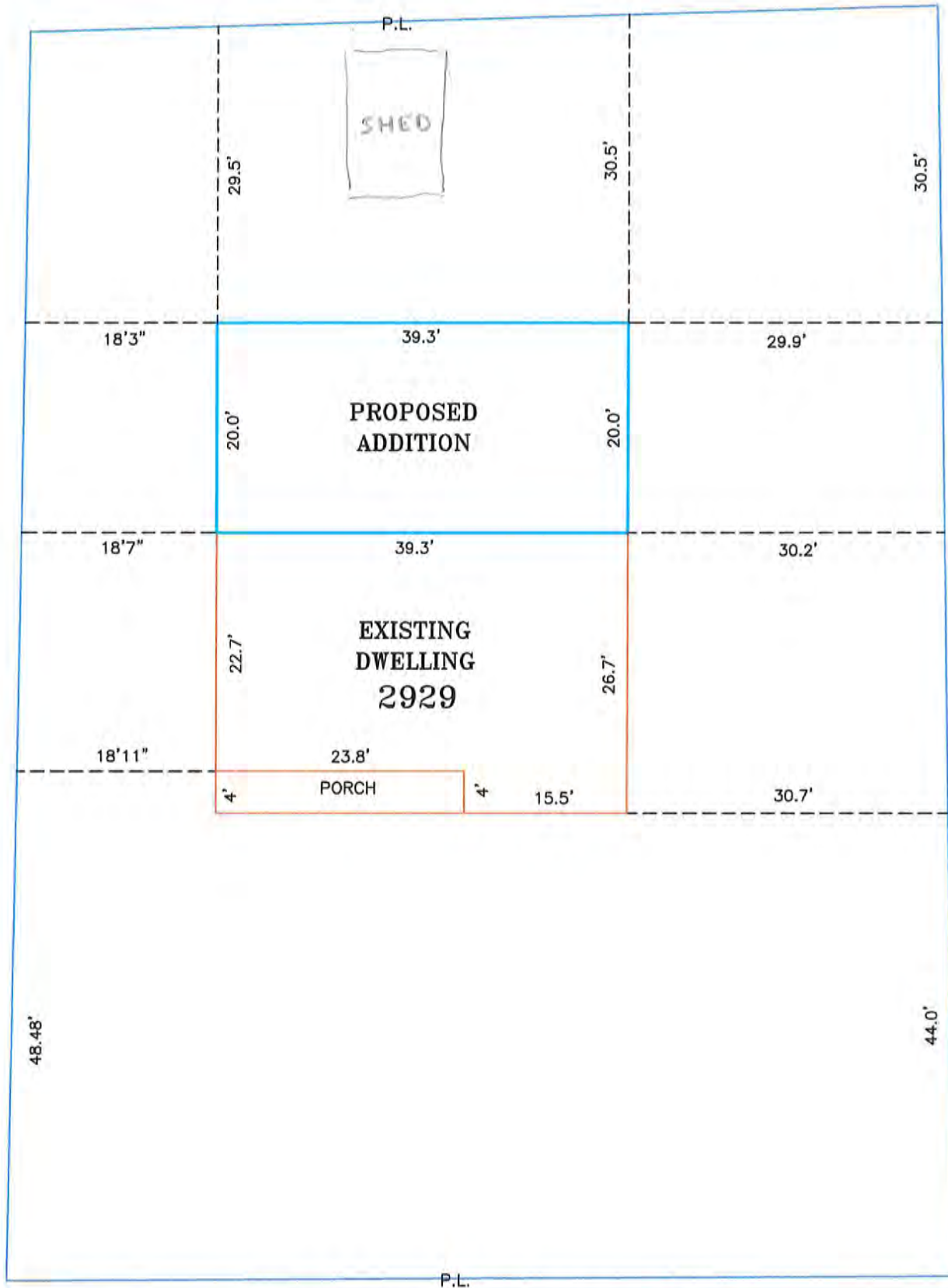


# SITE PLAN

OF A PARCEL OF LAND  
BEING U.S.R.S. TRACT 11B-62C  
LOCATED IN SECTION 36, T.23S., R.1E.,  
N.M.P.M. OF THE U.S.R.S. SURVEYS  
TOWN OF MESILLA, DONA ANA COUNTY, NEW MEXICO

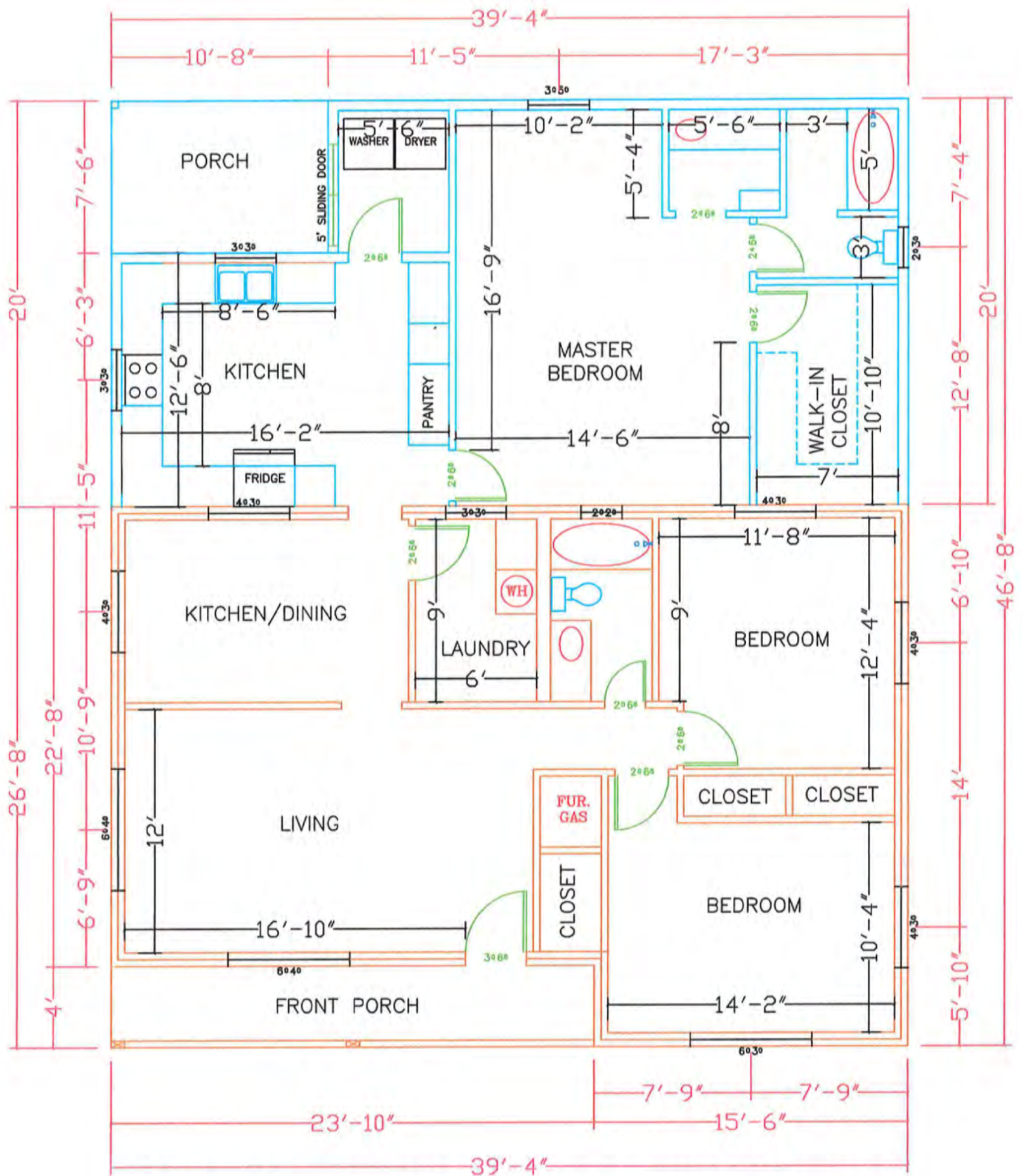


N.T.S.

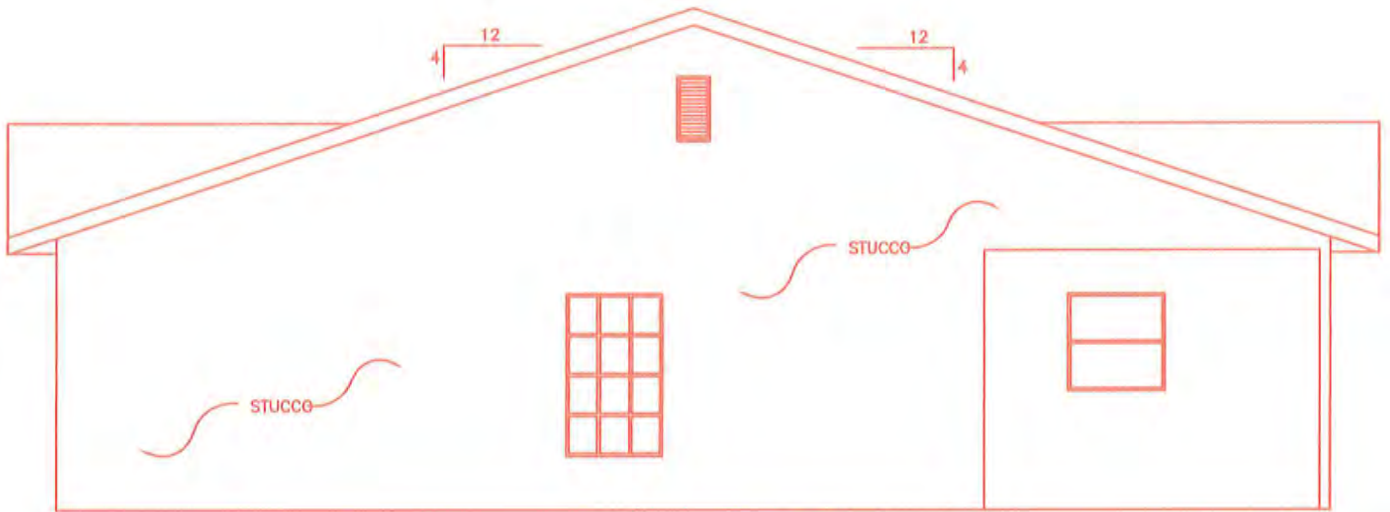


2929 CALLE DE GUADALUPE





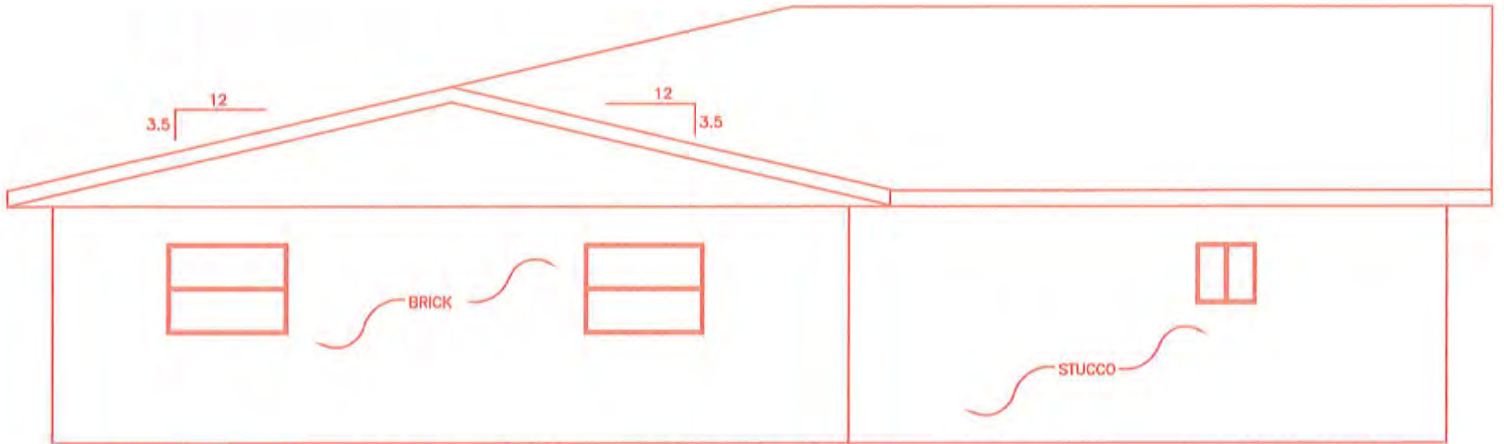
2929 CALLE DE GUADALUPE  
 FLOOR PLAN – ADDITION  
 N.T.S.



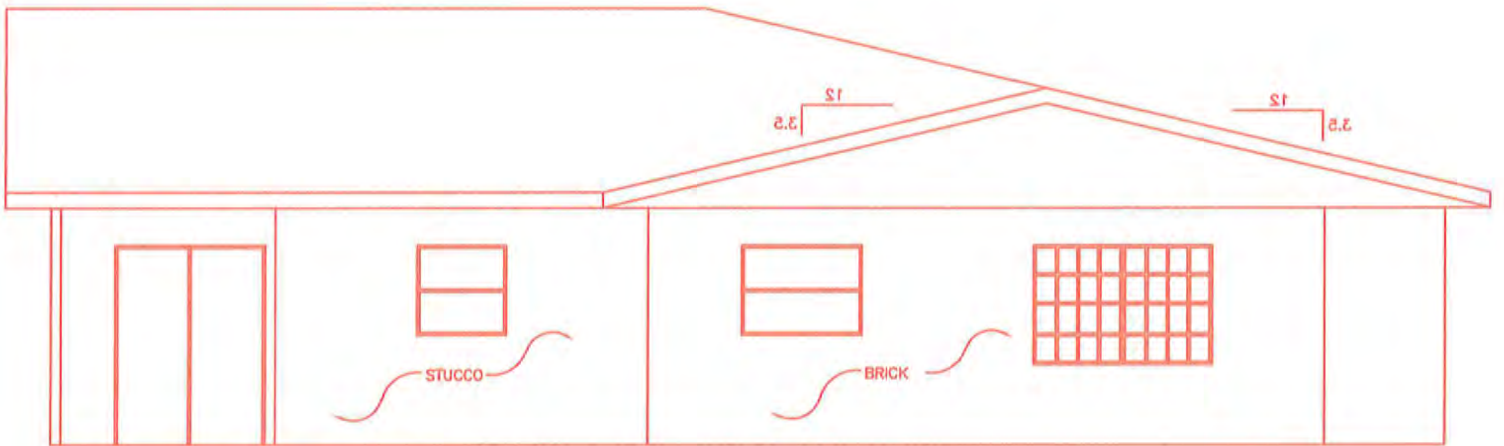
REAR ELEVATION  
N.T.S.



FRONT ELEVATION  
N.T.S.



RIGHT ELEVATION  
N.T.S.



LEFT ELEVATION  
N.T.S.

**TOWN OF MESILLA  
ZONING APPROVAL**

OFFICIAL USE ONLY:

Case # 061020

Fee \$ 145.00

**PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061020 ZONE: RA CODE: AD APPLICATION DATE: 2/16/20

Jessie L. Herrera (575) 621-7715  
Name of Property Owner Property Owner's Telephone Number

P.O. Box 198 Mesilla, N.M. 88046  
Property Owner's Mailing Address City State Zip Code

Lenaejha@yahoo.com  
Property Owner's E-mail Address

John Rivera 1032 Tamarack Dr. Las Cruces, N.M. 88005  
Contractor's Name & Address (If none, indicate Self)

Architect (575) 644-5426  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2929 Calle De Guadalupe

Description of Proposed Work: 800 Sq. Ft. addition to home, consisting of a kitchen, master bedroom and full bathroom, office, laundry room and porch.

\$ 90,000 Jessie Herrera 2-16-2020  
Estimated Cost Signature of Applicant Date

Signature of property owner: Jessie Herrera

**With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

**FOR OFFICIAL USE ONLY**

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED:  YES  NO BOT APPROVAL REQUIRED:  YES  NO

CID PERMIT/INSPECTION REQUIRED:  YES  NO  SEE CONDITIONS

CONDITIONS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. Site Plan with dimensions and details.
  3. Foundation plan with details.
  4. Floor plan showing rooms, their uses and dimensions.
  5. Cross section of walls
  6. Roof and floor framing plan
  8. Proof of legal access to the property.
  9. Drainage plan.
  10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  12. Proof of legal access to the property.
  13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**PZHAC WORK SESSION  
MARCH 2, 2020  
ITEM 2**

Submitted by Nia Rucker; a request to discuss plans to replace windows on a dwelling at 1922 Calle de Cura. (Permit 061021) Zoned: Historical Residential (HR)

The applicant would like to replace the windows on the dwelling at this address with more energy efficient windows. The replacement windows will be double hung double pane windows that have the same appearance and size as the existing windows. Currently, each window has two panes of glass (see attached photos and diagrams of replacement windows). The windows will be finished in white and will be set into the existing frames on the dwelling.

The dwelling is listed in the Historic Register for Mesilla and is considered was considered to be contributing to the architectural style of the Town (see attached sheets from the Historic Register). The dwelling was built around 1920 and does not appear to have been significantly changed. The replacement windows will be the same style and color of the existing windows and will not change the appearance of the dwelling. There will be a total of six windows to be replaced.

**Estimated Cost: @ \$2,710.80**

**Consistency with the Code:**

The PZHAC will need to determine that the new windows will be consistent with Chapters 18.33 (Historic Preservation) and 18.40 (HC-Historical Commercial zone) of the Code.

**18.33.080 Historical appropriateness permit.**

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

**18.40.030 Exterior appearance.**

An application for a permit for erection, construction, modification of, moving or destruction which would affect the exterior appearance of any structure, sign, or any other improvement affecting use or function must first be approved by the commission. [Ord. 94-06 § 1; prior code § 11-2-11.5.C]

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

The applicant will be present at the work session to provide further details about the proposed construction, and to answer any questions that may arise.

**PHOTOS OF THE FRONT AND REAR OF THE SUBJECT PROPERTY**



1. ALERT SHEET?  YES  NO

NEW MEXICO HISTORIC BUILDING INVENTORY  
FORM 1: BUILDINGS & STRUCTURES 6-6 79

2. SURVEY DATE 3. BY *JM*  
*1-25-80*

4. CHECK DATE 5. BY  
6. COMPUTER DATE 7. BY  
8. FILE DATE 9. BY  
10. REVISION DATE 11. BY

13. FIELD MAP NUMBER  
*192*

15. UTM REFERENCE NUMBER  
12 331250 3571950  
ZONE EASTING NORTHING

16. SPECIFIC LOCATION  
*The second house west of the north/west corner of the Camino Real & Calle de Cura intersection*

17. CITY/TOWN *Mesilla*  
18. ZIP

19. LAND GRANT OR RESERVATION  
*Mesilla Civil Colony*

20. ID. # *183202291*  
22. ROLL # *48*  
23. NEG # *18*  
24. LOCATION OF NEG.

20. LEGAL DESCRIPTION: TOWNSHIP NS RANGE EW SECTION  $\frac{1}{4}$   $\frac{1}{4}$   $\frac{1}{4}$

25. ARCHITECTURAL STYLE *Adobe Vernacular*

26. NUMBER OF STORIES *one*

27. FOUNDATION MATERIAL(S) *?*

28. EXTERIOR WALL SURFACE(S) *Stucco / adobe*

29. FENESTRATION (TYPE, DIVISIONS, SURROUNDS, SILLS, ARRANGEMENTS)  
*- random 4/1 dhw, w/narrow surrounds, concrete lug sills  
Horizontal 4/4 fixed frame, window w/out surrounds or sills*

30. DOOR/ENTRANCE (TYPE/SURROUNDS)  
*Standard wood panel door w/lite, no surrounds*

31. ROOF(S) (NUMBER/SHAPE/MATERIAL DETAILS)  
*flat roof w/ flat parapet*

32. CHIMNEY(S) (NUMBER/EXTERIOR-INTERIOR/MATERIALS) *none*

33. EXTERIOR DETAILS  
*Small louvered attic vents, picket fence around front*

34. COMMENTS

35. DATE OF CONSTRUCTION ESTIMATED *1920* 36. ACTUAL

37. SOURCE OF DATE

38. ARCHITECT/ENGINEER/BUILDER

39. SOURCE OF INFORMATION

40. NAME

41. PRESENT USE *Residential*  
42. HISTORIC USE *"*

43. CONDITION  
 EXCELLENT  GOOD  FAIR  DETERIORATED

44. DEGREE OF REMODELING  
 MINOR  MODERATE  MAJOR

45. IMMEDIATE SURROUNDINGS *Residential*

46. RELATION TO SURROUNDINGS  
 SIMILAR  NOT SIMILAR

47. ARCHITECTURAL CONTRIBUTION TO SURROUNDINGS  
 PLUS  NEUTRAL  MINUS

48. OVERALL SIGNIFICANCE  
 NATIONAL  STATE  LOCAL  NONE

49. ASSOCIATED BUILDINGS?  YES  NO

50. WHAT TYPE?

51. IF INVENTORIED, LIST I.D. #'S

52. SEE BACK?  YES  NO

- 287 This stuccoed, gabled house has aluminum frame windows and a gabled porch protecting the entrance. est. 1960. (N)
- 288 This is a stuccoed residence with a flat roof and parapet. and aluminum frame windows. est. 1930. (C)
- ~~289 This is an adobe farm house with aluminum frame windows, a flat roof with parapet, viga ends visible, and a shed roof porch with mission tile. There is a utility shed, a barn, and a silo associated with this house. est. 1900. (C)~~
- 290 This stuccoed adobe residence has a flat roof and parapet and metal casement windows. est. 1910. (C)
- 291 This stuccoed adobe residence has a flat roof, wood frame windows, a parapet, and a square-plan. est. 1920. (C)
- 292 This Ranch Style house has terracotta brick walls. est. 1965. (N)
- 293 This is an apartment complex in a Territorial Revival style. The architecture matches that of the house to the north. This building blends well with the surroundings. est. 1975. (N)
- 294 This stuccoed house has a gabled roof and wood frame windows. est. 1910. (C)
- 295 This stuccoed gabled house with a brick half wall and wood frame windows has purlins and brackets. est. 1935. (N)
- 296 This gabled adobe residence has wood frame windows. est. 1910. (C)
- 297 This Ranch Style house has brick walls and aluminum frame windows. est. 1965. (I)
- 298 This stuccoed adobe house has a low gabled roof and aluminum frame windows. est. 1900. (C)
- 299 This is a rectangular-plan house with aluminum frame windows and a gabled roof. est. 1965. (N)
- 300 This is a small gabled house with aluminum frame windows. A trailer house is adjacent to it to the west. est. 1955. (I)
- 301 This house has a crenelated parapet and wood frame windows covered by tiled hoods. est. 1915. (C)
- 302 This square-plan stuccoed house with a flat roof and parapet has wood frame windows. est. 1900. (C)
- 303 This is a very long, rectangular-plan adobe house with a flat roof, parapet, wood frame windows, and an open porch spanning the length of the facade. est. 1900. (C)



# Window World

**Window World of Las Cruces**  
 300 N. Telshor • Suite 100 • Las Cruces, NM 88011  
 Phone: (575) 632-9390 • Fax: (575) 632-5230

NM CID# 391055

Customer: NIA ROCKER Phone (h) 575-993-2930  
 Install Address: 1922 CALLE DE CORA - BECOS Phone (w) \_\_\_\_\_  
 Bill Address: \_\_\_\_\_ E-mail \_\_\_\_\_

WINDOW WORLD WINDOW PACKAGES	
<small>(Window max single hung / double hung 48x72 or 2-Lite 60x60. Package includes SolarZone Elite, DS glass, 1/2 screen, foam on jambs and head)</small>	
3000 Series Single Hung	\$368
3000 Series 2-Lite Single Slider	\$388
<u>6</u> 4000 Series Double Hung	\$388 <u>2328</u>
4000 Series 2-Lite Slider	\$408
6000 Series Double Hung	\$459
6000 Series 2-Lite Slider	\$489

WINDOW WORLD WINDOWS	
<small>(All Windows include SolarZone Elite)</small>	
4000 Series Picture / Fixed	\$459
4000 Series 3-Lite (1/3, 1/3, 1/3) (1/4, 1/2, 1/4)	\$610
6000 Series Picture / Fixed	\$499
6000 Series 3-Lite (1/3, 1/3, 1/3) (1/4, 1/2, 1/4)	\$670
3000 Series 3-Lite Slider (1/3, 1/3, 1/3) (1/4, 1/2, 1/4)	\$590
3000 Series Picture / Fixed	\$449
3000 Series Rounded Top SH	\$719
Windows Over 120 U.I	\$100
Casement (Not Egress)	\$459
Specialty Window	\$
Almond / Desert Clay	\$50
Bronze Exterior (Series 3000/4000) <small>(Full Screens Only)</small>	\$160
Window Color <u>White</u> / <u>White</u>	
<small>Inside Outside</small>	

DOORS	
Vinyl Rolling Patio Door	\$
Stucco Protector (Y/N) Custom Trim (Y/N)	
Color _____ Grids _____	
Custom Rail Rolling Patio Door	\$
3" Rail _____ 5" _____ French Rail _____	
Stucco Protector (Y/N) Custom Trim (Y/N)	
Color _____ Grids _____	
Interior Blinds (white blinds in white door panels) <small>(Specific Standard Series Only)</small>	\$
Specialty Doors	\$

INSULATED GLASS PACKS	
Solar Sun Shield Upgrade	\$60
Triple Glazed TG2** (Argon Filled)	\$155
Triple Glazed TK2** (Krypton Filled)	\$196
<small>(**Series 6000 Only)</small>	

ADDITIONAL FEATURES	
1/2 Screens	\$9
Foam Insulation on Jambs and Head	\$11
Double Strength Glass	\$15
Double Locks (> 26") (4000/6000)	\$5
Full Screens	\$22
Colonial Grids (Contoured/Flat)	\$65
Prairie Grids	\$75
Specialty Grids	\$
Tempered Sash	\$70
Tempered Other	\$
Tinted or Specialty Glass	\$
Obscure Glass Both Sash	\$80
Oriel Style (40/60 or 60/40)	\$60

PRE 1978 BUILT HOMES <small>(Federal Lead Containment Law)</small>	
<u>4</u> With Custom Premium Exterior Trim	\$50 <u>200</u>
Without Custom Premium Exterior Trim	\$70
<u>1</u> Lead Testing Fee (up to 4 windows)	\$50 <u>50</u>
MY HOME WAS BUILT IN THE YEAR	Initial

MISCELLANEOUS	
Second Story Labor	\$60
Custom Exterior Trim (minimum of 2 windows)	\$60
Custom Coil Color	
Window Removal Steel or in Stucco	\$60
<u>6</u> Window Removal Other	\$40 <u>240</u>
Stucco Protector/Flush Fin	\$40
<small>(Designed to be trimmed for installation)</small>	
Install Interior Stops (unpainted wood)	\$50
Install Interior Casing	\$50
<small>(Customer must provide the materials)</small>	
Replace Sill (pine-no painting or staining)	\$100
Wood or Steel Mull Removal	\$40
Mull to Form Mull Unit	\$40
Remove Storm Window	\$30
Remove Security Bars (no reinstallation)	\$50
Other	\$

**ROUND-UP FOR WINDOW WORLD CARES**  
 St. Jude Children's Research Hospital \$

You the buyer are responsible for providing at least two feet of clear access on both sides of windows and for completely removing all blinds, brackets, shutters and other window coverings prior to installation. Initial: NR  
 You the buyer are responsible for any applicable permitting. Balance due based upon percentage of windows installed upon completion. No compensation for job delays or product errors. No painting and no repairs or painting of damages to Stucco unless stated on Contract. Initial: NR

**NO EXTRA WORK IF NOT IN WRITING!**  
-120 - off Double Hung  
-122-10 - Final  
9-Weeks

Customer agrees to the terms of payment as follows:	
Subtotal	\$ <u>2818</u>
Setup and Handling (5%) Fee (minimum \$50)	\$ <u>134.90</u>
Permit	\$ <u>65</u>
Trip Charge	\$
Subtotal	\$ <u>2678</u>
Tax (where applicable)	\$ <u>24.20</u>
Total Amount	\$ <u>3000</u>
Custom Order Deposit 50%	\$ <u>1500</u> Ck#
Balance Paid to Installer upon Completion	\$ <u>1500</u>
Amount Financed	\$

You the buyer may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. Notice of cancellation must be in writing postmarked no later than midnight of the following third business day.  
**THIS IS A CUSTOM ORDER NOT FOR RESALE!**

11-18-19  
 Salesman \_\_\_\_\_ Date \_\_\_\_\_ Owner \_\_\_\_\_ Date \_\_\_\_\_



"Simply the Best for Less"

WEST COAST

WINDOW AND PATIO DOOR ORDER FORM

Phone: 866.716.5368 Fax: 866.618.2783

Account # **11-18-19**  
 Sales Rep Name / # **MALLO 619**  
 Date **11-18-19**  
 Customer P.O. # **213-2513**

Customer Name and Address: **Window World Las Cruces #85034**  
 Ship To: **N/A Direct**  
 Job Name 1: **1922 CALLES DE CIMA - 88005**  
 Job Name 2: **Las Cruces**  
 Ordered By: **Window World Las Cruces**  
 Sketches: **#85034**

Special instructions: **Be sure to note if non-mullied units require grid alignment or shade configurations require a continuous radius**

Head Expander  Glass Breakage Warranty  Foam Wrap

ALL PRODUCT CONFIGURATIONS MUST BE ORDERED AS VIEWED FROM THE EXTERIOR

LINE	QTY	MODEL	WHTL COLOR	DIMENSIONS (W x H x D)	WIDTH	HEIGHT	FRAME OPTIONS	MULL TYPE	ROOM LOCATION	HINGE (L/R/F)	GLASS OPTION	E/E/C OPTION	TINTS	OBSCURE	ORNL	WOODEN STYLE	GRID OPTION	SCREEN	FOAM ENHANCED	MULL FN	TEMP
1	1	3401	01	24 1/4 x 53 1/4	24 1/4	53 1/4	100		FRONT GLASS	LR	100										
2	1	3401	01	24 1/4 x 53 1/4	24 1/4	53 1/4	100		FRONT GLASS	LR	100										
3	1	3401	01	24 1/4 x 53 1/4	24 1/4	53 1/4	100		FRONT GLASS	LR	100										
4	1	3401	01	24 1/4 x 53 1/4	24 1/4	53 1/4	100		FRONT GLASS	LR	100										
5	1	3401	01	24 1/4 x 53 1/4	24 1/4	53 1/4	100		FRONT GLASS	LR	100										
6	1	3401	01	30 1/4 x 68 1/4	30 1/4	68 1/4	100		FRONT GLASS	LR	100										
7																					
8																					
9																					
10																					
11																					
12																					
13																					
14																					
15																					
16																					
17																					

FRAME OPTIONS: **RP = REPLACEMENT/BOX FRAME/PEN FN**  
**FS = FINISH FOR STUCCO APPLICATION**  
**S1 = CERESIT CLAY**  
**S2 = BRONZE EXT**  
**WITH WHITE INTERIOR**  
**NP78 = 7/8" MAL FN SET BACK (OTS ONLY)**  
**NP1 = 1" MAL FN SET BACK (OTS ONLY)**  
**BT = BRONZE TINT**  
**BL = BRONZE TINT**  
**BL = BRONZE TINT**  
**BL = BRONZE TINT**  
**BL = BRONZE TINT**

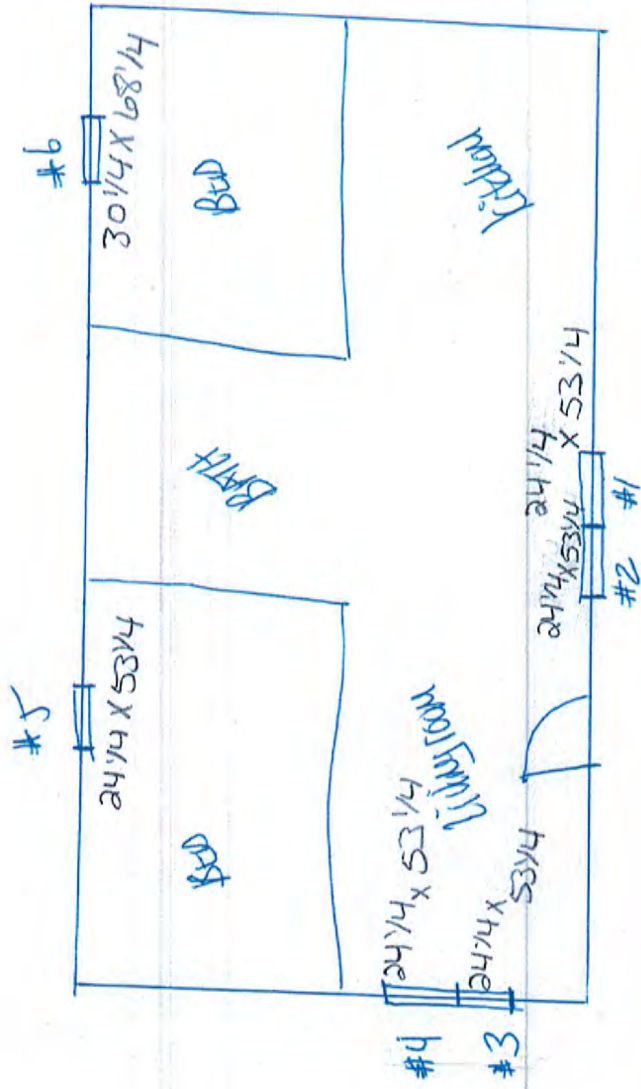
MULL TYPE: **D = DOUBLE**  
**T = TRIPLE**  
**S = 1 1/2" x 1 1/2"**  
**S = STACKED**  
**C = CUSTOM**  
**GT = GREY TINT**  
**BT = BRONZE TINT**  
**BL = BRONZE TINT**  
**BL = BRONZE TINT**  
**BL = BRONZE TINT**

TAMPED AND OBSCURE: **T8 = TEMP BOTTOM**  
**TF = TEMP FULL**  
**OF = OBSCURE FULL**  
**OB = OBS BOTTOM**  
**NR = NARROW REED**  
**DOB = DOUBLE OBS BOTTOM**  
**R = RAIN GLASS FULL**  
**RB = RAIN BOTTOM**  
**G = GLUECHIP FULL**  
**GB = GLUECHIP BOTTOM**  
**NSB = SOLAR COOL BRONZE**  
**SCB = SOLAR COOL GRAY**  
**EV = EVERGREEN**  
**SS = SOLER**

GLASS OPTIONS: **LE = SOLARZONE**  
**LEE = SOLARZONE ELITE**  
**LEP = SOLARZONE PLUS**  
**LEZ = SOLARZONE 2**  
**LET = SOLARZONE TQZ**  
**T = LOW END ANCHOR (P999 SERIES ONLY)**

SCREENS: **FS = FULL SCREEN (FIBERGLASS)**  
**FIBERGLASS 1/2 SCREENS ARE STANDARD**

GRID OPTIONS: **SEE BACK OF ORDER FORM FOR GRID OPTIONS**



1. All windows that originally meet egress will meet egress.
2. No changes to existing construction.
3. All windows are energy efficient.

NIA RUCKER  
 1122 CALLE DE CURA - 88005  
 575-993-2930

Sales Person:  
19 - MARCO SAUCEDO



Customer Acknowledgement
Quote Date 12/27/2019
Date Ordered Quote Not Ordered

Dealer Name:  
850340 WINDOW WORLD OF LAS CRUCES

**Bill To:**  
WINDOW WORLD OF LAS CRUCES  
300 N TELSHOR BLVD SU 100  
LAS CRUCES, NM 88011

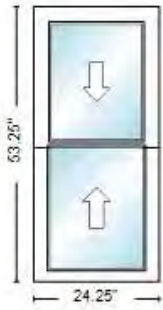
**Ship To:**  
SAME

Order Notes:                                  Delivery Notes:                                  Phone: (575) 532-9390      Fax:  
Quote Name:                                  Project Name:  
Rucker Nia                                      Rucker Nia

QUOTE #	RUSH	STATUS	PO#
2448542	No	None	213-2543

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

1      1      24.25" X 53.25"      79

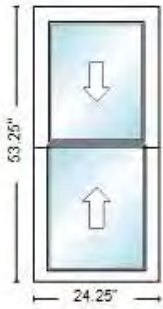


3A01-New 4000 Series Double Hung 24 1/4 x 53 1/4  
Frame Width = 24.25, Frame Height = 53.25, Sash Split = Even  
Operation / Venting = Double Hung  
Frame Option = Standard Block Frame, Composite Reinforcement  
Frame Color = White, Exterior Finish = No Exterior Finish  
SolarZone Elite, Double Strength, IE Liners, Glass Breakage Warranty  
Standard Screen  
U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-69629-00001  
Header Expander, Foam Wrap, Net Overall  
Line Item Notes:

Comment / Room:  
FRONT LIV

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

2      1      24.25" X 53.25"      79



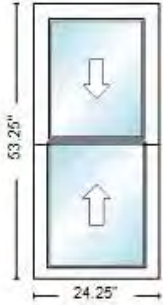
3A01-New 4000 Series Double Hung 24 1/4 x 53 1/4  
Frame Width = 24.25, Frame Height = 53.25, Sash Split = Even  
Operation / Venting = Double Hung  
Frame Option = Standard Block Frame, Composite Reinforcement  
Frame Color = White, Exterior Finish = No Exterior Finish  
SolarZone Elite, Double Strength, IE Liners, Glass Breakage Warranty  
Standard Screen  
U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-69629-00001  
Header Expander, Foam Wrap, Net Overall  
Line Item Notes:

Comment / Room:  
FRONT LIV

QUOTE #	RUSH	STATUS	PO#
2448542	No	None	213-2543

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

3 1 24.25" X 53.25" 79



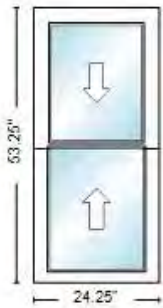
3A01-New 4000 Series Double Hung 24 1/4 x 53 1/4  
 Frame Width = 24.25, Frame Height = 53.25, Sash Split = Even  
 Operation / Venting = Double Hung  
 Frame Option = Standard Block Frame, Composite Reinforcement  
 Frame Color = White, Exterior Finish = No Exterior Finish  
 SolarZone Elite, Double Strength, IE Liners, Glass Breakage Warranty  
 Standard Screen  
 U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-69629-00001  
 Header Expander, Foam Wrap, Net Overall  
 Line Item Notes:

Comment / Room:

LEFT LIV

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

4 1 24.25" X 53.25" 79



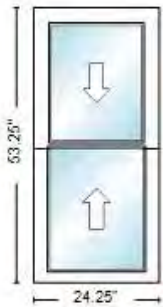
3A01-New 4000 Series Double Hung 24 1/4 x 53 1/4  
 Frame Width = 24.25, Frame Height = 53.25, Sash Split = Even  
 Operation / Venting = Double Hung  
 Frame Option = Standard Block Frame, Composite Reinforcement  
 Frame Color = White, Exterior Finish = No Exterior Finish  
 SolarZone Elite, Double Strength, IE Liners, Glass Breakage Warranty  
 Standard Screen  
 U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-69629-00001  
 Header Expander, Foam Wrap, Net Overall  
 Line Item Notes:

Comment / Room:

LEFT LIV

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

5 1 24.25" X 53.25" 79



3A01-New 4000 Series Double Hung 24 1/4 x 53 1/4  
 Frame Width = 24.25, Frame Height = 53.25, Sash Split = Even  
 Operation / Venting = Double Hung  
 Frame Option = Standard Block Frame, Composite Reinforcement  
 Frame Color = White, Exterior Finish = No Exterior Finish  
 SolarZone Elite, Double Strength, IE Liners, Glass Breakage Warranty  
 Standard Screen  
 U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD = ASO-A-89-69629-00001  
 Header Expander, Foam Wrap, Net Overall  
 Line Item Notes:

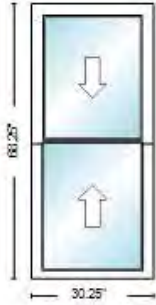
Comment / Room:

REAR BED

QUOTE #	RUSH	STATUS	PO#
2448542	No	None	213-2543

Line Item #	Qty	Width x Height	UI	Description
-------------	-----	----------------	----	-------------

6 1 30.25" X 68.25" 100



3A01-New 4000 Series Double Hung 30 1/4 x 68 1/4  
 Frame Width = 30.25, Frame Height = 68.25, Sash Split =  
 Even  
 Operation / Venting = Double Hung  
 Frame Option = Standard Block Frame, Composite  
 Reinforcement  
 Frame Color = White, Exterior Finish = No Exterior Finish  
 SolarZone Elite, Double Strength, IE Liners, Glass  
 Breakage Warranty  
 Standard Screen  
 U-Factor = 0.28, CR = 58, SHGC = 0.21, VT = 0.48, CPD  
 = ASO-A-89-69629-00001  
 Header Expander, Foam Wrap, Net Overall  
 Line Item Notes:

Comment / Room:

REAR BED

Customer Notes:

Total Unit Count	6
------------------	---

**ATTENTION**

Please note that all weights provided are estimates and subject to change based on actual order shipment.  
 For Informational Purposes: All windows are viewed from the outside looking in.

**NOTICE:** The rating information provided on this quote is based upon the NFRC ratings at the time of quote. Such ratings are subject to changes in the standard by the applicable regulatory agencies and will be finalized at the time of manufacturing. All ratings printed on the NFRC label will supersede the NFRC rating set forth in the quote. Any changes made to an order after submission may also result in changes to the NFRC rating. Customer shall be solely responsible for determining whether the product ordered meets their jurisdiction's requirements.

In accordance with the state of California:

**WARNING:** Cancer and Reproductive Harm - [www.p65Warnings.ca.gov](http://www.p65Warnings.ca.gov)

This order is subject to AMI's Standard Terms and Conditions, which can be found here:  
<http://www.associatedmaterials.com/Tools.html>

I have reviewed this order and certify that it is correct. I understand that this order is noncancellable, nonreturnable, and nonrefundable.

By \_\_\_\_\_ Authorized Representative

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061021

Fee \$ 80.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061021 ZONE: UR CODE: ACC APPLICATION DATE: 2-19-20

Name of Property Owner: Nia Rucker Property Owner's Telephone Number: 575-993-2930  
Property Owner's Mailing Address: 1922 Calle De Curra Mesilla NM City: Mesilla State: NM Zip Code: 88005

Property Owner's E-mail Address: \_\_\_\_\_  
Contractor's Name & Address (If none, indicate Self): Window World of Las Cruces  
Contractor's Telephone Number: 575-532-9390 Contractor's Tax ID Number: 81-4803551 Contractor's License Number: 391055

Address of Proposed Work: 1922 Calle De Curra Mesilla NM 88005  
Description of Proposed Work: Window Installation

Estimated Cost: \$ 2710.80 Signature of Applicant: [Signature] Date: 2-19-20  
Signature of property owner: [Signature]

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED:  YES  NO BOT APPROVAL REQUIRED:  YES  NO

CID PERMIT/INSPECTION REQUIRED:  YES  NO  SEE CONDITIONS

CONDITIONS: CID PERMIT MAY BE REQUIRED.

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

PZHAC REGULAR  
WORK SESSION AND MEETING  
MINUTES  
FEBRUARY 3, 2020

(PART OF CONSENT AGENDA)





# Town of Mesilla, New Mexico

## PZHAC WORK SESSION AGENDA FEBRUARY 3, 2020

**THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION MONDAY, FEBRUARY 3, 2020 AT 5:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.**

**Item 1:** Submitted by Natalie B. Ogaz, a request to discuss changes to approved plans and to provide additional information for the construction of a new dwelling at 2729 Calle de San Albino (**Case 060748**). Zoned: Historic Residential (HR)

*The applicant was present to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case, explaining that the application had been postponed to this meeting to allow the applicant to provide more information about the proposed French doors. (The applicant has requested a change to the style of all of the large windows originally approved to allow a style having multiple panes more resembling French doors. Tom Maese, Chief Inspector for CID, asked for further information about the windows at the last meeting. The information has been submitted in response to that request.) There was also additional discussion about the total height of the structure and the fact that this had been discussed in 2018 when the structure was originally approved for the lower height, and what effect the requested height would have on the surrounding properties. The PZHAC again questioned whether the proposed height would be consistent with the development zone for the property. There were no other issues.*

**Item 2:** Submitted by Bruce (Burt) McClure, a request to discuss plans to construct a wood fence on a property at 2551 Calle de Principal. Zoned: Historical Residential (HR) (**Case 061009**)

*This request was withdrawn by the applicant.*

**Item 3:** Submitted by Gerard Nevarez; a request to discuss plans to add a privacy panel to a rock wall at the rear of his property at 2305 Calle de Colon. Zoned: Historical Residential (HR) (**Case 061010**)

*The applicant was present to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case, explaining that the applicant intended to add a decorative wrought iron panel to the top of an existing rock wall in order to provide privacy to his patio. Mr. Nevarez explained that the new dwelling being built on the property on the other side of the wall was close to the property line and several windows looked directly into his back yard. Issues that were discussed were the height of the existing wall, the resulting height of the extension on the wall, and the style of the proposed extension. There were no other issues with the proposal.*

**Item 4:** Submitted by Anna Biad; a request to discuss plans to construct a rock wall and change the landscaping of a commercial property at 2172 Calle de Santiago. Zoned: Historical Commercial (HC) (**Case 061011**)

*This request was withdrawn by the applicant.*

## PZHAC REGULAR MEETING AGENDA FEBRUARY 3, 2020

**THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD ITS REGULARLY SCHEDULED MEETING MONDAY, FEBRUARY 3, 2020 AT 6:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.**

### I. PLEDGE OF ALLEGIANCE

### II. ROLL CALL AND DETERMINATION OF A QUORUM

*Commissioner Prieto was absent. All others were present. There was a quorum.*

### III. CHANGES/APPROVAL OF THE AGENDA

*Cases 0601009, 0601011 and 0601012 were removed from the agenda at the request of the applicants, and the election of officers was postponed to allow the full commission to be present. A motion to approve the Agenda was made by Commissioner Houston, seconded by Commissioner Lucero, and approved by a vote of 3 - 0.*

### IV. \*ACCEPTANCE OF THE CONSENT AGENDA

*Note: Items on the agenda indicated by an asterisk (\*) are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

*There were no changes to the Consent Agenda. A motion to approve the Consent Agenda was made by Commissioner Lucero, seconded by Commissioner Houston, and approved by a vote of 3 - 0.*

#### A. \*PZHAC MINUTES – PZHAC Regular Work Session and Meeting of January 15, 2020.

*Approved as part of the Consent Agenda*

#### B. \*ADMINISTRATIVE APPROVAL

##### Zoning Permits:

1. **Case 061003** – 2309 Calle de Santiago, submitted by Viola and Larry Tafoya; a request for a zoning permit to repair a damaged sidewalk and repair portions of the stucco on the wall of a commercial building at this address. Zoned: Historical Commercial (HC)  
*Approved as part of the Consent Agenda*
2. **Case 061004** – 2000 Calle de Parian, submitted by Mark Sideris of Buffalo Builders for Julienne Hadfield; a request for a zoning permit to conduct a plumbing inspection on a commercial building at this address. Zoned: Historical Commercial (HC)  
*Approved as part of the Consent Agenda*
3. **Case 061005** – 2825 Teresita Street, submitted by Annabelle Hurst; a request for a zoning permit to allow the replacement of a roof on a dwelling at this address. Zoned: Historical Residential (HR)  
*Approved as part of the Consent Agenda*
4. **Case 061006** – 319 Capri Arc, submitted by Samuel McBurney; a request for a zoning permit to allow the replacement of a roof on a dwelling at this address. Zoned: Residential, one acre (R-1)  
*Approved as part of the Consent Agenda*
5. **Case 061008** – 2745 Boldt Street, submitted by Jim Jones; a request for a zoning permit to allow the installation of a concrete driveway and brick flat work on a residential property at this address. Zoned: Historical Residential (HR)  
*Approved as part of the Consent Agenda*

### V. PZHAC NEW BUSINESS:

#### A. PUBLIC INPUT ON CASES - *None*

#### B. DECISIONS:

##### Zoning Permits:

1. **Case 060748** – 2729 Calle de San Albino, submitted by Natalie B. Ogaz, a request for changes to an approved building permit to construct a new residence at this address. Zoned: Historic Residential (HR). **(Discussed during the Work Session – Item 1)**  
*Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC discussed this case further. The PZHAC determined that there were no problems with the proposed use of French doors in place of windows. Further discussion focused on the applicant's request to return to the original requested height of the dwelling. Commissioner Lucero brought up the fact that the PZHAC determined the first time the case was presented in 2018 that the requested height of the structure was too high and out of character with the surrounding dwellings. She wanted to know what changed to make that height acceptable now. The applicant stated that there were other dwellings in the area that would be the same height, including the property to the south. There was no further discussion. The PZHAC determined that there were no other issues with the proposed request. A motion was made by Commissioner Nevarez to approve the requested plans with the French doors and the lower height, seconded by Commissioner Houston, and approved by a vote of 2 – 1 with Commissioner Lucero voting against the request.*

2. **Case 091009** – 2551 Calle de Principal, submitted by Bruce B. (Burt) McClure, a request for a zoning permit construct a wood fence on a residential property at this address. Zoned: Historical Residential (HR). **(This case was discussed during the Work Session – Item 2)**  
*This case was withdrawn by the applicant.*
3. **Case 061010** – 2305 Calle de Colon, submitted by Gerard Nevarez; a request for a zoning permit to allow the addition of a privacy panel to a rock wall at the rear of a residential property at this address. Zoned: Historical Residential (HR) **(This case was discussed during the Work Session – Item 3)**  
*Staff provided a brief review of this request, explaining that this case was heard during the Work Session. Commissioner Nevarez recused himself from any discussion or voting on the case since the subject property is his. The PZHAC determined that the addition of the panel to the existing wall would result in an overall fence height that would be higher than the six feet allowed by the Code. The PZHAC suggested that the panel be mounted to the back of an existing decorative structure located in the back yard near the wall so that the height would not be an issue. This was acceptable to Mr. Nevarez. A motion was made by Commissioner Houston to approve the request, seconded by Commissioner Lucero, and approved by a vote of 3 – 0 with the following CONDITION: The panel will not be attached to the wall.*
4. **Case 061011** – 2172 Calle de Santiago, submitted by Anna Biad; a request for a zoning permit to allow the construction of a rock wall and changes to the landscaping of a commercial property at this address. Zoned: Historical Commercial (HC) **(This case was discussed during the Work Session – Item 4.)**  
*This case was withdrawn by the applicant.*

#### **Sign Permit**

1. **Case 061012** – 2172 Calle de Santiago, submitted by Anna Biad for “Blue Door Venue”; a request for a sign permit to allow a wall sign at this address. Zoned: General Historical Commercial (HC)  
*This case was withdrawn by the applicant.*

#### **C. PZHAC Special Business: Election of Officers**

*The election was postponed to allow a full quorum of the PZHAC to be present.*

#### **VI. PUBLIC COMMENTS**

*Prescilliana Sandoval – resident*

*Complained about the smoke from the meat smoking operation at Chala’s Restaurant on Avenida de Mesilla, stating that the smoke from the smoker constantly blows across her back yard making it impossible for her to use the back yard due to the smoke, and that the problem exists from 9 am to 10 pm. She stated that she went to the NM Governor’s office and was told to sue Mesilla. She would like to see Mesilla’s ordinances changed to address this issue to protect residents form this type of nuisance. She stated that the restaurant should never have been approved in the first place.*

#### **VII. PZHAC/STAFF COMMENTS**

*Larry Shannon – Mesilla Planning staff*

*Stated that there are o Mesilla Codes that could be used to address the issue created by Chala’s smoker*

*Russ Hernandez – PZHAC Commission Chair*

*Directed Staff to look into the nuisance problem created by Chala’s smoker and research the NM Statutes to see if there are any regulations that can be applied to the smoker. He also directed Ms. Sandoval to provide Mr. Shannon with copies of whatever information and documentation that she had to determine what we could legally do as a Town.*

#### **VIII. ADJOURNMENT**

*The meeting was adjourned at 6:30 pm.*

PZHAC NEW BUSINESS

MARCH 2, 2020

ADMINISTRATIVE APPROVALS

(PART OF CONSENT AGENDA)

**ADMINISTRATIVE APPROVAL  
BUILDING PERMIT REQUEST CASE 061013  
[PZHAC CONSENT AGENDA – 3/2/20]**

**Item:**

**Case 061013** – 2235 Avenida de Mesilla, submitted by Kristin Reardon; a request for a zoning permit to repair and repaint damaged stucco on an adobe dwelling at this address. Zoned: Historical Commercial (HC)

**Description of Work Done:**

The applicant will patch and repaint parts of the exterior of a dwelling at this address. The repair work will consist of patching small sections of the exterior wall where the existing stucco has become cracked or damaged by the weather, and to repaint the repaired areas to match the existing stucco. Since the repairs will not affect or change the appearance of the structure, nor will they cause any negative visual impacts to the surrounding properties, PZHAC review is not required.

**Consistency with the Code:**

Since the proposed wall is an addition to the property that will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of any structures, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit** – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

**PHOTO OF THE PROPERTY FROM TOWN HALL**



# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: [ ]

Maps | Legend

### Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400367](#)  
Parcel Number: 4006137286362  
Owner: EASTMAN CLYDE TR CLYDE  
EASTMAN REV TR  
Mail Address: 4200 WORONZOF  
DRIVE  
Subdivision: USRS TRACT 11B-18  
PLAT NO 1 (BK 18 PG 162 - 9428245)  
Property Address: 2235 AVENIDA DE  
MESILLA  
Acres: 0



TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:  
Case # 061013  
Fee \$ \$0.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061013 ZONE: AC CODE: M1 APPLICATION DATE: 1/31/20

Kristin Reardon 916-832-2575  
Name of Property Owner Property Owner's Telephone Number

4200 Woronzof Dr Anchorage AK 99517  
Property Owner's Mailing Address City State Zip Code

kristineastman@hotmail.com  
Property Owner's E-mail Address

Larry Limon  
Contractor's Name & Address (if none, indicate Self)

636-5073 Contractor's Telephone Number  
Contractor's Tax ID Number  
Contractor's License Number

2235 Avenida de Mesilla  
Address of Proposed Work:

adobe repair work - patchwork + cement/stucco work  
Description of Proposed Work: inside front patio (~8 feet x 2 feet)  
\* front parapet (~5 feet)

\$ 600 Estimated Cost  
K Reardon Signature of Applicant  
1-10-2020 Date

K Reardon  
Signature of property owner:

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date \_\_\_\_\_  
 Approved Date \_\_\_\_\_  Disapproved Date \_\_\_\_\_  
 Disapproved Date \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED \_\_\_ YES \_\_\_ NO BOT APPROVAL REQUIRED \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED \_\_\_ YES \_\_\_ NO SEE CONDITIONS

CONDITIONS: NO CHANGES TO STRUCTURE

PERMISSION ISSUED DENIED BY: L. Limon ISSUE DATE: 1/31/20

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. Site Plan with dimensions and details.
  3. Foundation plan with details.
  4. Floor plan showing rooms, their uses and dimensions.
  5. Cross section of walls
  6. Roof and floor framing plan
  8. Proof of legal access to the property.
  9. Drainage plan.
  10. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations.
  11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services)
  12. Proof of legal access to the property.
  13. Other information as necessary or required by the City Code or Community Development Department (See other side)

**ADMINISTRATIVE APPROVAL  
BUILDING PERMIT REQUEST CASE 061014  
[PZHAC CONSENT AGENDA – 3/2/20]**

**Item:**

**Case 061014** – 1901 Calle de Correo, submitted by Brittany Bloch for Black Rat Tattoo; a request for a zoning permit to allow the installation of underground electrical service to a commercial structure at this address. Zoned: Historical Commercial (HC)

**Description of Work Done:**

The applicant will run an underground power line from a nearby power pole to a commercial structure that is being built on this property. The reason the line is being placed underground is to meet a requirement in the Code that all new utility lines be installed underground. The installation will not affect or change the appearance of the structure, nor will it cause any negative visual impacts to the surrounding properties.

**Consistency with the Code:**

Since the proposed wall is an addition to the property that will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of any structures, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit** – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

**PHOTO OF THE PROPERTY FROM THE PARKING LOT TO THE SOUTH**





# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: [ ]

Maps | Legend

### Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

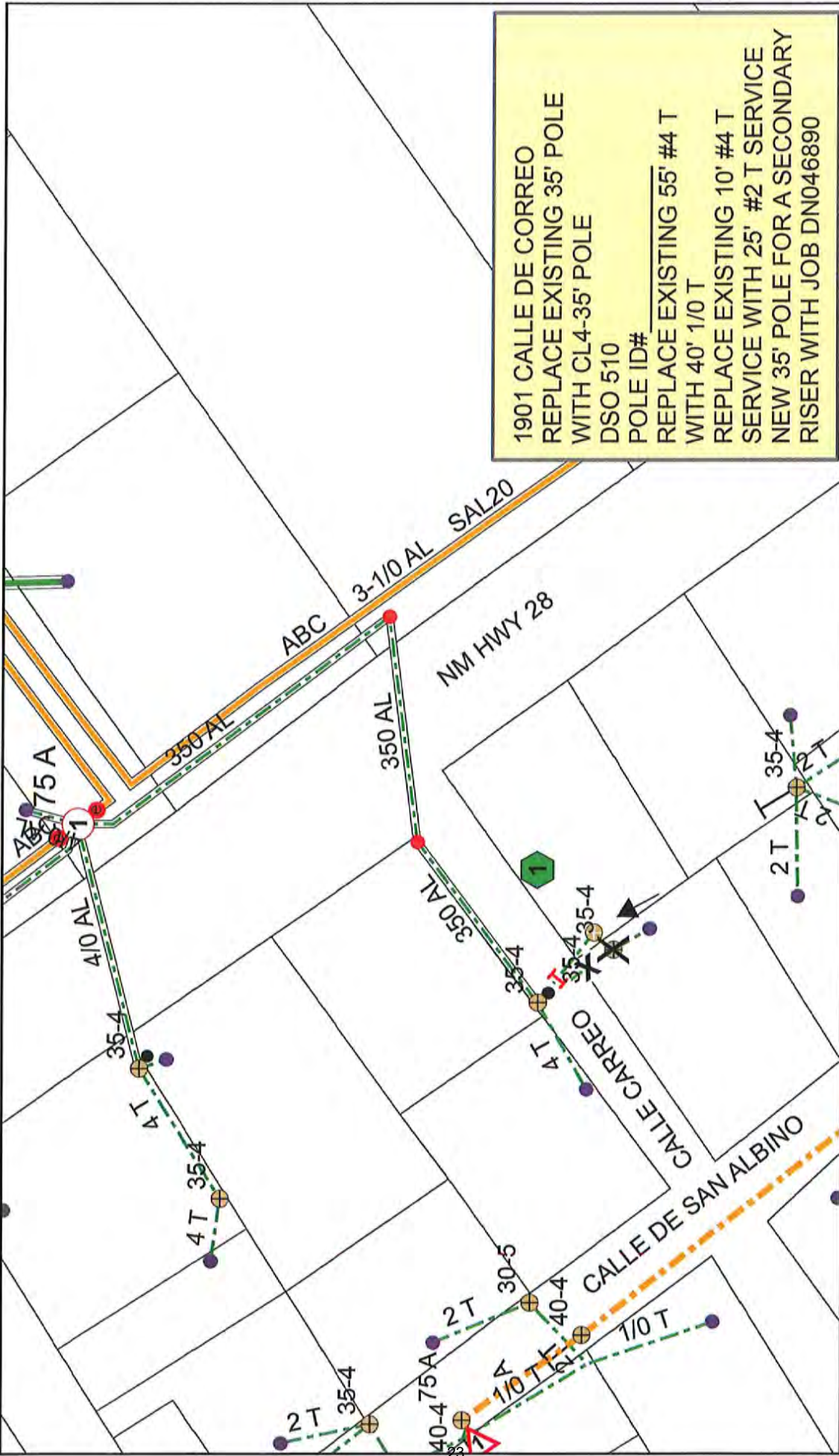
City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400376](#)  
Parcel Number: 4006137296464  
Owner: BLACK RAT TATTOO LLC  
Mail Address: 439 LINDA VISTA RD  
Subdivision:  
Property Address: CALLE DE CORREO  
Acres: 0





1901 CALLE DE CORREO  
 REPLACE EXISTING 35' POLE  
 WITH CL4-35' POLE  
 DSO 510  
 POLE ID#  
 REPLACE EXISTING 55' #4 T  
 WITH 40' 1/0 T  
 REPLACE EXISTING 10' #4 T  
 SERVICE WITH 25' #2 T SERVICE  
 NEW 35' POLE FOR A SECONDARY  
 RISER WITH JOB DN046890



Planner: Jerry Ortega  
 Planner Phone: 575-642-1769  
 Planner Cell:  
 Customer: RAVIS ENGINEERING (CALLE DE CORREO & AVENIDA DE SAN ALBINO)  
 Customer Phone: 9152604021010

BLACK RAT TATTOO  
 1901 CALLE DE CORREO, MESILLA, NEW MEXICO

Work Order #: DN046882  
 Tax District: 501  
 Feeder: SAL20

23S-01E-25-... /



1 inch = 40 feet

**TOWN OF MESILLA  
ZONING APPROVAL**

**OFFICIAL USE ONLY:**  
Case # 061014  
Fee \$ 22.50

**PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061014 ZONE: HC CODE: RHC APPLICATION DATE: 2/7/20

Brittany Bloch  
Name of Property Owner  
439 Linda Vista Rd Las Cruces  
Property Owner's Mailing Address City  
575-526-1590  
Property Owner's Telephone Number  
NM 88005  
State Zip Code  
FREYJA 2012 @ zotto.com  
Property Owner's E-mail Address  
RES Construction  
Contractor's Name & Address (If none, indicate Self)  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 1901 Calle de Correa  
Description of Proposed Work: Electric Extension underground from pole to property  
Estimated Cost: \$ 7,300  
Signature of Applicant: [Signature] Date: 7 Feb 2020  
Signature of property owner: [Signature]

**With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

**FOR OFFICIAL USE ONLY**

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED:  YES \_\_\_ NO \_\_\_ SEE CONDITIONS

CONDITIONS: CID PERMIT REQUIRED

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: 2/7/20

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. Site Plan with dimensions and details.
  3. Foundation plan with details.
  4. Floor plan showing rooms, their uses and dimensions.
  5. Cross section of walls
  6. Roof and floor framing plan
  8. Proof of legal access to the property.
  9. Drainage plan.
  10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  12. Proof of legal access to the property.
  13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL  
BUILDING PERMIT REQUEST CASE 061015  
[PZHAC CONSENT AGENDA – 3/2/20]**

**Item:**

**Case 061015** – 1401 West Boutz Road, submitted by Lori and Xavier Jurado; a request for a zoning permit to allow the installation of a 6-foot high rock wall and landscaping on a residential property at this address. Zoned: Historical Residential (HR)

**Description of Work Done:**

The applicant would like to install a five-foot eleven-inch high pipe rock wall around the property at this address in order to provide a barrier to the property from the surrounding farm and to limit access to the property. The wall will be very similar to other rock walls built through-out Town.

**Consistency with the Code:**

Since the proposed wall is an addition to the property that will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of any structures, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit** – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

**Additionally, at the regular meeting of the PZHAC on August 7, 2018; the PZHAC voted to allow Staff to administratively approve zoning permits for fences and rock walls that are not part of a structure in the RF, RA, and R-1 zones, provided the fence or wall meets all requirements of the Code.**

**PHOTO OF THE PROPERTY FROM THE DRIVEWAY TO THE DWELLING**



# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: [ ]

Maps

Legend

### Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400960](#)

Parcel Number: 4006137464372

Owner: JURADO XAVIER A TRUSTEES

Mail Address: 2102 STITHES RD

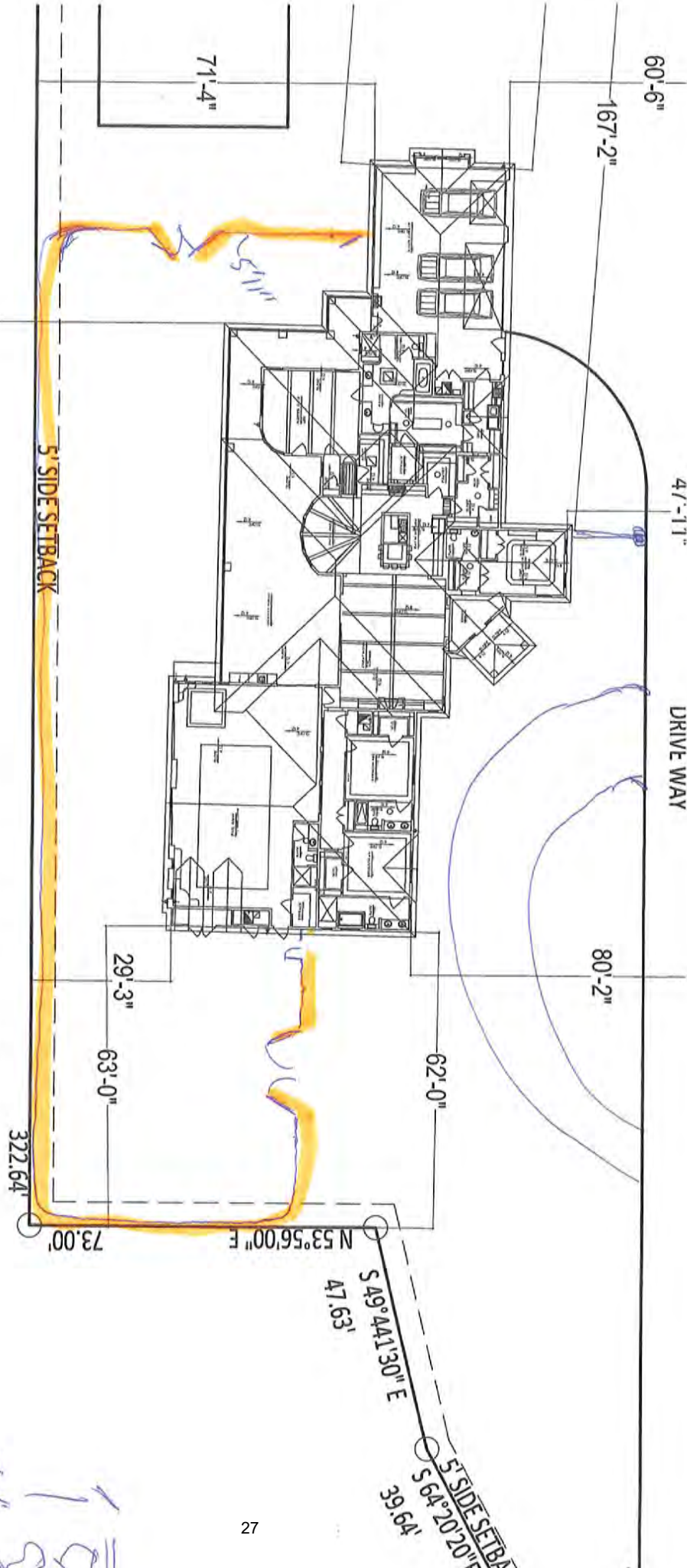
Subdivision: JOHN SCHAEFER

SUMMARY SUBDIVISION (BK 17 PG 74 - 9115092)

Property Address: 1401 W BOUTZ RD

Acres: 1.35





SCALE 1" = 20'-0"

SITE PLAN

1401 BOUTZ ROAD

LAS CRUCES, NEW MEXICO,

88007

**TOWN OF MESILLA  
ZONING APPROVAL**

**OFFICIAL USE ONLY:**  
Case # 061015  
Fee \$ 130.00

**PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061015 ZONE: RF CODE: 41 APPLICATION DATE: 2/6/20

Lori & Xavier Jurado 575-644-8954  
Name of Property Owner Property Owner's Telephone Number

2102 Stithes Rd Las Cruces Nm 88005  
Property Owner's Mailing Address City State Zip Code

Xjurado@juradoinc.com  
Property Owner's E-mail Address

Planet Development Co Inc / Gary Rogers PO Box 598 Las Cruces NM 88033  
Contractor's Name & Address (If none, indicate Self)

575-649-6500 202036857 93348  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 1401 W. Boutz Rd

Description of Proposed Work: Install A 5'10" Rock wall For BACK yard of House And Landscaping

\$ \_\_\_\_\_ 4000 2/6/2020  
Estimated Cost Signature of Applicant Date

Signature of property owner: \_\_\_\_\_

**With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

**FOR OFFICIAL USE ONLY**

**PZHAC**  Administrative Approval **BOT**  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES \_\_\_ NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES  NO \_\_\_ SEE CONDITIONS

CONDITIONS: ADMIN. APPROVAL ALLOWED BY PZHAC 8/7/12  
AL

PERMISSION ISSUED DENIED BY: [Signature] ISSUE DATE: 2/11/20

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL  
BUILDING PERMIT REQUEST CASE 061018  
[PZHAC CONSENT AGENDA – 3/2/20]**

**Item:**

**Case 061018** – 2557 Calle de Parian, submitted by Andrea Bryan; a request for a zoning permit to allow the installation of photovoltaic cells on the roof of a dwelling at this address. Zoned: Historical Residential (HR)

**Description of Work Done:**

The applicant intends to install photo-voltaic panels on the roof of a dwelling at this address. This is a flat roof and the panels will not be seen from the adjacent street. The panels will not have any effect on the appearance of the dwelling, and will not change the style of the dwelling, nor will there be any effects on neighboring properties.

**Consistency with the Code:**

Since this is an addition to an existing array of photo-voltaic panels that will not affect or change the appearance of the dwelling on the property, nor will it consist of any additions or changes to heated/cooled areas of the dwelling, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit** – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the community development staff may approve and issue the permit.”]

**PHOTO OF THE DWELLING FROM CALLE DE PARIAN**





# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: [ ]

Maps | Legend

### Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400461](#)  
Parcel Number: 4006138113068  
Owner: BRYAN ANDREA  
Mail Address: 3224 NE 18TH AVE  
Subdivision:  
Property Address: 2557 CALLE DE PARIAN  
Acres: 0



Scott Burns 575-202-9268

Project Manager  
scott@omsandc.com

Solar Services: Residential & Commercial Installations  
Removal & Reinstallation, Battery Backups, Inspections  
Electrical Services: Residential & Commercial Installations  
Service Upgrades, Lighting, Car Charging Stations.

Office Phone: 375-288-1792  
400 S. Compress Rd., Suite D, Las Cruces, NM 88005  
OrganMountainSolar.com



**Organ Mountain Solar**  
400 South Compress Road  
Suite D  
Las Cruces, NM 88005  
(575) 288-1792  
NM Electrical Contractor's  
License # 394801

Owner  
**Andrea Bryan**

Utility-Interactive Photovoltaic System  
System Size = 3.96 kWdc  
2557 Calle De Parlan  
Mesilla, NM 88046

DESIGNER:

**Polizois Dailis**

REV	DESCRIPTION	DATE
0	Initial Release	1/17/20

DESIGN SUMMARY

Number of Modules	12
Module Tilt Angle	10°
Module Azimuth	145°
Average Annual Shading	5.50%
Year 1 Production Estimate	7117 kWh

**SITE PLAN**  
**PV-1.0**

Existing Utility Meter /  
Main Service Disconnect & Panel  
(Outside)

QF Visible Manual Non Fusible  
AC Disconnect / REC Meter /  
AC Combiner Panel / Data Monitoring Unit  
(Outside)

Roof Mounted Array  
12 x Panasonic Modules

**SHEET NOTES**

- Exact location of equipment and conduit is subject to minor variations during installation.
- Estimated annual energy production is based on existing site conditions and the array layout. Annual variations in weather and module degradation will affect production.

**Design Approval**

I approve of this design showing all equipment and locations, and estimated production. Any change to this design may result in delays and additional costs.

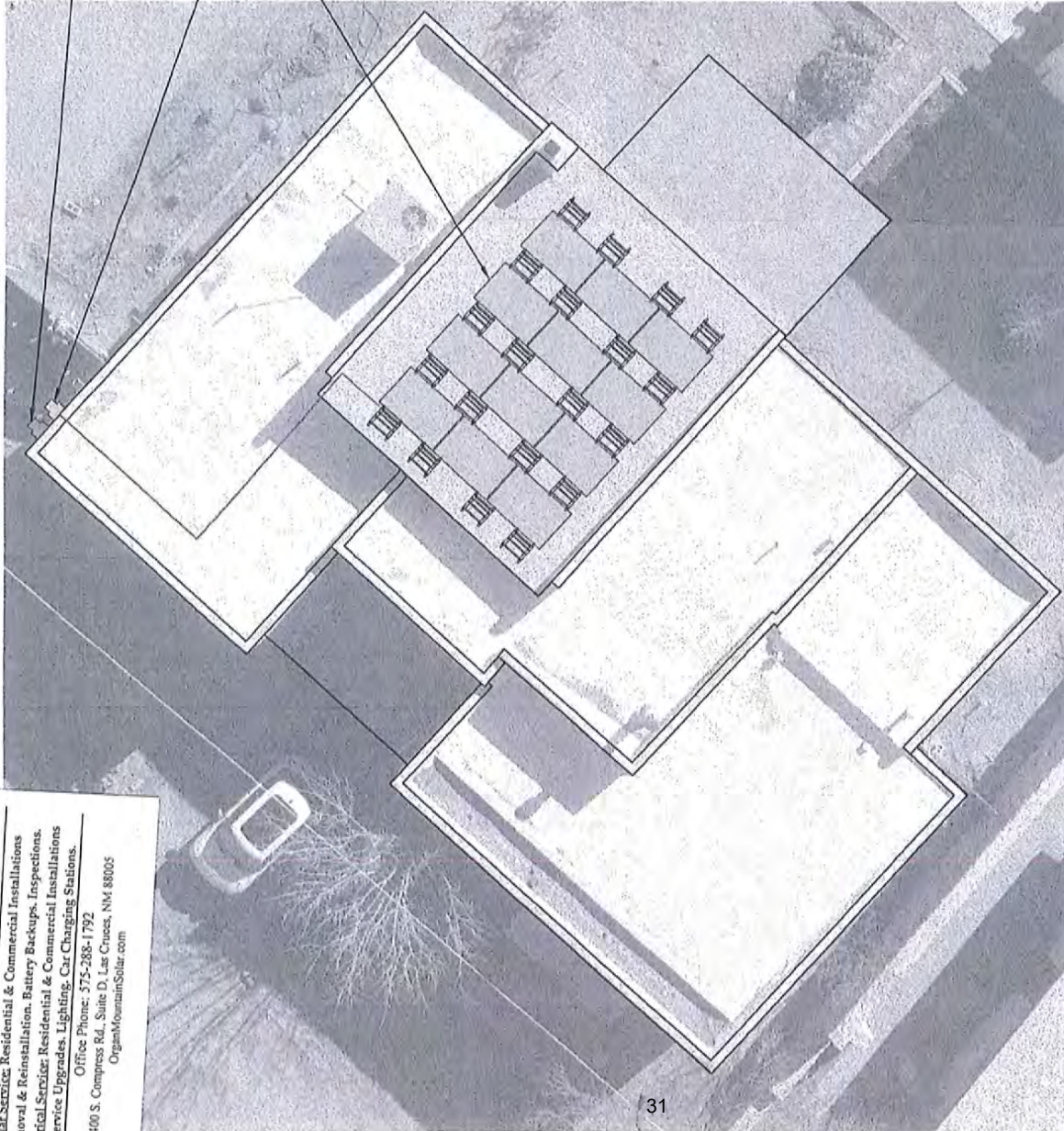
Approved By: \_\_\_\_\_

Date: \_\_\_\_\_

Installation Site



**1** Vicinity Map  
Scale: CUSTOM



**2** Site Plan  
Scale: 1/8" = 1'-0"

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:  
Case # 061018  
Fee \$ 37.50

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061018 ZONE: HR CODE: M APPLICATION DATE: 2/11/20

Name of Property Owner: Andrea Bryan Property Owner's Telephone Number: 503-975-7436

Property Owner's Mailing Address: 2557 Calle De Parian Mesilla NM 88046

Property Owner's E-mail Address: andrea 97212 @ yahoo.com

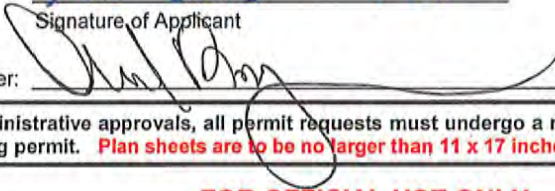
Contractor's Name & Address (If none, indicate Self): Organ Mountain Solar and Electric

Contractor's Telephone Number: 575-288-1972 Contractor's Tax ID Number: 03-401215-00-0 Contractor's License Number: 394801

Address of Proposed Work: 2557 Calle De Parian Mesilla NM 88046

Description of Proposed Work: Residential Solar install

Estimated Cost: \$ 17,840 Signature of Applicant: Scott Burns PM Date: 2-10-20

Signature of property owner: 

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: ~~YES~~ YES  NO  BOT APPROVAL REQUIRED: YES  NO

CID PERMIT/INSPECTION REQUIRED: YES  NO  SEE CONDITIONS

CONDITIONS: NO CHANGES TO STRUCTURE'S APPEARANCE  
H. Shuman

PERMISSION ISSUED/DENIED BY: H. Shuman ISSUE DATE: 2/11/20

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  - Site Plan with dimensions and details.
  - Foundation plan with details.
  - Floor plan showing rooms, their uses and dimensions.
  - Cross section of walls
  - Roof and floor framing plan
  - Proof of legal access to the property.
  - Drainage plan.
  - Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  - Proof of legal access to the property.
  - Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL  
BUILDING PERMIT REQUEST CASE 061019  
[PZHAC CONSENT AGENDA – 3/2/20]**

**Item:**

**Case 061019** – 2280 Calle Principal, submitted by Anthony Radke for San Albino Church; a request for a zoning permit to allow the restriping of a parking lot at this address as part of a Boy Scout Eagle project. Zoned: Historical Commercial (HC)

**Description of Work Done:**

The applicant would like to repaint the lines in the parking lot for the church as part of a Boy Scout Eagle project for the applicant. The parking lot is the sole use of the property. The project will not result in any changes to the parking lot or the number of parking stalls other than to address current ADA handicapped parking requirements.

**Consistency with the Code:**

Since the proposed restriping will consist of the original lines in the parking lot being repainted to freshen up the parking lot and will not result in any changes to the parking lot; and since the work will not consist of any additions or changes to heated/cooled areas of any structures, the permit may be approved administratively. [(15.15.030(B) - Application for building permit, Administrative Approval). Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

**PHOTO OF THE PARKING LOT SHOWING FADED STRIPING**



# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number Enter V

Maps

Legend

### Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400263](#)  
Parcel Number: 4006137193428  
Owner: CATHOLIC DIOCESE OF LAS CRUCES  
Mail Address: 1280 MEDPARK DR  
Subdivision:  
Property Address: CALLE DE MEDANOS  
Acres: 0



TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061019

Fee \$ 0.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061019 ZONE: UC CODE: M1 APPLICATION DATE: 2/21/20

SAN Albino Church 575 526 9349

Name of Property Owner PO Box 26 Property Owner's Telephone Number

2280 Calle Principal Mesilla NM 88046

Property Owner's Mailing Address City State Zip Code

basilica@sanalbino.org

Property Owner's E-mail Address

Self (Anthony Radtke Boy Scout Eagle Project)

Contractor's Name & Address (If none, indicate Self)

575 405 0383 - -

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2280 Calle Principal

Description of Proposed Work: Re strip parking lot. Minor landscaping.

\$ -0- Anthony v Radtke 21 - Feb - 2020

Estimated Cost Signature of Applicant Date

Signature of property owner: \_\_\_\_\_

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES  NO BOT APPROVAL REQUIRED: YES  NO

CID PERMIT/INSPECTION REQUIRED: YES  NO SEE CONDITIONS

CONDITIONS: CLEANING & STRIPING OF PARKING LOT  
(NO STRUCTURES INVOLVED)

PERMISSION ISSUED DENIED BY: Z. [Signature] ISSUE DATE: 2/24/20

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
- Site Plan with dimensions and details.
- Foundation plan with details.
- Floor plan showing rooms, their uses and dimensions.
- Cross section of walls
- Roof and floor framing plan
- Proof of legal access to the property.
- Drainage plan.
- Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
- Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
- Proof of legal access to the property.
- Other information as necessary or required by the City Code or Community Development Department (See other side.)

**ADMINISTRATIVE APPROVAL  
BUILDING PERMIT REQUEST CASE 061022  
[PZHAC CONSENT AGENDA – 3/2/20]**

**Item:**

**Case 061022** – 1948 Calle de Santiago, submitted by Lori S. Dahlstrom for “Silver Assets”; a request for a zoning permit to repair and repaint the stucco on a commercial structure at this address. Zoned: Historical Commercial (HC)

**Description of Work Done:**

The applicant will patch and repaint parts of the exterior of a commercial building at this address. The repair work will consist of patching small sections of the exterior wall where the existing stucco has become cracked or damaged by the weather, and to repaint the repaired areas to match the existing stucco. Since the repairs will not affect or change the appearance of the structure, nor will they cause any negative visual impacts to the surrounding properties, PZHAC review is not required.

**Consistency with the Code:**

Since the proposed wall is an addition to the property that will not affect or change the appearance of the property, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of any structures, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit** – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the Community Development staff may approve and issue the permit.”]

**PHOTO OF THE PROPERTY FROM CALLE DE SANTIAGO**



# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number  Enter V

Maps

Legend

### Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400332](#)  
Parcel Number: 4006137249408  
Owner: DAHLSTROM KENNETH F & LORI S TR  
Mail Address: PO BOX 139  
Subdivision:  
Property Address: 1948 CALLE DE SANTIAGO  
Acres: 0





# JESUS CANO COMPANY



## ESTIMATE

### Contact Information:

Phone: (575) 288-7246  
(575) 556-4615

Email:  
jesuscano8633@gmail.com

7050 Nevarez Ct.  
Las Cruces, New Mexico  
88012

Attention: Lori  
Title: Owner  
Company: Silver Assets  
Address: 1948 Calle De Santiago, Mesilla, New Mexico  
Zip code: 88046  
Date: 02/10/2020

Project Title: Silver Assets  
Project Description: Re-Stucco and Paint  
Company: Jesus Cano, Paint and Stucco  
Terms: Payment is due when job is complete

Description	Quantity	Unit Price	Cost
Re- Stucco Patching			\$ 1,000
Material			\$ 1,000
Paint and Labor			\$ 3,000
		Subtotal	\$ 5,000
		Tax	8.25% \$ 413
		Total	\$ 5,413

Thank you for your business, it is a pleasure working with you on your project.

1 Year warranty Included with final price.

Sincerely yours,

Jesus Cano Company, Paint and Stucco.

Customer : x \_\_\_\_\_

Company: x \_\_\_\_\_

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY:

Case # 061022

Fee \$ 100.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061022 ZONE: MC CODE: MISC APPLICATION DATE: 2/18/20

Lori S. Dahlstrom 970-372-7771  
Name of Property Owner Property Owner's Telephone Number

2000 Vista Lejano Las Cruces NM 89005  
Property Owner's Mailing Address City State Zip Code

Lori.dahlstrom@live.com  
Property Owner's E-mail Address

JESUS CANO 7050 NEVAREZ CT. LAS CRUCES NM 88012  
Contractor's Name & Address (If none, indicate Self)

575-556-4615 46-1042391 376506  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 1948 Calle de Santiago

Description of Proposed Work: repair + paint existing exterior walls

\$ 5000- Louis Dahlstrom 2/18/2020  
Estimated Cost Signature of Applicant Date

Signature of property owner: Louis Dahlstrom

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. **Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

FOR OFFICIAL USE ONLY

PZHAC  Administrative Approval BOT  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: \_\_\_ YES  NO BOT APPROVAL REQUIRED: \_\_\_ YES  NO

CID PERMIT/INSPECTION REQUIRED: \_\_\_ YES  NO \_\_\_ SEE CONDITIONS

CONDITIONS: PAINT TO BE SAME COLOR, NO CHANGES TO APPEARANCE OF STRUCTURE

PERMISSION **ISSUED** DENIED BY: Z. Shum ISSUE DATE: 2/25/20

THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Foundation plan with details.
4. Floor plan showing rooms, their uses and dimensions.
5. Cross section of walls
6. Roof and floor framing plan
8. Proof of legal access to the property.
9. Drainage plan.
10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
12. Proof of legal access to the property.
13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

PZHAC NEW BUSINESS

MARCH 2, 2020

PZHAC DECISIONS

ZONING PERMITS

**PZHAC ACTION FORM**  
**BUILDING PERMIT 061017**  
**[PZHAC REVIEW –2/18/2020]**  
**STAFF ANALYSIS**

**Item:**

**Case 061017** – 1940 Calle Pacana, submitted by Henry Newman and Lisa Belvito, a request for a zoning permit to construct an inground swim spa behind a dwelling that is under construction at this address. Zoned: Historic Residential (HR).

**Staff Analysis:**

The applicant would like to install an inground swim spa behind a dwelling that is under construction on the property (Permit 060895; approved by the BOT 5/27/19). The proposed swim spa pool will be located at the rear of the property (south side) near a covered patio and will not be visible from the street. A four-foot high rock wall will surround the spa. There will not be any new structures built in conjunction with the spa, and there will not be any structural changes to the existing dwelling associated with the proposed spa. Other properties in the area including the neighboring properties to the east, have pools, and the proposed spa will not be out of character with these properties.

The spa will need to meet CID requirements for in-ground pools, including setbacks and security requirements.

**Estimated Cost: @ \$8,000.00**

**Consistency with the Code:**

A site plan of the spa is attached, as well as photos of the subject property and other dwellings in the area. Since the proposed spa is in a Historic zoning district, the following section of the Code applies:

**18.33.080 Historical appropriateness permit.**

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

**Findings:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing an in-ground swimming spa behind a dwelling at this address.
- The PZHAC has determined that the proposed spa meets all applicable Code requirements.

**PZHAC OPTIONS:**

1. Recommend approval of the requested building permit to the BOT.
2. Recommend approval of the requested building permit to the BOT with conditions.
3. Reject the permit.

**PZHAC ACTION:**

# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: [ ]

Maps

Legend

### Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401598](#)

Parcel Number: 4006137152310

Owner: NEWMAN HENRY S

Mail Address: 1652 HEWITT AVE

Subdivision: SOMMER GROVE  
SUBDIVISION (BK 22 PG 783-784 -  
0933138)

Property Address: 1940 CALLE  
PACANA

Acres: 0





**PHOTO OF THE PROPERTY WITH DWELLING UNDER CONSTRUCTION**



**PHOTO OF THE PROPERTY AT 1930 CALLE PACANA**



**PHOTO OF THE PROPERTY AT 1910 CALLE PACANA**



**PHOTO OF THE DWELLING AT 2160 CALLE DEL NORTE FROM CALLE PACANA**





**TOWN OF MESILLA  
ZONING APPROVAL**

**OFFICIAL USE ONLY:**  
Case # 061017  
Fee \$ 22.50

**PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID**

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061017 ZONE: HRC CODE: SP APPLICATION DATE: 2/2/20

Henry Weisman + Lisa Balvito 575-636-0441  
Name of Property Owner Property Owner's Telephone Number

1652 Hewitt Ave, Saint Paul MN 55104-1123  
Property Owner's Mailing Address City State Zip Code

hsw@seagate.gov  
Property Owner's E-mail Address

Judd Singer Villa Custom Homes, 3884 Ringneck, LC, Nm 88001  
Contractor's Name & Address (If none, indicate Self)

575-650-7327 81509  
Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

1940 Calle Pacana  
Address of Proposed Work:

Install a in ground Swim Spa.  
Description of Proposed Work:  
Excavate 3' Depth + Build Shell with Cinder Block wall - Drop in Spa - Deck with  
Trex Deck approx 3' all the way around.

\$ 8,000 [Signature] 2-7-2020  
Estimated Cost Signature of Applicant Date

Signature of property owner: [Signature]

**With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.**

**FOR OFFICIAL USE ONLY**

**PZHAC**  Administrative Approval **BOT**  Approved Date: \_\_\_\_\_  
 Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  
 Disapproved Date: \_\_\_\_\_  Approved with Conditions  
 Approved with conditions

PZHAC APPROVAL REQUIRED: YES NO BOT APPROVAL REQUIRED: YES NO

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW + BOT APPROVAL REQ'D.  
CID APPROVAL REQ'D  
JA

PERMISSION ISSUED/DENIED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_

- THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **LEGALLY** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
  2. Site Plan with dimensions and details.
  3. Foundation plan with details.
  4. Floor plan showing rooms, their uses and dimensions.
  5. Cross section of walls
  6. Roof and floor framing plan
  8. Proof of legal access to the property.
  9. Drainage plan.
  10. Details of architectural style and color scheme (checklist included for Historical zones) – diagrams and elevations.
  11. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
  12. Proof of legal access to the property.
  13. Other information as necessary or required by the City Code or Community Development Department (See other side.)

**PZHAC ACTION FORM  
BUILDING PERMIT 061020  
[PZHAC REVIEW – 3/2/20]  
STAFF ANALYSIS**

**(Decision to be based on information presented during the Work Session – Item 1)**

**Item:**

**Case 061020** – 2929 Calle de Guadalupe, submitted by Jessie L. Herrera; a request to for a zoning permit to allow an addition to a dwelling at this address. Zoned: Residential Agricultural (RA)

**Staff Analysis:**

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed addition to the dwelling is acceptable to the Town as proposed and meets all applicable codes, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed addition to the dwelling that is not acceptable to the Town or does not meet all applicable codes, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

**Estimated Cost: \$90,000.00**

**Consistency with the Code:**

The PZHAC will need to determine that the addition to the dwelling will be consistent with other construction in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

**Findings:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing an addition to an existing dwelling at this address.
- The PZHAC has determined that the proposed dwelling meets all applicable Code requirements.

**PZHAC OPTIONS:**

Approve the zoning request

Approve the zoning request with conditions.

Reject the zoning request.

**PZHAC ACTION:**

**PZHAC ACTION FORM**  
**ZONING PERMITS 061009**  
**[PZHAC REVIEW – 3/2/20]**  
**STAFF ANALYSIS**

**(Decision to be based on information presented during the Work Session – Item 2)**

**Items:**

**Case 061021:** 1922 Calle de Cura, submitted by Nia Rucker; a request for a zoning permit to replace windows on a dwelling at this address. Zoned: Historical Residential (HR)

**Staff Analysis:**

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed windows will be historically and architecturally acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed windows will not be historically and architecturally acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

**Estimated Cost: \$2710.80**

**Consistency with the Code:**

The PZHAC will need to determine that the proposed windows will be consistent with other construction in the Town. The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

**Findings that need to be made:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of replacing the windows on an existing dwelling at this address.
- The PZHAC has determined that the proposed dwelling meets all applicable Code requirements.

**PZHAC OPTIONS:**

- 1. Recommend approval of the zoning permit to the BOT.**
- 2. Recommend approval of the zoning permit to the BOT with conditions.**
- 3. Reject the application.**

**PZHAC ACTION:**

**PZHAC ACTION FORM**  
**ZONING PERMIT REQUEST CASE 061024**  
**[PZHAC REVIEW – 3/2/2020]**  
**STAFF ANALYSIS**

**Item:**

**Case 061024** – 2000 Calle de Parian, submitted by Julienne Hadfield; a request for a zoning permit to renovate the second floor of a commercial building at this address to include an office and a short-term rental unit. Zoned: Historical Commercial (HR)

**Staff Analysis:**

The applicant has just acquired this property and would like to renovate the second floor of the commercial building at this address to include 1190 square feet of office space, 279 square feet of retail space, and 1006 square feet of short-term rental residential space. The office space and the retail space will be leased out on a long-term basis for each and are uses that have been allowed at this location in the past by the Historic Commercial zoning of the property. The residential use has also been allowed as an apartment for long-term rental in the past at this location. The residential portion will now be used for short-term rentals, which will make the rental space a commercial use.

Access to the second floor is by an entrance and a stairway located on the Calle de Parian side of the building. The first floor, which will not be involved in this renovation, contains a retail store and an office area. The renovations are all internal, there will not be any changes to the exterior of the structure.

Since there will not be any parking available for the office or retail spaces, any businesses that rent these spaces will be subject to the yearly parking fee that is applied to other businesses in the Town that do not have available parking. Parking for the short-term rental unit will be available in a small open garage that is located on the ground floor on Calle de San Albino. The applicant has been informed that this space will need to be dedicated to the short-term rental unit, and that there shall be signage in the parking area restricting its use to tenants of the short-term rental unit.

Since the proposed division of space on the second floor will utilize several different types of commercial occupancy (all allowed by the Code), the applicant will need to meet CID requirements for each use, including emergency egress requirements.

**Estimated Cost: \$46,690.00**

**Consistency with the Code:**

Since this construction is in a Historic zoning district, the PZHAC will need to ensure that the following sections of the Code are met

**18.40.020 Uses permitted.**

Uses permitted in the H-C zone are as follows:

Commercial uses allowed in C zone and residential uses subject to approval of the planning, zoning and historical appropriateness commission upon application and approval of a development plan.  
[Ord. 2001-04 § 1; Ord. 94-06 § 1; prior code § 11-2-11.5.B]

**18.45.020 Uses permitted (C Zone)**

A building and premises on any lot in the C zone shall be used for the following purposes only:

Office, business and professional

Hotels

*Various types of retail shops*

The applicant has been made aware that if the use of the short-term rental were to change to long-term rental, this would cause the unit to be considered residential and would require further review by the PZHAC and a possible change in occupancy according to the Building Code and the Zoning Code (Section 18.40.020 – Uses Permitted).

The PZHAC will need to determine that the request, as submitted is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

**Findings of Fact:**

- The PZHAC has jurisdiction to review and recommend approval of this request to the BOT.
- The proposed work consists of renovating the second floor of a commercial building at this address.
- The proposed uses of the second floor are compatible with the HC zoning of the property.
- The PZHAC has determined that the renovations meet all applicable Code requirements.

**PZHAC OPTIONS:**

1. Recommend approval of the application to the BOT.
2. Recommend approval of the application to the BOT with conditions.
3. Reject the application.

**PZHAC ACTION:**

**PHOTO OF THE STRUCTURE FROM CALLE DE SAN ALBINO SHOWING OPEN GARAGE AT FAR RIGHT**



# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number  Enter

Maps

Legend

### Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400335](#)  
Parcel Number: 4006137252447  
Owner: ZAPIEN JAMES JR & PAT & P  
MELENDREZ ANDRES & FREDDIE  
LUCERO  
Mail Address: 2145 AVENIDA DE  
MESILLA  
Subdivision:  
Property Address: 2000 CALLE DE  
PARIAN  
Acres: 0





# INTERIOR RENOVATION

## 2000/2030 CALLE de PARIAN

### CITY of MESILLA, NM. 88047

PROJECT TYPE : BUILDING INTERIOR RENOVATION

CLIENT:

**JULIENNE HADFIELD**  
 2000/2030 CALLE de PARIAN, MESILLA, NM. 88047  
 PHONE: 575-202-8481

**O5 ARCHITECTS**  
 5090 CHIRICAHUA TRAIL, LAS CRUCES, NEW MEXICO 88012  
 TEL: (575) 640-6233 FAX: (575) 373-4738  
 E-MAIL: o5architects@q.com

ARCHITECT:

#### CODE ANALYSIS

OCCUPANCY (2 STORY - MIXED USED)

CONSTRUCTION TYPE

INTERNATIONAL BUILDING CODE (AS ADOPTED BY CID)

UNIFORM MECHANICAL CODE (AS ADOPTED BY CID)

UNIFORM PLUMBING CODE (AS ADOPTED BY CID)

NATIONAL ELECTRICAL CODE (AS ADOPTED BY CID)

INTERNATIONAL FIRE CODE

INTERNATIONAL EXISTING BUILDING CODE (AS ADOPTED BY CID)

INTERNATIONAL ENERGY CONSERVATION CODE (AS ADOPTED BY CID)

NEW MEXICO COMMERCIAL BUILDING CODE

NATIONAL ELECTRICAL SAFETY CODE (AS ADOPTED BY CID)

NFPA 101 LIFE SAFETY CODE , AND RELATED CODES AND STANDARD

CITY OF MESILLA ORDINANCE

#### PROJECT DATA

**WORK SCOPE:**  
 RENOVATION OF EXISTING SPACES ON SECOND FLOOR TO PROVIDE NEW ACCESS AND RE-CLASSIFICATION TO RESIDENTIAL (R-2) OCCUPANCY OF AN EXISTING SPACE

PROVIDE 1-HR AREA SEPARATION BETWEEN EXISTING "B" OCCUPANCY AND NEW "R-2" OCCUPANCY TO BOTTOM OF EXISTING ROOF SHEATHING. EXISTING SEPARATION WALL IS MOSTLY 8" CMU. NEW FRAMED WALL ABOVE CMU TO CONTINUE TO EXISTING ROOF SHEATHING

EXISTING FLOOR AREA SEPARATION = 2-HR MIN.  
 EXISTING FLOOR SYSTEM BETWEEN "R2" OCCUPANCY AND "B" OCCUPANCY/"M" OCCUPANCY IS 7" MIN. CONCRETE

**SQUARE FOOTAGE:**

1ST FLOOR:	
OFFICE (B OCCUPANCY)	= 483 SQ. FT.
RETAIL (M OCCUPANCY)	= 745 SQ. FT.
TOTAL	= 1228 SQ. FT.
2ND FLOOR:	
OFFICE (B OCCUPANCY)	= 1190 SQ. FT.
RETAIL (M OCCUPANCY)	= 2719 SQ. FT.
RESIDENTIAL (R-2 OCCUPANCY)	= 1006 SQ. FT.
TOTAL	= 2475 SQ. FT.
TOTAL BUILDING AREA	= 4635 SQ. FT.
CARPET (U OCCUPANCY)	= 571 SQ. FT.
AREA OF RENOVATION	= 1519 SQ. FT.

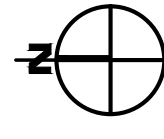
**AREA OF NEW WORK:**

APARTMENT TYPE:	R-2
AREA:	1006 SQ. FT.
OCCUPANT LOAD:	1006/200 = 6
EXIT REQUIRED:	2
EXIT PROVIDED:	2
PLUMBING REQUIRED PER IBC CHAPTER 29	
REQUIRED	PROVIDED
WATER CLOSET	---
LAVATORY	---
TUB/SHOWER	---
WASHER CONNECTION	---
2ND FLOOR OFFICE (NOT OCCUPIED):	
OCCUPANCY TYPE:	B
AREA:	1190 SQ. FT.
OCCUPANT LOAD:	1190/100 = 12
EXIT REQUIRED:	2
EXIT PROVIDED:	2
TOTAL OCCUPANT LOAD (2ND FLOOR):	12+6 = 18
EXIT REQUIRED:	2
EXIT PROVIDED:	2

#### AERIAL MAP



PROJECT LOCATION:  
 2000/2030 CALLE de PARIAN



#### GENERAL NOTES:

- The following notes apply to all drawings unless noted otherwise.
- The contractor shall visit site, verify all existing conditions, dimensions and elevations before proceeding with the work. The contractor is responsible for verifying all dimensions and elevations in field conditions. Dimensions on any question during construction documents before proceeding with the work.
- Do not scale drawings. Notes take precedence over scale.
- Verify all dimensions and elevations against the INTERNATIONAL BUILDING CODE, PLUMBING CODE, MECHANICAL CODE, NATIONAL ELECTRICAL CODE AND FIRE CODE, and ORDINANCES of the CITY OF MESILLA, NM.
- All dimensions are to face of stud, concrete, or masonry u.n.o.
- If existing facilities are related to work, the contractor shall not attempt the existing service or utilities without obtaining the owner's prior approval and instructions on each case.
- Verify with Mechanical, Electrical and Plumbing equipment manufacturer for correct installation and operation. Verify and specifications required prior to product installation.
- The contract drawings and specifications represent the finished structure. Unless otherwise shown, they do not indicate the method of construction. The Contractor shall supervise and direct and he shall be responsible for the proper installation and operation of all techniques, sequences and procedures. Observations visits to the site by the Architect or his field representatives shall not include inspection of the protective measures or the construction procedures required for the same, which are furnished by others.
- Verify all dimensions and elevations against the finished structure. The Contractor shall supervise and direct and he shall be responsible for the proper installation and operation of all techniques, sequences and procedures. Observations visits to the site by the Architect or his field representatives shall not include inspection of the protective measures or the construction procedures required for the same, which are furnished by others.
- Completion of construction is performed solely for the purpose of assisting in quality control and in achieving conformance with the contract drawings and specifications, but does not constitute a warranty of performance and shall not be construed as a guarantee of construction.
- All drawings, specifications, and other work product of the Architect for the project are instruments of service for this project only and shall remain the property of the Architect whether the project is completed or not. Release of any of the work product of the Architect to the Owner or any other party for this project or any other project without the written permission of the Architect shall be at the Owner's risk and the Owner agrees to defend, indemnify, and hold harmless the Architect from all claims, damages, and expense including Attorney's fees and costs, including reasonable attorneys' fees and costs, in connection with any claims or suits brought against the Architect by the Owner or by Others acting through the owner.
- Reuse, reproduction, or publication of these drawings without permission by any method, in whole or in part is prohibited. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restriction.

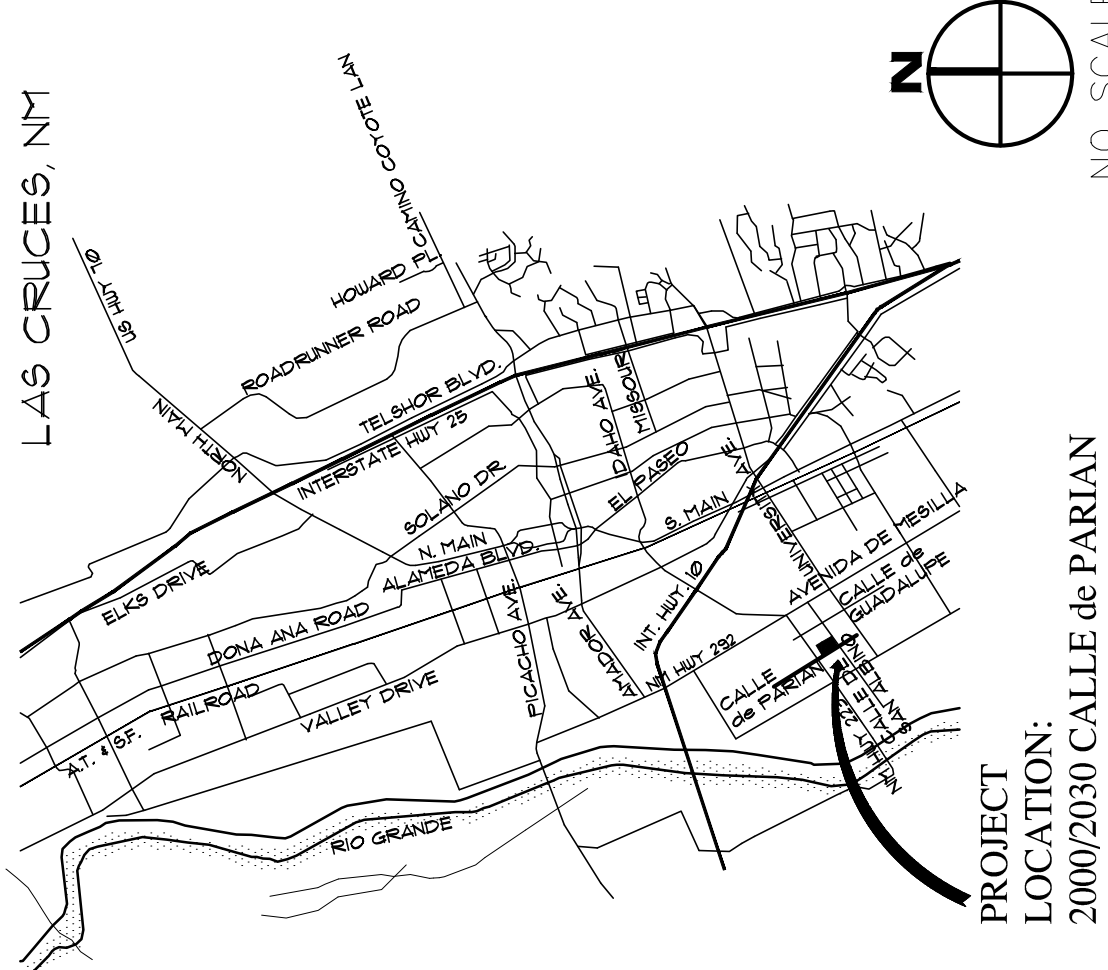
#### SHEET INDEX

T	TITLE
A101	EXISTING FLOOR PLANS
A102	PROPOSED SECOND FLOOR PLAN & DETAILS & SCHEDULE
A103	CEILING/ELECTRICAL PLAN

#### SITE DATA

THERE IS NO NEW SITE WORK IN THIS SCOPE

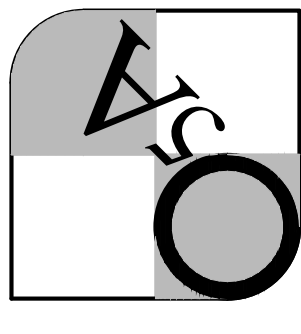
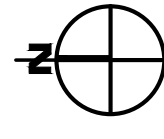
#### VICINITY MAP



#### AERIAL MAP



PROJECT LOCATION:  
 2000/2030 CALLE de PARIAN



**O5 Architects**  
 ARCHITECTURE + PLANNING

5090 CHIRICAHUA TRAIL  
 LAS CRUCES, NM 88012  
 Phone: (505) 640-6233  
 Fax: (505) 373-4738  
 Email: O5Architects@q.com

O5 ARCHITECTS EXPRESSLY RESERVES ITS RIGHTS IN THESE DRAWINGS AND ANY INSTRUMENTS OF SERVICE. NO PART OF THESE DRAWINGS OR INSTRUMENTS OF SERVICE MAY BE REPRODUCED, COPIED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF O5 ARCHITECTS.



02-07-20

PROJECT TITLE  
**BUILDING INTERIOR RENOVATION**

ADDRESS:  
 2000/2030 CALLE de PARIAN  
 CITY OF MESILLA, NM. 88047

PROJECT NO.: 14111-20

NO.	DATE	REVISION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-

SHEET TITLE  
**TITLE**

FILENAME:	14111-20-T
ISSUE:	PERMIT
DATE:	FEB. 2020
DRAWN BY:	NBO
CHECKED BY:	NBO
OWNERSHIP APPROVAL:	
SIGNATURE:	DATE
THE PLANS FOR THIS PROJECT HAVE BEEN REVIEWED BY THE OWNER'S AGENT AND APPROVED. THE PLANS AS DATED ABOVE ARE COMPLETE AND APPROVED.	

SHEET NO. **T**

### WALL TYPE LEGEND

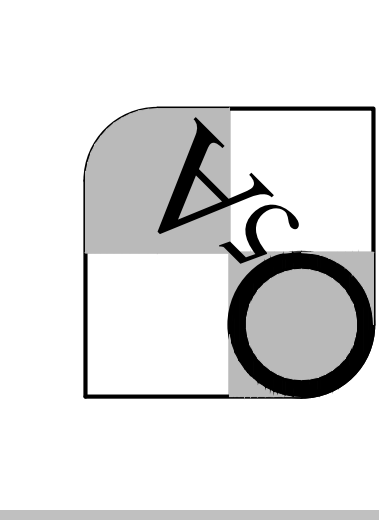
- TYPE 1: EXISTING EXTERIOR/INTERIOR WALL  
EXISTING CMU WALL TO REMAIN
- TYPE 2: EXISTING INTERIOR WALL  
EXISTING STUD WALL TO REMAIN
- TYPE 3: INTERIOR FRAME WALL (LHS SEPARATION)  
REMOVE EXISTING WOOD STUDS AND RE-FRAME WALL WITH 2x4 STUDS @ 16" O.C. INSTALL 1-5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE. PROVIDE 3" FIBERGLASS SOUND BATT INSULATION. CONTINUE WALL AND GYPSUM BOARD TO UNDER ROOF SHEATHING. SEE DETAIL 2/A102, 3/A102, 5/A102
- TYPE 4: EXISTING INTERIOR WALL (LHS SEPARATION)  
EXISTING CMU WALL - CONTRACTOR SHALL VERIFY WALL CONTINUE TO ROOF DECK. WHERE WALLS STOP AT CEILING, BUILD 2x4 WOOD STUD CRIPPLE WALL WITH 1-5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE TO ROOF DECK. SEE DETAIL 4/A102
- TYPE 5: INTERIOR FRAME WALL (LHS NEW)  
2x4 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD BOTH SIDES. 3" FIBERGLASS SOUND BATT INSULATION. EXTEND WALL TO BOTTOM OF TRUSS.
- TYPE 6: INTERIOR FRAME WALL (NEW)  
2x4 WOOD STUDS @ 16" O.C. BUILD OUT WALL WITH 5/8" GYPSUM BOARD ON OUTSIDE FACE. EXTEND WALL TO CEILING. SEE DETAIL 2/A102, 3/A102
- TYPE 7: INTERIOR NEW FRAME WALL (LHS SEPARATION)  
2x4 WOOD STUDS @ 16" O.C. WITH 1-5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE. PROVIDE 3" FIBERGLASS SOUND BATT INSULATION. CONTINUE WALL AND BOARD TO ROOF DECK. SEE DETAIL 2/A102, 3/A102, 5/A102
- TYPE 8: EXISTING WALL AS REQUIRED. VERIFY DOOR HEIGHT IN FIELD FOR OPENING  
REMOVE EXISTING WALL AS REQUIRED.

### FLOOR PLAN NOTES

1. EXISTING WALLS TO REMAIN (TYP)
2. EXISTING WINDOW TO REMAIN (TYP)
3. EXISTING DOOR TO REMAIN (TYP)
4. EXISTING ELECTRICAL SERVICE PANELS
5. EXISTING WATER HEATER TO BE REMOVED AND REPLACED - RELOCATE PER A102
6. EXISTING AREA - NO NEW WORK
7. REMOVE EXISTING DOOR AND GATE
8. REMOVE EXISTING ATTIC ACCESS LADDER AND RELOCATE PER PROPOSED PLAN ON SHEET A102
9. EXISTING WALL - REMOVE EXISTING WALL AND RE-FRAME PER WALL SCHEDULE
10. LINE OF AREA SEPARATION WALL - CONTRACTOR SHALL VERIFY WALL CONTINUE TO BOTTOM OF ROOF DECK. SEE SCHEDULE
11. EXISTING CONCRETE STAIR TO REMAIN
12. EXISTING STEEL STAIR TO REMAIN
13. REMOVE WALL FOR NEW DOOR OPENING
14. REMOVE EXISTING WINDOW
15. REMOVE WALL UP TO WINDOW HEAD AND PROVIDE SUPPORT ACROSS OPENING. PATCH WALL OPENING TO MATCH SURROUND CONCRETE BLOCK OR 2x4 STUDS WITH 1-5/8" TYPE "X" GYPSUM ON BOTH SIDE AND 3" SOUND BATT
16. REMOVE WINDOW INFILL OPENING WITH MIN 4" THICK SOLID CONCRETE BLOCK OR 2x4 STUDS WITH 1-5/8" TYPE "X" GYPSUM ON BOTH SIDE AND 3" SOUND BATT

### GENERAL NOTES

1. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF GYPSUM BOARD. DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD.
2. CONTRACTOR SHALL VERIFY EXISTING OVERALL DIMENSIONS FOR CONFORMANCE WITH PLANS BEFORE PROCEEDING WITH WORK
3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO DEMOLITION & NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
4. ALL EXISTING FIXTURES AND STRUCTURE SHOWN ARE FOR ILLUSTRATION ONLY AND MAY NOT BE CONSISTENT WITH WHAT AT THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING ELEMENTS AT SITE THAT ARE NOT PART OF PROJECT SCOPE FOR CONFORMANCE TO ALL APPLICABLE CODE.
5. REMOVE ALL ELECTRICAL OUTLETS, SWITCHES, CONDUIT, ETC. IN WALLS TO BE REMOVED. ALL WIRING SHALL BE REMOVED BACK TO THE PANELS OR TO A POINT WHERE IT BECOMES INACCESSIBLE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED ELECTRICAL CODE FOR NEW WORK
6. CONTRACTOR SHALL REMOVE EXISTING WATER CLOSET, URINAL AND LAVATORY COMPLETELY WHERE REQUIRED. CAP PLUMBING BELOW FLOOR OR CEILING OR AT ENTRY TO GRAVE AS REQUIRED. COORDINATE W/ NEW PLUMBING REQUIREMENTS. EXISTING WASTE LINE SHALL REMAIN IN SERVICE AT ALL TIMES. ABANDONED VENTS SHALL BE CAPPED ABOVE THE CEILING. NEW VENT SIZES SHALL MATCH EXISTING AND PER CODE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED PLUMBING CODE FOR NEW WORK



**O5 Architects**  
ARCHITECTURE + PLANNING  
5090 CHRICAMA TRAIL  
LAS CRUCES, NM 88012  
Phone: (505) 640-6293  
Fax: (505) 378-4783  
Email: O5Architects@q.com

OS ARCHITECTS EXPRESSLY RESERVES ITS RIGHTS IN THESE DRAWINGS AND ANY OTHER DOCUMENTS. THESE DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF OS ARCHITECTS.



02-07-20

PROJECT TITLE  
**BUILDING INTERIOR RENOVATION**

ADDRESS:  
20000 CALLE 49 PRIAN  
CITY OF MESILLA, NM, 88047

PROJECT NO.: 14111-20

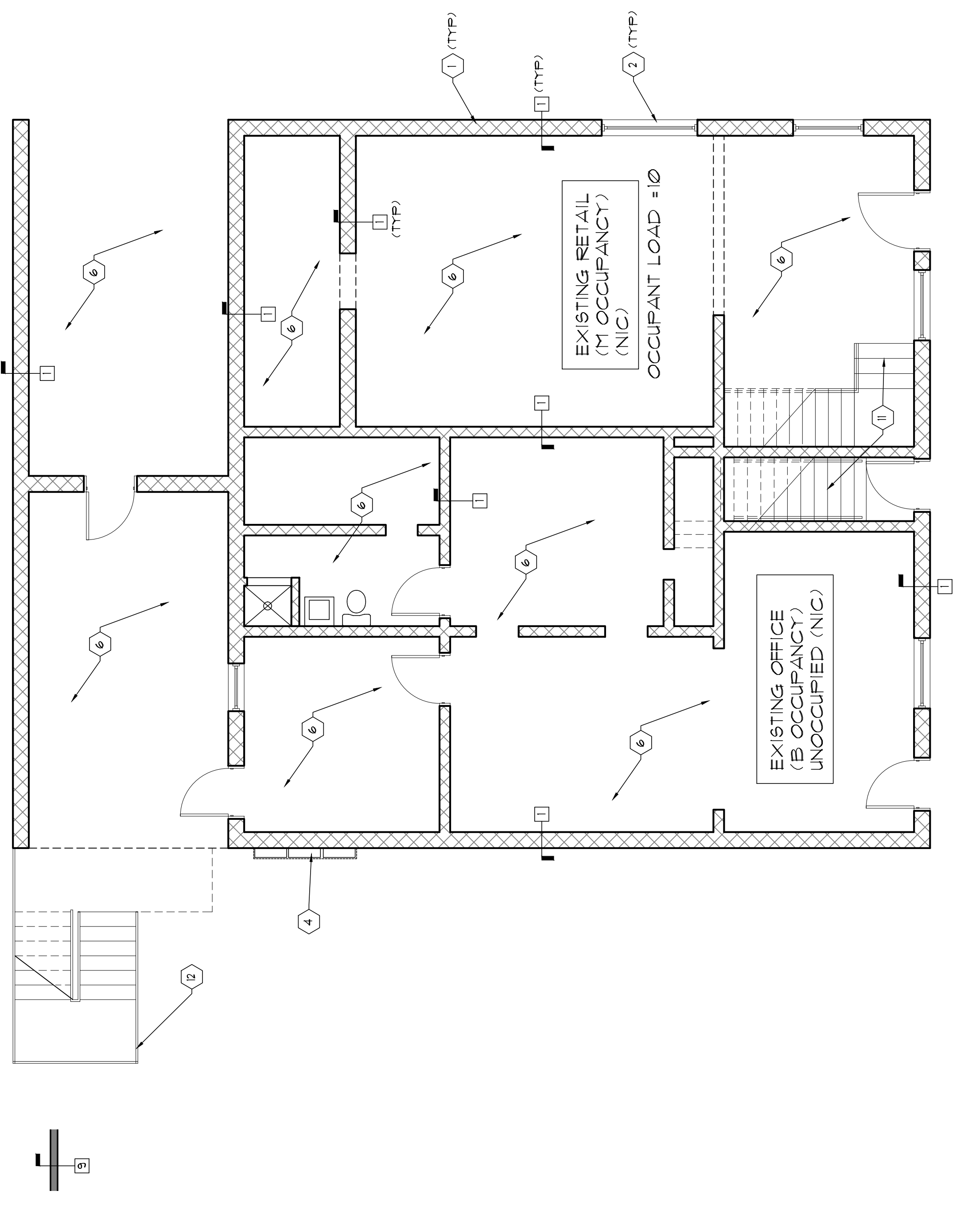
NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		

SHEET TITLE  
**EXISTING FLOOR PLANS**

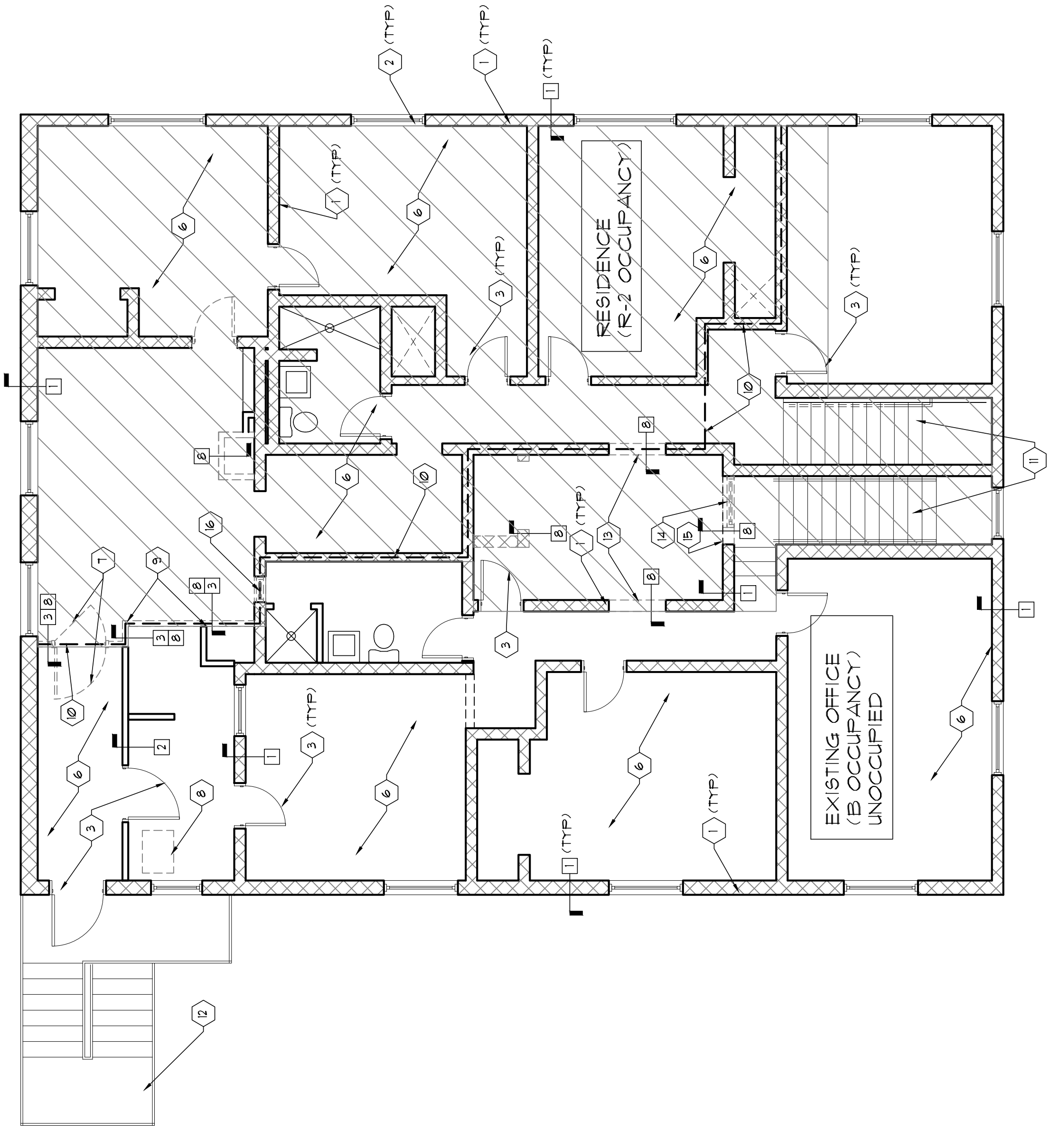
FILENAME: 14111-20-A101  
ISSUE: PERMIT  
DATE: FEB. 2020  
DRAWN BY: NBO  
CHECKED BY: NBO  
OWNERSHIP APPROVAL:

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
THE PLANS FOR THIS PROJECT HAVE BEEN PREPARED BY THE ENGINEER OR ARCHITECT AND I AM A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT AS REQUIRED. THE PLANS AS DATED ABOVE ARE CORRECT AND APPROVED.

SHEET NO.  
**A101**



**1** EXISTING FIRST FLOOR PLAN (NIC)  
SCALE: 1/4" = 1'-0"

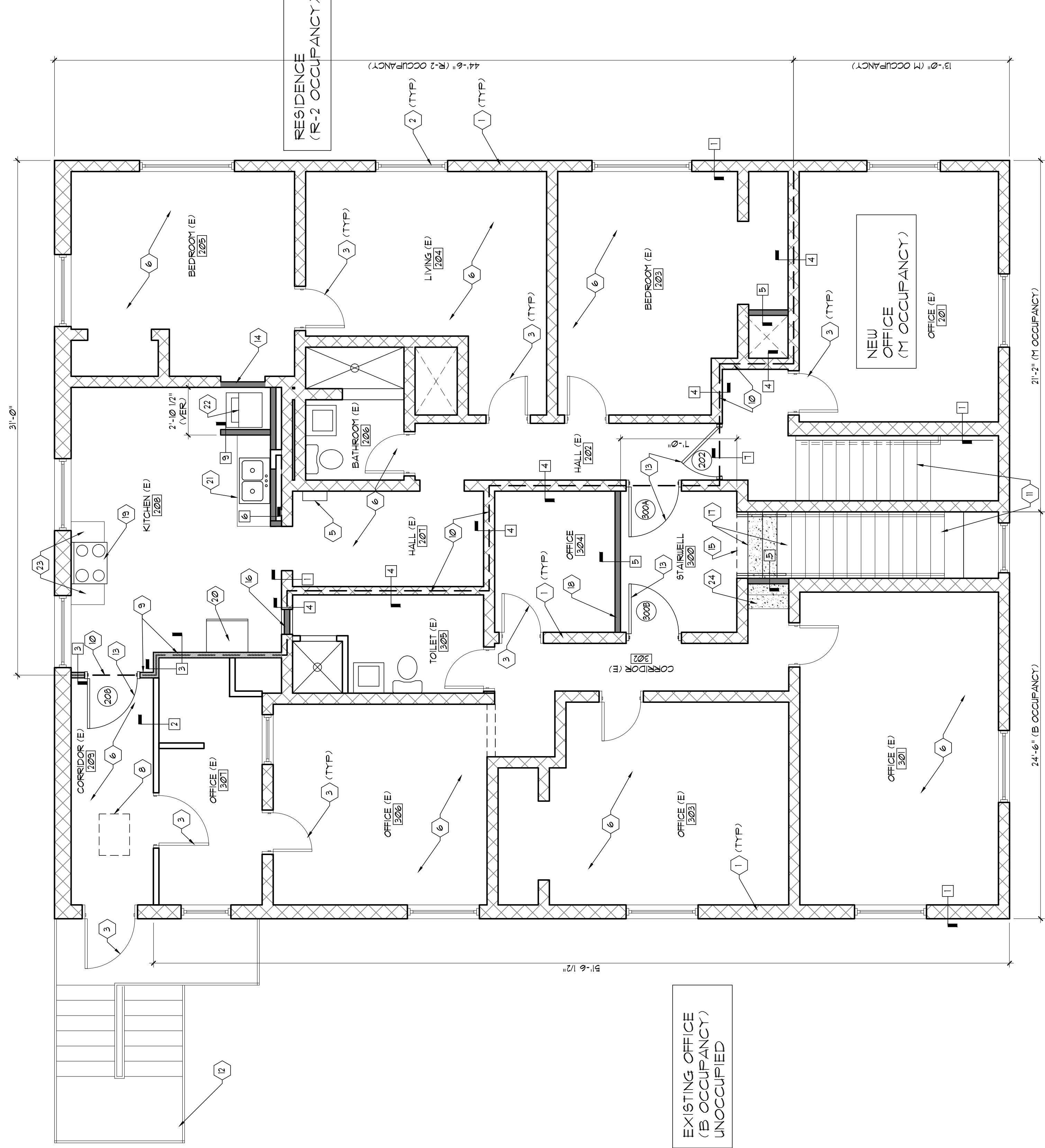


**2** EXISTING SECOND FLOOR/DEMO PLAN  
SCALE: 1/4" = 1'-0"

NOTE:  
ALL ELEMENTS AND SPACES ARE EXISTING UNLESS NOTED OTHERWISE.  
ALL WALLS SHOWN ARE FOR ILLUSTRATION ONLY AND MIGHT BE DIFFERENT IN FIELD. CONTRACTOR SHALL VERIFY AFFECTED WALLS IN FIELD







**1 PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

NOTE:  
ALL ELEMENTS AND SPACES ARE EXISTING UNLESS NOTED OTHERWISE.  
ALL WALLS SHOWN ARE FOR ILLUSTRATION ONLY AND MIGHT BE DIFFERENT  
IN FIELD. CONTRACTOR SHALL VERIFY AFFECTED WALLS IN FIELD

DOOR SCHEDULE		DOOR TYPES		FRAME TYPE					
MARK	TYPE	WD	HGT	GLAZ	MAT.	THK	RTG	HARDWARE	RPKS
202	D1	3'-0"	6'-8"	N	SC	1 1/2"	B-241	60 MIN	-
300A	D1	3'-0"	6'-8"	N	SC	1 1/2"	B-241	60 MIN	-
300B	D1	3'-0"	6'-8"	N	SC	1 1/2"	B-241	45 MIN	-

DOOR	SIZE	FRAME
D1	3'-0" x 6'-8"	F1
D2	3'-0" x 6'-8"	F2

NOTE:  
1. CONTRACTOR SHALL PROVIDE HARDWARE THAT MEETS IBC & SECTION 404.2.6 OF THE 2003 ANS-I/ASTM1 HANDLES, PULLS, LATCHES AND OTHER OPERABLE PARTS SHALL COMPLY TO ALL APPLICABLE CODE REQUIREMENT.  
2. CONTRACTOR SHALL PROVIDE HARDWARE TO ALL BATED DOORS PER IBC AND ALL REQUIRED CODES. THE DOORS SHALL HAVE ALL REQUIRED LABELING.  
3. CONTRACTOR SHALL VERIFY WITH OWNER FOR LOCKING AND KEYING REQUIREMENTS

**GENERAL NOTES**

- DIMENSIONS TO EXISTING WALLS ARE TO FACE OF GYPSUM BOARD. DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD.
- CONTRACTOR SHALL VERIFY EXISTING OVERALL DIMENSIONS FOR CONFORMANCE WITH PLANS BEFORE PROCEEDING WITH WORK
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO & DURING DEMOLITION & NOTIFYING ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- ALL EXISTING FIXTURES AND STRUCTURE SHOWN ARE FOR ILLUSTRATION ONLY AND MAY NOT BE CONSISTENT WITH WHAT AT THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING ELEMENTS AT SITE THAT ARE NOT PART OF PROJECT SCOPE FOR CONFORMANCE TO ALL APPLICABLE CODE.
- REMOVE ALL ELECTRICAL OUTLETS, SWITCHES, CONDUIT ETC IN WALLS TO BE REMOVED. ALL WIRES SHALL BE REMOVED BACK TO THE PANELS OR TO A POINT WHERE IT BECOMES INACCESSIBLE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED ELECTRICAL CODE FOR NEW WORK
- CONTRACTOR SHALL REMOVE EXISTING WATERS CLOSET, URINAL AND LAVATORY COMPLETELY WHERE REQUIRED. CAP PLUMBING BELOW FLOOR OR CEILING OR AT ENTRY TO SPACE AS REQUIRED. COORDINATE W/ NEW PLUMBING REQUIREMENTS. EXISTING WASTE LINE SHALL REMAIN IN SERVICE AT ALL TIMES. ALL NEW WASTE LINE SIZES SHALL BE PER CODE. ALL ABANDONED VENTS SHALL BE CAPPED PER CODE. CONTRACTOR SHALL VERIFY ALL MATCH REQUIREMENTS AND PROVIDE CONTRACTOR SHALL CONFORM TO ALL REQUIRED PLUMBING AND PLUMBING CODE FOR NEW WORK

**FLOOR PLAN NOTES**

- EXISTING WALLS TO REMAIN (TYP)
- EXISTING WINDOW TO REMAIN (TYP)
- EXISTING DOOR TO REMAIN (TYP)
- EXISTING ELECTRICAL SERVICE PANELS
- NEW LOCATION OF RINNAI (REV V21528FRID-UB) TANKLESS WATER HEATER ON WALL RECONNECT ALL PLUMBING AND VENT PER MANUFACTURER'S SPECS
- EXISTING AREA - NO NEW WORK
- NOT USED
- LOCATION OF NEW ROOF ACCESS PULL DOWN LADDER - MATCH EXISTING
- EXISTING WALL - REMOVE EXISTING WALL AND RE-FRAME PER WALL SCHEDULE
- LINE OF 2-HR AREA SEPARATION WALL - CONTRACTOR SHALL VERIFY WALL CONTINUE TO BOTTOM OF ROOF DECK SEE SCHEDULE
- EXISTING CONCRETE STAIR TO REMAIN
- EXISTING STEEL STAIR TO REMAIN
- NEW DOOR - SEE SCHEDULE
- FILL IN DOOR OPENING WITH 2x4 STUD WALL WITH 5/8" GYPSUM BOARD ON EACH SIDE
- REMOVE WALL UP TO WINDOW HEAD AND PROVIDE SUPPORT ACROSS OPENING. PATCH WALL OPENING TO MATCH SURROUND
- REMOVE WINDOW INFILL OPENING WITH MIN 4" THICK SOLID CONCRETE BLOCK OR 2x4 STUDS WITH 2 5/8" TYPE "X" GYPSUM ON BOTH SIDE AND 3" SOUND BATT
- NEW LIGHTWEIGHT CONCRETE STAIR BUILT OVER EXISTING LANDING - 2 TREADS AND 3 RISERS EQUALLY SPACED TO MATCH EXISTING
- NEW STUD WALL - SEE SCHEDULE
- LOCATION OF RANGE WITH HOOD VENTED TO OUTSIDE
- LOCATION OF REFRIGERATOR
- EXISTING PLUMBING IN WALL
- LOCATION OF STACKED WASHER/DRYER. CONTRACTOR TO PROVIDE ALL REQUIRED ELECTRICAL AND PLUMBING AND LAUNDRY BOX WITH ARRESTOR TO WASHER. CONNECT DRAIN TO EXISTING SEWER LINE IN THE WALL.
- LOCATION OF EXISTING BASE CABINET
- NEW FLOOR OVER EXISTING STEPS - 2" LIGHTWEIGHT CONCRETE OVER 3/4" PLYWOOD SHEATHING OVER WOOD FRAMING
- CONTRACTOR SHALL VERIFY ALL FLOOR PENETRATIONS THRU AREA WHERE FLOOR PENETRATIONS ARE PROTECTED AND ALL DUCTS HAVE REQUIRED DAMPER PER IBC

**WALL TYPE LEGEND**

- EXISTING EXTERIOR/INTERIOR WALL EXISTING CMU WALL TO REMAIN
- EXISTING INTERIOR WALL EXISTING STUD WALL TO REMAIN
- INTERIOR FRAME WALL (1-HR SEPARATION) REMOVE EXISTING WOOD STUDS AND RE-FRAME WALL WITH 2x4 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE. PROVIDE 3" FIBERGLASS SOUND BATT INSULATION. CONTINUE WALL AND GYPSUM BOARD TO UNDER ROOF SHEATHING. SEE DETAIL 7/A102, 3/A102, 5/A102
- EXISTING INTERIOR WALL (1-HR SEPARATION) EXISTING CMU WALL. CONTRACTOR SHALL VERIFY WALL CONTINUE TO ROOF DECK WHERE WALLS STOP AT CEILING. BUILD 2x4 WOOD STUD CRIPPLE WALL WITH 1- 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE TO ROOF DECK. SEE DETAIL 4/A102
- INTERIOR FRAME WALL (1-HR NEW) 2x4 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD BOTH SIDES 3" FIBERGLASS SOUND BATT INSULATION. EXTEND WALL TO BOTTOM OF TRUSS.
- INTERIOR FRAME WALL (NEW) 2x4 WOOD STUDS @ 16" O.C. BUILD OUT WALL WITH 5/8" GYPSUM BOARD ON OUTSIDE FACE. EXTEND WALL TO CEILING. SEE DETAIL 7/A102, 3/A102
- INTERIOR NEW FRAME WALL (1-HR SEPARATION) 2x4 WOOD STUDS @ 16" O.C. WITH 1- 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE. PROVIDE 3" FIBERGLASS SOUND BATT INSULATION. CONTINUE WALL AND BOARD TO ROOF DECK. SEE DETAIL 7/A102, 3/A102, 5/A102
- EXISTING TO BE REMOVED REMOVE EXISTING WALL AS REQUIRED. VERIFY DOOR HEIGHT IN FIELD FOR OPENING.
- INTERIOR FRAME WALL 2x4 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES. EXTEND WALL TO BOTTOM OF TRUSS.

**WALL @ ROOF DETAIL**  
SCALE: 1-1/2" = 1'-0"

NOTE: PROVIDE MARKING AND IDENTIFICATION ON FIRE RATED WALL PER IBC SECTION 705.7 AT ACCESSIBLE ATTIC SPACE

**WALL @ ROOF DETAIL**  
SCALE: 1-1/2" = 1'-0"

NOTE: PROVIDE MARKING AND IDENTIFICATION ON FIRE RATED WALL PER IBC SECTION 705.7 AT ACCESSIBLE ATTIC SPACE

**WALL @ ROOF DETAIL**  
SCALE: 1-1/2" = 1'-0"

NOTE: PROVIDE MARKING AND IDENTIFICATION ON FIRE RATED WALL PER IBC SECTION 705.7 AT ACCESSIBLE ATTIC SPACE

**O5 Architects**  
ARCHITECTURE + PLANNING

5040 CHRICAMA TRAIL  
LAS CRUCES, NM 88012  
Phone: (505) 640-6233  
Fax: (505) 378-4739  
Email: O5Architects@o5.com

ON ARCHITECT'S EXPRESSLY RESERVES ITS PROPERTY RIGHTS IN THESE DRAWINGS AND NOT BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF O5 ARCHITECTS.

STATE OF NEW MEXICO  
WHARRED B. DRONWIN  
No. 4788  
REGISTERED ARCHITECT

02-07-20

PROJECT TITLE  
**BUILDING INTERIOR RENOVATION**

ADDRESS  
2000 ROSO CALLE 48 BRIAN  
CITY OF MESILLA, NM, 88047

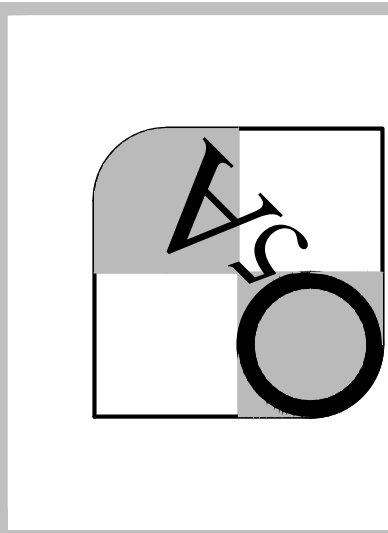
PROJECT NO.: 14111-20

NO.	DATE	REVISION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-

SHEET TITLE  
**FLOOR PLAN/ DETAILS/ SCHEDULE**

FILENAME: 14111-20-A101  
ISSUE: PERMIT  
DATE: FEB. 2020  
DRAWN BY: NBO  
CHECKED BY: NBO  
OWNERSHIP APPROVAL:  
SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
NOTE: THE PLANS FOR THIS PROJECT HAVE BEEN REVIEWED BY THE ENGINEER'S AGENT AND APPROVED FOR THE PROJECT AS SHOWN. THE PLANS AS DATED ABOVE ARE CORRECT AND APPROVED.

SHEET NO. **A102**



**O5 Architects**  
ARCHITECTURE + PLANNING

5090 CHRICAMA TRAIL  
LAS CRUCES, NM 88012  
Phone: (505) 640-6233  
Fax: (505) 373-4193  
Email: O5Architects@aol.com

O5 ARCHITECTS EXPRESSLY RESERVES ITS RIGHTS IN THESE DRAWINGS AND ANY REVISIONS THEREON. NO PART OF THESE DRAWINGS OR ANY REVISIONS THEREON MAY BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE USED IN ANY MANNER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF O5 ARCHITECTS.



02-07-20

PROJECT TITLE  
**BUILDING INTERIOR  
RENOVATION**

ADDRESS:  
20000 CALLE 498 BRIAN  
CITY OF MESILLA, NM, 88047

PROJECT NO.: 141-11-20

NO.	DATE	REVISION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-

SHEET TITLE  
**CEILING/  
ELECTRICAL  
PLAN**

FILENAME:	141-11-20-A101
ISSUE:	PERMIT
DATE:	FEB. 2020
DRAWN BY:	NBO
CHECKED BY:	NBO
OWNERSHIP APPROVAL:	

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
THE PLANS FOR THIS PROJECT HAVE BEEN PREPARED BY THE ENGINEER'S AGENT AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY. THE PLANS AS DATED ABOVE ARE CORRECT AND APPROVED.

SHEET NO.  
**A103**

**GENERAL NOTES**

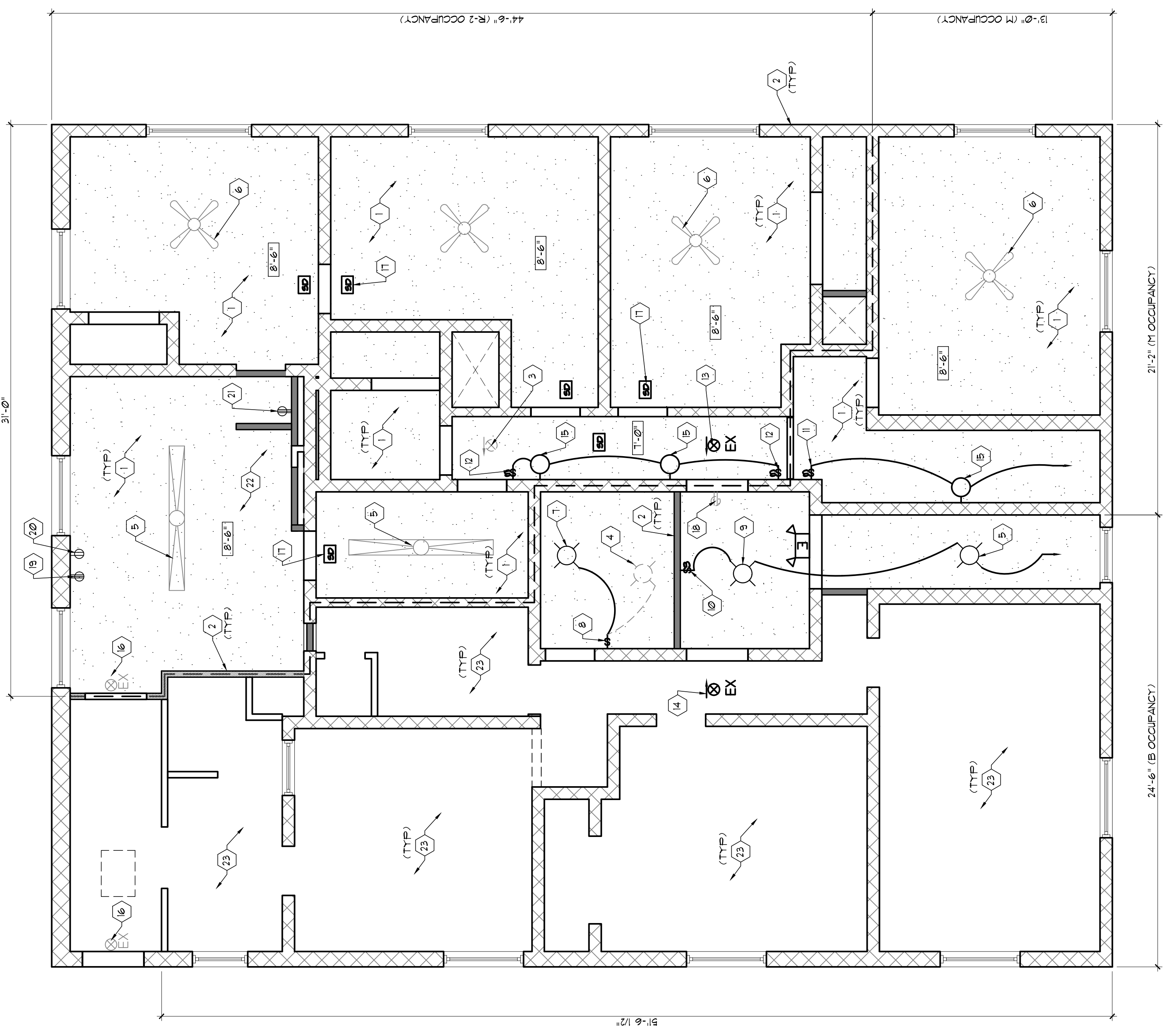
- DIMENSIONS TO EXISTING WALLS ARE TO FACE OF GYPSUM BOARD, DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD.
- CONTRACTOR SHALL VERIFY EXISTING OVERALL DIMENSIONS FOR CONFORMANCE WITH PLANS BEFORE PROCEEDING WITH WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO DEMOLITION & NOTIFYING ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- ALL EXISTING FIXTURES AND STRUCTURE SHOWN ARE FOR ILLUSTRATION ONLY AND MAY NOT BE CONSISTENT WITH WHAT IS AT THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS THAT ARE NOT PART OF PROJECT SCOPE FOR CONFORMANCE TO ALL APPLICABLE CODE.
- REMOVE ALL ELECTRICAL OUTLETS, SWITCHES, CONDUIT, ETC. IN WALLS TO BE REMOVED. ALL WIRING SHALL BE REMOVED BACK TO THE PANELS OR TO A POINT WHERE IT BECOMES INACCESSIBLE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED ELECTRICAL CODE FOR NEW WORK.
- CONTRACTOR SHALL REMOVE EXISTING WATER CLOSET, URINAL AND LAVATORY COMPLETELY WHERE REQUIRED. CAP PLUMBING BELOW FLOOR OR CEILING OR AT ENTRY TO SPACE AS REQUIRED. COORDINATE W/ NEW PLUMBING REQUIREMENTS. EXISTING WASTE LINE SHALL REMAIN IN SERVICE AT ALL TIMES. ALL NEW WASTE LINE SIZES SHALL BE PER CODE. ALL PLUMBING SHALL BE INSTALLED ABOVE THE FINISH FLOOR AND SHALL BE INSTALLED TO MATCH EXISTING AND PER CODE. CONTRACTOR SHALL CONFORM TO ALL REQUIRED PLUMBING CODE FOR NEW WORK.

**CEILING NOTES**

- EXISTING CEMENT PLASTER WITH METAL LATH CEILING - CONTRACTOR SHALL REPAIR DAMAGED OR AFFECTED CEILING TO MATCH EXISTING AND PAINT
- EXISTING OR NEW WALL - TYPICAL SEE WALL SCHEDULE ON SHEET A02
- REMOVE AND RELOCATE EXISTING EXIT SIGN TO NEW EXIT DOOR
- REMOVE AND RELOCATE EXISTING CEILING LIGHT FIXTURE PER PLAN
- EXISTING CEILING MOUNTED LIGHT FIXTURE TO REMAIN
- EXISTING CEILING FANLIGHT TO REMAIN
- EXISTING PULL SWITCH LIGHT FIXTURE TO REMAIN. CONNECT TO SWITCH AT ENTRY - SEE PLAN
- EXISTING SWITCH - CONNECT TO LIGHT AS SHOWN
- RELOCATED LIGHT FIXTURE - CONNECT TO EXISTING LIGHT FIXTURE ABOVE STAIRS & CONNECT TO 3-WAY SWITCH
- PROVIDE NEW MOTION SENSOR SWITCH
- EXISTING SWITCH TO REMAIN - VERIFY FOR 3-WAY SWITCH OR REPLACE
- PROVIDE NEW 3-WAY SWITCH
- RELOCATED EXISTING SIGN
- PROVIDE NEW EXIT SIGN
- EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN
- EXISTING EXIT SIGN TO REMAIN
- HARDWIRED SMOKE DETECTOR - SMOKE DETECTORS AND ALARM SYSTEM SHALL BE HARDWIRED WITH BATTERY BACK-UP POWER AND LOW BATTERY SIGNAL AND INSTALLED AS REQUIRED BY CODE. DETECTORS SHALL BE PLACED IN CORRIDORS, ADJACENT ROOMS AND SLEEPING ROOMS - AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL DETECTORS SHALL BE INTERCONNECTED TO SOUND A SIMULTANEOUS ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE APARTMENT
- REMOVE EXISTING WALL OUTLET
- PROVIDE RECEPTACLE AT ELECTRIC RANGE. CONTRACTOR SHALL COORDINATE CAPACITY PRIOR TO CIRCUITING
- PROVIDE OUTLET FOR VENT HOOD - VERIFY MOUNTING HEIGHT IN FIELD
- PROVIDE OUTLET FOR STACKED WASHER/DRYER
- CONTRACTOR SHALL VERIFY ALL EXISTING RECEPTACLE OUTLET NEAR THE KITCHEN SINK HAVE GFCI
- EXISTING CEILING - NO NEW WORK

**CEILING LEGEND**

	PAINTED CEMENT PLASTER CEILING		VENTILATION FAN
	2x4' LATH-IN CEILING		2x2 FLUORESCENT LATH-IN FIXTURE
	2x2' LATH-IN CEILING		2x4 FLUORESCENT LATH-IN FIXTURE
	STUCCO SOFFIT		RECESSED CAN FIXTURE
	CEILING OR SOFFIT HEIGHT		SUPPLY AIR REGISTER
	LINEAR FLUORESCENT FIXTURE - SURFACE MOUNTED		RETURN AIR REGISTER
	EMERGENCY LIGHT FIXTURE		LINEAR FLUORESCENT FIXTURE - SURFACE MOUNTED
			SMOKE DETECTOR
			SURFACE MOUNTED LIGHT FIXTURE
			RECEPTACLE OUTLET



**1 CEILING/ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

NOTE:  
ALL ELEMENTS AND SPACES ARE EXISTING UNLESS NOTED OTHERWISE.  
ALL EXISTING ELECTRICAL FIXTURE ARE EXISTING AND SHALL REMAIN UNLESS NOTED OTHERWISE

TOWN OF MESILLA  
ZONING APPROVAL

OFFICIAL USE ONLY

Case # 061024

Fee \$ 81.00

PERMISSION TO CONDUCT WORK  
OR  
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 061024 ZONE: HC CODE: RN APPLICATION DATE: 2/14/20

Juhenne Hadfield  
Name of Property Owner

575-207-8931  
Property Owner's Telephone Number

5011 Wildhorse LLC  
Property Owner's Mailing Address City

N.M. 88011  
State Zip Code

Juhenne.juelry@aol.com  
Property Owner's E-mail Address

Mark Sidaris, P.O. Box 294, Fair Oaks, NM 88011  
Contractor's Name & Address (if none, indicate Self)

575-647-5147 # 0102 42-6083  
Contractor's Telephone Number Contractor's Tax ID Number

1976602  
Contractor's License Number

2000 Calle de Parian, Mesilla  
Address of Proposed Work

addition of interior doorway and fire wall separation between uses  
Description of Proposed Work

416690.00  
Estimated Cost  
Signature of Applicant

2-14-2020  
Date

Signature of property owner: [Signature]

In the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and CID prior to issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically.

FOR OFFICIAL USE ONLY

- Administrative Approval
- Approved Date
- Approved Date
- Disapproved Date
- Disapproved Date
- Approved with Conditions
- Approved with conditions

PZHAC APPROVAL REQUIRED: YES  NO  BOT APPROVAL REQUIRED: YES  NO

PERMIT/INSPECTION REQUIRED: YES  NO  SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT APPROVAL REQ'D

CID PERMIT REQ'D

[Handwritten mark]

PZHAC NEW BUSINESS

MARCH 2, 2020

SIGN PERMITS

**PZHAC ACTION FORM**  
**SIGN REQUEST**  
**[PZHAC REVIEW]**  
**“Psychology Consulting Options”**

**STAFF ANALYSIS**

**Item:**

**Case 061023**– 2488 Calle de Guadalupe, submitted by Joseph Foster for “Psychology Consulting Options”; a request for a sign permit to allow two wall signs having a total of twelve square feet for a therapist practice at this address. Zoned: Historical Commercial (HC)

**Description of Work to be Done:**

The applicant would like to install two six square foot wall signs on either side of a door on a commercial building at this address (see attached diagram and photo). The sign will have off-white lettering on a tan background (see attached example). The signs will be placed on either side of an exterior door to the office with one sign for each tenant of the business.

**Consistency with the Code:**

The PZHAC must determine that the proposed signs will be consistent with the following Sections of the Sign Code (Chapter 18.65) that specifically apply to this project.

**18.65.140 Wall signs.**

**A. Wall Sign Area.**

**1. Within the Historical Commercial (H-C) zone, the wall sign area, on any given house or building, shall in no case exceed 10 percent of any wall area including apertures or 15 square feet, whichever is less. Dimensions of painted signs or graphics with no frame shall be determined by measuring the extent of the painted sign or graphic horizontally and vertically and calculating the area.**

**B. No wall sign shall be permitted to be more than six inches thick. All wall signs shall be safely and securely attached to the building wall. [Ord. 2008-04 § 9; Ord. 2003-05 § 3; Ord. 2000-02 § 1; Ord. 94-08; prior code § 11-3-14]**

**18.65.220 Number of permitted signs.**

**A. A total of two exterior signs may be allowed to each store or bona fide place of business.**

**B. When more than one business occupies a single building each business will be limited to one sign plus a space on a directory sign at each entrance. [Ord. 2008-04 § 11; Ord. 2003-05 § 6; Ord. 94-08; prior code § 11-3-22]**

**Findings of Fact:**

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing two 3-foot by 2-foot (6 square feet) rectangular wall signs on either side of a door on a business at this address.
- The subject property is zoned Historical General Commercial (HC)
- The proposed signs will not have negative impacts on the surrounding businesses in the area.
- The proposed signs will be consistent with the Code.

**PZHAC ACTION:**

# Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number  Enter V

Maps

Legend

### Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401209](#)  
Parcel Number: 4006137253477  
Owner: FOSTER JOSEPH W  
Mail Address: 10090 BLACK HILLS ROAD  
Subdivision:  
Property Address: 2489 CALLE DE PRINCIPAL  
Acres: 0





OFFICIAL USE ONLY:

Case # 060123

Fee \$ 24.00

CASE NO. 060123 ZONE: HC APPLICATION DATE: 2/25/20

PSYCHOLOGY CONSULTING OPTIONS 575-323-0341  
Business Name Business Telephone Number

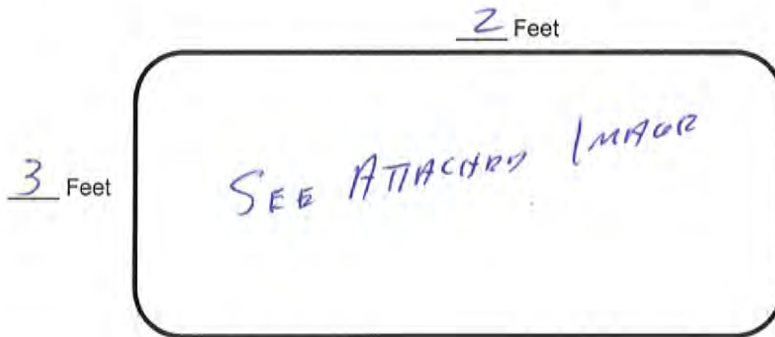
2488 CALLE DE GUADALUPE, MESILLA, NM 88046  
Business Address City State Zip Code

JOSEPH W. FOSTER 850-502-9237  
Applicant Name Applicant Telephone/Cell Number

10090 BLACK HILLS RD, LAS CRUCES, NM 88011  
Mailing Address City State Zip Code

Description of sign: 2 PSYCHOLOGY SIGNS, ONE ON EACH SIDE  
OF ENTRANCE DOOR, LISTING THERAPIST INFO.

Please include dimensions, lettering, shape, material, texture, colors, and/or finish to be used on the diagram below.



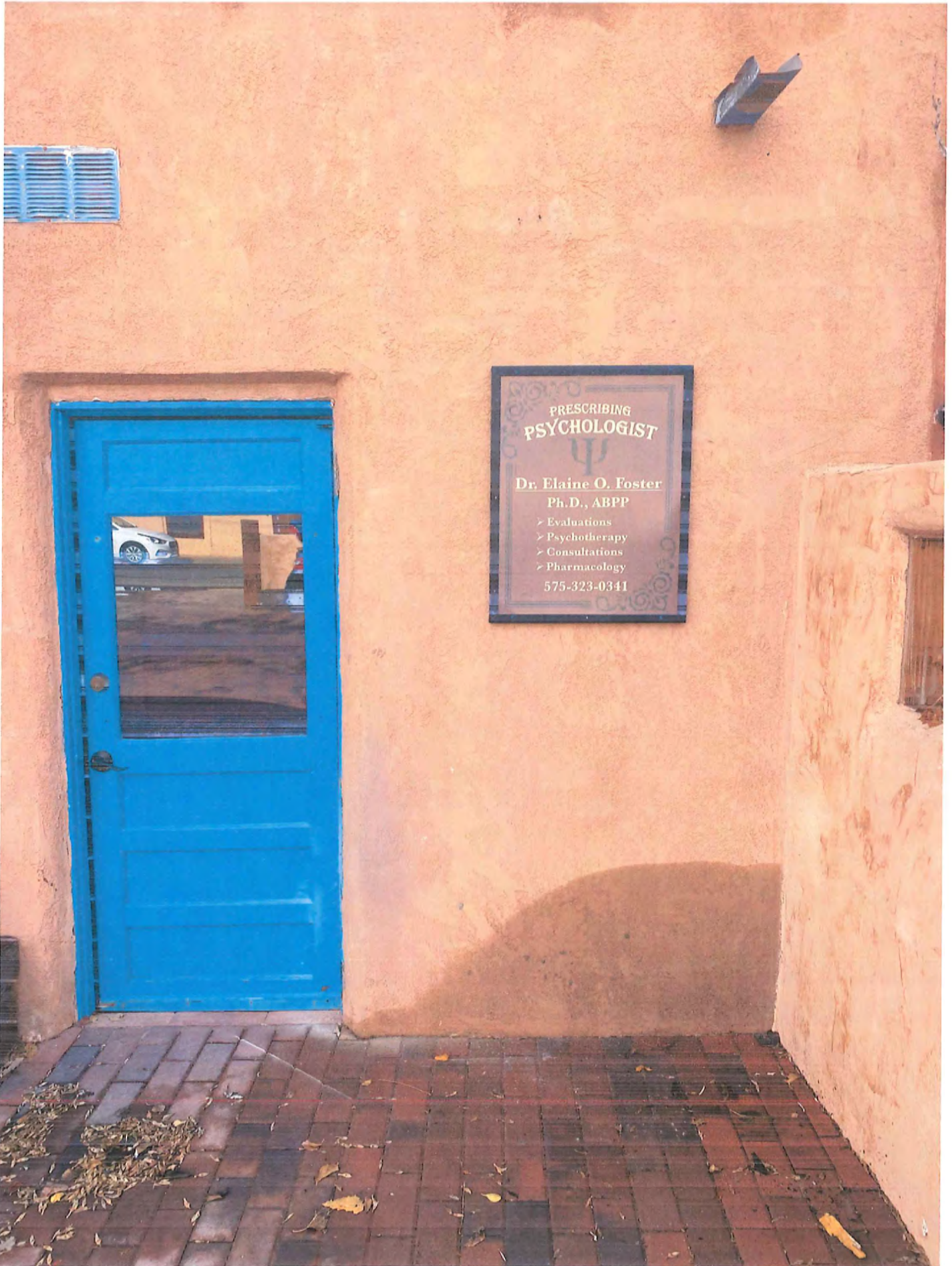
Colors: \_\_\_\_\_

FOR OFFICIAL USE ONLY

- PZHAC  Administrative Approval  Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  Disapproved with Conditions  Approved with conditions
- BOT  Approved Date: \_\_\_\_\_  Disapproved Date: \_\_\_\_\_  Approved with Conditions

CONDITIONS: \_\_\_\_\_

PERMIT ISSUED BY: \_\_\_\_\_ ISSUE DATE: \_\_\_\_\_



PRESCRIBING  
PSYCHOLOGIST



Dr. Elaine O. Foster

Ph.D., ABPP

- > Evaluations
- > Psychotherapy
- > Consultations
- > Pharmacology

575-323-0341